



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

William Kirwan
Chairperson

Date: October 9, 2013

MEMORANDUM

TO: Diane R. Schwartz Jones, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #648896, trash enclosure and other alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the October 9, 2013 meeting.

Applicant: Chani and Steven Laufer

Address: 15 West Lenox Street, Chevy Chase



Historic Area Work Permit Application

Written Description of Project at 15 West Lenox Street

Description of existing structure(s) and environmental setting, including their historical features and significance:

The work proposed is to take place just to the south of an existing enclosure for pool equipment. The existing enclosure is adjacent to a concrete paver driveway to the west of the house. The driveway paving ends approximately 8" – 13" in front of the gates with dirt in front of the enclosure. The existing enclosure consists of 6'-1" tall tongue and groove fencing painted grey, with two panels and a gate facing the driveway, and one panel facing south. The north end of the enclosure is blocked by existing fencing around the rest of the property and the back is open to planting and the neighboring property.

The structure currently hides pool equipment from view, but is not ideally suited for either hiding or protecting trash and recycling bins. The structure is largely hidden from the street by a densely planted border along the west side of the driveway. Room within the enclosure is limited by the existing pool equipment and the open back makes it easy for animals like raccoons and mice to access any trash placed there. At the moment, bins that do not fit need to be kept in the driveway, which is visible from the street, and there has been evidence of small animals trying (or succeeding) to access the trash in the bins stored both within and outside of the enclosure.

To the south of the enclosure the grade slopes up to the street. The bed adjacent to the driveway is slightly raised and just to the south of the enclosure is an existing Laurel and a row of Yellow Twig Dogwood.

General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The work proposed consists of building an additional enclosure to the south of the existing pool equipment enclosure, specifically for trash. The proposed enclosure would consist of fencing and gates, built and painted to match those on the existing enclosure. The enclosure would be 7'-3" wide and 8'-6" deep in order to accommodate at least three trash bins and at least one recycling bin. Both sides and the back would have fencing so that, when the gates are latched, the contents cannot be accessed from any side. This configuration would allow the trash to be stored separately from the pool equipment, in an area with sufficient space, and in a way that minimizes the chances of animals getting into the enclosure, and into the trash.

As the grade to the south of the existing enclosure slopes up, the application proposes that a low timber wall be used to retain the grade as needed around the proposed enclosure. This would allow the grade within the enclosure to remain level with the adjacent driveway paving. The application also proposes extending the existing paving of the driveway into both the existing and proposed enclosures. This would make it easier to pull bins in and out of the enclosures and make it difficult for any burrowing animals to get into the trash enclosure from below.

In order to make the changes described above, it is proposed that an existing Laurel be removed and two Yellow Twig Dogwood be transplanted as necessary to make room for the enclosure.

The effect of this project on the environmental setting would be to create a more tidy and safe means of storing trash. The new enclosure would allow the residents to keep all trash bins stored and

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	15 West Lenox Chevy Chase	Meeting Date:	10/9/2013
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	10/2/2013
Applicant:	Chani and Steven Laufer (Lila Fendrick, Agent)	Public Notice:	9/25/2013
Review:	HAWP	Tax Credit:	None
Case Number:	35/13-13GG	Staff:	Josh Silver

PROPOSAL: Trash enclosure and other alterations

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival/Eclectic
DATE: 1892-1916

PROPOSAL

The applicants are proposing to install a 7'3" wide, 8'6" deep, 6'1" high, vertical board, wooden trash enclosure in the left side yard of the subject property. The trash enclosure will match the materials and details of an existing storage enclosure, which the proposed enclosure will be located adjacent to. A modest expansion of the existing driveway into the existing and proposed enclosure areas is requested to improve accessibility to both units.

APPLICABLE GUIDELINES

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b), (1) and (2):

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.

648896



DPS - 88

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: team@fendrickdesign.com Contact Person: Lila Fendrick
 Daytime Phone No.: 301-907-7700 x 15
 Tax Account No.: _____
 Name of Property Owner: Chani and Steven Laufer Daytime Phone No.: 917-841-2188
 Address: 15 West Lenox Street Chevy Chase MD 20815
Street Number City State Zip Code
 Contractor: Winchester Construction Phone No.: 410-987-5020
 Contractor Registration No.: _____
 Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISES

House Number: 15 Street: West Lenox Street
 Town/City: Chevy Chase Nearest Cross Street: On West Lenox between Laurel and Magnolia
 Lot: 19 Block: 42 Subdivision: Chevy Chase, Section 2
 Liber: 38399 Folio: 94 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Reze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSION/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6 feet 1 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Chani Laufer
Signature of owner or authorized agent

9/16/13
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

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The effect of this project on the environmental setting would be to create a more tidy and safe means of storing trash. The new enclosure would allow the residents to keep all trash bins stored and

hidden out of view from both the house and the street. It would be more attractive for both the residents and those walking along West Lenox Street if the bins could be hidden. Given the extensive planting already in this area along the driveway, the view from the street would not be significantly changed except for the removal of the trash bins from the driveway.

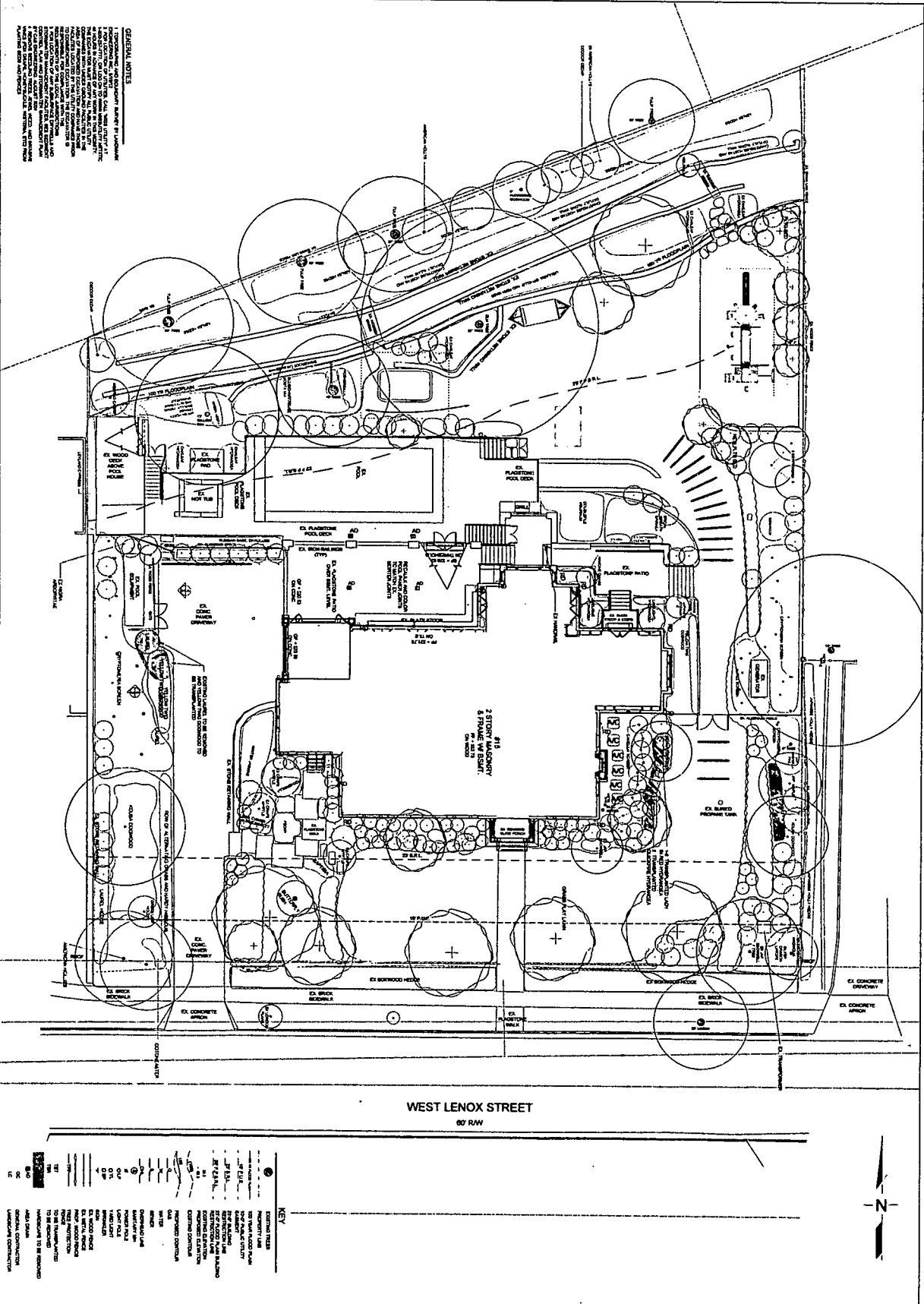
The four-sided enclosure will also reduce the access to the bins from animals. This makes the enclosure safer for the residents, who would not like to encounter animals when placing or removing the bins, and it would prevent animals from removing, disrupting, and spreading the trash outside of the enclosure, even to elsewhere in the neighborhood.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

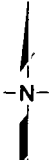
Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
15 West Lenox Street Chevy Chase, MD 20815	
14 West Lenox Street Chevy Chase, MD 20815	
18 West Lenox Street Chevy Chase, MD 20815	
16 West Lenox Street Chevy Chase, MD 20815	

GENERAL NOTES

1. CONSULT THE CONTRACT DOCUMENTS AND THE SUPPLEMENTAL SPECIFICATIONS TO THE STANDARD SPECIFICATIONS FOR CONSTRUCTION, MARYLAND DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE MARYLAND DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
6. PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
7. ALL NEW CONSTRUCTION SHALL BE ACCORDING TO THE LATEST EDITION OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
9. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.



WEST LENOX STREET
60' RW



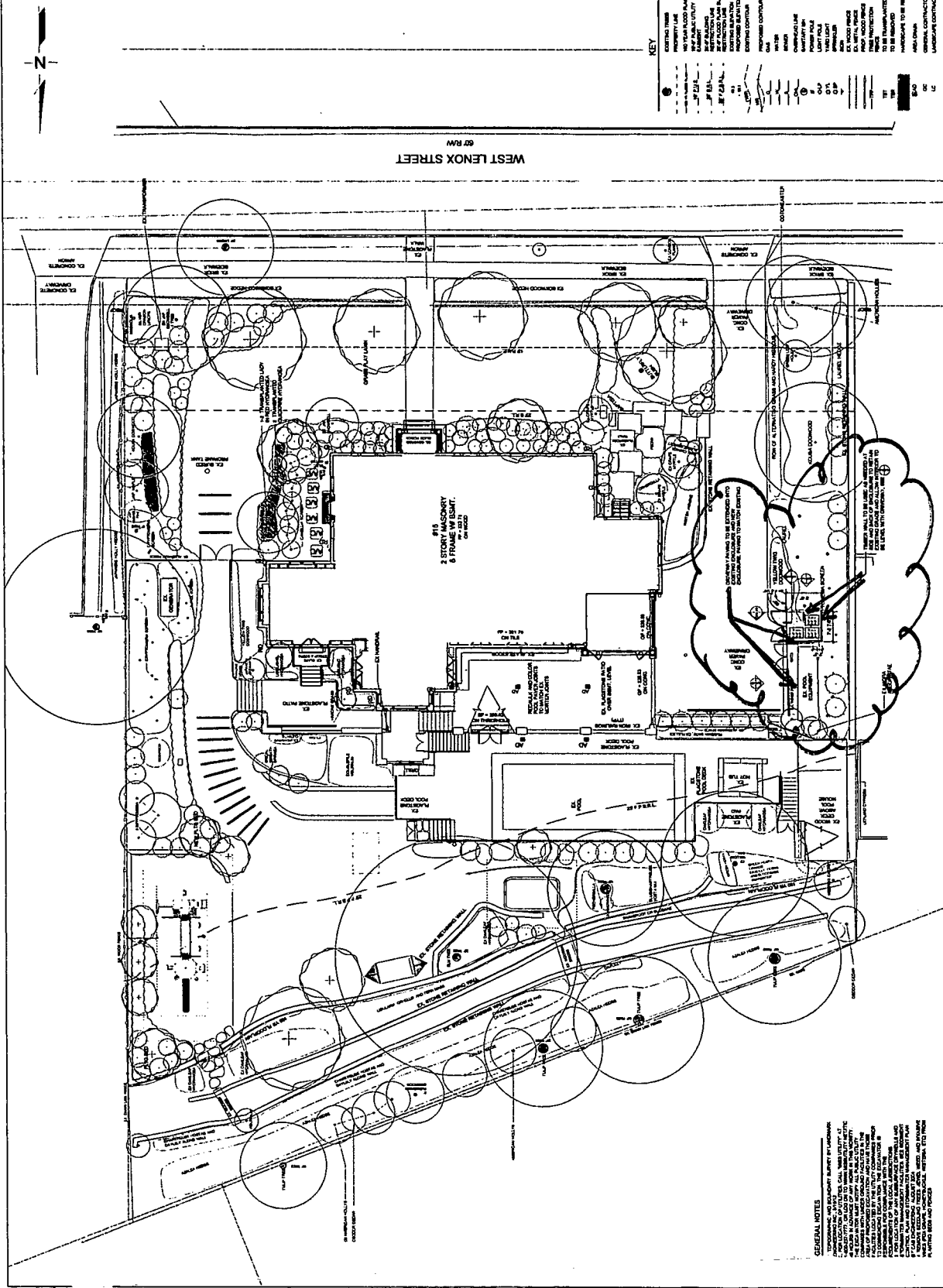
- LEGEND
- EXISTING FEATURES
 - PROPOSED LANDSCAPING
 - PROPOSED NEW CONSTRUCTION
 - PROPOSED EXTERIOR FINISHES
 - PROPOSED INTERIOR FINISHES
 - PROPOSED STRUCTURAL ELEMENTS
 - PROPOSED UTILITIES
 - PROPOSED DRIVEWAYS
 - PROPOSED WALKWAYS
 - PROPOSED PATIOS
 - PROPOSED PORCHES
 - PROPOSED DECKS
 - PROPOSED STAIRS
 - PROPOSED FENCES
 - PROPOSED WALLS
 - PROPOSED ROOFS
 - PROPOSED FOUNDATIONS
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LAUFER RESIDENCE
15 WEST LENOX STREET, CHEVY CHASE, MD 20815

LJA A FRENDRICH
600 West Avenue, Chevy Chase, Maryland 20815 (301) 953-7260

KEY

EXISTING TREES	EXISTING TREES
NEW TREES TO BE PLANTED	NEW TREES TO BE PLANTED
EXISTING PLANTINGS	EXISTING PLANTINGS
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EXISTING UPDATES	EXISTING UPDATES
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EXISTING UPGRADES	EXISTING UPGRADES
NEW UPGRADES	NEW UPGRADES



GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED PERMITTING AND INSPECTION REQUIREMENTS.
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SAFETY REQUIREMENTS.
7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ENVIRONMENTAL REQUIREMENTS.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED HISTORIC PRESERVATION REQUIREMENTS.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ARCHITECTURAL REQUIREMENTS.
10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED LANDSCAPE REQUIREMENTS.
11. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED UTILITIES REQUIREMENTS.
12. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED MECHANICAL REQUIREMENTS.
13. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ELECTRICAL REQUIREMENTS.
14. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED PLUMBING REQUIREMENTS.
15. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED HVAC REQUIREMENTS.
16. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED FOUNDATION REQUIREMENTS.
17. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED CONCRETE REQUIREMENTS.
18. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BRICK REQUIREMENTS.
19. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED STONE REQUIREMENTS.
20. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED METAL REQUIREMENTS.
21. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED WOOD REQUIREMENTS.
22. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED GLASS REQUIREMENTS.
23. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED PAINT REQUIREMENTS.
24. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED FINISH REQUIREMENTS.
25. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ROOFING REQUIREMENTS.
26. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED INSULATION REQUIREMENTS.
27. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED VENTILATION REQUIREMENTS.
28. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED EXHAUST REQUIREMENTS.
29. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED INTAKE REQUIREMENTS.
30. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED FILTERS REQUIREMENTS.
31. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED CLEANERS REQUIREMENTS.
32. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED MAINTENANCE REQUIREMENTS.
33. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED REPAIRS REQUIREMENTS.
34. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED REPLACEMENTS REQUIREMENTS.
35. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED UPDATES REQUIREMENTS.
36. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED MODIFICATIONS REQUIREMENTS.
37. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ALTERATIONS REQUIREMENTS.
38. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED REVISIONS REQUIREMENTS.
39. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED CORRECTIONS REQUIREMENTS.
40. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED IMPROVEMENTS REQUIREMENTS.
41. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ENHANCEMENTS REQUIREMENTS.
42. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED UPGRADES REQUIREMENTS.

PROPOSED WORK

8

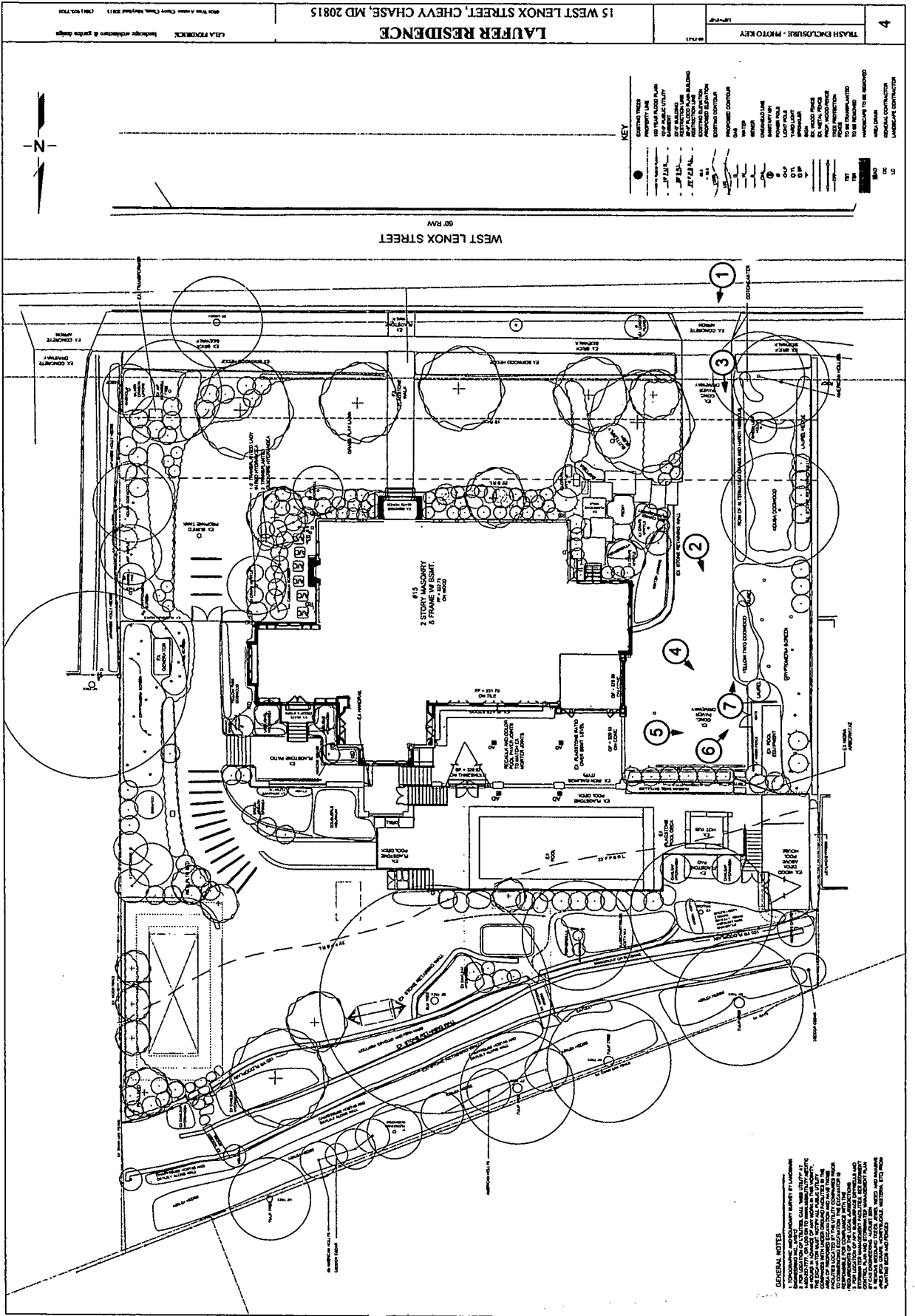


PHOTO KEY

9

15 WEST LENOX STREET, CHEVY CHASE, MD 20815
LAUFER RESIDENCE
151A WYOMING Landscape Architecture & Garden Design

1-1/2" x 1" (1-1/2' x 1')
1-1/2" x 1" (1-1/2' x 1')
1-1/2" x 1" (1-1/2' x 1')

3 TIMBER WALL ELEVATION
2 FENCE POST FOOTING ELEVATION
3 WOODEN FENCE AT EXISTING POOL EQUIPMENT ENCLOSURE BEHIND ELEVATION

3 EXISTING POOL EQUIP. ENCLOSURE SIDE ELEVATION
3 EXISTING POOL EQUIP. ENCLOSURE FRONT ELEVATION
3 EXISTING POOL EQUIP. ENCLOSURE FRONT ELEVATION

6 PROPOSED ENCLOSURE SIDE ELEVATION
7 PROPOSED ADDITIONAL ENCLOSURE FRONT ELEVATION
7 PROPOSED ADDITIONAL ENCLOSURE FRONT ELEVATION

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ENCLOSURE DETAIL

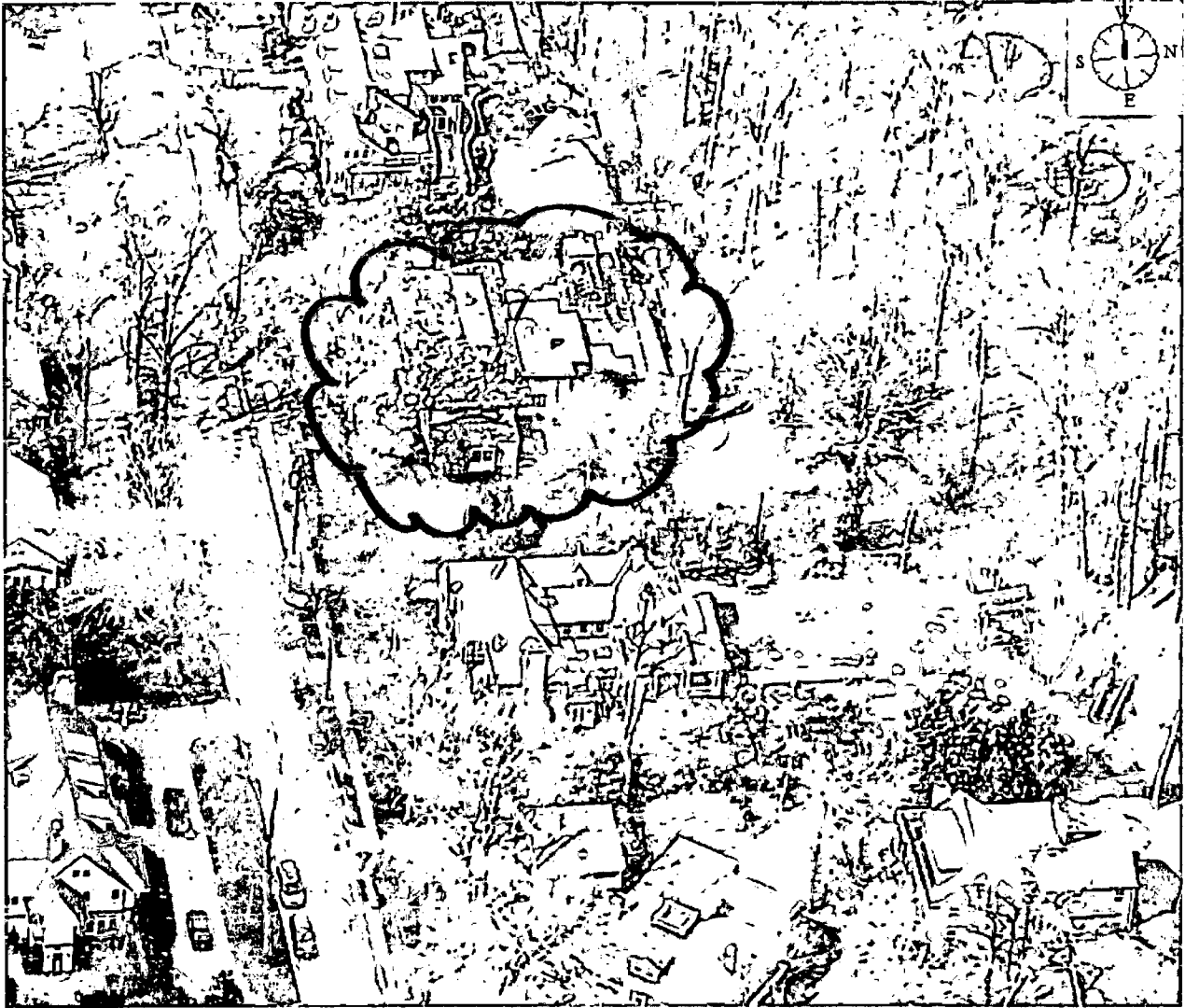




PHOTO 1



PHOTO 2

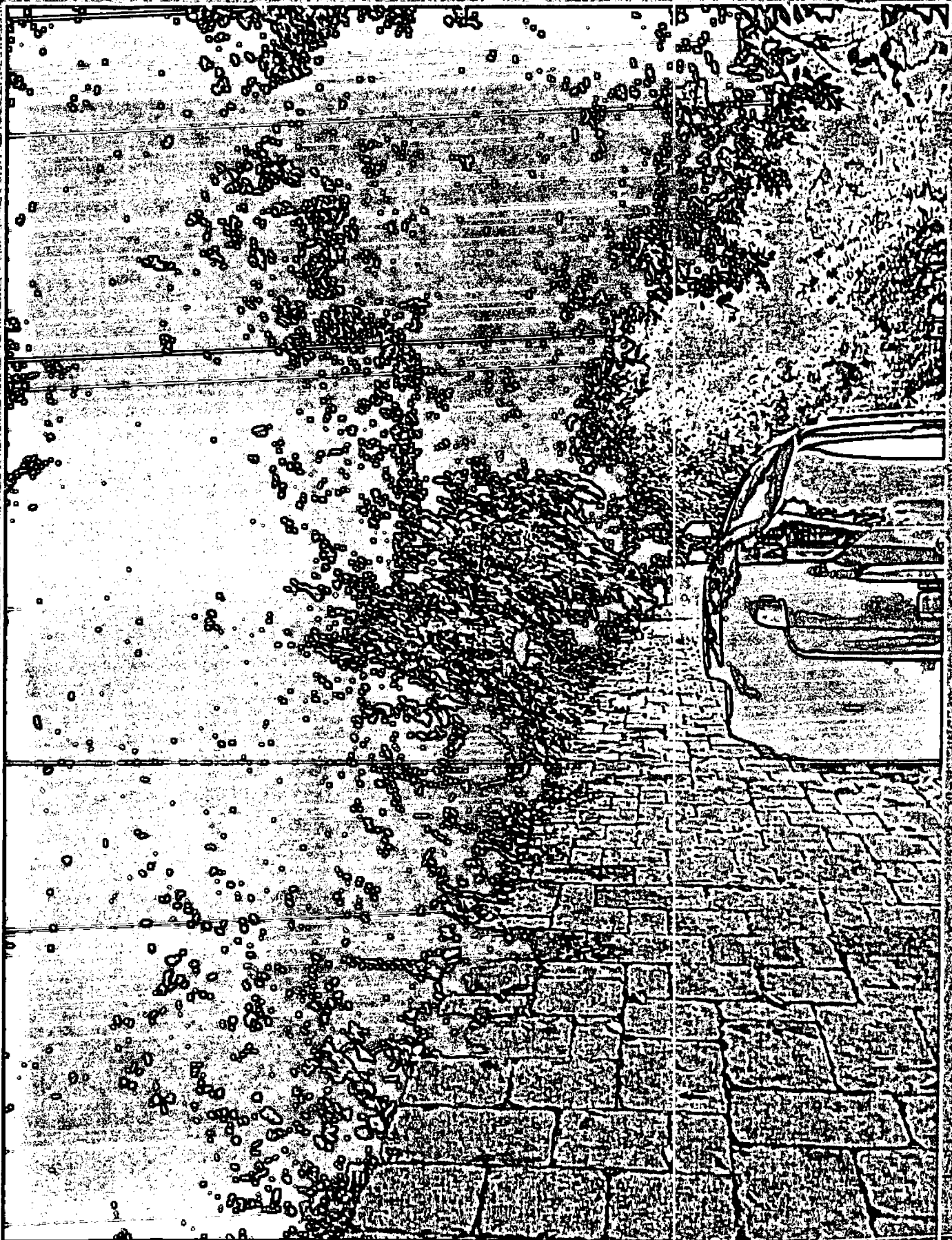


PHOTO 3

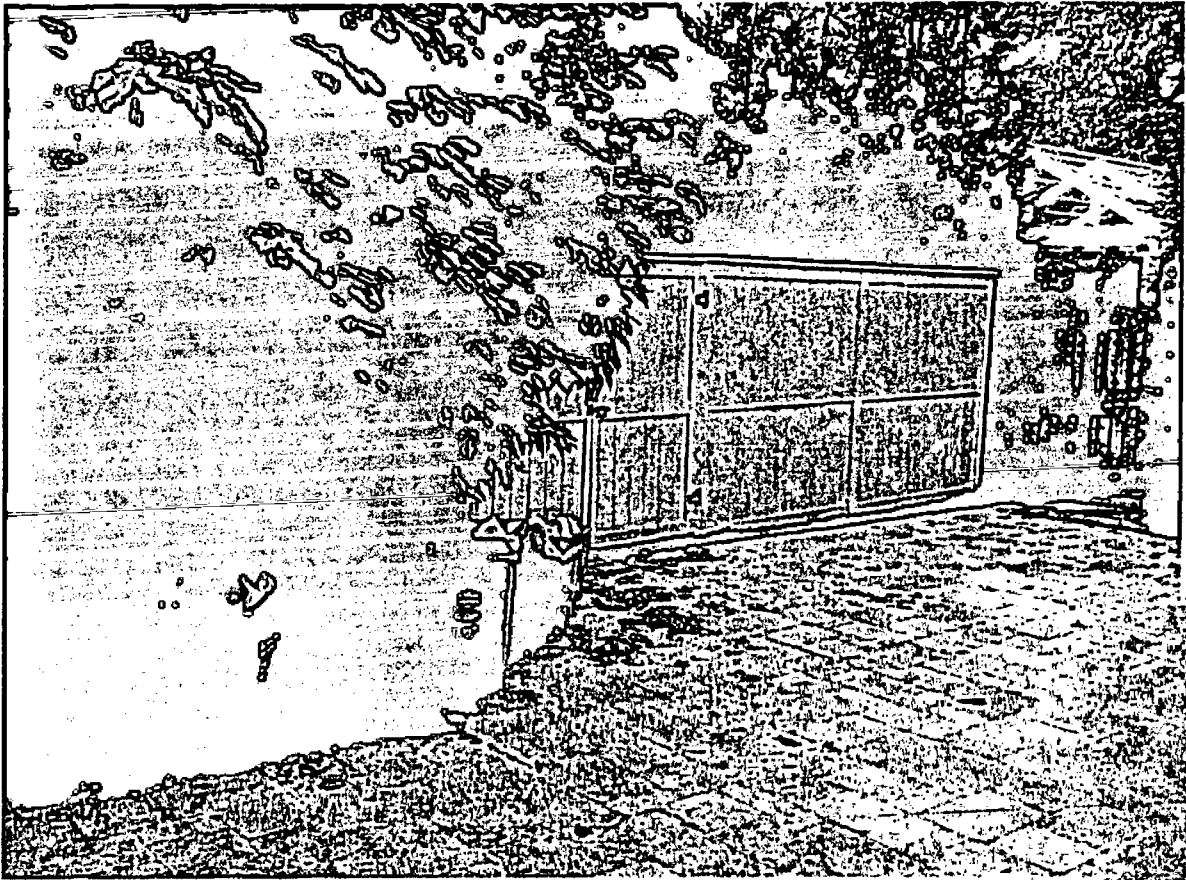


PHOTO 4

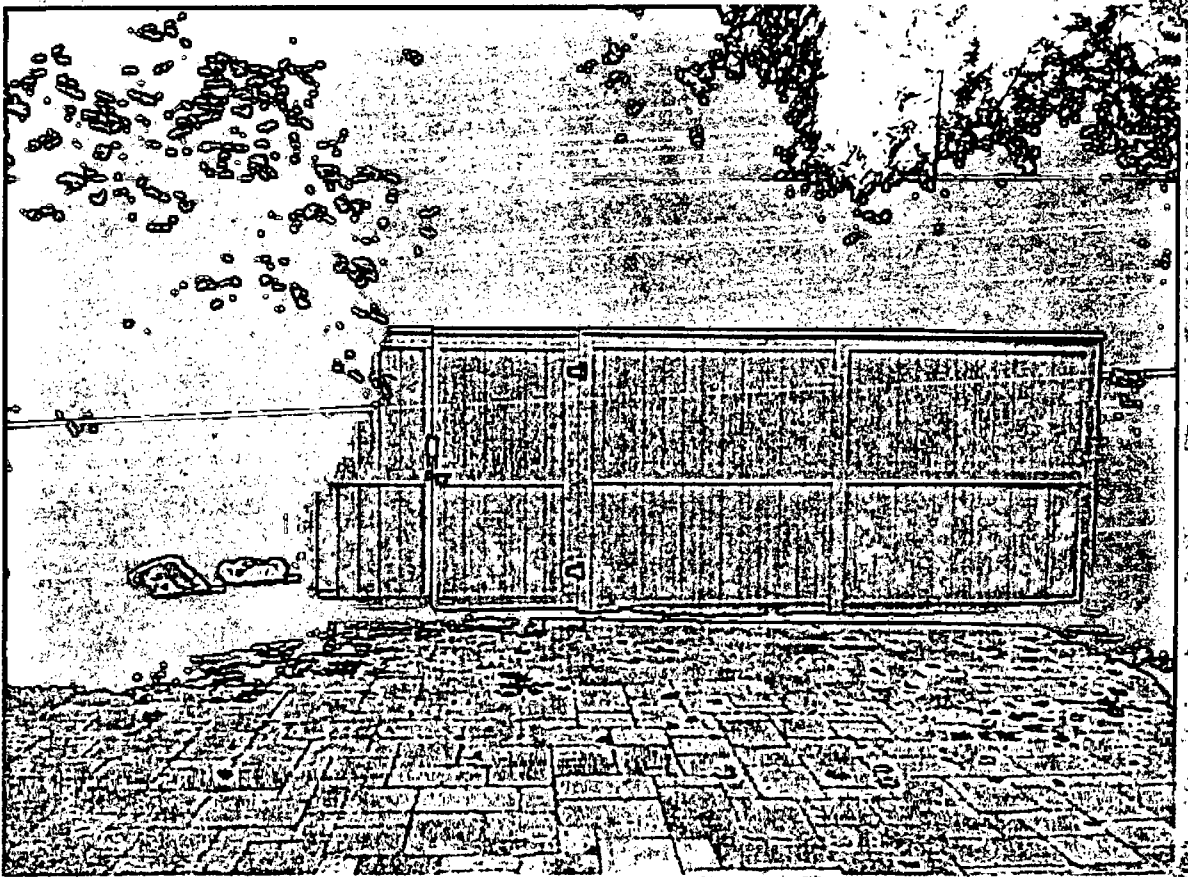


PHOTO 5



PHOTO 6



PHOTO 7



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4

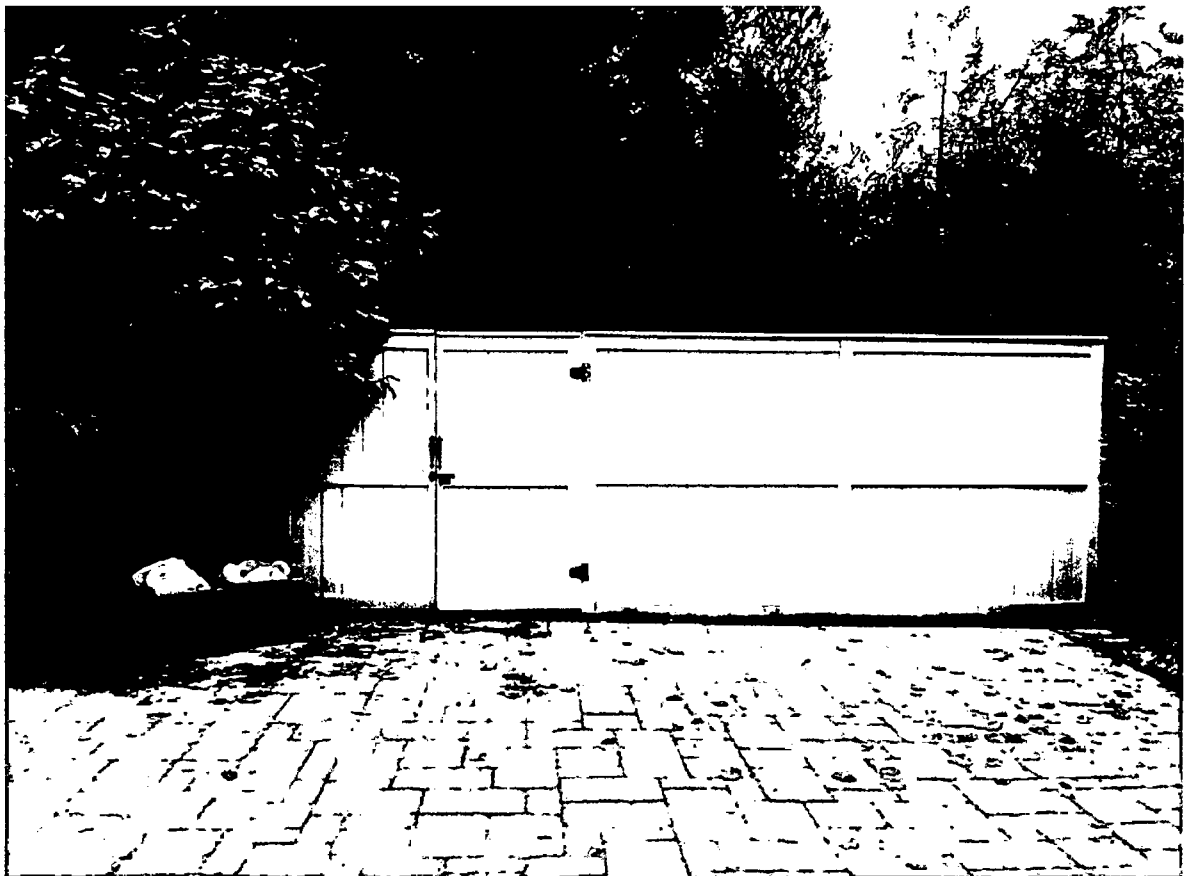


PHOTO 5



PHOTO 6



PHOTO 7

Silver, Joshua

From: Bourke, Tom(Winchester Homes, Inc.)(Tom) <tom.bourke@whihomes.com>
Sent: Wednesday, October 09, 2013 11:06 AM
To: Fothergill, Anne; Manarolla, Kevin; Whipple, Scott; Silver, Joshua
Cc: Bourke, Tom(Winchester Homes, Inc.)(Tom); CCV Permitting Coordinator (Ellen Sands); ChCh Village file (CCV@montgomerycountymd.gov); Feldman, Gail; HBSacks@comcast.net; Mark Nadel; Myra Kovey; P. Wellington; Stephens, Betsy
Subject: CCV LAP comments for HPC 10-9-13: 31 Quincy; 15 W Lenox

The following are the comments of the Chevy Chase Village LAP for items before the HPC on 10-9-13:

31 Quincy St

Contributing Resource

Fencing installation – side yard fences to enclose back yard

Staff recommended “Expedited Approval” and LAP concurs with staff and supports the use to expedited approvals whenever possible

15 West Lenox St

Contributing Resource

Trash enclosure and other alterations

Staff recommended “Expedited Approval” and LAP concurs with staff and supports the use to expedited approvals whenever possible.

Submitted on behalf of the Chevy Chase Village LAP by
Tom Bourke, Chair

From: Manarolla, Kevin [<mailto:Kevin.Manarolla@montgomeryplanning.org>]

Sent: Friday, October 04, 2013 9:12 AM

To: Betsy Stephens; Bourke, Tom(Winchester Homes, Inc.)(Tom); ChCh Village; Gail Feldman; HBSacks; Mark Nadel; Myra Kovey; P. Wellington

Subject: HPC staff reports for meeting of October 9th

Chevy Chase:

Here are the staff reports for HAWP's in your area.

Kevin Manarolla, Senior Administrative Assistant | Historic Preservation Section
Functional Planning and Policy Division | Montgomery County Planning Department | M-NCPPC
Office: 8787 Georgia Avenue STE 204 | Silver Spring | Mail: 8787 Georgia Avenue | Silver Spring MD 20910
301-563-3400 phone | 301-563-3412 fax | [Email Me Here](#) | [Our Web Site](#) | M-NCPPC

PS



HISTORIC PRESERVATION COMMISSION

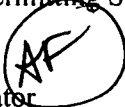
Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: 6/28/12

MEMORANDUM

TO: Diane Schwartz Jones, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #601358—fencing, railing and wall installation and replacement of decking and pergola

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on June 27, 2012.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Steve and Chani Laufer
Address: 15 West Lenox, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.



Ap# 601358



DPS-68

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: 6904 West Ave., Chevy Chase Contact Person: Mrs Lila Fendrick
 Tax Account No.: 52-1923211 M/D 20815 Daytime Phone No.: 301.907.7700
 Name of Property Owner: Steve and Chani Laufer Daytime Phone No.: 917.841.2188
 Address: 2727 Palisades Ave. Apt 16F, Bronx, NY 10463
 Contractor: Winchester Construction Phone No.: 410.987.5020
 Contractor Registration No.: Home builders Reg # 362 *
 Agent for Owner: Lila Fendrick ASLA Daytime Phone No.: 301.907.7700

PART ONE: BUILDING PERMITS

House Number: 15 Street: West Lenox St.
 Town/City: Chevy Chase Nearest Cross Street: W. Lenox St. and Magnolia Pkwy
 Lot: 19 Block: 42 Subdivision: Chevy Chase, Section 2
 Liber: 38399 Folio: 94 Parcel: _____

PART TWO: TYPE OF BUILDING ACTION/WORK

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|---|---|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC | <input type="checkbox"/> Stab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input checked="" type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input checked="" type="checkbox"/> Revision | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ _____
 1C. If this is a revision of a previously approved active permit, see Permit # _____

PART FOUR: COMPLETE ONLY FOR NEW CONSTRUCTION AND EXTENSIVE ALTERATIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height 5' feet 6" inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/assessment

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Lila Fendrick
Signature of owner or authorized agent

6/6/12
Date

Approved: _____ For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: 6/28/12
 Application/Permit No.: _____ Date Issued: _____

Edic 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

* Home Improvement # 12309
 State of MD # 2420652

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	15 West Lenox Street, Chevy Chase	Meeting Date:	6/27/12
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	6/20/12
Applicant:	Steve and Chani Laufer (Lila Fendrick, Landscape Architect)	Public Notice:	6/13/12
Review:	HAWP	Tax Credit:	No
Case Numbers:	35/13-12P	Staff:	Anne Fothergill
Proposal:	Fencing, railing and wall installation and replacement of decking and pergola		

STAFF RECOMMENDATION

- Approval
- Approval with conditions

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Craftsman
DATE: 1913

PROPOSAL

The applicants propose alterations to the pool and back yard area which was renovated in 2005. The changes are all located behind the house and include:

- Replace existing metal fencing at end of driveway and across east side yard with iron fencing to match existing fence style and height
- Install new metal pool enclosure gates to match the existing
- Install new fences and gates around the pool to match existing fencing and gates
- Remove 12' of existing stone wall and install a metal railing in the same location
- Add one step to existing stairs from pool deck to back yard
- Remove retaining walls and construct low stone walls
- Extend existing flagstone patio slightly
- Install iron fencing on the existing stone wall along the stream at the rear of the property
- Replace wood decking of the pool house with ipe
- Replace wood pergola posts to match existing

See Circles 7-15 for existing and proposed plans and see Circles 5+6 for description of work.

APPLICABLE GUIDELINES

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8(b)(1), (2);

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.

Ap# 601351



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: 6904 West Ave., Chevy Chase MD 20815 Contact Person: Mrs Lila Fendrick
Daytime Phone No.: 301.907.7700

Tax Account No.: 52-1923211

Name of Property Owner: Steve and Chani Laufer Daytime Phone No.: 917.841.2188

Address: 2727 Palisades Ave. Apt 16F, Bronx, NY 10463
Street Number City State Zip Code

Contractor: Winchester Construction Phone No.: 410.987.5020

Contractor Registration No.: Home builders Reg # 362 *

Agent for Owner: Lila Fendrick ASLA Daytime Phone No.: 301.907.7700

LOCATION OF BUILDING/PERMIT

House Number: 15 Street: West Lenox St.
Town/City: Chevy Chase Nearest Cross Street: W. Lenox St. and Magnolia Pkwy
Lot: 19 Block: 42 Subdivision: Chevy Chase, Section 2
Liber: 38399 Folio: 94 Parcel: _____

PART ONE: TYPE OF PERMIT/ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable. Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ALTERS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 5' feet 6" inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Lila Fendrick

Signature of owner or authorized agent

6/6/12

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edt 5/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

* Home Improvement # 12309
State of MD # 2420652

3

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
2727 Palisades Ave, Apt 16F Brook, NY 10463	
Adjacent and confronting Property Owners mailing addresses	
14 West Lenox St. Chevy Chase, MD 20815	
18 West Lenox St. Chevy Chase, MD 20815	
16 West Lenox St. Chevy Chase, MD 20815	

Written description of project: (15 West Lenox Street, Chevy Chase)

- a. Description of existing structure(s) and environmental setting, including their historical features and significance.

The Craftsman style house in the Chevy Chase Historic District, 1892-1916, is set within a richly planted landscape designed by Oehme, van Sweden Landscape Architects from 2004 - 2005. Its front garden is tucked behind a mature boxwood hedge of varying density and health. Dense plantings wrap around the house and along the side property lines. Extending off the sides of the house are two aluminum fences with gates which open inward. Views of the fencing and gates are largely hidden from the sidewalk by adjacent plantings or by the distance from the front sidewalk. The aluminum fencing has no historical value.

At the rear of the house a series of terraces step down from the rear of the house to a mid-level pool deck and continue down to the rear lawn. Grey granite walls supporting the terraces and acting in places as guardrails appear to be historically inspired as they reference back to the original granite foundation of the house. The rough hewn character of the walls contributes to the historic character of the built landscape. These terraces and railings were installed during the Oehme, van Sweden design of the garden. Existing metal rails with a linear pattern act as guardrails. The design of these railings has an Art Deco-inspired appearance. Neither the design of the terraces nor the railings has an historical value.

An existing stream at the rear of the property, within the 100'-0" Floodplain, is channeled between old stone walls. Above the stone stream channel wall is an upper stone wall which varies in height from 12" – 30" high, as measured from the downhill side. The date of the walls is unknown. It is assumed the stream channel walls have historical value.

A small pergola is located at the end of the driveway. It is built over a below-grade pool storage building and is part of the Oehme, van Sweden garden design. Its detailing appears to be inspired by the Craftsman style pergolas mounted on the rear of the house.

- b. General description of project and its effect on the historic resources(s), the environmental setting, and where applicable, the historic district.

The goals of the new site work design include meeting County pool enclosure codes, increasing the safety of the owners children with new fencing, gates, and railings, enhancing views into the garden from the house, and making the garden more accessible for circulation, play, and enjoyment.

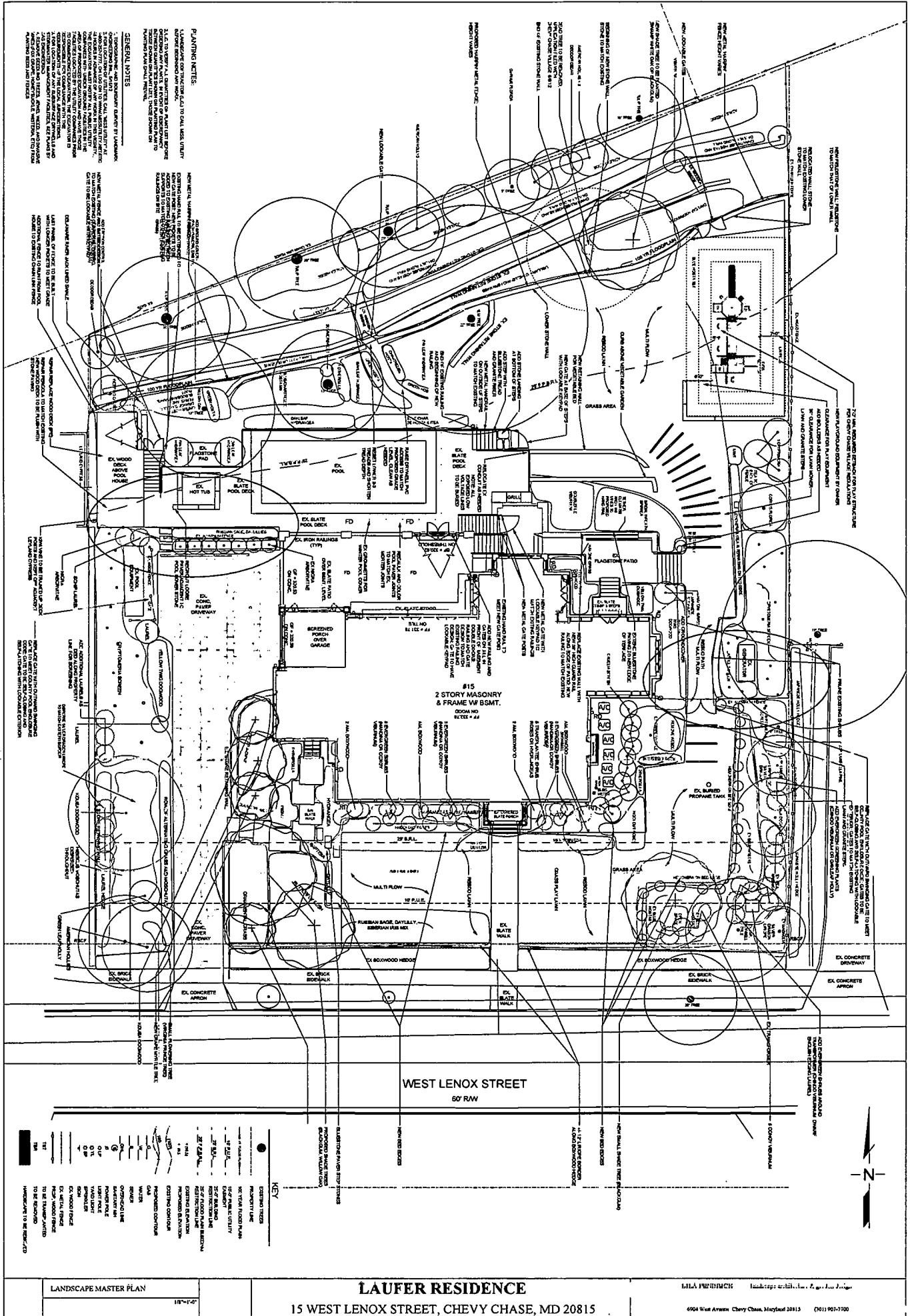
The inward opening aluminum pool enclosure gates would be replaced with outward opening gates to meet County pool enclosure codes. The 5'-3" height and 7'-0" width and gate detailing would remain the same on the east gate. The 5'-4" height and 3'-6 1/2" width and gate detailing would remain the same on the west gate. The gates would be self-closing, and self-latching to meet Montgomery County pool enclosure codes. The aluminum fencing resembles historical

To prevent access to the stream channel a new fence is proposed at the north edge of the 100'-0" floodplain and at the base of the stone wall uphill of the stream. This fence with two gates is based on an historic 'Hairpin' fence design, popular from the 1860s onward. This fence would measure 42" when measured from the top of the wall, and would vary in total height (the stone wall varies in height from 12" to 30" when measured from the lower garden).

Two locked gates, a single gate, and a double gate, would eventually provide access to the existing wood bridges which span the stream channel. The gates would measure 5'-6" high and 7'-0" wide; the single gate would measure 5'-6" high and 3'-11" wide. The gates would be black with the hairpin design with black painted metal to match the existing gates and fencing. The proposed fencing and gates would have the little impact on the environmental setting and no impact on the historic district or historic resources.

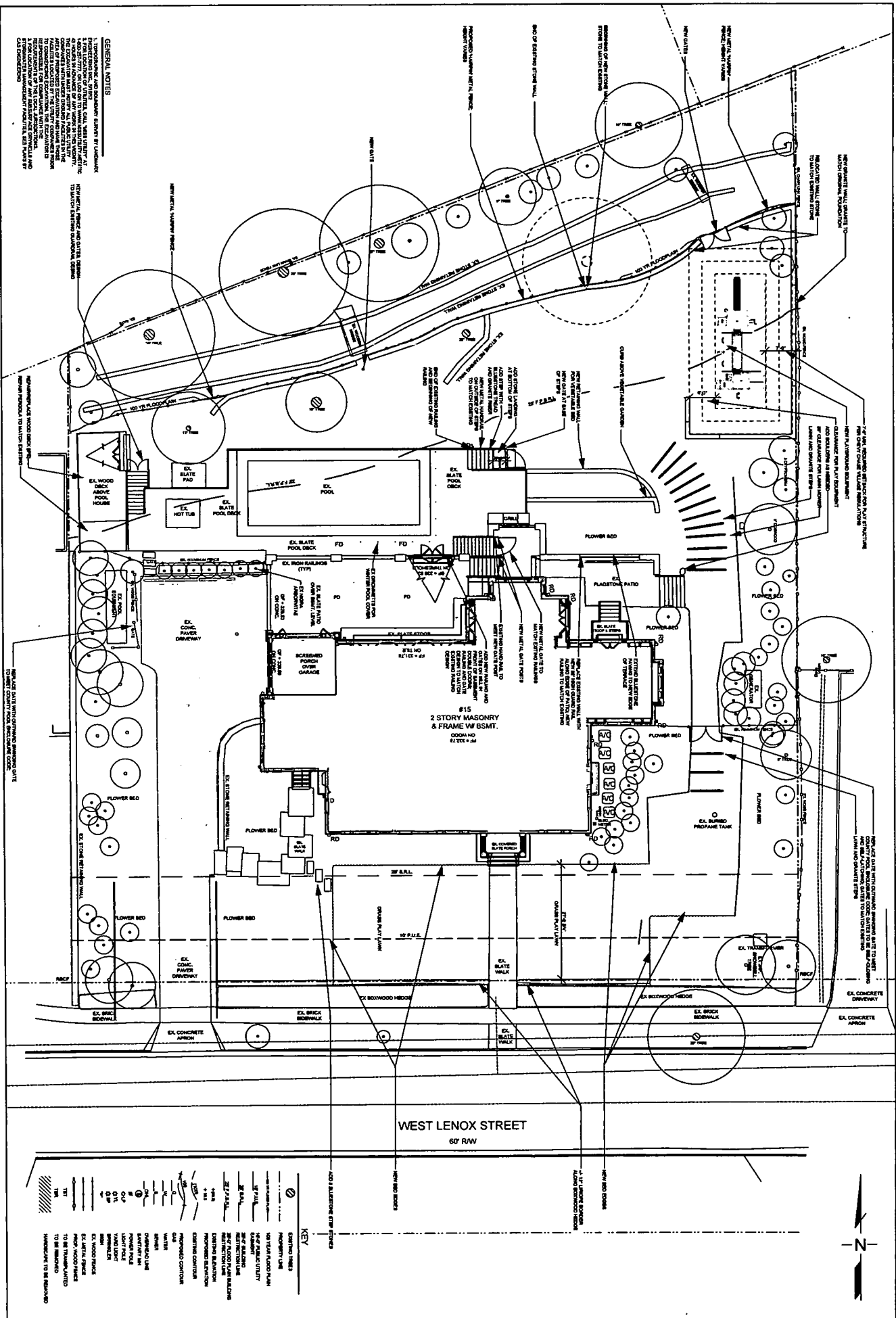
A cedar play structure would be placed in the northwest corner of the garden. This would be built on a level area within the sloping garden; low stone walls would be built of grey granite to match the existing house foundations. The walls would be less than 30" high.

To eliminate moisture into the below grade pool house the wood decking will be removed and replaced with Ipe, a dense, long-lived hardwood. Some of the pergola posts may need to be rebuilt in order to provide access to the storage room below and to rebuild the ceiling and drainage pan. The pergola would be rebuilt to match existing. The pergola is largely hidden from view from the public sidewalk by existing arborvitae planted at the end of the driveway. The addition of one more arborvitae will further screen the pergola from view. Repairs to the decking and pergola would have no impact on the historic resource, historic district, or environmental resource.



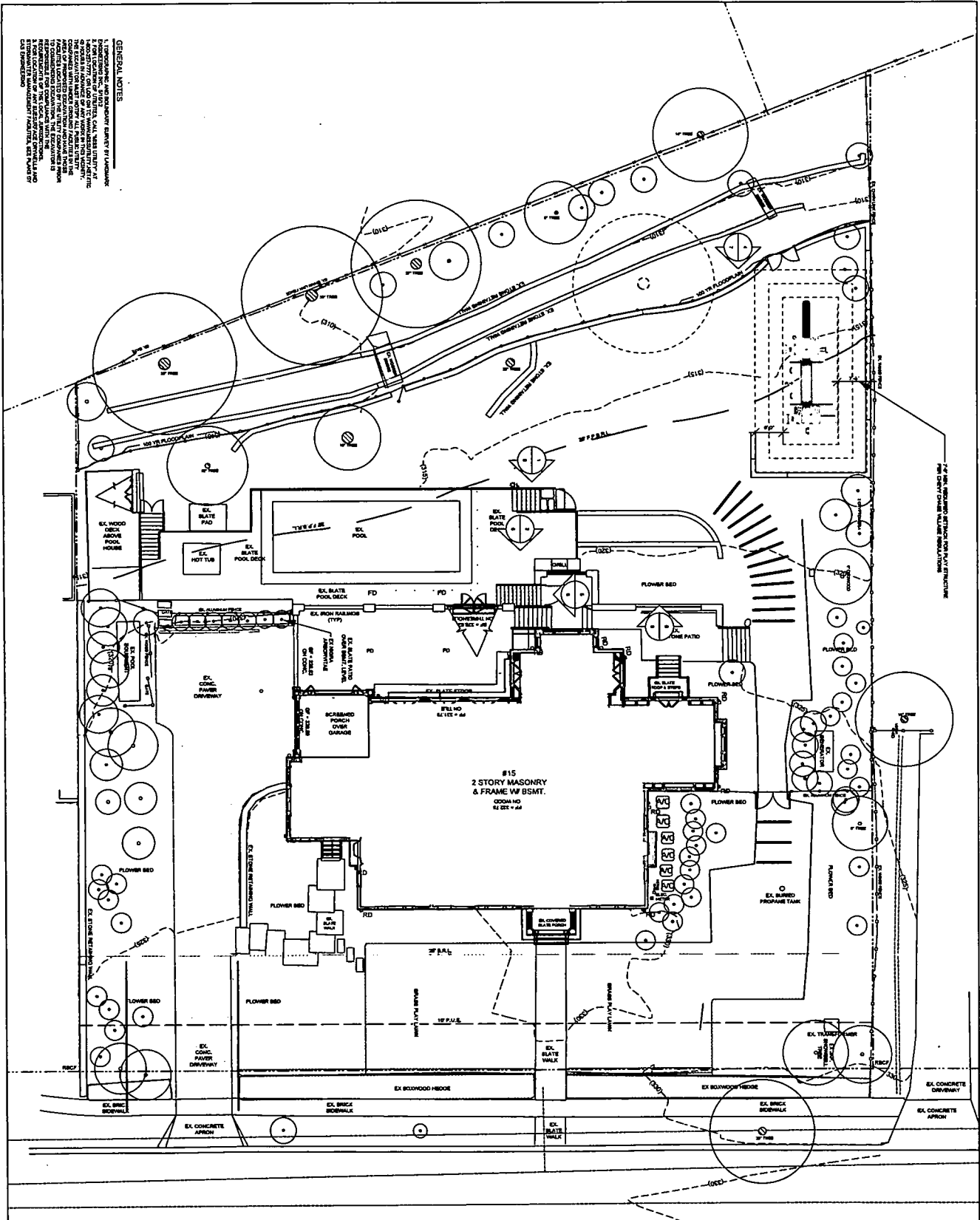
GENERAL NOTES

1. THE PROPOSED LANDSCAPE DESIGN BY LANDSCAPE ARCHITECTURE IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE ARCHITECT. THE CLIENT AND ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.
2. THE PROPOSED LANDSCAPE DESIGN IS SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNMENT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. THE PROPOSED LANDSCAPE DESIGN IS SUBJECT TO THE AVAILABILITY OF MATERIALS AND LABOR. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR.
4. THE PROPOSED LANDSCAPE DESIGN IS SUBJECT TO THE AVAILABILITY OF WEATHER. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY WEATHER INFORMATION.
5. THE PROPOSED LANDSCAPE DESIGN IS SUBJECT TO THE AVAILABILITY OF UTILITIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION.
6. THE PROPOSED LANDSCAPE DESIGN IS SUBJECT TO THE AVAILABILITY OF SOILS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SOILS INFORMATION.
7. THE PROPOSED LANDSCAPE DESIGN IS SUBJECT TO THE AVAILABILITY OF WATER. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY WATER INFORMATION.
8. THE PROPOSED LANDSCAPE DESIGN IS SUBJECT TO THE AVAILABILITY OF LIGHT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LIGHT INFORMATION.
9. THE PROPOSED LANDSCAPE DESIGN IS SUBJECT TO THE AVAILABILITY OF AIR. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY AIR INFORMATION.
10. THE PROPOSED LANDSCAPE DESIGN IS SUBJECT TO THE AVAILABILITY OF SOUND. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SOUND INFORMATION.



GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND MATERIALS AT THE SITE AND REPORT TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.



KEY	
[Symbol]	EXISTING TREES
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[Symbol]	PROPERTY LINE
[Symbol]	EXISTING FLOOR PLAN
[Symbol]	PROPOSED FLOOR PLAN
[Symbol]	EXISTING UTILITY
[Symbol]	PROPOSED UTILITY
[Symbol]	EXISTING DRIVEWAY
[Symbol]	PROPOSED DRIVEWAY
[Symbol]	EXISTING SIDEWALK
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[Symbol]	PROPOSED FENCE
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[Symbol]	PROPOSED WALL
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[Symbol]	PROPOSED ROOF
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[Symbol]	PROPOSED ROOF

GENERAL NOTES

1. THIS PLAN IS PART OF A LARGER SET OF DRAWINGS. REFER TO THE TITLE BLOCK FOR THE COMPLETE LIST OF SHEETS.

2. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.

3. THE GRADING PLAN IS TO BE CONSIDERED THE FINAL AUTHORITY IN THE EVENT OF A CONFLICT WITH ANY OTHER PLAN.

4. THE GRADE SHOWN ON THIS PLAN IS TO BE USED FOR ALL STRUCTURES AND LANDSCAPE ELEMENTS UNLESS OTHERWISE NOTED.

5. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

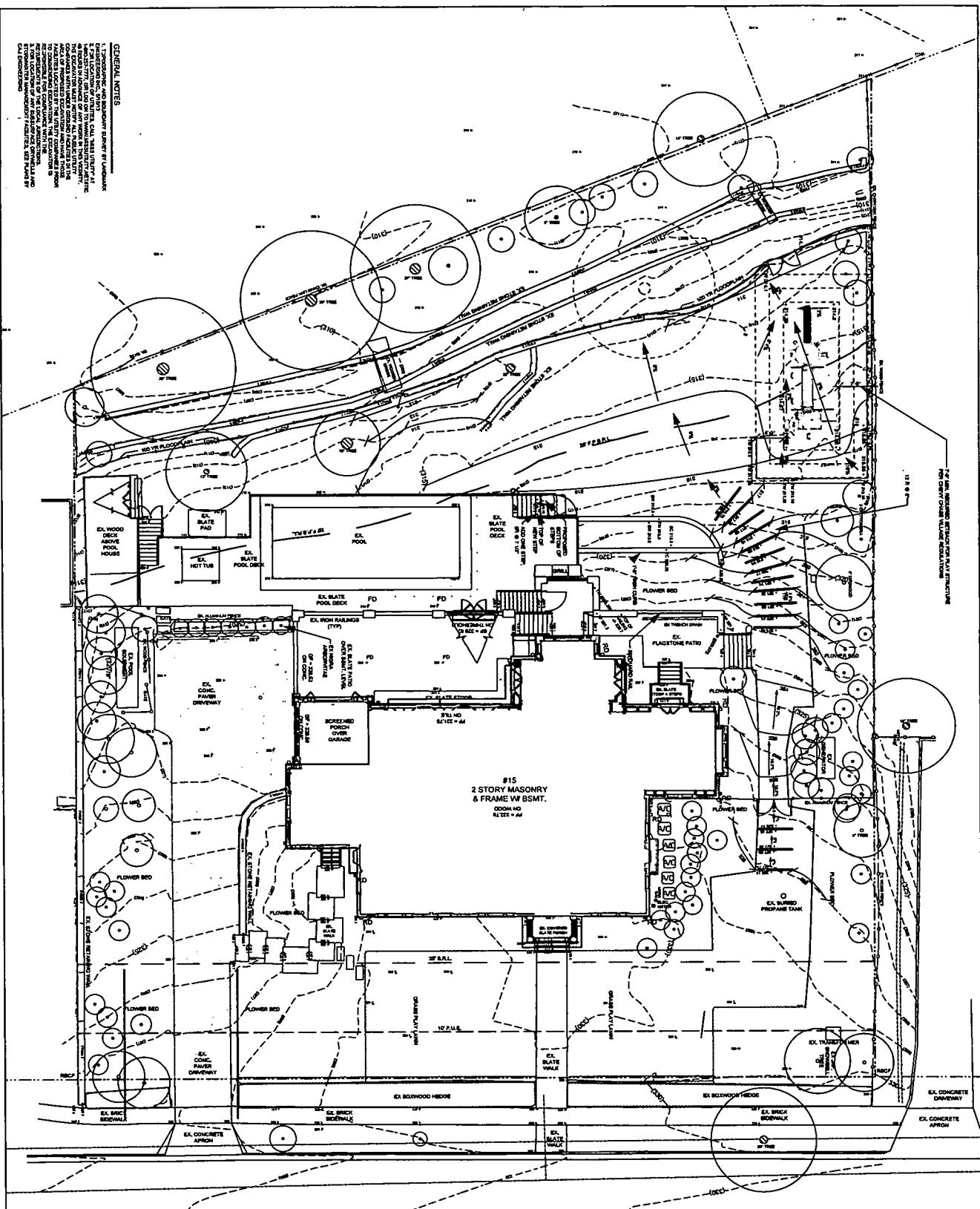
6. THE LANDSCAPE ARCHITECTURE IS NOT RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OR SAFETY OF ANY STRUCTURES SHOWN ON THIS PLAN.

7. THE LANDSCAPE ARCHITECTURE IS NOT RESPONSIBLE FOR THE DESIGN OF ANY ELECTRICAL OR MECHANICAL SYSTEMS SHOWN ON THIS PLAN.

8. THE LANDSCAPE ARCHITECTURE IS NOT RESPONSIBLE FOR THE DESIGN OF ANY SPECIALTY MATERIALS OR FINISHES NOT SHOWN ON THIS PLAN.

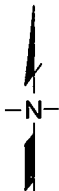
9. THE LANDSCAPE ARCHITECTURE IS NOT RESPONSIBLE FOR THE DESIGN OF ANY SPECIALTY LIGHTING NOT SHOWN ON THIS PLAN.

10. THE LANDSCAPE ARCHITECTURE IS NOT RESPONSIBLE FOR THE DESIGN OF ANY SPECIALTY FURNITURE NOT SHOWN ON THIS PLAN.



WEST LENOX STREET
63' R/W

- KEY**
- EXISTING WALL
 - PROPOSED WALL
 - EXISTING FLOOR
 - PROPOSED FLOOR
 - EXISTING CEILING
 - PROPOSED CEILING
 - EXISTING ROOF
 - PROPOSED ROOF
 - EXISTING PORCH
 - PROPOSED PORCH
 - EXISTING PATIO
 - PROPOSED PATIO
 - EXISTING DRIVEWAY
 - PROPOSED DRIVEWAY
 - EXISTING WALKWAY
 - PROPOSED WALKWAY
 - EXISTING FLOWER BED
 - PROPOSED FLOWER BED
 - EXISTING TREES
 - PROPOSED TREES
 - EXISTING SHRUBS
 - PROPOSED SHRUBS
 - EXISTING PLANTS
 - PROPOSED PLANTS
 - EXISTING LANDSCAPE
 - PROPOSED LANDSCAPE
 - EXISTING SITE
 - PROPOSED SITE



GENERAL NOTES

1. THIS PLAN AND ALL DETAILS ARE THE PROPERTY OF LILA FENDRICK LANDSCAPE ARCHITECTURE & GARDEN DESIGN. ANY REVISIONS OR ALTERATIONS MUST BE APPROVED BY THE ARCHITECT AND LANDSCAPE ARCHITECT BEFORE CONSTRUCTION.

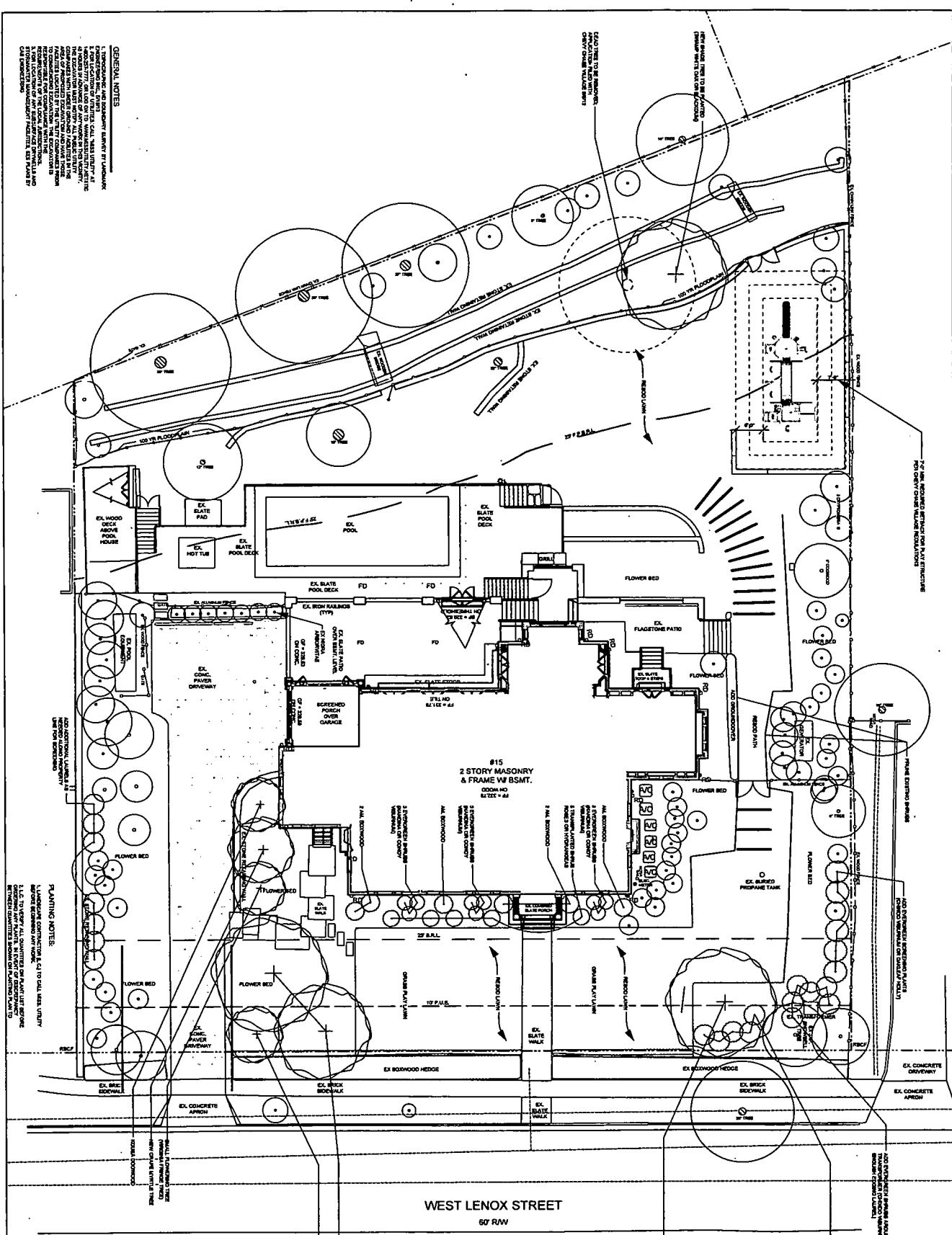
2. ALL MATERIALS AND PRODUCTS SHOWN ARE TO BE USED UNLESS OTHERWISE SPECIFIED.

3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

4. ALL PLANTING IS TO BE DONE IN ACCORDANCE WITH THE PLANTING NOTES AND SCHEDULE.

5. ALL PLANTING IS TO BE DONE IN ACCORDANCE WITH THE PLANTING NOTES AND SCHEDULE.

6. ALL PLANTING IS TO BE DONE IN ACCORDANCE WITH THE PLANTING NOTES AND SCHEDULE.



PLANTING NOTES:

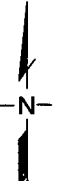
1. ALL PLANTING IS TO BE DONE IN ACCORDANCE WITH THE PLANTING SCHEDULE AND NOTES.

2. ALL PLANTING IS TO BE DONE IN ACCORDANCE WITH THE PLANTING SCHEDULE AND NOTES.

KEY

EXISTING TREES
PROPOSED TREES
PROPOSED SHRUBS
EXISTING PATIO
PROPOSED PATIO
EXISTING DECK
PROPOSED DECK
EXISTING DRIVEWAY
PROPOSED DRIVEWAY
EXISTING SIDEWALK
PROPOSED SIDEWALK
EXISTING FLOORING
PROPOSED FLOORING
EXISTING ROOFING
PROPOSED ROOFING
EXISTING POOL
PROPOSED POOL
EXISTING POOL HOUSE
PROPOSED POOL HOUSE
EXISTING HEDGES
PROPOSED HEDGES
EXISTING BENCHES
PROPOSED BENCHES
EXISTING LIGHTS
PROPOSED LIGHTS
EXISTING WALLS
PROPOSED WALLS
EXISTING FOUNDATION
PROPOSED FOUNDATION
EXISTING STRUCTURE
PROPOSED STRUCTURE
EXISTING UTILITY
PROPOSED UTILITY
EXISTING MECHANICAL
PROPOSED MECHANICAL
EXISTING ELECTRICAL
PROPOSED ELECTRICAL
EXISTING PLUMBING
PROPOSED PLUMBING
EXISTING HVAC
PROPOSED HVAC
EXISTING SITES
PROPOSED SITES
EXISTING UTILITIES
PROPOSED UTILITIES
EXISTING CONDUITS
PROPOSED CONDUITS
EXISTING ERECTION
PROPOSED ERECTION
EXISTING ROOFING
PROPOSED ROOFING
EXISTING WALLS
PROPOSED WALLS
EXISTING FOUNDATION
PROPOSED FOUNDATION
EXISTING STRUCTURE
PROPOSED STRUCTURE
EXISTING UTILITY
PROPOSED UTILITY
EXISTING MECHANICAL
PROPOSED MECHANICAL
EXISTING ELECTRICAL
PROPOSED ELECTRICAL
EXISTING PLUMBING
PROPOSED PLUMBING
EXISTING HVAC
PROPOSED HVAC
EXISTING SITES
PROPOSED SITES

WEST LENOX STREET
60' R/W

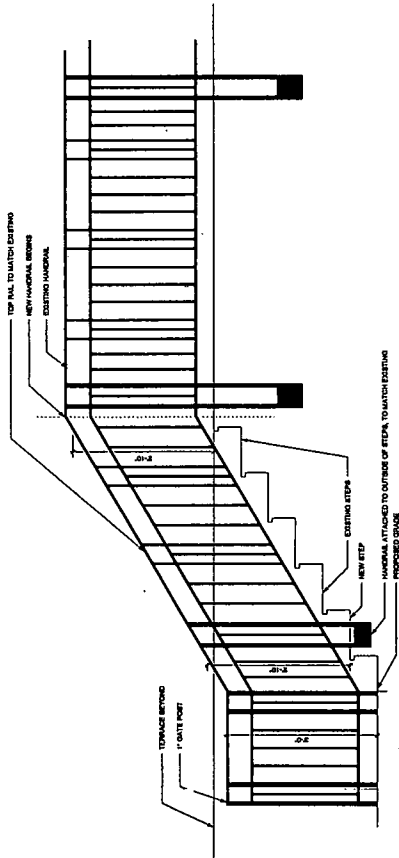


LAUFER RESIDENCE

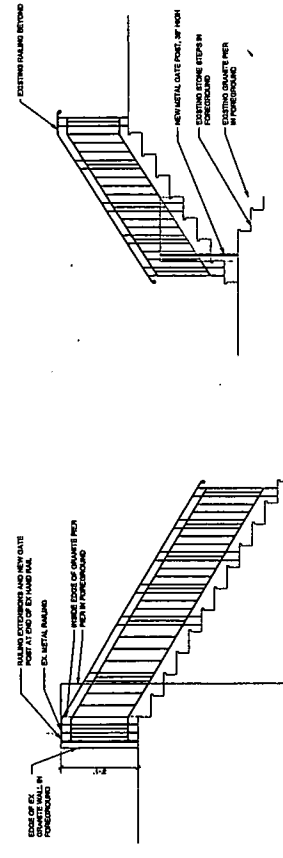
15 WEST LENOX STREET, CHEVY CHASE, MD 20815

LILA FENDRICK landscape architecture & garden design
6704 West Avenue, Chevy Chase, Maryland 20815 (301) 927-7700

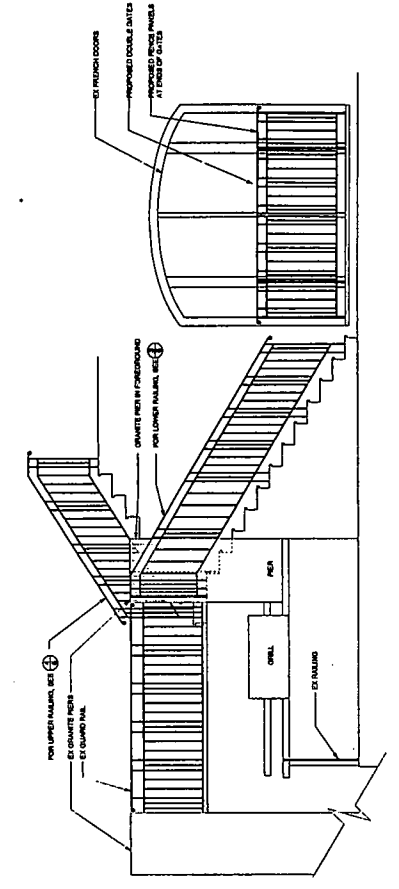
S	PLANTING PLAN	11-20-11	01-20-11
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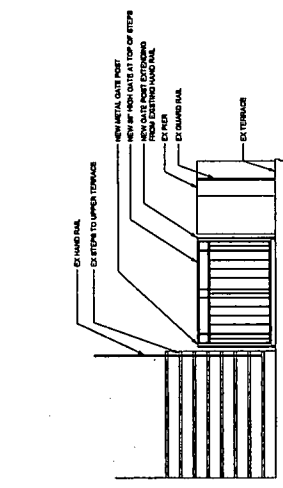
1 HAND RAIL AT STEPS FROM POOL
 ELEVATION 1"=1'-0"



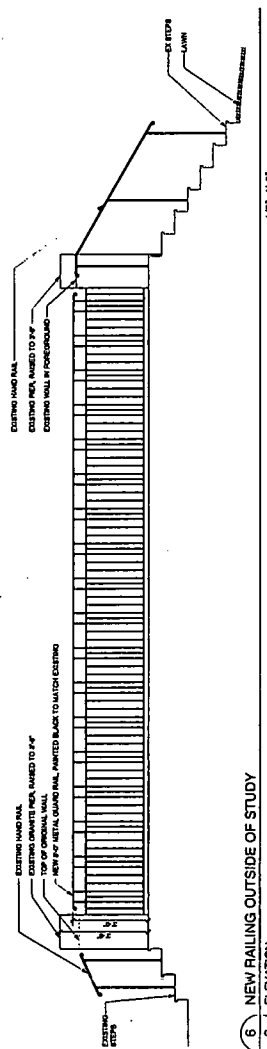
3 LOWER STEPS AND RAILINGS AT GRILL
 SECTION 1/2"=1'-0"



2 RAILINGS ABOVE POOL
 ELEVATION 1/2"=1'-0"

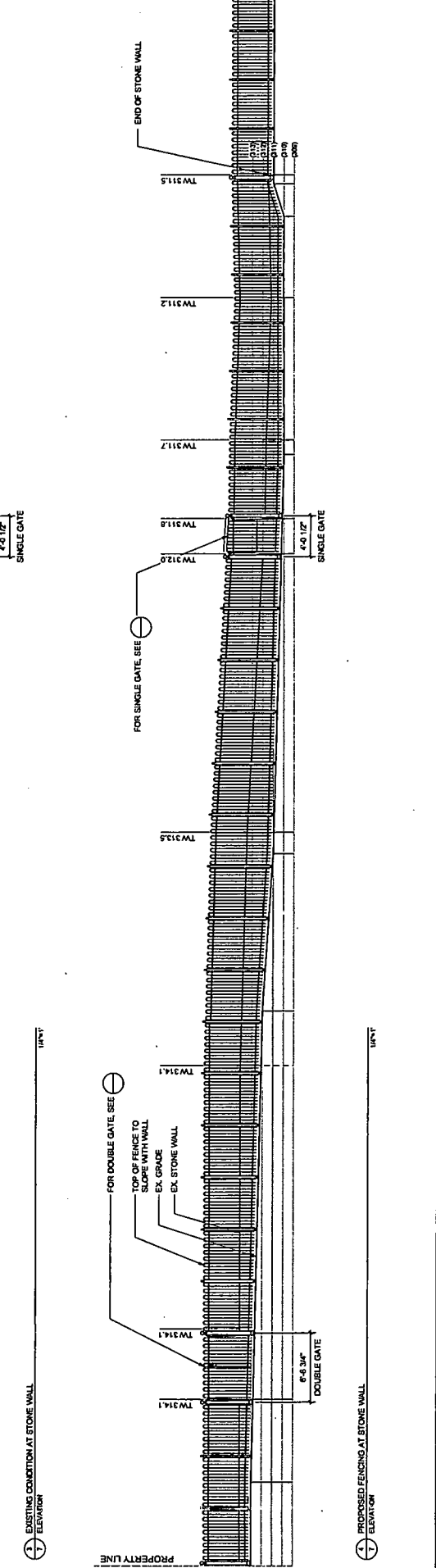
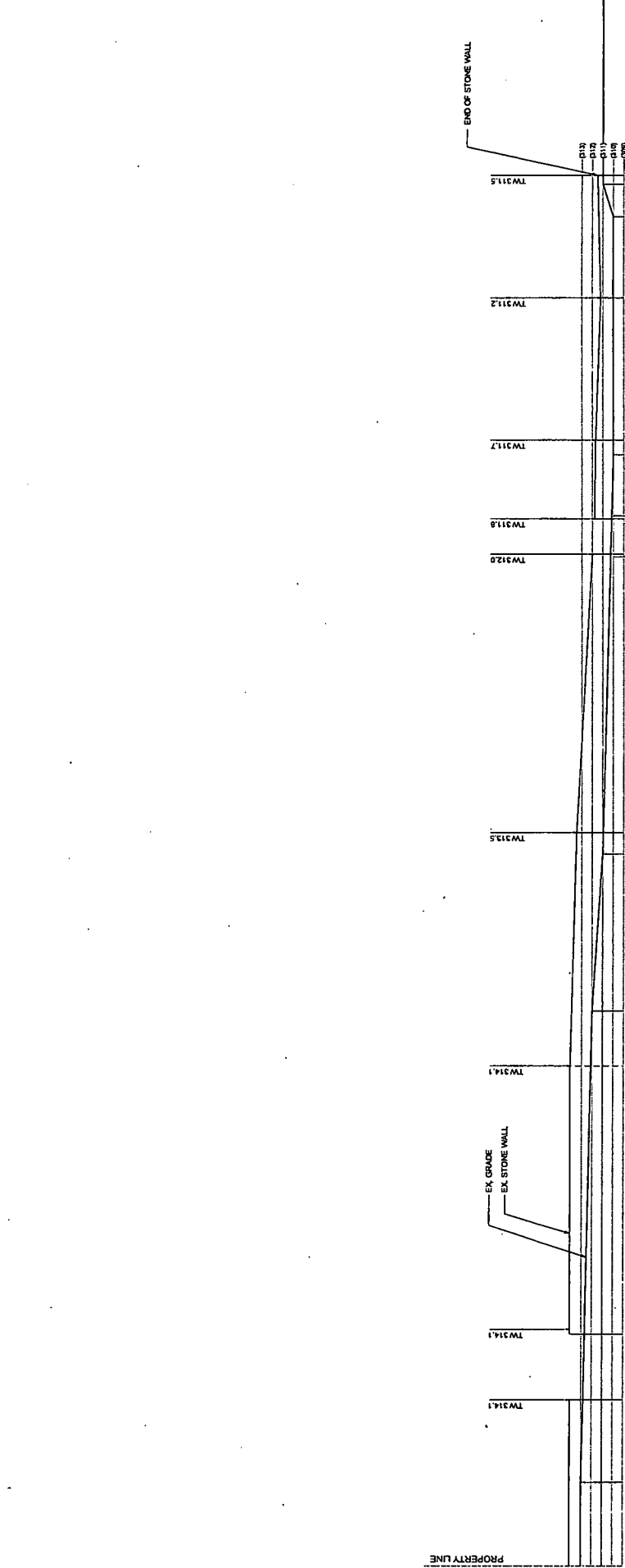


5 GATE AT TOP OF STEPS
 SECTION 1/2"=1'-0"

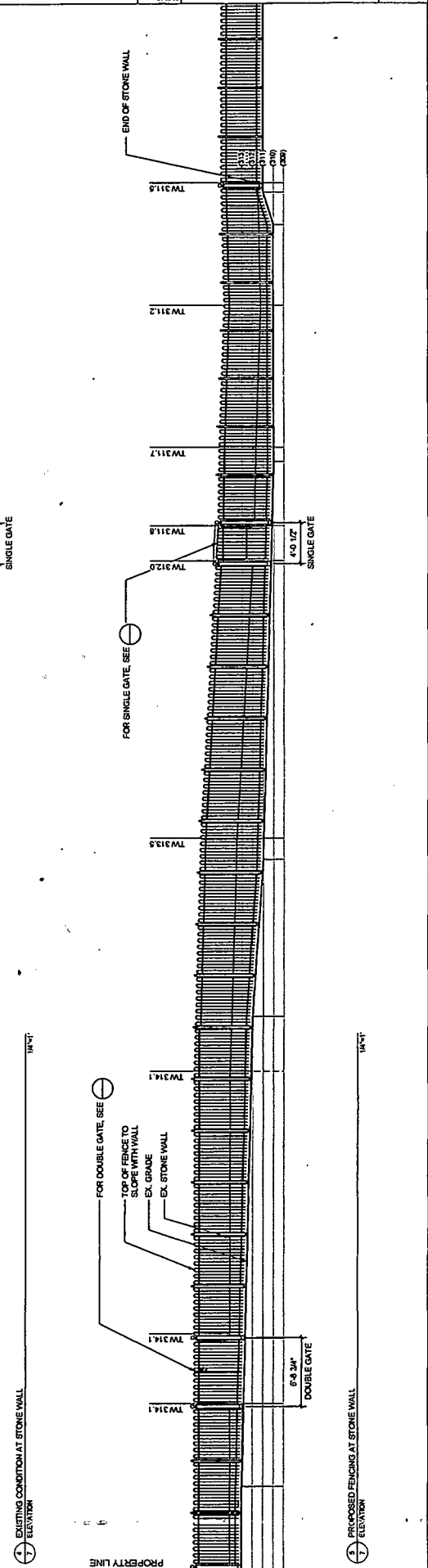
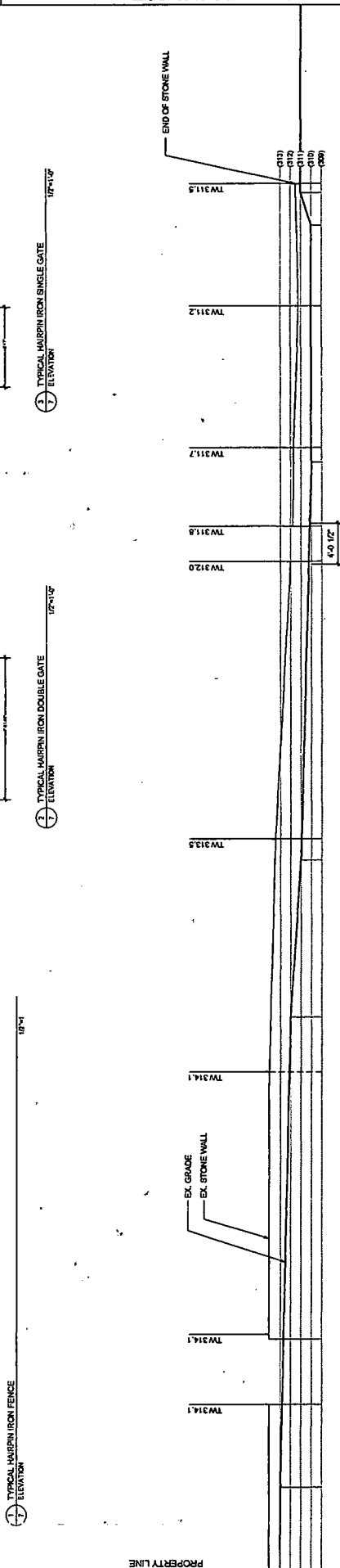
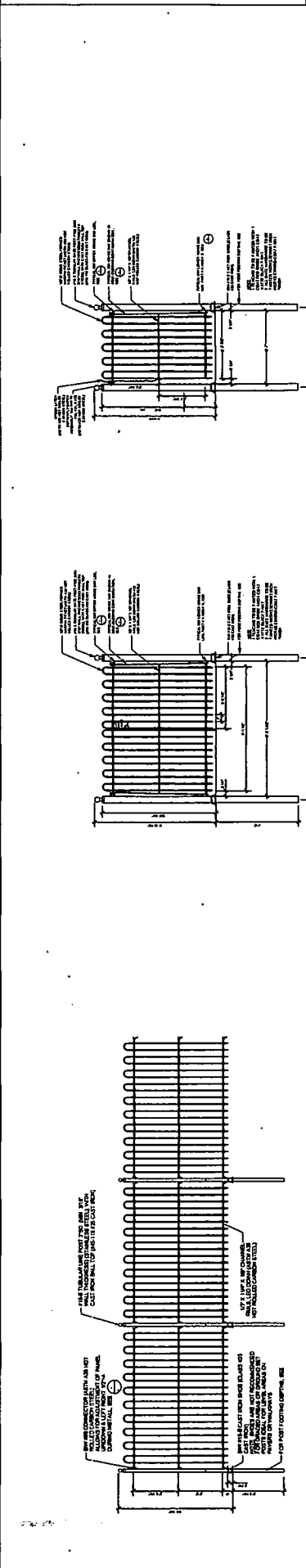


6 NEW RAILING OUTSIDE OF STUDY
 ELEVATION 1/2"=1'-0"

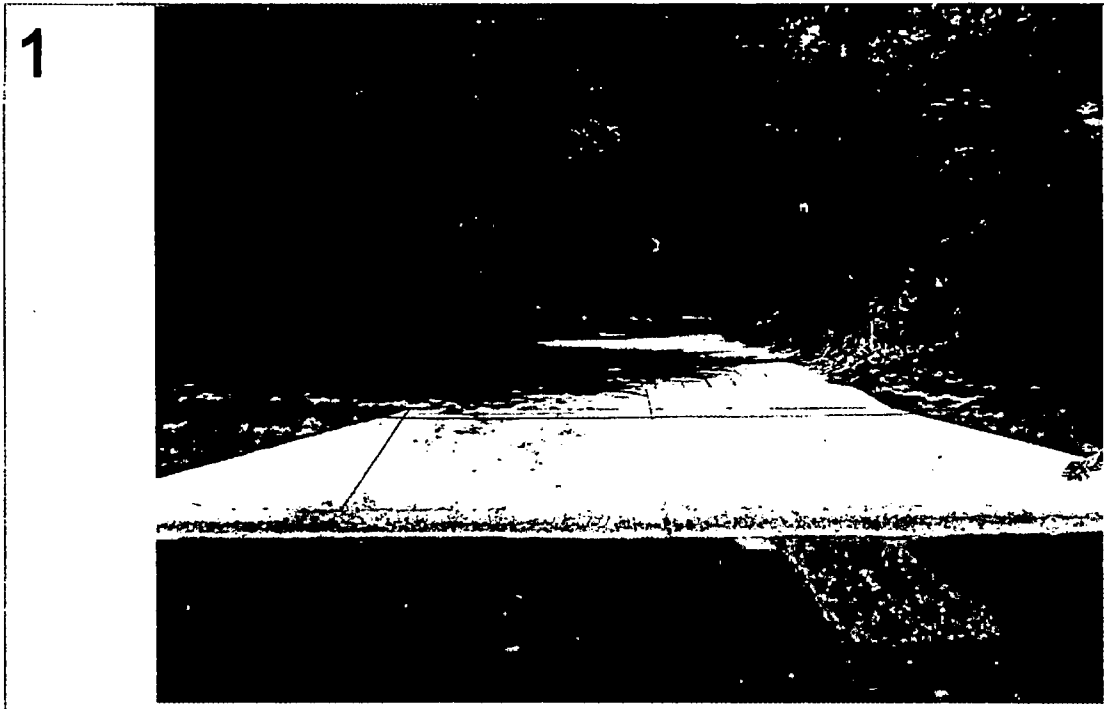
NOTE: ALL NEW METAL GATES, FENCES, AND HANDRAILS TO MATCH EXISTING AND TO BE PAINTED BLACK TO MATCH EXISTING



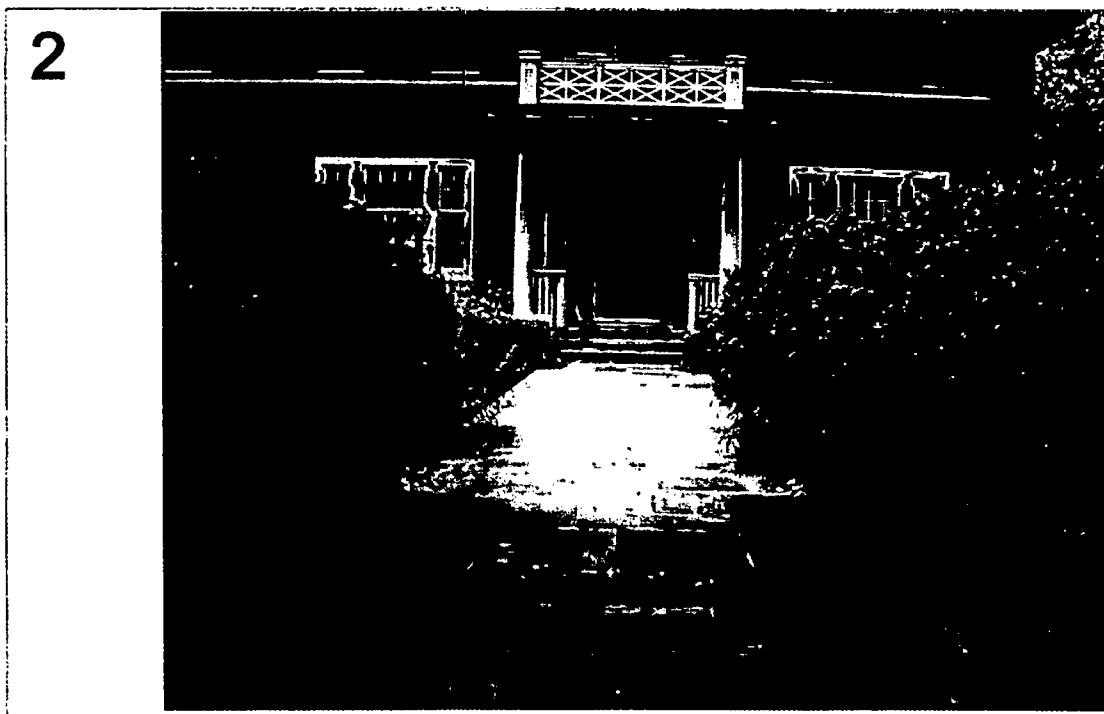
41



Existing Property Condition Photographs (duplicate as needed)



Detail: View into property from west edge



Detail: View to door of residence

Applicant: Laufer

Page: 1

(16)

Existing Property Condition Photographs (duplicate as needed)



Detail: View from sidewalk towards east edge of property



Detail: View towards double gates, east side

Applicant: Laufer

Existing Property Condition Photographs (duplicate as needed)



Detail: Close-up view of double gates east side



Detail: View toward s play lawn, NE corner, area of future lawn & granite steps (steep slope)

Applicant: Laufer

Existing Property Condition Photographs (duplicate as needed)



Detail: View up from play area NE corner, looking @
steep slope.

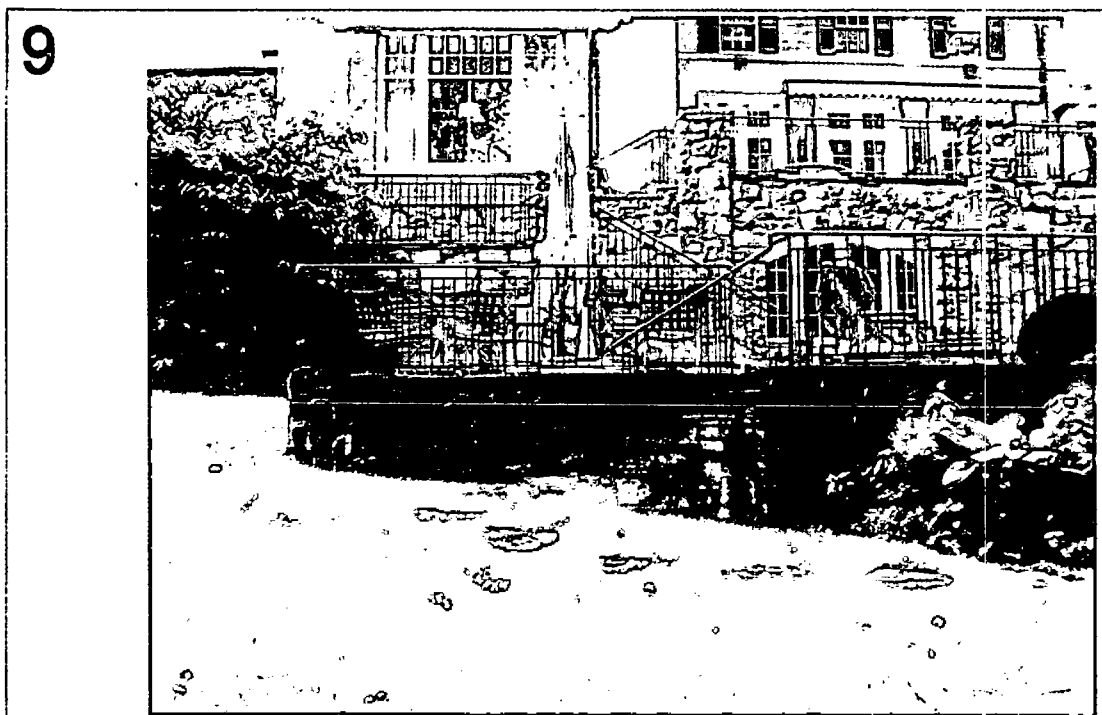


Detail: View Fowards rear of house, east end,
looking @ future raised vegetable garden area.

Applicant: Lanfer

Page: 4

Existing Property Condition Photographs (duplicate as needed)



Detail: *View Towards lowest set of steps from pool deck
(area of future guardrail + 1 additional step)*



Detail: *View Towards lowest set of steps from pool deck
(area of future guardrail + 1 additional step)*

Existing Property Condition Photographs (duplicate as needed)



Detail: View towards existing wall
(part of wall to be replaced with railing)



Detail: View towards existing wall
(part of wall to be replaced with railing)

Applicant: Lanfer

Page: 6

(71)

Existing Property Condition Photographs (duplicate as needed)



Detail: View Forwards steps leading to pool deck
(area of future gate)

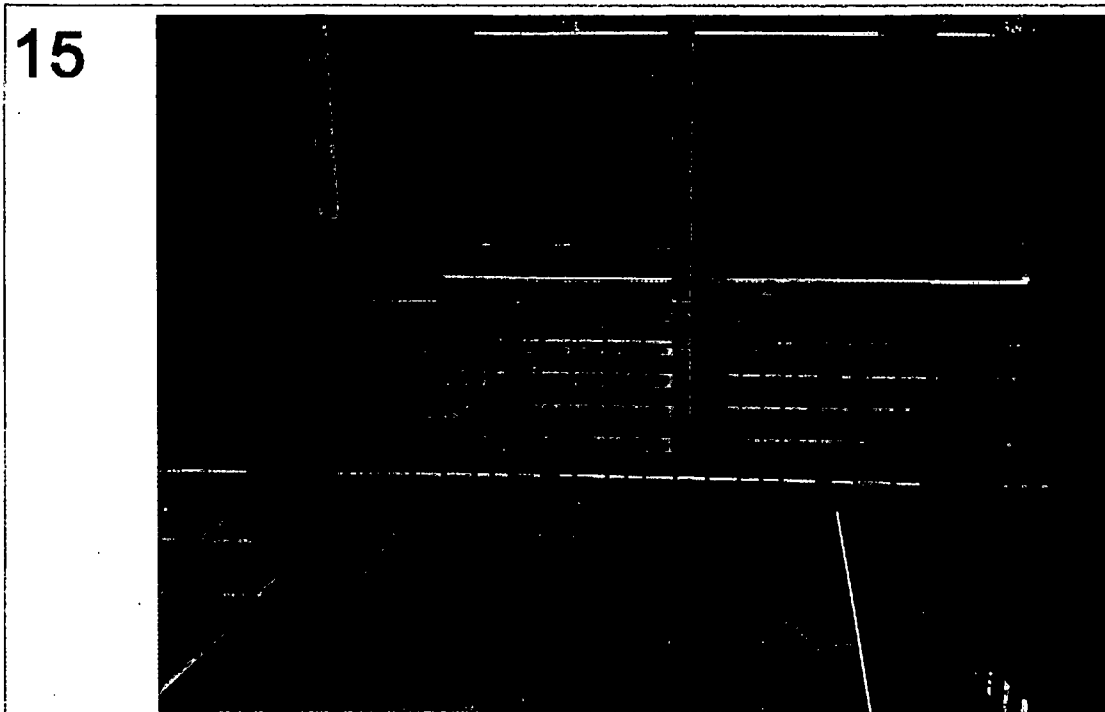


Detail: View towards lower level French doors
(area of future gates & fencing)

Applicant: Lanfer

Page: 7

Existing Property Condition Photographs (duplicate as needed)



Detail: View towards existing pergola



Detail: View towards existing deck & pergola

Applicant: Laufer

Page: 8

Existing Property Condition Photographs (duplicate as needed)



Detail: View Towards single gate, west side



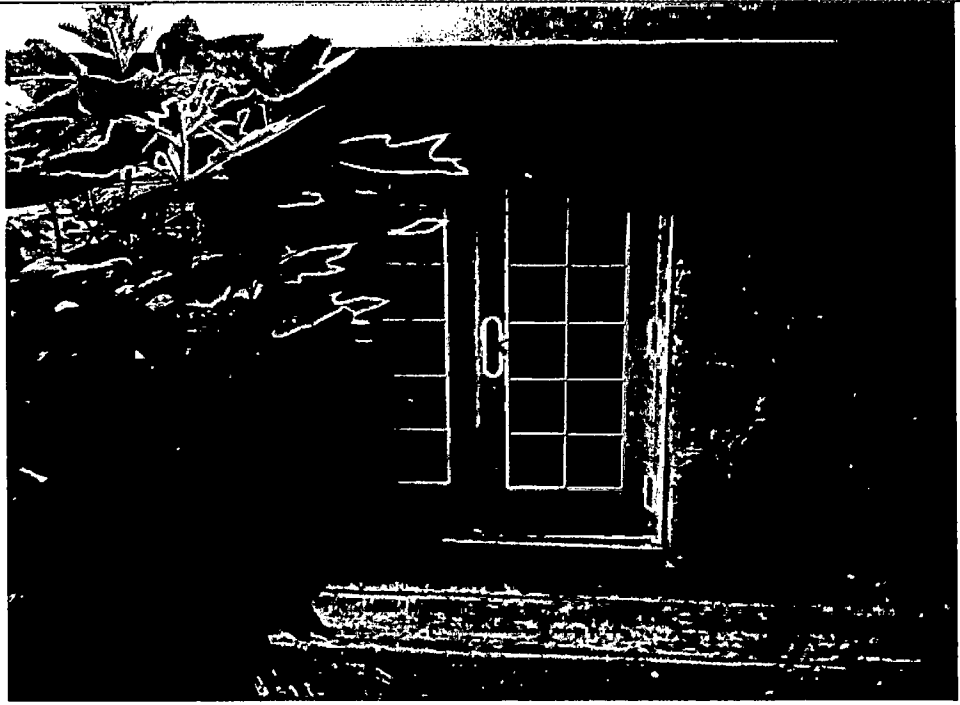
Detail: View Towards steps leading to lower level
pool storage area below pergola
(Area of future gates and fencing)

Applicant: Laufer

Page: 9

Existing Property Condition Photographs (duplicate as needed)

19



Detail: View of French doors @ lower level pool storage area below pergola

20



Detail: View from bridge over stream, photo shows stone walls channeling stream & upper wall is hidden in the foliage. (View of bridge on west end in foreground).

Applicant: Laufer

Page: 10

Existing Property Condition Photographs (duplicate as needed)



Detail: View showing ^{upper} stone wall (@ bottom of photo)



Detail: View showing upper stone wall (lower stone wall in photo is part of stream channel)

Applicant: Laufer

Page: 11

Existing Property Condition Photographs (duplicate as needed)

23



Detail: View towards lower stone wall, SW corner of lot

24



Detail: View towards lower stone wall

Existing Property Condition Photographs (duplicate as needed)



Detail: View towards lower stone wall
(wall channeling stream below)



Detail: View towards lower stone wall
(wall channeling stream bed)

Existing Property Condition Photographs (duplicate as needed)

27



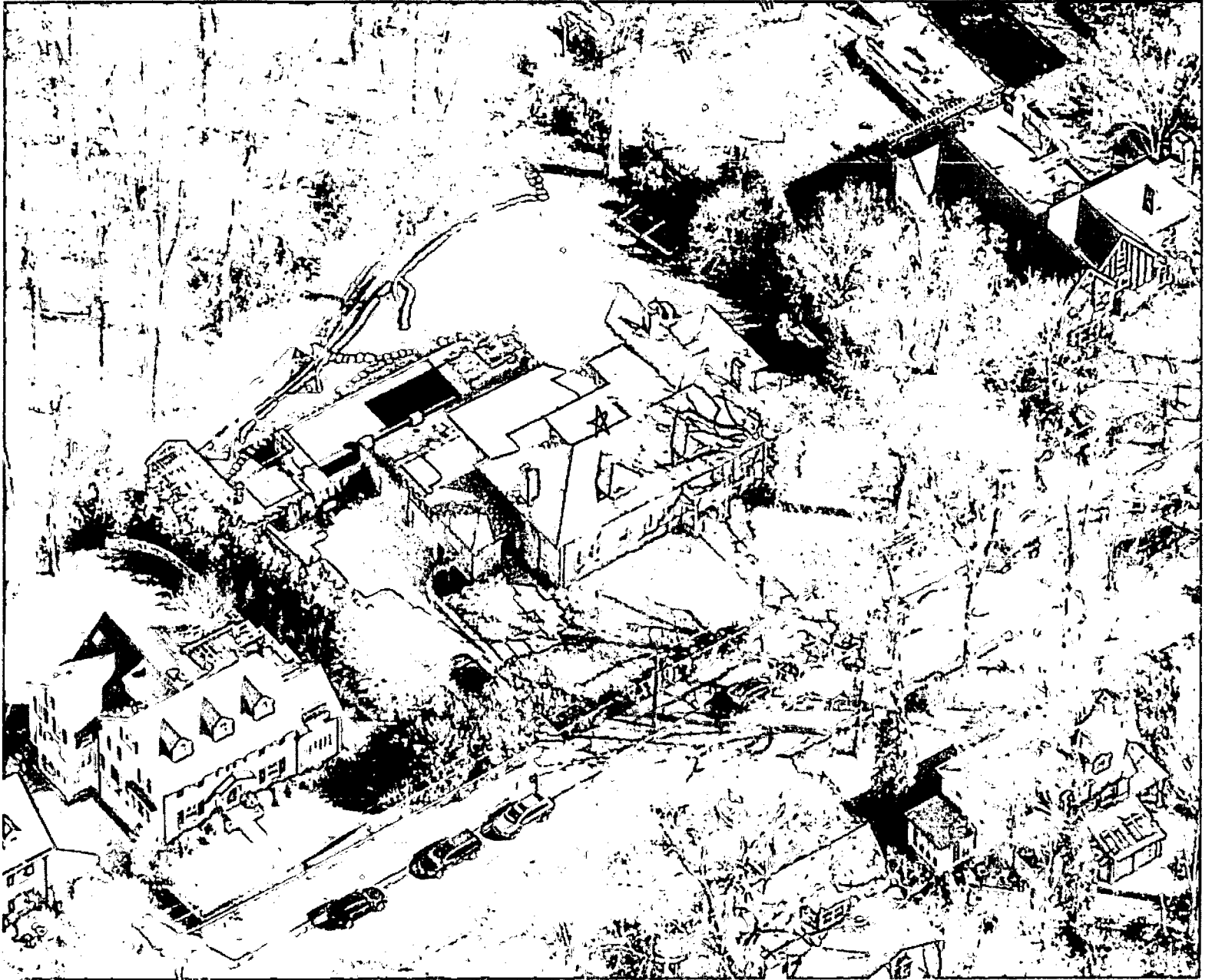
Detail: View towards low stone wall

28



Detail: View towards low stone wall with bridge to east

15 West Lenox



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15 WEST LENOX



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