



## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

Leslie Miles  
Chairperson

Date: 11/15/12

### MEMORANDUM

TO: Diane Schwartz Jones, Director  
Department of Permitting Services

FROM: Anne Fothergill (AF)  
Planner Coordinator  
Historic Preservation Section-Planning Department  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #614480—fencing installation

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on November 14, 2012.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Cara Medeiros  
Address: 3 West Lenox Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





614480  
[Redacted]

DPS - 08

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: medeiroscara@mc.com Contact Person: Cara Medeiros  
 Tax Account No.: \_\_\_\_\_ Daytime Phone No.: 301 466 2141  
 Name of Property Owner: Cara Medeiros Daytime Phone No.: 301 913 9241  
 Address: 3 West Lenox St Chevy Chase, MD 20815  
Street Number City State Zip Code  
 Contractor: Walpole Fence Phone No.: 703 759 6901  
 Contractor Registration No.: 122102 - DOL MD 703 473 7466  
 Agent for Owner: N/A Daytime Phone No.: \_\_\_\_\_

### LOCATION OF BUILDING/PROJECT

House Number: 3 Street: West Lenox  
 Town/City: Chevy Chase Nearest Cross Street: Connecticut Ave  
 Lot: 2 Block: 43 Subdivision: Chevy Chase Village  
 Liber: 14438 Folio: 049 Parcel: \_\_\_\_\_

### PART ONE TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input checked="" type="checkbox"/> Alter/Renovate	<input type="checkbox"/> A/C	<input type="checkbox"/> Stab	<input type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input checked="" type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input type="checkbox"/> Single Family		
<input checked="" type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Reversible	<input checked="" type="checkbox"/> Fence/Wall (complete Section 4)		<input type="checkbox"/> Other: _____			

1B. Construction cost estimate: \$ 20,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

### PART TWO COMPLETE FOR NEW CONSTRUCTION AND EXTENSION/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches (except on slope where will go to 6')  
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Cara B Medeiros 10/1/12  
 Signature of owner or authorized agent Date

Approved:  \_\_\_\_\_  
 Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 11/15/12  
 Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

Date Received in DPS: 290002  
 Mail Log #: 290002  
 OCT - 4 2012  
 Assigned To: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is an early 20th Century - stucco on frame colonial revival home with hipped roof + four dormers. The building has a full basement + 2 full stories plus an occupied attic. There is a front porch which wraps to the west side. Detailing is painted wood and classical in style. Two previous additions done on the house.  
Hawp 332784 + Hawp 452340

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The new fencing will be moved closer to the front of the property, but NOT in front of the house itself. An Arbor will be installed on the back side corner of house, along with new fencing and gate.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

-solid cellular vinyl - painted white  
By Walpoles →  
used extensively + approved by HPC  
at 1E. Melrose St.  
same fence + Arbor

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

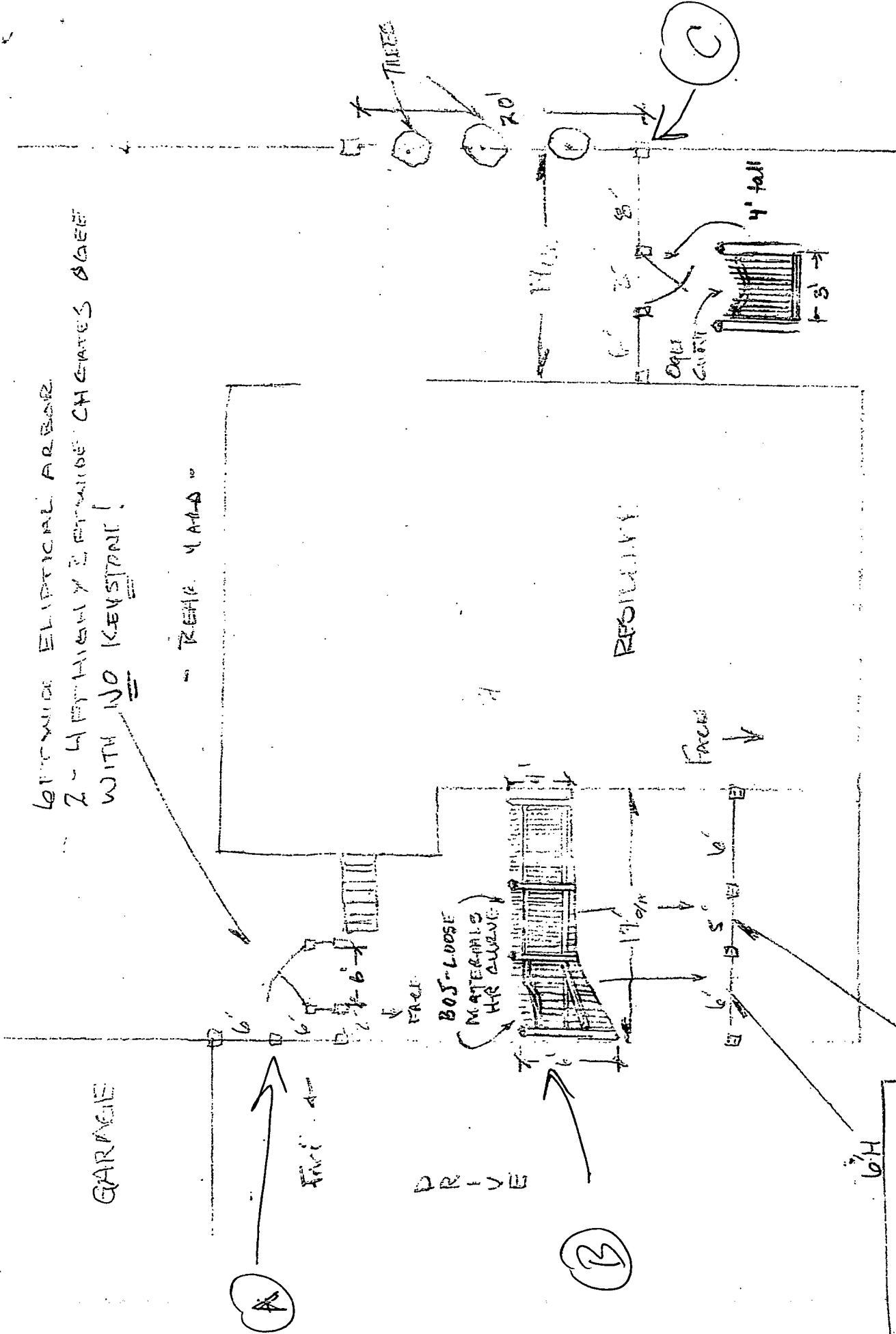
**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

6" WIDE ELIPTICAL ARBOR  
 2 - 4" HIGHLY POLISHED CHAIRS BENCH  
 WITH NO KEYS!  
 - REAR YARD -

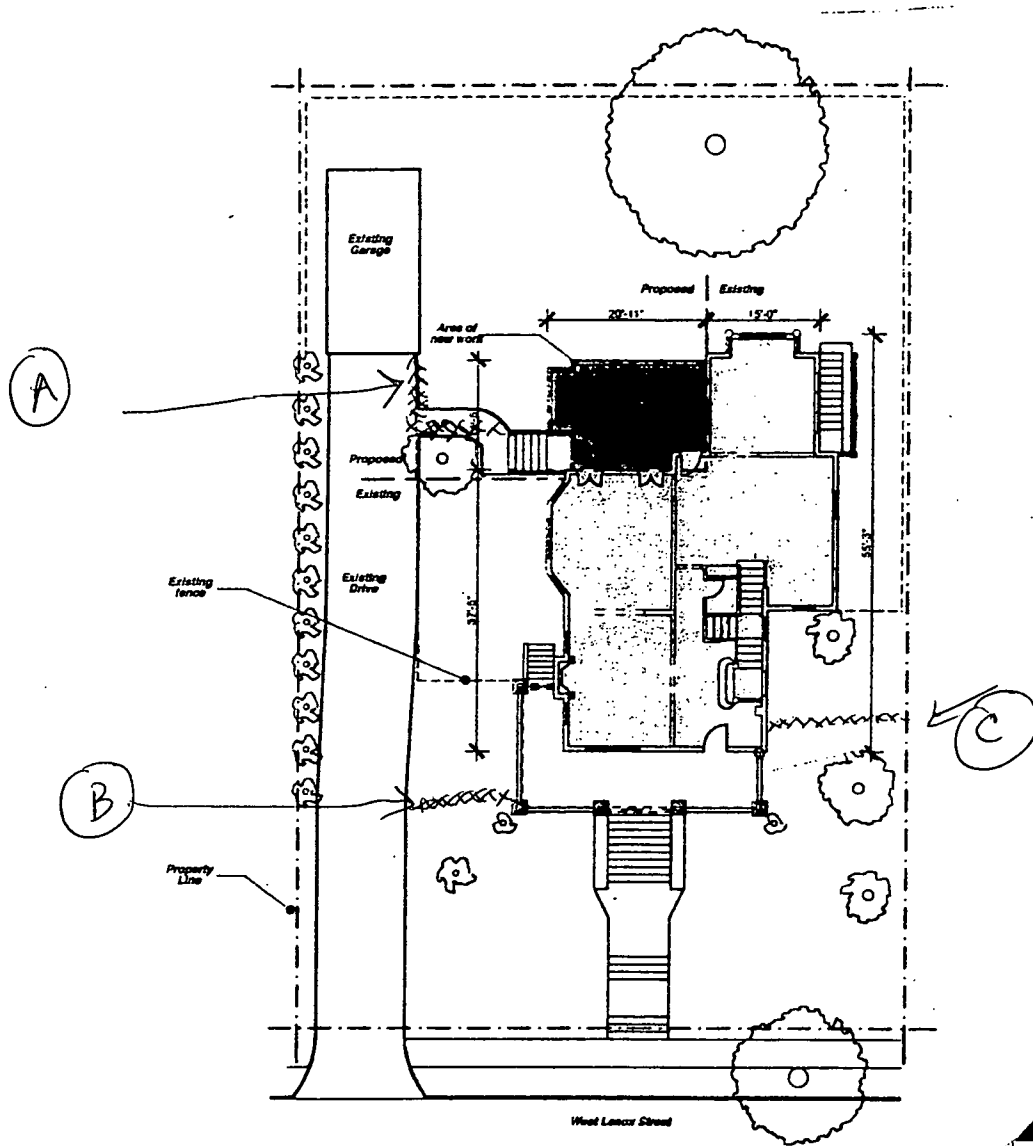


CALL ME AT  
 301-913-9211  
 301-913-9211

FRONT YARD -  
 WEST LENOX  
 Material - Solid Cellular Vinyl

APPROVED  
 Non-Jury Quality  
 Historic Preservation Commission  
 West Lenox

Site Plan



Shade portion to indicate North

Applicant: Medeiros

Page:     

APPROVED  
Medeiros Property  
Municipal Commission  
*[Signature]*

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## **Fothergill, Anne**

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**From:** Bourke, Tom (Winchester Homes, Inc.)(Tom) <tom.bourke@whihomes.com>  
**Sent:** Wednesday, November 14, 2012 8:13 AM  
**To:** Fothergill, Anne; Manarolla, Kevin; Whipple, Scott; Silver, Joshua  
**Cc:** ChCh Village file (CCV@montgomerycountymd.gov); Feldman, Gail; HBSacks@comcast.net; Jacobs - Eph's daughter (abjdoe@gmail.com); P. Wellington; Stephens, Betsy  
**Subject:** LAP comments for HPC 11-14-12: 7 Newlands St, 15 Newlands; 3 W Lenox; 27 Primrose

The following are the LAP comments for items before the HPC on 11/14/12

7 Newlands – Preliminary Consultation 3rd  
Outstanding Resource  
Side and rear addition, and alterations

The LAP is aware that this is the third submission for preliminary consultation by the applicants. The LAP agrees with the Staff that the applicants have responded to all the Commission's concerns and suggestions regarding alterations to the historic house. We also agree that the "... proposed design has evolved commendably" and that it respects the original house materials, design, and massing. In particular, the LAP finds that the revised design for the porch is a significant improvement over earlier designs and should be approved. As is appropriate the architect has made the new porch is visually secondary to the historic house and addition. We do not believe that at this property the porch needs to be limited to the footprint of the existing addition. As the Staff notes, "The porch is located behind the historic house ... almost 100 feet back from the street" and that "Even with the proposed addition and this side porch extension there will still be a sizeable amount of open space remaining on the east side of the property." The LAP values the "open, park-like setting" of the Village and we feel that the porch does not infringe in any significant way on those characteristics of the historic district. We strongly urge the HPC to approve this design and allow the applicants finally to move forward.

The LAP concurs with Expedited Approvals for the following:

15 Newlands – Driveway replacement and fencing  
3 West Lenox - fencing  
27 Primrose - alter garage

Submitted on behalf of the LAP by Tom Bourke Chair

**EXPEDITED**  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	3 West Lenox Street, Chevy Chase	<b>Meeting Date:</b>	11/14/12
<b>Resource:</b>	Contributing Resource Chevy Chase Village Historic District	<b>Report Date:</b>	11/7/12
<b>Applicant:</b>	Cara Medeiros	<b>Public Notice:</b>	10/31/12
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/13-12BB	<b>Staff:</b>	Anne Fothergill
<b>PROPOSAL:</b>	Fencing replacement		

**STAFF RECOMMENDATION**

- Approval  
 Approval with conditions

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource, Chevy Chase Village  
**STYLE:** Colonial Revival Four Square  
**DATE:** 1901

**PROPOSAL**

The applicants propose to remove existing fencing and to install new fencing at the west and east sides and at the rear of the house. The fencing and gates will be open picket and four feet tall (except for a small section on the west side where it will be taller as the yard slopes down to the driveway but will still have the overall effect of a four foot high fence). This fencing will be paintable synthetic material (Azek) and they also propose to install an arbor of the same material toward the rear of the house near the garage.

**APPLICABLE GUIDELINES**

**Chevy Chase Village Guidelines**

*Fences* should be subject to strict scrutiny if they detract significantly from the existing open streetscape. Otherwise, fences should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

**Montgomery County Code; Chapter 24A-8**

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8(b)(1) and (2);

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or [anne.fothergill@mncppc-mc.org](mailto:anne.fothergill@mncppc-mc.org) to schedule a follow-up site visit.





614480  
[Redacted]

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

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Contractor Registration No.: 122102 - POL MD 703 473 7466  
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LOCATION OF BUILDING/PERMITS

House Number: 3 Street: West Lenox  
Town/City: Chevy Chase Nearest Cross Street: Connecticut Ave  
Lot: 2 Block: 43 Subdivision: Chevy Chase Village  
Liber: 14438 Folio: 049 Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate
- Move  Install  Wreck/Reze
- Revision  Repair  Revocable

CHECK ALL APPLICABLE:

- A/C  Slab  Room Addition  Porch  Deck  Shed
- Solar  Fireplace  Woodburning Stove  Single Family
- Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 20,000

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PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSION/ADDITIONS

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Cara B Medeiros

Signature of owner or authorized agent

10/1/12

Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Date received in DPS  
Mail Log # 29002  
OCT - 4 2012  
Assigned To: \_\_\_\_\_

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Hwp 332784 + Hwp 452340

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**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

Cara medeiros  
3 w. Lenox St  
Chevy Chase, MD  
20815

**Owner's Agent's mailing address**

**Adjacent and confronting Property Owners mailing addresses**

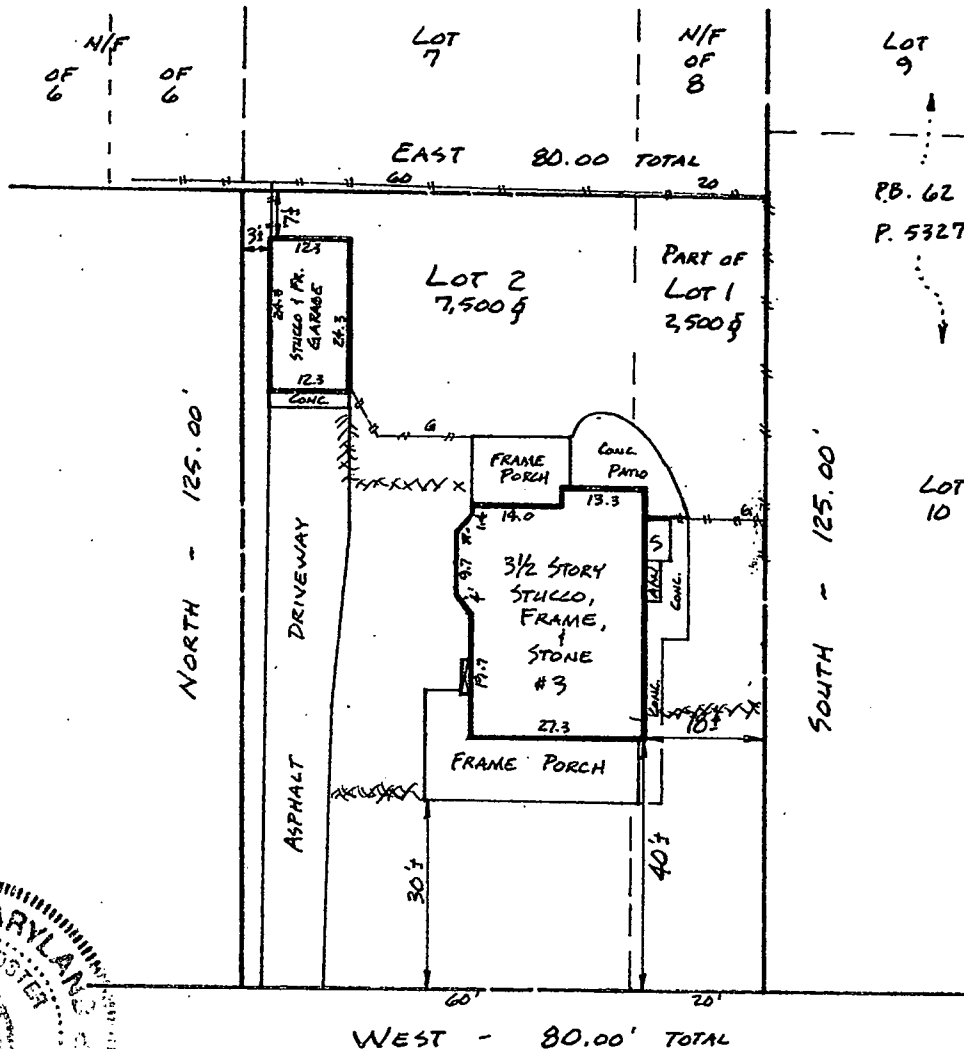
steinberg, Roxann  
5 w. Lenox St.  
Ch Ch

Bartlett  
4 w. Melrose St  
Ch Ch

Colby  
6000 Conn. Ave  
Ch Ch

CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.



Notes

1. Flood zone "C" per H.U.D. panel No. 0175 C.
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 FEET.
3. TOTAL AREA = 2,500 sq ft.
4. Recertified: 11-4-02



LOCATION DRAWING  
 LOT 2 + PART OF LOT 1  
 BLOCK 43 - SECTION No. 2  
**CHEVY CHASE**  
 MONTGOMERY COUNTY, MARYLAND

(WEST) LENOX STREET  
 (60' WIDE R/W)

SURVEYOR'S CERTIFICATE

"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."

REFERENCES

PLAT BK. 2  
 PLAT NO. 106  
 LIBER 14430  
 FOLIO 049

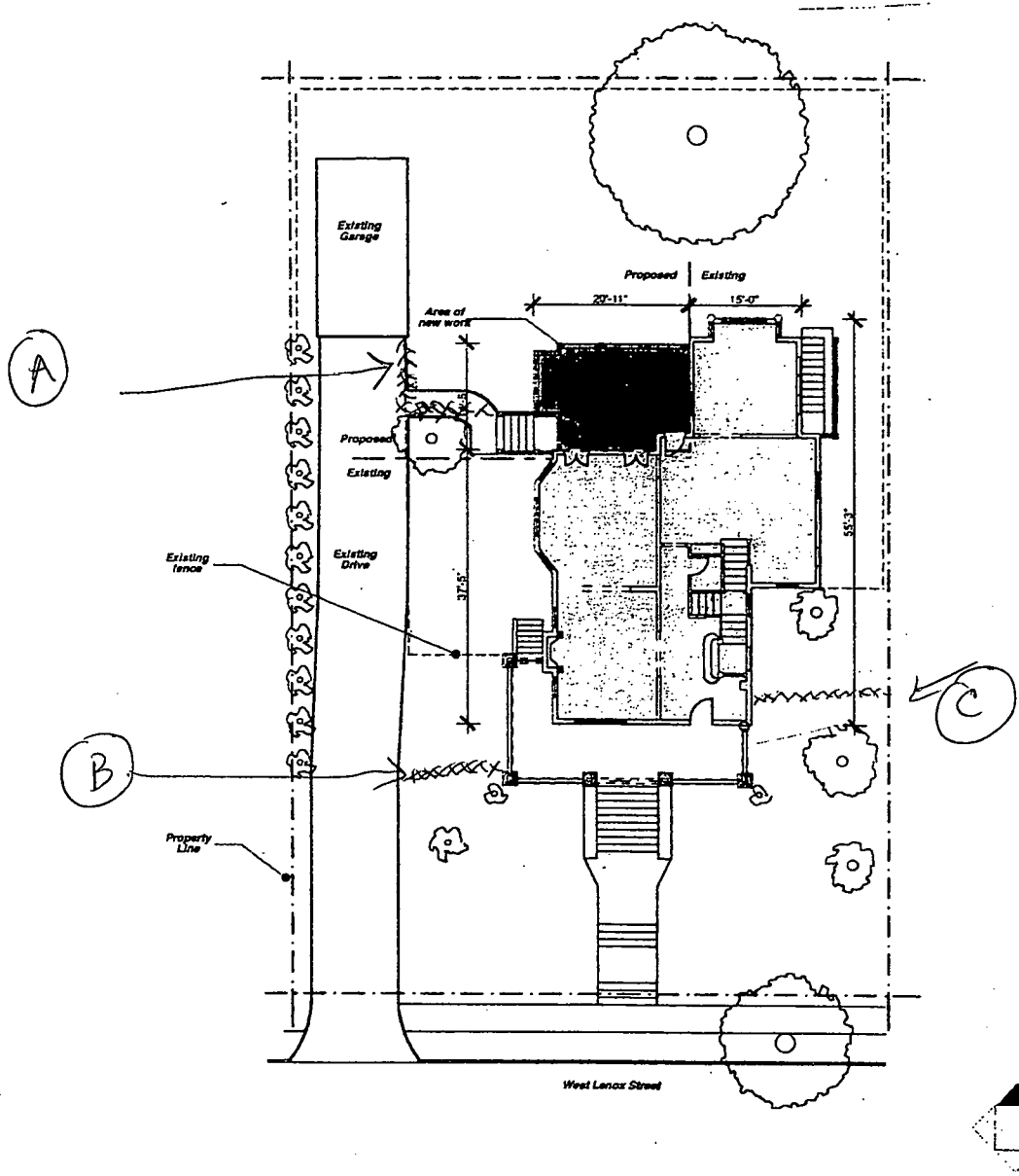


SNIDER & ASSOCIATES  
 SURVEYORS - ENGINEERS  
 LAND PLANNING CONSULTANTS  
 2 Professional Drive, Suite 216  
 Gaithersburg, Maryland 20879  
 301/948-5100, Fax 301/948-1286

DATE OF LOCATIONS SCALE: 1" = 30'  
 WALL CHECK: DRAWN BY: J.F.  
 HSE. LOC.: 4-16-99 JOB NO.: 99-1382

Jeffrey A. Foster  
 MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587

Site Plan



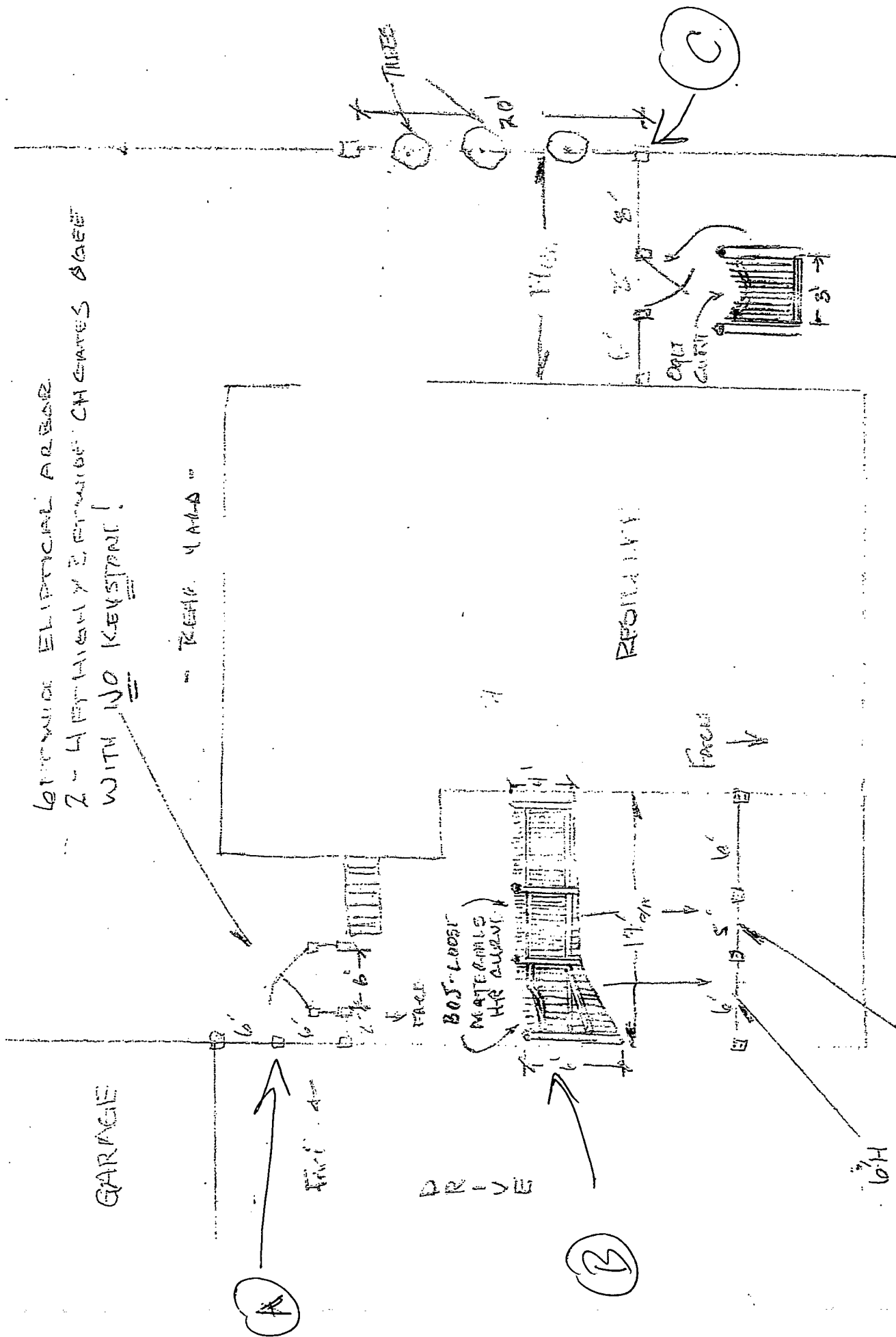
Shade portion to indicate North

Applicant: Medeiros

Page:     

7  
B

LETTERING ELIPTICAL ABOVE  
 2 - 4' HIGHLY 2' EXTENDED CHANGES BARE  
 WITH NO KEYSTONE!



ON PA-MENTIONS  
 3001 4th Ave. S  
 (602) 437-1100, 1101  
 301-973-9241

FRONT YARD --  
 WEST LINCOLN

Material - Solid Cellular Vinyl

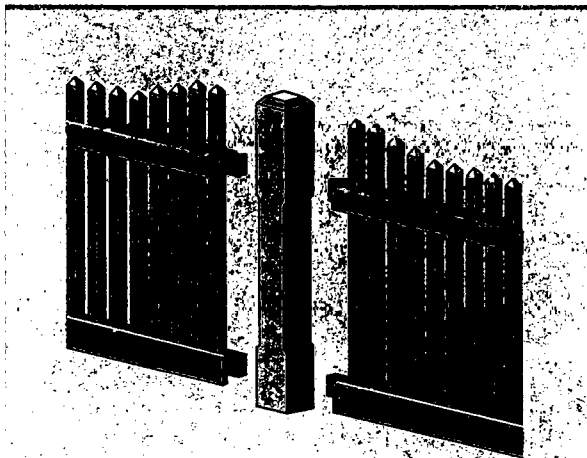
# CHESTNUT HILL

*Fence style*

A solid classic fence beautifully combines practicality with charm and grace.

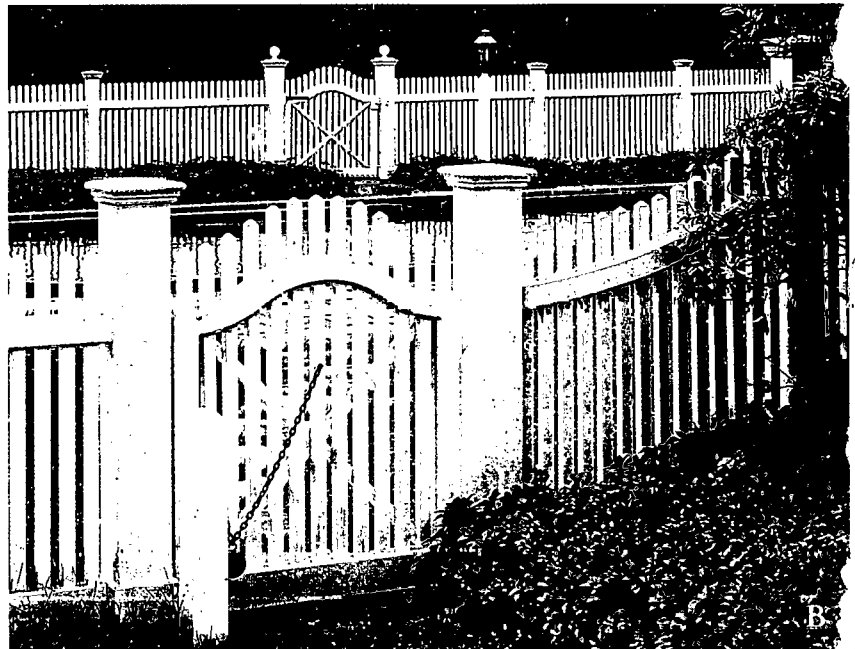


- A. Garden Arbor, 4½' wide with 4½" square posts. The especially wide picket spacing of this 3½' high Chestnut Hill fence gives a more delicate feel to the garden.
- B. The 7" square posts highlight the wave effect of the convex scallop top gate which closes securely with ball-and-chain closure.
- C. This straight top Chestnut Hill has all the angles covered with its symmetrical entrance concave-topped gate, distinctive paneled posts, and radii corner section.
- D. This double gate with Acorn® hardware and 3½' high scallop top fence has 10" square Wenham Pillar Posts, Darien Caps and dentil.
- E. Whimsy and delight combine when picket height alternate on this endearing gray Chestnut Hill.



3', 3½', 4', 5', 6' high.

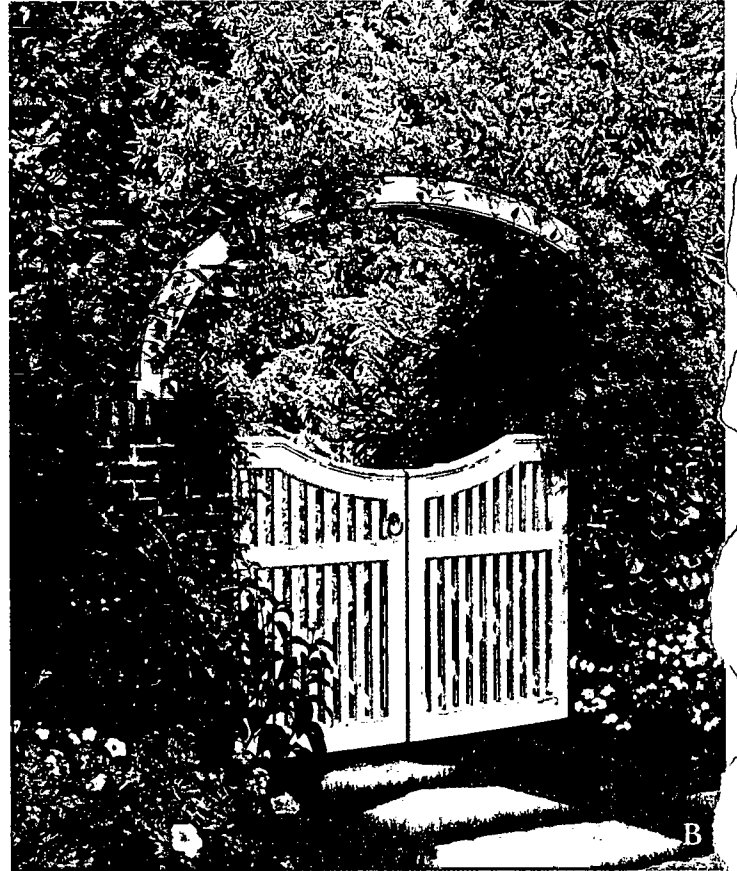
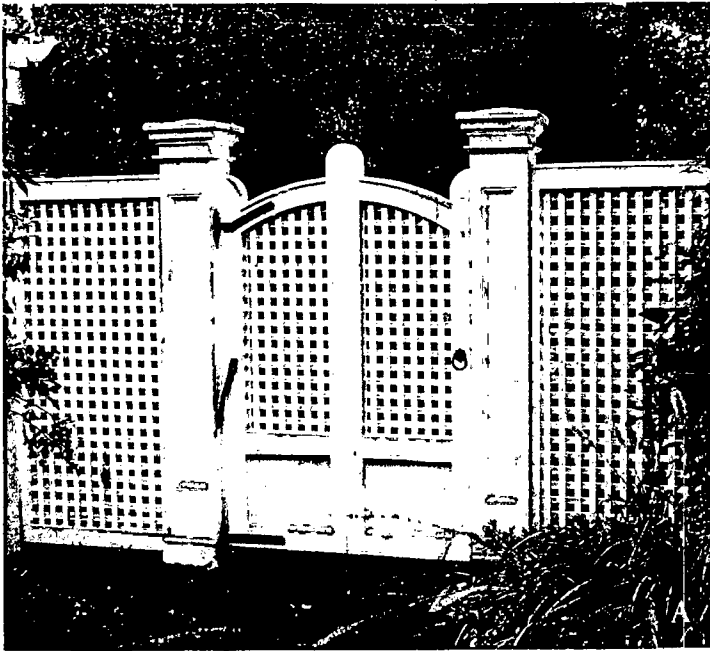
Smooth 5½" square bevel top posts with covered edges.  
 1½" smooth square pickets with pointed tops.  
 Routered rails, fascia and kick board. Mortise and Tenon installation.



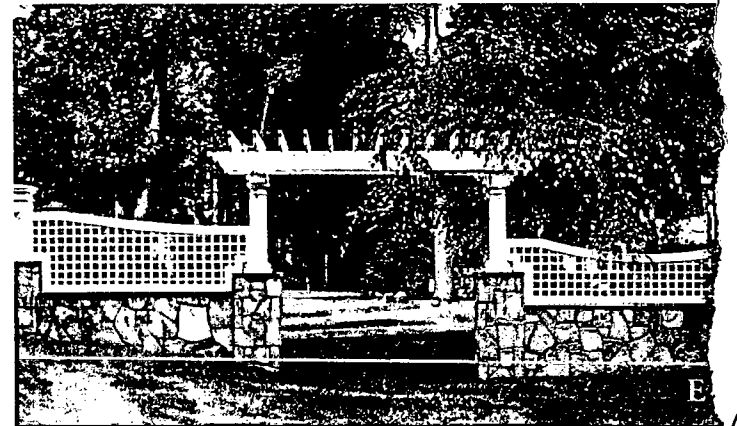
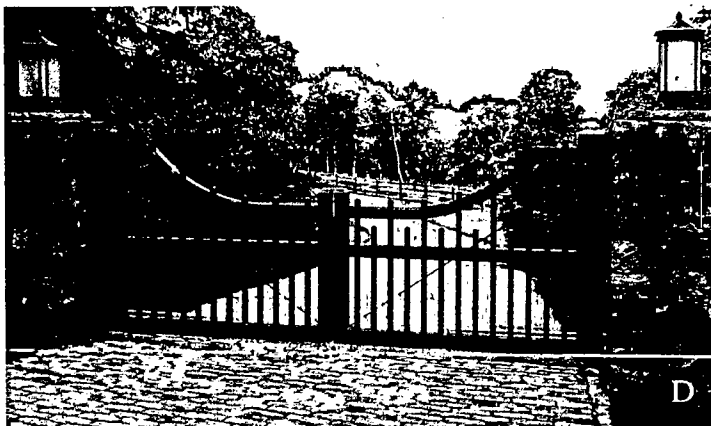
# SOLID CELLULAR VINYL

Low maintenance wood-alternative.

← Material -  
Same as used at  
1 E. Melrose St - Asher House



Solid cellular vinyl has the look and feel of natural wood, yet requires almost none of the upkeep. What's more, this low maintenance material is shaped, routed, and mitered by our skilled craftsmen using time-honored methods and sophisticated tools, so you are assured the same high quality that Walpole is famous for. Choose from a wide selection of low maintenance fence, gates, shade pergolas, and arbors, as well as mail and lantern posts, trellis, window boxes, planters and more. Whatever styles capture your imagination and needs, you will enjoy great looking outdoor products without spending time on basic upkeep.





Arbor  
 NO keystone  
 NO bench

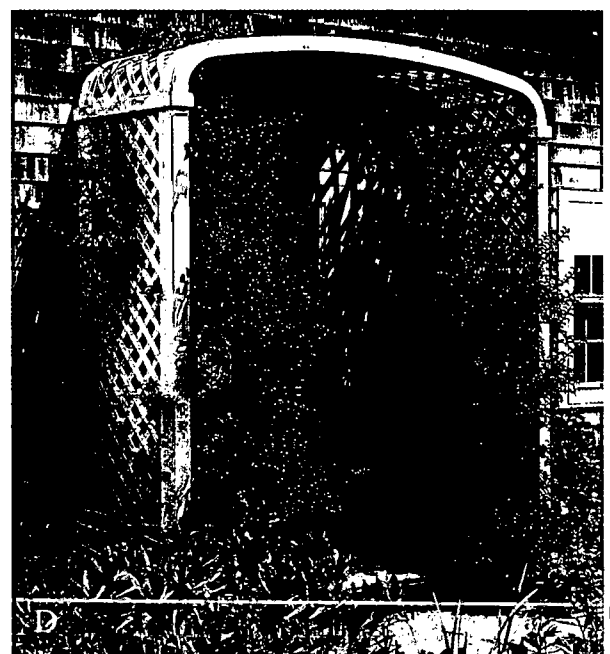
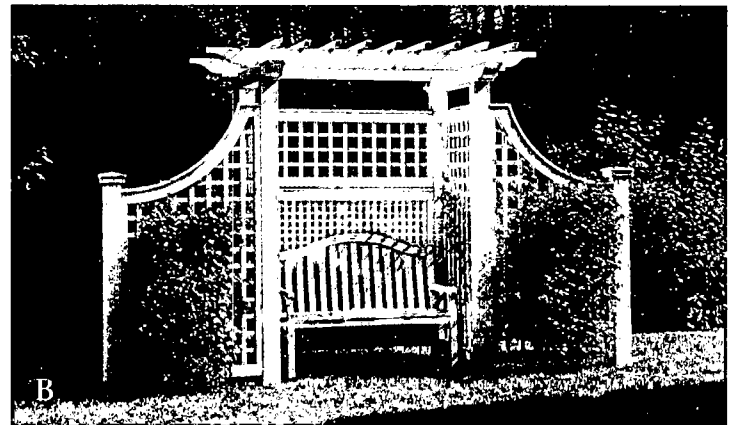


A. The beauty of the Sheffield arbor with cathedral arch is embellished by a Chippendale bench and lattice side panels.

B. The ideal sanctuary in the garden is a Garden arbor with decorative fence panels and lattice.

C. Requiring height and solidity to perform effortlessly in a well-traveled yacht club and commercial area, the impressive Gallery arbor with curved lattice side panels is 8' wide.

D. Presenting doorway shelter and a support for climbing plants and vines, a custom latticed entry way is an inviting addition to a home.



11

to front pier  
white  
chestnut hill  
fence

moved  
in

to be back pier

fence  
removed



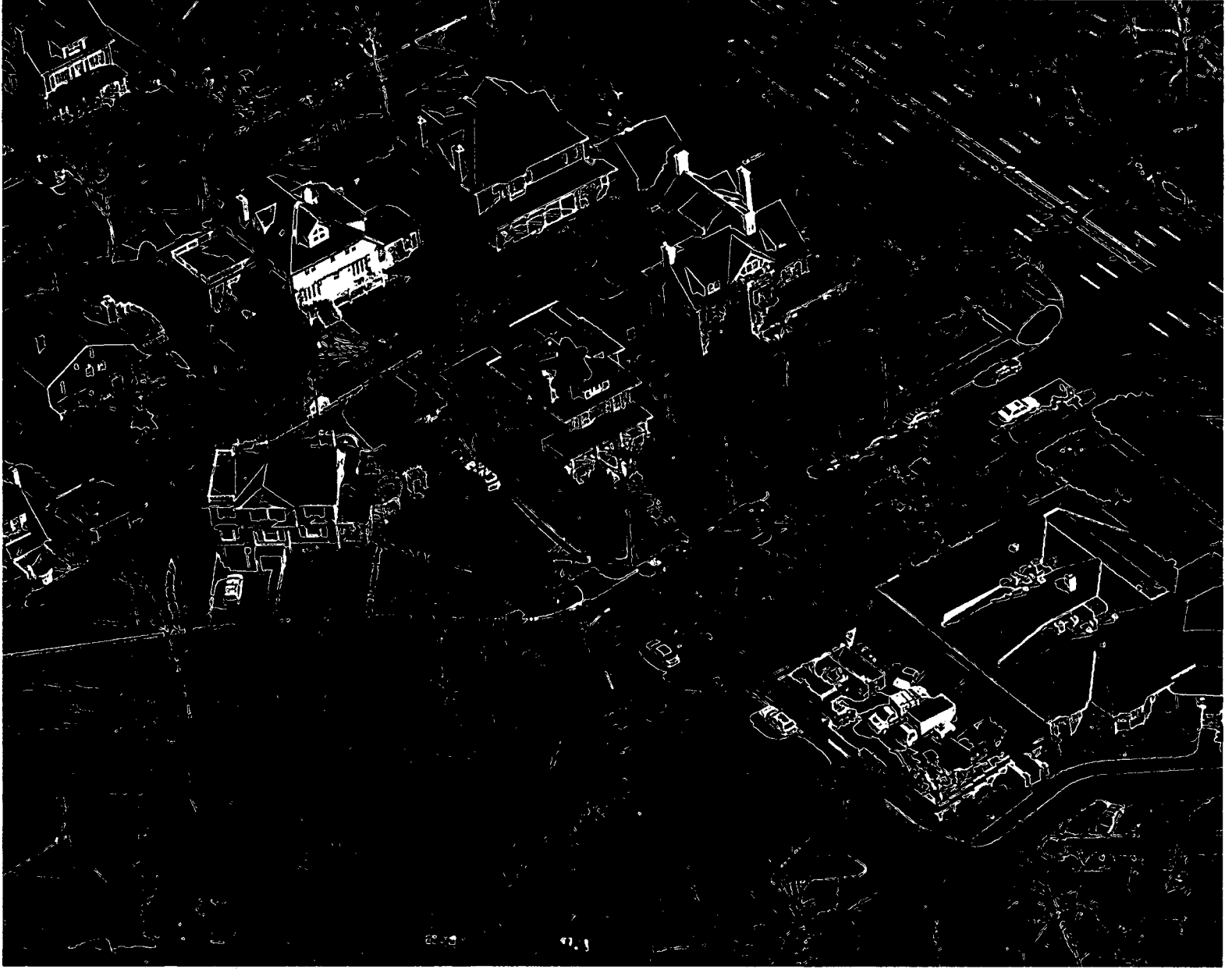
Fence to be removed.  
New White  
Fence to be  
in staked or  
include to  
encumber  
or  
star-way.



Proposed start point.  
 ASK will cover amt. have  
 between -  
 proposed -  
 fence, fence  
 moved  
 behind  
 piece of  
 CHRS  
 fencing trees.



3 west lenox



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