

Meadowbrook Stables 2010 RAUP

Box 13
17/10



HISTORIC PRESERVATION COMMISSION

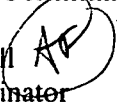
Isiah Leggett
County Executive

Thomas Jester
Chairperson

Date: 10/28/10

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #551089—window replacement and shed removal

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on October 27, 2010.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Montgomery County Parks Department
Address: 8250 Meadowbrook Lane, Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Jule Mueller

Daytime Phone No.: 301-650-4390

Tax Account No.: 00968670

Name of Property Owner: Mont. Co. Parks Daytime Phone No.: 301-650-4390

Address: 1109 Spring St. A Silver Spring, MD 20910
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 8200 - 8250 Street: Meadowbrook Lane

Town/City: Silver Spring Nearest Cross Street: East-West Highway

Lot: 24 Block: _____ Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- Construct
 - Extend
 - Alter/Renovate
 - Move
 - Install
 - Wreck/Raze
 - Revision
 - Repair
 - Revocable
- CHECK ALL APPLICABLE:
- A/C
 - Slab
 - Room Addition
 - Porch
 - Deck
 - Shed
 - Solar
 - Fireplace
 - Woodburning Stove
 - Single Family
 - Fence/Wall (complete Section 4)
 - Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line
 - Entirely on land of owner
 - On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jule Mueller Signature of owner or authorized agent 9/29/10 Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 10/28/10

Application/Permit No.: 531089 Date Filed: 10/1/2010 Date Issued: _____

NOA

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The
Maryland-National
Capital Park and
Planning Commission
Montgomery County Department
of Park and Planning,
8500 Brunell Ave.,
Silver Spring, MD 20991

**MEADOWBROOK
STABLES**
8200
MEADOWBROOK LANE
CHEVY CHASE, MD 20815

REVISIONS

**PROPOSED
WORK ON SOUTH
ELEVATION**

DATE: 4/29/2010
SCALE: AS NOTED

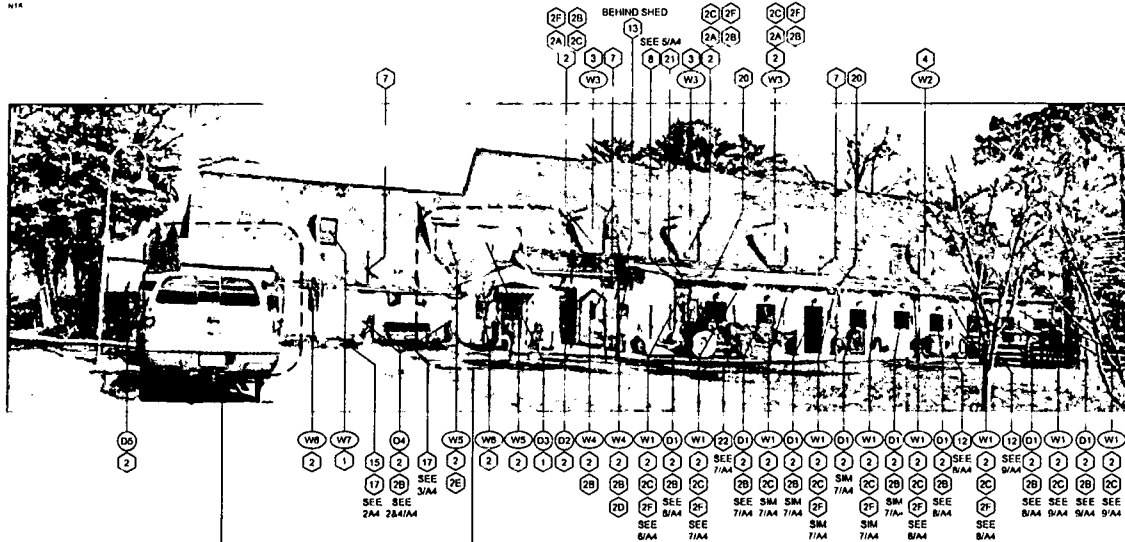
A1.0

NOTE
WINDOW AND
DOOR
LOCATIONS
SHOWN TO BE
PERMITTED BY
THE 1920'S AND
CLEARLY IDENTIFIED
ORIGINAL TO
THE BUILDING ON
THE
DRAWINGS (LIVE
ON ALL
DRAWINGS)



W1 4' 3 1/2" x 34" EARLY ALTERATION
W1A 4' 3 1/2" x 34" ORIGINAL
W2 4' 3 1/2" x 34" ORIGINAL
W3 4' 3 1/2" x 42" ORIGINAL
W4 4' 3 1/2" x 42" ORIGINAL
W5 4' 3 1/2" x 42" ORIGINAL
W6 4' 3 1/2" x 36" EARLY ADDITION OR RELATED ORIGINAL
W7 4' 3 1/2" x 36" LATER REPLACEMENT AT ORIGINAL WINDOW LOCATION
W8 4' 3 1/2" x 42" ORIGINAL
W9 4' 2 1/2" x 36" ORIGINAL

WINDOW TYPES ALL DIMENSIONS INDICATED ARE ROUNDED OFF NOMINAL DIMENSIONS MEASURED TO 1/8" OR CARRIAGE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS (TYP).
N14



1 SOUTH ELEVATION
N14

LEGEND / KEYNOTES: (CIRCLED OR DOWNSHIFTED)

KEYNOTES ARE GIVEN BY A HEADLINE ON THE DRAWING
THE TERMS "WINDOW" AND "DOOR" ARE INTENDED TO BE INCLUSIVE OF JAMB, HEAD AND SILL OF THE FRAME AS WELL

1 WINDOW OR DOOR NOT ORIGINAL OR EARLY. RESTORE TO FULL OPERATIONAL CONDITION
REFINISH AS REQUIRED TO MATCH RESTORED WINDOWS
INSPECT ALL OPERATIONAL SURFACES. REMOVE PAINT BUILD UP
REMOVE HARDWARE AS NEEDED FOR PAINTING
PREPARE ALL PAINTABLE SURFACES IN ACCORDANCE WITH PAINT MANUFACTURER'S RECOMMENDATIONS AND REPAIR TO MATCH EXISTING HISTORIC WINDOWS OR DOORS
INSPECT ALL HARDWARE BEFORE REINSTALLATION. REPAIR OR REPLACE AS NEEDED TO RESTORE FULL OPERATIONAL CONDITION
SEAL FRAME JOINTS WITH JOINT SEALANT AND BACKER ROD

2 ORIGINAL OR EARLY WINDOW OR DOOR OR RESTORE TO FULL OPERATIONAL CONDITION
ALL:
REMOVE WINDOW SASH OR DOOR AS NECESSARY TO REPAIR OR MAINTAIN
REMOVE HARDWARE AS NECESSARY
INSPECT AND REPAIR ALL OPERATIONAL SURFACES. REMOVE PAINT BUILD UP
BAND ALL SURFACES TO A LIGHT GRAY FINISH AND WAX DOWN
REPAIR SURFACE DAMAGE
APPLY PRIMER / PREPARE ALL PAINTABLE SURFACES IN ACCORDANCE WITH PAINT MANUFACTURER'S RECOMMENDATIONS. ALLOW TO DRY
APPLY TWO COATS OF 100% SOLUBLE LATEX PAINT TO ALL PAINTABLE SURFACES
INSPECT ALL HARDWARE BEFORE REINSTALLATION. REPAIR OR REPLACE AS NEEDED TO RESTORE FULL OPERATIONAL CONDITION
CLEAN ALL GLASS
SEAL FRAME JOINTS WITH JOINT SEALANT AND BACKER ROD

3 ORIGINAL OR EARLY WINDOW OR DOOR RESTORE TO FULL OPERATIONAL CONDITION BY REPLACING EXISTING SASHES - ONLY IF NOT REPAIRABLE OR IS MISSING
PREPARE NEW SASHES AS SHOWN IN #2 ABOVE
PROVIDE NEW REPLACEMENT SASH TO MATCH EXISTING IF DAMAGED BY VANDALISM REPAIR OR REINSTALL
SEAL FRAME JOINTS WITH JOINT SEALANT AND BACKER ROD

4 WINDOW SUBSTANTIALLY OR COMPLETELY MISSING.
PROVIDE NEW WINDOW TO MATCH ORIGINAL
WHERE IT IS NOT IDENTIFIED AS MISSING, PROVIDE AS NEW FULLY OPERATIONAL AND FINISHED COMPLETE WINDOW MANUFACTURED TO MATCH EXISTING AT OTHER LOCATIONS
SEAL FRAME JOINTS WITH JOINT SEALANT AND BACKER ROD

5 WINDOW THAT IS NOT ORIGINAL OR EARLY, AND IS NON-CONTRIBUTING.
REPLACE WITH THE WINDOW NOTED ON THE RESPECTIVE WINDOW TYPE. FINISH TO MATCH EXISTING ORIGINAL WINDOWS
SEAL FRAME JOINTS WITH JOINT SEALANT AND BACKER ROD

6 REMOVE OR RELOCATE THE NON-CONTRIBUTING SASH WITH NO HISTORIC SCENE CHANGE AWAY FROM THE BUILDING TO PREVENT DAMAGE TO THE MAIN STRUCTURE BY ROCK WATER FROM THE SASH.

AT ALL WINDOWS AND DOORS WITH GLAZING:
REMOVE EXISTING GLAZING COMPOUND. PRIME ALL GLASS BEARING SURFACES. SET NEW OR REPLACED GLASS IN BEARING FOR ADDED STABILITY. SECURE WITH GLAZING POINTERS AND FINISH WITH OIL-BASED GLAZING COMPOUND. ALLOW GLAZING COMPOUND TO DRY PER MANUFACTURER'S RECOMMENDATIONS. USUALLY 7-14 DAYS.

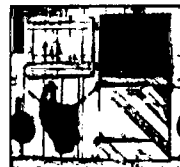
ADDITIONALLY AT DOUBLE HUNG WINDOWS:
REMOVE INTERIOR STOPS FOR RESTORATION OR FOR EXACT REPRODUCTION AS NEEDED
REPLACE SASH CORERS WITH SMOKE BRONZE SASH CORNER LIGHTLY SAND THE SIDES OF VERTICAL SASH RALES AND JOINTS OF JAMB. APPLY A WOOD GRAY SEALER TO THE SURFACES OF THE SASH IN A LUBRICATED TRACK



W6 W7 W8 W9
2 2 2 2
D1 D2 D3 D4 D5
SEE 1/4A
JAMB TRIM



W1 W2 W3 W4 W5
2 2 2 2 2
SEE 1/4A



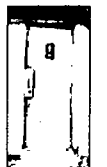
D1 4' 4 1/2" x 80" (4' 4 1/2" x 36" TOP LEAF)
EARLY ADDITION



D2 4' 3 1/2" x 80" PAIR
ORIGINAL



D3 4' 4 1/2" x 70"
COMPATIBLE LATER
REPLACE WITH SET ORIGINAL DOOR LOCATION

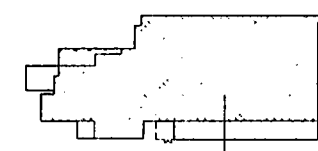


D4 4' 2 1/2" x 72"
EARLY ALTERATION



D5 4' 4 1/2" x 80"
EARLY ALTERATION

DOOR TYPES ALL DIMENSIONS INDICATED ARE ROUNDED OFF NOMINAL DIMENSIONS MEASURED TO 1/8" OR CARRIAGE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS (TYP).
N15



KEY PLAN
SCALE: 1/8" = 1'-0"

FOOTPRINT OF THE ORIGINAL BUILDING AS PHOTOGRAPHED IN 1914

1017 & 110

07/28/10

A2.0

PROPOSED WORK ON NORTH ELEVATION

DATE: 10/12/2010
 SCALE: AS NOTED

REVISIONS

NO. 12.10	
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MEADOWBROOK STABLES
 8200 MEADOWBROOK LANE
 CHEVY CHASE, MD 20815

Montgomery County Department of Park and Planning
 8500 Binnet Ave.
 Silver Spring, MD 20901

The Maryland-National Capital Park and Planning Commission

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 www.noaarch.com

NOA Architecture Planning Interiors is pleased to participate in the design and construction of the Meadowbrook Stables. The design and construction of the Meadowbrook Stables is a project of the Montgomery County Department of Park and Planning.

GENERAL:

21 REPAIR DETRIORATED COMPONENTS OF THE ROOF & PATTERNS
 22 REPAIR, REFINISH AND SEAL ROOF AWAYMENTS.
 23 REPAIR DAMAGED OR CRACKED ROOF.
 24 REPAIR DAMAGED CONCRETE.

13 REPLACE WOOD ROOFING ABOVE THE DECKING BY WATER
 DAMPROOF, WITH SAVED MATERIAL WHERE POSSIBLE.
 14 SELECT BUILDING FOR BEST QUALITY. REPLACE DAMAGED
 PARTS AS NEEDED. REMOVE LAMINATE AND REPAIR. REPAIR
 PARTS THAT CAN NOT BE REPAIRED IN KIND.
 9 REMOVE NEW CORNER OUTRIGGERS AND CLAMP WHEELS
 10 REMOVE NEW BLEED-O-RAMA NEW DRINK FOUNTAIN FROM
 11 REMOVE NEW DRINK AT DECREASED LAMINATE OUTSIDE THE DOOR.
 12 REPLACE DETRIORATED PARTS OF ROOF AND TRIM FROM REPAIRABLE
 WITH SAVED MATERIAL TO THE MAXIMUM EXTENT POSSIBLE.
 13 REMOVE NEW TRIM FROM ROOF AND TRIM FROM REPAIRABLE
 WITH SAVED MATERIAL TO THE MAXIMUM EXTENT POSSIBLE.
 14 REMOVE NEW TRIM FROM ROOF AND TRIM FROM REPAIRABLE
 WITH SAVED MATERIAL TO THE MAXIMUM EXTENT POSSIBLE.
 15 REMOVE NEW TRIM FROM ROOF AND TRIM FROM REPAIRABLE
 WITH SAVED MATERIAL TO THE MAXIMUM EXTENT POSSIBLE.
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 WITH SAVED MATERIAL TO THE MAXIMUM EXTENT POSSIBLE.
 19 REMOVE NEW TRIM FROM ROOF AND TRIM FROM REPAIRABLE
 WITH SAVED MATERIAL TO THE MAXIMUM EXTENT POSSIBLE.
 20 REMOVE NEW TRIM FROM ROOF AND TRIM FROM REPAIRABLE
 WITH SAVED MATERIAL TO THE MAXIMUM EXTENT POSSIBLE.

LEGEND / KEYNOTES: (CONTINUED FROM DWG 011)

7 ON LOW SIDE OF ROOF, REPLACE EXISTING CLAMP BRACKETS IN
 NEW CLAMP BRACKETS. THREE LAYERS OF 1/2" PLYWOOD
 PARTING IS REQUIRED LAYER OR 2" ROOFING FELT.
 8 REMOVE NEW CORNER OUTRIGGERS AND CLAMP WHEELS
 PARTS THAT CAN NOT BE REPAIRED IN KIND.
 9 REMOVE NEW CORNER OUTRIGGERS AND CLAMP WHEELS
 PARTS THAT CAN NOT BE REPAIRED IN KIND.
 10 REMOVE NEW BLEED-O-RAMA NEW DRINK FOUNTAIN FROM
 11 REMOVE NEW DRINK AT DECREASED LAMINATE OUTSIDE THE DOOR.
 12 REPLACE DETRIORATED PARTS OF ROOF AND TRIM FROM REPAIRABLE
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 20 REMOVE NEW TRIM FROM ROOF AND TRIM FROM REPAIRABLE
 WITH SAVED MATERIAL TO THE MAXIMUM EXTENT POSSIBLE.

WINDOW TYPES (CONTINUED FROM DWG A1.0)

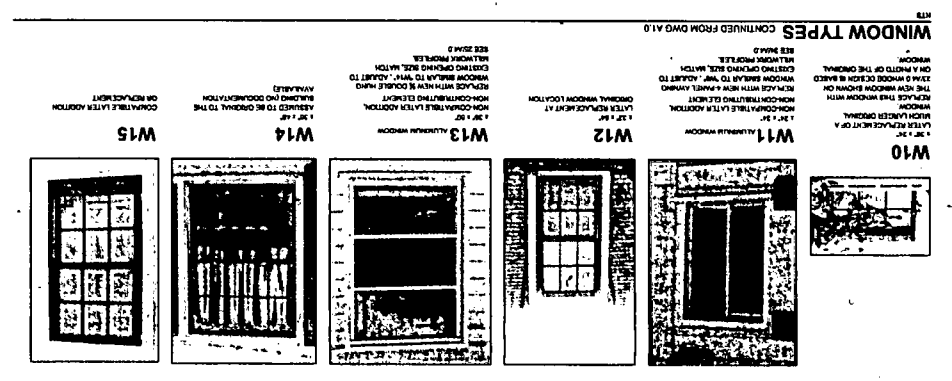
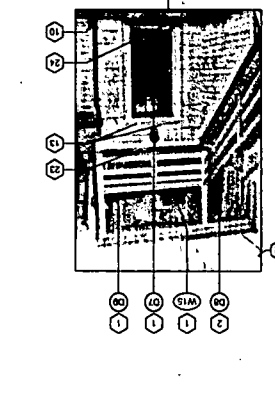
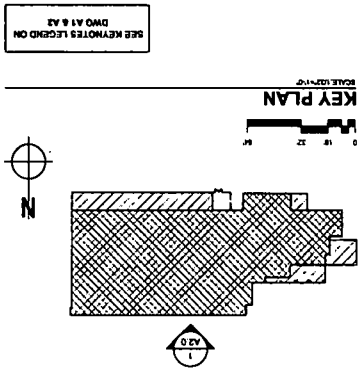
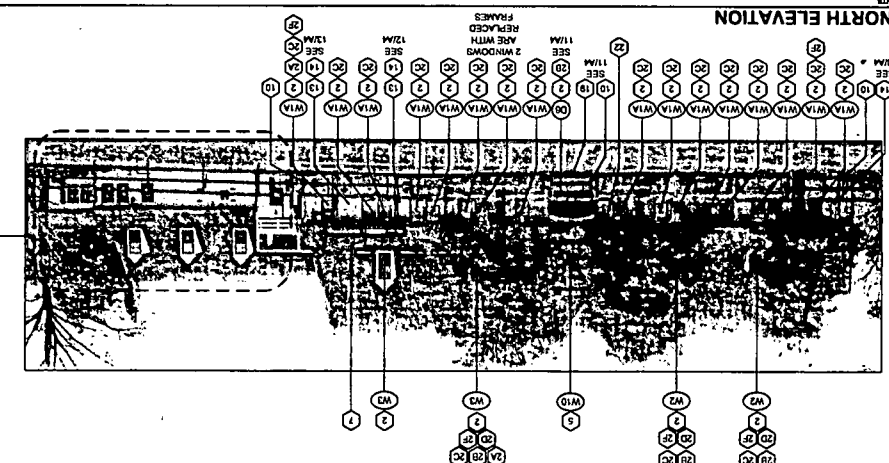
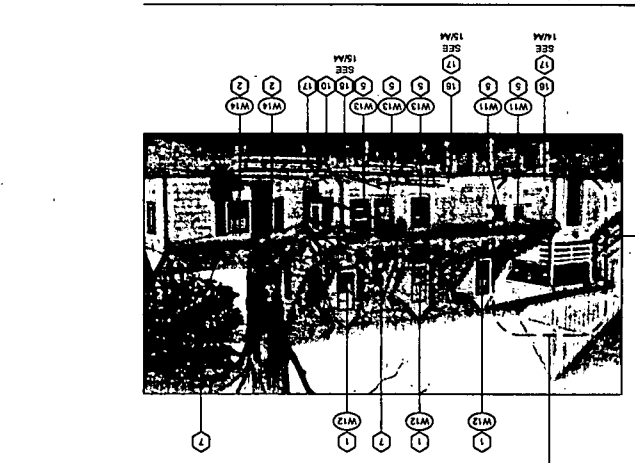
W10
 W11
 W12
 W13
 W14
 W15

1. SEE DWG 011 FOR WINDOW LOCATION AND DIMENSIONS.
 2. SEE DWG 011 FOR WINDOW LOCATION AND DIMENSIONS.
 3. SEE DWG 011 FOR WINDOW LOCATION AND DIMENSIONS.
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 19. SEE DWG 011 FOR WINDOW LOCATION AND DIMENSIONS.
 20. SEE DWG 011 FOR WINDOW LOCATION AND DIMENSIONS.

DOOR TYPES (CONTINUED FROM DWG A1.0)

D6
 D7
 D8
 D9

1. SEE DWG 011 FOR DOOR LOCATION AND DIMENSIONS.
 2. SEE DWG 011 FOR DOOR LOCATION AND DIMENSIONS.
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AND PROVIDES AN AFFIRMATIVE ACTION PLAN
FOR MINORITY GROUPS AND WOMEN.
NOA ARCHITECTURE PLANNING INTERIORS
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Minority and women contractors are encouraged to apply.
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The
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MEADOWBROOK STABLES

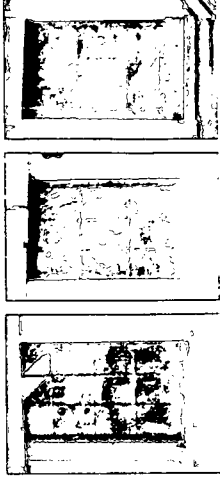
8200
MEADOWBROOK LANE
CHEVY CHASE, MD 20815

REVISIONS

PROPOSED
WORK ON EAST
AND WEST
ELEVATIONS

DATE: 4/20/2010
SCALE: AS NOTED

A3.0

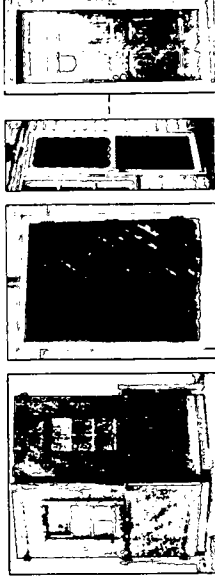


W16
1:1/2" = 1'-0"
FAMILY WINDOW

W17
1:1/2" = 1'-0"
FAMILY WINDOW

W18
1:1/2" = 1'-0"
FAMILY WINDOW

ALL DIMENSIONS INDICATED ARE BASED ON NOMINAL DIMENSIONS UNLESS NOTED OTHERWISE. DIMENSIONS SHALL BE VERIFIED BY ALL CONSTRUCTION PERSONNEL.
CONTINUED FROM DWGS A1.0 & A2.0

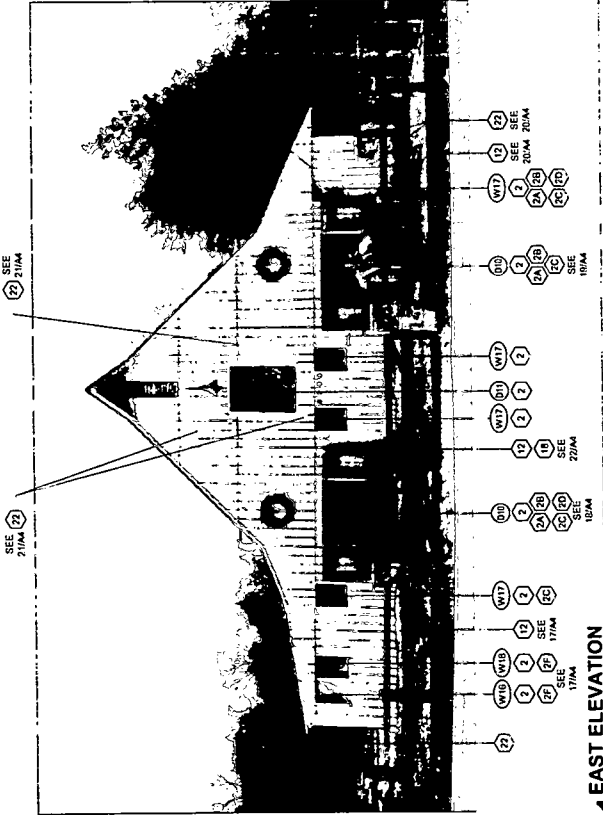


D10
1:1/2" = 1'-0"
DOUBLE DOOR

D11
1:1/2" = 1'-0"
DOUBLE DOOR

D12
1:1/2" = 1'-0"
DOUBLE DOOR

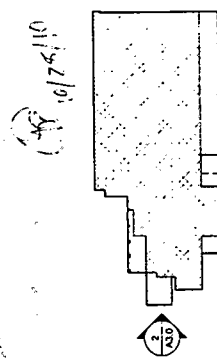
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CONTINUED FROM DWGS A1.0 & A2.0



1 EAST ELEVATION



2 WEST ELEVATION



1/4" = 1'-0"
KEY PLAN
SCALE: 1/4" = 1'-0"

SEE KEYNOTES LEGEND ON
DWGS A1 & A2



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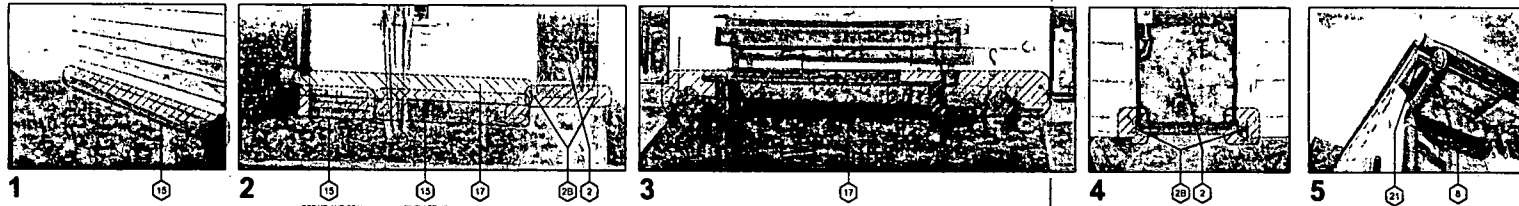
The
**Maryland-National
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**MEADOWBROOK
STABLES**
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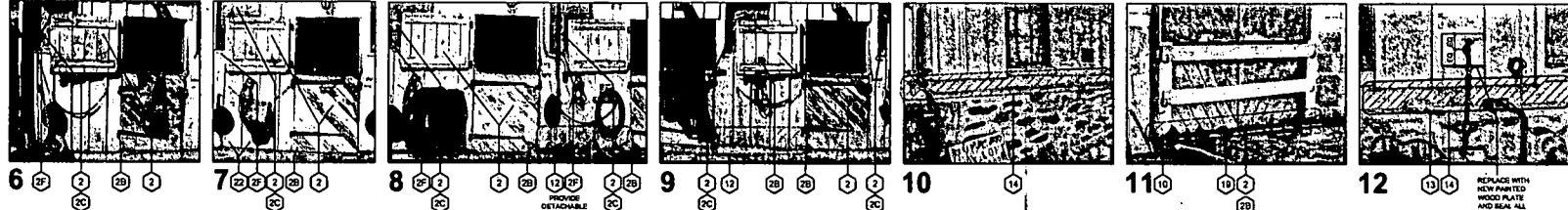
REVISIONS

**PROPOSED
WORK DETAILS**

DATE: 10.12.2010
SCALE: AS NOTED

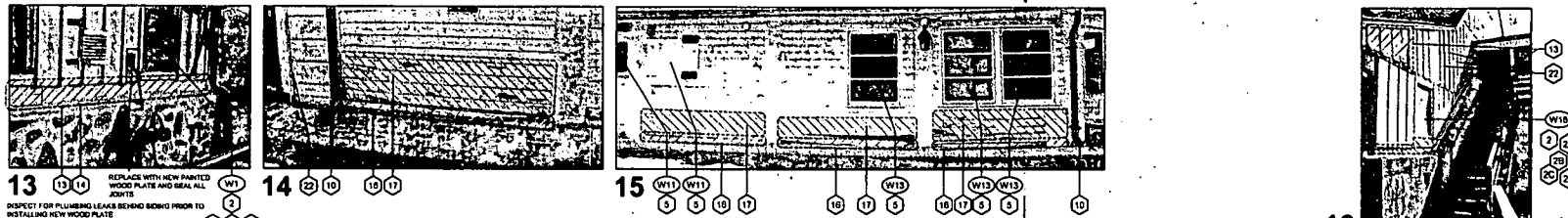


1 SOUTH ELEVATION



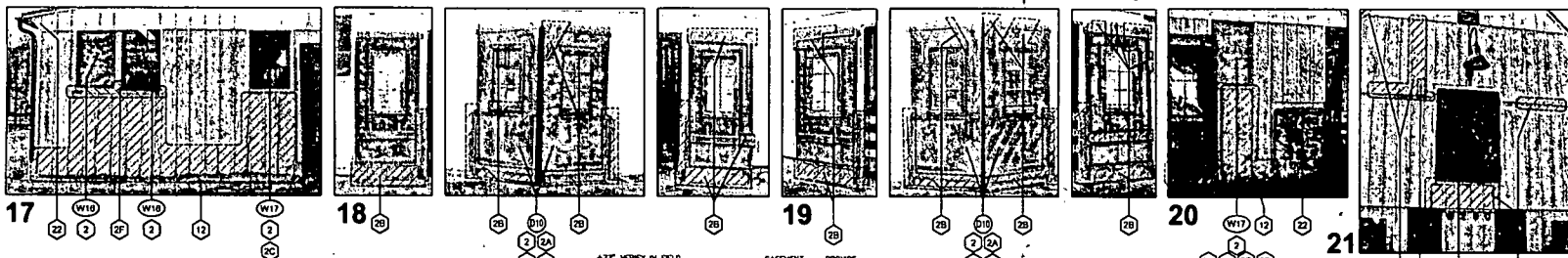
6 SOUTH ELEVATION

10 NORTH ELEVATION

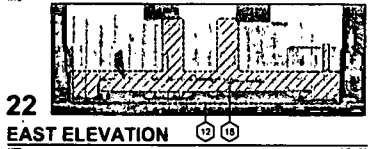


13 NORTH ELEVATION

16 WEST ELEVATION

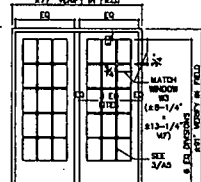


17 EAST ELEVATION



22 EAST ELEVATION

**23
REPLACEMENT
WINDOW FOR
W10
ON NORTH
ELEVATION**
SCALE: 3/4" = 1'-0"

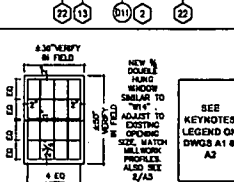


REMOVE EXISTING WINDOW AND SEALANT AND BACKER ROD EXCEPT AT WEPS.
REMOVE EXISTING WINDOW AND SEALANT AND BACKER ROD EXCEPT AT WEPS.
REMOVE EXISTING WINDOW AND SEALANT AND BACKER ROD EXCEPT AT WEPS.

**24
REPLACEMENT
WINDOW FOR
W11
ON NORTH
ELEVATION**
SCALE: 3/4" = 1'-0"



**25
REPLACEMENT
WINDOW FOR
W13
ON NORTH
ELEVATION**
SCALE: 3/4" = 1'-0"



SEE KEYNOTES LEGEND ON DWGS A1 & A2

APPROVED
10/28/10



Architecture
Planning
Interiors

7925 Glenbrook Road, Suite 9-C
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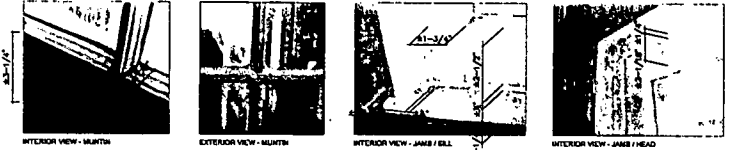
The
Maryland-National
Capital Park and
Planning Commission
Montgomery County Department
of Park and Planning,
5500 Brunnet Ave.,
Silver Spring, MD 20901

**MEADOWBROOK
STABLES**
8200
MEADOWBROOK LANE
CHEVY CHASE, MD 20815

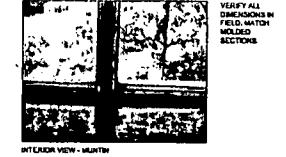
REVISIONS

**PROPOSED
WORK DETAILS**

DATE: 10.12.2010
SCALE: AS NOTED



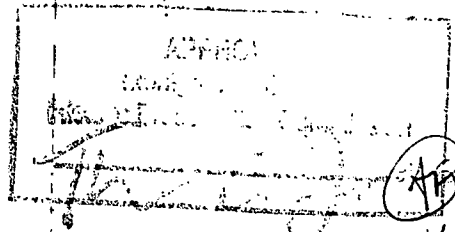
1 WINDOW "W6" DETAILS VERIFY ALL DIMENSIONS IN FIELD. MATCH MOLDED SECTIONS.



3 WINDOW "W3" DETAILS



2 WINDOW "W14" DETAILS VERIFY ALL DIMENSIONS IN FIELD. MATCH MOLDED SECTIONS.



MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	8250 Meadowbrook Lane, Chevy Chase	Meeting Date:	10/27/10
Applicant:	Montgomery County Parks Department (Julie Mueller, Agent)	Report Date:	10/20/10
Resource:	<i>Master Plan</i> Site #36/03 Meadowbrook Stables	Public Notice:	10/13/10
Review:	HAWP	Tax Credit:	Partial
Case Number:	36/03-10A	Staff:	Anne Fothergill
PROPOSAL: Window replacement and shed demolition			

STAFF RECOMMENDATION

Staff is recommending that the HPC approve the HAWP application.

PROPERTY DESCRIPTION

SIGNIFICANCE: *Master Plan* Site #36/03, **Meadowbrook Stables**
STYLE: Colonial Revival stables
DATE: 1934

Excerpt from Places in the Past:

When it opened in 1934, Meadowbrook Stables was hailed as one of the finest saddle clubs in the East. The facility, which hosted local, national, and international horse shows and festivities, was built in response to the popularity of these events in an era when Montgomery County was fostering a country-club image. The large Colonial Revival horse barn is notable for the quality of its design and construction. The facility also includes a blacksmith shop and outdoor riding ring, which, together with the barn, are part of publicly owned parkland. The stables have also been known as Rock Creek Stables.

PROPOSAL

The applicants are proposing to repair and rehabilitate the stables. As part of this overall rehabilitation plan, they are proposing limited in-kind material replacement including some roofing, trim, downspouts, and gutters. They will retain and restore all windows where possible. The only proposed replacement of windows is either where it is necessary because the window is missing or beyond repair or where it is an inappropriate replacement window.

Specifically, they are proposing:

Front/east elevation:
no changes proposed

Right side/north elevation:

- 1) Window 10 - remove one non-original window; enlarge window opening to original size, install new custom made window to replicate original window (based on historic photograph); see Sheet A4.0 #23 in Circle 13
- 2) Window 11 - remove two non-original aluminum windows (in non-contributing section of building); install 4-panel awning windows – details to match Window 6; see Sheet A5.0 #1 and A4.0 #24 in Circles 13 + 14
- 3) Window 13 - remove three non-original aluminum windows (in non-contributing section of building); install custom made wood 8-over-8 double hung windows - details to match Window 14; see Sheet A5.0 #2 and Sheet A4.0 #25 in Circles 13 + 14

Left side/south elevation:

- 4) Window 3 - remove two damaged upper sashes in two windows (see photos in Circles 17 + 25) and replace with custom-made sashes – details to match the original existing Window 3; see Sheet A5.0 #3 in Circle 14
- 5) Window 2 - remove damaged window and replace with custom-made window – details to match the existing window 2 on north side; note: window is boarded up (see photo in Circle 16) and if window can be repaired, it will not be replaced
- 6) Remove the non-historic shed (currently causing water damage)

Rear/west elevation:

- 7) Window 13 - remove non-original aluminum window (in non-contributing section of building); install custom made wood 8-over-8 double hung window - details to match Window 14; see Sheet A5.0 #2 and Sheet A4.0 #25 in Circles 13 + 14

APPLICABLE GUIDELINES

When reviewing alterations and new construction to a *Master Plan* site several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner

- compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

STAFF DISCUSSION

The Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland state:

Preserve primary historic building materials whenever feasible.

2.1 Retain and preserve original wall and siding materials.

- Avoid removing original materials that are in good condition or that can be repaired in place. Avoid replacing a major portion of an exterior wall that could be repaired. Reconstruction may result in a building that has lost its integrity, and may cause maintenance problems in the future.
- In many cases, original building materials may not be damaged beyond repair and do not require replacement. Cleaning, repainting or restaining, ensuring proper drainage and keeping the material clean may be all that is necessary.
- Painting or staining wood surfaces is recommended.

Original materials that have deteriorated over time should be repaired rather than replaced.

2.9 Repair deteriorated, primary building materials by patching, piecing-in, consolidating or otherwise reinforcing them.

- Avoid the removal of damaged materials that can be repaired.
- Use the gentlest means possible to clean a structure. Perform a test patch to determine that the cleaning method will cause no damage to the material's surface. Many procedures, such as sandblasting and pressure washing, can actually result in accelerated deterioration or damage materials beyond repair.
- Use technical procedures for removal of hazardous materials that preserve, clean, refinish or repair historic materials and finishes

Replace original building materials in-kind when repair is not an option.

2.10 When replacement is needed, use materials similar to those employed historically.

- Match the original in composition, scale and finish when replacing exterior siding. If the original material is wood clapboard, for example, then the replacement should be wood as well. It should match the original in size, the amount of exposed lap and surface finish.
- If original material is painted, replacement material should be painted.
- Do not use synthetic materials, such as aluminum, vinyl siding, fiber-cement board, or other synthetic materials, as replacements for primary building materials.

Preserve the size and shape of windows and doors because they significantly affect the character of a structure.

4.1 Preserve the functional and decorative features of original windows and doors.

- Repair frames, sashes, and shutters by patching, splicing or reinforcing.
- Use original windows, doors and their hardware when they can be repaired and reused in place.
- Ornamental and structural details, such as lintels and window hoods, should be preserved and repaired.

4.2 Maintain original window and door proportions.

- Altering the original size and shape is inappropriate.
- Reducing the size of an original opening to accommodate a smaller window is inappropriate.
- Restoring original openings which have been altered is encouraged.

Repair a deteriorated window or door instead of replacing it or enclosing the opening.

4.4 Repair wooden window and door components by patching, piecing-in, consolidating or otherwise reinforcing the wood.

- Avoid the removal of damaged wood that can be repaired.
- Remove built-up paint on both the interior and exterior surfaces.
- Disassemble sash components and repair or stabilize the wood.
- Re-glazing, or replacement of the putty that holds in glazing, may also be necessary.
- Repair and refinish the frame as needed.
- Replace broken sash cords with new cords or chains.
- Repair and repaint window shutters.
- Install weather-stripping.
- Repaint the wooden members of the repaired and reassembled window or door.

Replace a window or door that is damaged beyond repair with one similar to that seen historically.

4.7 When window or door replacement is necessary, match the replacement to the original design as closely as possible.

- In most cases, wood, true-divided light (TDL) windows are recommended. In limited situations, wood, simulated-divided light (SDL) windows, undivided lights windows, or non-wood windows may be appropriate. Reference the table on page 62 for guidance.
- Replacement windows and doors that do not reflect the character of the building are inappropriate.
- If the original window is double-hung, then the replacement should also be double-hung. Match the replacement also in the number, dimension and position of glass panes.
- Match, as closely as possible, the profile of the sash and its components to that of the original window.
- Preserve the original casing.
- Consider using a salvaged historic door or window as a replacement.

The applicants have provided a detailed plan that proposes a sensitive and much needed rehabilitation of the historic stables. The only proposed window replacement of is either where it is necessary because the window is missing or beyond repair or where it is an inappropriate replacement window. They are

proposing custom made windows to match the existing historic windows in the building, and these replacement windows will be compatible and appropriate for the resource. All of the proposed rehabilitation and in-kind material replacement is in keeping with the *Standards* and will help preserve this historic resource.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) and (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850
242 777-4370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Jake Mueller

Daytime Phone No.: 301-650-4370

Tax Account No.: 00968670

Name of Property Owner: Mont Co. Parks Daytime Phone No.: 301-650-4390

Address: 1109 Spring St. A Silver Spring MD 20910
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 8200 - 8250 Street: Meadowbrook Lane

Town/City: Silver Spring Nearest Cross Street: East-West Highway

Lot: 24 Block: _____ Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jake Mueller
Signature of owner or authorized agent

9/29/10
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 551089 Date Filed: 10/7/2010 Date Issued: _____

6

Written Description of Project—Meadowbrook Stables

1a. Description of existing structure, environmental setting, including their historical features and significance

Environmental Setting: Meadowbrook Stables is located within the Meadowbrook Local Park, which is composed of 22.25 acres located along the intersection of East West Highway and Jones Mill Road in Silver Spring. The stable is located along Meadowbrook Lane, across from its intersection with Blaine Drive and Washington Avenue. It is listed as an Individual Site in the Master Plan for Historic Preservation. The environmental setting of the resource includes the stables and 2.25 acres of land immediately surrounding the stables.

History: When it opened in 1934, Meadowbrook Stables was hailed as one of the finest saddle clubs in the East. The facility, which hosted local, national, and international horse shows and festivities, may have been built in response to the popularity of these events in an era when Montgomery County was fostering a country-club image. The large Colonial Revival horse barn is notable for the quality of its design and construction. The facility also includes a blacksmith shop and outdoor riding ring, which, together with the barn, are part of publicly owned parkland. The stables have also been known as Rock Creek Stables.

Exterior Description: The structure is a 2.5-story, nine-bay, frame building resting on a rubble stone foundation. Its massive, cedar-shingled, steeply pitched, front-gable roof and the rhythmic stall windows are the dominant visual characteristics. Shed-roof appendages which shelter the stalls flank the roof structure and lend it an even larger appearance. Vertical wooden siding carries the eye upward, also helping to focus on the roof structure which is punctured by single and double dormers. Barn entrances are located on several elevations. The barn contains 57 stalls. A tack room, office, and apartments are located in the west end of the building. The building has been altered over time, but generally retains its original appearance.

1b. General description of the project and its effect on the resource.

Project Description: Meadowbrook Stables has many of its original doors and windows. A number of them are in failing-to-poor condition and in need of repair. Repairs will be made to restore windows and doors to working condition and to prevent leaks and damage. Any replacement materials or hardware will be in kind. Windows will be replaced only where the window is substantially or completely missing and will be replaced by windows to match the original in material and design. Existing windows that are not compatible with the historic nature of the building will be replaced with historically compatible windows finished to match existing, original windows.

In addition, roofing, siding, trim, downspouts, gutters, and concrete curbs will be repaired or replaced where missing or damaged. Repairs to board and batten siding will use salvaged

materials as much as possible or will be replaced in kind. See attached plans for details about specific repairs to the building.

All repairs will be completed according to the *Secretary of the Interior's Standards for Rehabilitation* and according to the attached plan.

Effect on Historic Resources: There will be no adverse effect to the stables as all repairs will retain historic materials wherever possible or will be replaced in kind.

Effect on Environmental Setting: The project will be limited to the structure; there is no adverse effect to the environmental setting.

2. Site Plan: See attached

3. Plans and Elevations: See attached

4. Materials Specification: See attached

5. Photographs: See attached

6. Tree Survey: N/A

7. Addresses of Adjacent and Confronting Property Owners:

Lawrence & A. Anderson, 8215 Meadowbrook Lane, Chevy Chase, MD 20815

Judith M. Koenick, 2714 Washington Avenue, Chevy Chase, MD 20815

Lisa Stein, 13 Grandview Avenue, Dobbs Ferry, NY 10522

Edward F. & A.A. Barr, 8207 Meadowbrook Lane, Chevy Chase, MD 20815

James J. & L.M. Karson, 8205 Meadowbrook Lane, Chevy Chase, MD 20815

Joshua Singer & Jenilee Keefe Singer, 2813 Blaine, Drive, Chevy Chase, MD 20815

Anita I. Gilbert, 2812 Blaine Drive, Chevy Chase, MD 20815

Mario Piccagli Revocable Trust, 8103 Meadowbrook Lane, Chevy Chase, MD 20815

Robert B. & A Freedman, 2813 Washington Avenue, Chevy Chase, MD 20815

Neal J. Meiselman & Terry M. Shuch, 2810 Washington Ave, Chevy Chase, MD 20815

Scott P. Cooper, 2816 Abilene Drive, Chevy Chase, MD 20815

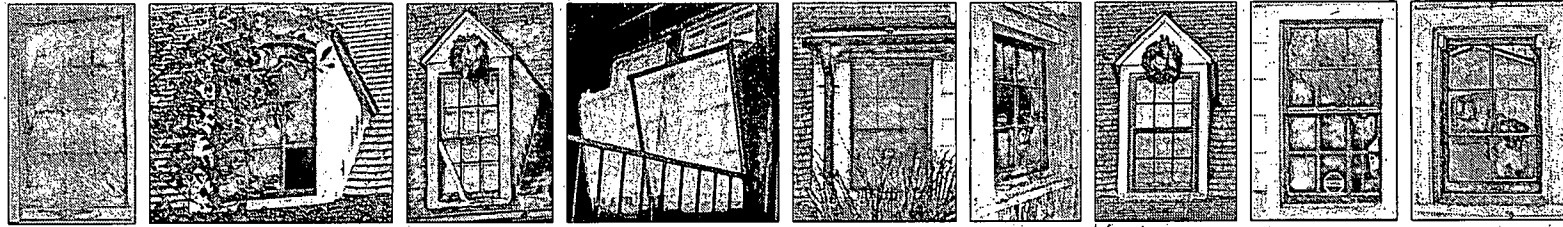
Jay P. & P.B. Holland, 2814 Abilene Drive, Chevy Chase, MD 20815

Michael L. Sibarium & Laurel A. Govoni, 2812 Abilene Drive, Chevy Chase, MD 20815



Historic Preservation "Environmental Setting"
for Meadowbrook Stables.
Designated in 1985.

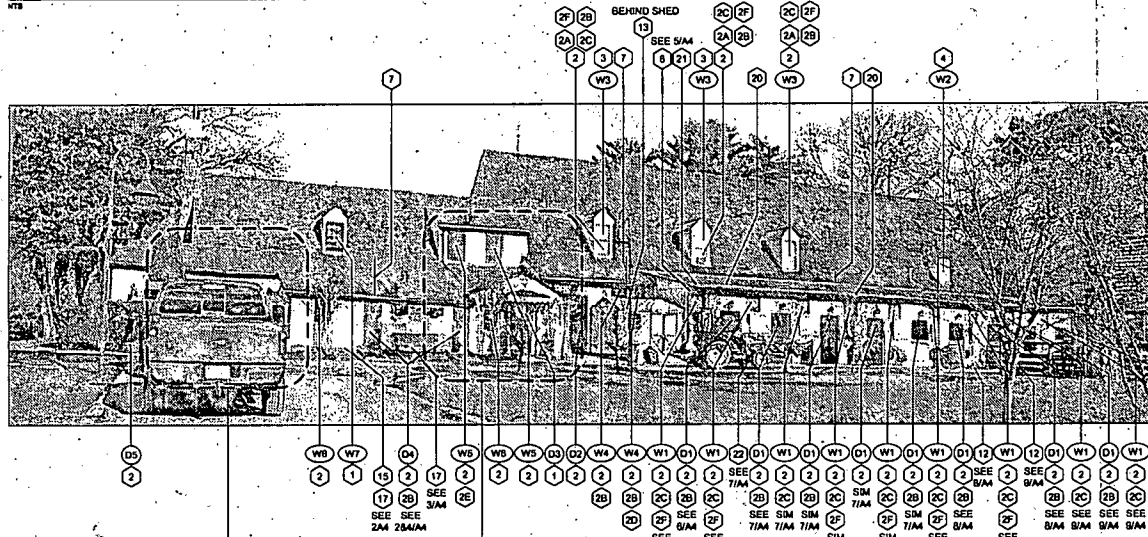
2008
Aerial



W1 32" x 54" EARLY ADDITION ORIGINAL
W1A 32" x 54" ORIGINAL
W2 34" x 52" ORIGINAL
W3 32" x 67" ORIGINAL
W4 32" x 59" ORIGINAL
W5 32" x 52" EARLY ADDITION OR RELICATED ORIGINAL
W6 32" x 37" EARLY ADDITION OR RELICATED ORIGINAL
W7 32" x 65" LATER REPLACEMENT AT ORIGINAL WINDOW LOCATION
W8 32" x 50" ORIGINAL
W9 32" x 39" ORIGINAL

NOTE: WINDOW AND DOOR LOCATIONS SHOWN TO BE PRESENT DURING THE 1920S ARE CLASSIFIED AS ORIGINAL TO THE BUILDING ON THESE DRAWINGS (TYP ON ALL DRAWINGS)

WINDOW TYPES ALL DIMENSIONS INDICATED ARE ROUNDED OFF NOMINAL DIMENSIONS MEASURED TO TRIM OR CASING. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS (TYP)



LEGEND / KEYNOTES: (CONTINUED ON DWG A2)

KEYNOTES ARE KEYED IN A HEXAGON ON THE DRAWINGS. THE TERMS "WINDOW" AND "DOOR" ARE INTENDED TO BE INCLUSIVE OF JAMB, HEAD AND SILL OF THE FRAME AS WELL.

- 1 WINDOW OR DOOR NOT ORIGINAL OR EARLY. REFINISH AS REQUIRED TO MATCH RESTORED WINDOWS.**
 - INSPECT ALL OPERATIONAL SURFACES. REMOVE PAINT BUILD UP.
 - REMOVE HARDWARE AS NEEDED FOR PARTING.
 - PREPARE ALL PAINTABLE SURFACES IN ACCORDANCE WITH PAINT MANUFACTURER'S RECOMMENDATIONS AND RE-PART TO MATCH RESTORED HISTORIC WINDOWS OR DOORS.
 - INSPECT ALL HARDWARE BEFORE REINSTALLATION. REPAIR OR REPLACE IN KIND AS NEEDED TO RESTORE FULL OPERATIONAL CONDITION.
 - SEAL PERIMETER JOINTS WITH JOINT SEALANT AND BACKER ROD.
- 2 ORIGINAL OR EARLY WINDOW OR DOOR OR OPENING. RESTORE TO FULL OPERATIONAL CONDITION**
 - REMOVE WINDOW BASH OR DOOR AS NECESSARY TO PERFORM WORK.
 - REMOVE HARDWARE AS NECESSARY.
 - INSPECT AND PREPARE ALL OPERATIONAL SURFACES. REMOVE PAINT BUILD UP.
 - SAND ALL SURFACES TO UNIFORM FRESH AND WIPE DOWN WITH MEGNA. SPROUTS.
 - REPAIR SURFACE DAMAGE.
 - APPLY PRIMER / PREPARE ALL PAINTABLE SURFACES IN ACCORDANCE WITH PAINT MANUFACTURER'S RECOMMENDATIONS. ALLOW TO DRY.
 - APPLY TWO COATS OF SEAM-GLOSS LATEX PAINT TO ALL PAINTABLE SURFACES.
 - INSPECT ALL HARDWARE BEFORE REINSTALLATION. REPAIR OR REPLACE IN KIND AS NEEDED TO RESTORE FULL OPERATIONAL CONDITION.
 - CLEAN ALL GLASS.
 - SEAL PERIMETER JOINTS WITH JOINT SEALANT AND BACKER ROD.

- ADDITIONALLY, AT LOCATIONS WHERE NOTED:
- REMOVE WINDOW BASH OR DOOR. INSPECT FOR STRUCTURAL DEFECTS. REPAIR USING ADVANCED REPAIR KIT EXPOSED STABILIZE JOINTS AS NEEDED.
 - FABRICATE AND INSTALL NEW MATCHING PARTS AS NECESSARY TO REPLACE NOTED OR MISSING PARTS. SALVAGE AND REUSE RELEASABLE PARTS TO THE MAXIMUM EXTENT POSSIBLE.
 - FILL HOLES AND/OR CRACKS. SEAL SURFACE AND FRESH FOR NOTES ABOVE.
 - REPLACE CRACKED OR MISSING GLASS. SEE GLAZING NOTES ABOVE FOR INSTALLATION.
 - REPLACE CRACKED INSET MOLDING.
 - REPAIR DETERIORATED SILL. REPLACE WITH MATCHING SILL IF DETERIORATED BEYOND REPAIR.

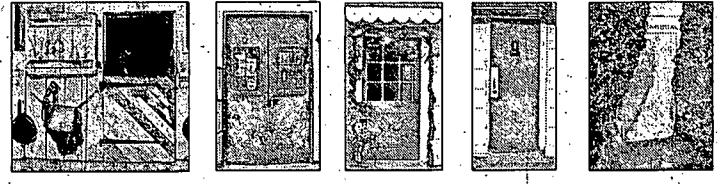
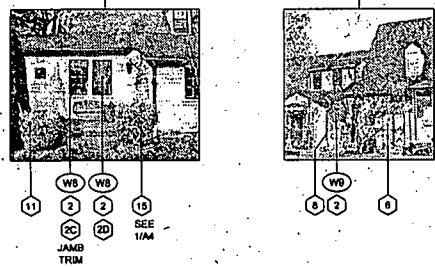
- 3 ORIGINAL OR EARLY WINDOW OR DOOR. RESTORE TO FULL OPERATIONAL CONDITION BY REPLACING EXISTING SASH(ES) - ONLY IF NOT REPAIRABLE OR IS MISSING**
 - REMOVE REPAIRS AS DESCRIBED IN #2 ABOVE.
 - PROVIDE NEW REPLACEMENT BASH TO MATCH EXISTING IF DAMAGED BEYOND REPAIR OR IS MISSING.
 - SEAL PERIMETER JOINTS WITH JOINT SEALANT AND BACKER ROD.
- 4 WINDOW SUBSTANTIALLY OR COMPLETELY MISSING. PROVIDE NEW WINDOW TO MATCH ORIGINAL**
 - WHERE EXISTING WINDOW IS MISSING, PROVIDE A NEW FULLY OPERATIONAL AND FINISHED COMPLETE WINDOW MANUFACTURED TO MATCH EXISTING AT OTHER LOCATIONS.
 - SEAL PERIMETER JOINTS WITH JOINT SEALANT AND BACKER ROD.

- 5 WINDOW THAT IS NOT ORIGINAL OR EARLY, AND IS NON-CONTRIBUTING.**
 - REPLACE WITH THE WINDOW NOTED ON THE RESPECTIVE WINDOW TYPE. FINISH TO MATCH CLOSEST ORIGINAL WINDOW.
 - SEAL PERIMETER JOINTS WITH JOINT SEALANT AND BACKER ROD.
- 6 REMOVE THE NON-CONTRIBUTING SHED WITH NO HISTORIC SIGNIFICANCE. AWAY FROM THE BUILDING TO PREVENT DAMAGE TO THE MAIN STRUCTURE BY ROOF WATER FROM THE SHED.**

AT ALL WINDOWS, AND DOORS WITH GLAZING:
 REMOVE EXISTING GLAZING COMPOUND. PRIME ALL GLASS BEYOND SURFACES. SET NEW OR REPLACED GLASS IN SILICONS FOR ADDED STABILITY. SECURE WITH GLAZING POINTS AND FIX WITH OIL BASED GLAZING COMPOUND. ALLOW GLAZING COMPOUND TO DRY PER MANUFACTURER'S RECOMMENDATIONS, USUALLY 7-14 DAYS.

ADDITIONALLY AT DOUBLE-HUNG WINDOWS:
 REMOVE INTERIOR STOPS FOR RESTORATION OR FOR EXACT REPRODUCTION, AS NECESSARY.
 REPLACE BASH CORDS WITH SOLID BRONZE BASH CHAIN.
 LIGHTLY SAND THE SIDES OF VERTICAL BASH RAILS AND SIDES OF JAMBS. APPLY A WOOD SEALER TO THESE SURFACES.
 INSTALL BASH IN LUBRICATED TRACK.

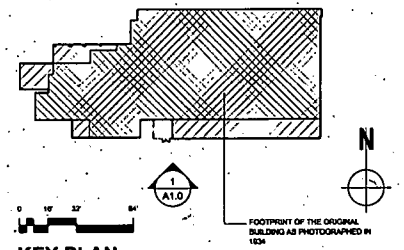
1 SOUTH ELEVATION



D1 64" x 92" (1 64" X 92" TOP LEAF) EARLY ADDITION
D2 32" x 104" PAIR ORIGINAL
D3 42" x 78" COMPATIBLE LATER REPLACEMENT AT ORIGINAL DOOR LOCATION
D4 32" x 77" EARLY ALTERATION
D5 42" x 87" EARLY ALTERATION

ALL DIMENSIONS INDICATED ARE ROUNDED OFF NOMINAL DIMENSIONS MEASURED TO TRIM OR CASING. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS (TYP)

DOOR TYPES



KEY PLAN
 SCALE: 1/32" = 1'-0"

NOA

Architecture
 Planning
 Interiors
 7825 Glenbrook Road, Suite 9-C
 Bethesda, MD 20814
 Phone: (301) 951-7933
 Fax: (301) 951-7934
 E-Mail: info@noarchitects.com
 www.noarchitects.com

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The
 Maryland-National
 Capital Park and
 Planning Commission
 Montgomery County Department
 of Park and Planning,
 9500 Brunner Ave.,
 Silver Spring, MD 20901

MEADOWBROOK STABLES
 8200
 MEADOWBROOK LANE
 CHEVY CHASE, MD 20815

REVISIONS

NO.	DATE	DESCRIPTION

PROPOSED WORK ON SOUTH ELEVATION

DATE: 10.12.2010
 SCALE: AS NOTED

A1.0

10

NOA

Architecture
Planning
Interiors

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Bethesda, MD 20814
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Montgomery County Department
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9500 Brunnet Ave.,
Silver Spring, MD 20901

**MEADOWBROOK
STABLES**
8200
MEADOWBROOK LANE
CHEVY CHASE, MD 20815

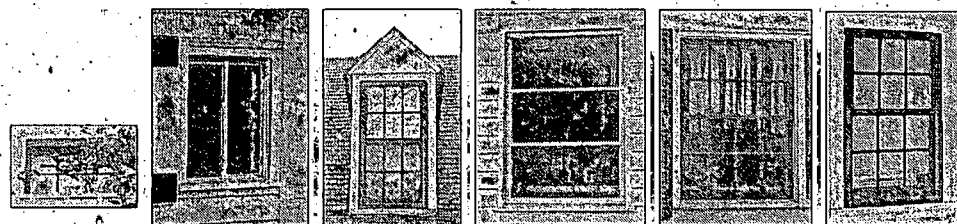
REVISIONS

REVISION NO. 10.12.10

**PROPOSED
WORK ON NORTH
ELEVATION.**

DATE: 10.12.2010
SCALE: AS NOTED

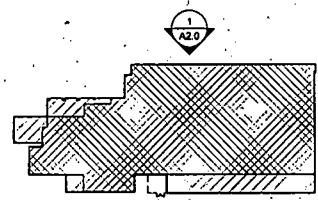
A2.0



- W10** 1 3/4" x 24"
LATER REPLACEMENT OF A MUCH LARGER ORIGINAL WINDOW. REPLACE THIS WINDOW WITH THE NEW WINDOW SHOWN ON SHAD & WHOLE DESIGN IS BASED ON A PHOTO OF THE ORIGINAL WINDOW.
- W11** ALUMINUM WINDOW
1 3/4" x 24"
NON-COMPATIBLE LATER ADDITION. NON-CONTROLLING ELEMENT. REPLACE WITH NEW 6-PANEL ALUMINUM WINDOW SIMILAR TO "W10". ADJUST TO EXISTING OPENING SIZE. MATCH MILLWORK PROFILES. SEE SHAD & D.
- W12** 1 3/4" x 24"
LATER REPLACEMENT AT ORIGINAL WINDOW LOCATION.
- W13** ALUMINUM WINDOW
1 3/4" x 24"
NON-COMPATIBLE LATER ADDITION. NON-CONTROLLING ELEMENT. REPLACE WITH NEW 6-PANEL ALUMINUM WINDOW SIMILAR TO "W10". ADJUST TO EXISTING OPENING SIZE. MATCH MILLWORK PROFILES. SEE SHAD & D.
- W14** 1 3/4" x 24"
ASSUMED TO BE ORIGINAL TO THE BUILDING (NO DOCUMENTATION AVAILABLE).
- W15** COMPATIBLE LATER ADDITION OR REPLACEMENT.

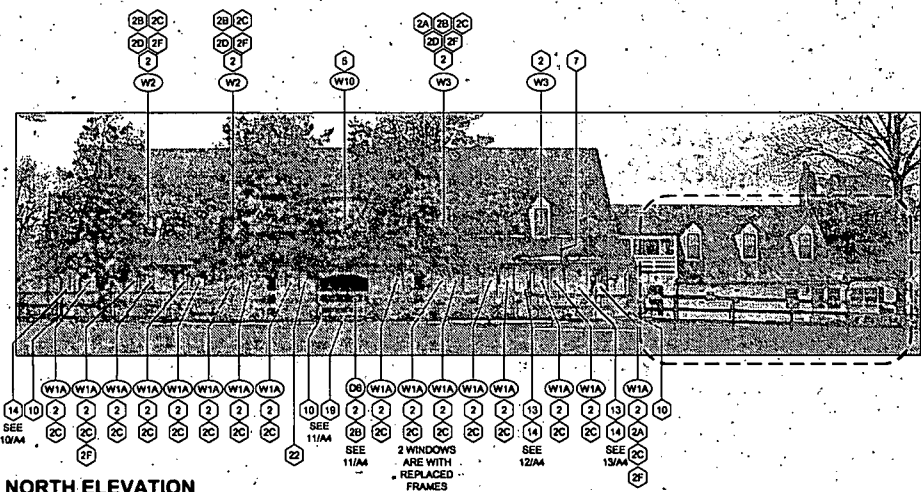
WINDOW TYPES CONTINUED FROM DWG A1.0

MTS



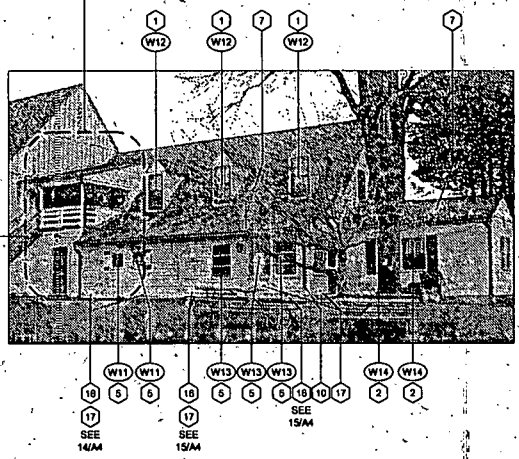
KEY PLAN
SCALE: 1/8" = 1'-0"

SEE KEYNOTES LEGEND ON DWG A1 & A2



1 NORTH ELEVATION

MTS



- D6** 1 1/2" x 120" PAIR
ORIGINAL
- D7** 1 1/2" x 72"
COMPATIBLE REPLACEMENT AT ORIGINAL DOOR LOCATION
- D8** 1 1/2" x 80"
ASSUMED TO BE ORIGINAL (NO DOCUMENTATION AVAILABLE)
- D9** 1 1/2" x 80"
COMPATIBLE REPLACEMENT AT ASSUMED ORIGINAL DOOR LOCATION

DOOR TYPES CONTINUED FROM DWG A1.0

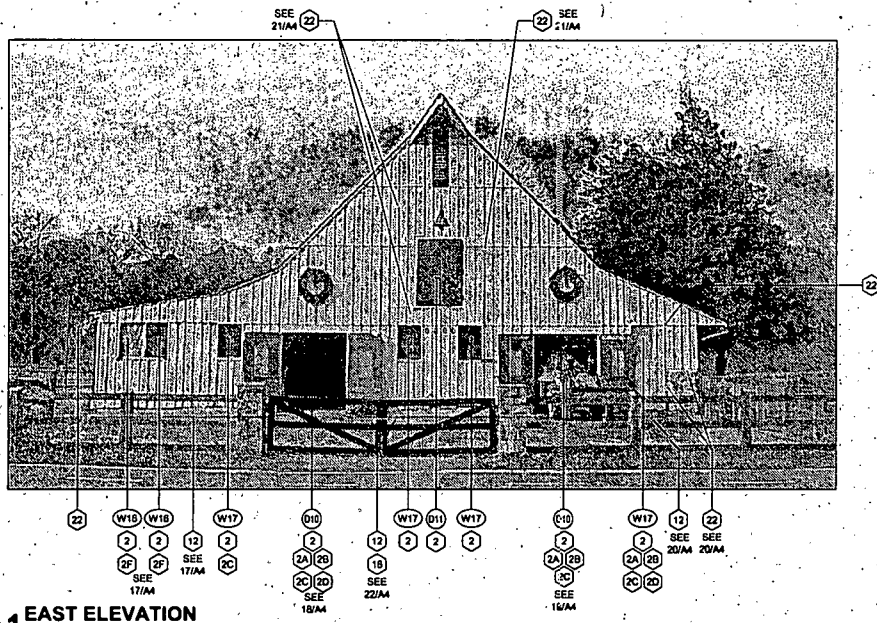
MTS

LEGEND / KEYNOTES: (CONTINUED FROM DWG A1)

- ON LOW-PITCH ROOFS: REPLACE EXISTING CEDAR SHINGLES W/ NEW CEDAR SHINGLES. THREE LAYER #1 1/2" PERFECTIONS WESTERN RED CEDAR W/ VERTICAL GRAIN AND STAINLESS STEEL FASTENERS. PROVIDE LAYERS OF 5/8" ROOFING FELT UNDERLAYMENT OVER THE ROOF SHEATHING AND 4" WIDE FREEZE PROTECTION MEMBRANE ALONG THE ROOF EDGE. PRIOR TO INSTALLING NEW CEDAR SHINGLES.
- REPAIR EXISTING COPPER DOWNSPITS AS NEEDED. REPLACE PAINTS THAT CAN NOT BE REPAIRED IN KIND.
- PROVIDE NEW COPPER OUTER BRACKETS AND CLAMPS WHERE MISSING OR BROKEN.
- PROVIDE NEW BURIED 1/2" BLACK PVC DRAIN LINE FROM DOWNSPITS TO DISCHARGE TO DAYLIGHT AT POSITIVE SLOPE.
- PROVIDE NEW DRAIN AT DERESSED LANDS OUTSIDE THE DOOR. DISCHARGE TO DAYLIGHT AT POSITIVE SLOPE.
- REPLACE DETERIORATED PARTS OF BOARD AND BATTEN SIDING WITH SALVAGED MATERIAL TO THE MAXIMUM EXTENT POSSIBLE. REPLACE FULL HEIGHT BOARDS AND BATTEN WITH DETERIORATED BOTTOM PARTS. SALVAGE AND RE-USE THE TOP PARTS OF THESE MEMBERS TO REPLACE THE SHORTER PIECES - (SUCH AS THOSE BELOW WINDOW SILLS - WITH DETERIORATED BOTTOM PARTS).
- REPLACE WOOD BOARDS AND/OR TRIM DETERIORATED BY WATER DAMAGE WITH SALVAGED MATERIAL WHERE POSSIBLE.
- INSPECT BUILDING FOR INSECT DAMAGE. REPLACE DAMAGED WOOD TRIM AND FRAMING COMPONENTS AS NEEDED.
- PATCH AND SEAL / RE/PLATE, AND EXTEND MASONRY CURB UP. PLUG AND SEAL GAPS AT THE BASE OF EXISTING TRIM AND BOARDS.
- PROVIDE NEW CONCRETE CURBS, PLUG AND SEAL GAPS AT THE BASE OF EXISTING TRIM AND BOARDS.
- REPAIR / REPLACE DETERIORATED SIDING IN KIND.
- REPLACE HORIZONTAL BOARD WITH NEW DRIP BOARD TO MATCH.
- REPAIR NEW TRENCH DRAIN WITH CAST IRON REMOVABLE CRACKING ALONG THE LENGTH OF THE DOOR AND TRIM. DISCHARGE TO DAYLIGHT.
- REPAIR / REPLACE METAL FLASHING IN KIND.
- REPAIR DETERIORATED COMPONENTS OF THE ROFTY & RAFTERS.
- SECURE, REPAIR AND SEAL SIDING PANELS/BOARDS.
- REPAIR DAMAGED DECK EDGE.
- REPAIR DAMAGED CONCRETE.

GENERAL:

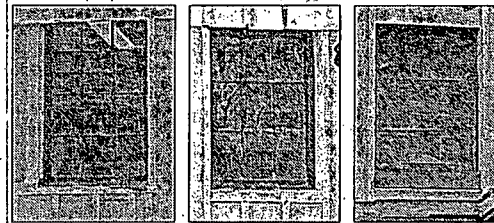
- REPAIR, RESTORE AND SEAL ALL WINDOW SILLS UNLESS NOTED OTHERWISE ELSEWHERE ON DRAWINGS.
- PROVIDE NEW CONCEALED ALUMINUM FLASHING BELOW SILL WHERE EXISTING SILL IS REPLACED OR REMOVED FOR REPAIR.
- SEAL ALL JOINTS WITH JOINT SEALANT AND BACKER ROD UNLESS THE JOINT IS INTENDED TO BE LEFT CLEAR FOR WEEDING.
- REMOVE AND REPLACE PLECOGLAS OR WIRE MESH GUARDS ON THE EXTERIOR FACE OF WINDOWS IF STALLS AS NEEDED TO PERFORM WINDOW RESTORATION WORK.
- PRUNE TREES CLOSE TO THE BUILDING TO PREVENT CONTACT / OVERLAP WITH THE ROOF AND WALLS.



1 EAST ELEVATION
HTB



2 WEST ELEVATION
HTB

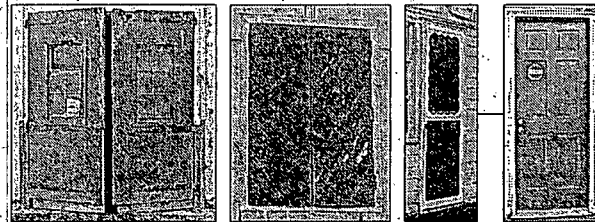


W16
± 37" x 57"
EARLY ADDITION

W17
± 37" x 46"
ORIGINAL

W18
± 37" x 91"
ORIGINAL

ALL DIMENSIONS INDICATED ARE ROUNDED OFF NOMINAL DIMENSIONS MEASURED TO TRIM OR CASING. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS (TYP)
WINDOW TYPES CONTINUED FROM DWS A1.0 & A2.0



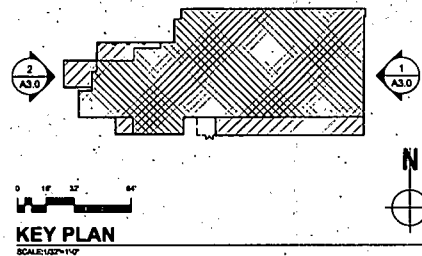
D10
± 48" x 102" PAIR
ORIGINAL

D11
± 37" x 82" PAIR
ORIGINAL

D12
± 37" x 60" - STORM DOOR
NON-CONTRIBUTING LATER
ADDITION, NON-CONTRIBUTING
ELEMENT

± 37" x 87"
COMPATIBLE LATER
ADDITION

ALL DIMENSIONS INDICATED ARE ROUNDED OFF NOMINAL DIMENSIONS MEASURED TO TRIM OR CASING. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS (TYP)
DOOR TYPES CONTINUED FROM DWS A1.0 & A2.0



KEY PLAN
SCALE: 1/8" = 1'-0"

SEE KEYNOTES LEGEND ON
DWGS A1 & A2

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**MEADOWBROOK
STABLES**

8200
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CHEVY CHASE, MD 20815

REVISIONS

**PROPOSED
WORK ON EAST
AND WEST
ELEVATIONS**

DATE: 10.12.2010
SCALE: AS NOTED

A3.0

21

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Silver Spring, MD 20901

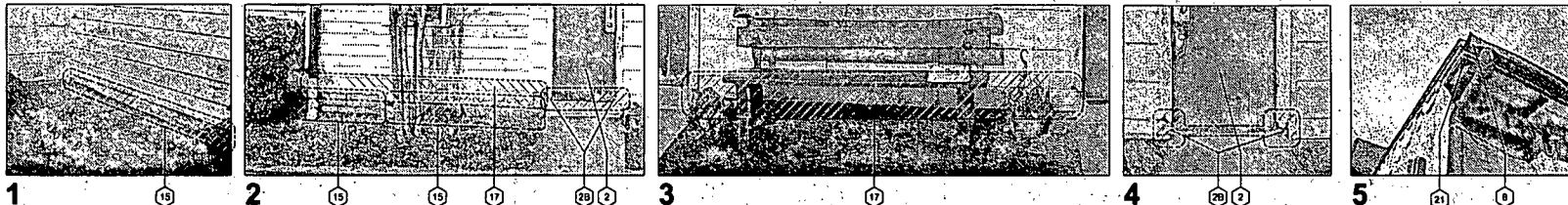
**MEADOWBROOK
STABLES**
8200
MEADOWBROOK LANE
CHEVY CHASE, MD 20815

REVISIONS

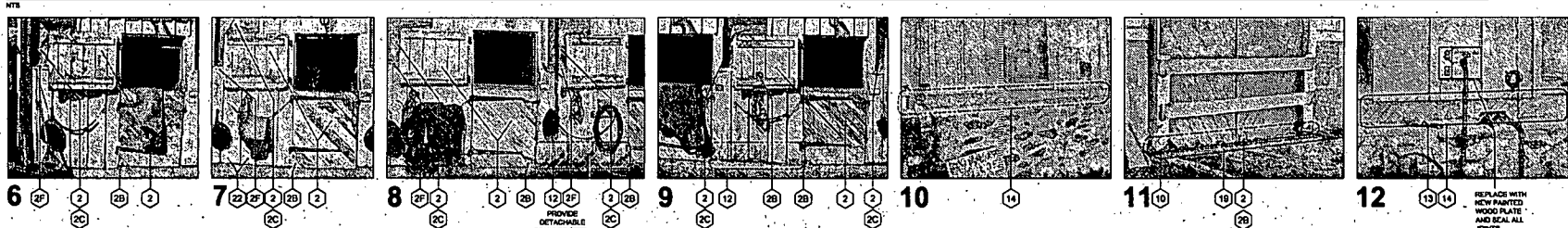
PROPOSED
WORK DETAILS

DATE: 10.12.2010
SCALE: AS NOTED

A4.0

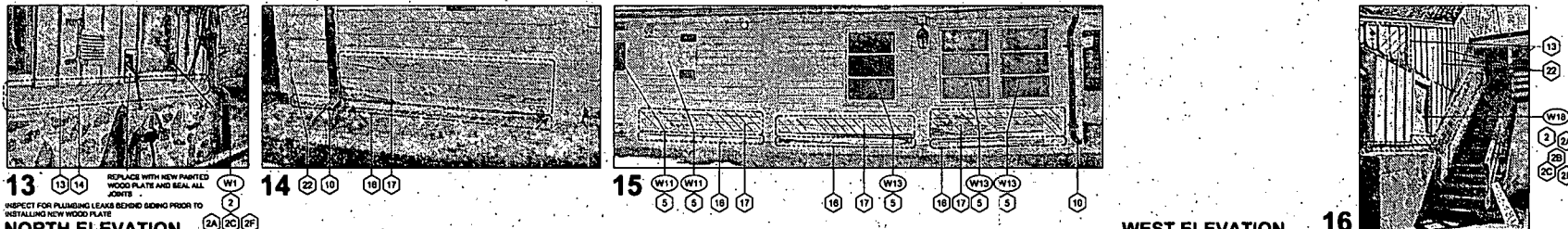


SOUTH ELEVATION



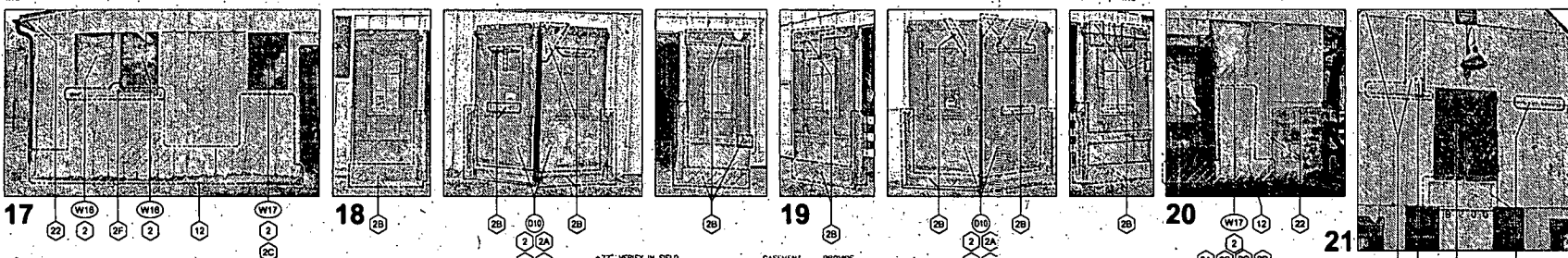
SOUTH ELEVATION

NORTH ELEVATION

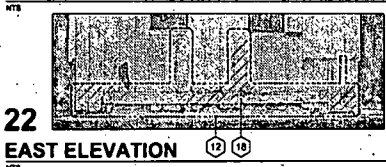


NORTH ELEVATION

WEST ELEVATION

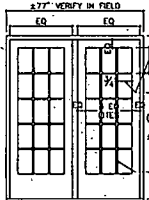


EAST ELEVATION

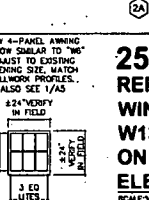


EAST ELEVATION

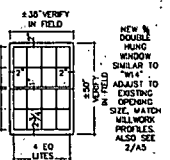
**23
REPLACEMENT
WINDOW FOR
W10
ON NORTH
ELEVATION**
SCALE: 3/4" = 1'-0"



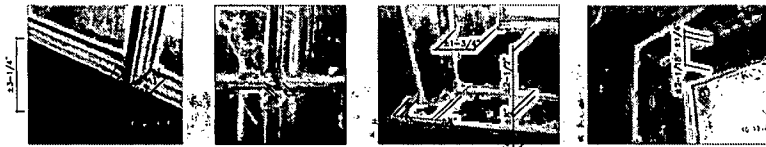
**24
REPLACEMENT
WINDOW FOR
W11
ON NORTH
ELEVATION**
SCALE: 3/4" = 1'-0"



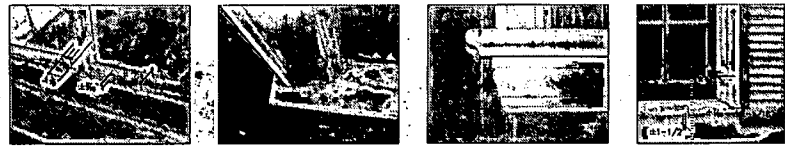
**25
REPLACEMENT
WINDOW FOR
W13
ON NORTH
ELEVATION**
SCALE: 3/4" = 1'-0"



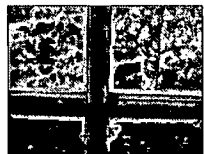
SEE
KEYNOTES
LEGEND ON
DWGS A1 &
A2



1 WINDOW "W6" DETAILS VERIFY ALL DIMENSIONS IN FIELD, MATCH MOULDED SECTIONS.
HTS



2 WINDOW "W14" DETAILS VERIFY ALL DIMENSIONS IN FIELD, MATCH MOULDED SECTIONS.
HTS



VERIFY ALL DIMENSIONS IN FIELD, MATCH MOULDED SECTIONS.

3 WINDOW "W3" DETAILS
HTS

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STABLES**
8200
MEADOWBROOK LANE
CHEVY CHASE, MD 20815

REVISIONS

**PROPOSED
WORK DETAILS**

DATE: 10.12.2010
SCALE: AS NOTED

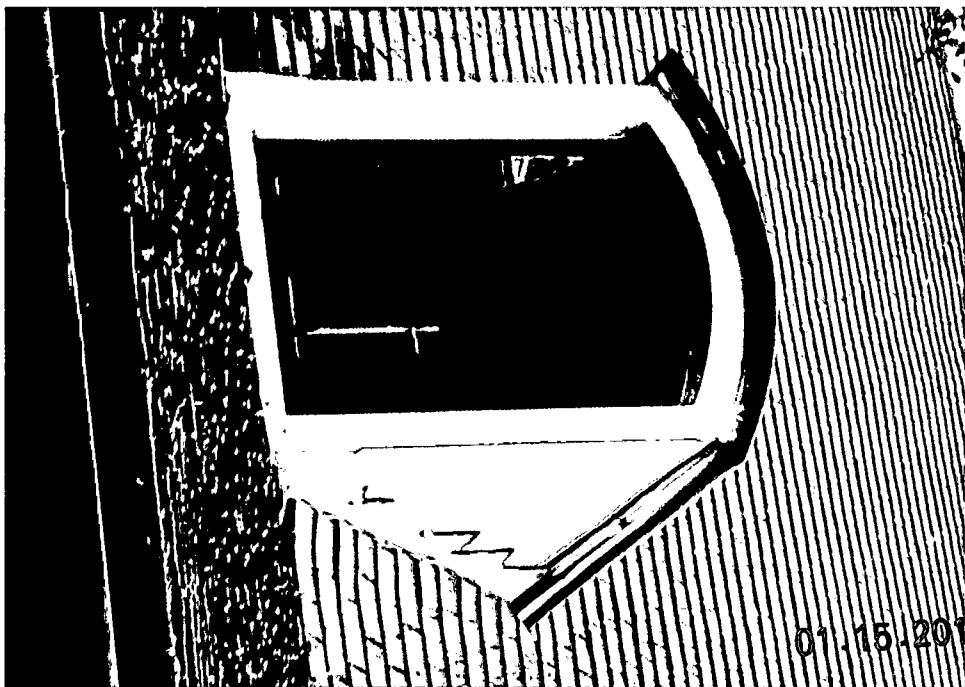
A5.0

(14)

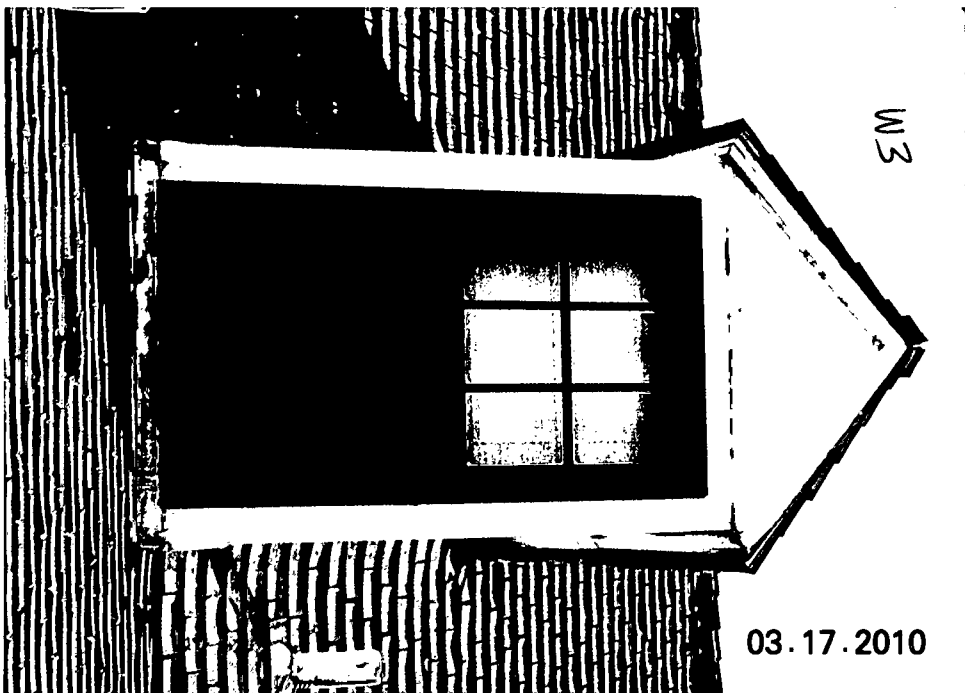
W2



North side W2



W3

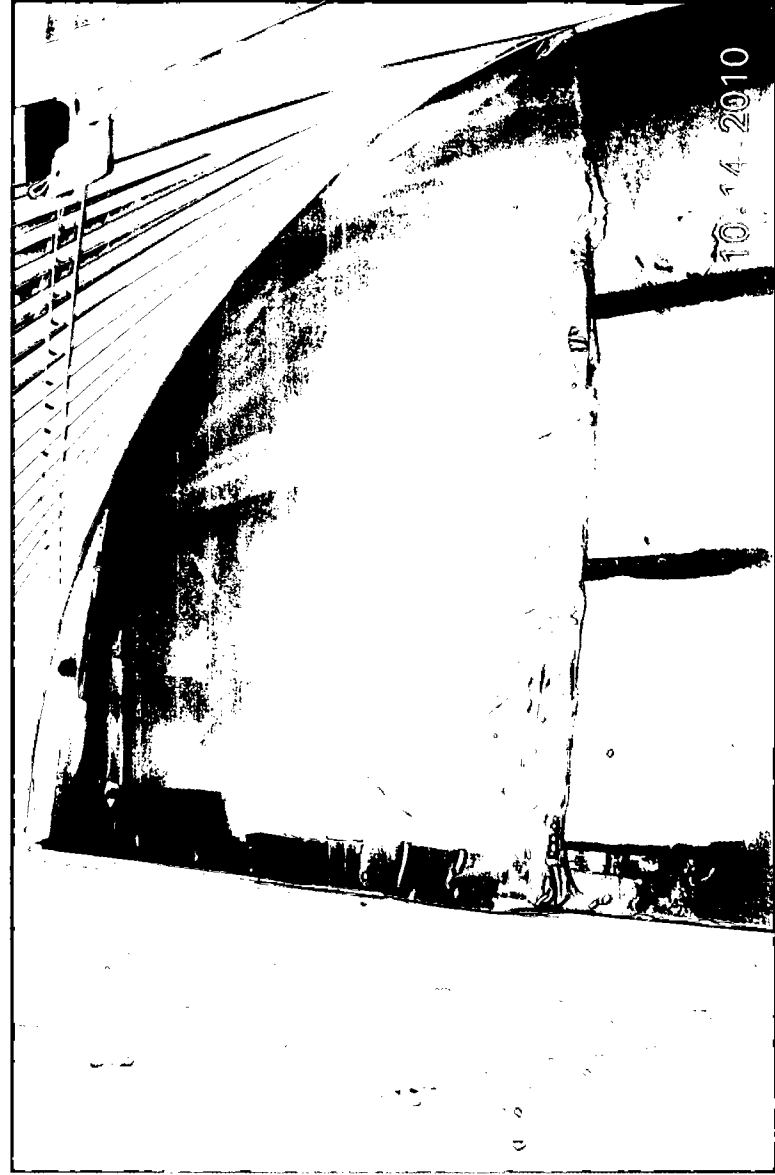
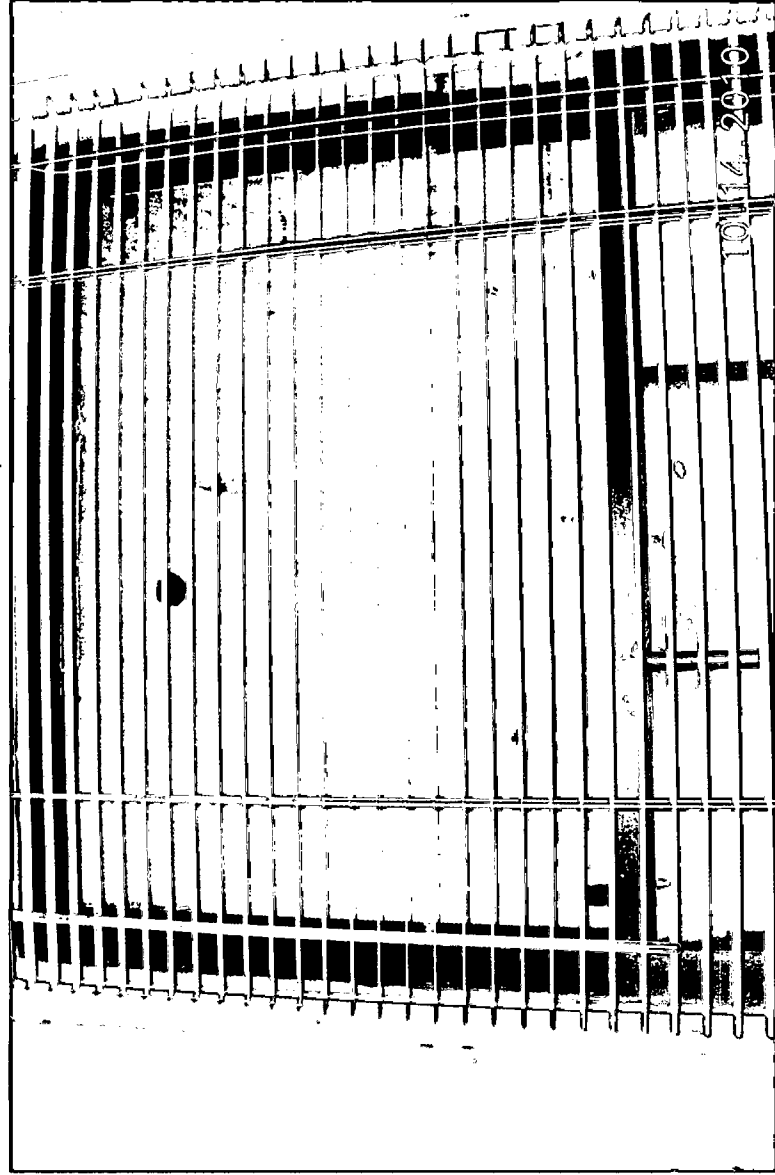


15



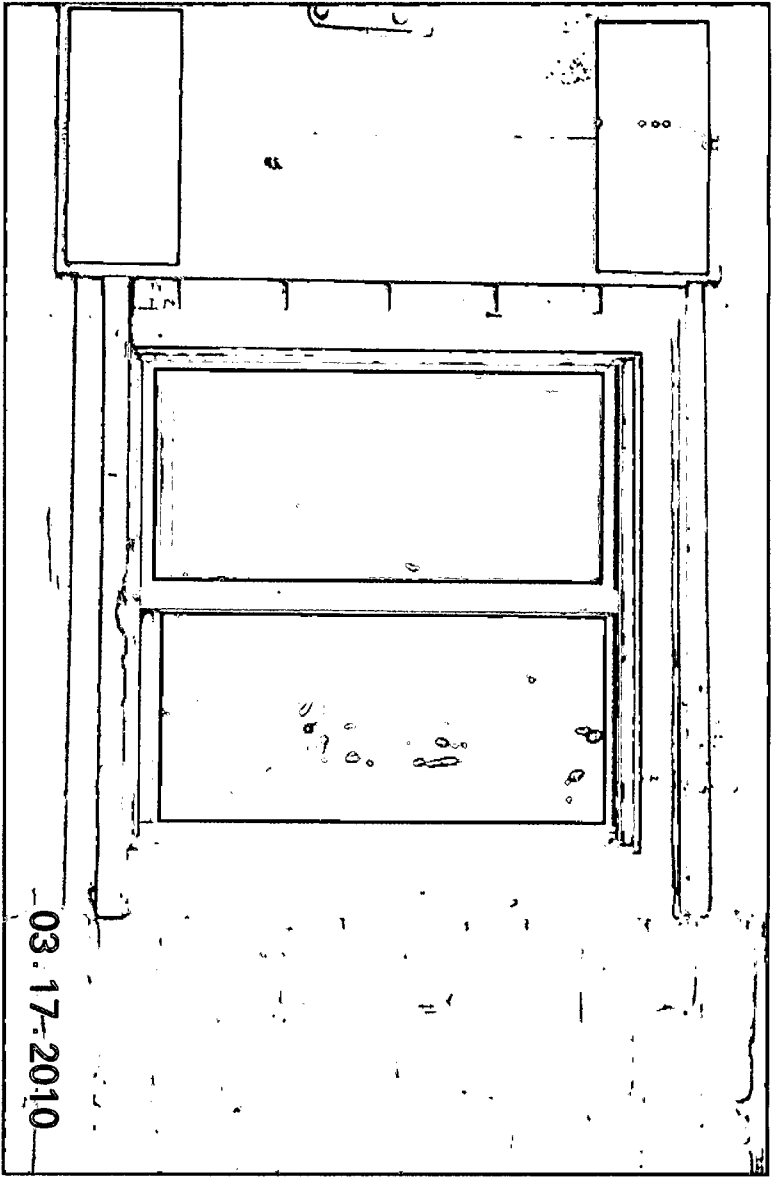
WZ
sath Elevation

WS South Elevation

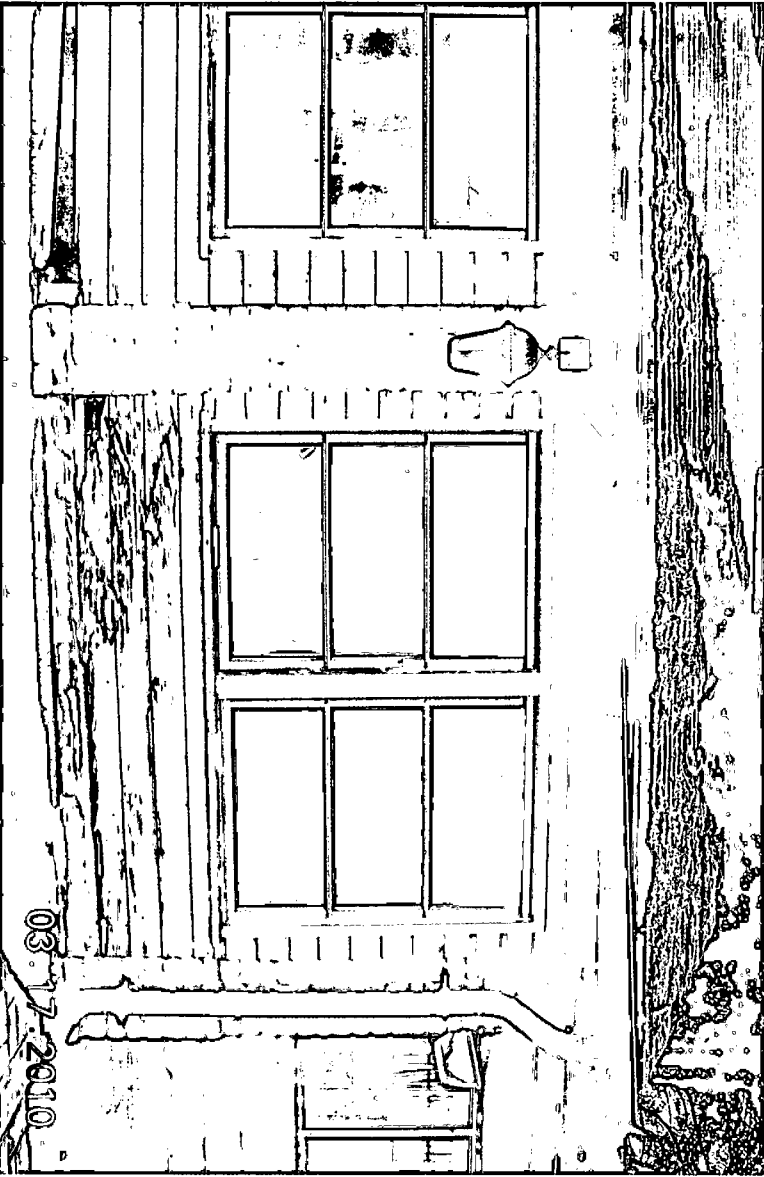




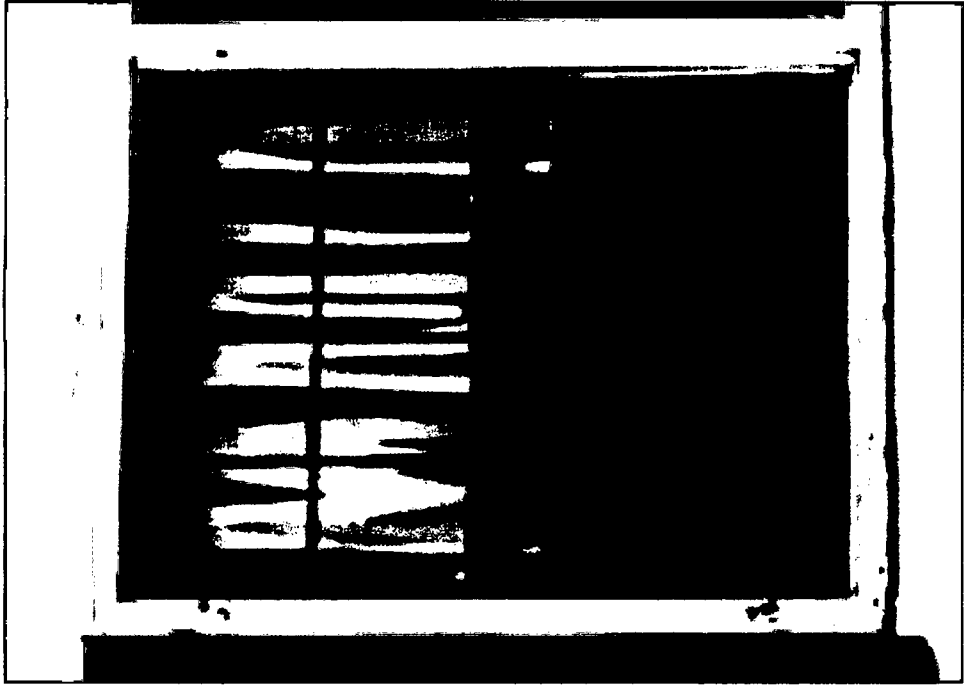
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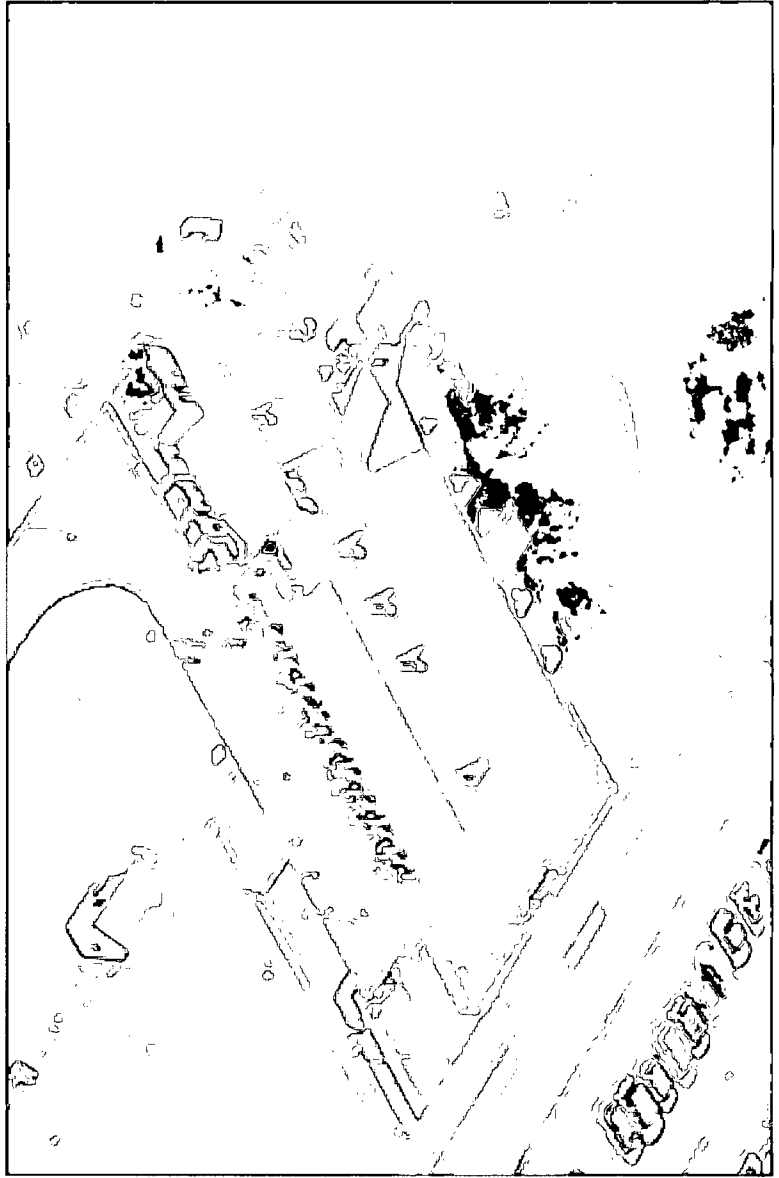
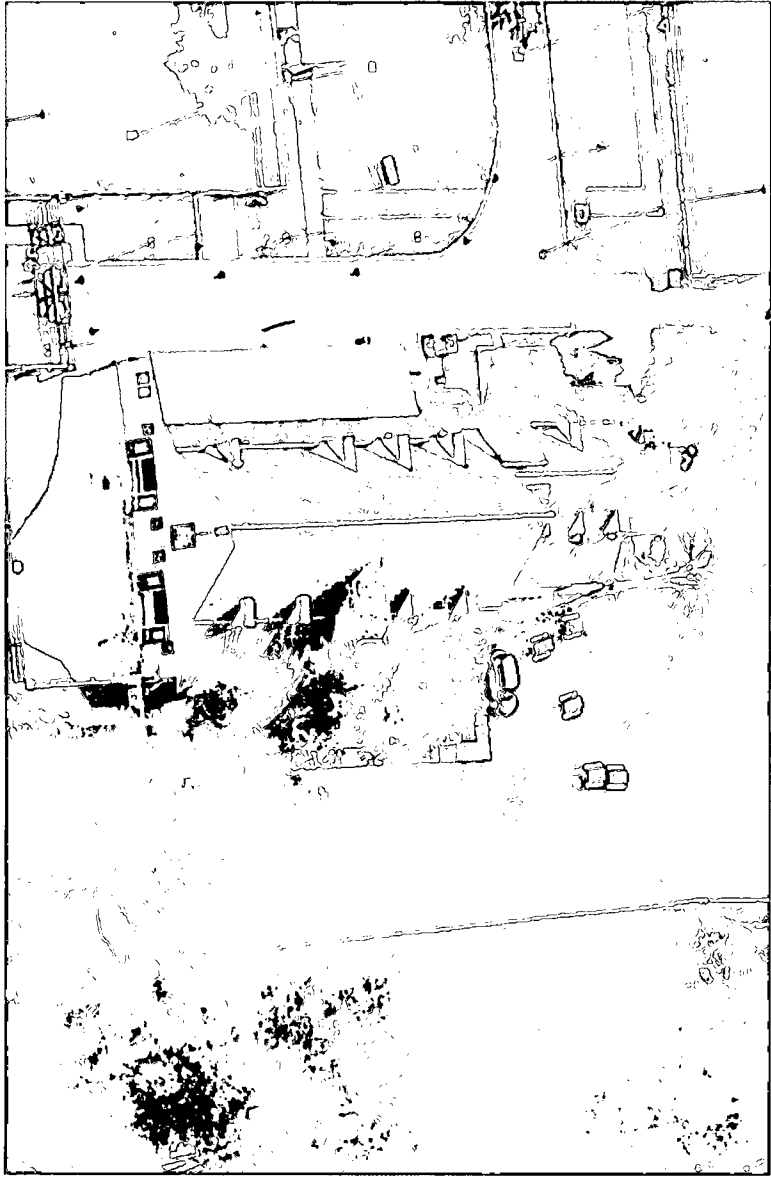
W11

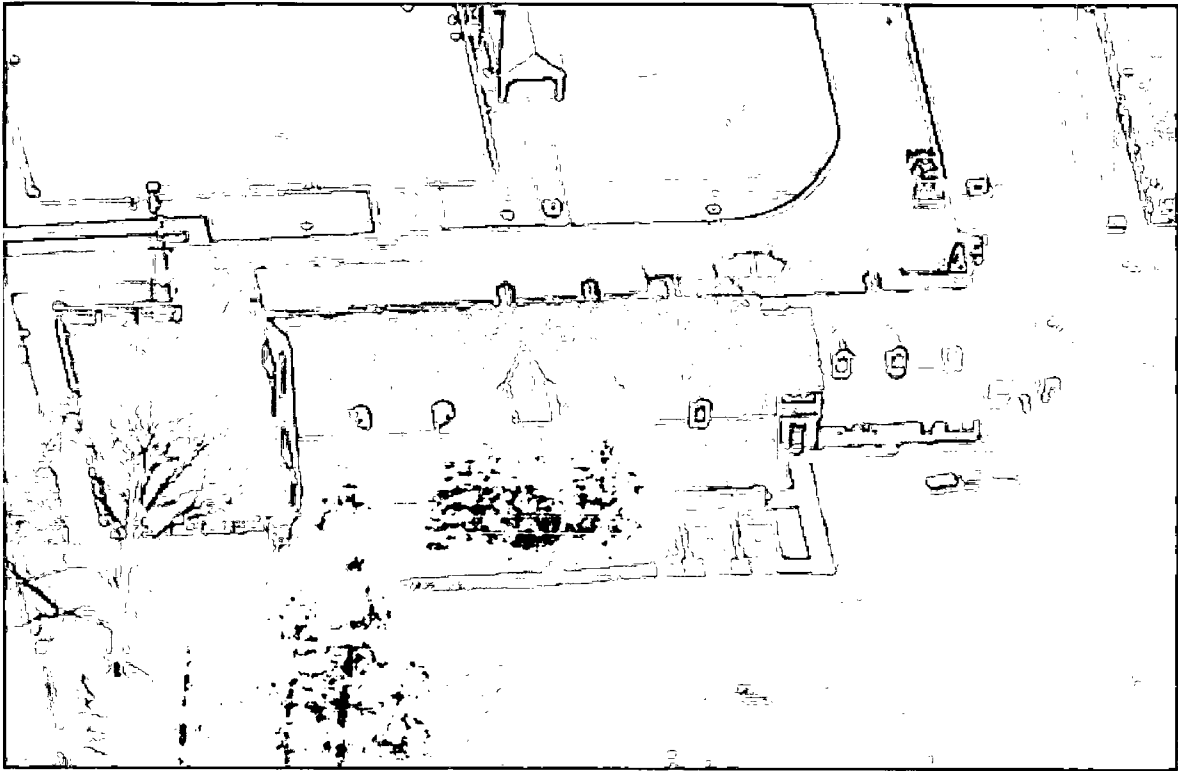


W13

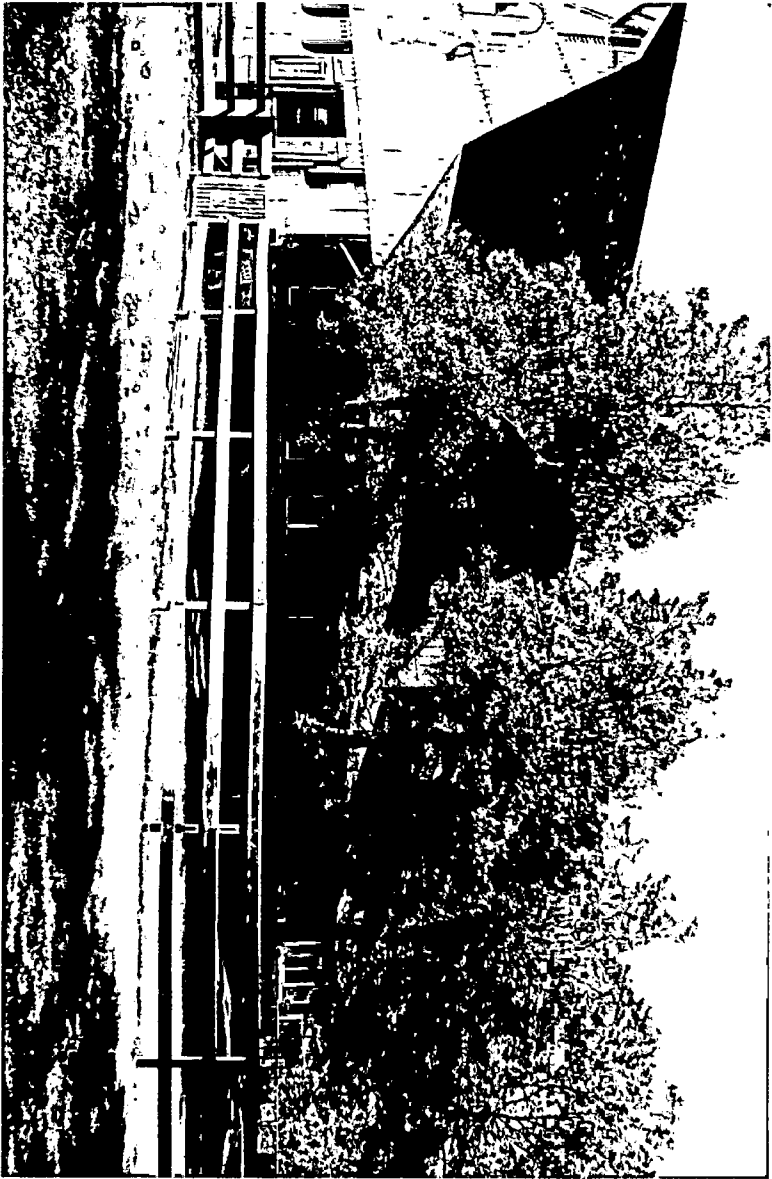


W14 close up



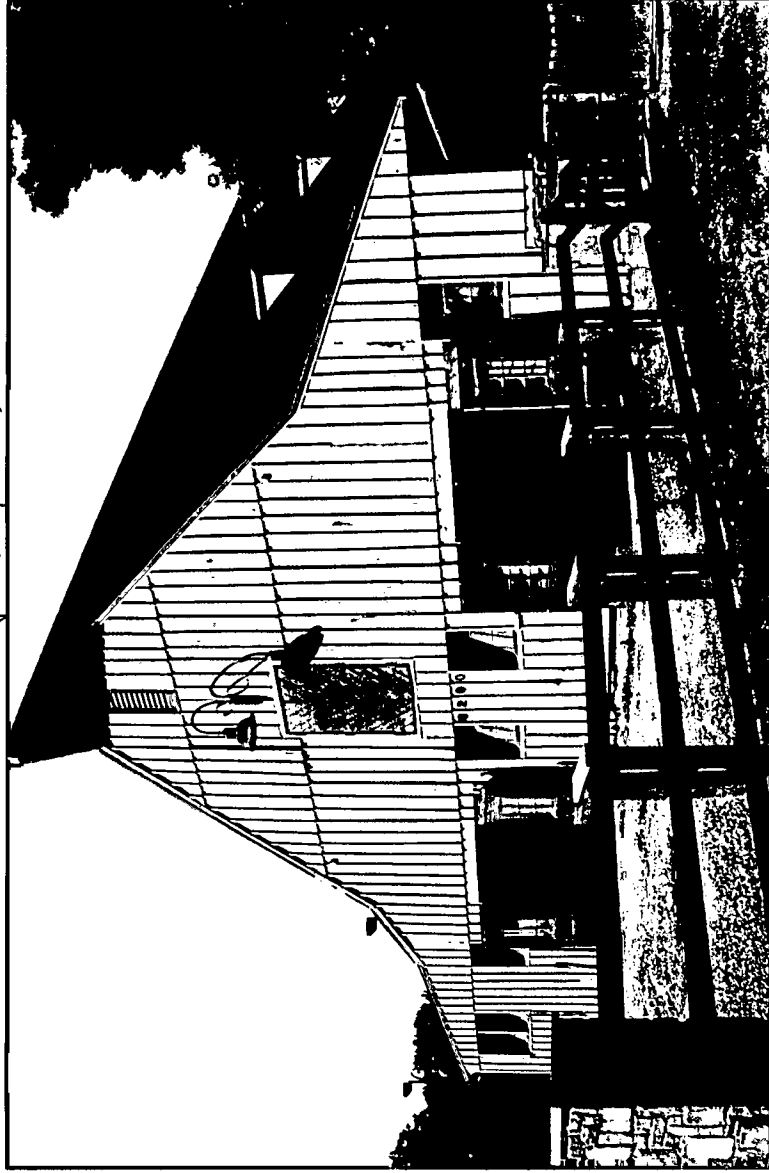




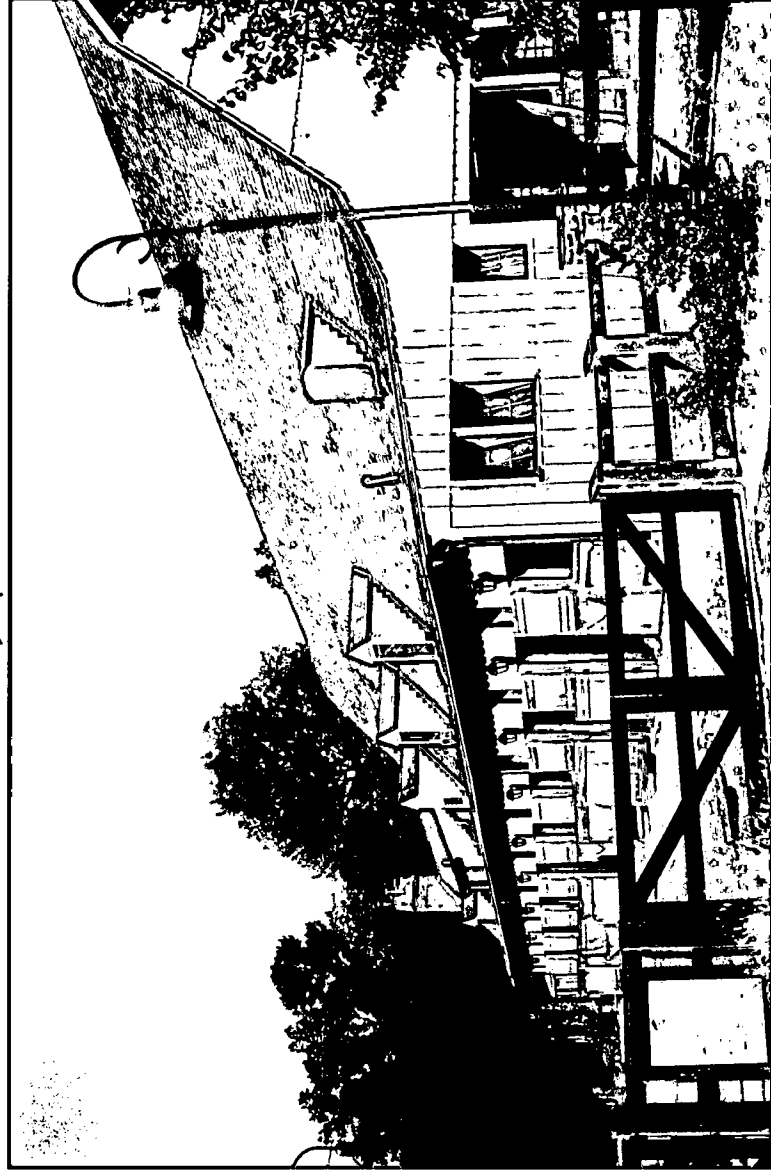


north side

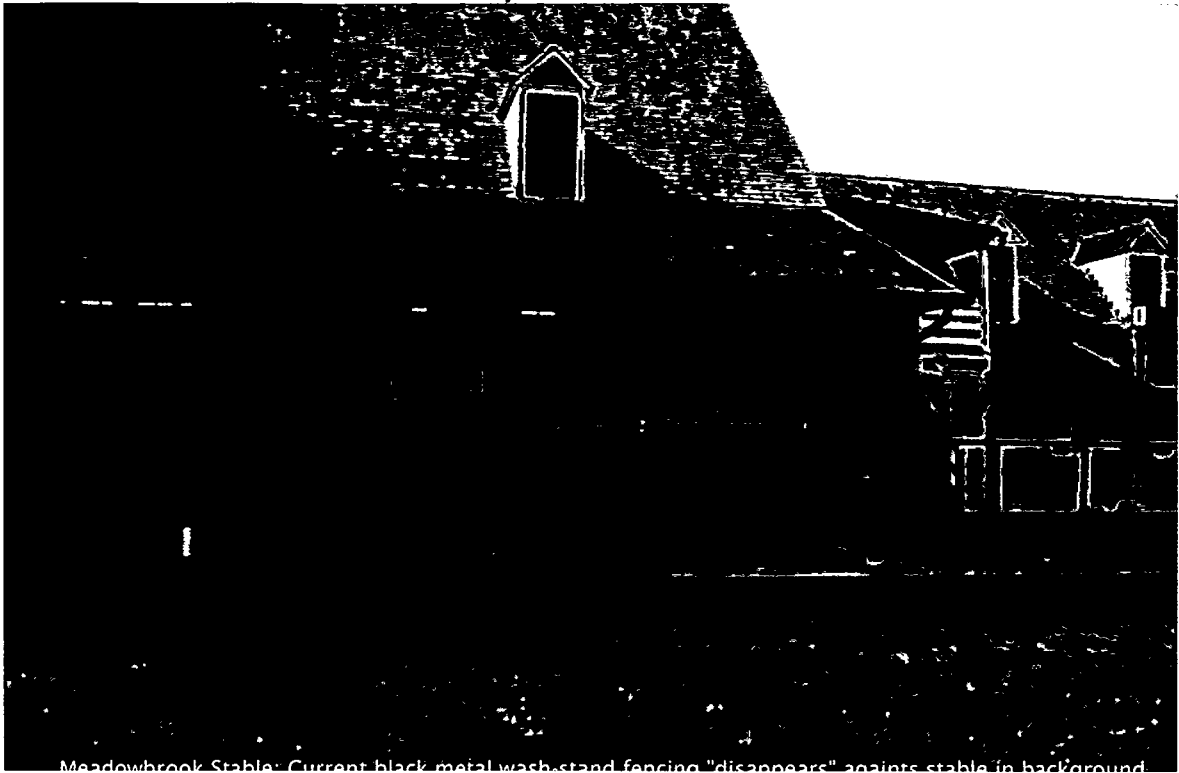
front (east)



south



north



Meadowbrook Stable: Current black metal wash stand fencing "disappears" against stable in background

south







Historic Preservation "Environmental Setting"
for Meadowbrook Stables.
Designated in 1985.

2008
Aerial

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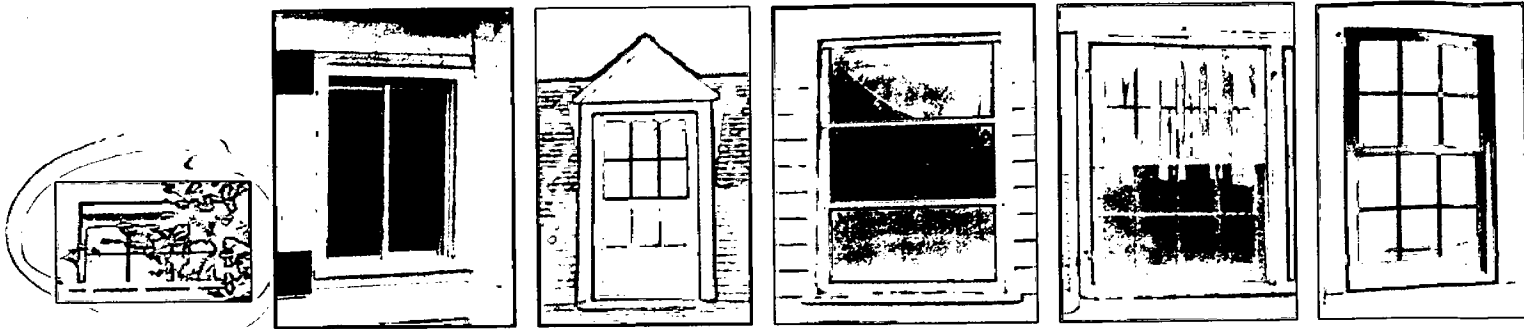
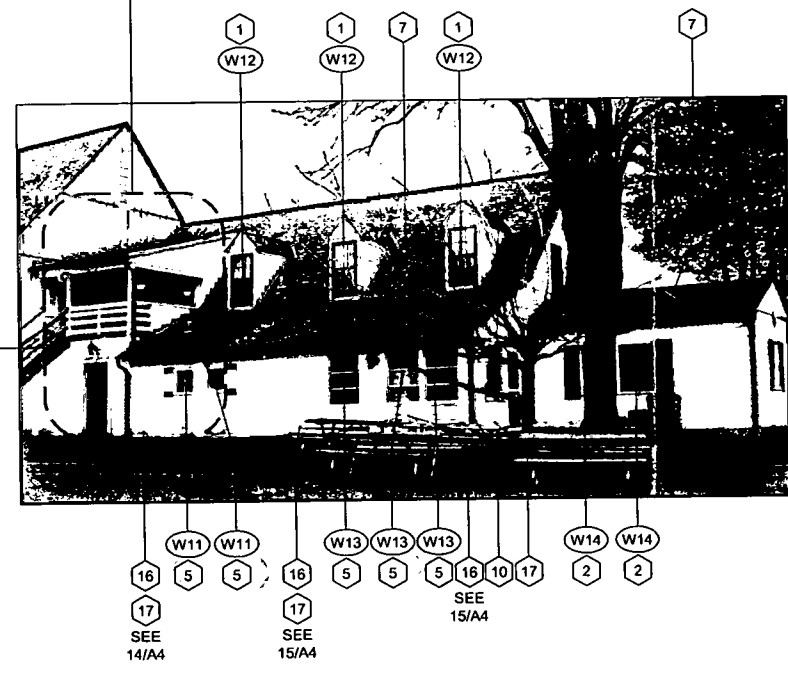
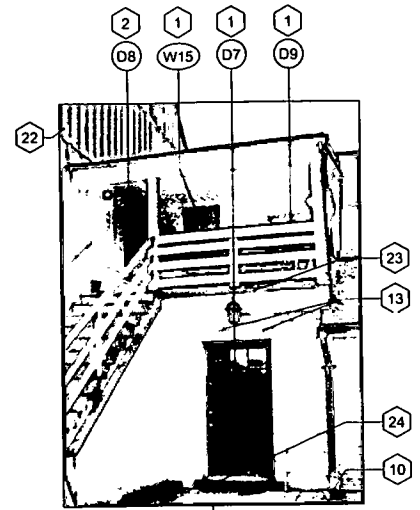
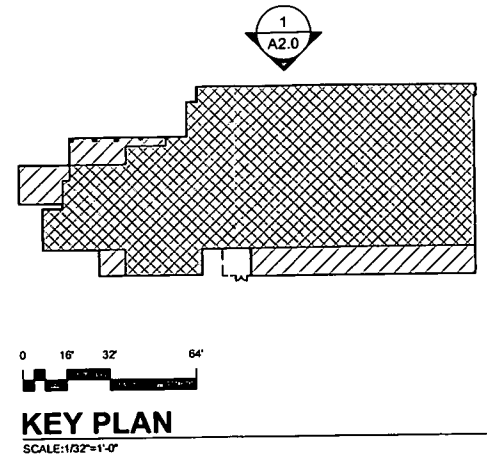
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REVISIONS

**PROPOSED
WORK ON NORTH
ELEVATION**

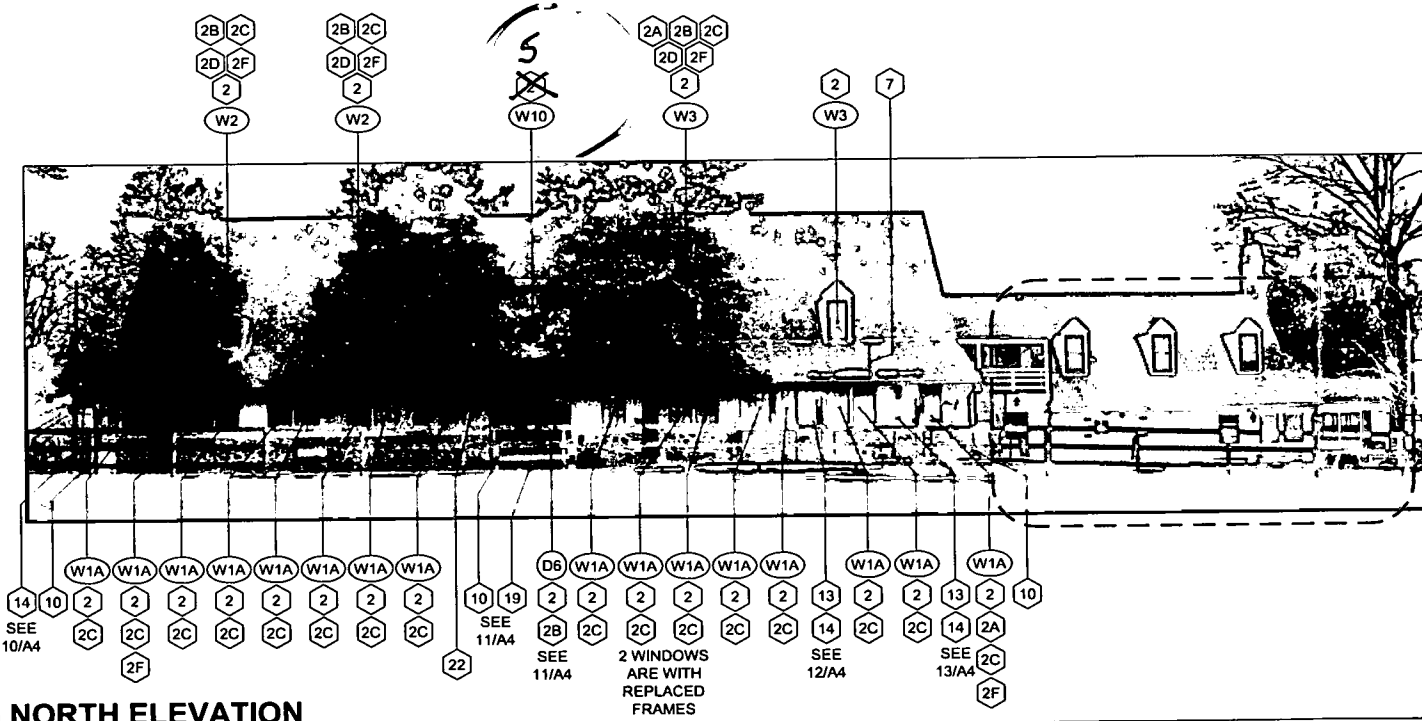
DATE: 4.29.2010
SCALE: AS NOTED

A2.0



- W10**
± 36" x 24"
LATER REPLACEMENT OF A MUCH LARGER ORIGINAL WINDOW.
REPLACE THIS WINDOW WITH THE NEW WINDOW SHOWN ON 23/A4.0 WHOSE DESIGN IS BASED ON A PHOTO OF THE ORIGINAL WINDOW.
- W11** ALUMINUM WINDOW
± 24" x 24"
NON-COMPATIBLE LATER ADDITION, NON-CONTRIBUTING ELEMENT
REPLACE WITH NEW 4-PANEL AWNING WINDOW SIMILAR TO "W8". ADJUST TO EXISTING OPENING SIZE, MATCH MILLWORK PROFILES. SEE 24/A4.0
- W12**
± 32" x 64"
LATER REPLACEMENT AT ORIGINAL WINDOW LOCATION
- W13** ALUMINUM WINDOW
± 36" x 50"
NON-COMPATIBLE LATER ADDITION, NON-CONTRIBUTING ELEMENT
REPLACE WITH NEW 1/2 DOUBLE HUNG WINDOW SIMILAR TO "W14". ADJUST TO EXISTING OPENING SIZE, MATCH MILLWORK PROFILES. SEE 25/A4.0
- W14**
± 36" x 46"
ASSUMED TO BE ORIGINAL TO THE BUILDING (NO DOCUMENTATION AVAILABLE)
- W15**
COMPATIBLE LATER ADDITION OR REPLACEMENT

WINDOW TYPES CONTINUED FROM DWG A1.0
NTS
ALL DIMENSIONS INDICATED ARE ROUNDED OFF NOMINAL DIMENSIONS MEASURED TO TRIM OR CASING. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS (TYP).



1 NORTH ELEVATION
NTS



- D6**
± 51" x 105" PAIR
ORIGINAL
- D7**
± 40" x 78"
COMPATIBLE REPLACEMENT AT ORIGINAL DOOR LOCATION
- D8**
± 30" x 80"
ASSUMED TO BE ORIGINAL (NO DOCUMENTATION AVAILABLE)
- D9**
± 40" x 80"
COMPATIBLE REPLACEMENT AT ASSUMED ORIGINAL DOOR LOCATION

ALL DIMENSIONS INDICATED ARE ROUNDED OFF NOMINAL DIMENSIONS MEASURED TO TRIM OR CASING. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS (TYP).
DOOR TYPES CONTINUED FROM DWG A1.0
NTS

LEGEND / KEYNOTES: (CONTINUED FROM DWG A1)

- 7** ON LOW-PITCH ROOFS; REPLACE EXISTING CEDAR SHINGLES W/ NEW CEDAR SHINGLES, THREE LAYER #1 18" PERFECTIONS WESTERN RED CEDAR W/ VERTICAL GRAIN AND STAINLESS STEEL FASTENERS. PROVIDE 2 LAYERS OF 30# ROOFING FELT UNDERLAYMENT OVER THE ROOF SHEATHING AND 48" WIDE FREEZE PROTECTION MEMBRANE ALONG THE ROOF EDGE, PRIOR TO INSTALLING NEW CEDAR SHINGLES.
- 8** REPAIR EXISTING COPPER DOWNSPOUTS AS NEEDED. REPLACE PARTS THAT CAN NOT BE REPAIRED IN KIND.
- 9** PROVIDE NEW COPPER GUTTER BRACKETS AND CLAMPS WHERE MISSING OR BROKEN.
- 10** PROVIDE NEW BURIED 4" BLACK PVC DRAIN LINE FROM DOWNSPOUTS TO DISCHARGE TO DAYLIGHT AT POSITIVE SLOPE.
- 11** PROVIDE NEW DRAIN AT DEPRESSED LANDING OUTSIDE THE DOOR, DISCHARGE TO DAYLIGHT AT POSITIVE SLOPE.
- 12** REPLACE DETERIORATED PARTS OF BOARD AND BATTEN SIDING WITH SALVAGED MATERIAL TO THE MAXIMUM EXTENT POSSIBLE (REPLACE FULL HEIGHT BOARDS AND BATTEN WITH DETERIORATED BOTTOM PARTS, SALVAGE AND RE-USE THE TOP PARTS OF THESE MEMBERS TO REPLACE THE SHORTER PIECES - SUCH AS THOSE BELOW WINDOW SILLS - WITH DETERIORATED BOTTOM PARTS).
- 13** REPLACE WOOD BOARDS AND/OR TRIM DETERIORATED BY WATER DAMAGE, WITH SALVAGED MATERIAL WHERE POSSIBLE.
- 14** INSPECT BUILDING FOR INSECT DAMAGE. REPLACE DAMAGED WOOD TRIM AND FRAMING COMPONENTS AS NEEDED.
- 15** PATCH AND SEAL / REPLACE, AND EXTEND MASONRY CURB UP, PLUG AND SEAL GAPS AT THE BASE OF EXISTING TRIM AND BOARDS.
- 16** PROVIDE NEW CONCRETE CURB, PLUG AND SEAL GAPS AT THE BASE OF EXISTING TRIM AND BOARDS.
- 17** REPAIR / REPLACE DETERIORATED SIDING IN KIND.
- 18** REPLACE HORIZONTAL BOARD WITH NEW DRIP BOARD TO MATCH.
- 19** PROVIDE NEW TRENCH DRAIN WITH CAST IRON REMOVABLE GRATING ALONG THE LENGTH OF THE DOOR AND TRIM, DISCHARGE TO DAYLIGHT.
- 20** REPAIR / REPLACE METAL FLASHING IN KIND.
- 21** REPAIR DETERIORATED COMPONENTS OF THE SOFFIT & RAFTERS.
- 22** SECURE, REPAIR AND SEAL SIDING PANELS/JOINTS.
- 23** REPAIR DAMAGED DECK EDGE.
- 24** REPAIR DAMAGED CONCRETE.

GENERAL :

REPAIR, RESTORE AND SEAL ALL WINDOW SILLS UNLESS NOTED OTHERWISE ELSEWHERE ON DRAWINGS.
PROVIDE NEW CONCEALED ALUMINUM FLASHING BELOW SILL WHERE EXISTING SILL IS REPLACED OR REMOVED FOR REPAIRS.
SEAL ALL JOINTS WITH JOINT SEALANT AND BACKER ROD UNLESS THE JOINT IS INTENDED TO BE LEFT CLEAR FOR WEEPING.
REMOVE AND REPLACE PLEXIGLAS OR WIRE MESH GUARDS ON THE INTERIOR FACE OF WINDOWS AT STALLS AS NEEDED TO PERFORM WINDOW RESTORATION WORK.
PRUNE TREES CLOSE TO THE BUILDING TO PREVENT CONTACT / OVERLAP WITH THE ROOF AND WALLS.

NOA

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Planning
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The
Maryland-National
Capital Park and
Planning Commission
Montgomery County Department
of Park and Planning,
9500 Brunett Ave.,
Silver Spring, MD 20901

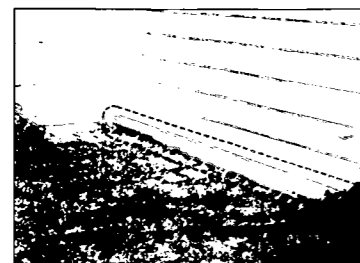
**MEADOWBROOK
STABLES**
8200
MEADOWBROOK LANE
CHEVY CHASE, MD 20815

REVISIONS

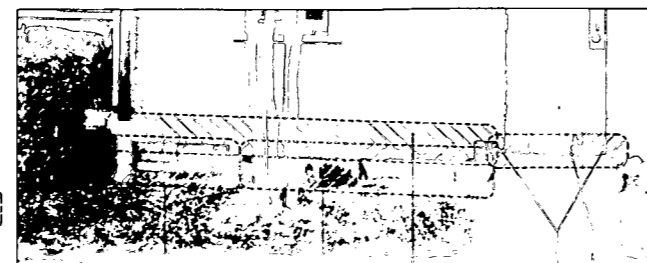
PROPOSED
WORK DETAILS

DATE: 4.29.2010
SCALE: AS NOTED

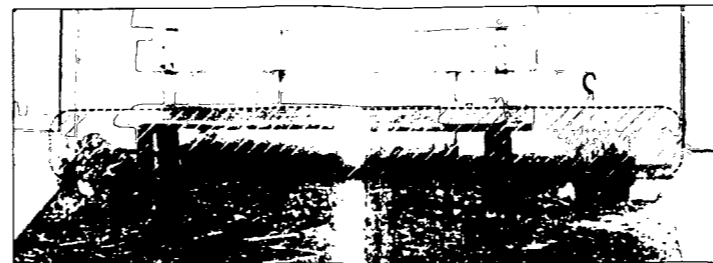
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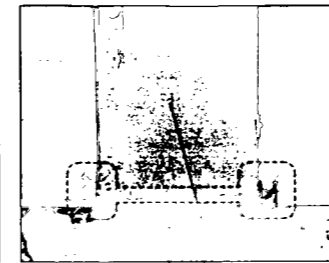
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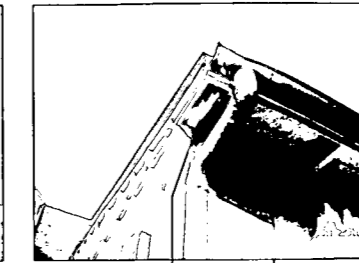
2 15 17 2B 2
REPAIR AND SEAL
REPLACE W/
BRICK TO MATCH
ADJACENT



3 17



4 2B 2



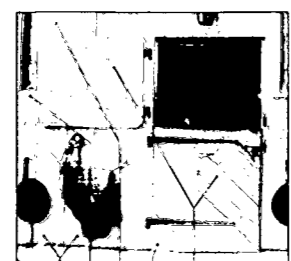
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SOUTH ELEVATION

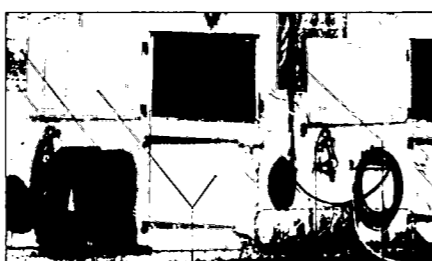
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6 2F 2 2B 2
2C



7 22 2F 2 2B 2
2C



8 2F 2 2 2B 12 2F 2 2B
2C



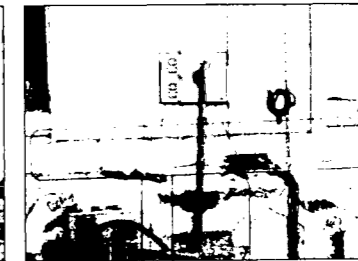
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2C



10 14



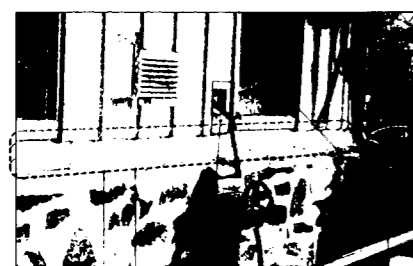
11 10 19 2
2B



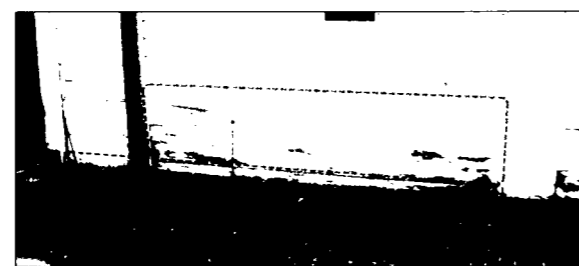
12 13 14
REPLACE WITH
NEW PAINTED
WOOD PLATE
AND SEAL ALL
JOINTS
INSPECT FOR PLUMBING LEAKS BEHIND SIDING PRIOR TO
INSTALLING NEW WOOD PLATE

SOUTH ELEVATION

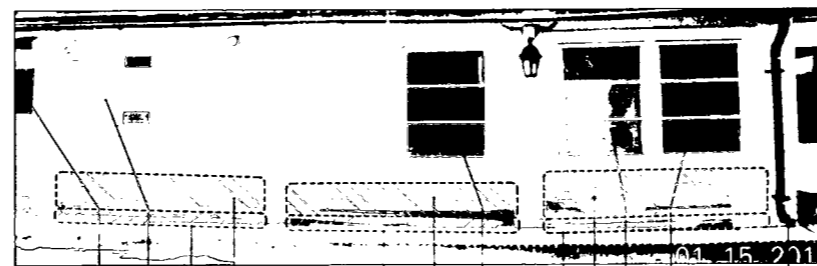
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13 13 14
REPLACE WITH NEW PAINTED
WOOD PLATE AND SEAL ALL
JOINTS
INSPECT FOR PLUMBING LEAKS BEHIND SIDING PRIOR TO
INSTALLING NEW WOOD PLATE



14 22 10 16 17
W1
2
2A 2C 2F



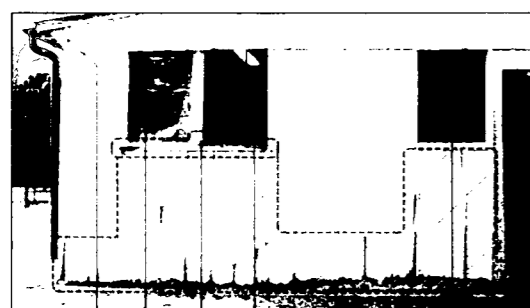
15 W11 W11 W13 W13 W13
5 5 16 17 5 16 17 5 5 10



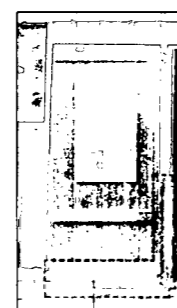
16 13 22
W18
2 2A
2B
2C 2F

NORTH ELEVATION

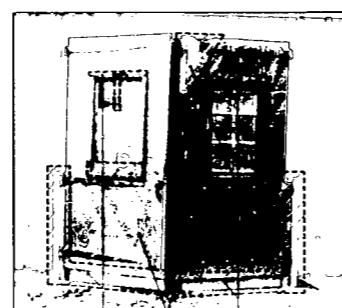
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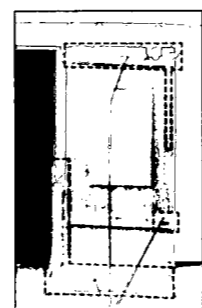
17 W16 W16 W17
22 2 2F 2 12 2
2C



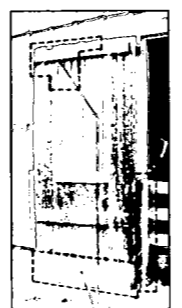
18 2B



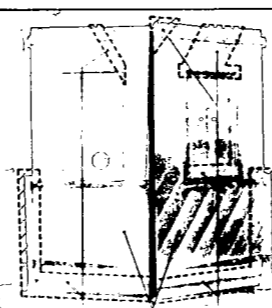
19 2B D10 2B
2 2A
2C 2D



20 2B



21 2B D10 2B
2 2A
2C 2D



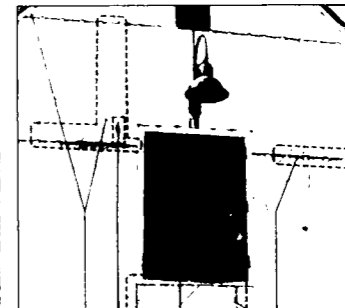
22 2B



23 2B



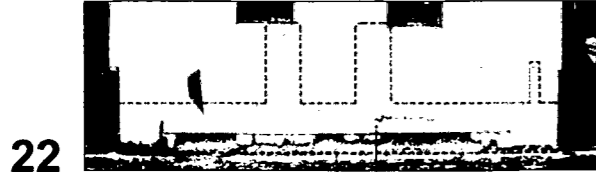
24 W17 12 22
2A 2B 2C 2D



25 22 13 D11 2 22

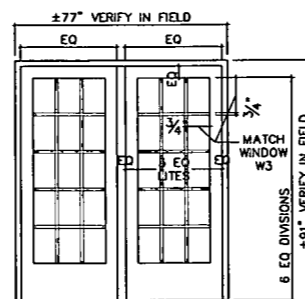
EAST ELEVATION

NTS



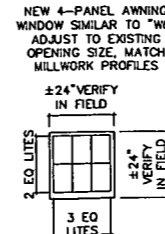
22 12 18

**23
REPLACEMENT
WINDOW FOR
W10
ON NORTH
ELEVATION**
SCALE: 3/8"=1'-0"

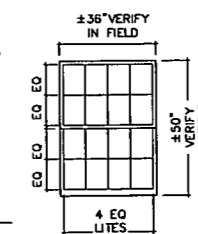


CASEMENT WINDOW, NON-OPERABLE BECAUSE OF LIFE SAFETY / CODE REASONS, DUE TO ABSENCE OF A GUARDRAIL. REMOVE EXISTING WINDOW AND INFILL PANELING TO EXPOSE AND VERIFY ORIGINAL OPENING. PROVIDE "DUPONT FLEXWRAP" FLASHING AROUND PERIMETER JOINT WITH ALLIM FLASHING BELOW NEW SILL SEAL PER MANUFACTURER'S RECOMMENDATIONS. ALSO PROVIDE SEALANT AND BACKER ROD EXCEPT AT WEEPS.

**24
REPLACEMENT
WINDOW FOR
W11
ON NORTH
ELEVATION**
SCALE: 3/8"=1'-0"



**25
REPLACEMENT
WINDOW FOR
W13
ON NORTH
ELEVATION**
SCALE: 3/8"=1'-0"



NEW 1/2" DOUBLE HUNG WINDOW SIMILAR TO "W14" - ADJUST TO EXISTING OPENING SIZE. MATCH MILLWORK PROFILES

SEE KEYNOTES LEGEND ON DWGS A1 & A2