



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: February 19, 2013

MEMORANDUM

TO: Diane R. Schwartz Jones, Director
Department of Permitting Services

FROM: Karen Theimer Brown, Senior Planner *KTB*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

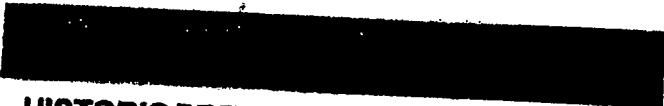
SUBJECT: Historic Area Work Permit #623731, for demolition of non-historic addition and construction of second story addition and screened porch

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the February 13, 2013 meeting.

Applicant: Michael and Carol McGarry

Address: 24 West Kirke Street, Chevy Chase





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: ACholok@gmail.com Contact Person: Alec Cholok
 Tax Account No.: 195-34-2018 Daytime Phone No.: 301-651-7252
 Name of Property Owner: Michael and Carol McGarry Daytime Phone No.: 301-219-4700
 Address: 24 Chevy Chase West Kirke St., 20815
Street Number City Street Zip Code
 Contractor: William R. Millard, Inc. Phone No.: 301-806-6999
 Contractor Registration No.: MHC# 4295
 Agent for Owner: Alec Cholok Daytime Phone No.: 301-651-7252

LOCATION OF BUILDING/REARISE

House Number: 24 Street: West Kirke St.,
 Town/City: Chevy Chase Nearest Cross Street: Magnolia Parkway
 Lot: 13 Block: 32 Subdivision: Section 2 - Chevy Chase
 Liber: 9789 Folio: 135 Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|--|--|--|------------------------------------|---|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Reze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 250,000.00

1C. If this is a revision of a previously approved active permit, see Permit # No

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent _____ Date _____

Approved: _____ For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: 2/19/13
 Application/Permit No.: 623731 Date Filed: 1/17/13 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

(6)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The Home sits on a quarter acre lot in the mid block of West Kirke Street. It is a two story wood framed structure. The original house is built in the cottage style and is estimated to have been constructed in the 1920s (approx.) A covered porch running along the east side of the home was enclosed at some point (1940s est) and the second floor was built out with full length dormers. A one story kitchen addition was added at the rear of the home in about 1960. It is not visible from the street or other public ways. The main portion of the home is clad in wood shakes that have been painted. Dormers are clad in mineral cement clapboard. Roof material is fiberglass asphalt shingles. It appears that original windows were replaced with double hung windows in the 1950s or 1960s. These are true divided lite single pane windows with removable storm windows.

The home is set back from the street and is fronted by a lawn with foundation plantings. An existing asphalt drive runs along the east side and extends from the street to the rear of the house.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The scope of the project consists of removing the existing one story kitchen addition and constructing, at the same location, a new two story addition and screened porch. The addition will include a new kitchen at the ground floor and master bedroom at the second. The design of the addition will be sympathetic to the existing cottage design. Exterior finishes will include painted or stained cedar shakes with 5/4 x 6, 8 or 10 trim boards at corners and as floor ribbons.

Eaves will project approximately eighteen inches and will be similar in form to the existing house. Double hung windows will be used throughout. The porch design will incorporate formal columns at the corners and a traditional cornice above. Roof shingles will be an architectural profile asphalt fiber glass type.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 8" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

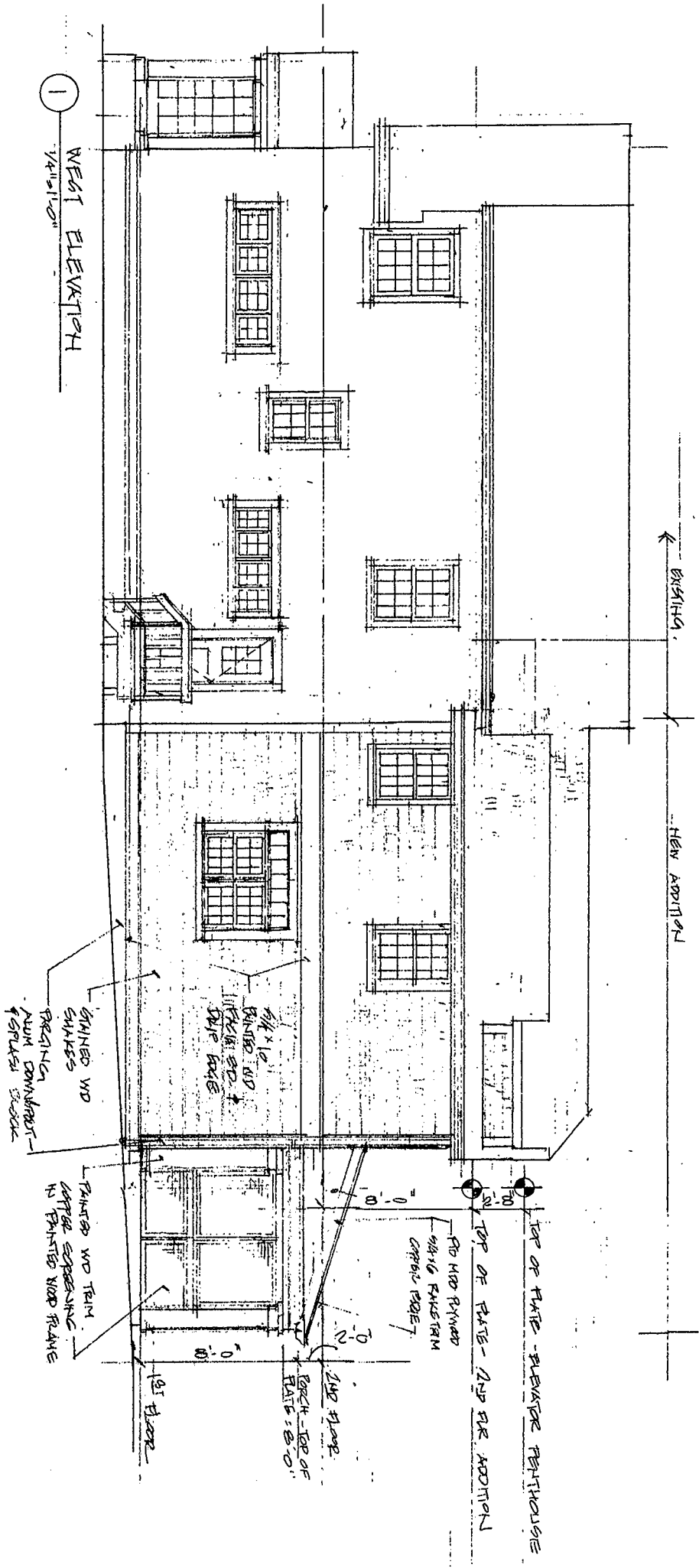
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

1

WEST ELEVATION
1/4" = 1'-0"



← EXISTING

NEW ADDITION

GRAINED WD SHAKES
PREGNANT
MUM DOWNROST
SPURST BRICK

5/8" x 1 1/2"
GRAINED WD
PREGNANT
MUM DOWNROST
SPURST BRICK

PAINTED WD TRIM
CORNER SPRINGING
IN PAINTED WOOD FRAME

TOP OF RAISE - 2ND FLOOR ADDITION
1ST FLOOR
TOP OF RAISE - ELEVATOR REPAIRHOUSE

1st Floor
RIGHT - TOP OF RAISE - 8'-0"

1st Floor

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	24 West Kirke, Chevy Chase	Meeting Date:	2/13/13
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	2/6/13
Applicant:	Michael and Carol McGarry	Public Notice:	1/31/13
Review:	HAWP	Tax Credit:	No
Case Number:	35/13-13E	Staff:	Karen Theimer Brown

PROPOSAL: Demolition of non-historic addition and construction of a 2 story addition and screen porch

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Craftsman
DATE: 1892-1916

PROPOSAL

The applicant is proposing to alter the historic house and expand it with a two-story addition to the rear of the house.

The proposed changes to the house include:

- Remove existing one story kitchen addition (dating roughly 1960s)
- Replace one story kitchen with a two-story addition, 26'4' in length and approximately half the width of the house and screened porch.
- Add new concrete stair to basement in rear

APPLICABLE GUIDELINES

When reviewing alterations within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

Chevy Chase Village Historic District

The *Guidelines* define a Contributing Resource as "A resource which contributes to the overall character of the district and its streetscape, but which is of secondary architectural and historical significance. A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the

historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations. Contributing resources add to the overall streetscape due to their size, scale, and architectural character.”

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state basic policies that should be adhered to, including:

Preserving the integrity of the proposed Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of the property that are not visible from the public right of way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

- **Porches** should be subject to moderate scrutiny if they are visible from the public right of way, lenient scrutiny if they are not.
- **Siding** should be subject to moderate scrutiny if it is visible from a public right of way, lenient if it is not.
- **Doors** should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- **Exterior trim** (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not.
- **Gutters** are not currently subject to review and should not be reviewed.

- **Major additions** should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way.
- **Roofing materials** should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- **Windows** (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated

from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The historic resource is contributing to the Chevy Chase Village Historic District and therefore subject to moderate scrutiny. As noted in the *Applicable Guidelines*, the definition of moderate scrutiny directs the Commission to evaluate the proposed alterations' massing, scale, and compatibility to ensure that the preservation of the integrity of the resource is taken into account. Additionally, the *Guidelines* state that major additions should, where feasible, be placed at the rear of the existing structure so that they are less visible from the public right of way. Most changes to the rear of the properties should be approved as a matter of course.

The applicant provided specifications for a two-story addition on the rear of the property. The application includes the demolition of a one-story rear addition (estimated construction date 1960) that currently functions as a kitchen. The application also includes the construction of a screened porch at the rear.

The proposed two-story addition is 26' 4" x 16' 4". The proposed one-story screened in porch measures 10' x 16' 4" and is attached to the rear addition. The addition conforms to the rear and side setback requirements. The addition is set in on the west elevation (right side) 8" in order to differentiate from the historic block and preserves the original corner of the house.

In a previous iteration of this application, the roofline of the addition was visible from the public right of way. To address this issue, the design was modified from a gable roof to a clipped gable. The roofline of the addition is lower than the historic block and is subordinate to the original mass. The revised design preserves the historic front façade and the visibility of the top of the plate of the elevator penthouse from the public right of way is diminished.

The addition is compatible with the existing structure in terms of materials: stained wood shakes; painted wood trim, including 5/4 x 10 ribbon, 5/4 x 6 corner trim and 5/4 x 6 or 4 edge trim around windows, painted wood sills and skirts, and painted wood pilasters with a wood cap and base on the exterior of the screened porch. The screened porch also includes copper screening and copper edging. The windows will be Anderson Series 400 metal clad wood with true divided lights. The windows are multi-paned and similar in dimension and proportion to the windows in the historic block. First floor windows in the addition will include a fixed transom that is compatible with but allows for differentiation from the historic windows. The addition is also compatible with the existing structure for its craftsman style detailing. Eaves will project approximately 18 inches and will be similar in form to the historic block. The screened porch will be ornamented by pilasters and a traditional cornice. Roofing materials will be asphalt architectural shingle and will match existing.

Using the guidelines and applying a moderate level of scrutiny, staff finds that the application is consistent with the Chevy Chase Village Historic District Guidelines and supports the demolition of the rear one-story addition and the construction of a two-story rear addition and screened porch as proposed.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-

8(b)(1) and (2);

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

J. Michael and Carol McGarry
6409 Kennedy Drive
Chevy Chase, MD 20815

Owner's Agent's mailing address

Alec Cholok
10736 Brewer House Rd
Rockville, MD 20852

Adjacent and confronting Property Owners mailing addresses

Ben and Virginia Crisman
20 West Kirke St.
Chevy Chase, MD 20815

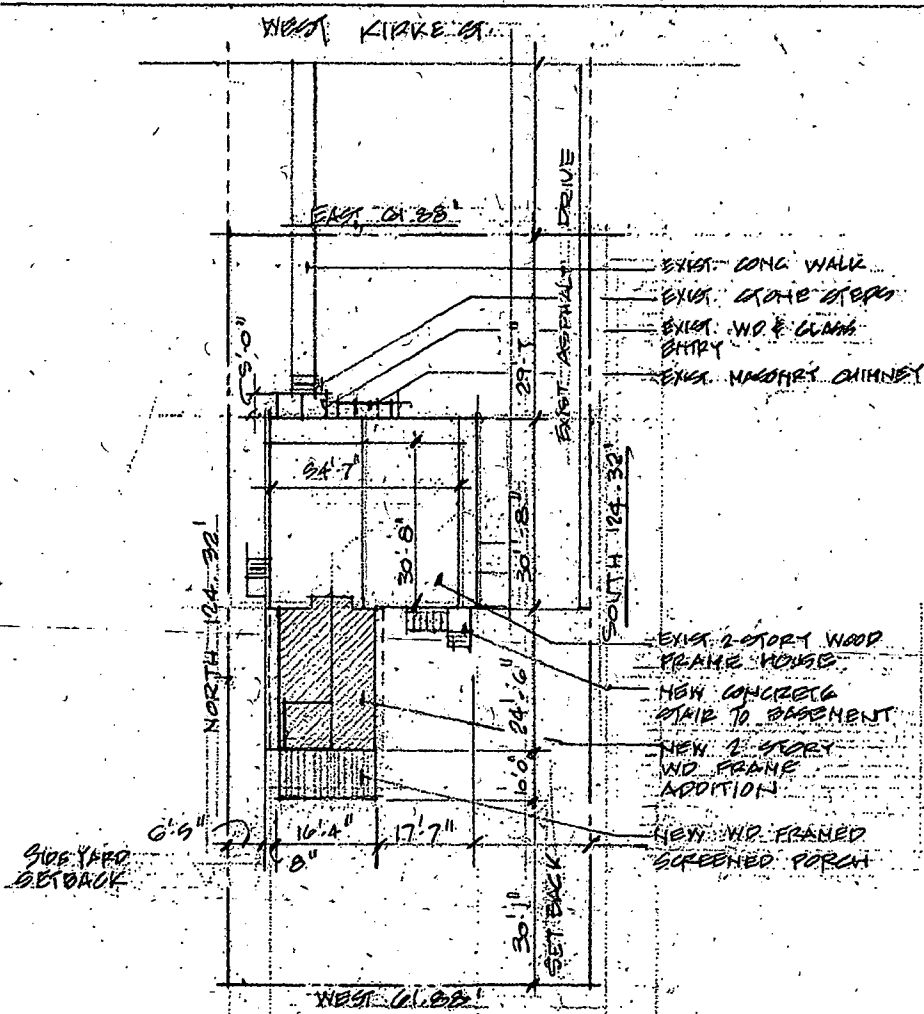
Richard and Susanne Leach
26 West Kirke Street
Chevy Chase, MD 20815

Thomas and Melissa Dann
27 West Kirke Street
Chevy Chase, MD 20815

Brendan and Margaret Babbington
25 West Irving Street
Chevy Chase, MD 20815

Aaron and Charlotte Kramer
27 West Irving Street
Chevy Chase, MD 20815

Site Plan

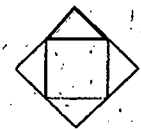


SITE PLAN

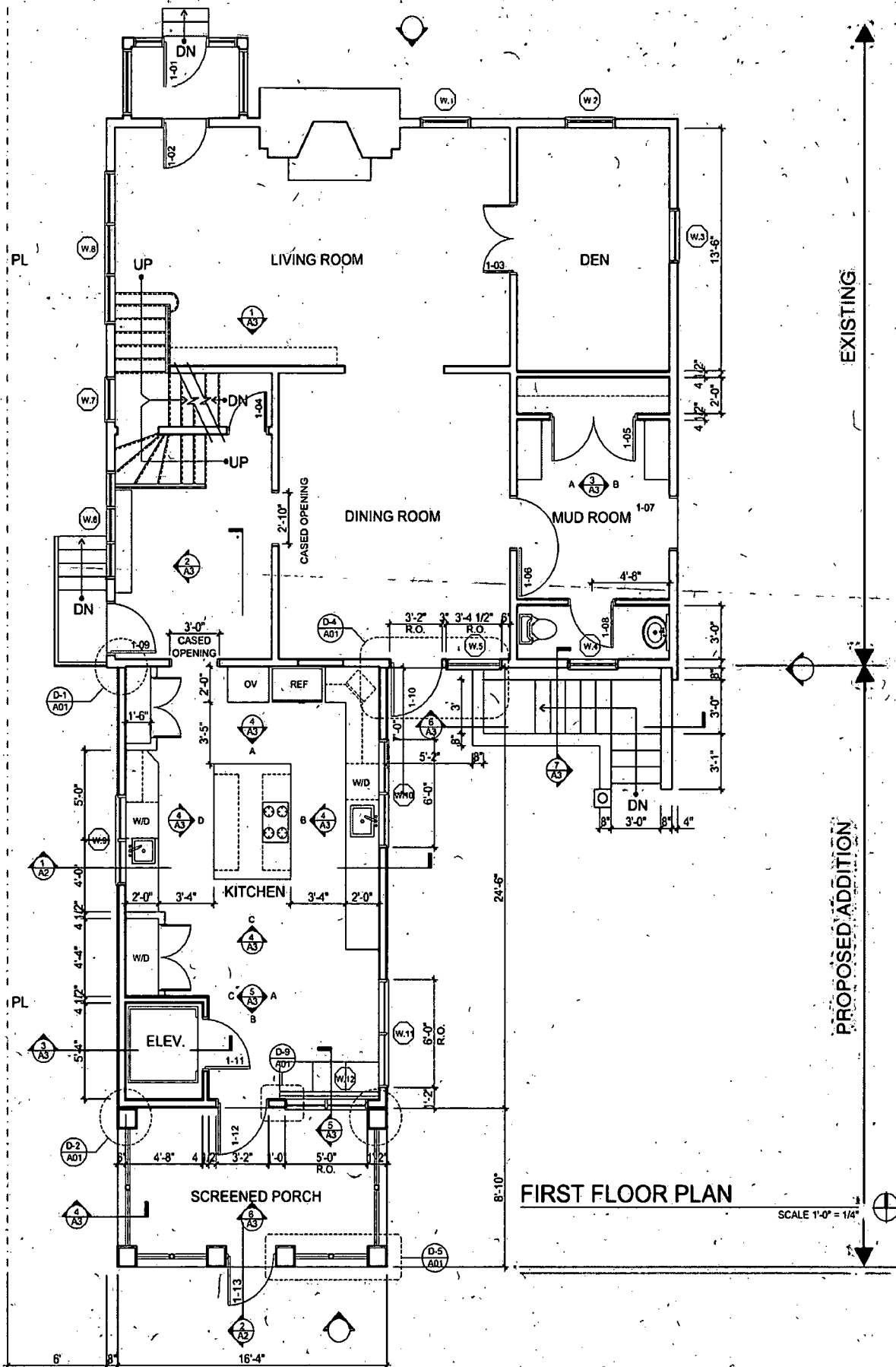
1" = 20'
 LOT COVERAGE:
 LOT AREA: 7,592 S.F.
 RESIDENCE: 1,016 S.F.
 LOT COVERAGE: 21.4%

McGARRY RESIDENCE

24 W. KIRKE ST.
 CHEVY CHASE, MD. 20819
 LOT 13, BLOCK 32
 SECTION NO. 2
 PLAT BOOK NO. 2 - PLAT NO. 106

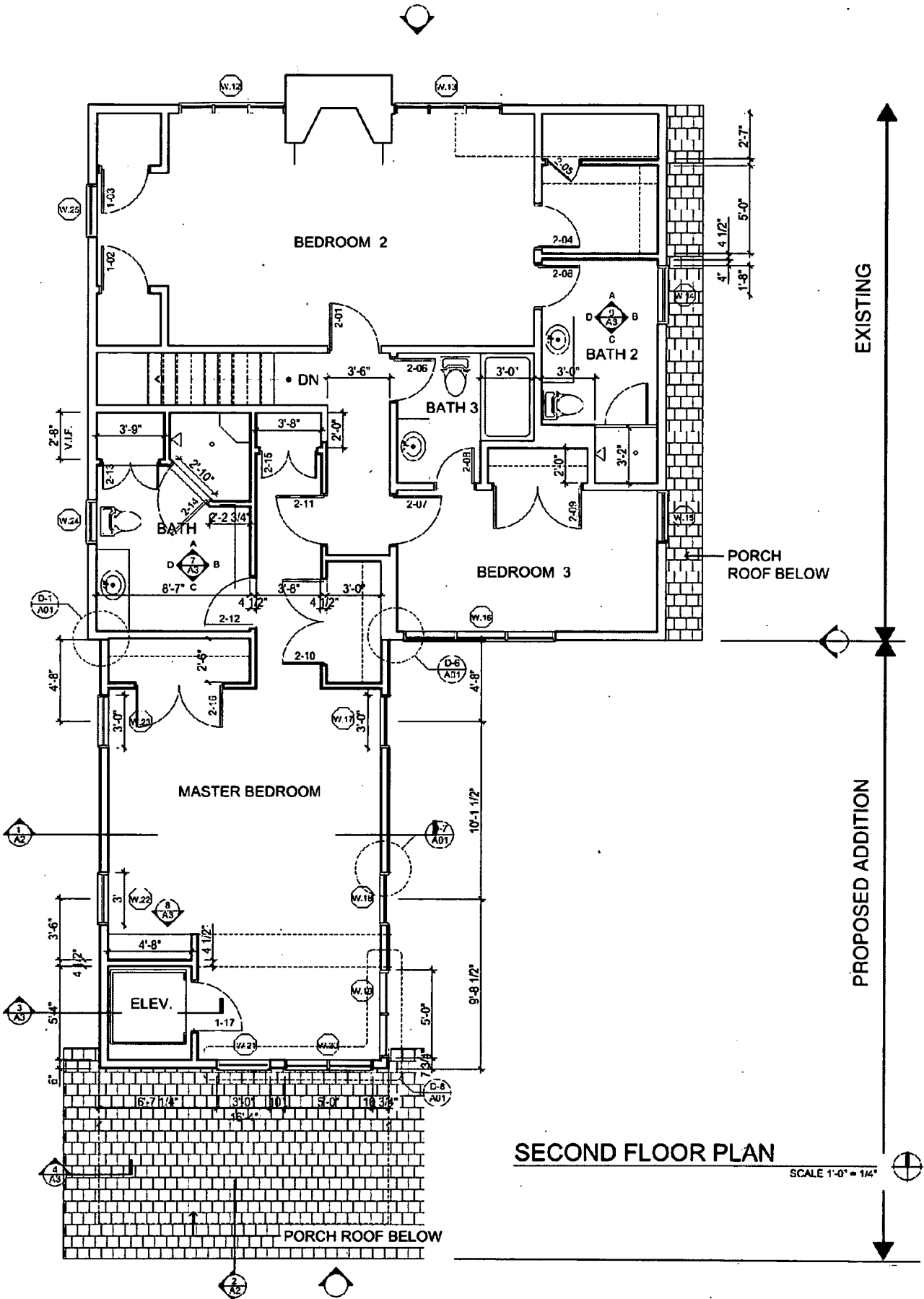


Shade portion to indicate North



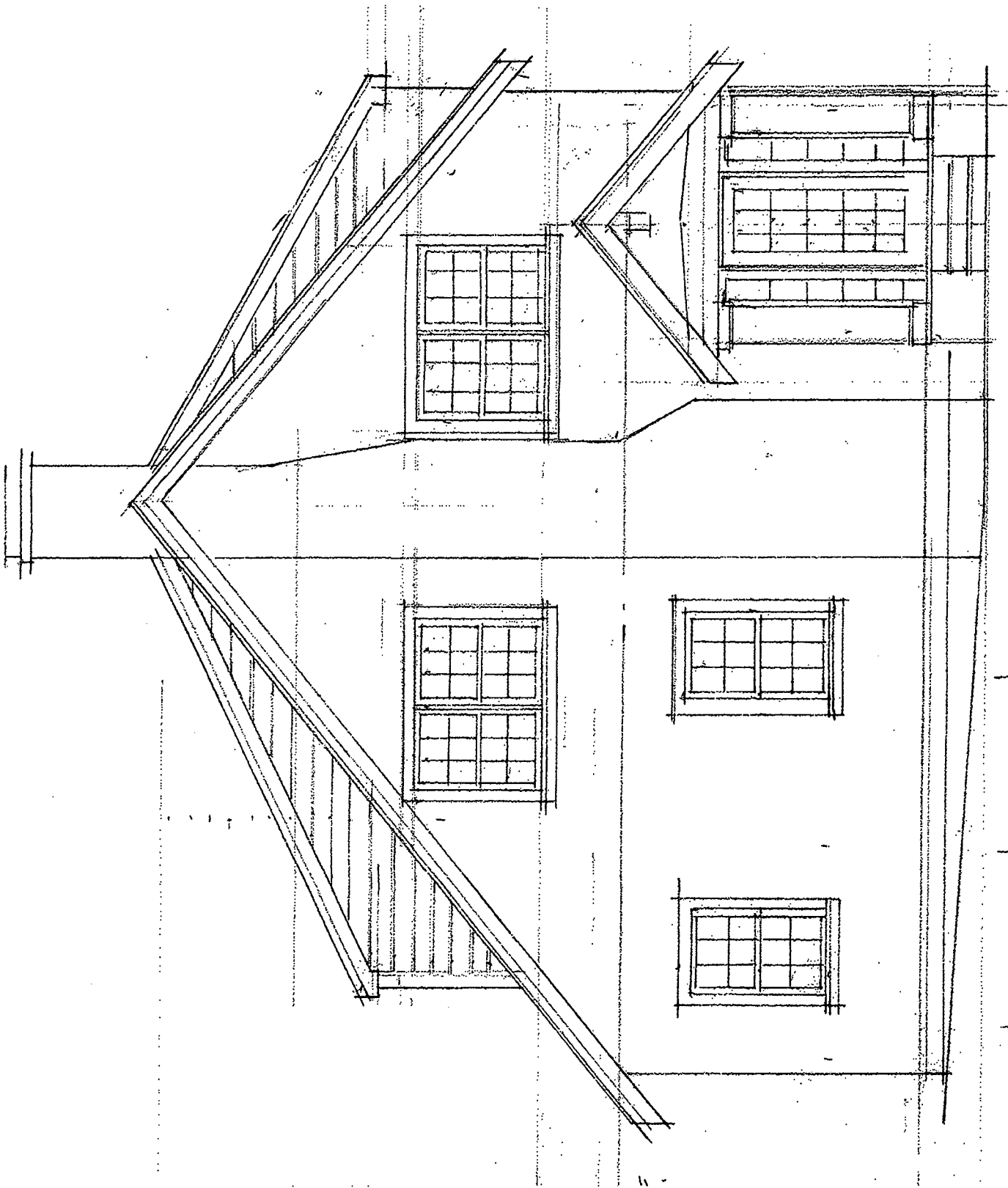
Applicant: McGarry Residence, 24 W. Kirke St, Chevy Chase

10



SECOND FLOOR PLAN

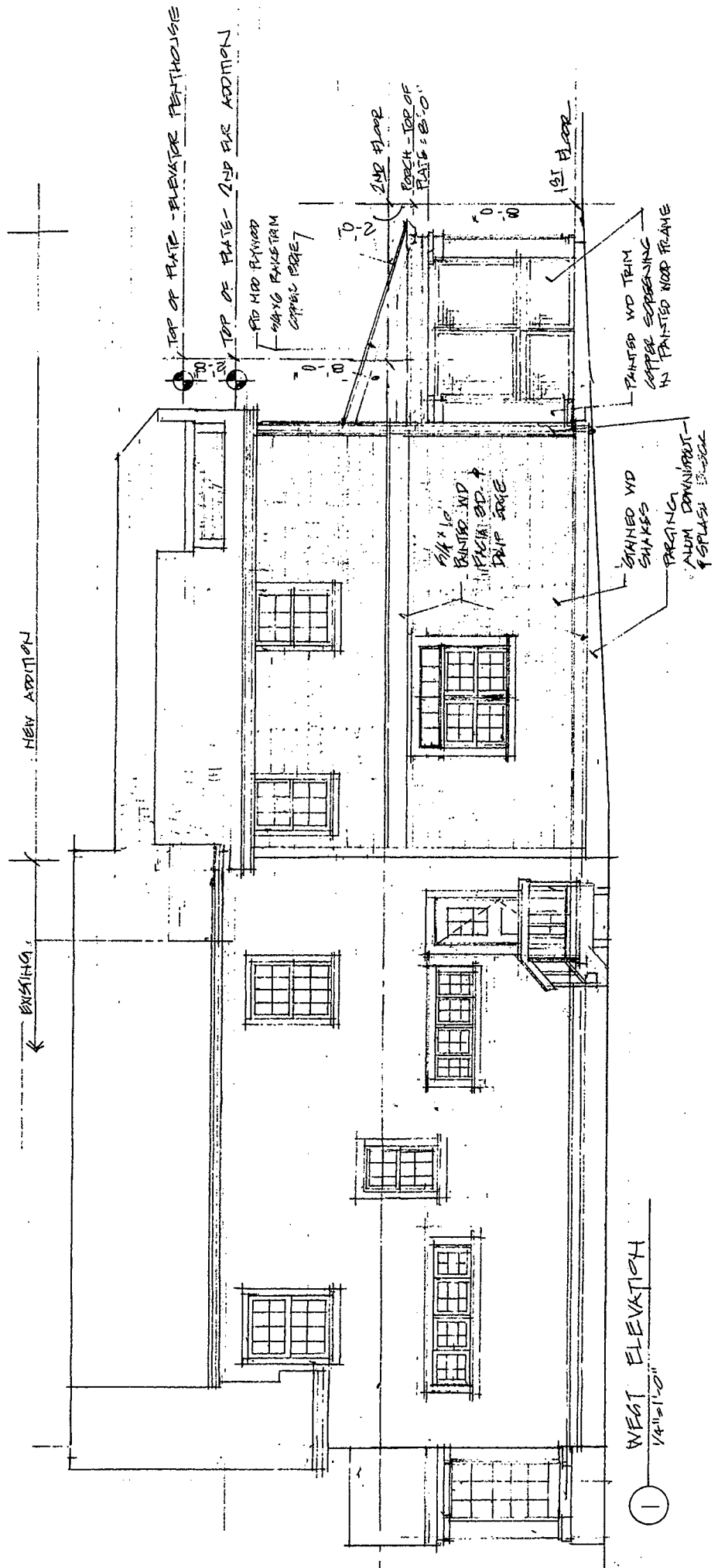
SCALE 1'-0" = 1/4"



NORTH ELEVATION

2

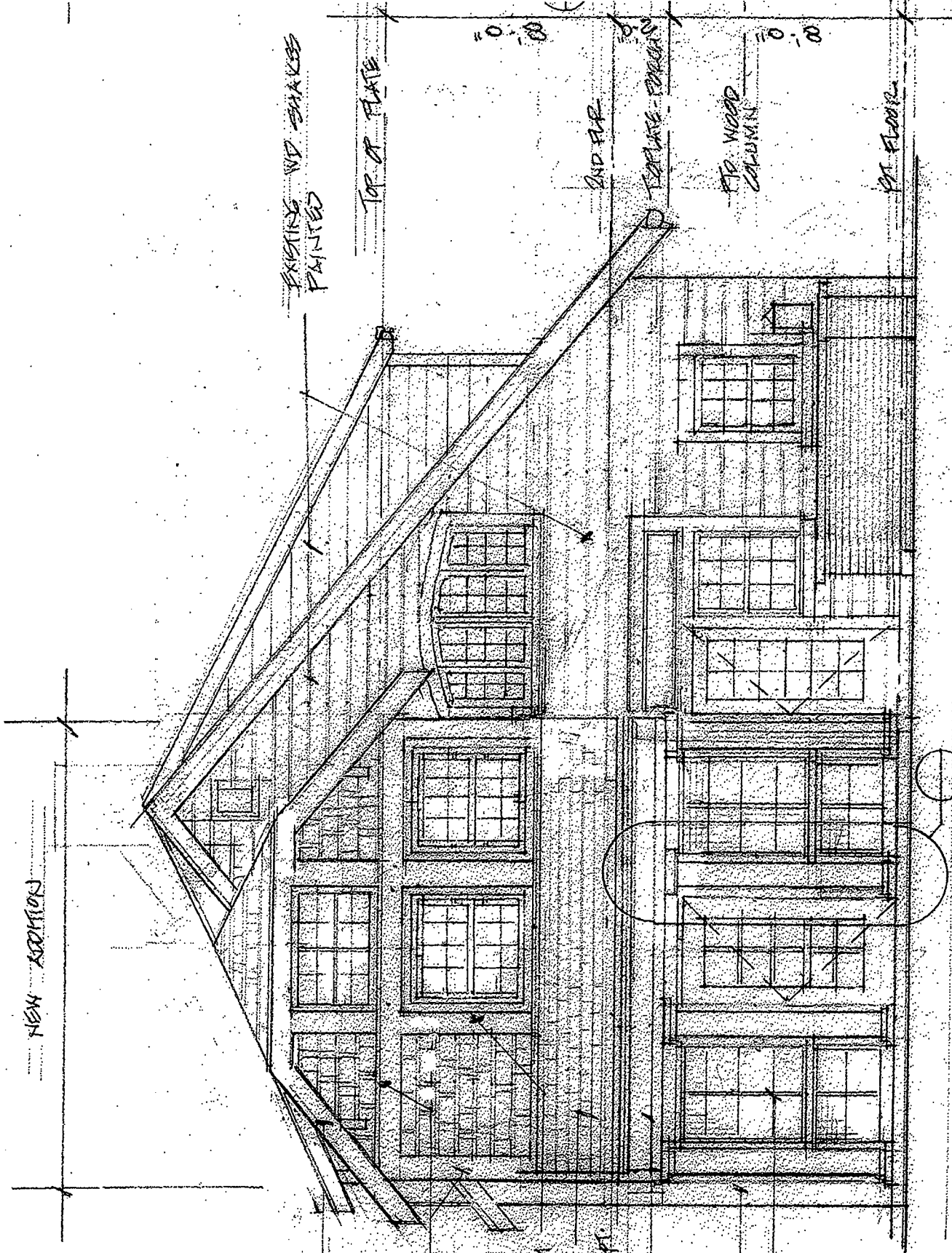
2/11/10



WEST ELEVATION
 1/4" = 1'-0"

1

5



NEW ADDITION

EXISTING W/D SHAKES
PAINTED

TOP OF FLATE

2ND FLOOR

TOP OF FLATE - PROPOSED

PT. WOOD COLUMN

PT. FLOOR

COPPER EDGE
1 X 4 BRG

2 1/2" x 8" PT. WOOD TRIM

2 1/4" x 6" W/D TRIM

STAINED W/D SHAKES

2 1/4" x 6" PT. W/D TRIM

FAL. SHINGLES

ALUM. GUTTER FRONT

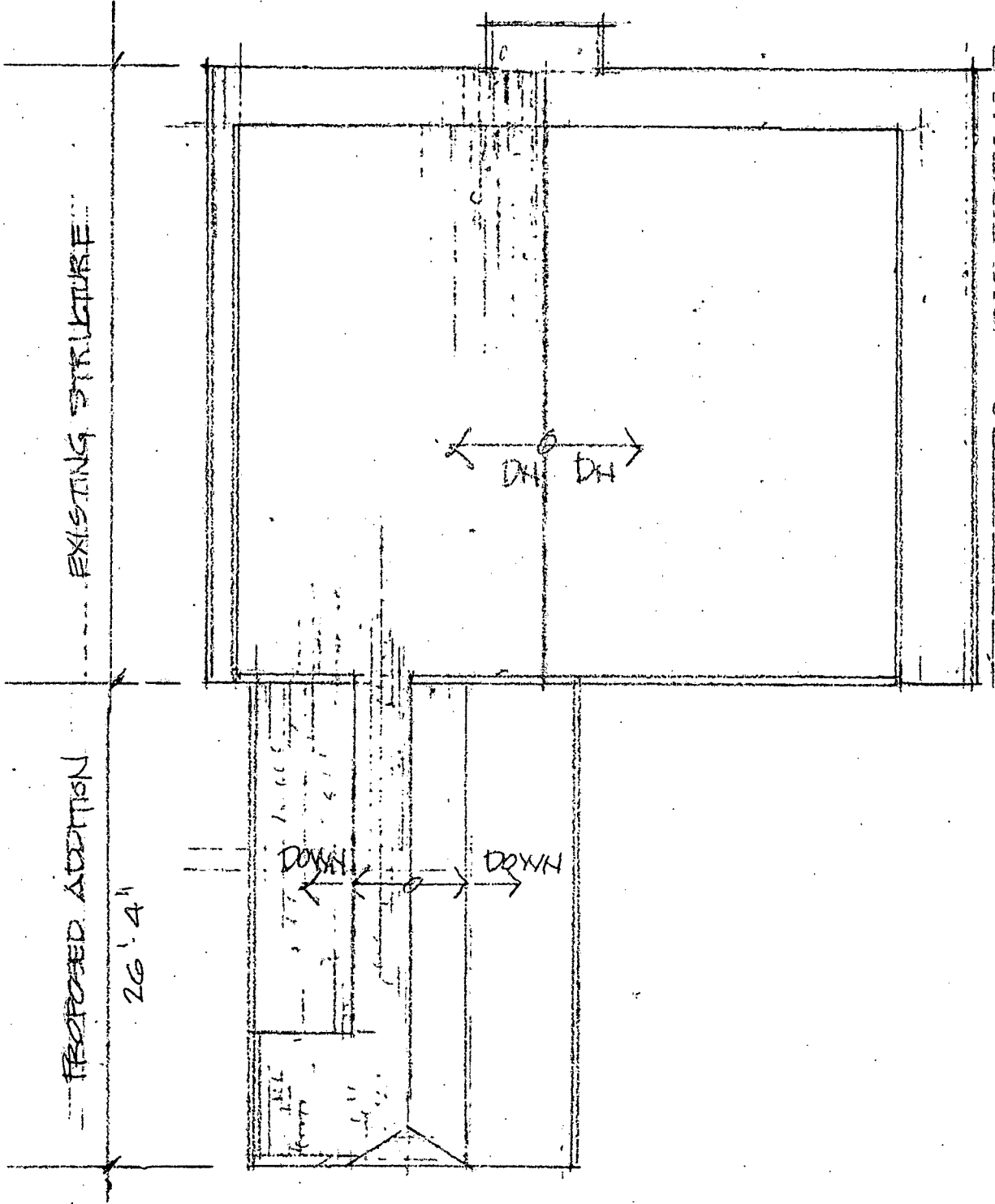
PT. WOOD PANEL W/ 2" GREE

PT. W/D COL.

COPPER SIDING

3 SOUTH ELEVATION

1/4" = 1'-0"



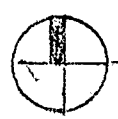
EXISTING STRUCTURE

PROPOSED ADDITION

26'-4"

DH DH

DOWN DOWN



ROOF PLAN

1/8" = 1'-0"

2.1.13

MCGARRY RESIDENCE ADDITION

Material Notes & Specifications

Exterior materials include:

1. Stained wood/cedar shakes
2. Painted wood trim including; 5/4 x 10 ribbon, 5/4 x 6 corner trim and 5/4 x 6 or 4 edge trim around windows
3. Window sills will have a painted wood sill and skirt.
4. Windows will be Andersen, Series 400 metal clad wood with insulating / double pane glass with wood profile divided lite grilles at interior and exterior faces. Alternate window type will be Marvin "Ultimate Double Hung" or equal.
5. Shingles will be: fiberglass asphalt "Architect" type dimensioned shingles
6. Screened Porch will include painted wood pilasters with wood cap and base, intermediated wood trim and screen frames.

Existing Property Condition Photographs (duplicate as needed)

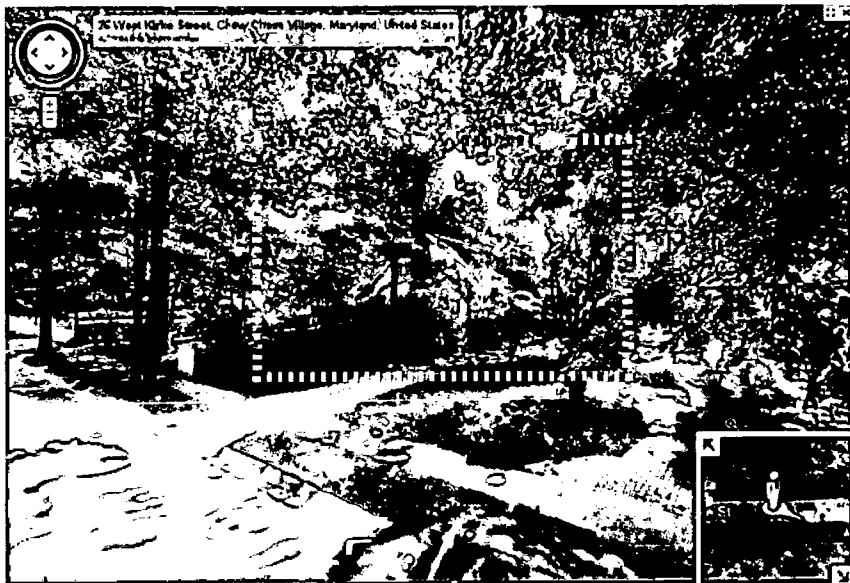


Detail: North Facade (Front) From W. Kirke St.

EXISTING REAR
ADDITION TO BE
REMOVED

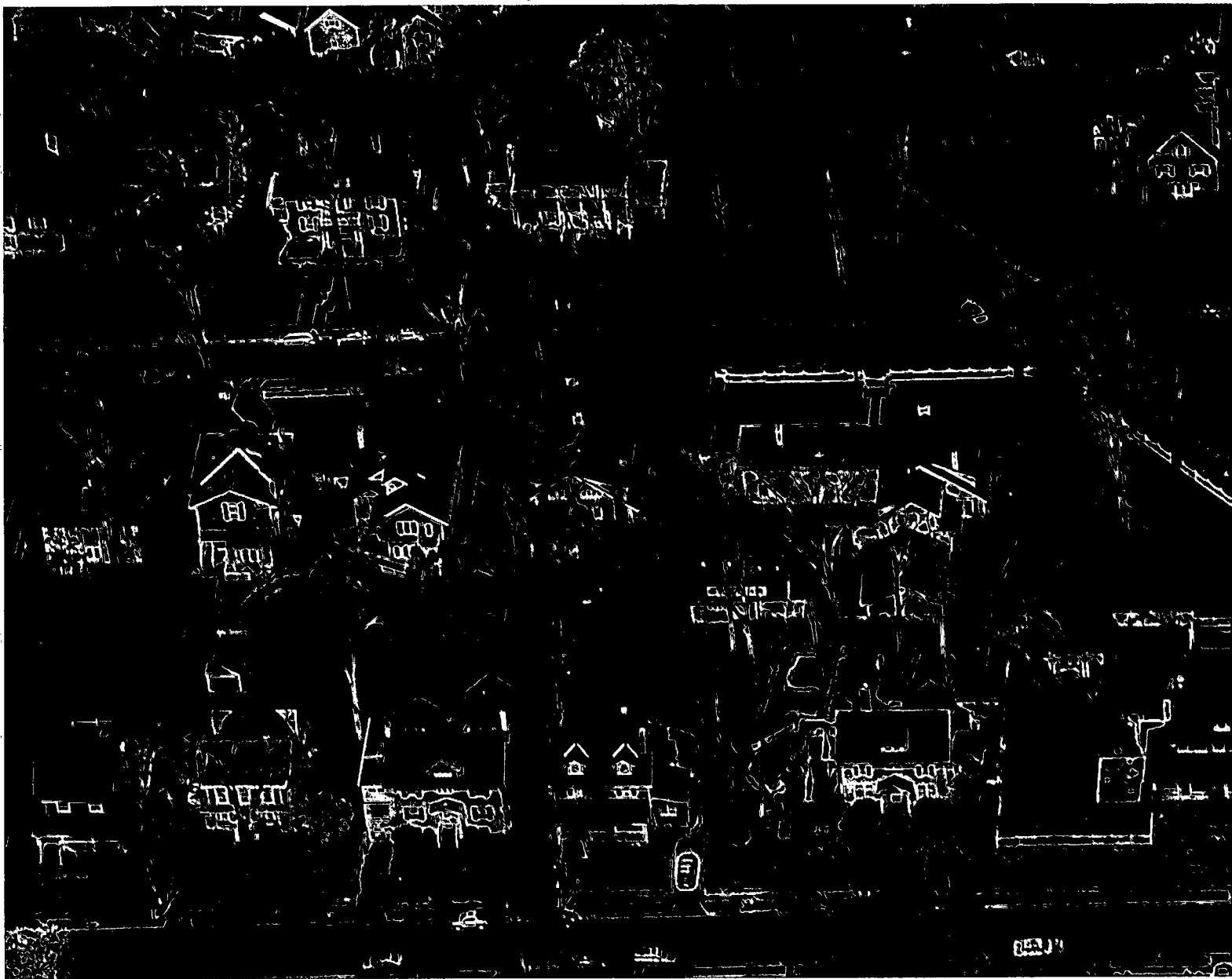


Detail: South Facade (Rear Yard)



Applicant: McGarry Residence, 24 W. Kirke St, Chevy Chase

24 W. KIRKE



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