



## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

Leslie Miles  
Chairperson

Date: 12/6/12

### MEMORANDUM

TO: Diane Schwartz Jones, Director  
Department of Permitting Services

FROM: Anne Fothergill   
Planner Coordinator  
Historic Preservation Section-Planning Department  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #617098—screened porch construction

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on December 5, 2012.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: William and Susan Kirby  
Address: 102 East Lenox Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: KIRBYOFFC@GMAIL.COM Contact Person: William Kirby
Daytime Phone No.: 301 520 3338
Tax Account No.:
Name of Property Owner: William + Susan Kirby Daytime Phone No.: 301 215-9079
Address: 102 EAST LENOX ST, CHEVY CHASE, MD 20815-3313
Contractor: Phone No.:
Contractor Registration No.:
Agent for Owner: Daytime Phone No.:

House Number: 102 Street: EAST LENOX STREET
Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE ROAD
Lot: 24 Block: 35 Subdivision: SECTION TWO
Liber: Folio: Parcel:

PART ONE TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE

- Construct Extend Alter/Renovate
Move Install Wreck/Raze
Revision Repair Reversible

CHECK ALL APPLICABLE

- A/C Slab Room Addition Porch Deck Shed
Solar Fireplace Woodburning Stove Single Family
Fence/Wall (complete Section 4) Other:

1B. Construction cost estimator: \$

1C. If this is a revision of a previously approved active permit, see Permit # NIA

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

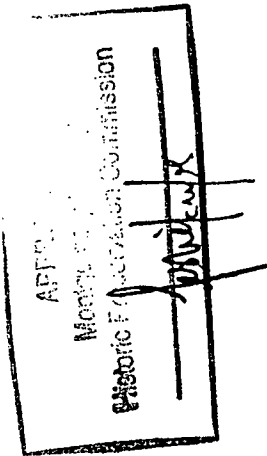
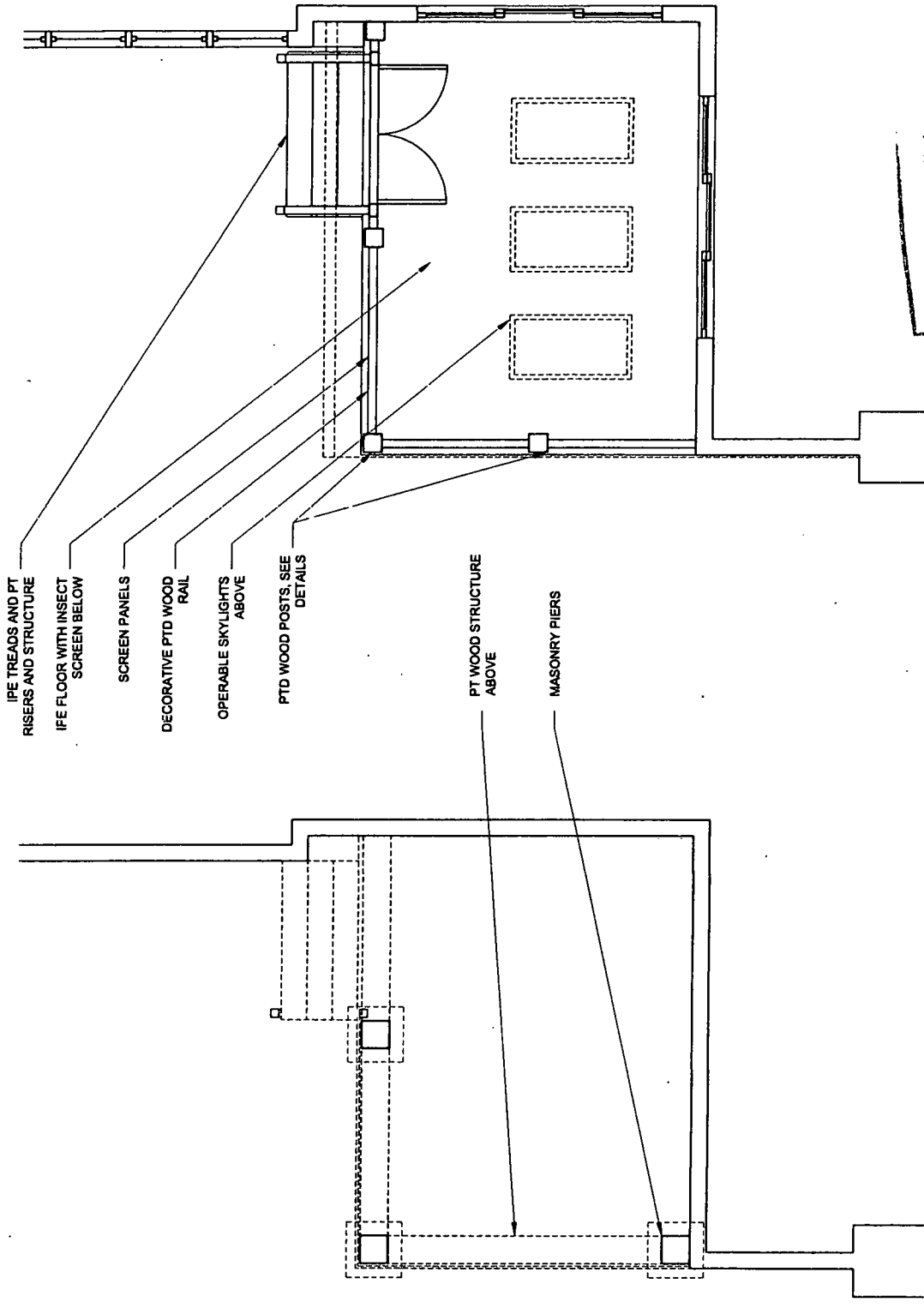
2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date
Approved: Signature: Date: 12/6/12
Application/Permit No.: 617098 Date Filed: 11/8/12 Date Issued:



2 First Floor Plan  
Scale: 3/8"=1'-0"

1 Foundation Plan  
Scale: 3/8"=1'-0"

**ELECTRICAL NOTES**

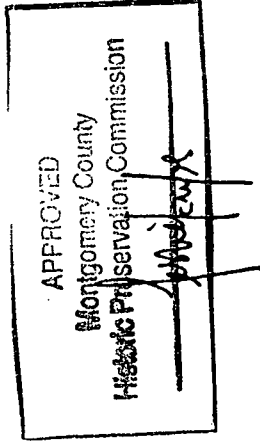
1. Provide all labor, materials, equipment devices, and light fixtures as required, and lamps; obtain permits and pay all fees necessary for the complete electrical system indicated. Include all work associated with equipment shown on architectural, mechanical and plumbing drawings and specifications. Equipment noted to be supplied by Owner shall be installed by Contractor. All materials and equipment shall be new, of first class quality and approved under applicable standards. All materials for which U.L. Labeling service is established shall bear U.L. Label.
2. All work to comply with latest edition of the National Electrical Code (NEC) and with all applicable local codes, ordinances and regulations, except where plans or specifications are more strict.
3. Provide all breakers as required to complete each electric panel board. All circuit breakers shall be full module size. A neatly typed schedule shall be framed under clear plastic at panel with approved legend identifying each circuit and what it controls. Loads shall be connected for best phase balance.
4. Interior wiring to be BX cable, EMT conduit where required by code. Use a Romex type cable (NMC-B) or equal. In lieu of BX where applicable and allowable by code. All exterior conduit including underground conduit shall be Schedule 40 piping as required by the NEC.
5. Safety switches shall be provided where required by code whether shown or not. Use general duty type. Coordinate with owner to order as necessary.
6. All receptacle outlets shall be 20A, 125V, grounding type, unless noted or otherwise dictated by code requirements. Provide enough outlets to meet code requirements.
7. All wiring shall be routed in a concealed manner.
8. Coordinate work with electrical utility. Pay all costs involved with power company work or requirements.
9. Refer to architectural drawings for exact locations of switches, outlets, lights etc. All switches to be mounted at 48" A.F.F., unless otherwise noted. All outlets to be mounted at 18" A.F.F., unless otherwise noted.
10. Upon completion of work adjust all equipment and test all systems in accordance with NEC, and at direction of Owner. Provide Owner with final electrical inspection certificate.
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Symbol	Description	Remarks
⊕	Single pole switch	
⊕3	3 way switch	
⊕4	4 way switch	
⊕D	Dimmer switch	
⊕3	3 way dimmer switch	
⊕	Duplex outlet	
⊕w	Covered, exterior water proof outlet	Exact location shall be determined by Owner
--	Plug md. outlets @ 12' o.c.	
⊕GFI	Duplex outlet, ground fault interrupt	Remote circuit breakers at main electrical panel
Δ	Telephone jack	Exact location shall be determined by Owner
⊕-iso	C-7/Smoke detector-hardwired	Exact locations shall be determined by Owner. Provide C-7/smoke detectors as required per code
⊕	Recessed light fixture	Exact location shall be determined by Owner
⊕	Pendant or surface mounted light fixture	Exact location shall be determined by Owner
⊕	Exterior light fixture	
⊕	Track light fixture	
⊕	Cable and/or Cat-5	
∇	Speaker	
⊕	Ceiling Fan	

**Electrical Symbol Schedule**

**ELECTRIC FIXTURE SCHEDULE**

No.	Item/Mounting	Manufacturer	Model	Lamps	Remarks
1	Recessed down light	Lightstar	2002		
2	Surface mounted ceiling				Allow \$200 each
3	Score				

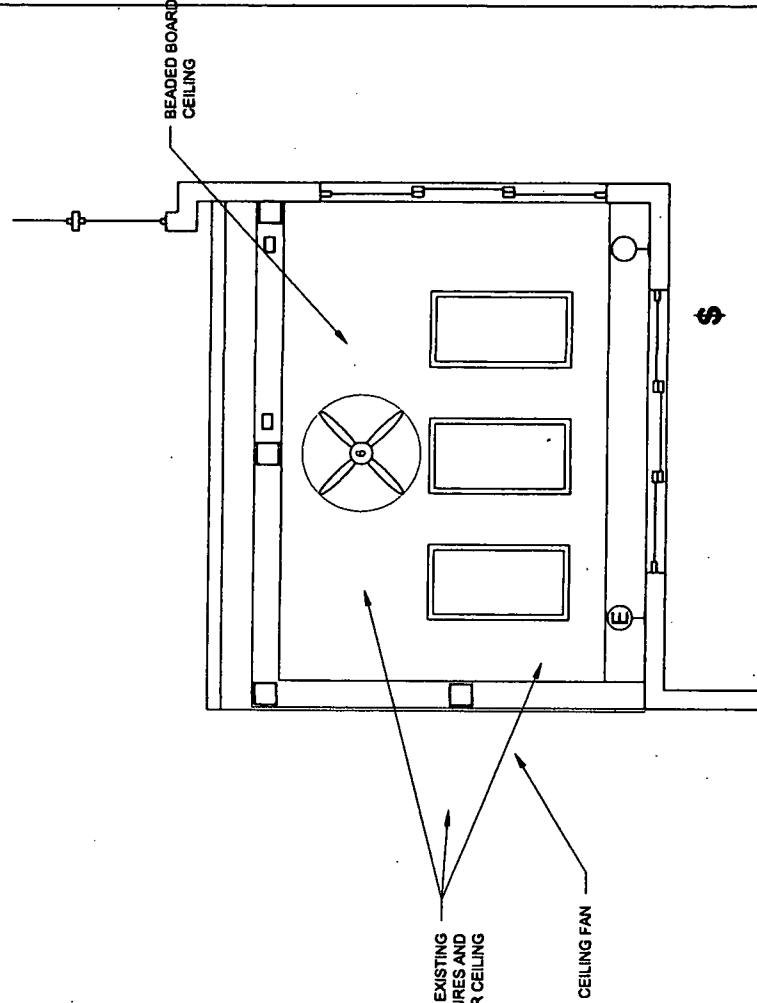


Reflected Ceiling Plan

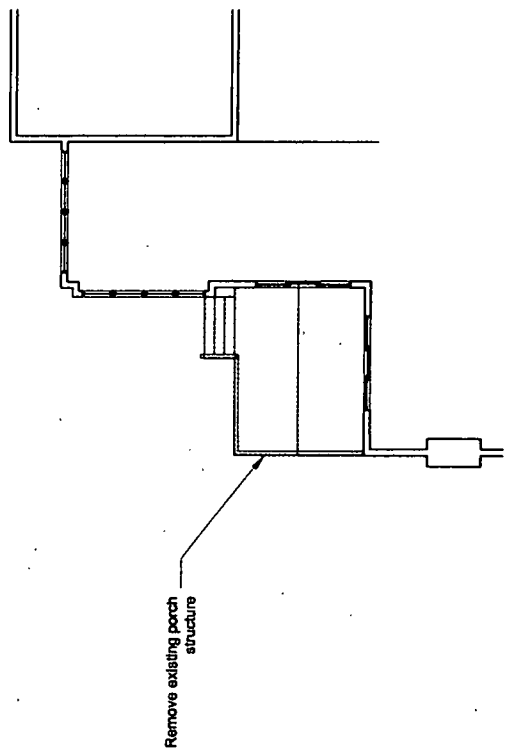
Kawa Architects  
301-254-8844

©2012 KWA

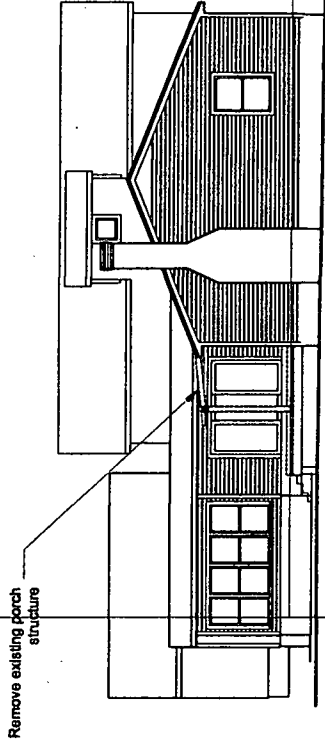
A-4



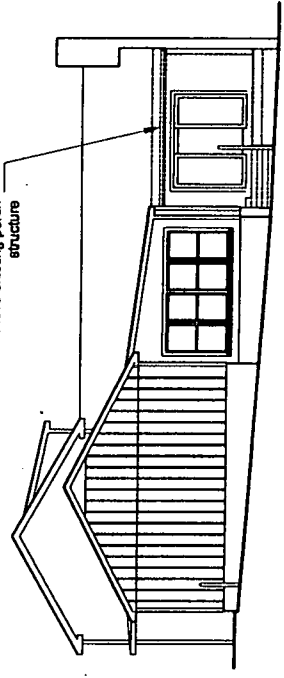
2 First Floor Reflected Ceiling Plan  
Scale: 3/16"=1'-0"



1 First Floor Plan  
Scale: 1/8"=1'-0"



2 Side Elevation  
Scale: 1/8"=1'-0"

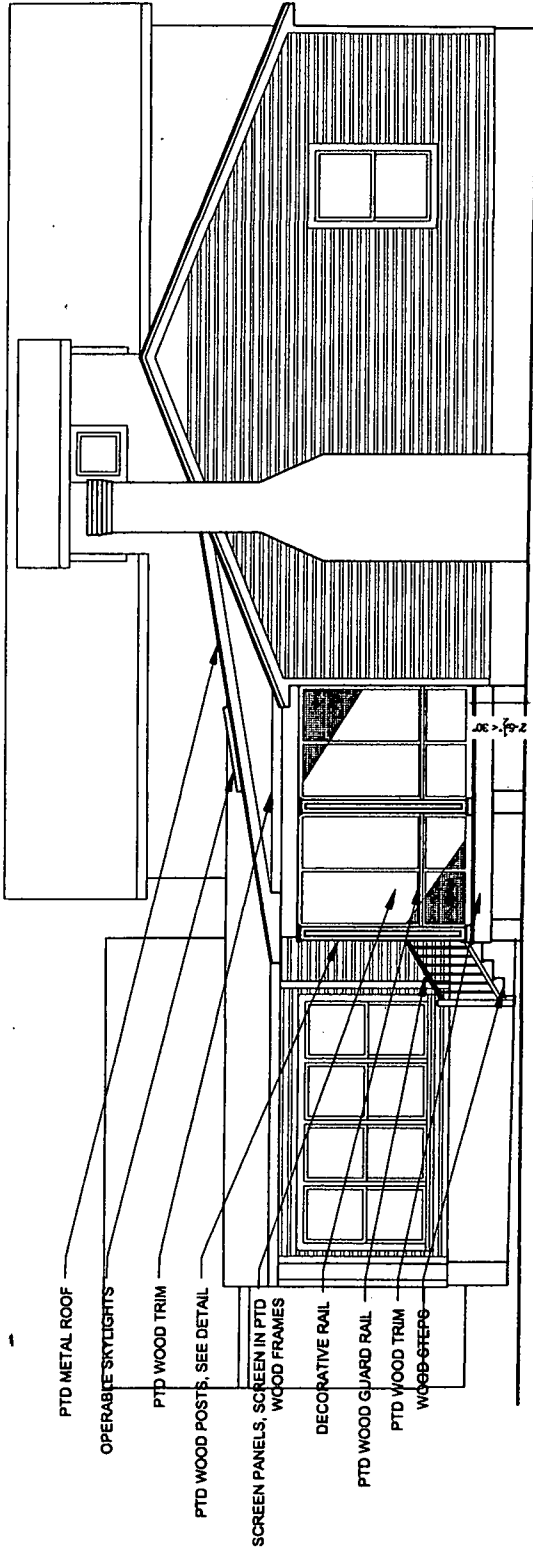


3 Back Elevation  
Scale: 1/8"=1'-0"

### Demolition Notes

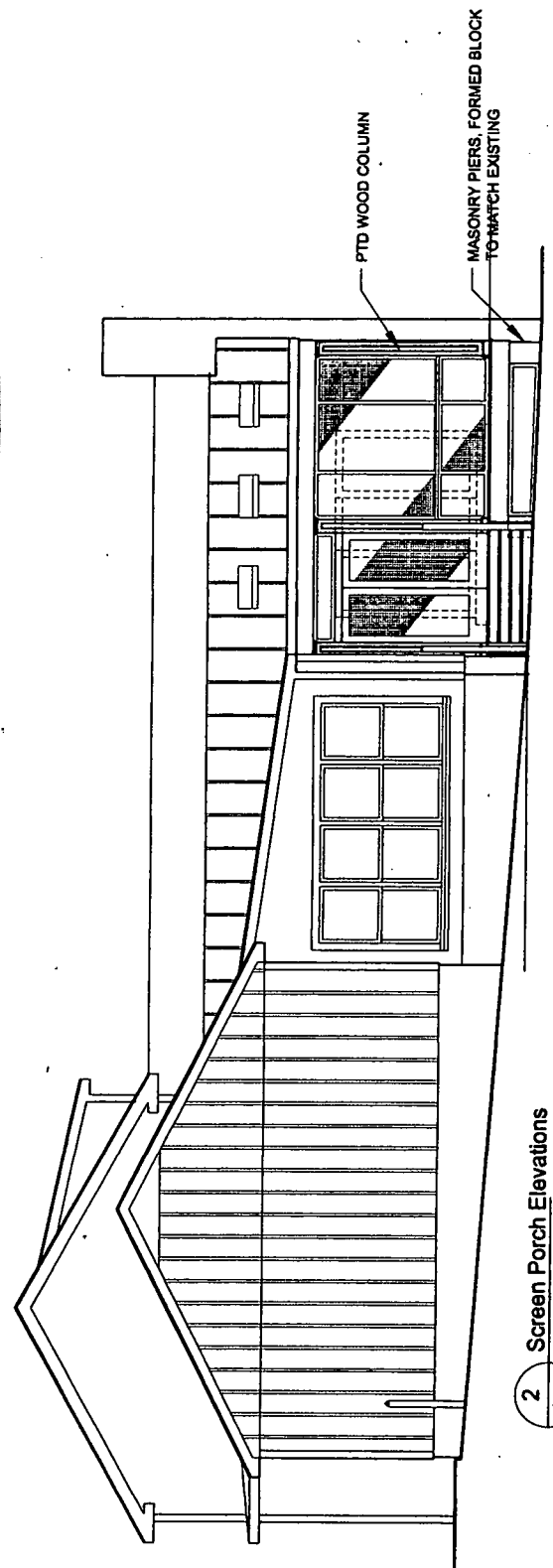
- Demolition drawings indicate design intent only. Contractor to coordinate demolition with Plumbing, Electrical, Mechanical and Structural drawings as necessary.
- Salvage equipment, fixtures, combs, base, trim, and miscellaneous items as required by Contract Documents. Recycle if possible or dispose of remaining items at the end of the job as directed by Owner.
- Provide proper temporary waterproofing and security following exterior wall/roof demolition work. All doors and windows to be salvaged for the course of the job. Those not re-used should be removed by Contractor as directed by Owner. See Door and Window Schedules for those to be salvaged and relocated.
- Existing plumbing hookups to be shut off at each immediate location prior to demolition work at each location.
- Remove all miscellaneous protrusions in walls, floors, windows and doors including, but not limited to nails, hooks, wires, etc.
- Brace structure as necessary during demolition to prevent structural damage. Protect the existing exterior siding, roof and trim from damage during demolition. Protect interior walls, doors, trim, ceilings and floor from unnecessary damage.
- Debris shall not accumulate on site. Site or burning of material on site is prohibited. Site and adjacent areas shall be kept clean and free from mud, dirt and debris at all times.
- Remove all existing sink and appliance hookups as necessary.
- All waste to be recycled whenever possible.

APPROVED  
Montgomery County  
Historic Preservation Commission



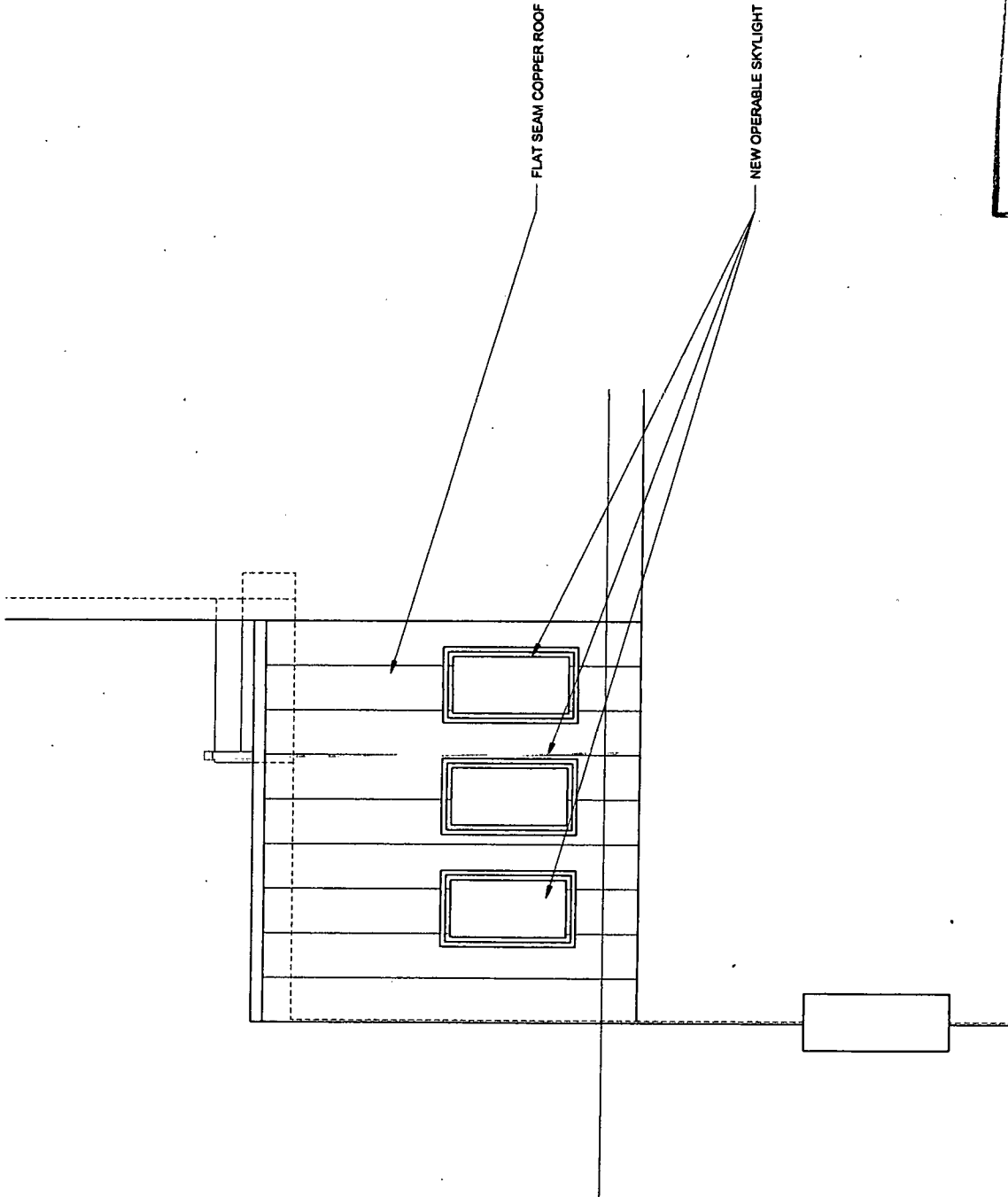
APPROVED  
 Montgomery County  
 Historic Preservation Commission

1 Screen Porch Elevations  
 Scale: 3/8"=1'-0"



2 Screen Porch Elevations  
 Scale: 3/8"=1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*



1 Roof Plan  
 Scale: 1/4" = 1'-0"  
 A-3

## Manarolla, Kevin

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**From:** Bourke, Tom (Winchester Homes, Inc.)(Tom) <tom.bourke@whihomes.com>  
**Sent:** Tuesday, December 04, 2012 2:27 PM  
**To:** Fothergill, Anne; Manarolla, Kevin; Whipple, Scott; Silver, Joshua  
**Cc:** ChCh Village file (CCV@montgomerycountymd.gov); Feldman, Gail; HBSacks@comcast.net; Jacobs - Eph's daughter (abjdoe@gmail.com); P. Wellington; Stephens, Betsy  
**Subject:** LAP comments 12-5-12 - Village Hall, 102 E Lenox --DRAFT

The following are the comments of the Chevy Chase Village Local Advisory Panel for items before the HPC on 12/5/12:

### Chevy Chase Village Hall

Outstanding Resource

Garage door replacement and alterations to basement level

Staff Recommendation: Expedited Approval

LAP: concurs with Staff approval and as always we support Expedited Approvals whenever possible

### 102 East Lenox

Contributing Resource

Screen Porch construction – at rear of house

Staff Recommendation: Approval

LAP concurs with staff recommendation for approval

Submitted on behalf of the LAP by Tom Bourke, Chair



**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	102 East Lenox Street, Chevy Chase	<b>Meeting Date:</b>	12/5/12
<b>Resource:</b>	Contributing Resource Chevy Chase Village Historic District	<b>Report Date:</b>	11/28/12
<b>Applicant:</b>	William and Susan Kirby	<b>Public Notice:</b>	11/21/12
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/13-12CC	<b>Staff:</b>	Anne Fothergill

**PROPOSAL:** Screened porch construction

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**STAFF RECOMMENDATION**

Staff recommends that the HPC approve the HAWP application.

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Vernacular (originally was the carriage house of 101 East Kirke)  
**DATE:** c. 1900; addition constructed c. 1965

**PROPOSAL**

The applicants are proposing to construct a screened porch at the rear of the house. The porch will be built using the footprint of the existing porch. The porch will have a copper roof, skylights, wood columns and posts, screen panels, masonry piers, and a wood railing to grade.

See existing and proposed plans in Circles 8-12.

**APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

***Chevy Chase Village Historic District***

The Guidelines define a Contributing Resource as "A resource which contributes to the overall character of the district and its streetscape, but which is of secondary architectural and historical significance. A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations. Contributing resources add to the overall streetscape due to their size, scale, and architectural character."

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

Specifically, the *Guidelines* state:

- *Porches* should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed. Strict scrutiny should be applied to additions above existing front porches.

***Montgomery County Code; Chapter 21A-8:***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the

historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**STAFF DISCUSSION**

The *Guidelines* state that “contributing resources add to the overall streetscape due to their size, scale, and architectural character.” The proposed screened porch will be at the rear of the house where there is an existing open porch/deck. Applying moderate scrutiny, the *Guidelines* allow the construction of the proposed compatibly-designed screened porch and staff recommends that the HPC approve the project.

**STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) and (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [anne.fothergill@mncppc-mc.org](mailto:anne.fothergill@mncppc-mc.org) to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: KIRBYOFec@GMAIL.com Contact Person: William Kirby
Daytime Phone No.: 301 520 3338
Tax Account No.:
Name of Property Owner: William & Susan Kirby Daytime Phone No.: 301 215-9079
Address: 102 EAST LENOX ST, CHEVY CHASE, MD 20815-3313
Contractor: Phone No.:
Contractor Registration No.:
Agent for Owner: Daytime Phone No.:

House Number: 102 Street: EAST LENOX STREET
Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE ROAD
Lot: 24 Block: 35 Subdivision: SECTION TWO
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable

CHECK ALL APPLICABLE:

- A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other

1B. Construction cost estimate: \$

1C. If this is a revision of a previously approved active permit, see Permit # N/A

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other

2B. Type of water supply: 01 WSSC, 02 Well, 03 Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
On party line/property line, Entirely on land of owner, On public right of way/ easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 6017098 Date Filed: 11/8/12 Date Issued:

1. WRITTEN DESCRIPTION OF PROJECT

A. Description of existing structure and environmental setting including their historical features and significance:

Our house, 102 E. Lenox St. was originally the carriage house of 101 East Kirke Street and was most likely built at the same time, around 1899. The footprint was expanded about 40-50 years ago, and we believe that the present porch/deck was built at that time. The porch is not easily visible from Lenox Street nor by our neighbors at 101 East Kirke Street or 107 East Kirke Street. It can be seen by our neighbors at 104 East Lenox Street, although it is screened by vegetation.

B. General description of project and its effect on the historical resource, the environmental setting, and the historic district:

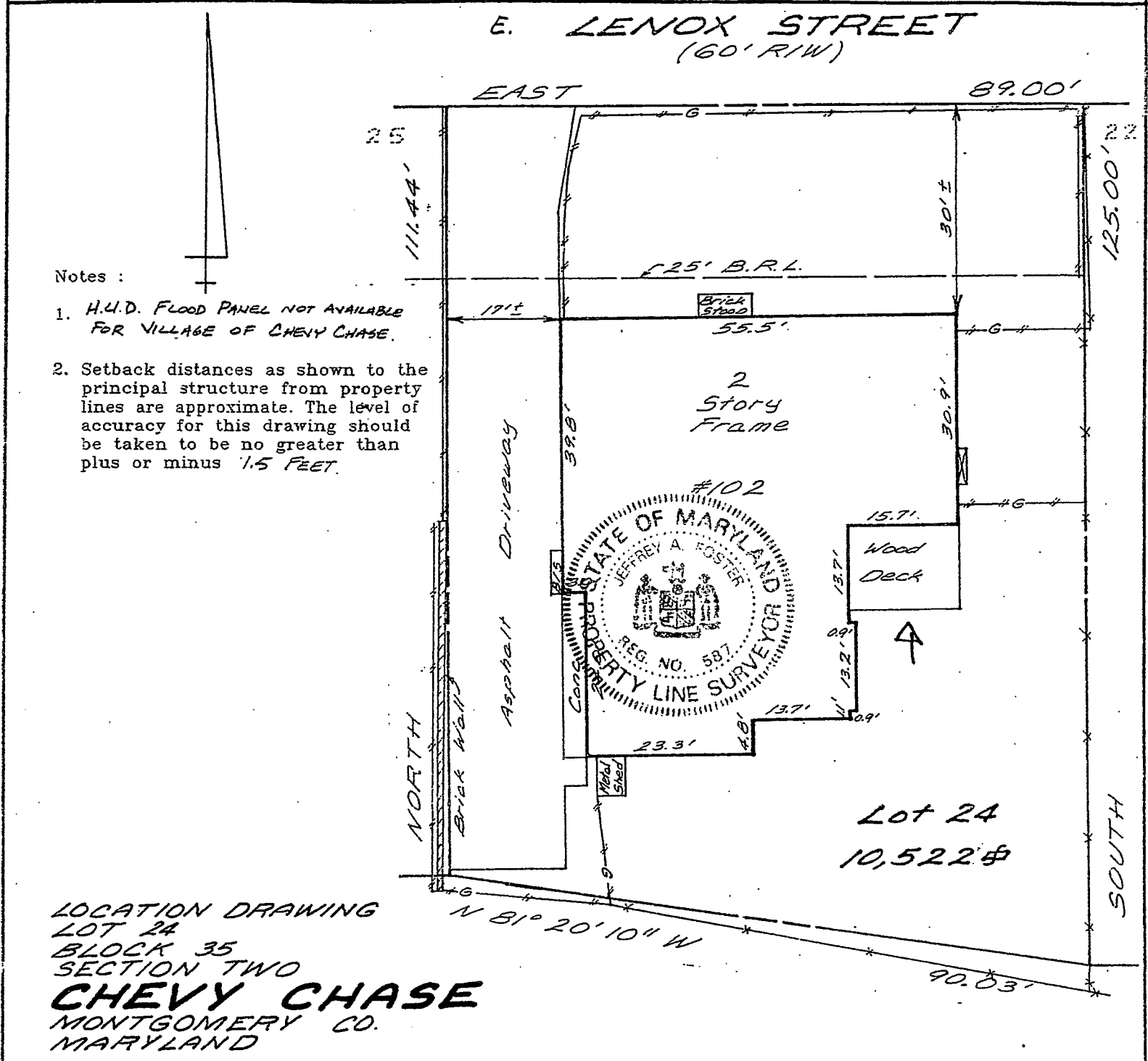
The project is to enclose the current porch using its present footprint. The footings will be examined and if necessary will be replaced. To our knowledge, this should not effect the historical aspect of the house as the porch was not part of the original carriage house. There will be no significant effect on the environmental setting as storm water drainage will be no different from this structure than it is presently. The porch is not seen from the street and will have no effect on the historic district.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b></p> <p>William and Susan Kirby          102 E. LENOX ST          CHEVY CHASE, MD 20815-3313</p>	<p><b>Owner's Agent's mailing address</b></p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>Sam and Mary Lawrence          100 East Lenox Street          Chevy Chase MD 20815-3313</p>	<p>Richard + Joan Marsh          101 East Kirke Street          Chevy Chase, MD 20815</p> <p>Note: They currently are living in Knollwood          (on OREGON AVENUE, D.C.)</p>
<p>Christopher and Maria Manning          104 East Lenox Street          Chevy Chase - 20815</p>	<p>Kevin and Marguerite Nealon          107 East Kirke Street          Chevy Chase, MD 20815</p>
<p>F. Michael and Wendy Kail          101 East Lenox St          Chevy Chase, MD 20815</p>	

existing or future improvements.

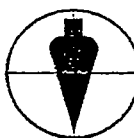
- This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
- Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

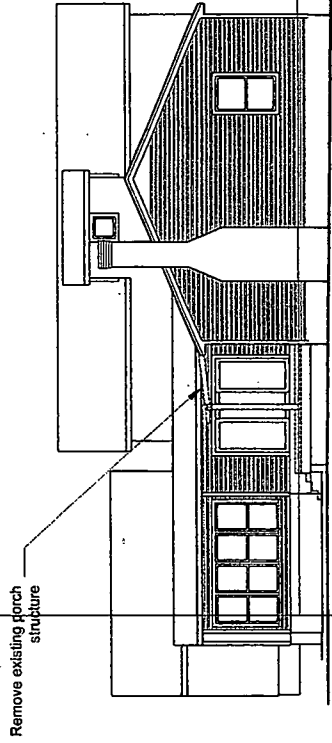


Notes :

- H.U.D. FLOOD PANEL NOT AVAILABLE FOR VILLAGE OF CHEVY CHASE.
- Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1.5 FEET.

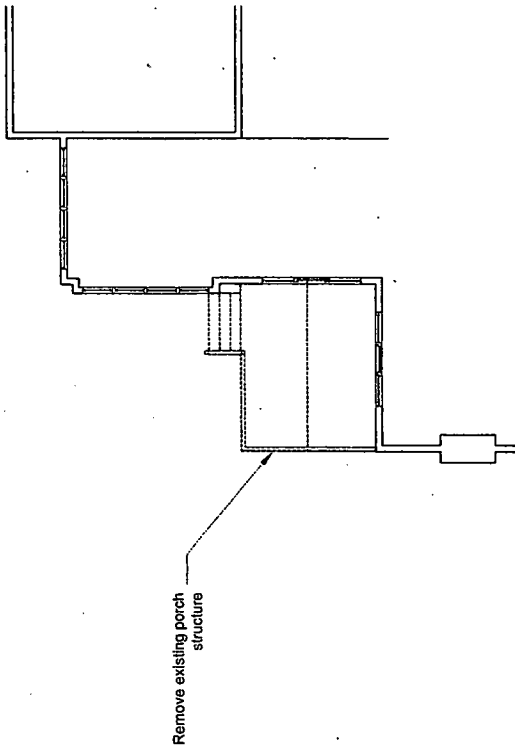
LOCATION DRAWING  
 LOT 24  
 BLOCK 35  
 SECTION TWO  
**CHEVY CHASE**  
 MONTGOMERY CO.  
 MARYLAND

<b>SURVEYOR'S CERTIFICATE</b> "THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."  <i>Jeffrey A. Foster</i> MARYLAND PROPERTY LINE SURVEYOR REG. NO. <u>587</u>	<b>REFERENCES</b> PLAT BK. <u>73</u> PLAT NO. <u>7139</u>	 <b>SNIDER &amp; ASSOCIATES</b> SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 216 Gaithersburg, Maryland 20879 301/948-5100, Fax 301/948-1286
	<b>LIBER</b> <b>FOLIO</b>	



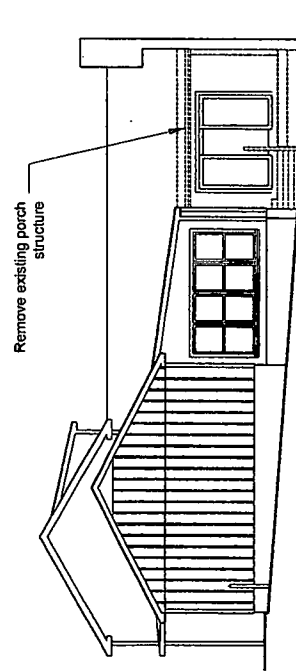
2 Side Elevation  
A-1.d

Scale: 1/8"=1'-0"



1 First Floor Plan  
A-1.d

Scale: 1/8"=1'-0"



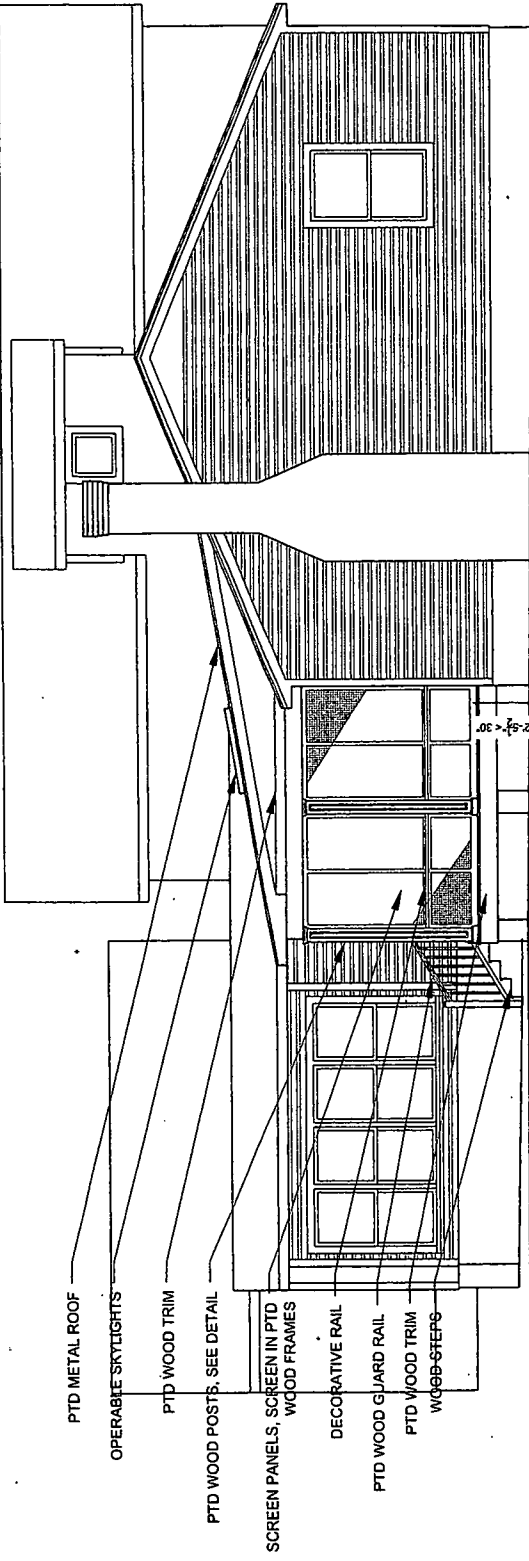
3 Back Elevation  
A-1.d

Scale: 1/8"=1'-0"

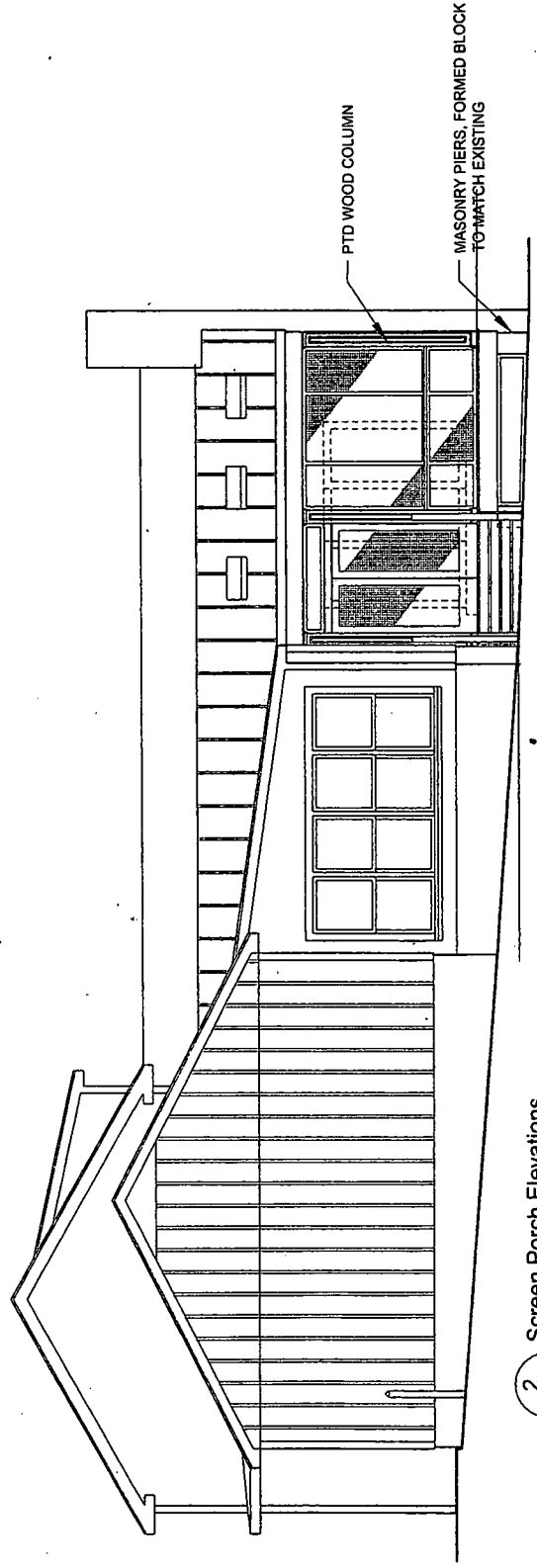
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4. All doors and windows to be salvaged for the course of the job. Those not re-used should be removed by Contractor as directed by Owner. See Door and Window Schedules for those to be salvaged and relocated.
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2 Screen Porch Elevations  
Scale: 3/8"=1'-0"

**ELECTRICAL NOTES**

1. Provide all labor, materials, equipment devices, and light fixtures as required, and lamps; obtain permits and pay all fees necessary for the complete electrical system indicated. Include all work associated with equipment shown on architectural, mechanical and plumbing drawings and specifications. Equipment noted to be supplied by Owner shall be installed by Contractor. All materials and equipment shall be new, of first class quality and approved under applicable standards. All materials for which U.L. Labeling service is established shall bear U.L. Label.
2. All work to comply with latest edition of the National Electrical Code (NEC) and with all applicable local codes, ordinances and regulations, except where plans or specifications are more strict.
3. Provide all breakers as required to complete each electric panel board. All circuit breakers shall be full module size. A neatly typed schedule shall be framed under clear plastic at panel with approved legend identifying each circuit and what it controls. Loads shall be connected for best phase balance.
4. Interior wiring to be BX cable, EMT conduit where required by code. Use a Romex type cable (NMC-B) or equal, in lieu of BX where applicable and allowable by code. All exterior conduit including underground conduit shall be Schedule 40 piping as required by the NEC.
5. Safety switches shall be provided where required by code whether shown or not. Use general duty type. Coordinate with owner to order as necessary.
6. All receptacle outlets shall be 20A, 125V, grounding type, unless noted or otherwise dictated by code requirements. Provide enough outlets to meet code requirements.
7. All wiring shall be routed in a concealed manner.
8. Coordinate work with electrical utility. Pay all costs involved with power company work or requirements.
9. Refer to architectural drawings for exact locations of switches, outlets, lights etc. All switches to be mounted at 48" A.F.F., unless otherwise noted. All outlets to be mounted at 18" A.F.F., unless otherwise noted.
10. Upon completion of work adjust all equipment and test all systems in accordance with NEC, and at direction of Owner. Provide Owner with final electrical inspection certificate.
11. Upon completion of work adjust all equipment and test all systems in accordance with NEC, and at direction of Owner. Provide Owner with final electrical inspection certificate and any manufacturer's instructions.

Electrical Symbol Schedule	
Symbol	Description
⊠	Single pole switch
⊠	3 way switch
⊠	4 way switch
⊠	Dimmer switch
⊠	3 way dimmer switch
⊠	Duplex outlet
⊠	Covered, exterior water proof outlet
⊠	Plug mtd. outlets @ 12" o.c.
⊠	Duplex outlet, ground fault interrupt
⊠	Telephone jack
⊠	Ca/Smoke detector-hardwired
⊠	Recessed light fixture
⊠	Pendant or surface mounted light fixture
⊠	Exterior light fixture
⊠	Track light fixture
⊠	Cable and/or Cat-5
⊠	Speaker
⊠	Ceiling Fan

Symbol	Description	Remarks
⊠	Single pole switch	
⊠	3 way switch	
⊠	4 way switch	
⊠	Dimmer switch	
⊠	3 way dimmer switch	
⊠	Duplex outlet	
⊠	Covered, exterior water proof outlet	Exact location shall be determined by Owner
⊠	Plug mtd. outlets @ 12" o.c.	Remote circuit breakers at main electrical panel
⊠	Duplex outlet, ground fault interrupt	Exact location shall be determined by Owner
⊠	Telephone jack	Exact location shall be determined by Owner. Provide Ca/Smoke detectors as required per code
⊠	Ca/Smoke detector-hardwired	Exact location shall be determined by Owner
⊠	Recessed light fixture	Exact location shall be determined by Owner
⊠	Pendant or surface mounted light fixture	Exact location shall be determined by Owner
⊠	Exterior light fixture	
⊠	Track light fixture	
⊠	Cable and/or Cat-5	
⊠	Speaker	
⊠	Ceiling Fan	

**ELECTRIC FIXTURE SCHEDULE**

No.	Item/Mounting	Manufacturer	Model	Lamps	Remarks
1	Recessed down light	Lightolier	2002		
2	Surface mounted ceiling				Allow \$200 each
3	Scenes				

Date: 09.25.12

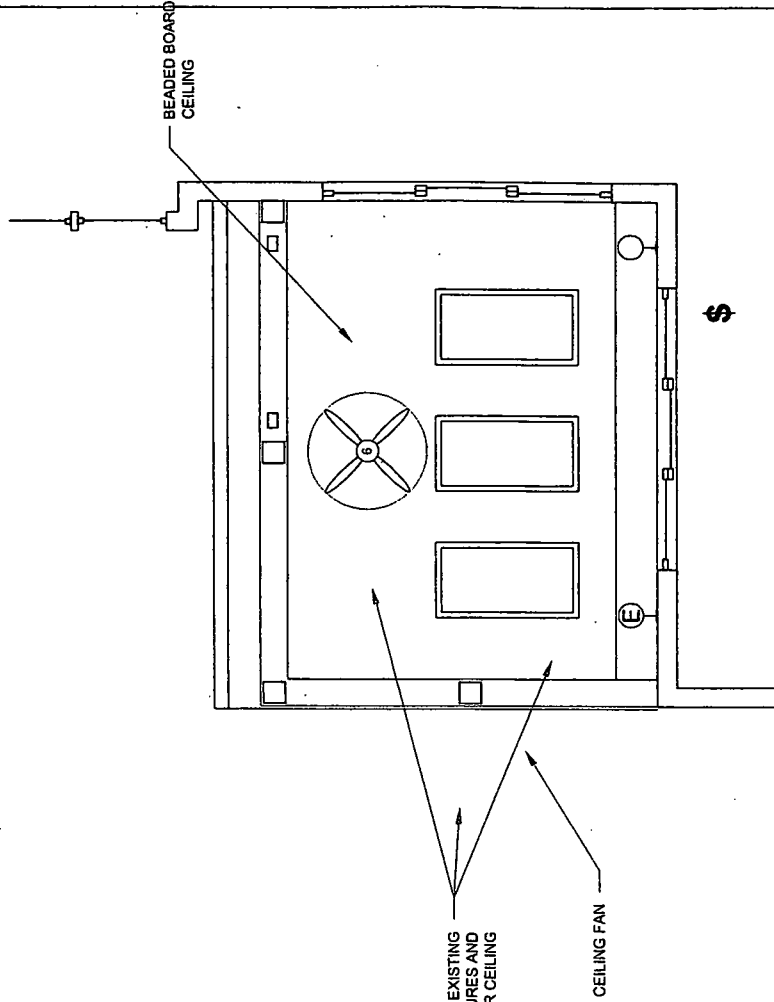
Kirby Screen Porch

Reflected Ceiling Plan

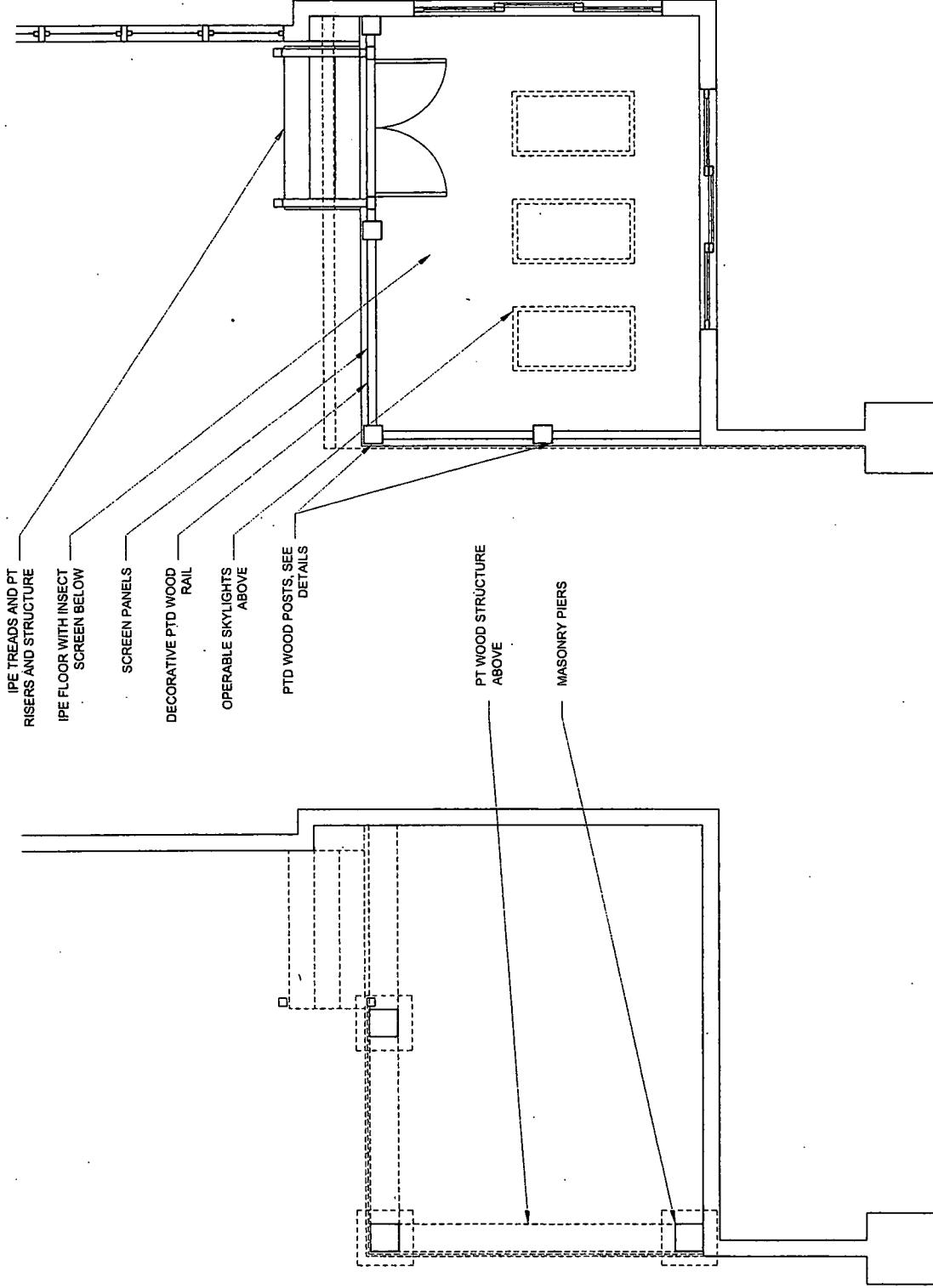
Kawa Architects  
301-254-8844

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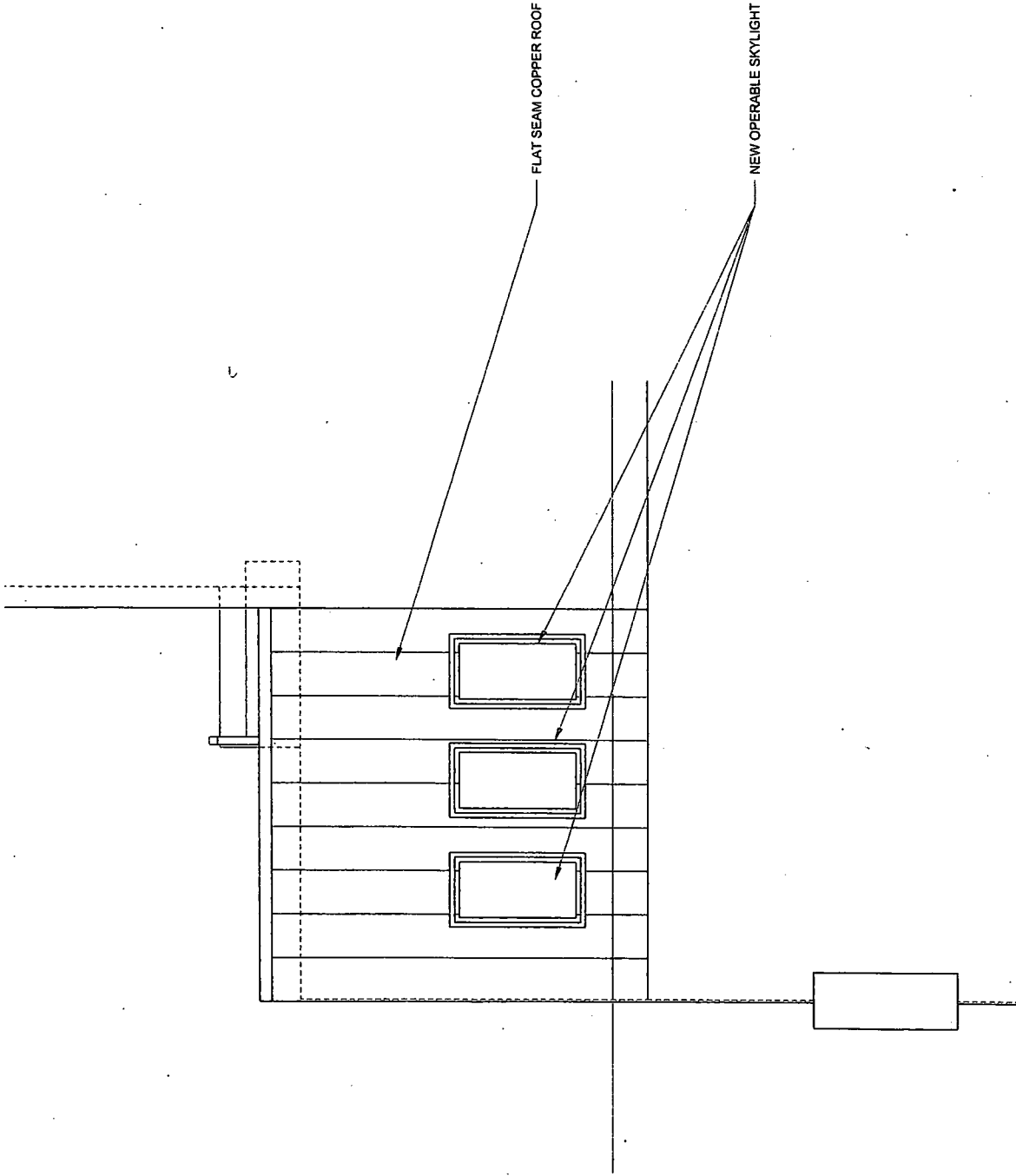
2 First Floor Reflected Ceiling Plan  
Scale: 3/16"=1'-0"



2 First Floor Plan  
Scale: 3/8"=1'-0"

1 Foundation Plan  
Scale: 3/8"=1'-0"

(=)





Above: toward porch from property line (more vegetation in neighbor's yard as well))



102 East Lenox Street from property line on side of porch (not seen)



102 East Lenox Street, November 2012.





Behind vegetation on right half of photo is area of porch, 102 E. Lenox Street, from back door/deck of 104 E. Lenox Street. November 5, 2012

102 E. LEMOX



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