



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Leslie Miles
Acting-Chairperson

Date: March 9, 2011

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #557276, construction of rear addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with conditions** at the January 26, 2011 meeting.

1. *The rear deck and stairs will be fabricated from wood or composite material that can be painted. Final details for the deck, stairs and patio area to be reviewed and approved by HPC staff prior to stamping the permit set of drawings.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Andrew Herman

Address: 22 West Irving Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Josh Rosenthal
Daytime Phone No.: 301 370 3592

Tax Account No.: 00455417

Name of Property Owner: Andrew Herman Daytime Phone No.: _____

Address: 22 W. Irving St. Chevy Chase MD 20815
Street Number City State Zip Code

Contractor: Cabin John Builders Phone No.: 301 637 3566

Contractor Registration No.: MHC # 128309

Agent for Owner: Josh Rosenthal Daytime Phone No.: 301 370 3592

LOCATION OF BUILDING/PREMISE

House Number: 22 Street: W. Irving

Town/City: Chevy Chase Nearest Cross Street: _____

Lot: P15 Block: 29 Subdivision: Chevy Chase Village (Sec. 2)

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 200,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

12/19/10
Date

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: [Signature] Date: 3/9/11

Application/Permit No.: 557276 Date Filed: _____ Date Issued: _____

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	22 West Irving Street, Chevy Chase	Meeting Date:	1/26/11
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	1/19/11
Applicant:	Andrew Herman	Public Notice:	1/12/11
Review:	HAWP	Tax Credit:	None
Case Number:	35/13-11C	Staff:	Josh Silver

PROPOSAL: Construction of rear addition

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application **with one condition:**

The rear deck and stairs will be fabricated from wood or composite material that can be painted. Final details for the deck, stairs and patio area to be reviewed and approved by HPC staff prior to stamping the permit set of drawings.

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Craftsman
DATE: 1916-27

PROPOSAL

The applicant is proposing to:

1. Remove an existing two-story porch at the rear of the house and construct a two-story addition across the rear elevation. The proposed addition is inset 7 1/2" from the original rear corners of the house and lower than the roof peak of the historic massing. The proposed material treatments for the addition include cedar shake and smooth synthetic board cladding, asphalt shingle roofing, and wooden interior/exterior, double-hung simulated-divided light windows and doors
2. Construct a new deck and patio at the rear of the house
3. Install one 6/1, wooden, double-hung simulated-divided light foundation level window in the right (east) elevation for egress.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several

documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Chevy Chase Village Historic District (Guidelines), Montgomery County Code Chapter 24A (Chapter 24A), and the Secretary of the Interior's Standards for Rehabilitation (Standards). The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District

The Guidelines define a Contributing Resource as "A resource which contributes to the overall character of the district and its streetscape, but which is of secondary architectural and historical significance. A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations. Contributing resources add to the overall streetscape due to their size, scale, and architectural character."

The Guidelines break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

"Lenient Scrutiny" means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

"Moderate Scrutiny" involves a higher standard of review than "lenient scrutiny." Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

"Strict Scrutiny" means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be "strict in theory but fatal in fact" i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

Specifically, the Guidelines state:

Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village's open park-like character.

Major additions should, where feasible, be placed at the rear of the existing structure so that they are less visible from the public right-of-way. Major additions which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited. For example, where lot size does not permit placement to the rear, and the proposed addition is compatible with the streetscape, it should be subject to moderate scrutiny for contributing resources, but strict scrutiny for outstanding resources.

Decks should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the proposed construction of a rear addition and the installation of a deck and patio at the rear of the house.

The proposed rear addition is differentiated from the historic massing through insets at the sides, a lower roof peak than the historic massing, vertical trim board and material treatments. The proposed addition is designed so that the original corners of the house remain visible and there are no changes to the historic massing. The proposed material treatments, windows and doors are appropriate for a rear addition to a Contributing Resource property in the Chevy Chase Village Historic District.

Staff supports the proposed installation of one foundation level window in the east elevation of the historic massing. The proposed window installation will have negligible impact on the streetscape of the historic district due to the location of the window near grade and toward the rear of the house.

Staff recommends a wood or composite material for the rear deck and stairs that can be painted for consistency with the front porch of the house.

Staff finds the proposed rear addition and other alterations as being consistent with the Chapter 24A-8(b) (1) & (2) and in keeping with the Chevy Chase Village *Guidelines* and the Secretary of the Interior's *Standards for Rehabilitation*. Staff recommends approval of this HAWP application with the condition specified on Circle 1.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with the condition specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2nd FLOOR ROCKVILLE MD 20850
240 777-1271

DPS - #8

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301/563-3400

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Daytime Phone No.: 301 370 3592

Tax Account No.: 00455417
Name of Property Owner: Andrew Herman
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Contractor: Cabin John Builders Phone No.: 301 637 3566
Contractor Registration No.: MHC # 128309
Agent for Owner: Josh Rosenthal Daytime Phone No.: 301 370 3592

LOCATION OF BUILDING/PREMISE

House Number: 22 Street: W. Irving
Town/City: Chevy Chase Nearest Cross Street:
Lot: P15 Block: 29 Subdivision: Chevy Chase Village (Sec. 2)
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable, A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other.

1B. Construction cost estimate: \$ 200,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other
2B. Type of water supply: 01 WSSC, 02 Well, 03 Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent
Date: 12/19/10

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: 557276 Date Filed: Date Issued:

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1914 White Siding and stucco home located in the clay chase
historic District. There are no plans to alter the front
elevation of the home and the rear addition will be
constructed to compliment the existing home

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Rear Addition to the home of approximately 12' in depth
across the whole home to accommodate new master suite upstairs
and kitchen on main level. Existing 2 story porch (+/- 8') in depth
to be removed. New exterior features to match existing home
as close as possible. No change to front elevation and minimal to sides

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Andrew Herman
22 W. Irving St.
Chevy Chase, MD
20815

Owner's Agent's mailing address

Josh Rosenthal
6410 82nd Pl
Cabin John, MD 20818

Adjacent and confronting Property Owners mailing addresses

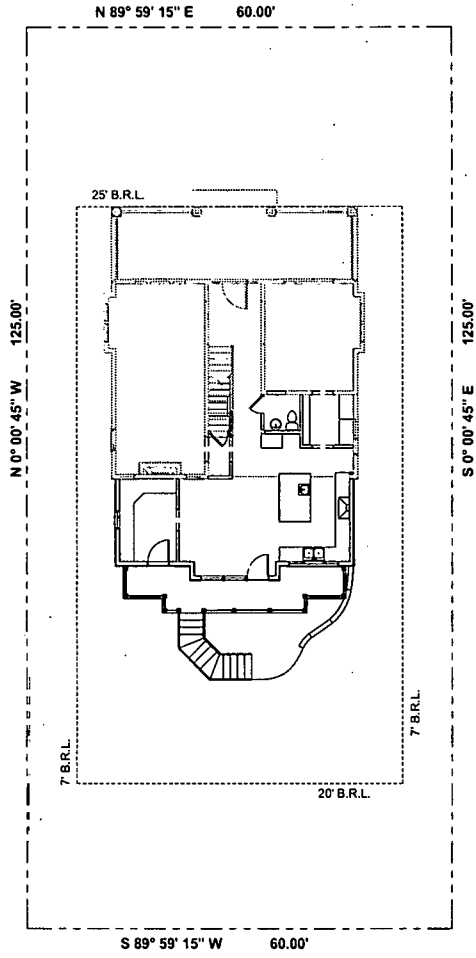
David Williams
24 W. Irving St.
Chevy Chase, MD
20815

James Sommerville
20 W. Irving St.
Chevy Chase, MD
20815

Daniel Waterman
15 Hesketh St.
Chevy Chase, MD
20815


Duane Gibson
23 W. Irving St.
Chevy Chase, MD
20815

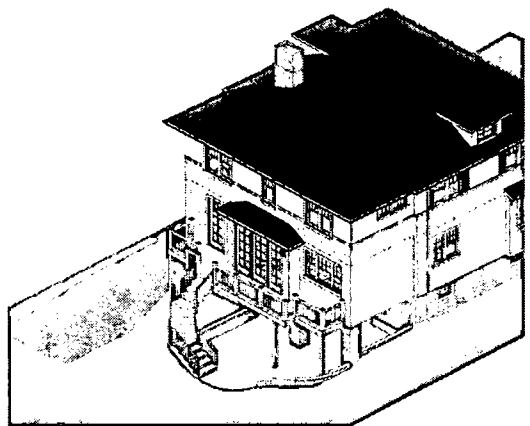
8



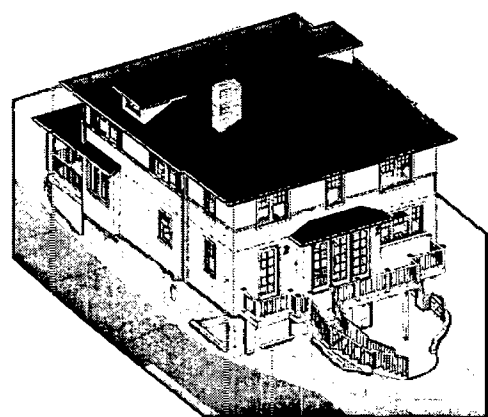
1 Schematic Site Plan
1/8" = 1'-0"

D.D.

 MANGAN GROUP ARCHITECTS	
704 CARROLL AVE SUITE 2 TAKOMA PARK, MD 20912 P. 301.287.7600 F. 301.287.7611 WWW.MANGANGROUP.COM	
BUILDER: CABIN JOHN BUILDERS	
PROJECT: HERMAN RESIDENCE 29 BRUNN ST CHEVY CHASE, MD 20815	
ISSUE: PERM DATE: 11.17.2011 12:33AM Revision Schedule	D.D.
DRAWING: Schematic Site Plan	
Project #: 10070 Drawn by: J. M. By: JEB	DWG: 0.5



1 BIRDS-EYE REAR PERSPECTIVE #2



2 BIRDS-EYE REAR PERSPECTIVE

DRAWING LIST		SHEET NO.	PRELIM 11.15.2010	IRB 12.15.2010	IRB 1.26.2011	PERMIT	CONST.
Cover Sheet	0.0		X	X			
Specifications	0.1						
Schedules	0.2						
EX. PLANS	0.3	X	X	X			
EX. ELEVATIONS	0.3a	X	X	X			
DEMO PLAN	0.4						
Schematic Site Plan	0.5	X	X	X			
BASEMENT AND FIRST FLOOR PLANS	1.0	X	X	X			
SECOND FLOOR AND ROOF PLAN	1.2	X	X	X			
ELEVATIONS	2.0	X	X	X			
ELEVATIONS	2.1	X	X	X			
BLDG SECTIONS	3.0						
BLDG SECTIONS	3.1						
FIRST FL. DECK FRAMING PLAN	4.0						
SECOND FL. DECK FRAMING PLAN	4.1						
ROOF FRAMING PLAN	4.2						
BRACED PANEL PLANS	4.3						
SD-1 PORTAL FRAME DETAILS	4.4						
ELECTRICAL PLANS	5.0						
DETAILS	D.1						
DETAILS	D.2						
DETAILS	D.3						

MANGAN GROUP
ARCHITECTS

104 CARRILL AVE
SUITE 3
FAADMA PARK, MD 20712
P: 301.249.7943
F: 301.249.7911
WWW.MANGANGROUP.COM

CABIN JOHN BUILDERS

HERMAN RESIDENCE

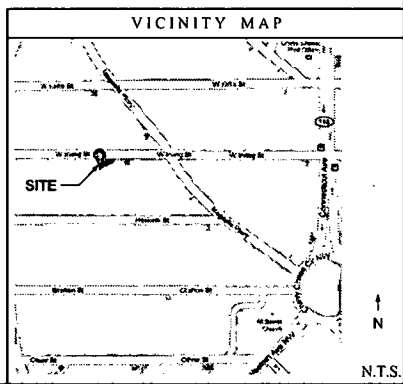
24 PINE ST.
CHEVYCHASE, MD 20815

ABBREVIATIONS	
AC	ACROLYLIC FINISH
AD	ADHESIVE
AF	ASBESTOS FIBER
AG	ASBESTOS GRASS
AI	ALUMINUM
AL	ALUMINUM LATH
ALC	ALUMINUM CLADDING
ALD	ALUMINUM DRAINAGE
ALF	ALUMINUM FINISH
ALG	ALUMINUM GLASS
ALH	ALUMINUM HANDRAIL
ALI	ALUMINUM INSULATION
ALJ	ALUMINUM JOINT
ALK	ALUMINUM KICK
ALL	ALUMINUM LATH
ALM	ALUMINUM MESH
ALN	ALUMINUM NAIL
ALO	ALUMINUM OILING
ALP	ALUMINUM PANEL
ALQ	ALUMINUM QUARTZ
ALR	ALUMINUM RAIL
ALS	ALUMINUM SILL
ALT	ALUMINUM TIE
ALU	ALUMINUM
ALV	ALUMINUM VENEER
ALW	ALUMINUM WOOD
ALX	ALUMINUM X
ALY	ALUMINUM Y
ALZ	ALUMINUM Z

DRAFTING SYMBOLS	
DRAWING NUMBER	DRAWING TITLE
View Name	SCALE
SHEET NUMBER	DRAWING INDICATOR
BUILDING SECTION	DETAIL SECTION
ELEVATIONS	LEVEL
DETAIL CALLOUTS	COLUMN GRID

PROJECT TEAM	
ANDREW AND KATIE HERMAN 22 IRVING STREET CHEVYCHASE, MD 20815	OWNER
MANGAN GROUP ARCHITECTS 709 CARROLL AVE SUITE 3 TACOMA PARK, MD 20812 P: 301-249-7900 F: 301-249-7911 CONTACT: JOHN MANGAN	ARCHITECT
CABIN JOHN BUILDERS 9410 BOW PLACE CABIN JOHN, MD 20818 P: (301) 837-2086 F: (301) 846-6334 CONTACT: JOSH ROSENTHAL	CONTRACTOR
KNF ENGINEERING, PLLC 4135 DRY RIDGE TERRACE APT. 204 BROADLANDS, VA 20148 P: (703) 840-3189 CONTACT: KYLE FRANZEN	STRUCTURAL ENGINEER
POTOMAC VALLEY SURVEYS, LLC 2010 FISHER AVENUE 1047 POOLESVILLE, MD 20837 P: (800) 348-0300 F: (301) 348-0411 CONTACT: DAVID MOWATT	CIVIL ENGINEER

2009 INTERNATIONAL RESIDENTIAL CODE
2009 INTERNATIONAL PLUMBING CODE
2009 INTERNATIONAL MECHANICAL CODE
2009 INTERNATIONAL ELECTRICAL CODE



MATERIALS LEGEND		
BRICK	GRAVEL	PLANK SIDING
CONCRETE	EARTH	ASPHALT SHINGLES
CMU	EARTH - COMPACTED	STONE

DETAIL CALLOUTS		COLUMN GRID	
WALL TYPE TAG	DOOR TAG	INTERNAL PARTITIONS	OVERALL
SHEET NOTES	WINDOW TAG	WINDOW/DOOR CENTER LINES	BUILDING BREAKS
HEIGHT TRANSITION	REVISION TAG	ALIGN	ALIGN SURFACES
CENTERLINE		DIMENSION STRING::	

SQUARE FOOTAGE	
(PER SQUARE FOOTAGE -METHOD FOR CALCULATING: ANSI Z765-2003)	
STATEMENT OF FINISHED SQUARE FOOTAGE:	
FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.	
1373 SF	Second Floor Level
1419 SF	First Floor Level
2793 SF	Total Finished Above Grade
3736 SF	Total Finished Area
863 SF	Basement (Finished & Below Grade)
73 SF	Basement (Unfinished & Below Grade)
EXTENT OF WORK PER FLOOR BY SQUARE FOOTAGE:	
BASEMENT LEVEL:	
863 SF - REMODELED AREA - FINISHED SPACE	
73 SF - REMODELED AREA - UNFINISHED SPACE	
FIRST FLOOR LEVEL:	
780 SF - EXISTING FINISHED SPACE - TO REMAIN	
180 SF - REMODELED AREA - FINISHED SPACE	
433 SF - NEW CONSTRUCTION - FINISHED SPACE	
353 SF - EXISTING FRONT PORCH	
157 SF - NEW DECK - AT REAR	
SECOND FLOOR LEVEL:	
781 SF - EXISTING FINISHED SPACE - TO REMAIN	
176 SF - EXISTING SCREENED PORCH - RECONFIGURED TO BE FINISHED/CONDITIONED SPACE	
178 SF - REMODELED AREA - FINISHED SPACE	
328 SF - NEW CONSTRUCTION - NEW FINISHED SPACE	
SQUARE FOOTAGE BEFORE AND AFTER CONSTRUCTION:	
PRE-CONSTRUCTION	POST-CONSTRUCTION
868 SF	Second Floor Level
176 SF	Screened Porch
875 SF	First Floor Level
176 SF	Rear Porch
352 SF	Front Porch
518 SF	Basement Level (Unfinished)
440 SF	Basement Level (Finished)
1373 SF	Second Floor Level
1149 SF	First Floor Level
352 SF	New Deck
352 SF	Front Porch
856 SF	Basement Level (TOTAL)
883 SF	Basement Level (Finished)
2774 SF	Total Finished Area
2793 SF	Total Finished Above Grade
3736 SF	Total Finished Area

PROJECT: HERMAN RESIDENCE

DESIGNER: MANGAN GROUP ARCHITECTS

DATE: 11.15.2010

SCALE: 1/8" = 1'-0"

DRAWING: Cover Sheet

DWG: 0.0

6



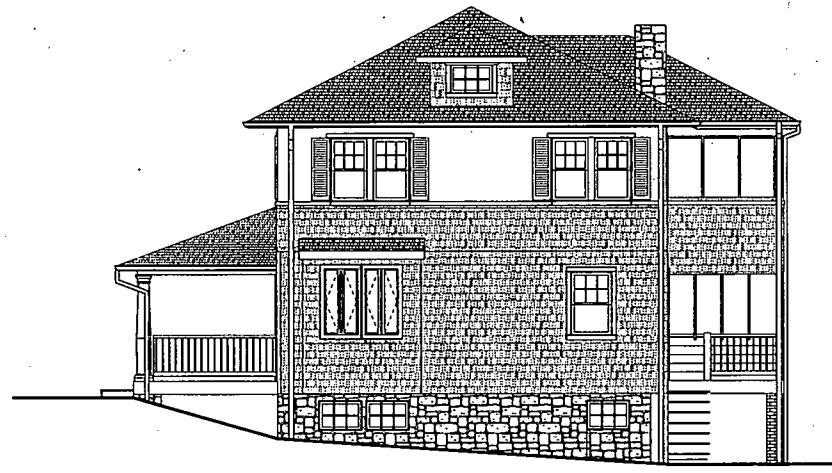
1. EXISTING FRONT ELEVATION
1/4" = 1'-0"



2. EXISTING LEFT ELEVATION
1/4" = 1'-0"



3. EXISTING REAR ELEVATION
1/4" = 1'-0"



4. EXISTING RIGHT ELEVATION
1/4" = 1'-0"

NOTE:
THE ARCHITECT DOES NOT REPRESENT NOR WARRANT THE ABSOLUTE ACCURACY OF THE
DELINEATION OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS AS ACTUAL FIELD
CONDITIONS MAY VARY. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR
TO THE COMMENCEMENT OF THE WORK AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF
ANY AND ALL DISCREPANCIES UPON SUCH DISCOVERY.

MANGAN GROUP
ARCHITECTS
204 CARRIAGE AVE
SUITE A
TAKOMA PARK, MD 20912
P: 301.589.7400
F: 301.589.7911
WWW.MANGANGROUP.COM

BUILDER:
CABIN JOHN BUILDERS

PROJECT:
HERMAN RESIDENCE
22 HERMAN ST
CHEVY CHASE, MD 20815

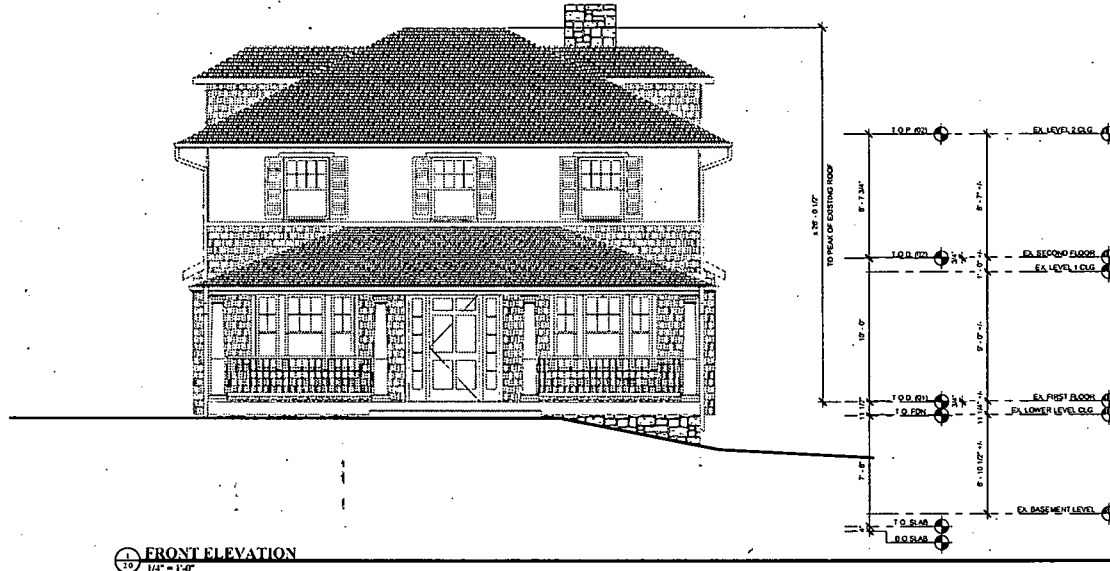
ISSUE: **D.O.**
DATE: 1.17.2011 12:25 PM
Revision Schedule

DRAWING:
EX. ELEVATIONS

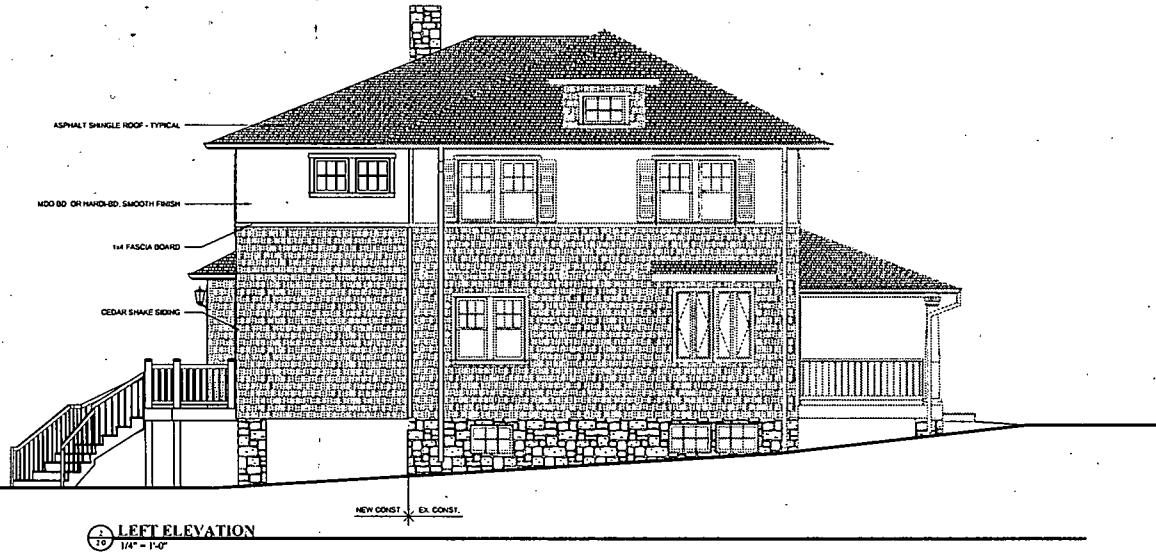
Project #110070
Drawn by: **DM** / SA by: **JJA**
DWG: **0.3a**

D.D.

10



1 FRONT ELEVATION
1/4" = 1'-0"



2 LEFT ELEVATION
1/4" = 1'-0"

MANGAN GROUP
ARCHITECTS

704 CARRILL AVE
SUITE 2
TAKOMA PARK, MD 20912
P: 301.587.7600
F: 301.587.7611
WWW.MANGANGROUP.COM

BUILDER:
CABIN JOHN BUILDERS

PROJECT:
HERMAN RESIDENCE
22 DRIVING ST.
CHERRY CHASE, MD 20815

ISSUE:
D.D.

PLAN
DATE: 11-2011 11:45 AM
Revision Schedule

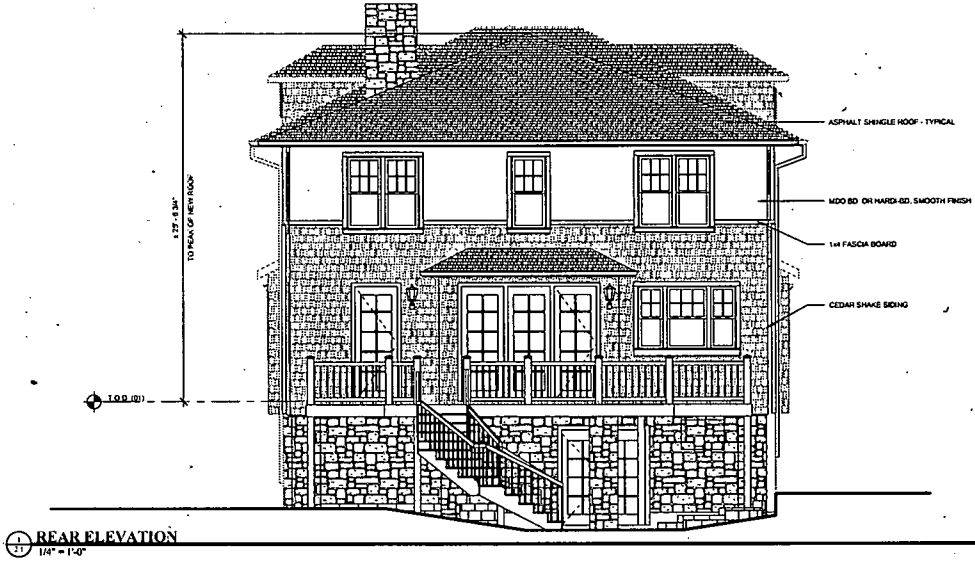
DRAWING:
ELEVATIONS

Project #: 10098
Drawn by: [] SA by: []
DWG:
2.0

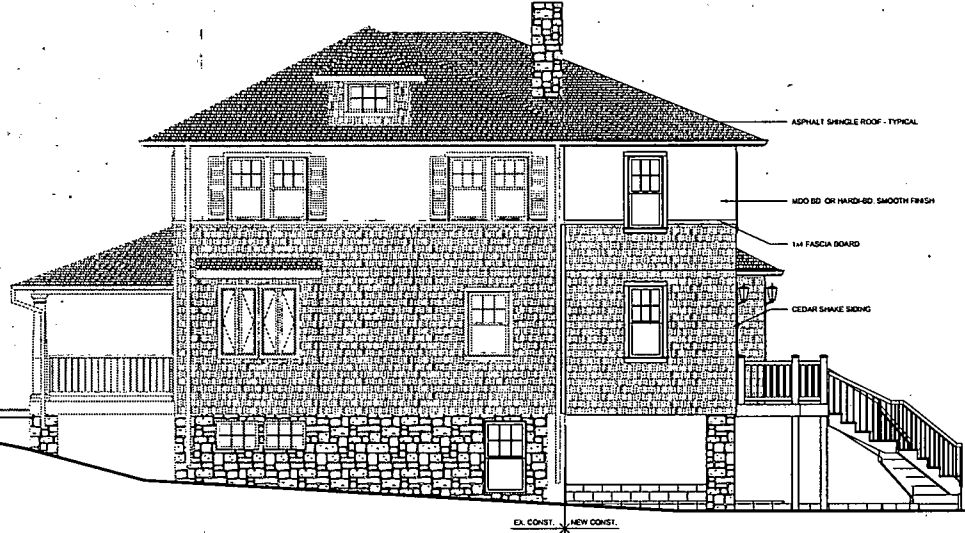
D.D.

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11



21 REAR ELEVATION
1/4" = 1'-0"



21 RIGHT ELEVATION
1/4" = 1'-0"

MANGAN GROUP
ARCHITECTS

7034 CARRILL LANE
SUITE 3
LANSING PARK, MD 20712
P: 301 585 7600
F: 301 585 2911
WWW.MANGANGROUP.COM

BUILDER:
CABIN JOHN BUILDERS

PROJECT:
HERMAN RESIDENCE
22 IRVING ST.
CHEVY CHASE, MD 20815

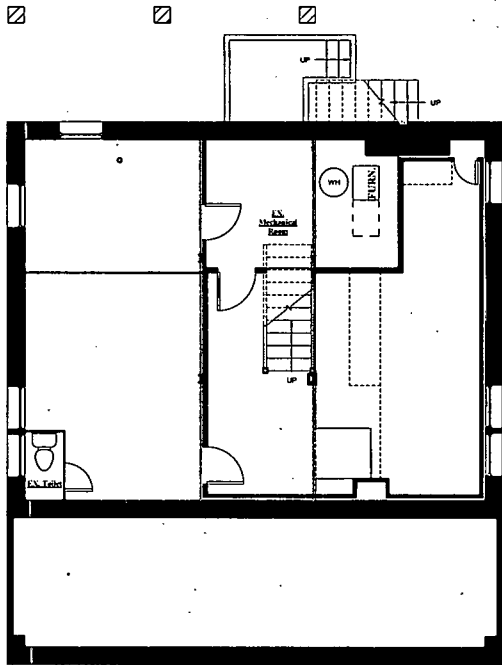
ISSUE: _____ D.D.
PREP: _____
DATE: 11-17-2011 11:41:10 AM
Revision Schedule

DRAWING:
ELEVATIONS

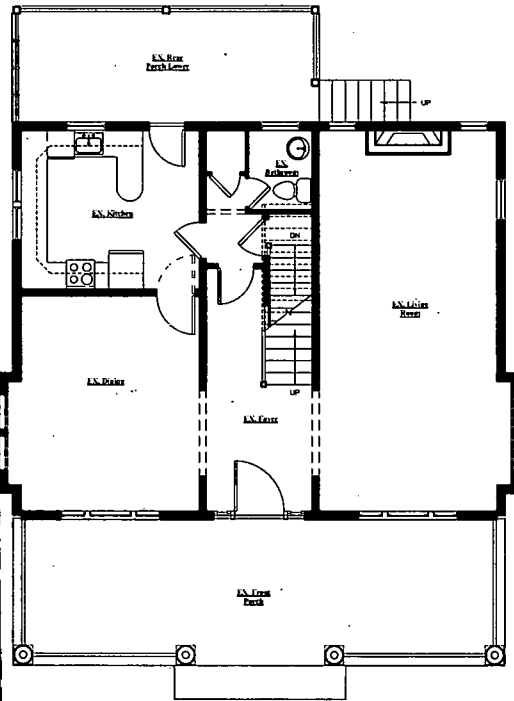
Project #: 10070
Drawn by: JY & JH by: JHM
DWG:

2.1

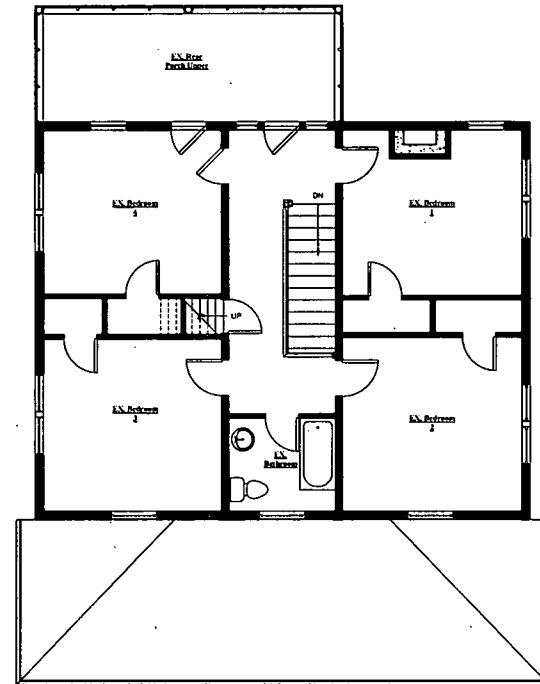
D.D.



1
1/4" = 1'-0"
EXISTING BASEMENT PLAN



2
1/4" = 1'-0"
EXISTING FIRST FLOOR PLAN



3
1/4" = 1'-0"
EXISTING SECOND FLOOR PLAN

NOTE
THE ARCHITECT DOES NOT REPRESENT NOR WARRANT THE ABSOLUTE ACCURACY OF THE
DIMENSIONS OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS AS ACTUAL FIELD
CONDITIONS MAY VARY. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR
TO THE COMMENCEMENT OF THE WORK AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF
ANY AND ALL DISCREPANCIES UPON SUCH DISCOVERY.

D.D.

MANGAN GROUP
ARCHITECTS

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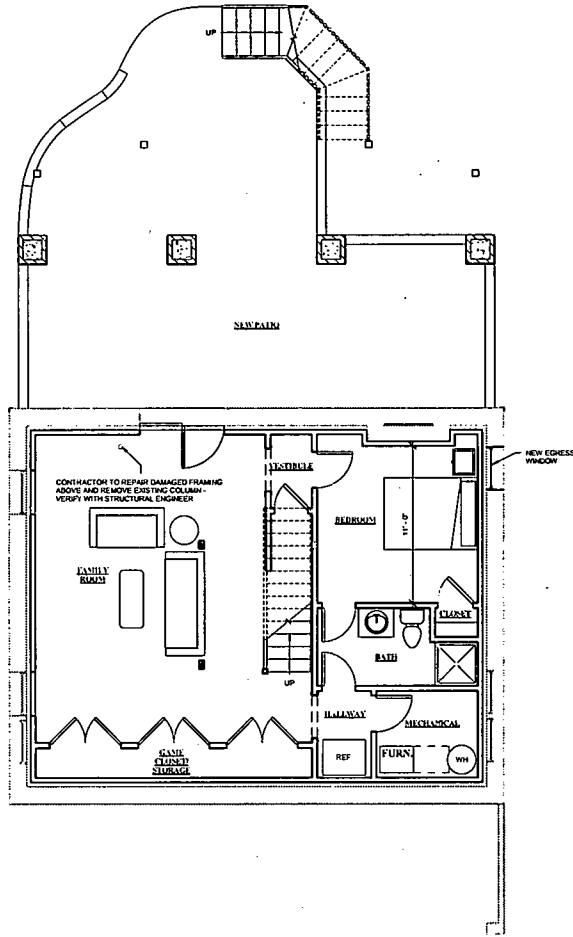
BUILDER:
CABIN JOHN BUILDERS

PROJECT:
HERMAN RESIDENCE
22 ENDING ST.
CHERRY CHASE, MD 20815

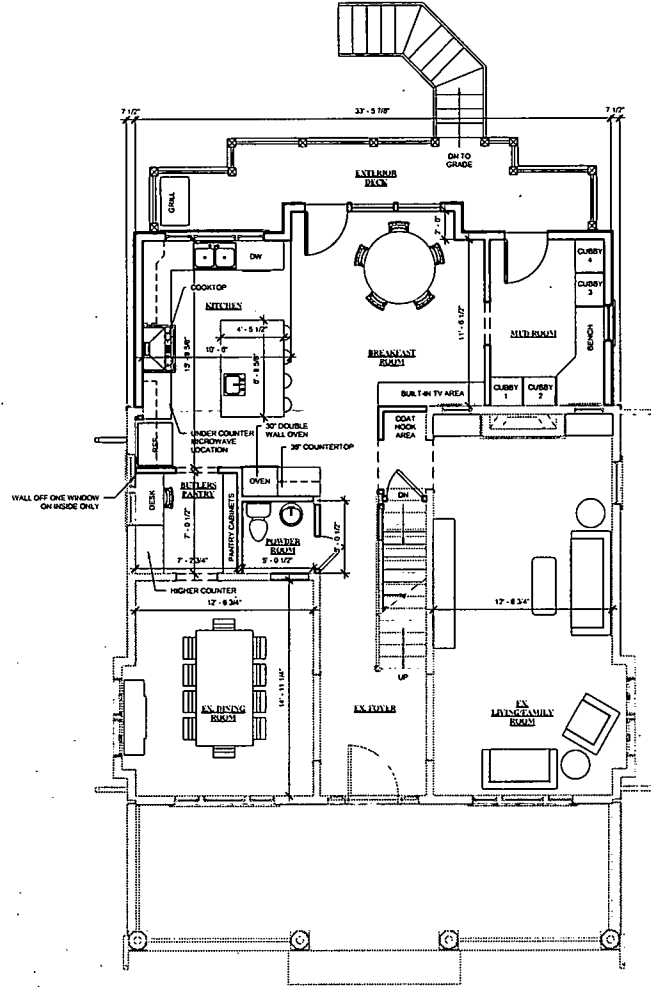
ISSUE:
D.D.
FILE:
DATE: 11-20-11 4:15 AM
Rev: none to be made

DRAWING:
EX. PLANS

Project #: 10132
Drawn by: SB & TA by: JSA
DWG:
0.3



1.1 BASEMENT PLAN
1/4" = 1'-0"



1.1 FIRST FLOOR PLAN
1/4" = 1'-0"

MANGAN GROUP
ARCHITECTS

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BUILDER:
CABIN JOHN BUILDERS

PROJECT:
HERMAN RESIDENCE
27 DENING ST.
CHEVY CHASE, MD 20815

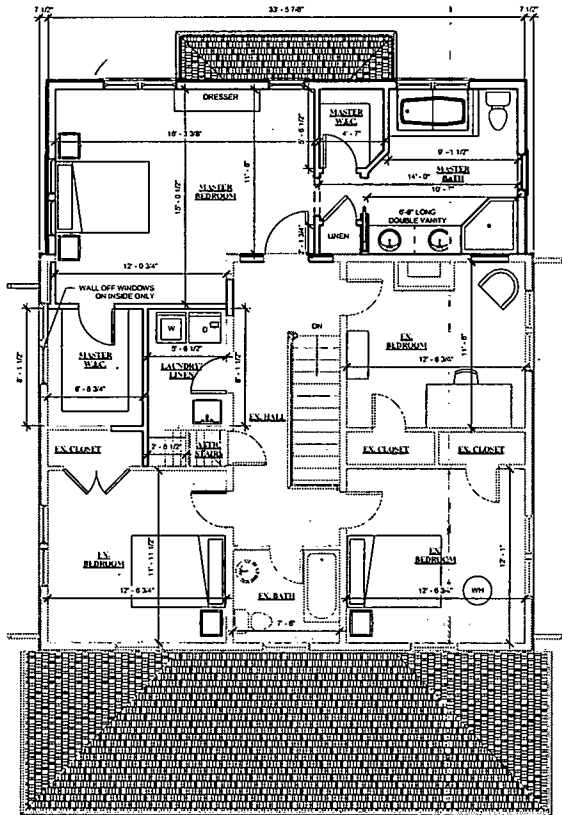
ISSUE: **D.D.**
DATE: 11-20-11
DRAWN BY: **Revise Schedule**

DRAWING:
BASEMENT AND FIRST FLOOR PLANS

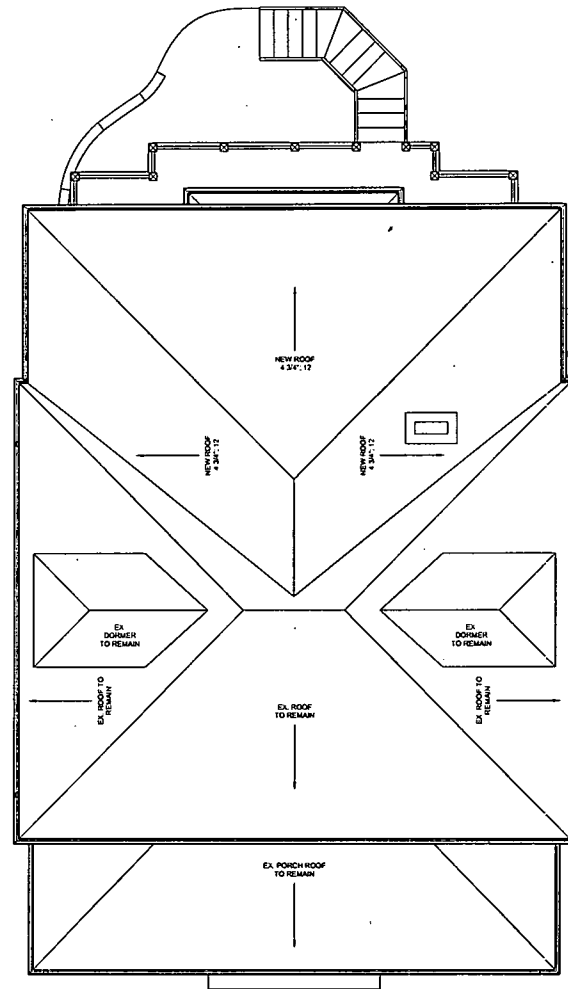
Project #: 10209
Drawn by: **JW** by: **JW**
DWG:
1.1

D.D.

1.1



17 SECOND FLOOR PLAN
1/4" = 1'-0"



17 ROOF PLAN
1/4" = 1'-0"

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BUILDER:
CABIN JOHN BUILDERS

PROJECT:
HERMAN RESIDENCE
24 RIVINGTON
CHERRY CHASE, MD 20815

ISSUE:
DATE: 11/20/11 11:41:21 AM
Revised in Revit

PROJECT # 10070
Drawn by: JH
Scale by: JH

DRAWING:
**SECOND FLOOR
AND ROOF PLAN**

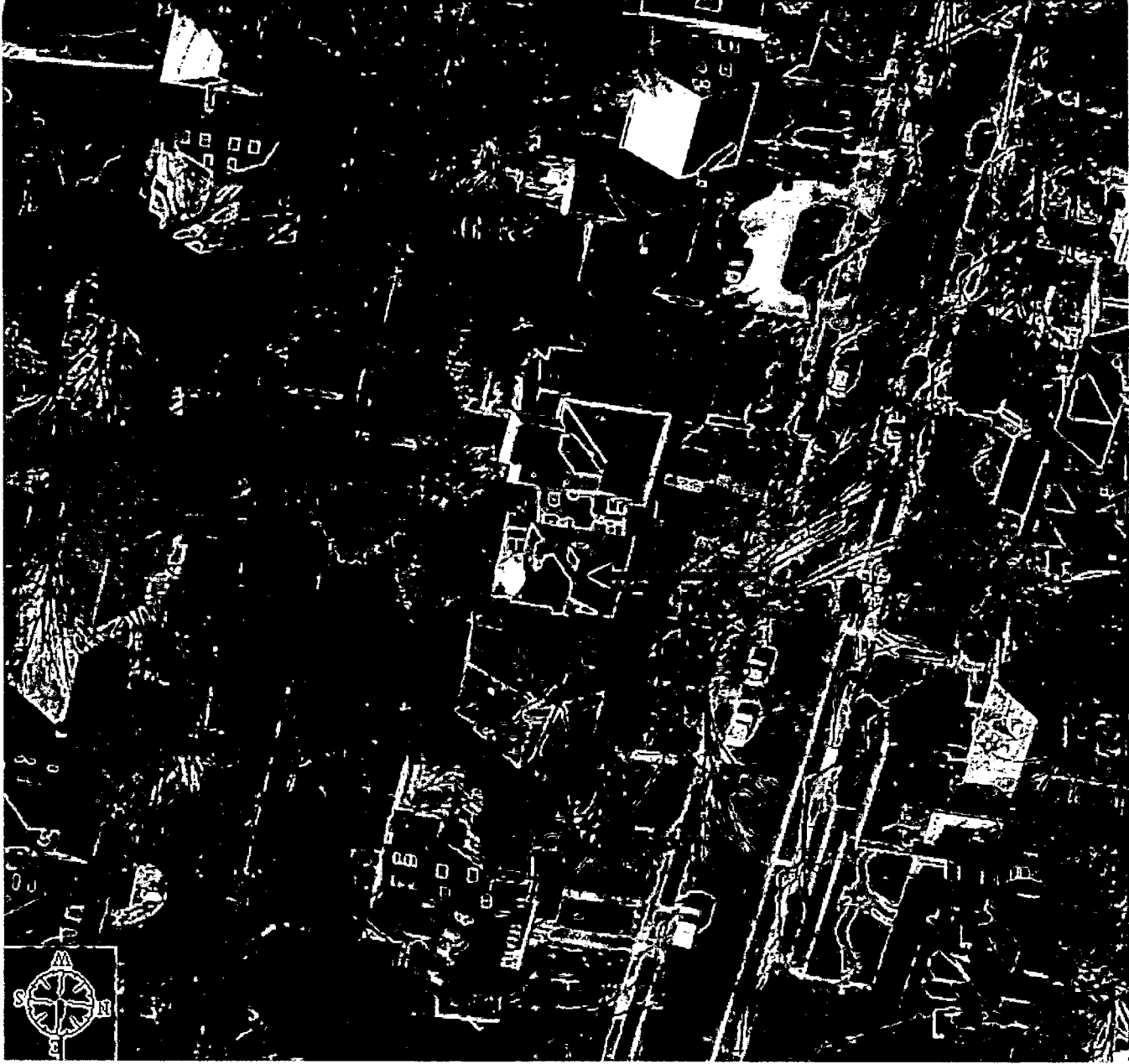
DWG:
1.2

D.D.

C:\Users\johnd\Documents\10070 - Herman - Herman_Corresponding_porch.dwg

15



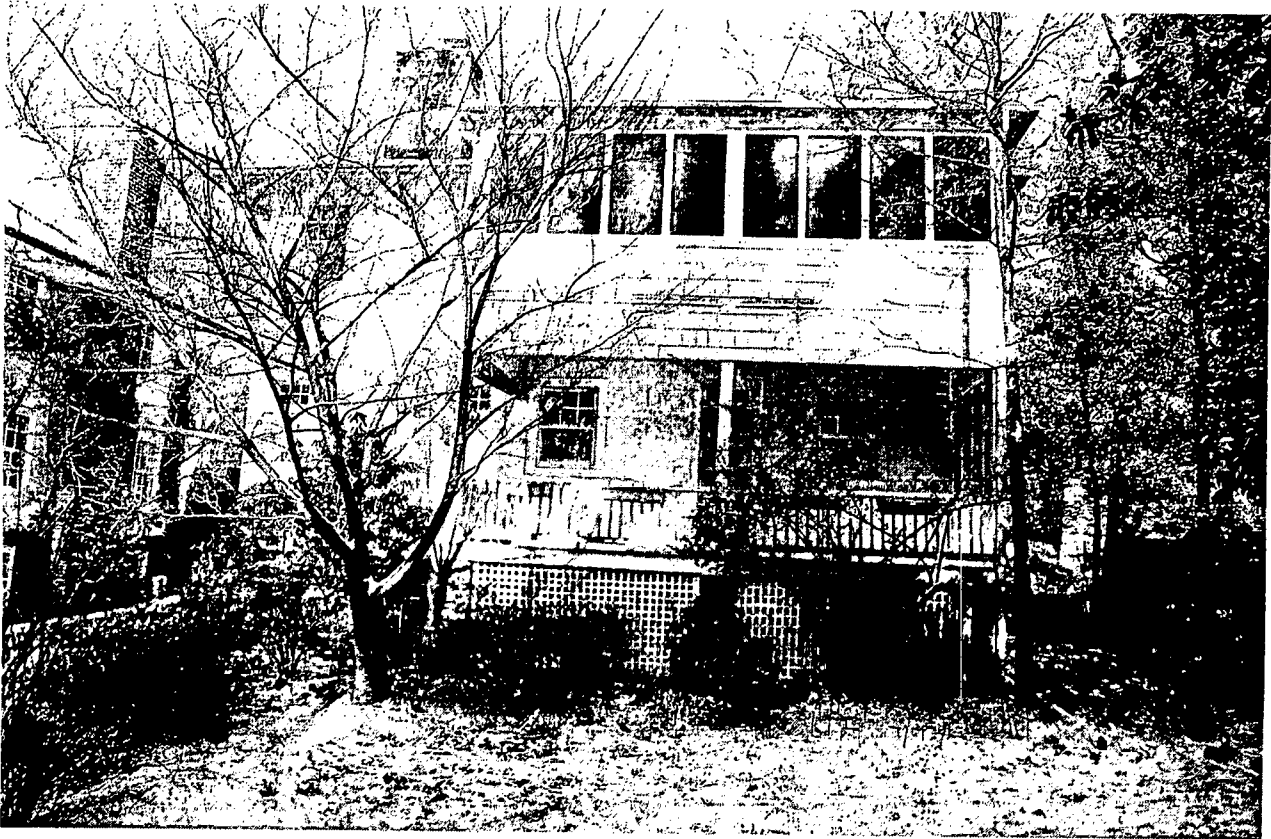




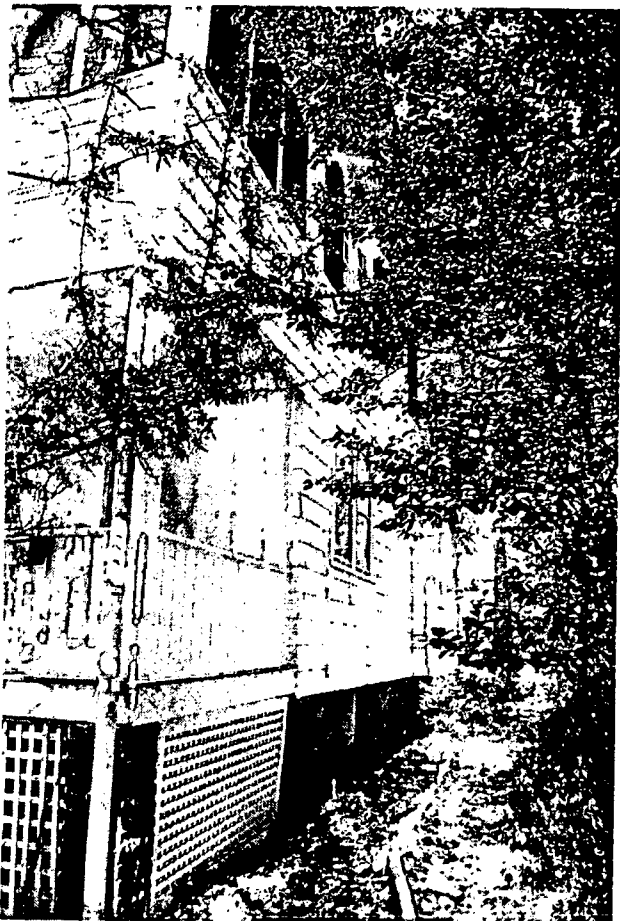
Existing Front Elevation of 22 W. Irving (View from ROW)



Existing Right Elevation of 22 W. Irving (Adj. 24 W. Irving)



Existing Rear Elevation of 22 W. Irving (Adj. 15 Hesketh St.)



Existing left Elevation of 22 W. Irving (obscured due to location of neighboring fence) Adj. 20 W. Irving

Silver, Joshua

From: josh@cabinjohnbuilders.com
Sent: Monday, January 31, 2011 3:19 PM
To: Silver, Joshua
Subject: RE: HPC Meeting: 22 W. Irving

Thank you for the update.

We will plan to see you on 2/9/11

From: Silver, Joshua [mailto:Joshua.Silver@mncppc-mc.org]
Sent: Monday, January 31, 2011 10:27 AM
To: josh@cabinjohnbuilders.com
Subject: RE: HPC Meeting: 22 W. Irving

Hi Josh,

The Historic Area Work Permit (HAWP) application will be reviewed at the February 9, 2011 HPC meeting.

The Historic Preservation Commission, Rules, Guidelines, and Procedures, [Regulation No. 27-97, Section 1.4 (h)] states "A quorum of the Commission must be present to conduct a public appearance or hearing."

We were unable to establish a quorum for a meeting this week, as such the HAWP application cannot be considered by the HPC. Please confirm the receipt of this e mail and your client's agreement to the postponement of the HAWP application and its consideration at the February 9, 2011 HPC meeting.

We apologize for any inconvenience this may cause or project delays and look forward to the consideration of the application at the February 9th meeting.

Please contact me with any questions.

Regards,
Josh

From: josh@cabinjohnbuilders.com [mailto:josh@cabinjohnbuilders.com]
Sent: Monday, January 31, 2011 8:46 AM
To: Silver, Joshua
Subject: HPC Meeting: 22 W. Irving

Josh,

I just wanted to check in and see if a final decision has been made yet regarding the meeting date and time.

Thanks,

Josh Rosenthal