

10011 Memorial Ave.
Capitol View Park N.D.

2012 Map



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: 12/6/12

MEMORANDUM

TO: Diane Schwartz Jones, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #615702—shed installation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on December 5, 2012.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Amanda Budny
Address: 10011 Menlo Avenue, Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Budny, Amanda@gmail.com Contact Person: Amanda Budny
Daytime Phone No.: 860-338-3860 (cell)

Tax Account No.: 00995742
Name of Property Owner: Amanda Budny Daytime Phone No.: 860-338-3860
Address: 10011 Silver Spring Menlo Ave 20910
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISES

House Number: 10011 Street: Menlo Ave
Town/City: Silver Spring Nearest Cross Street: Leafy Ave
Lot: 8 Block: 1330 Subdivision: Capitol View Park
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT/ACTION/ANNUSE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable

CHECK ALL APPLICABLE: A/C Slab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 1100

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Amanda Budny 10/23/2012
Signature of owner or authorized agent Date

Approved: _____ For Chairperson Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 12/6/12
Application/Permit No.: 615702 Date Filed: 11/24/12 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

house, new exterior on original foundation
front porch consistent with historical architecture
of neighborhood

large cement driveway at rear of lot
well shaded, tree filled lot

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

propose to construct a 8' x 8' shed with
siding consistent with material on house, painted
to match same. Shed will be 8' 2" tall
shed placed between existing driveway and
rear property line

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions; clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and finishes proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS


For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



The Home Depot Val-U Shed

Roof

- 24/12-5/12 Gambrel Roof Pitch only
- 2x4 trusses 24" on center
- 8ft 2in tall (8ft 4" with 2x6 joists)
- Choice of roof shingle color
- OSB Roof sheathing
- Vents are OPTIONAL-> 

Wall Framing

- 2x4 studs 24" on center
- 47" sidewall height
- End walls are truss-plated 2x4s

Wall Siding options

- 3/8" engineered & pre-primed SmartPanel™ siding by L-P
- 1x4 Pine Trim- Rake, Fascia & Doors
- 1x4 + 1x3 pine Cornerboards
- Vinyl clapboards over 7/16 OSB
- Vinyl wide-flange & J-channel trim

Door

- 54" Double Door on gable end only - no other size!
- clear opening: 53½" wide x 66½" tall
- doors are SmartPanel if SmartPanel sided
- doors are solid vinyl slabs if vinyl sided
- Zinc plated T-hinges
- Chrome Keyed T-Handle Lock
- (2) Barrel Bolts inside left door half
- Bullnose (threshold) is standard

Ramp is OPTIONAL

- Choice of 4ft long or new heavy-duty 6ft

Floor

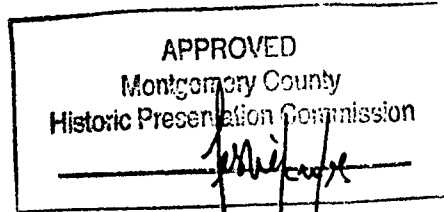
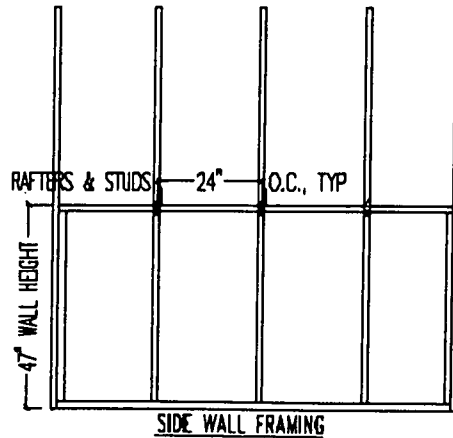
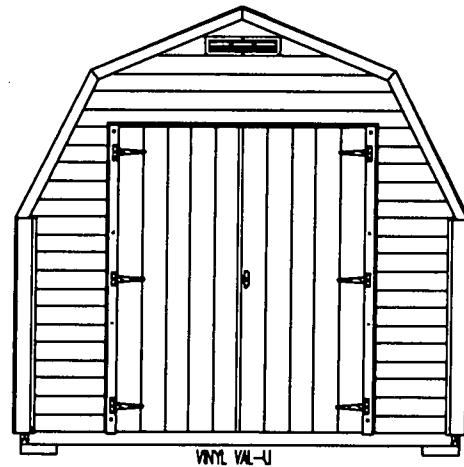
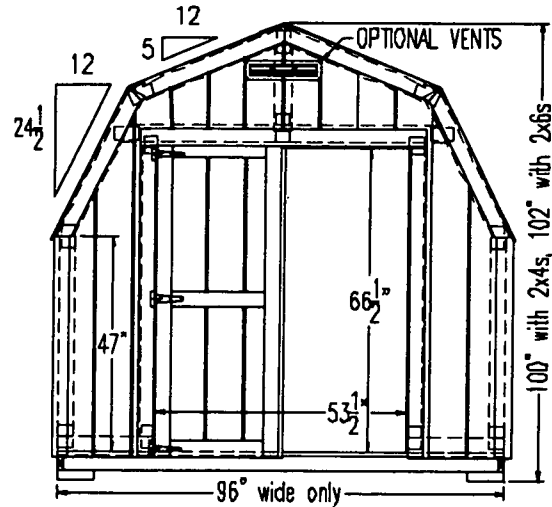
- 96" across gable ends
- Sidewalls length: nominal 8ft long = 92"
- (See Exact Outside Floor Dimensions for other sizes)
- OSB Flooring
- 2x4 PT floor joists, recommend upgrade to 2x6s.
- Optional Tough Floor II:
 - upgrades to 2x6 joists 12" on center
 - upgrades to PT plywood floor

Anchor Kit option:

- Includes Strongtie® H2.5A hurricane clips for rafters and four arrowhead ground anchors with cable that goes over gable ends.
- Recommended or required in many areas to meet hold-down requirements for wind resistance.

2-year Limited Warranty standard, optional upgrade to Lifetime Limited Warranty.

Please refer to our specific instructions & dimensions before beginning any slab, sonotubes (piers), gravel pad or other site preparation.

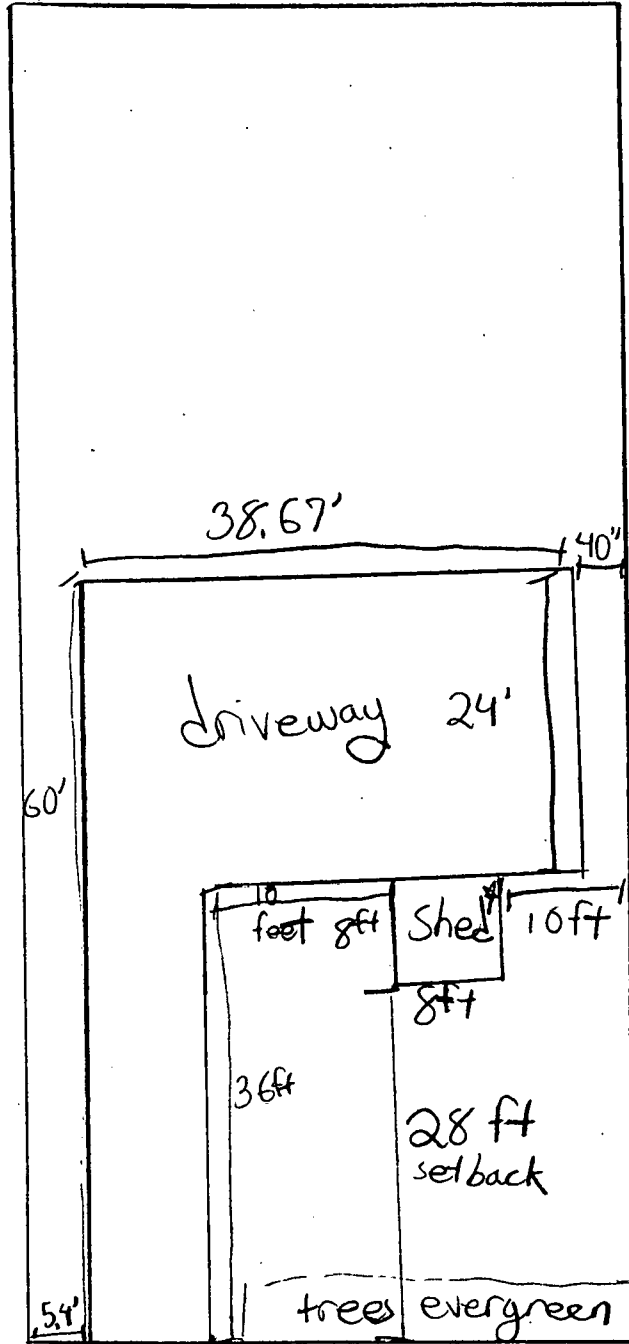


Revised 011212

Site Plan

to rest of property
↑

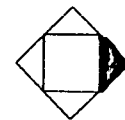
rear half
of lot
Scale (1"=15')



APPROVED
 Montgomery County
 Historic Preservation Commission
 [Signature]

* Shed is only proposed change to property

10'2"
end of property



Shade portion to indicate North

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10011 Menlo Avenue, Silver Spring	Meeting Date:	12/5/12
Resource:	Nominal (Non-Contributing) Resource Capitol View Park Historic District	Report Date:	11/28/12
Applicant:	Amanda Budny	Public Notice:	11/21/12
Review:	HAWP	Tax Credit:	None
Case Numbers:	31/7-12F	Staff:	Anne Fothergill
Proposal:	Shed installation		

STAFF RECOMMENDATION

- Approval
 Approval with conditions

PROPERTY DESCRIPTION

SIGNIFICANCE: Nominal (Non-Contributing) Resource in the Capitol View Park Historic District
DATE: 1945 (substantial alterations in 2010)

PROPOSAL

The applicant is proposing to install an 8' x 8' x 8'2" tall shed located behind the house at the end of the driveway. The shed will have painted smart panel siding (similar to fiber cement siding, which is on the house).

APPLICABLE GUIDELINES

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8(b) (1) and (d);

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Budny.Amanda@gmail.com Contact Person: Amanda Budny
Daytime Phone No.: 860-338-3860 (cell)

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Name of Property Owner: Amanda Budny Daytime Phone No.: 860-338-3860
Address: 1001 Silver Spring Menlo Ave 20910
Street Number City State Zip Code

Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE
House Number: 1001 Street: Menlo Ave
Town/City: Silver Spring Nearest Cross Street: Leafy Ave
Lot: 8 Block: 1330 Subdivision: Capitol View Park
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> A/C	<input type="checkbox"/> Slab	<input type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input checked="" type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)		<input type="checkbox"/> Other: _____			

1B. Construction cost estimate: \$ 1100

1C. If this is a revision of a previously approved active permit, see Permit # _____

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Amanda Budny 10/23/2012
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 615702 Date Filed: 10/24/12 Date Issued: _____

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HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
10011 Menlo Ave Silver Spring, MD 20910	
Adjacent and confronting Property Owners mailing addresses	
10009 Menlo Ave Silver Spring, MD 20910	
10013 Menlo Ave Silver Spring, MD 20910	

Scale (1"=15')

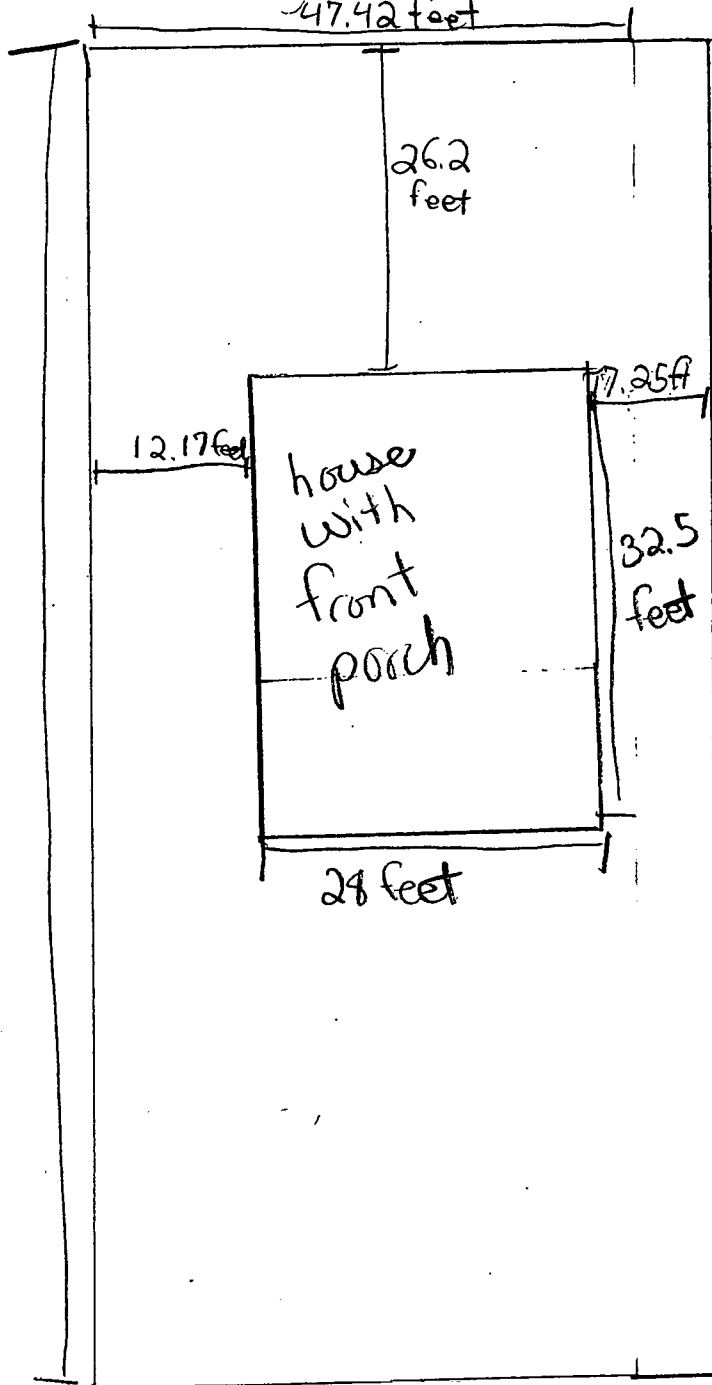
Site Plan

Menlo Ave

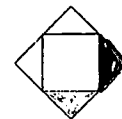
47.42 feet

this is front
half of lot,
for rest
see next
page

105.45
feet



This is
existing
property
condition



Shade portion to indicate North

Applicant: Amanda Budny

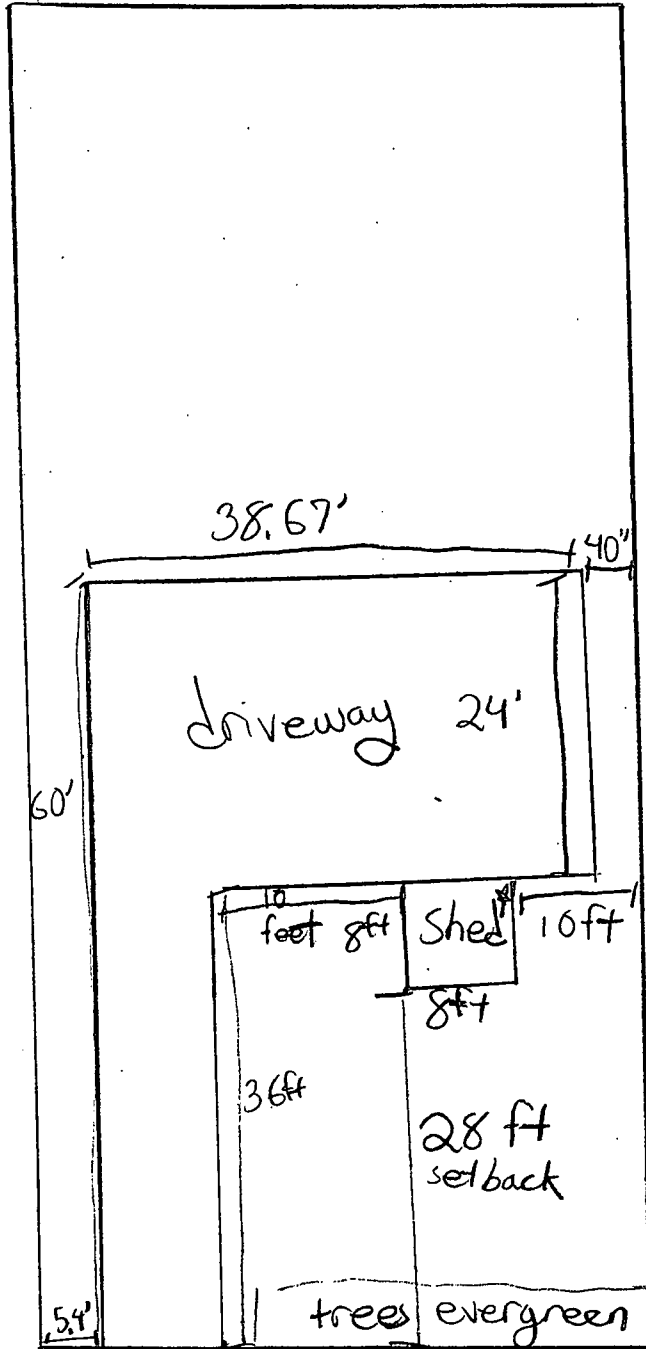
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6

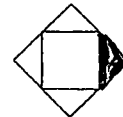
Site Plan

to rest of property
↑

rear half
of lot
Scale (1"=15')



* Shed is
only proposed
change to property




Shade portion to indicate North

end of property



The Home Depot Val-U Shed

Roof

- 24/12-5/12 Gambrel Roof Pitch only
- 2x4 trusses 24" on center
- 8ft 2in tall (8ft 4" with 2x6 joists)
- Choice of roof shingle color
- OSB Roof sheathing
- Vents are OPTIONAL-> 

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- 47" sidewall height
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Wall Siding options

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- Vinyl wide-flange & J-channel trim

Door

- 54" Double Door on gable end only - no other size!
- clear opening: 53½" wide x 66½" tall
- doors are SmartPanel if SmartPanel sided
- doors are solid vinyl slabs if vinyl sided
- Zinc plated T-hinges
- Chrome Keyed T-Handle Lock
- (2) Barrel Bolts inside left door half
- Bullnose (threshold) is standard

Ramp is OPTIONAL

- Choice of 4ft long or new heavy-duty 6ft

Floor

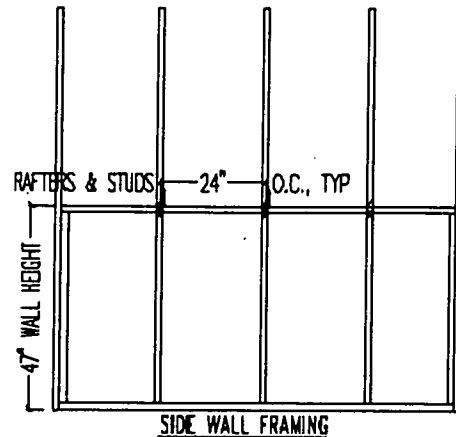
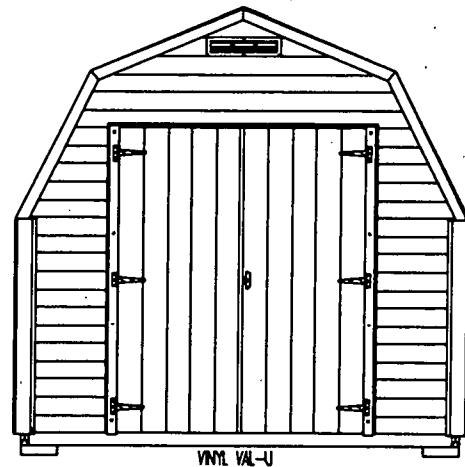
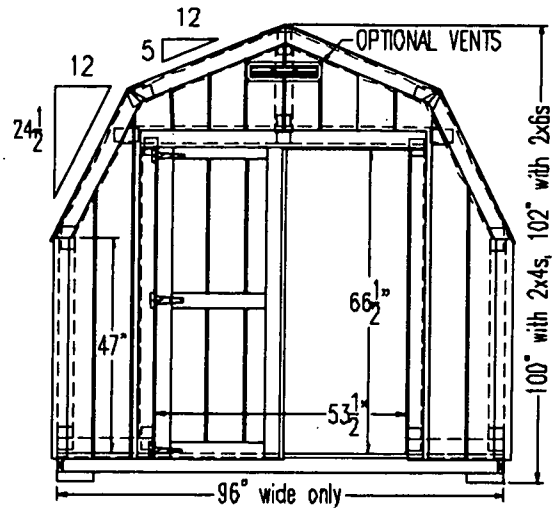
- 96" across gable ends
- Sidewalls length: nominal 8ft long = 92"
- (See Exact Outside Floor Dimensions for other sizes)
- OSB Flooring
- 2x4 PT floor joists, recommend upgrade to 2x6s.
- Optional Tough Floor II:
 - upgrades to 2x6 joists 12" on center
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Anchor Kit option:

- Includes Strongtie® H2.5A hurricane clips for rafters and four arrowhead ground anchors with cable that goes over gable ends.
- Recommended or required in many areas to meet hold-down requirements for wind resistance.

2-year Limited Warranty standard, optional upgrade to Lifetime Limited Warranty.

Please refer to our specific instructions & dimensions before beginning any slab, sonotubes (piers), gravel pad or other site preparation.



Revised 011212







EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	119811 Darnestown Road, Beallsville	Meeting Date:	12/5/12
Applicant:	Montgomery County Department of Parks (Julie Mueller, Agent)	Report Date:	11/28/12
Resource:	Contributing Resource Beallsville Historic District	Public Notice:	11/21/12
Review:	HAWP	Tax Credit:	None
Case Number:	17/01-12B	Staff:	Anne Fothergill
PROPOSAL: Tree removal			

STAFF RECOMMENDATION

- Approval
- Approval with conditic

PROPERTY DESCRIPTION

SIGNIFICANCE: Darby Stor
STYLE: Vernacular
DATE: 1910

16

Historic District

See building's history and descrip

PROPOSAL

The applicant proposes to remove t
leaning towards the historic store bu

ce as noted) that is
d.

The applicant also proposes to remov
determined to be dead - HPC approva

house that a certified arborist
to remove dead trees.

APPLICABLE GUIDELINES

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
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STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b) (1);

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

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HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Elvie Walker
 Daytime Phone No.: 301-650-4390
 Tax Account No.: 11-001-00914906
 Name of Property Owner: Dept. of Parks Daytime Phone No.: 301-650-4390
 Address: 9500 Brunett Ave. Silver Spring MD 20901
Street Number City State Zip Code
 Contractor: Parks Phone No.: _____
 Contractor Registration No.: _____
 Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PROJECT

House Number: 19801-19811 Darnestown Rd.
 Town/City: Beallsville Nearest Cross Street: Beallsville + Darnestown Rds
 Lot: _____ Block: _____ Subdivision: _____
 Liber: 200 Folio: 287 Parcel: 300 + 407 (map + grid C22)
1855 069

PART ONE: TYPE OF PRIMARY ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze #
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- AC
- Club
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: * remove trees

1B. Construction cost estimate: \$ TBD

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSION/ADDITION

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/encroachment

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Elvie Walker _____
Signature of owner or authorized agent 11/9/12
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

Darby Tree Removal HAWP Application

1.a Description of existing structure and environmental setting, including its historical features and significance.

Environmental Setting: The Darby House and Store (19811 and 19801 Darnestown Road, respectively) are located within the Darby Historical/Cultural Park, which is composed of 25.5 acres located at the northwest intersection of Routes 109 and 28 in Beallsville. The park is part of the Agricultural Reserve. The property was purchased in 2004 for its cultural resources and open space. The Darby House, Darby Store, and detached garage are contributing resources within the locally designated Beallsville Historic District. The front portion of the park facing Route 28 is protected under the "environmental setting" of the Beallsville Historic District. In June 2011, for safety and preservation purposes, the store was moved back and away from the intersection (HAWP 506356).

History: The following information is taken from *Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland:*

The [house and store] show the relationship between business and residence, and the prominence of the local merchant in a rural, turn-of-the-20th-century farming community. The Darby Store, a country store at the heart of historic Beallsville, was built in 1910 by H. C. Darby. Beallsville had evolved into an important crossroads from its beginnings when the B&O's Metropolitan Branch line of 1873 resulted in the nearby Sellman Station. Activity there brought increasing commerce to Beallsville, culminating in this pair of notable structures from the first decades of the 20th century. The store epitomizes the vernacular, two-story, front-gabled form that was common for general stores in the region around the turn of the century. By the 1920s, the store featured the area's post office as well.

The adjacent H.C. Darby House was built by the store's owner in 1921 [replacing his original residence which was located behind the store facing Beallsville Road]. It is a spacious house that exhibits the Colonial Revival style, with lingering remnants of the Queen Anne. The house is a two-story, white clapboard structure with three bays, a hipped roof, and side gables on each elevation. A one-story porch, supported by pairs of classical columns, stretches across the width of the main and east elevations. There is a two-story projecting bay at the east corner of the front elevation. The house's size reflects the economic importance of the merchant in small communities like Beallsville.

The pair of properties continued to be owned and operated by the Darby family throughout most of the 20th century. The store was run by H.D. Darby, the original owner's son, after the father retired. The continuity of the property's ownership is significant.

Exterior Description: Located at the northwest corner of Darnestown and Beallsville Road, the Darby Store is a symmetrical, one-bay wide, two-story, balloon-frame structure measuring 54'4" x 24'6". The building is sheathed in horizontal, wood siding. It has a new metal shingle, pitched roof with a slight eave, and a simple, flat band of trim. Windows are double-hung, two-over-two sash throughout with

the exception of the attic window on the south elevation. This window has a tripartite design with the center window being slightly taller than the two surrounding windows. There are five doors into to the building. The single, front door on the south elevation is centered between large sets of plate glass windows. It consists of a four-paneled base below a glazed section. It is topped by a glazed transom on which the letters "H.C. Darby" are painted. On the west elevation is a single, paneled door leading into the back of the front room. On the north elevation is a frame door leading down into the cellar. The east elevation has one, door near the back of the building that leads into a back room. Immediately above it, on the second floor, is a five-paneled door that is not accessible from the ground.

1.b. General Description of the Project and Its Effect on the Historic Resources, the Environmental Setting, and the Historic District.

Project Description: Remove two trees.

- A 10"-wide ^{oriental} Norway Spruce is immediately adjacent to the new location of the store. Because it is also leaning towards it and because its root system was compromised with the construction of the new foundation for the store, Parks would like to remove the tree to prevent it from possibly falling into the newly stabilized structure. The stabilization included installing a new roof, repairing siding, and reconstructing the front porch which had been demolished by a truck many years ago. Were the tree to fall into the building, it would severely damage the newly completed work.
- An almost dead 24+" pine is located in front of the Darby House. Parks would like to remove it before it damages the house.

Effect on Historic Resources: There will be no adverse effect on the historic resource. Removing the tree will help avoid potential damage to the building.

Effect on Environmental Setting: There will be no effect on the environmental setting. The pair of historic trees located at either end of the front of the property and which were probably planted in 1921 when the house was built will not be affected by the removal of this tree.

Effect on Historic District: The undertaking will not diminish the integrity of design, setting, materials, workmanship, feeling, or association.

2. Site Plan: See attached Proposed Site Plan (June 3, 2009). This plan shows the original and proposed location of the store, prior to its move. The store is now in the "proposed" location and the "existing" location is the former location.

3. Plans and Elevations: N/A

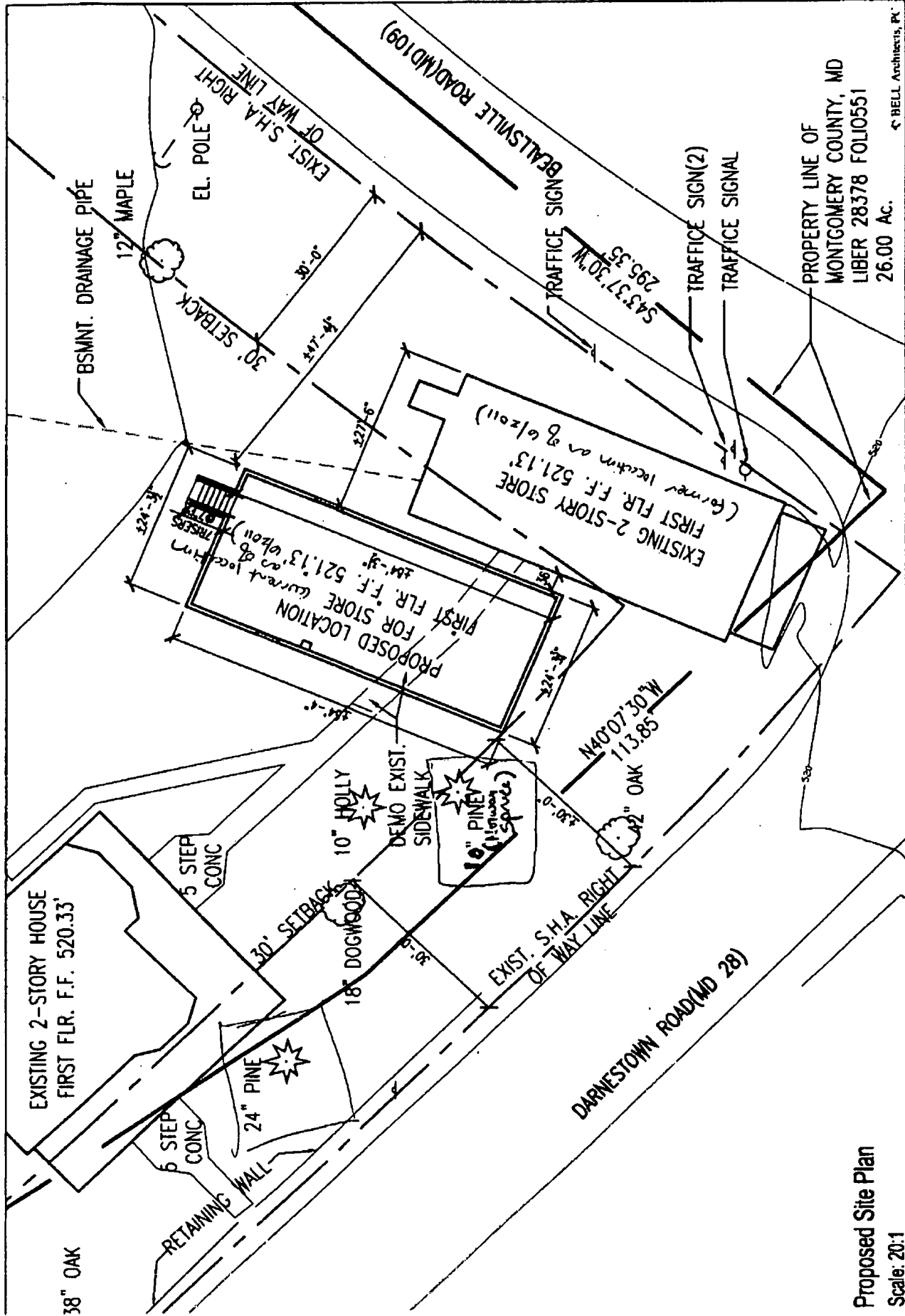
4. Materials Specification: N/A

5. Photographs: (see attached)

6. Tree Survey: See attached site plan for location of existing trees.

7. Addresses of Adjacent and Confronting Property Owners: (see attached map and real property data sheets, summarized below)

P470: Monocacy Cemetary Company, P.O. Box 81, Beallsville, MD 20839-0081
P575 and P627: Eusebio and Paula Maita, 23000 Old Hundred Road, Dickerson, MD 20842-9750
P624: G. D. Armstrong Co., Inc., P.O., Box 5098, Laytonsville, MD 20882
P570: Ronald E. and Harriet B. Magaha, P.O. Box 7, Beallsville, MD 20839-0007
P516 and P512: Upper Mont. Co. Volunteer Fire Dept., P.O. Box 8, Beallsville, MD 20839-0008
P407: Montgomery County, MD, 101 Monroe Street, 3rd Fl., Rockville, MD 20850-2540
P466: Josephine Beagle et al Tr., 10606 Stoneyhill Court, Silver Spring, MD 20901-1539



Proposed Site Plan

Scale: 20:1

BELLArchitects, PC

1728 9th St NW Washington D.C. 20001 www.bellarc.com 202.548.7570 fax: 548.7580

Darby Store Stabilization & Relocation

10001 Parnestown Road Parnestown, MD 21080

134-011
June 3, 2002

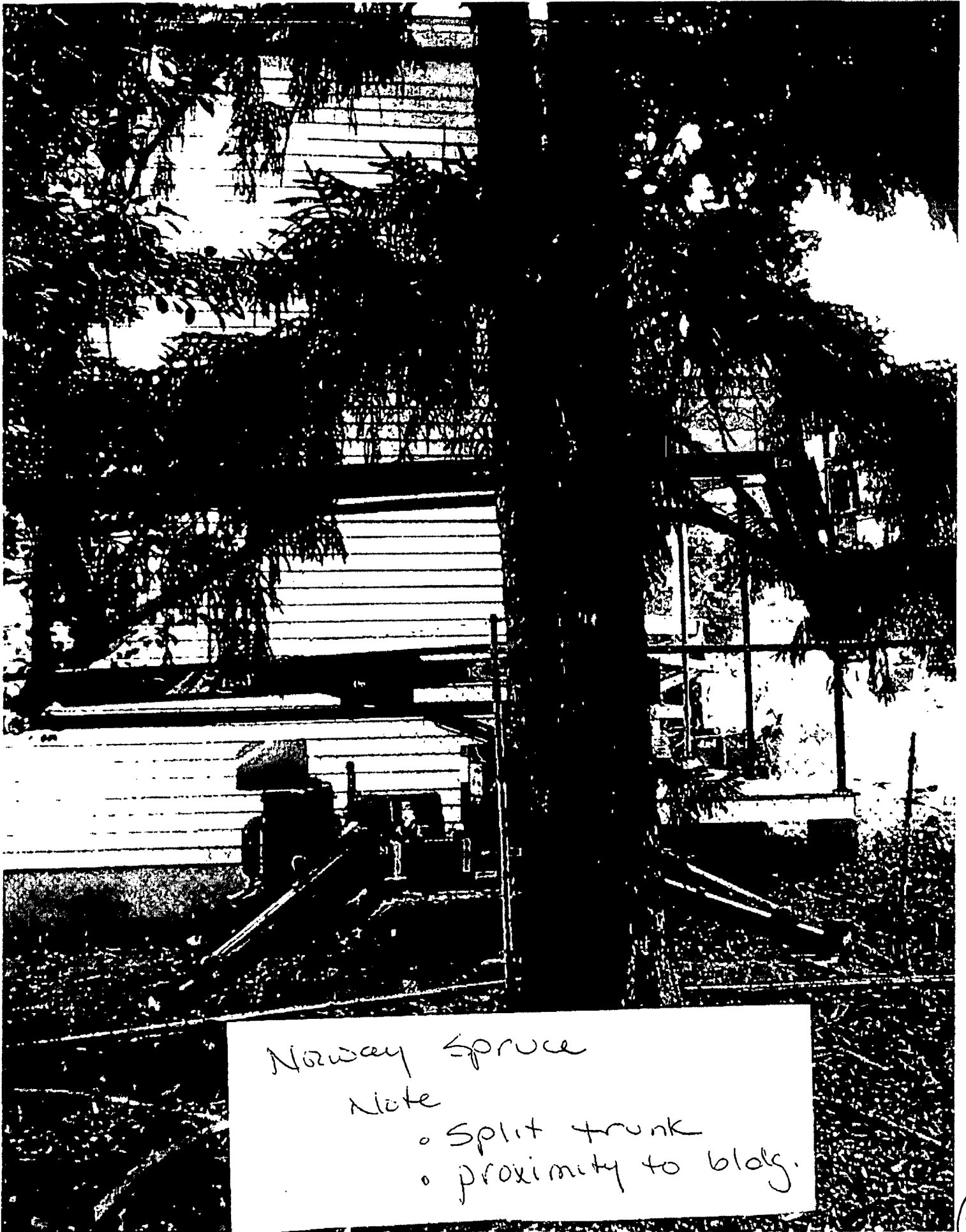
© BELL Architects, PC

PROPERTY LINE OF
MONTGOMERY COUNTY, MD
LIBER 28378 FOLIO551
26.00 AC.

4

Norway Spruce.
Note proximity +
height

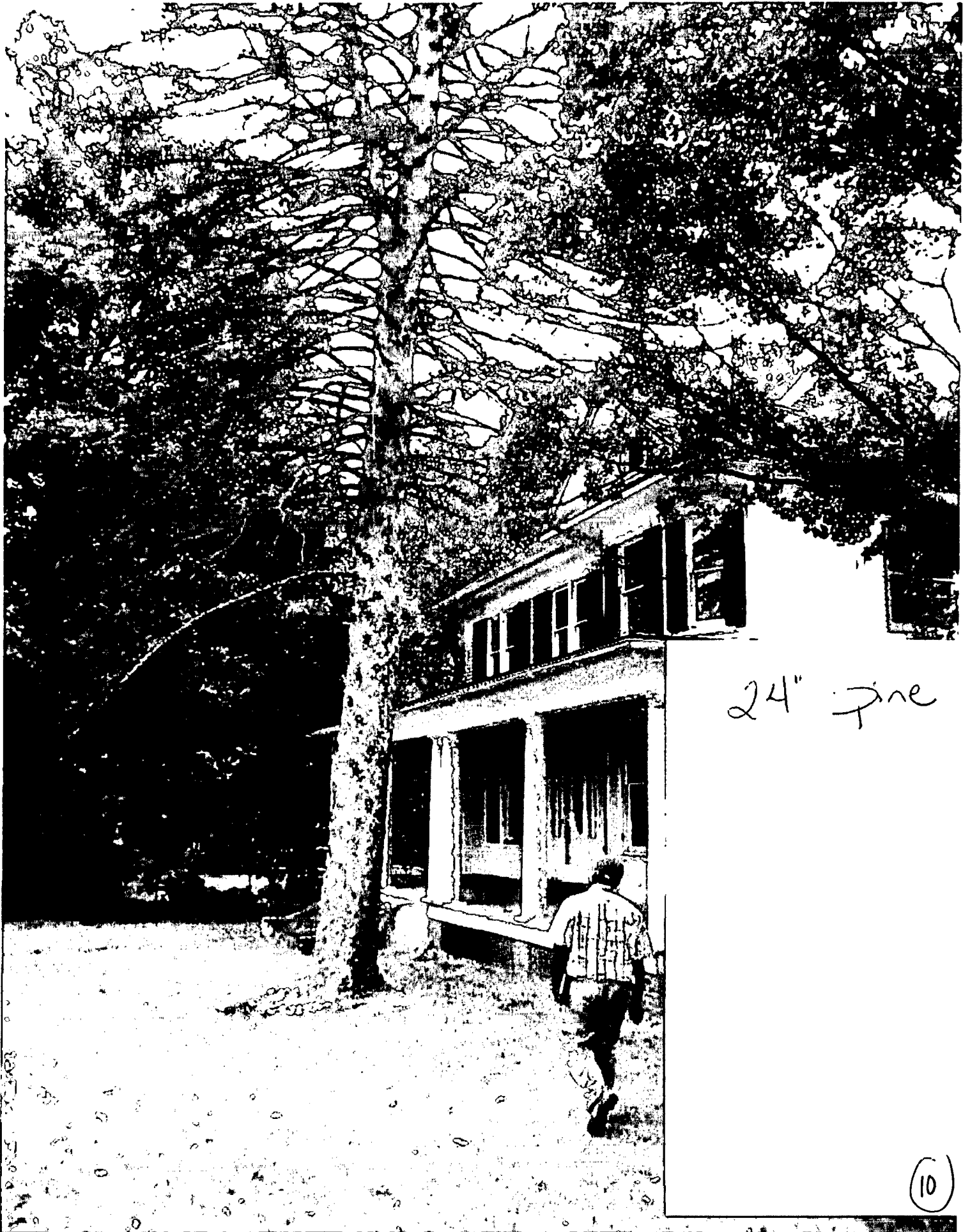




Norway Spruce

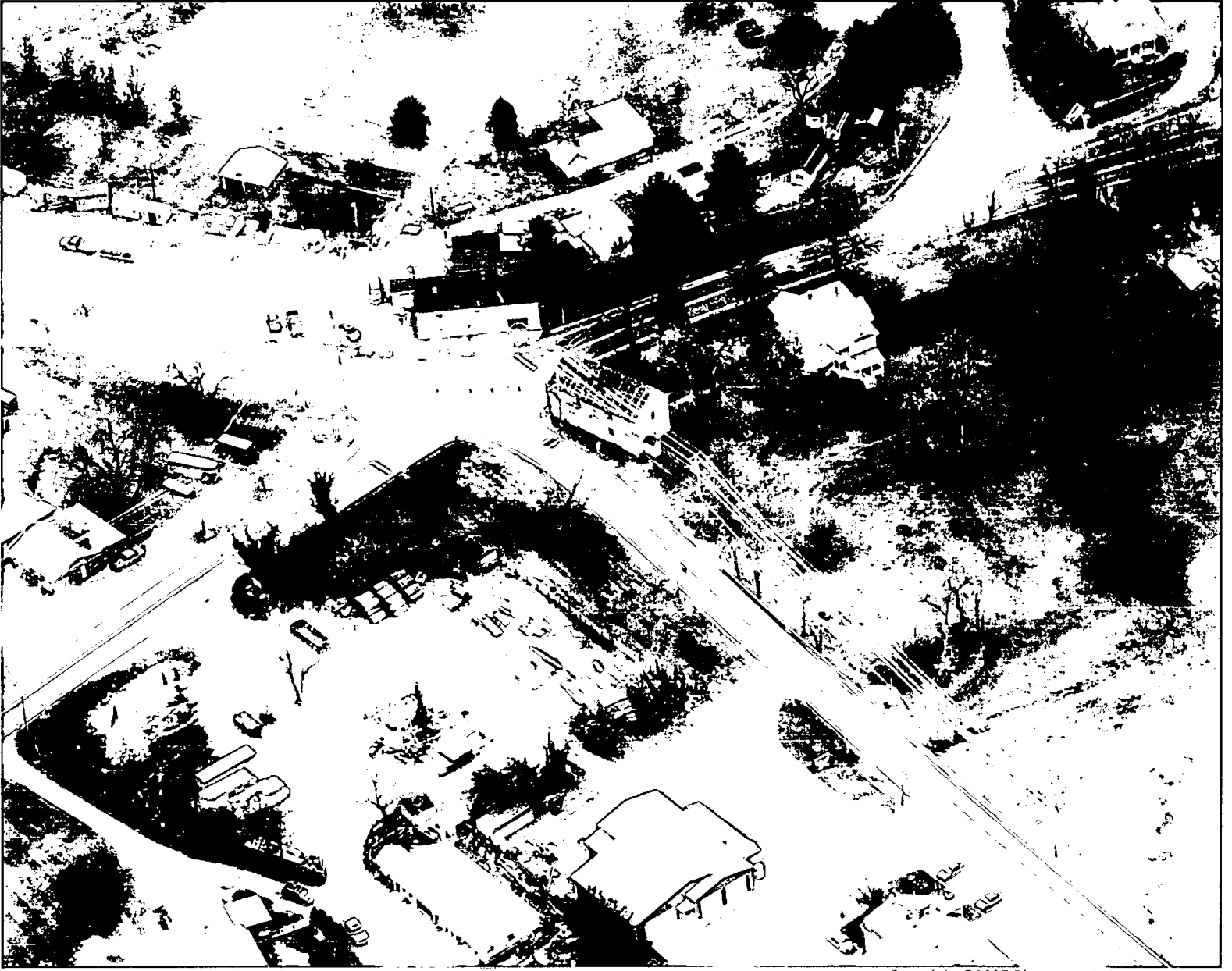
Note

- Split trunk
- proximity to bldg.



24" Pine

Darby store - prior to its relocation



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**ADDITION
TO
BALLA RESIDENCE
10011 MENLO AVE
SILVER SPRING
MD 20910**

GENERAL NOTES

ALL PLANS, SECTION, ELEVATIONS AND DETAILS SHOWN HEREIN WITH THE EXCEPTION OF NEW WORK WERE PREPARED ON THE BASIS OF FIELD OBSERVATIONS AND MEASUREMENTS TAKEN OF EXISTING CONSTRUCTION WORK THAT WAS VISIBLE. NO RESPONSIBILITY IS TAKEN FOR HIDDEN CONDITIONS OR DEFECTS THAT MAY BECOME APPARENT IN THE COURSE OF CONSTRUCTION WORK AND MAY REQUIRE REMEDIAL WORK OR REPAIR.

VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT COMMENCE WORK UNTIL THE DIMENSIONS HAVE BEEN CONFIRMED BY THE OWNER / ARCHITECT

THESE PLANS ARE FOR STRUCTURAL REHABILITATION AND REPAIR ONLY. ELECTRICAL, HVAC, PLUMBING AND WATER PROOFING ISSUES ARE NOT ADDRESSED HEREIN. IT IS THE RESPONSIBILITY OF THE OWNER TO ADDRESS THE AFOREMENTIONED ISSUES.

ELEVATIONS PROVIDED AND USED HEREIN ARE BASED ON SURVEY BY LANDMARK ENGINEERING INC., ROCKVILLE, MD

ZONING:
R60

BASEMENT / CELLAR DETERMINATION (CALCS ATTACHED):

AVERAGE HEIGHT OF PRE DEVELOPMENT GRADE ABOVE BASEMENT / CELLAR: 3.7'
MIDPOINT OF FOUNDATION WALL: 3.5' < 3.7'
THEREFORE LOWEST LEVEL IS A CELLAR
THEREFORE FULL SECOND STORY IS PERMISSIBLE

NEW CONSTRUCTION / ADDITION DETERMINATION (CALCS ATTACHED):

TOTAL FLOOR AREA DEMOLISHED AND RECONSTRUCTED: 613.41 SQ. FT
TOTAL FLOOR AREA OF EXISTING DWELLING: 1840.23 SQ FT

RATIO: 613.41 / 1840.23 SQ FT = 0.33 < 0.5

THEREFORE NEW CONSTRUCTION QUALIFIES AS AN ADDITION

DESIGN CRITERIA

2009 INTERNATIONAL RESIDENTIAL CODE.

BUILDING USE GROUP: R-5 (ONE AND TWO FAMILY DWELLINGS NOT MORE THAN THREE STORIES IN HEIGHT WITH A SEPARATE MEANS OF EGRESS AND THEIR ACCESSORY STRUCTURES)

DESIGN WIND LOADS:

WINDSPEED: 90 MPH
IMPORTANCE FACTOR: 1.0
EXPOSURE CATEGORY: B

COMPONENT AND CLADDING PRESSURES:

ROOF OVERHANG
ZONE 2 (BETWEEN CORNER ZONE) : -29.7 PSF
ZONE 3 CORNER ZONE: -48.4 PSF

ROOF

INTERIOR ZONE (ZONE 1): -13.5 PSF
EDGE STRIP BTWN CORNER (ZONE 2): -19.7 PSF
CORNER ZONE (ZONE 3): -19.7 PSF

WALLS:

WINDWARD - INTERIOR AND END ZONE : 14.7 PSF
LEEWARD - INTERIOR ZONE: -16.0 PSF
LEEWARD - END ZONE: -19.7 PSF

CONSTRUCTION ZONE: R60

ENERGY ZONE (PER IRC 2009): 4A (MOIST)

ENERGY EFFICIENCY:

ALL WINDOWS AND DOORS SHAL BE DOUBLE GLAZED

REFER TO TYPICAL WALL SECTIONS FOR INSULATION REQUIREMENTS

DESIGN SNOW LOADS

GROUND SNOW LOAD P_g: 30 PSF
EXPOSURE FACTOR C_e: 1.0
SLOPE FACTOR C_s: 1.0
THERMAL FACTOR C_t: 1.0
IMPORTANCE FACTOR I: 1.0

ROOF AND FLOOR DESIGN LOADS:

ROOF DEAD LOAD: 8 PSF
ROOF LIVE LOAD: 10 PSF
FLOOR LIVE LOAD: 40 PSF
FLOOR DEAD LOAD: 10 PSF

CONCRETE:

FOOTING CONCRETE: 3500 PSI WITH MIN 4 1/2 % AIR ENTRAINMENT

SOIL TYPE GEOTECHNICAL INFORMATION:

2000 PSF SOIL BEARING CAPACITY ASSUMED.

NO GEOTECHNICAL INVESTIGATION HAS BEEN MADE TO DETERMINE THE STRUCTURAL SOIL CAPACITY. IT IS THE RESPONSIBILITY OF THE OWNER TO ENGAGE A GEOTECHNICAL ENGINEER TO EVALUATE THE SOIL CAPACITY IF REQUIRED BY THE COUNTY. THE GEOTECHNICAL ENGINEER SHALL BE LICENSED IN THE STATE WHERE THIS WORK IS BEING PERFORMED.

FRAMING LUMBER DIMENSION AND SPECIES

EXISTING ROOF SHALL BE REMOVED AND REUSED. ALL LUMBER SHALL BE REMOVED CAREFULLY AND REUSED. WHERE LUMBER IS DAMAGED DURING REMOVAL OR OTHERWISE, THE FOLLOWING SHALL BE USED:
STUDS, SOLE PLATE, SILL PLATE AND TOP PLATE: 2X4
BUILT UP POSTS: (1) 4X6 HEM-FIR
DOUBLE HEADERS: 2X10 AND 2X12 HEM-FIR
WIND BRACING: 3/4" APA STRUCTURAL 1 EXP RATED SHEATHING

FRAMING AND CONNECTORS

SIMPSON STRONG TIE CONNECTORS AS SHOWN ON DRAWING

STUDS SHALL BE TOE NAILED TO SOLE PLATE OR TOP PLATE WITH MIN 2 8d NAILS

USE 16d NAILS STAGGERED AT 12" O.C. TO CONNECT FILLER BLOCKS AT EACH CORNER.

INTER CONNECT ALL JAMBS TO SILL AND HEADERS WITH 4 10d NAILS EACH SIDE MIN.

PROVIDE (2) 2X4 SOLE PLATE ON ALL EXTERIOR AND INTERIOR WALLS. PROVIDE FILLER BLOCKS AT THE INTERSECTION OF EXTERIOR AND INTERIOR WALLS AND INTERSECTION OF INTERIOR AND INTERIOR WALLS. OVER LAP TOP PLATE OVER FILLER BLOCKS. ATTACHED TOP PLATE TO FILLER BLOCK WITH 2 16d NAILS MIN.

WIND BRACING

CS-WSP (CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS). PER IRC R602.10.4 AND TABLE R602.10.4.2
3/4" APA STRUCTURAL 1 EXP SHEATHING CONNECTED WITH 8d COMMON NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C AT INTERMEDIATE SUPPORTS. PROVIDE DOUBLE BLOCKING WHERE PANELS OVER LAP.

IN ACCORDANCE WITH THE HISTORICAL COMMISSION REVIEW COMMENTS, THE FOLLOWING ITEMS AND SPECIFICATIONS ARE ADDED TO THE PROJECT

1. ALL SIDING SHALL BE "HARDIE PLANK". COLOR TO BE SELECTED BY OWNER.
2. ASPHALT SHINGLE ROOFING SHALL BE USED
3. EXTERIOR WINDOW / SLIDING DOORS TO BE MAINTENANCE FREE CLADDING ON EXTERIOR AND WOOD INTERIOR.
4. PORCH COLUMNS SHALL BE 8" X8" MIN. OR SHALL MEET THE DIMENSIONS OF ADJACENT TWO STORY HOUSE
5. ALL DECK MATERIAL SHALL BE COMPOSITE OR PAINTABLE WOOD (WOOD MUST BE PRESSURE TREATED);
FRONT DOOR SHALL BE SOLID WITH 6 PANELS WITH SIDELIGHTS ON BOTH SIDES.

**CFS
ENGINEERS
INC**

6908 BEN FRANKLIN ROAD
SPRINGFIELD VIRGINIA 22150
PH: (703) 822-5935
FAX: (703) 822-5914
WWW.CFSENGINEERS.COM
PROJECT NO:

**Client
JAY BALLA**

ADDRESS
CITY, STATE ZIP

PH: (000) 000-0000
FAX: (000) 000-0000

STUD SIZE AND GAGE
SPACING IS 16"
O.C. U.N.O

NOT USED

CLIP SIZE AND GAGE

CLIP SIZE
ID L1 X L2 X DEPTH

NOT USED



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO.: 29463
EXPIRATION DATE: 09-15-2011

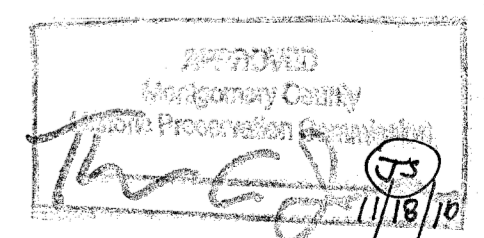
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1	10-13-2010
2	11-14-2010
3	

SCALE:

COVER SHEET
SILVER SPRING RESIDENCE
10011 MENLO AVE
SILVER SPRING, MD 20910

DWG: COVER
SHEET N/A OF



INDEX OF DRAWINGS

DRAWING NO.	SHEET NO.
A-01 EXISTING AND PROPOSED FLOOR LAYOUT	1 OF 7
A-02 EXISTING AND PROPOSED ELEVATION	2 OF 7
A-03 EXISTING AND PROPOSED ELEVATION	3 OF 7
A-04 SECTIONS	4 OF 7
S-01 FRAMING PLAN	5 OF 7
S-02 FRAMING ELEVATION AND BRACED WALL LINES	6 OF 7
S-03 TYPICAL DETAILS	7 OF 7

Client
JAY BALLA

ADDRESS
 CITY, STATE ZIP
 PH: (000) 000-0000
 FAX: (000) 000-0000

STUD SIZE AND GAGE
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 O.C. U.N.O

NOT USED

CLIP SIZE AND GAGE
 CLIP SIZE
 ID L1 X L2 X DEPTH

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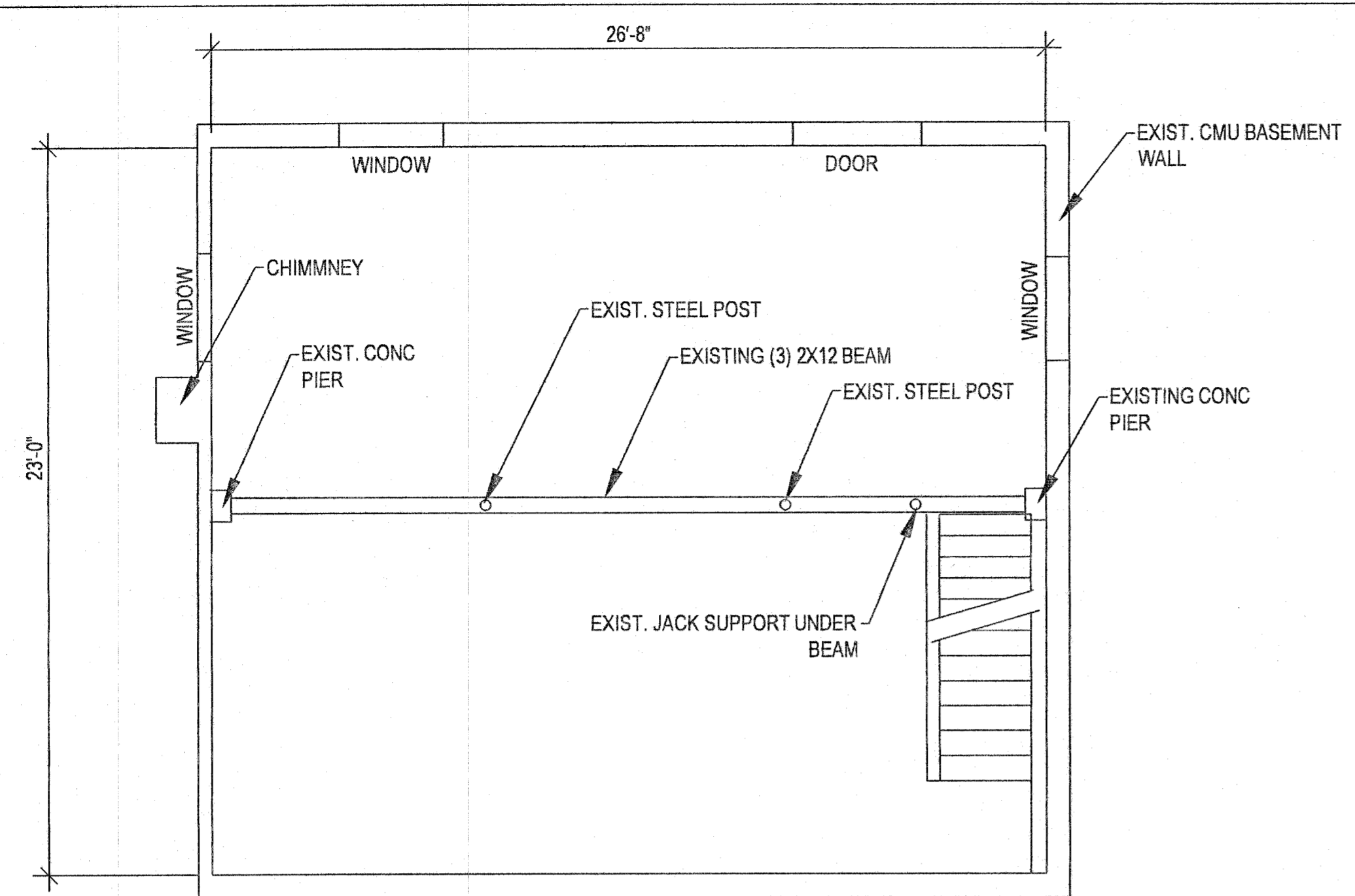
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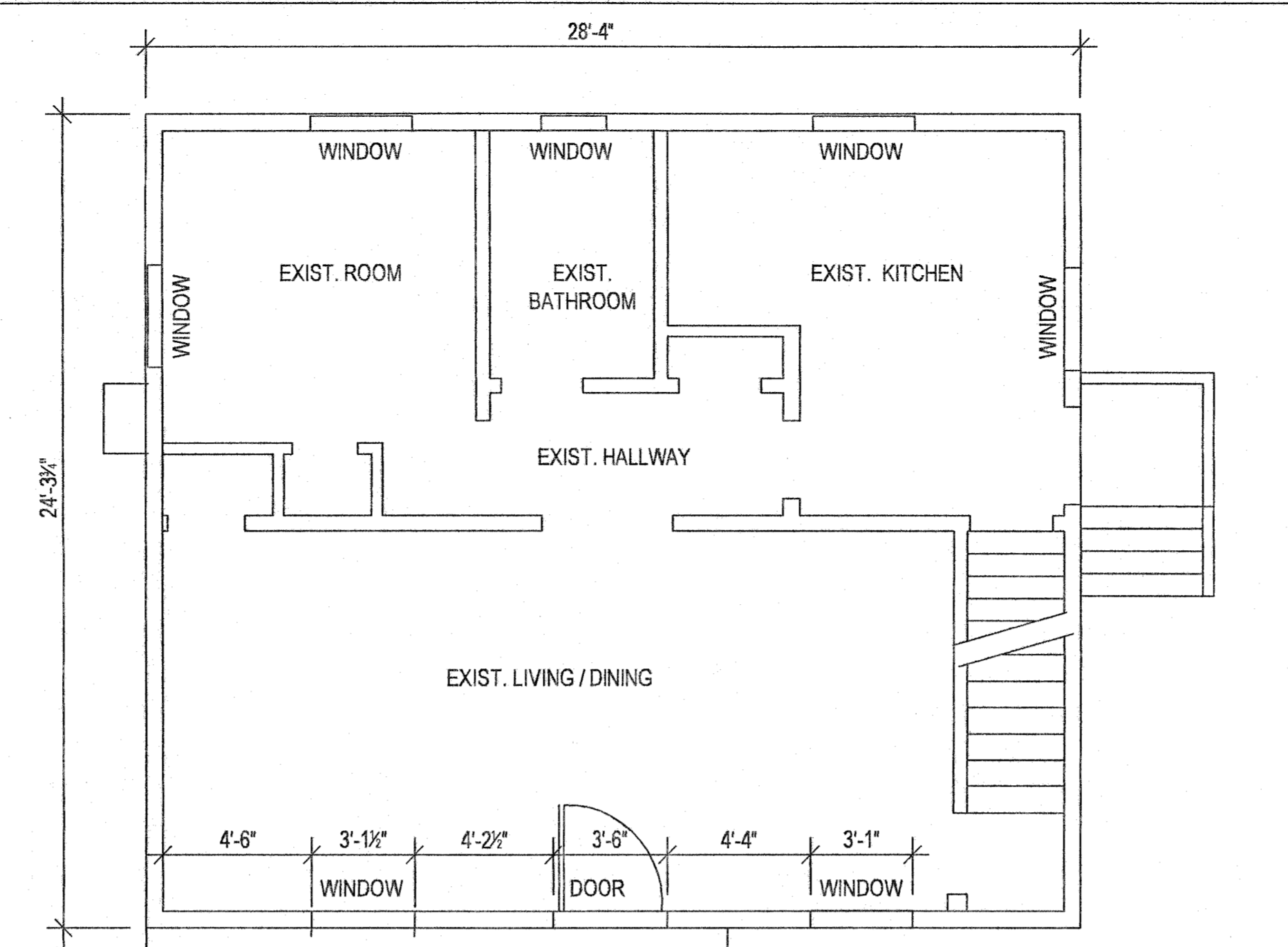
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SILVER SPRING RESIDENCE

10011 MENLO AVE
 SILVER SPRING, MD 20910

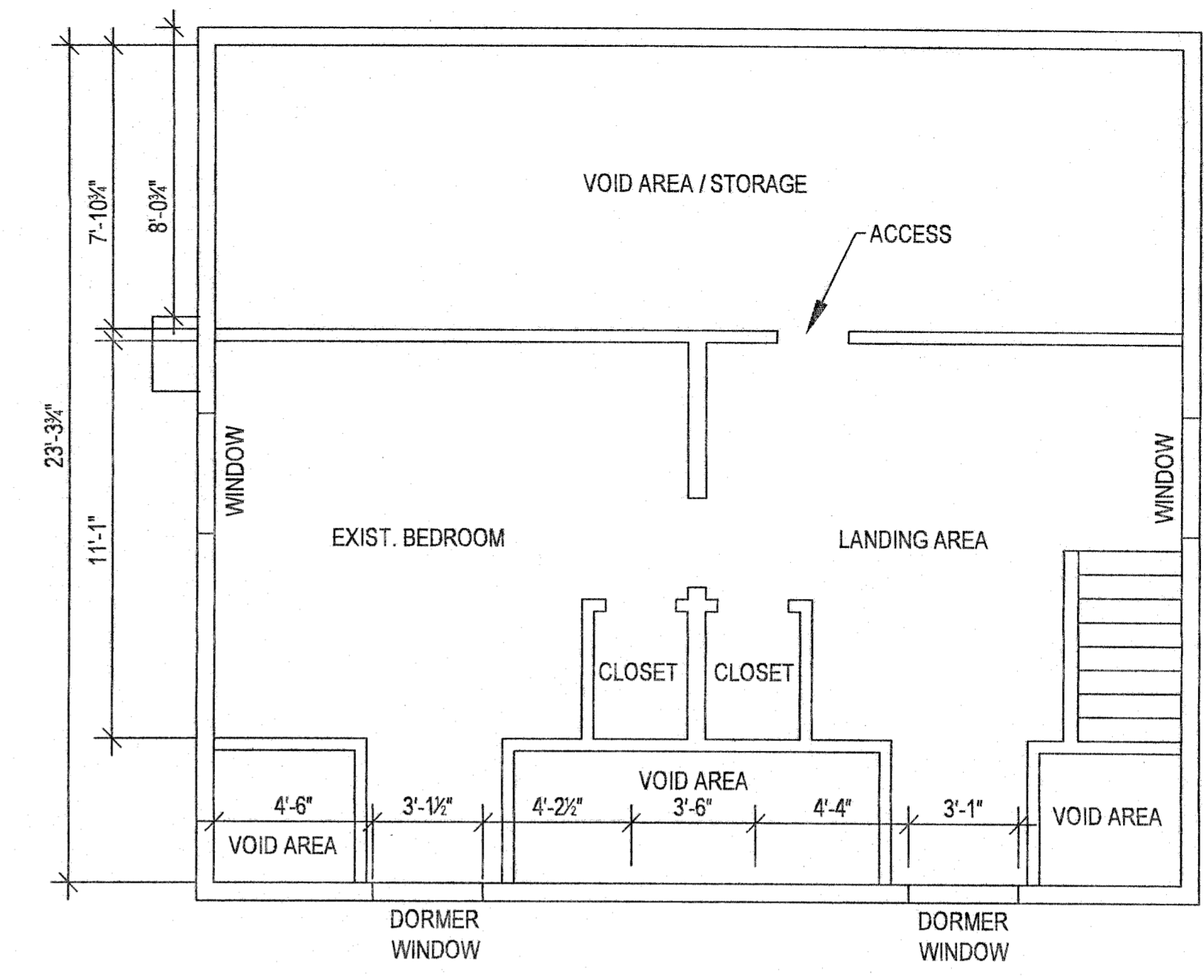
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 SHEET 01 OF 07



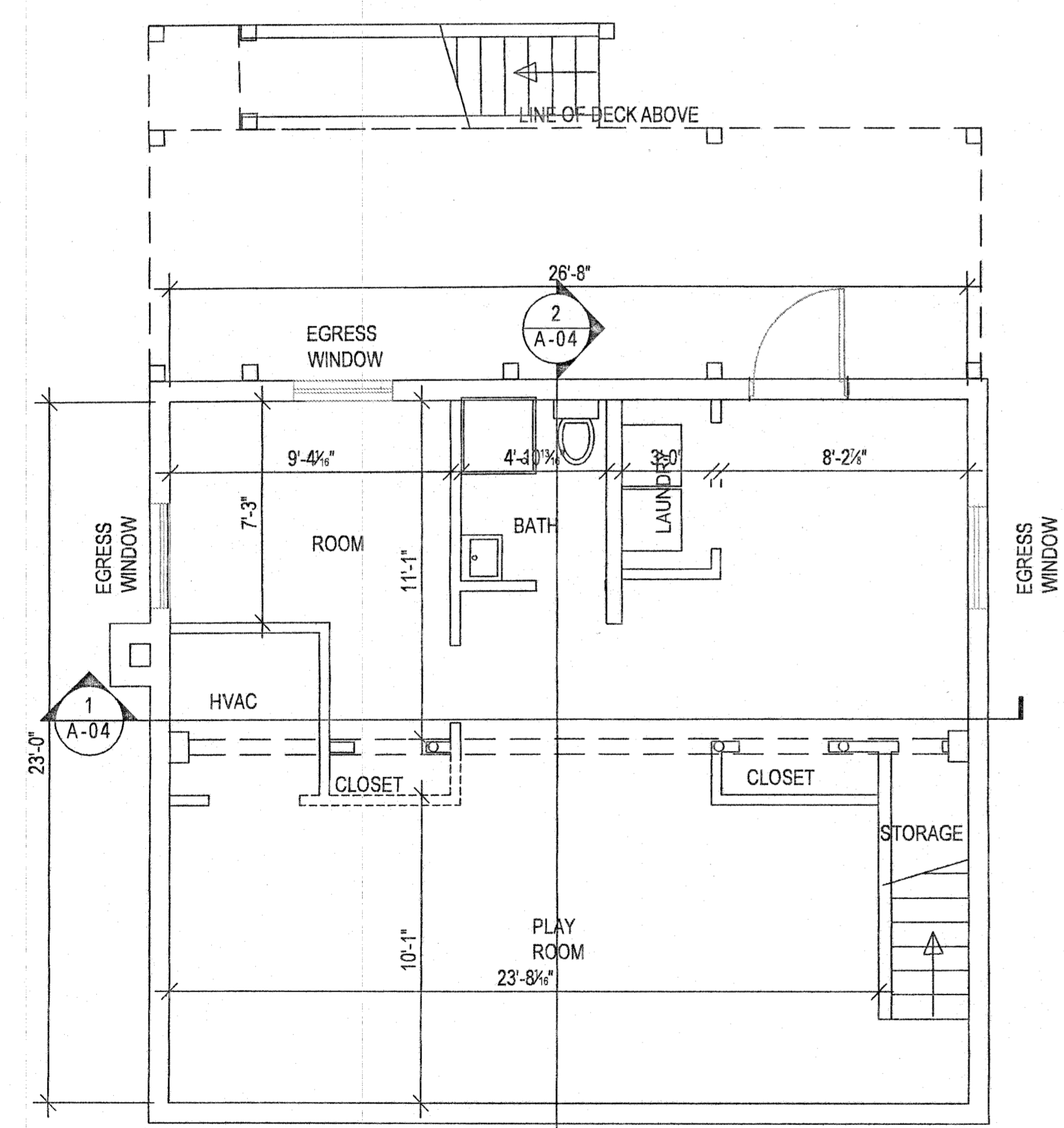
1 A-01 EXISTING BASEMENT
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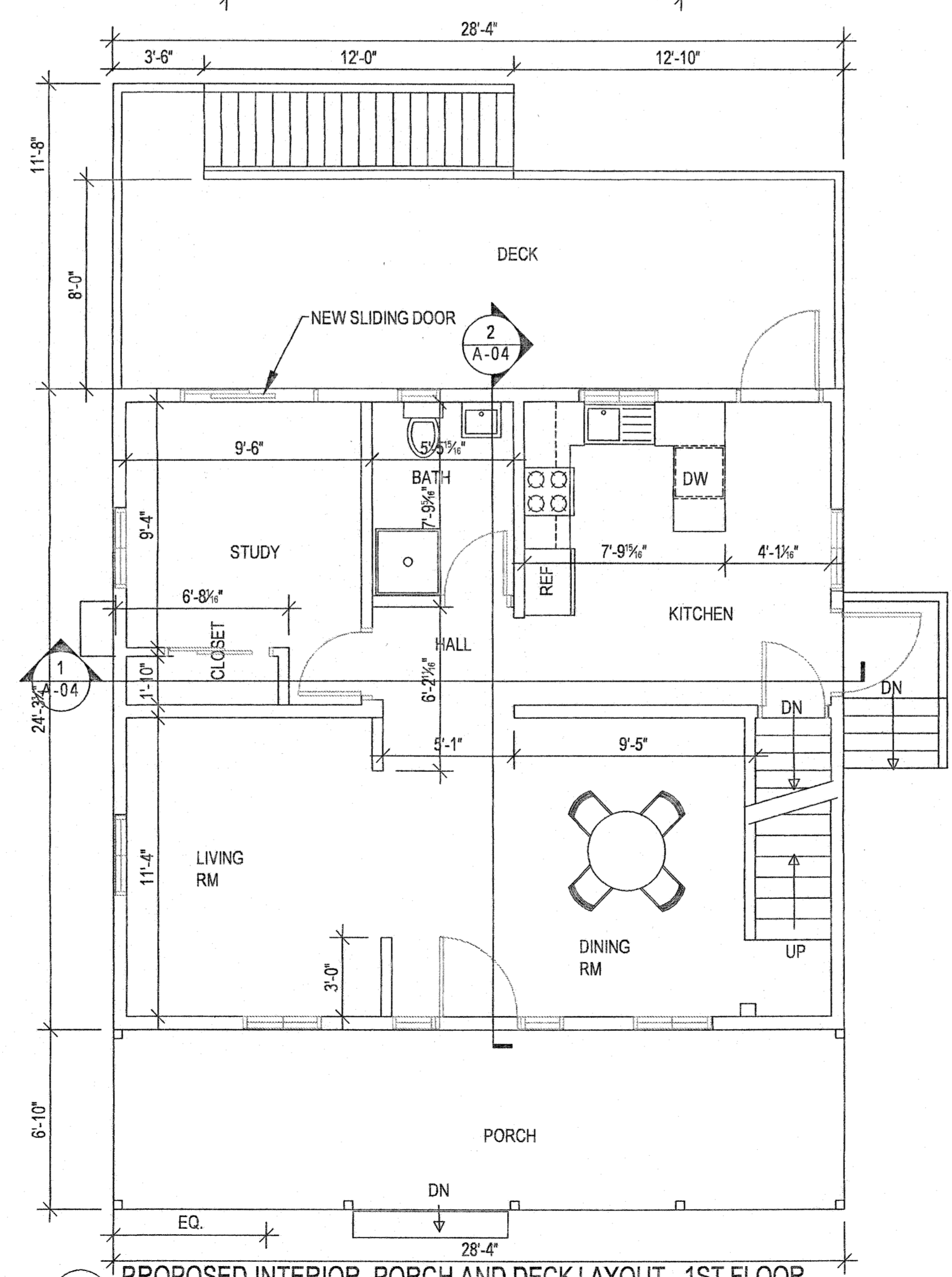
2 A-01 EXISTING FIRST FLOOR
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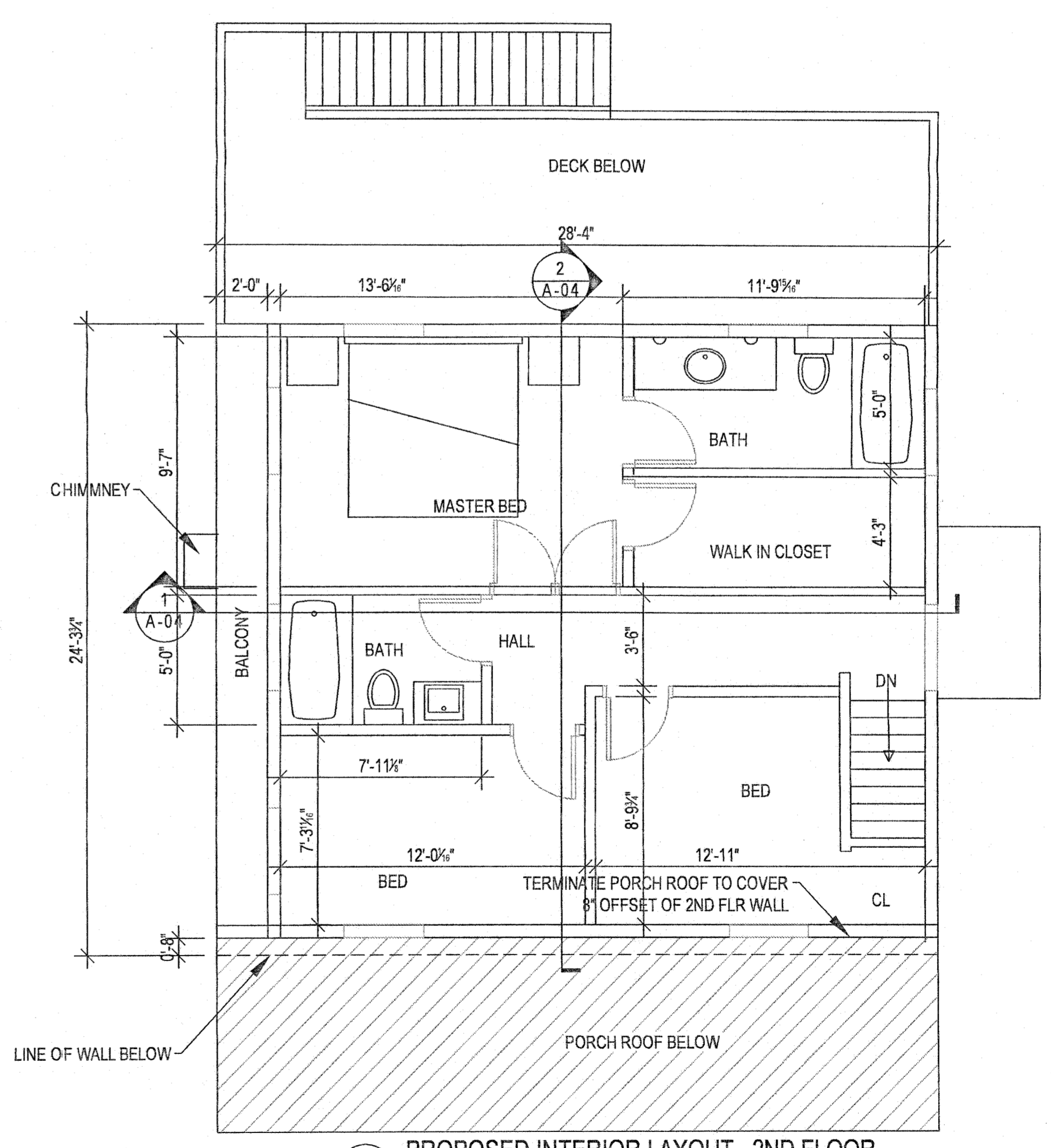
3 A-01 EXISTING SECOND FLOOR
 SCALE 1/4" = 1'-0"



4 A-01 PROPOSED INTERIOR LAYOUT - BASEMENT
 SCALE 1/4" = 1'-0"



5 A-01 PROPOSED INTERIOR, PORCH AND DECK LAYOUT - 1ST FLOOR
 SCALE 1/4" = 1'-0"



6 A-01 PROPOSED INTERIOR LAYOUT - 2ND FLOOR
 SCALE 1/4" = 1'-0"



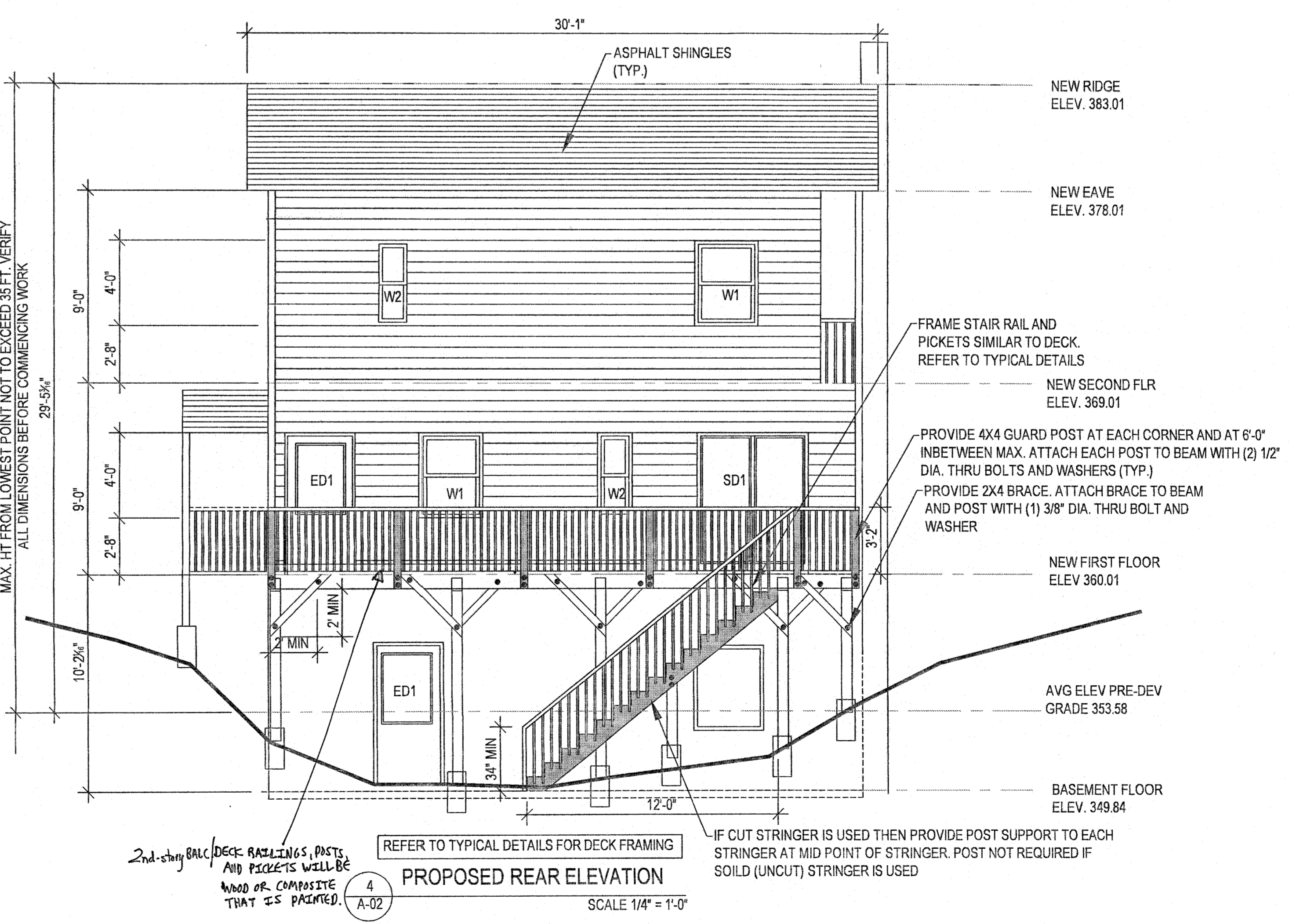
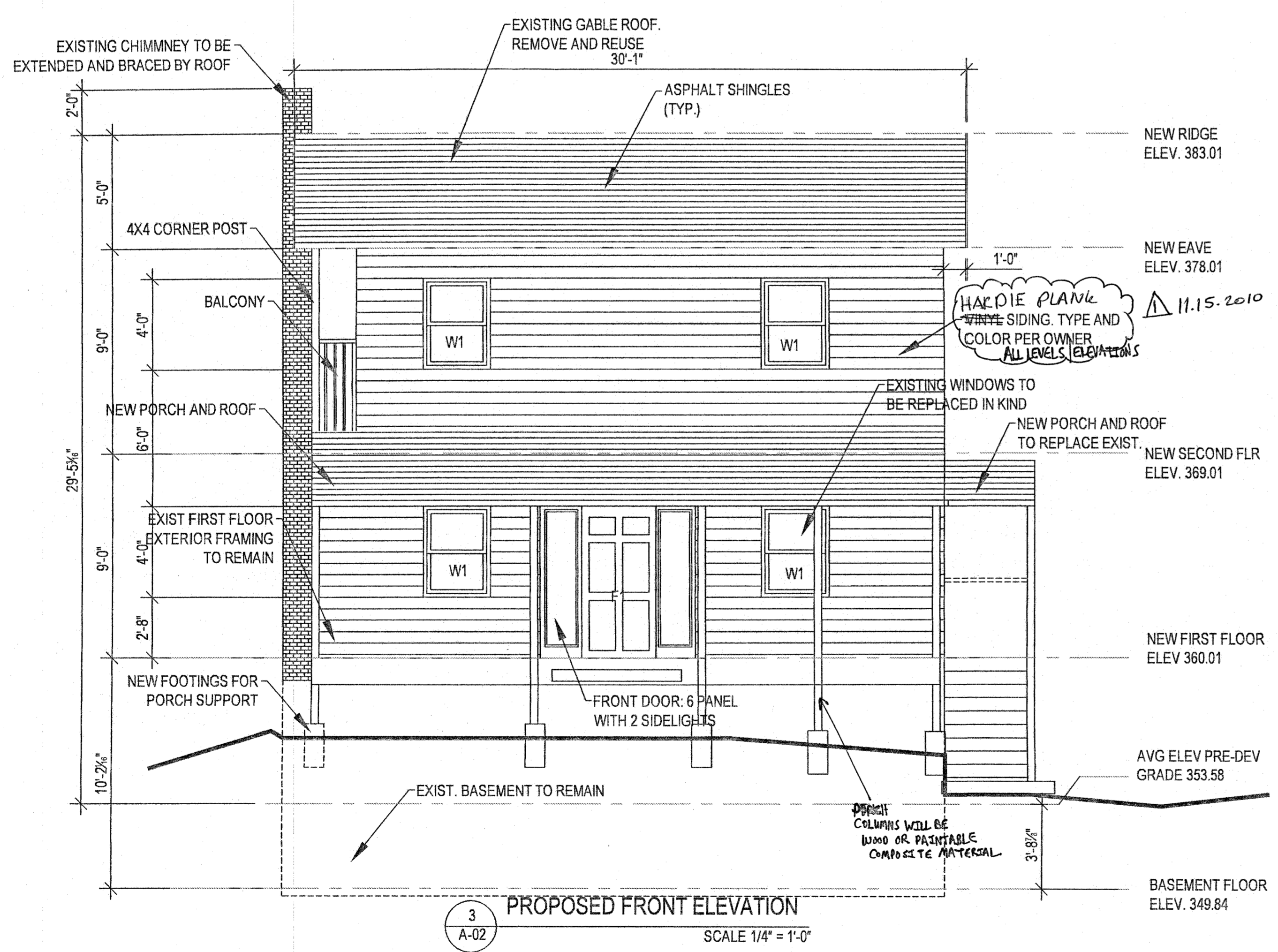
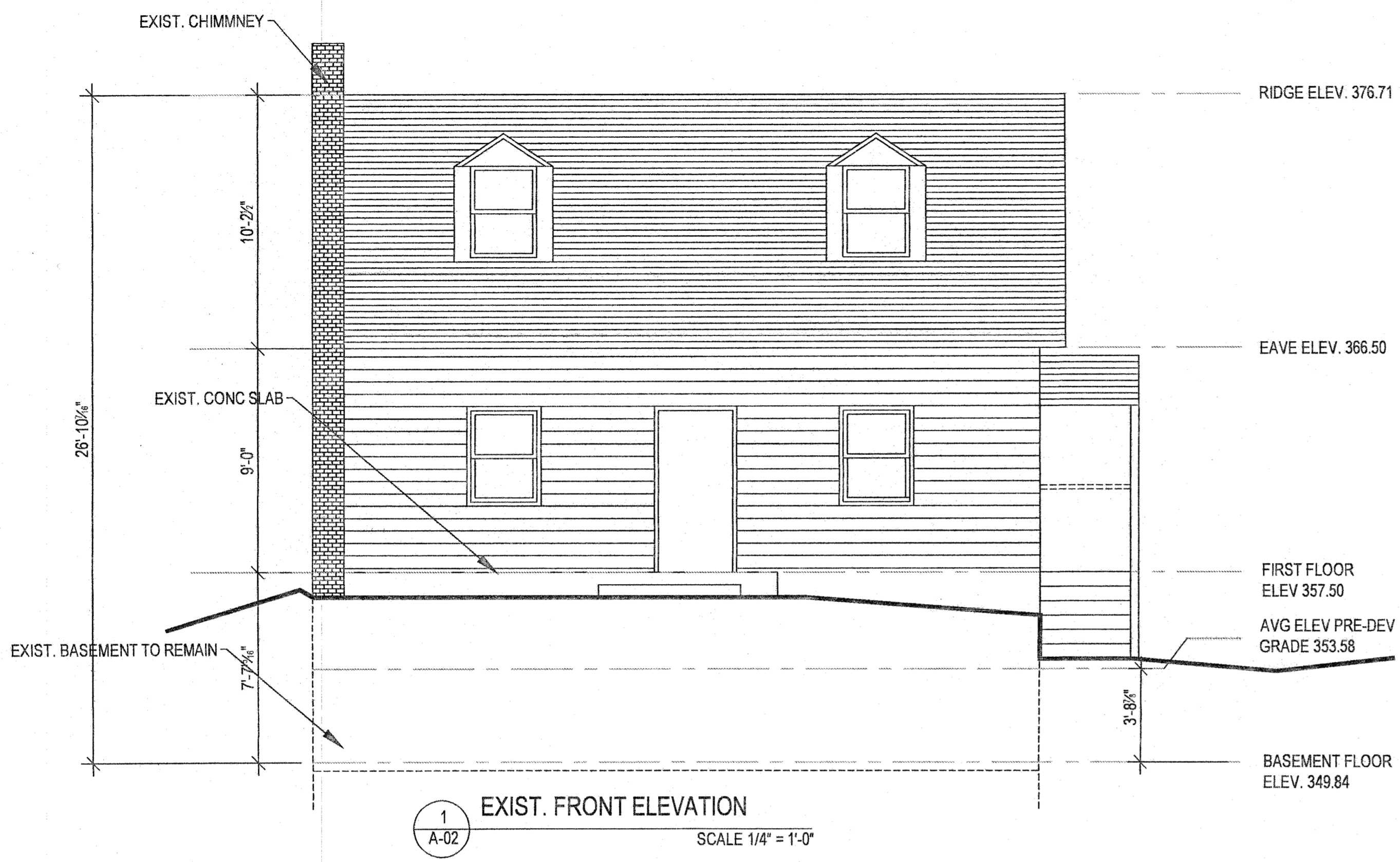
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SUBMITTAL	
1	10-13-2010
2	11-14-2010
3	

SCALE:

EXISTING AND PROPOSED ELEVATION
SILVER SPRING RESIDENCE
 10011 MENLO AVE
 SILVER SPRING, MD 20910

DWG: A-02
 SHEET 02 OF 07



Client
JAY BALLA

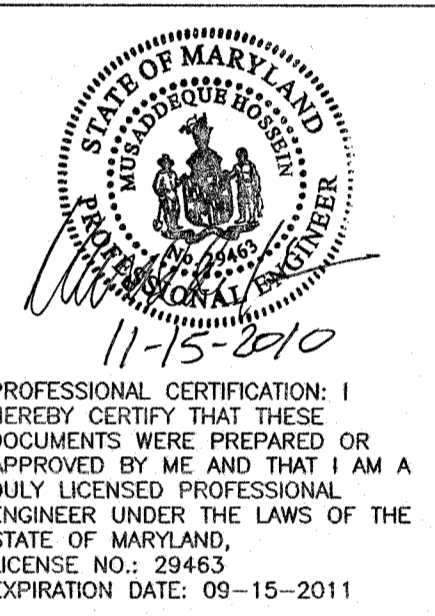
ADDRESS
 CITY, STATE ZIP
 PH: (000) 000-0000
 FAX: (000) 000-0000

STUD SIZE AND GAGE
 SPACING IS 16"
 O.C. U.N.O

NOT USED

CLIP SIZE AND GAGE
 CLIP ID CLIP SIZE
 L1 X L2 X DEPTH

NOT USED



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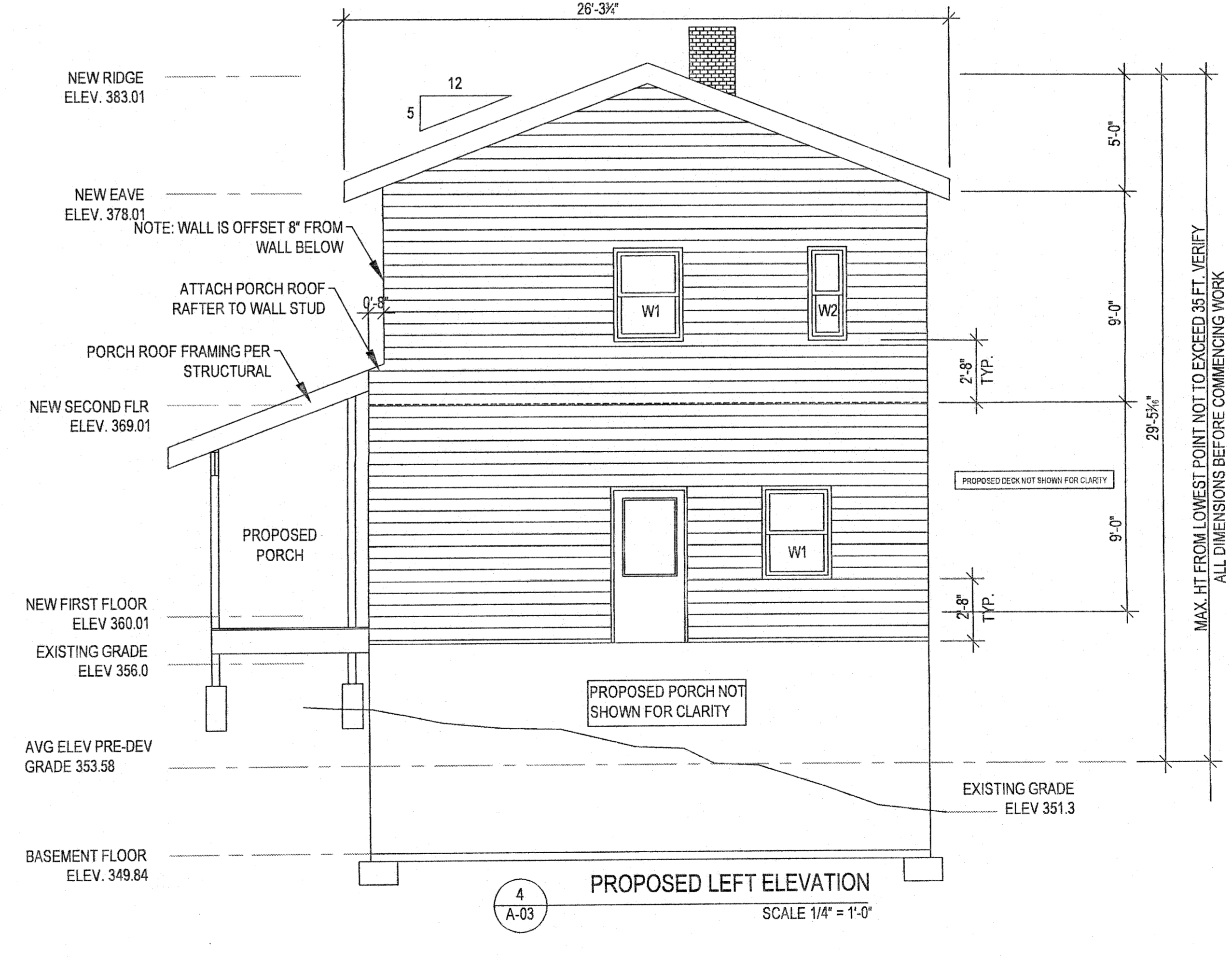
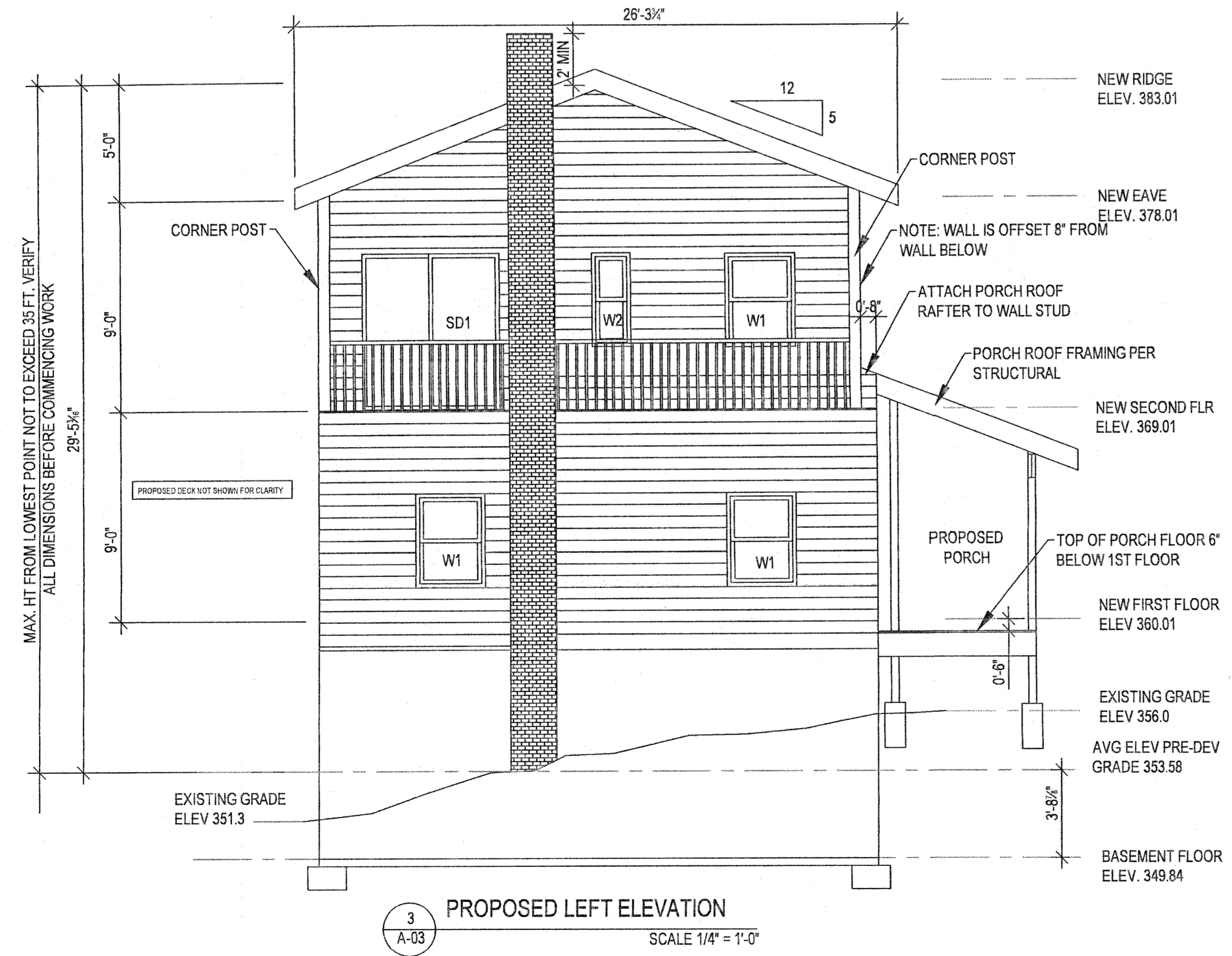
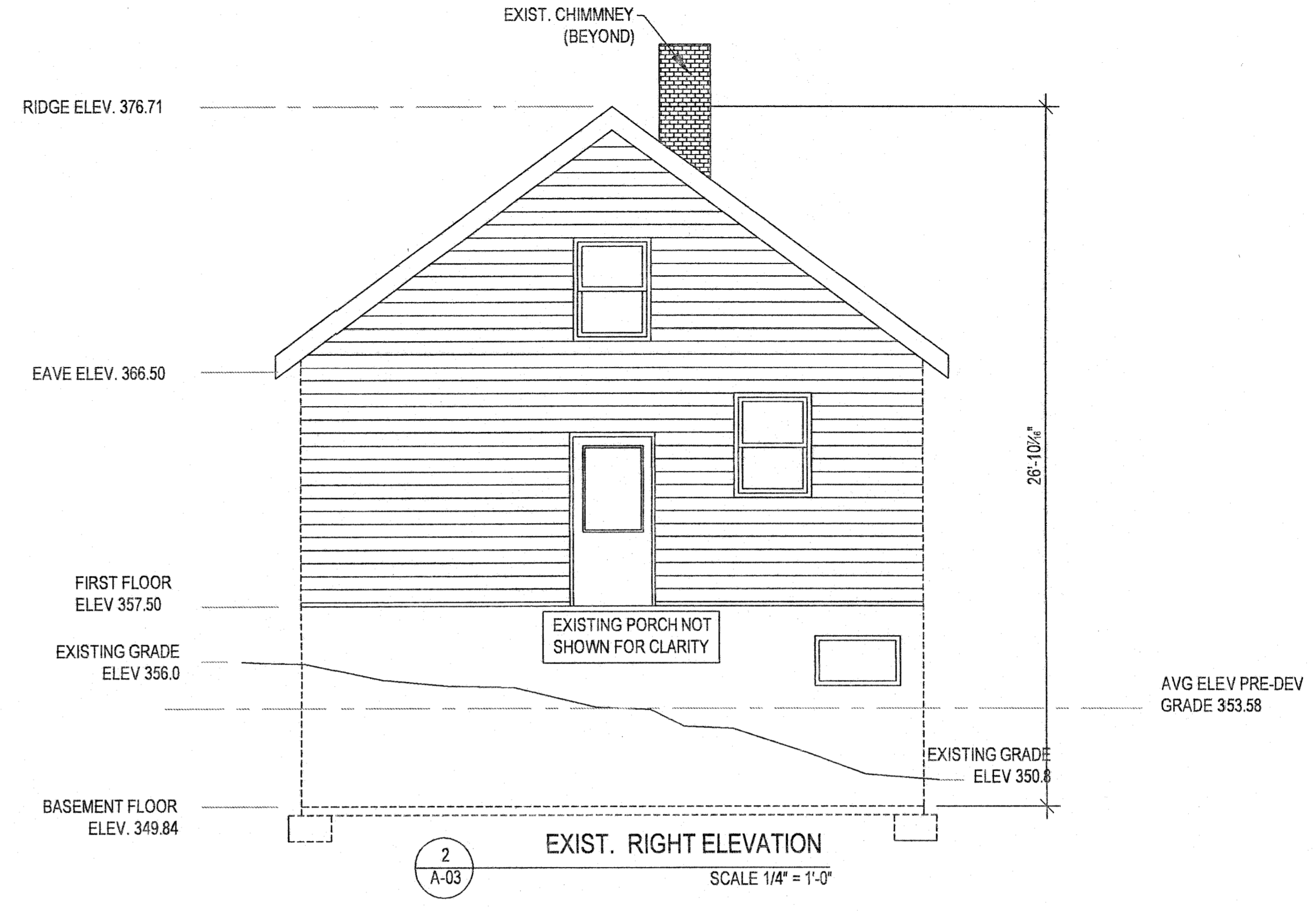
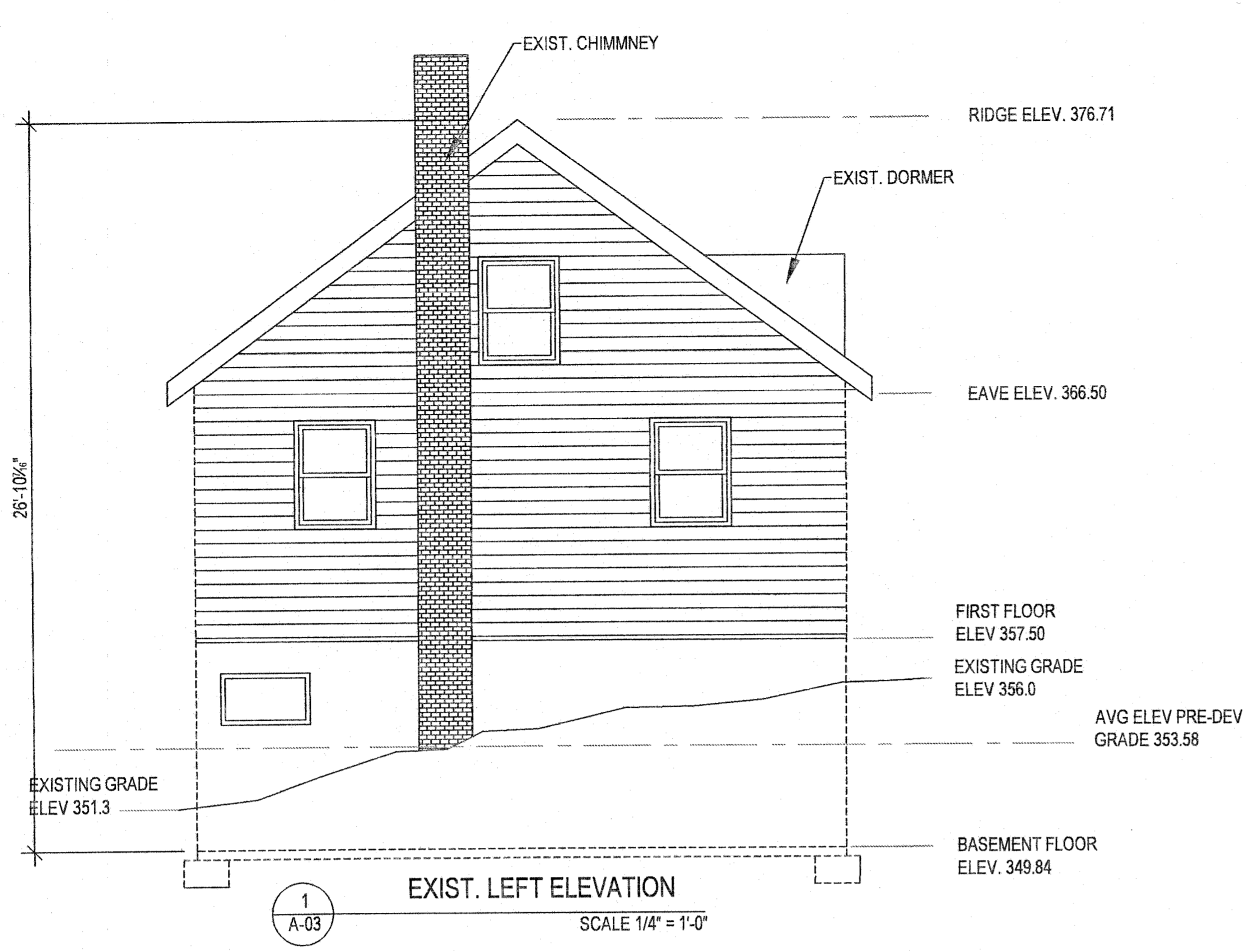
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2	11-14-2010
3	

SCALE:

EXISTING AND PROPOSED ELEVATION
SILVER SPRING RESIDENCE

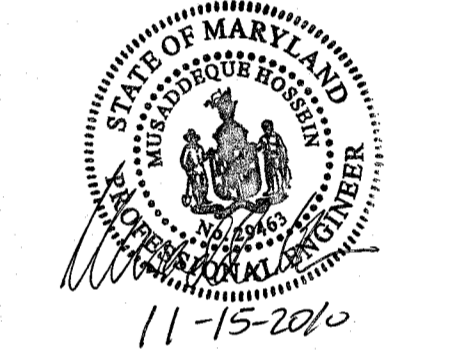
10011 MENLO AVE
 SILVER SPRING, MD 20910

DWG: A-03
 SHEET 03 OF 07



MAX. HT FROM LOWEST POINT NOT TO EXCEED 35 FT. VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK

MAX. HT FROM LOWEST POINT NOT TO EXCEED 35 FT. VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK



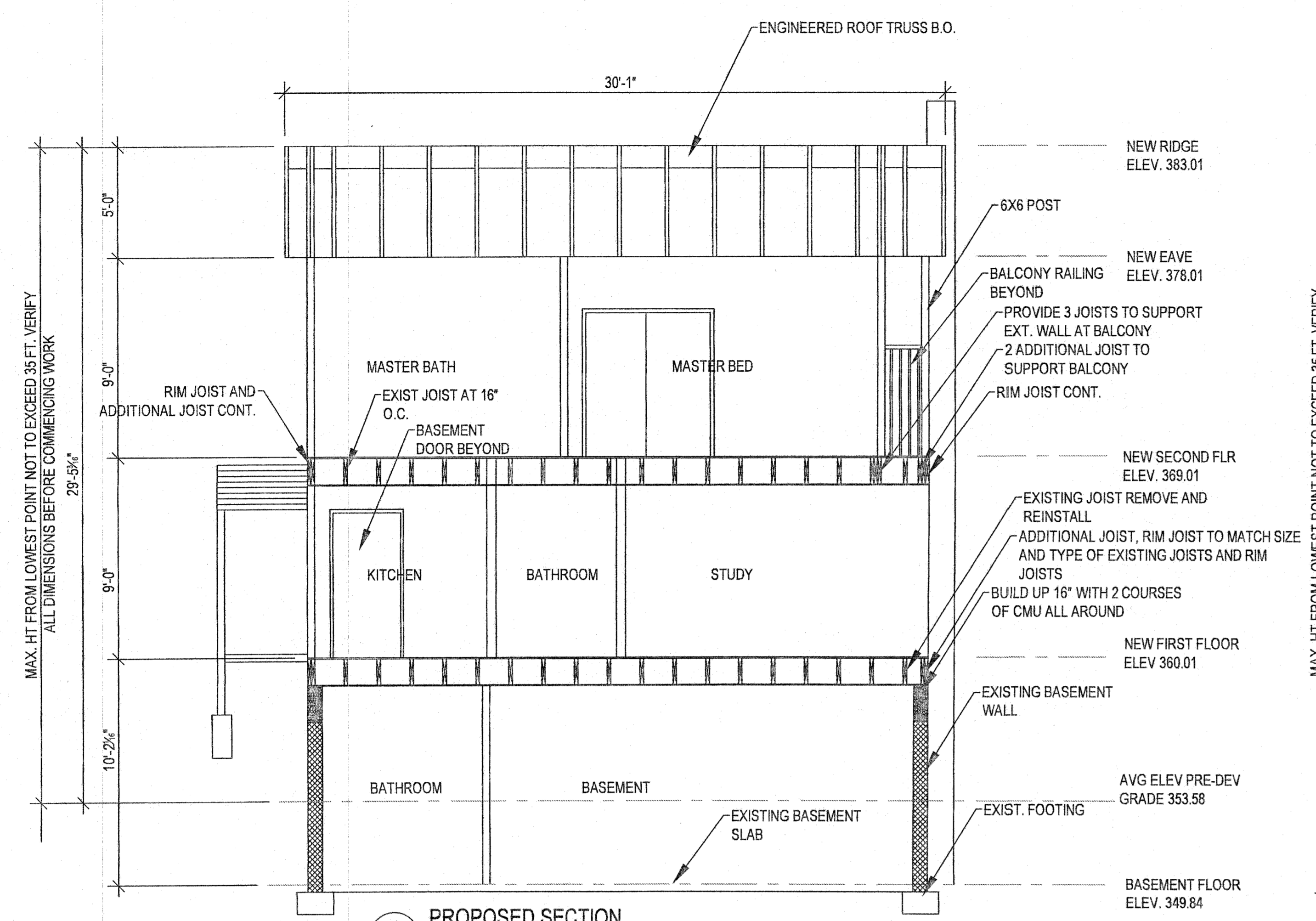
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 29463 EXPIRATION DATE: 09-15-2011

SUBMITTAL

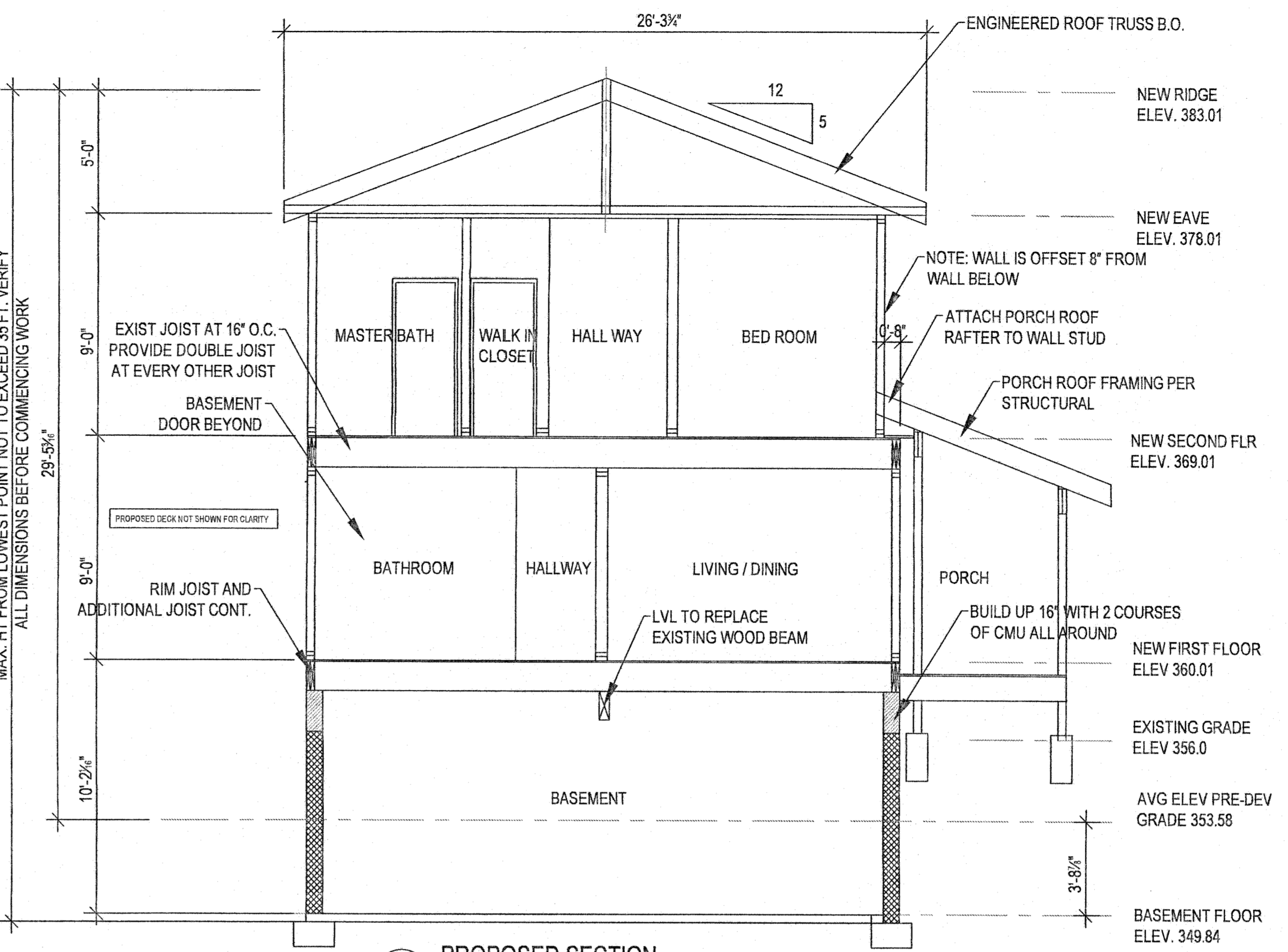
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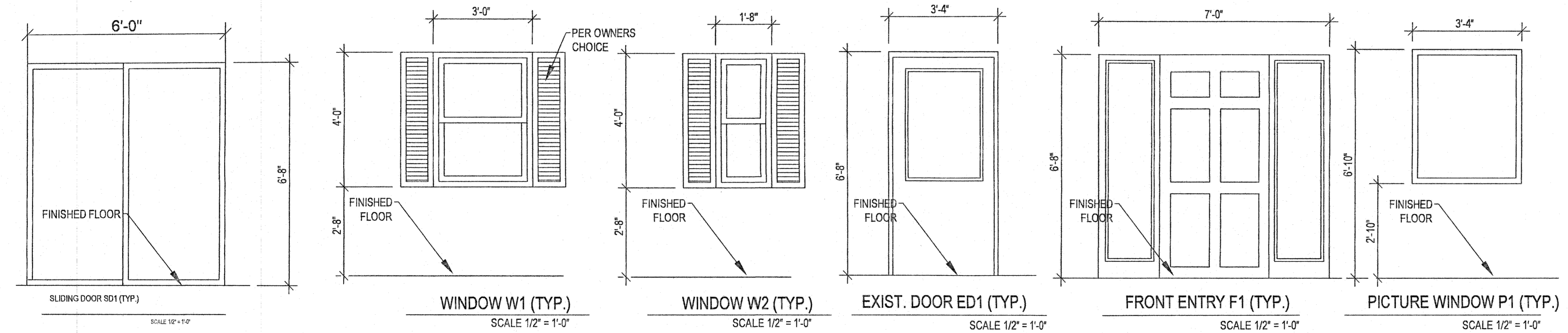
SECTION, OPENING SCHEDULE
SILVER SPRING RESIDENCE
 10011 MENLO AVE
 SILVER SPRING, MD 20910



1
A-04
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 REFER TO TYPICAL WALL AND FLOOR SECTION FOR INSULATION

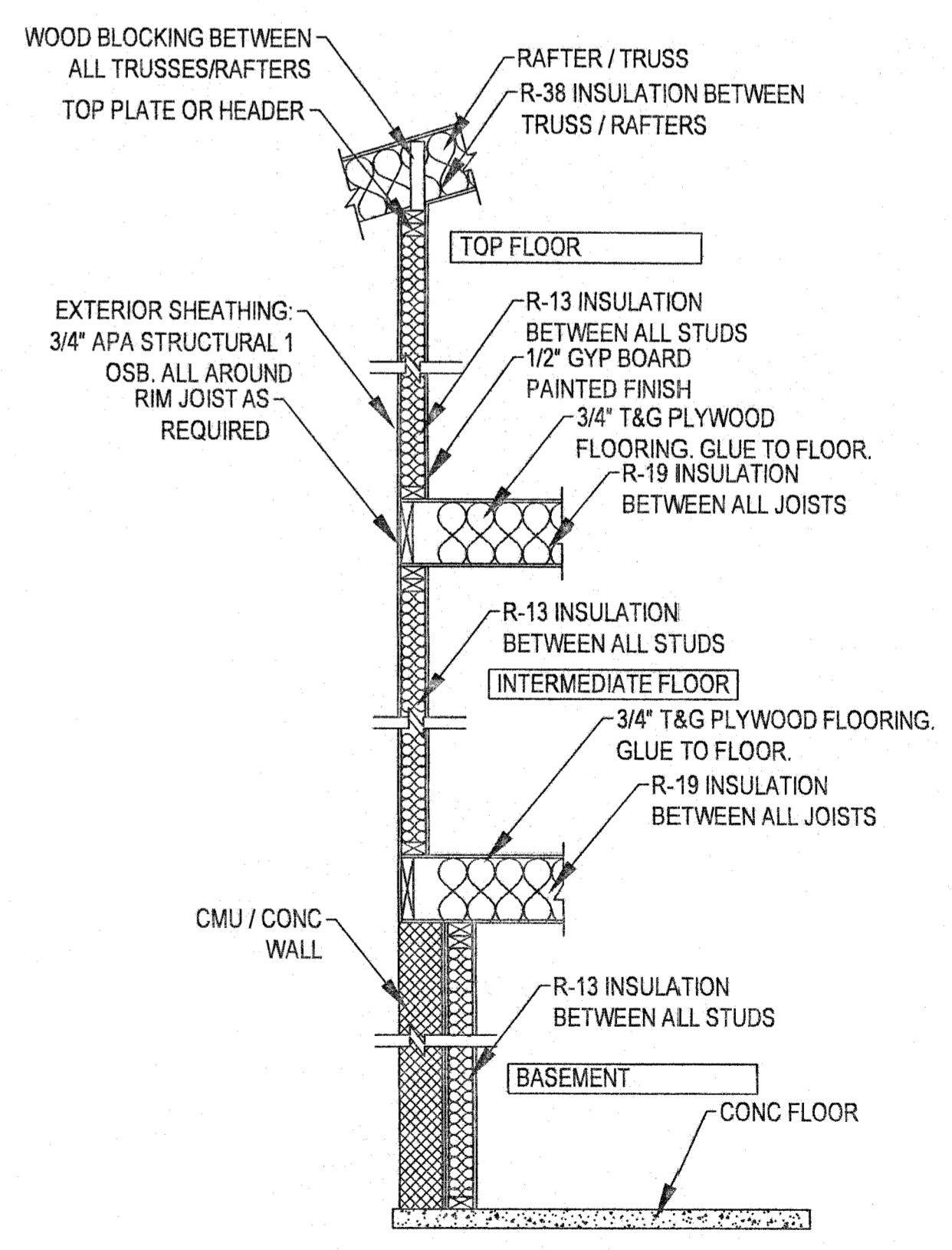


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PROPOSED SECTION
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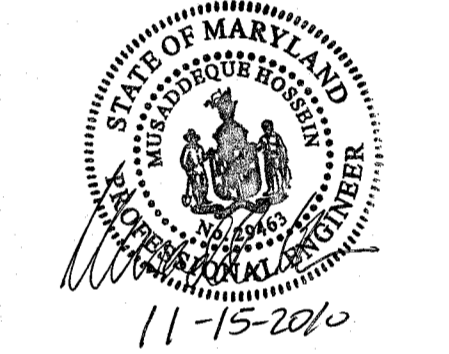


NOTE:
 1. WINDOWS SHALL BE DOUBLE / SINGLE HUNG PER OWNERS CHOICE.
 2. WINDOWS AND DOORS SHALL HAVE MAINTENANCE FREE EXTERIOR CLADDING AND WOOD INTERIOR
 3. ALL PANES SHALL BE DOUBLE GLAZED

NOTE:
 DOOR SHALL BE SOLID SIX PANEL WITH 2 SIDE LIGHTS AS SHOWN



F
S-03
TYPICAL WALL AND FLOOR SECTION



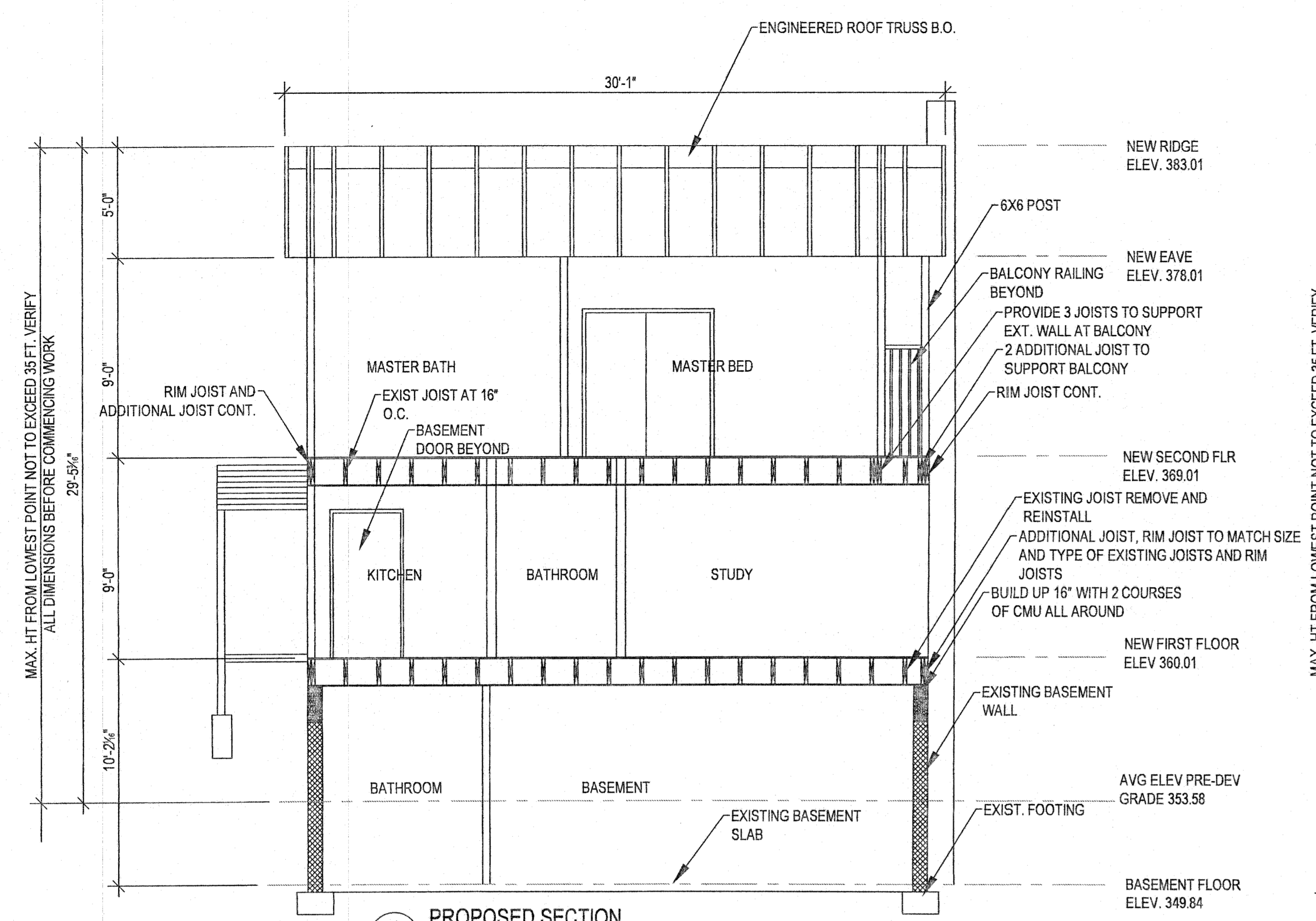
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 29463 EXPIRATION DATE: 09-15-2011

SUBMITTAL

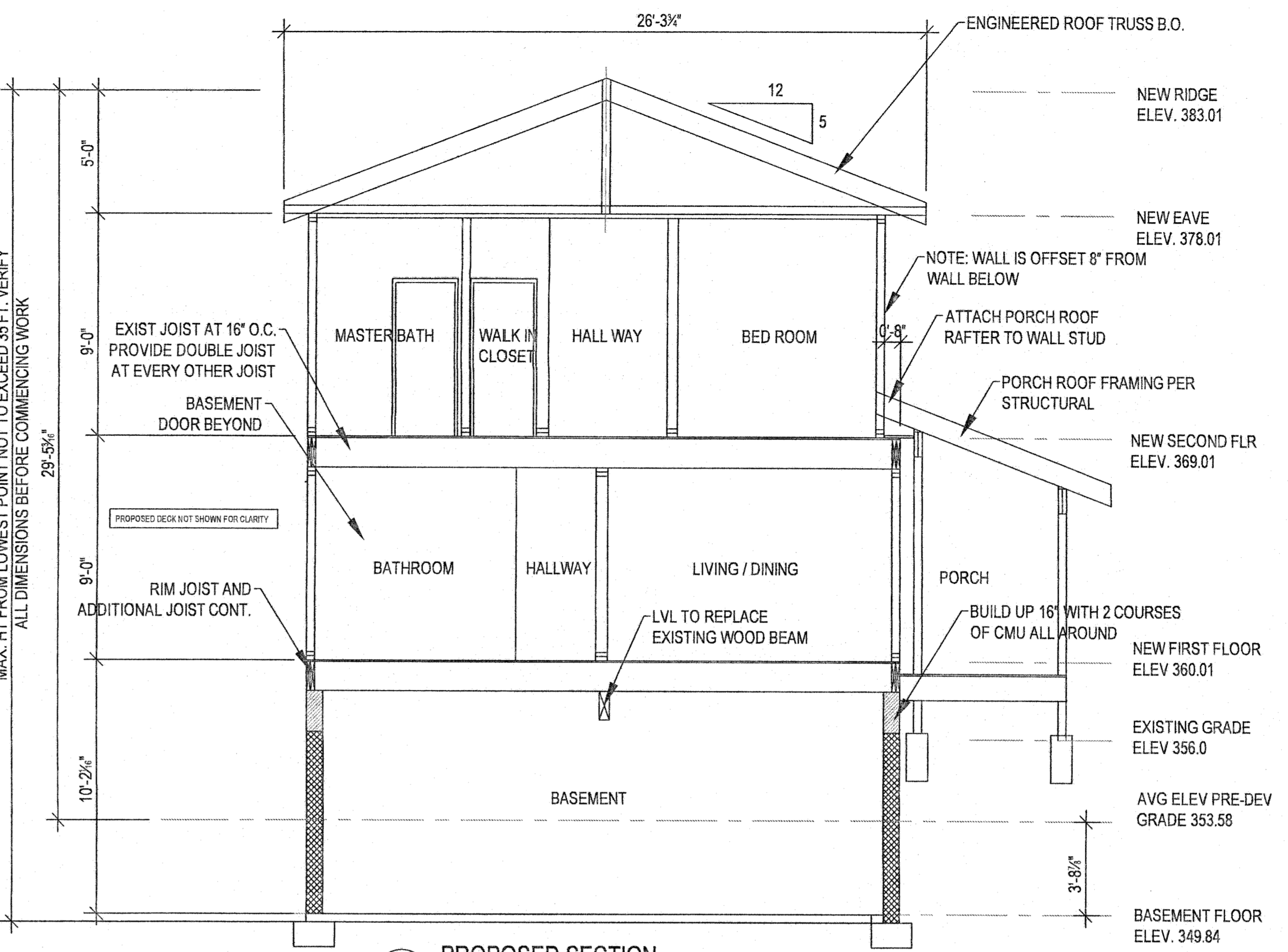
1	10-13-2010
2	11-14-2010
3	

SCALE:

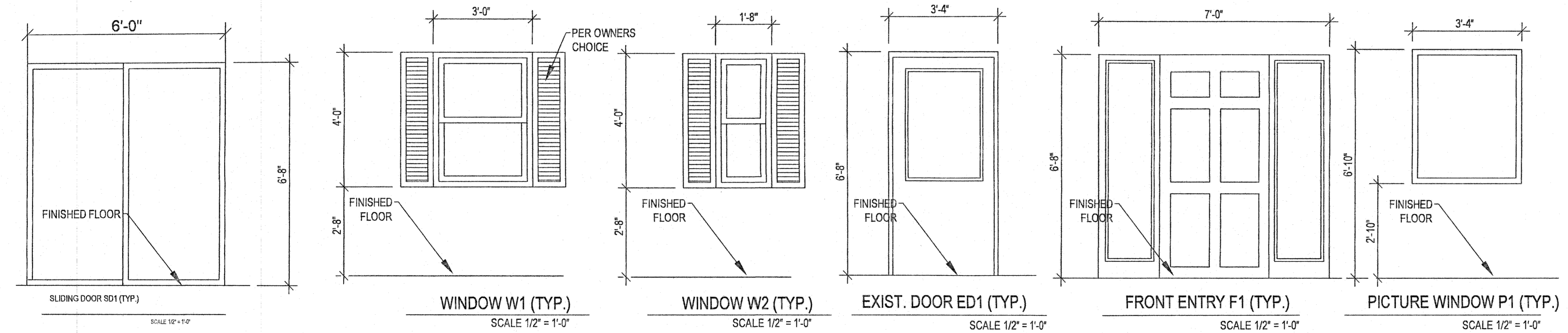
SECTION, OPENING SCHEDULE
SILVER SPRING RESIDENCE
 10011 MENLO AVE
 SILVER SPRING, MD 20910



1
A-04
PROPOSED SECTION
 SCALE 1/4" = 1'-0"
 REFER TO TYPICAL WALL AND FLOOR SECTION FOR INSULATION

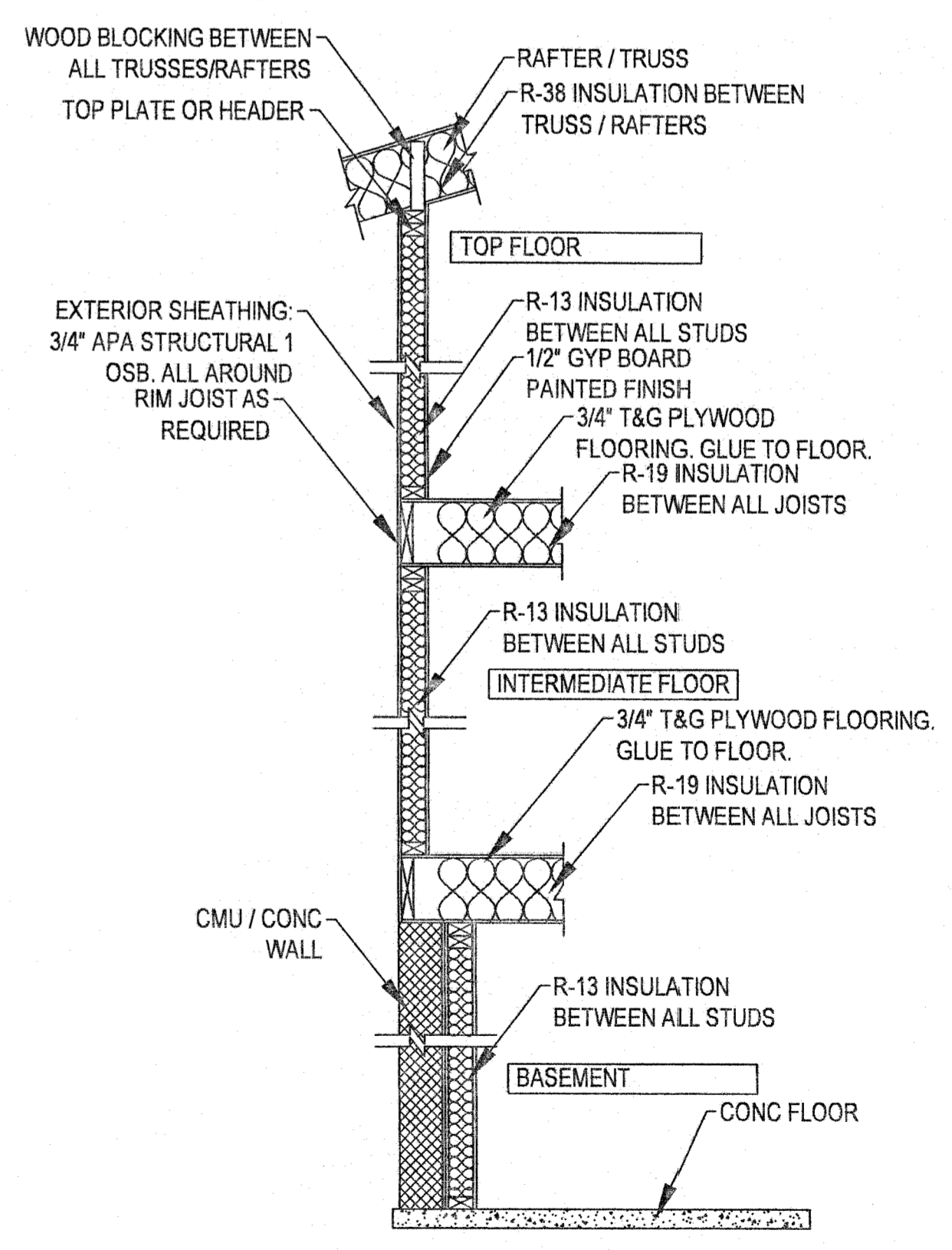


2
A-04
PROPOSED SECTION
 SCALE 1/4" = 1'-0"
 REFER TO TYPICAL WALL AND FLOOR SECTION FOR INSULATION



NOTE:
 1. WINDOWS SHALL BE DOUBLE / SINGLE HUNG PER OWNERS CHOICE.
 2. WINDOWS AND DOORS SHALL HAVE MAINTENANCE FREE EXTERIOR CLADDING AND WOOD INTERIOR
 3. ALL PANES SHALL BE DOUBLE GLAZED

NOTE:
 DOOR SHALL BE SOLID SIX PANEL WITH 2 SIDE LIGHTS AS SHOWN



F
S-03
TYPICAL WALL AND FLOOR SECTION

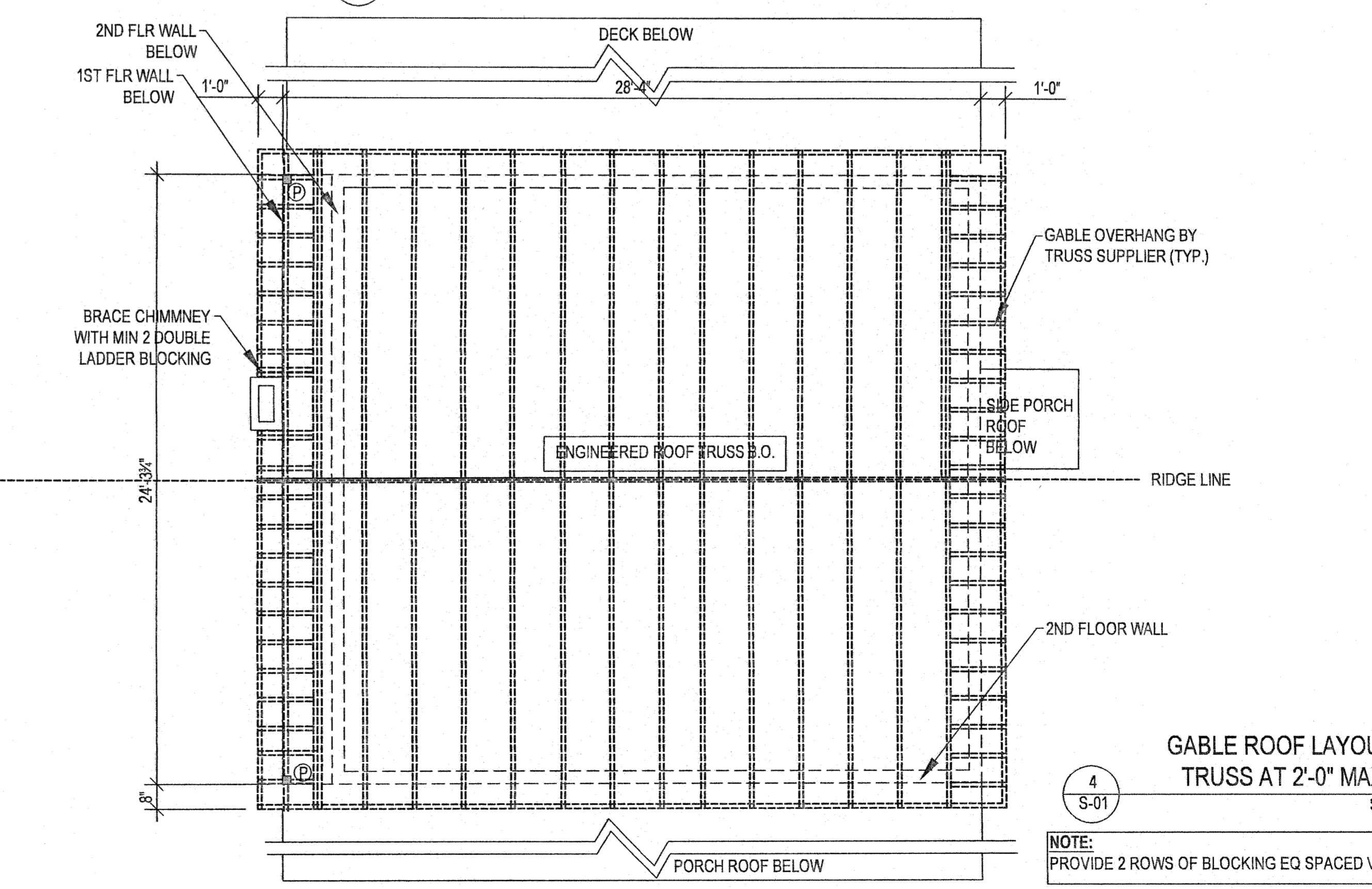
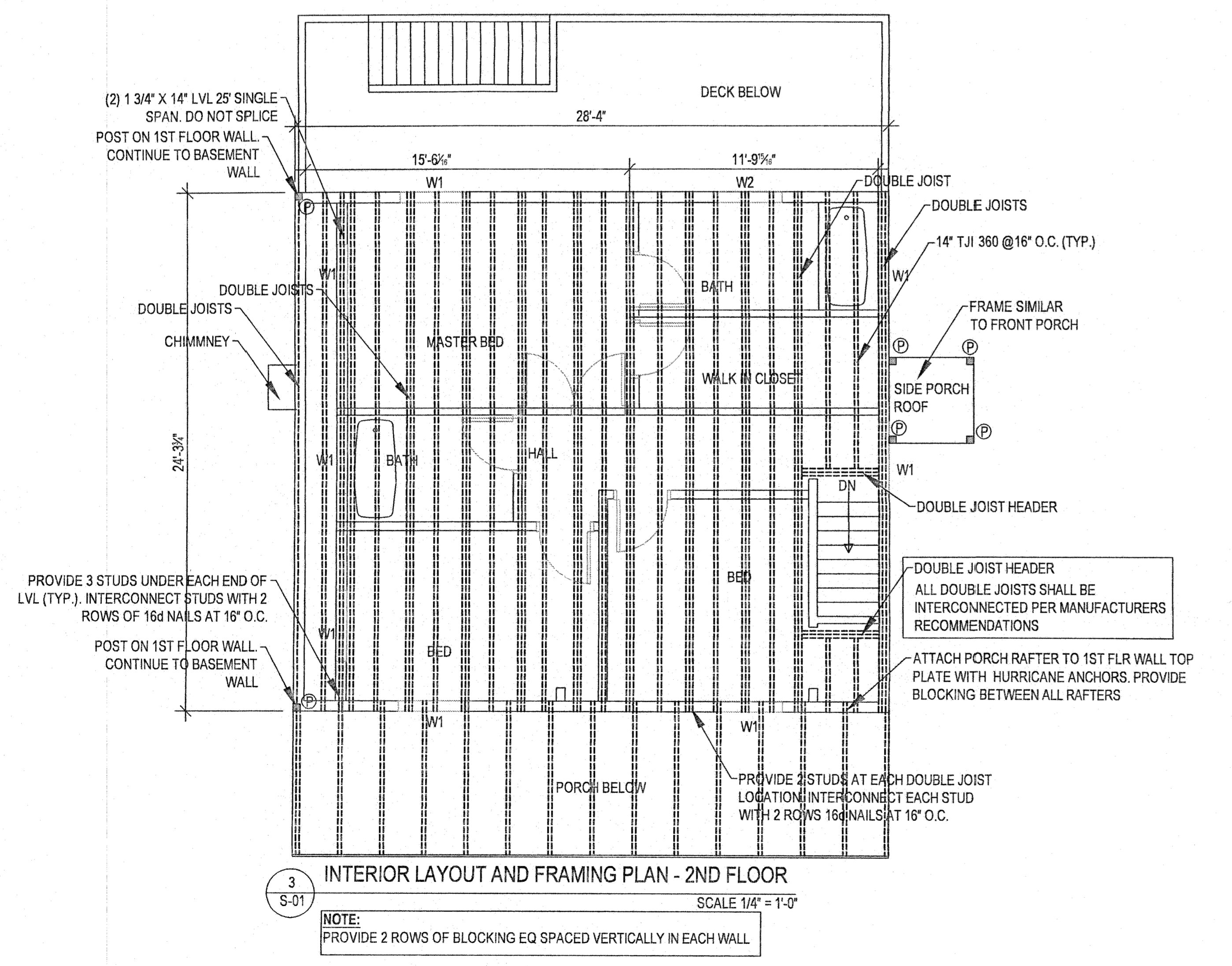
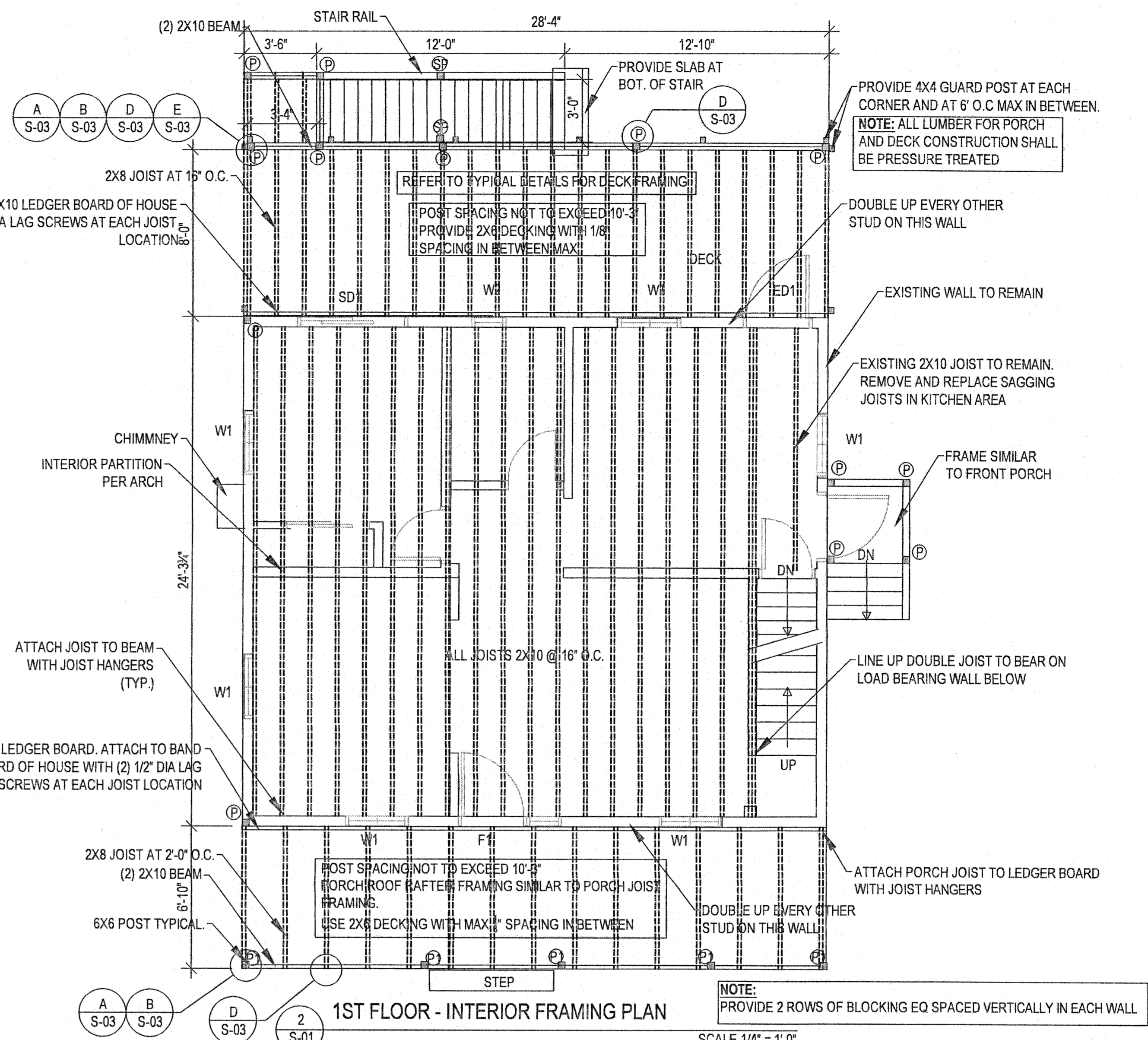
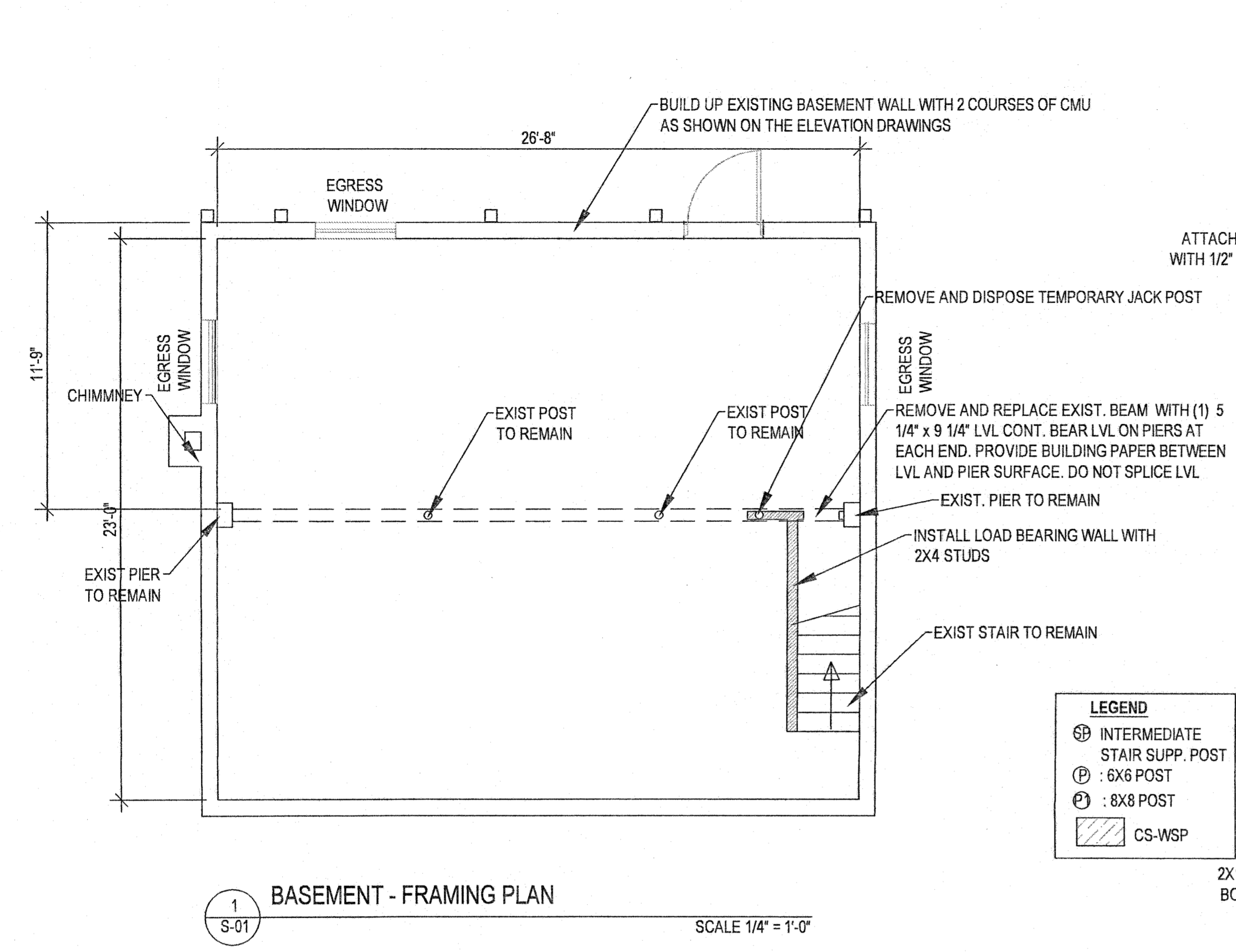


PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO.: 28463, EXPIRATION DATE: 09-15-2011

SUBMITTAL	
1	10-13-2010
2	11-14-2010
3	

SCALE:

FRAMING PLAN
SILVER SPRING RESIDENCE
 10011 MENLO AVE
 SILVER SPRING, MD 20910





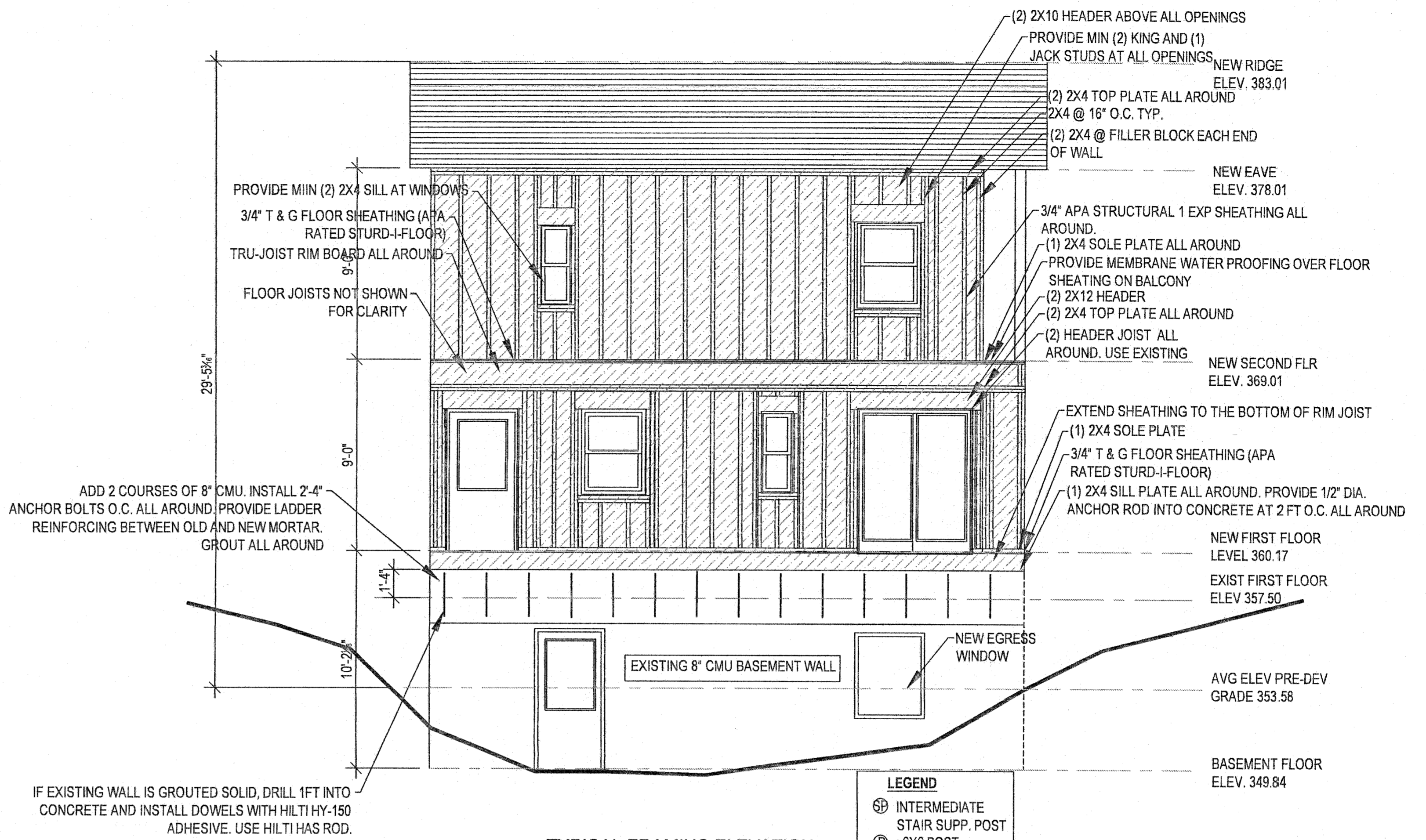
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO.: 20463
 EXPIRATION DATE: 09-15-2011

SUBMITTAL	
1	10-13-2010
2	11-14-2010
3	

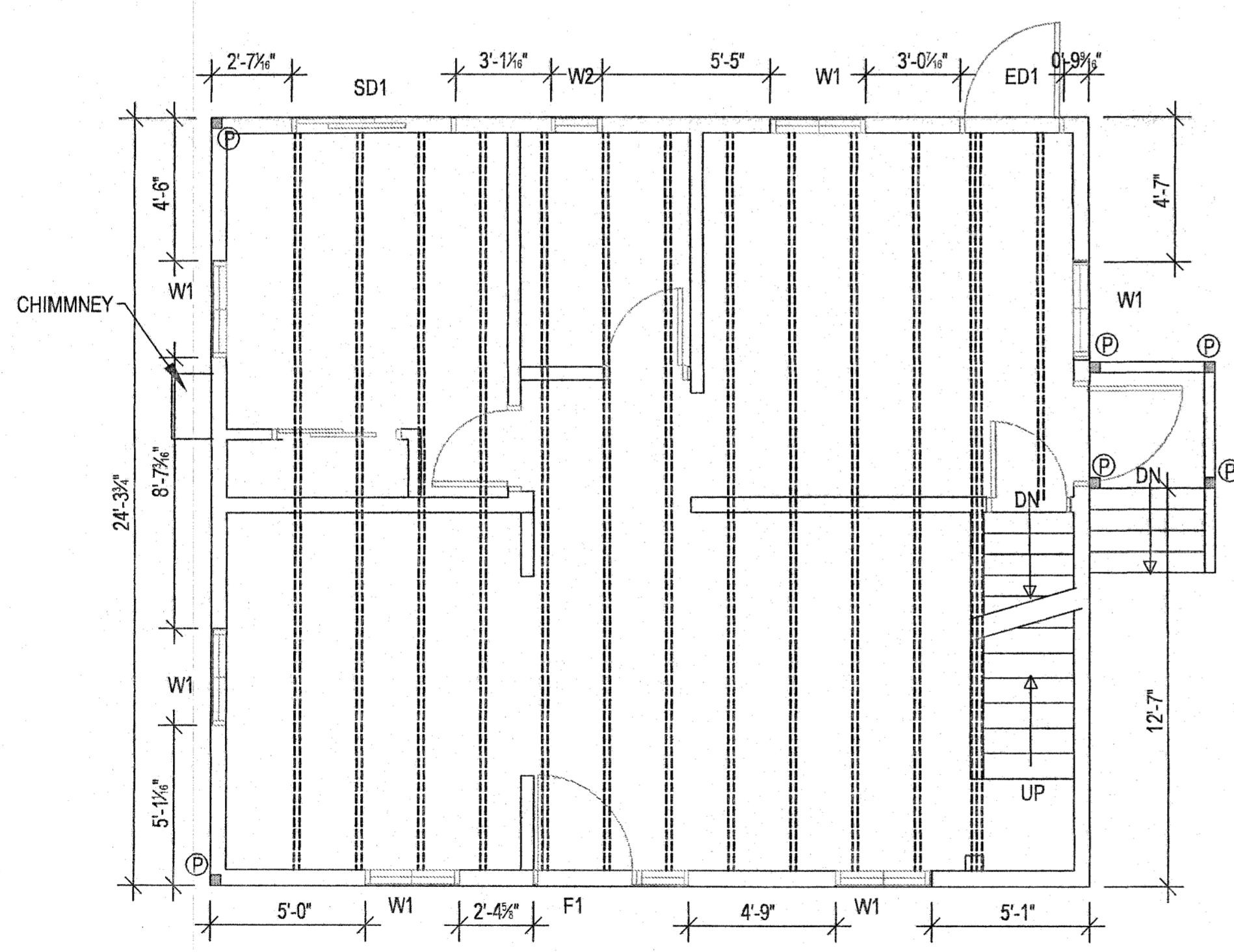
SCALE:

FRAMING ELEVATION, BRACED WALL LINES
SILVER SPRING RESIDENCE
 10011 MENLO AVE
 SILVER SPRING, MD 20910

DWG: S-02
 SHEET 06 OF 07

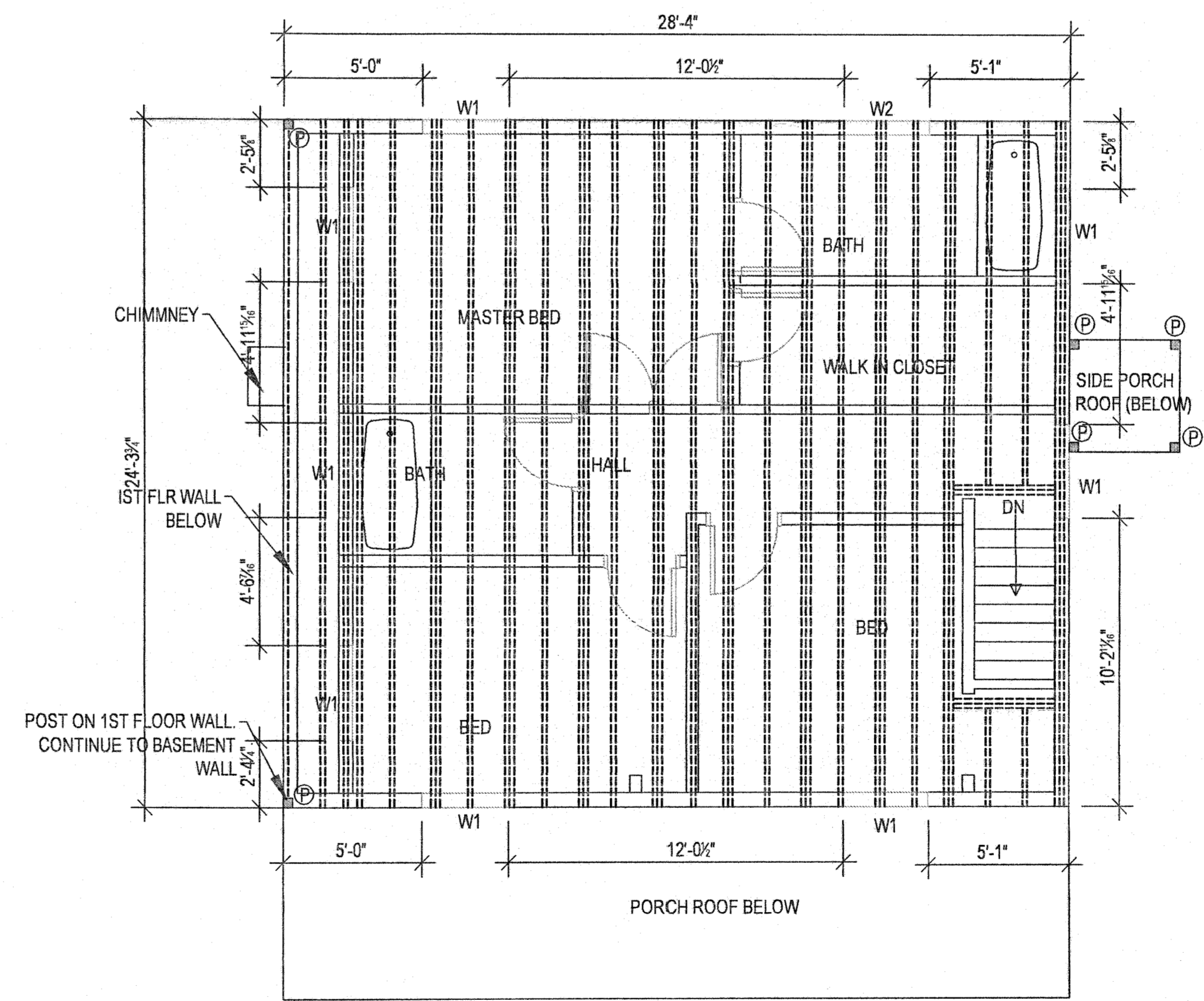


1
 S-02
TYPICAL FRAMING ELEVATION
 SCALE 1/4" = 1'-0"



2
 S-02
1ST FLOOR - BRACED WALL LINE
 SCALE 1/4" = 1'-0"

NOTE: BRACED WALL LINES SHOWN ARE MINIMUM BETWEEN OPENINGS. CONTINUOUS SHEATHING TO BE APPLIED TO ALL WALLS AS SHOWN ON FRAMING ELEVATION



3
 S-02
BRACED WALL LINES - 2ND FLOOR
 SCALE 1/4" = 1'-0"

NOTE: BRACED WALL LINES SHOWN ARE MINIMUM BETWEEN OPENINGS. CONTINUOUS SHEATHING TO BE APPLIED TO ALL WALLS AS SHOWN ON FRAMING ELEVATION

