

4 Quincy  
Cherry Chase H.D.

2009 Prelim



Eric Ross

4302 East West Highway  
Bethesda, MD 20814

301.913.5995 x115 *office*  
301.466.4411 *cell*  
301.913.2882 *fax*

eross@sandyspringbuilders.com *email*  
SandySpringClassicHomes.com *web*



Sandy Spring  
Builders LLC

Phil Leibovitz

4302 East West Highway  
Bethesda, MD 20814

301.913.5995  
301.913.2882 *fax*

buildfast@aol.com *email*  
SandySpringBuilders.com *web*

JOHN C. YORK JR.  
MANAGING PARTNER

5100 WISCONSIN AVENUE SUITE 514  
WASHINGTON, DC 20016

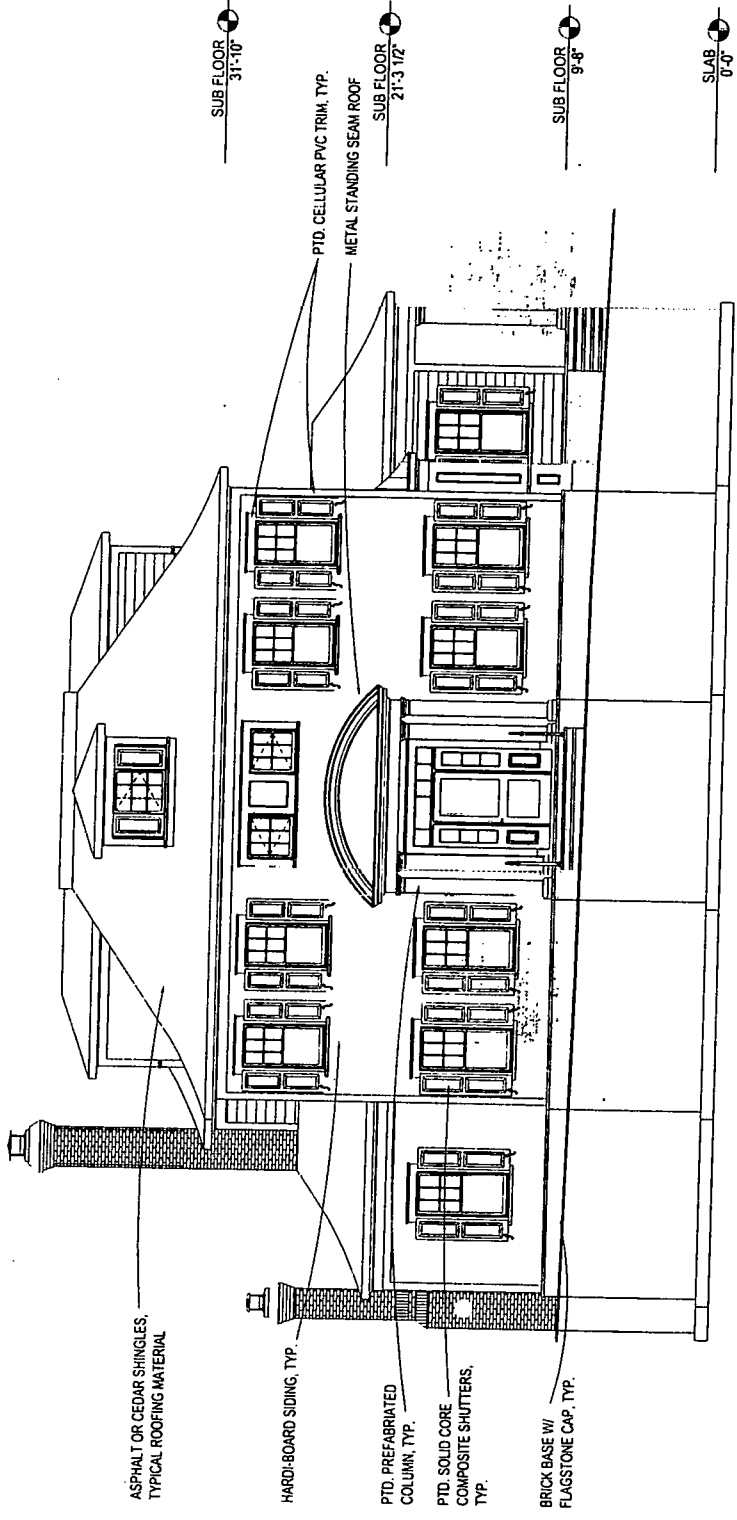
202.244.5090 OFFICE  
202.244.5091 FAX  
202.302.3003 MOBILE



GEORGETOWN  
CAPITAL PARTNERS, INC

WWW.GEORGETOWNCAPITALPARTNERS.COM

12/15/09  
stamped  
plans in  
ofc bin



FRONT ELEVATION

A-2  
**GTM**

7/16/10  
 (Signature)

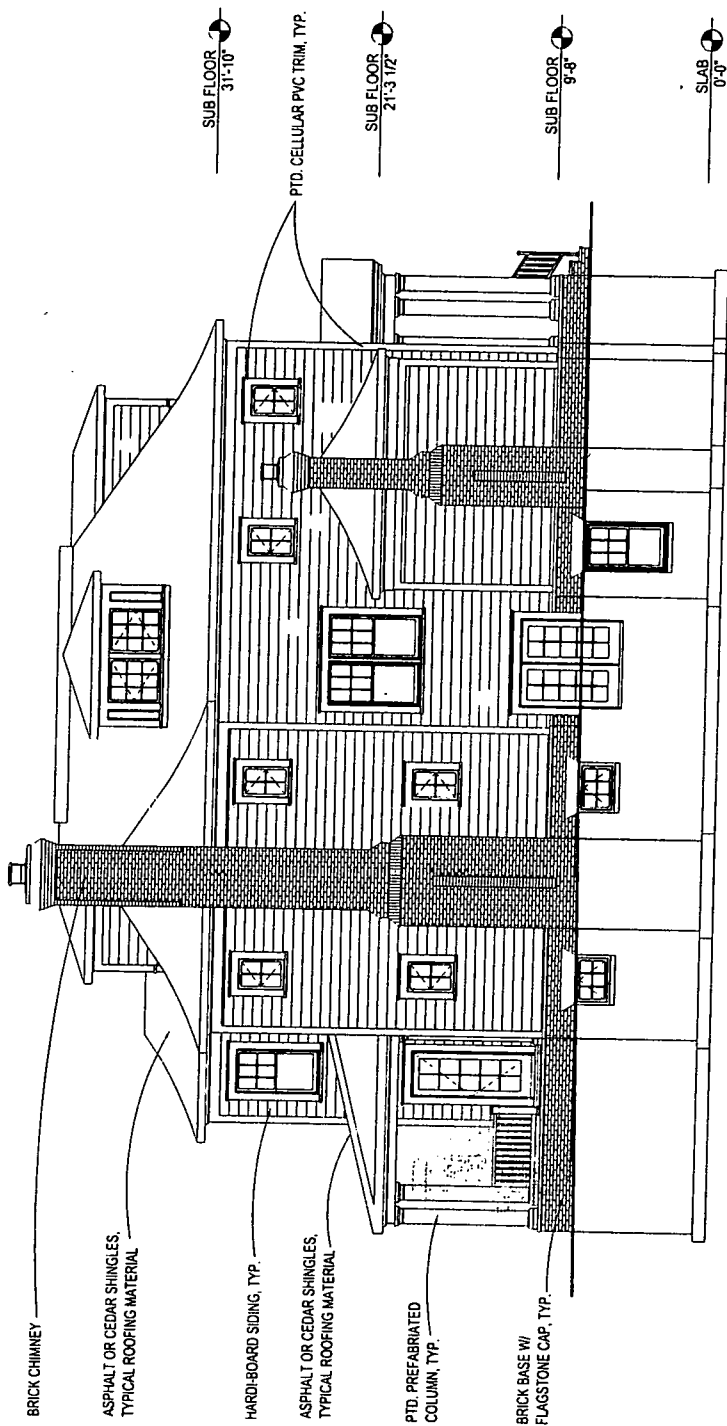
DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

**4 QUINCY STREET**  
 4 QUINCY STREET, CHEVY CHASE, MD 07/12/10

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GTM

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LEFT ELEVATION

**4 QUINCY STREET**

4 QUINCY STREET, CHEVY CHASE, MD 0712/10

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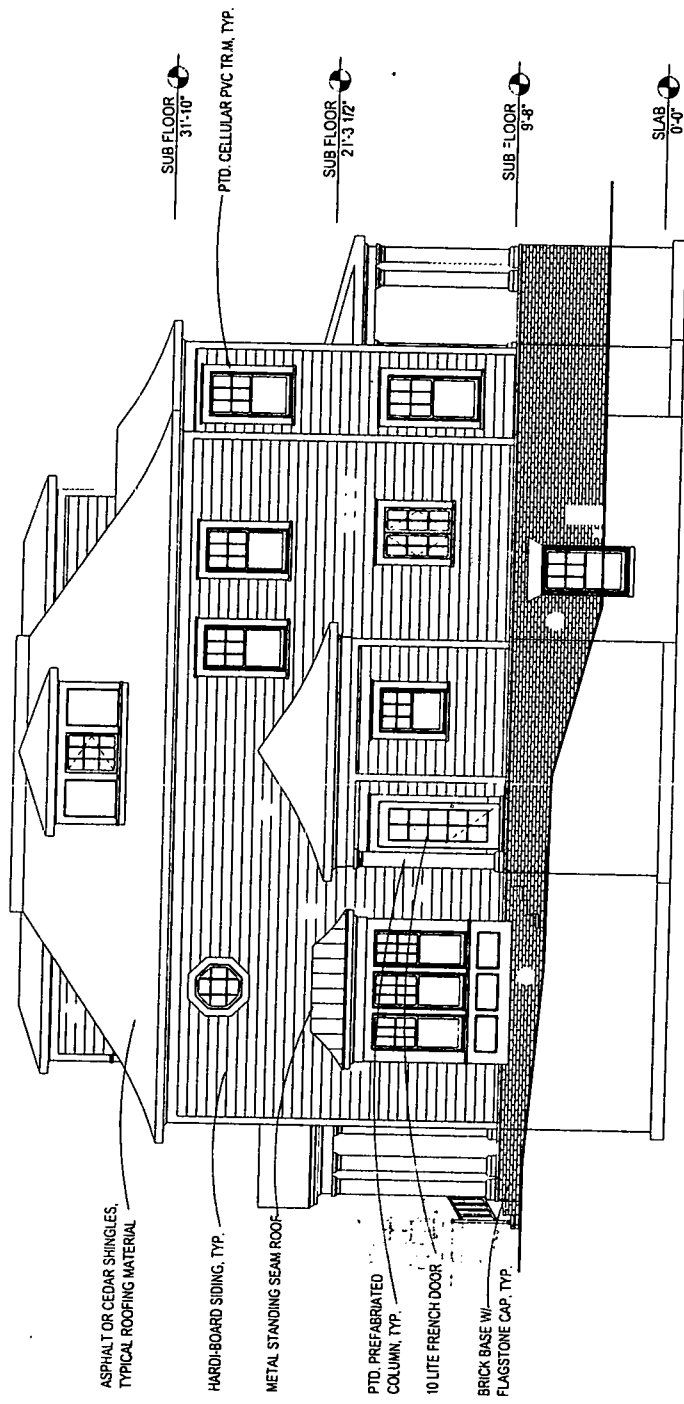
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A5



APPROVED  
 [Signature]  
 4/16/10

GTM



RIGHT ELEVATION

Handwritten notes: "AB" circled, "7/16/10", and "GTM" written vertically.

A-3



**4 QUINCY STREET**

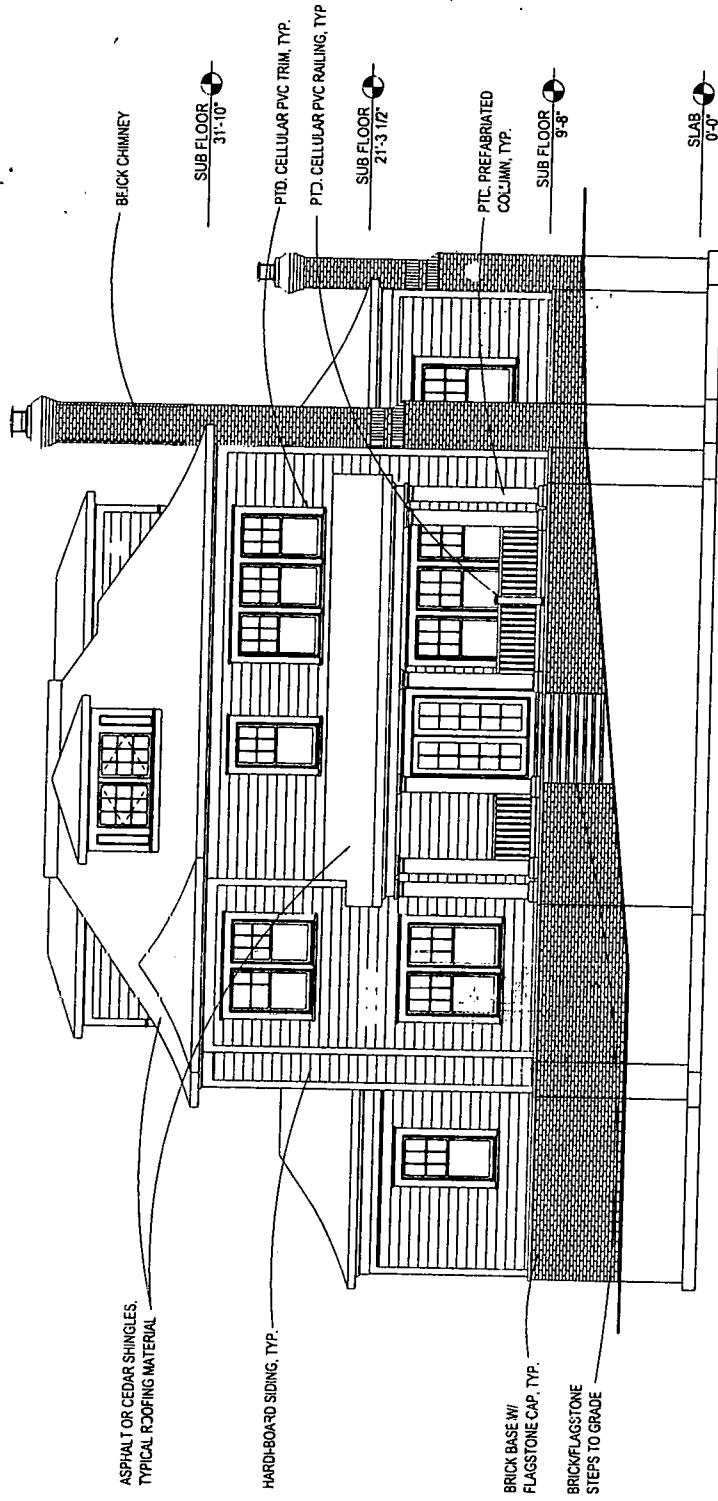
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REAR ELEVATION

*[Handwritten signature]*

*[Handwritten date: 4/16/10]*

\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

4 QUINCY STREET

staff item  
New construction in  
Chevy Chase Village

**Fothergill, Anne**

**From:** Eric Ross [eross@sandyspringbuilders.com]  
**Sent:** Tuesday, July 13, 2010 10:53 AM  
**To:** Fothergill, Anne  
**Cc:** mkaufman@gtmarchitects.com  
**Subject:** Minor Revisions to Side and Rear of 4 Quincy Street  
**Attachments:** 090225\_Schematic-Set\_HPC\_bubbled\_7-12-10.pdf

OK ✓

Anne,

I've attached the final elevations for 4 Quincy Street. There are three minor changes we are asking HPC to approve. None of the changes impact in any way the front elevation.

- removing shutters on two sides and rear of house.
- removing 2<sup>nd</sup> floor balcony at rear (therefore, change in porch roof form and no door to balcony),
- minor change to right side door.


We believe and we hope the HPC will agree that these are minor changes and do not in any way impact the front elevation of the house.

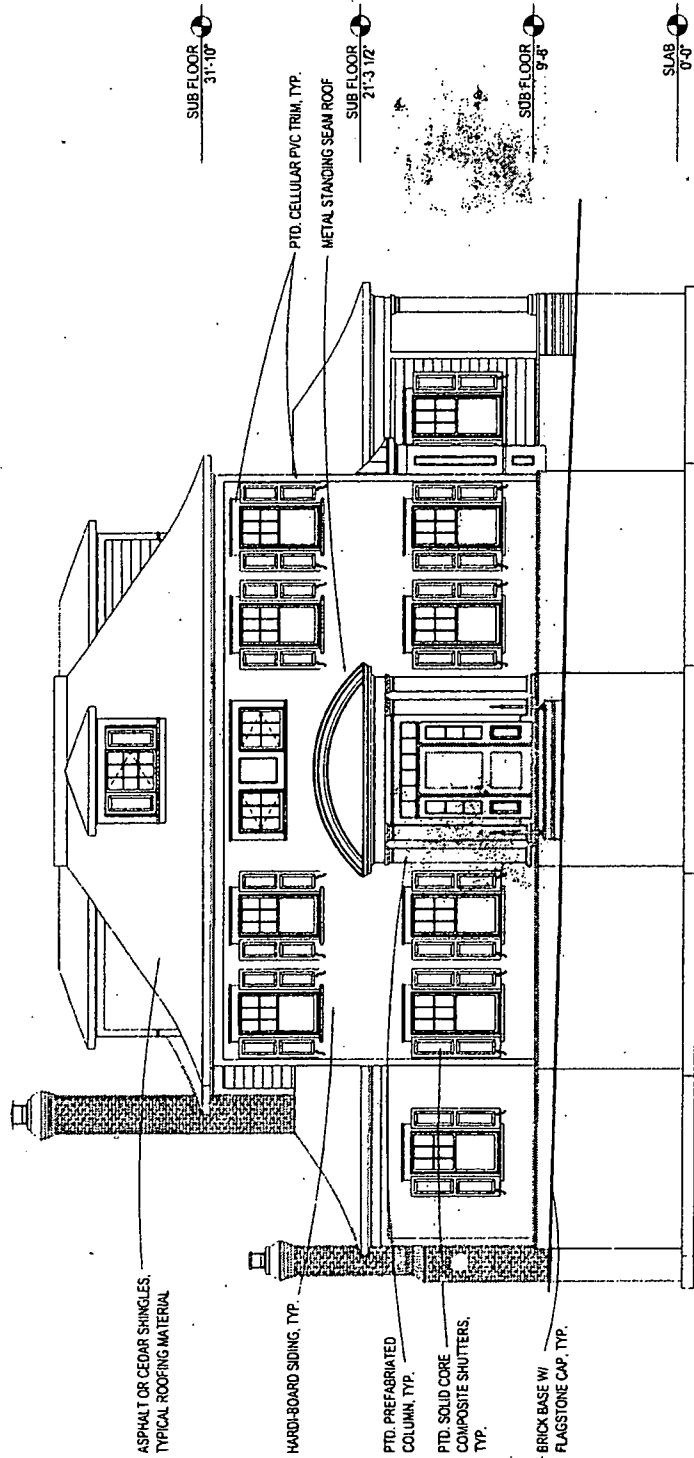
Please do not hesitate to contact me or Mark Kaufman at GTM Architects with any questions.

Thanks,

Eric

Eric Ross  
*Sandy Spring Classic Homes*  
4302 East West Highway  
Bethesda, MD 20814  
301-718-0414 x 102  
240-743-8323(c)  
[eross@sandyspringbuilders.com](mailto:eross@sandyspringbuilders.com) (email)  
[www.sandyspringclassichomes.com](http://www.sandyspringclassichomes.com) (website)  
*A GREENER way of living!*

 Please consider the environment before printing this e-mail.



FRONT ELEVATION

*no change to front*

A-2



DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

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4 QUINCY STREET

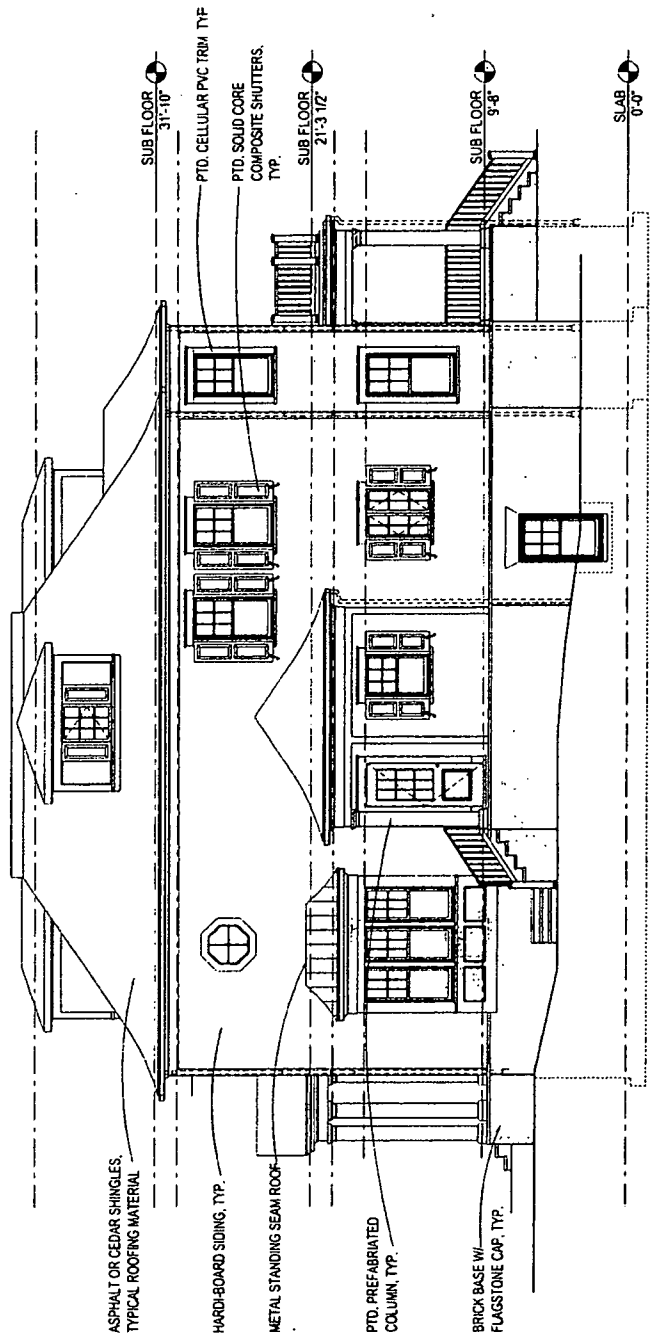
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RIGHT ELEVATION

*HP approved*

A3



**4 QUINCY STREET**

4 QUINCY STREET, CHEVY CHASE, MD

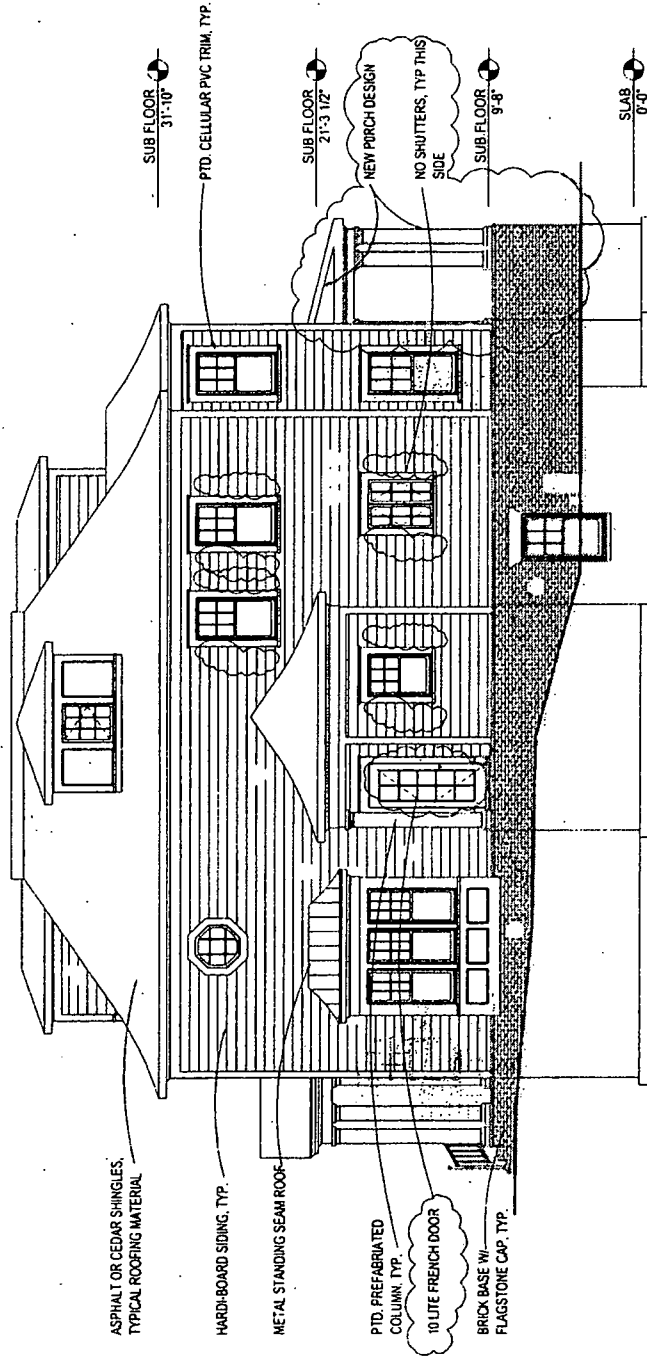
04/12/10

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RIGHT ELEVATION

*revised*

A-3



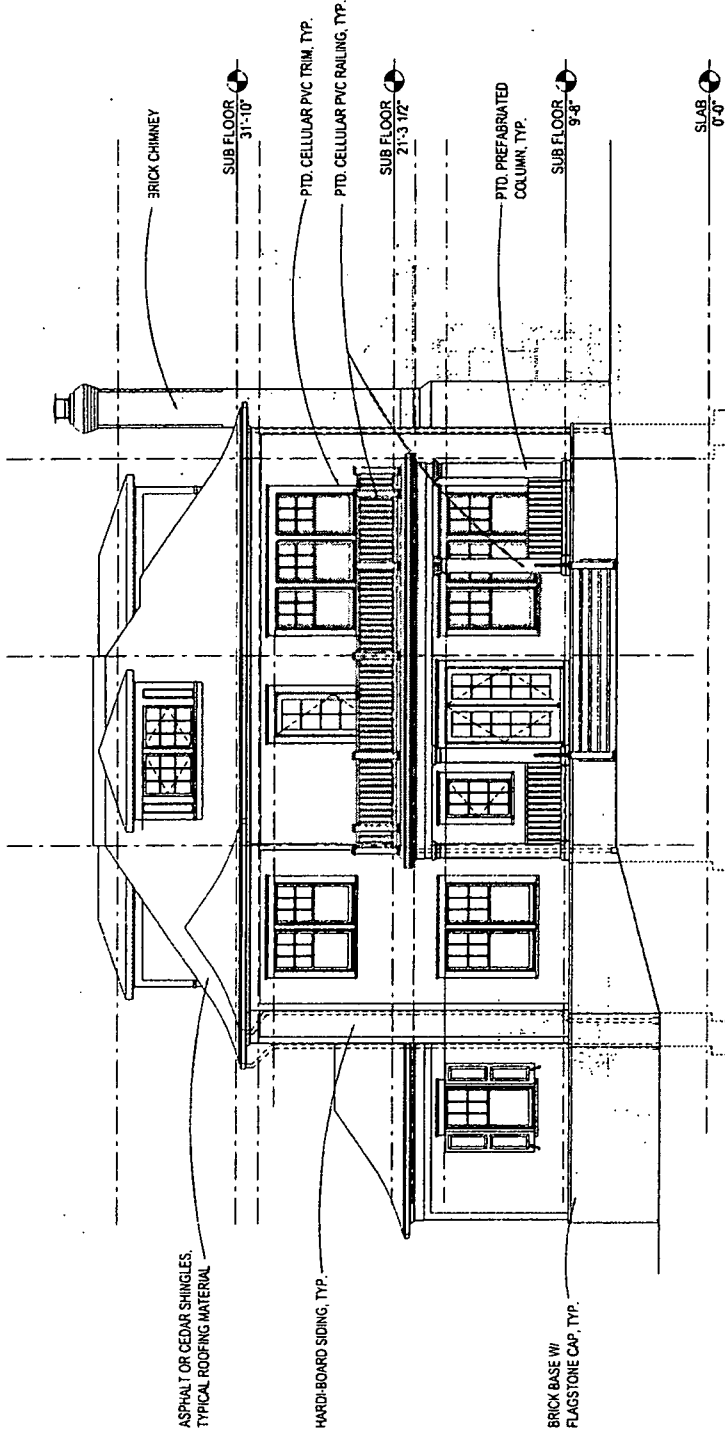
DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS



**4 QUINCY STREET**

4 QUINCY STREET, CHEVY CHASE, MD 071210  
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REAR ELEVATION

*HPC approved*

A4



**4 QUINCY STREET**

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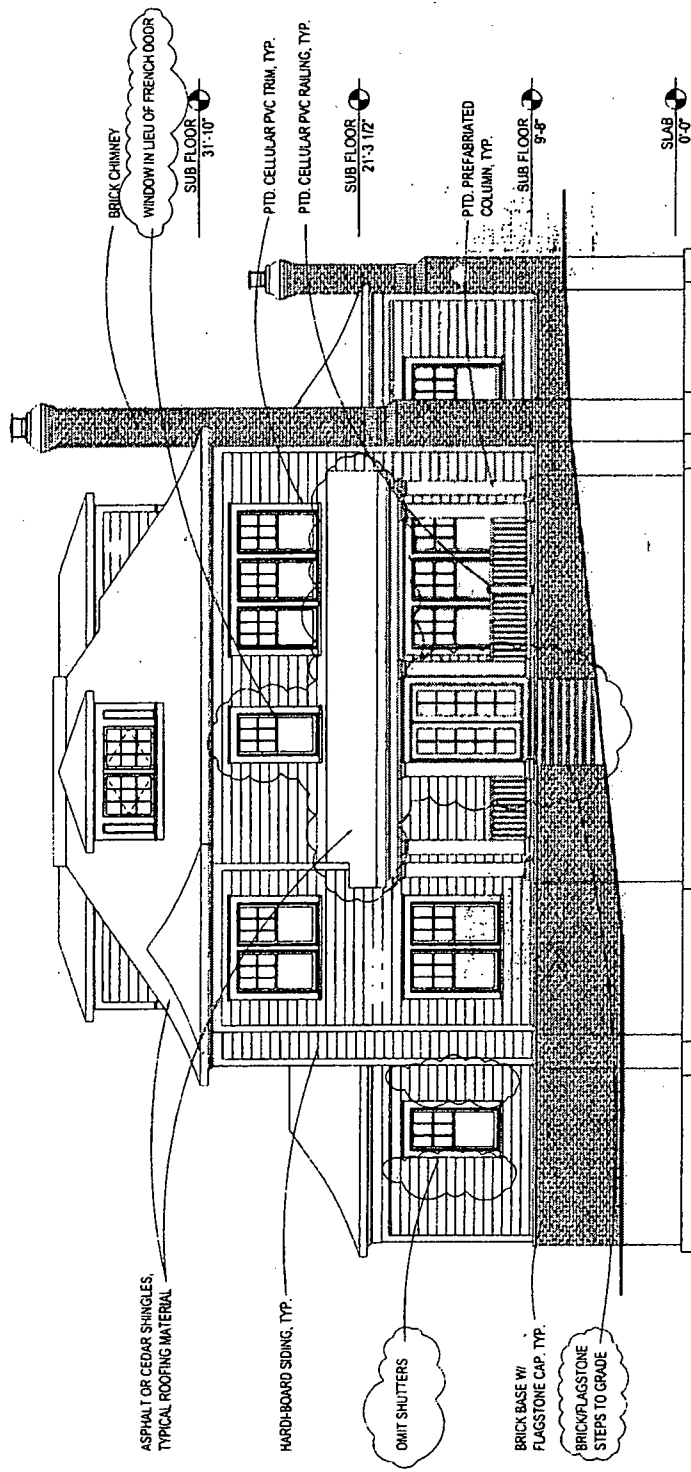
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REAR ELEVATION

*Revised*

A-4



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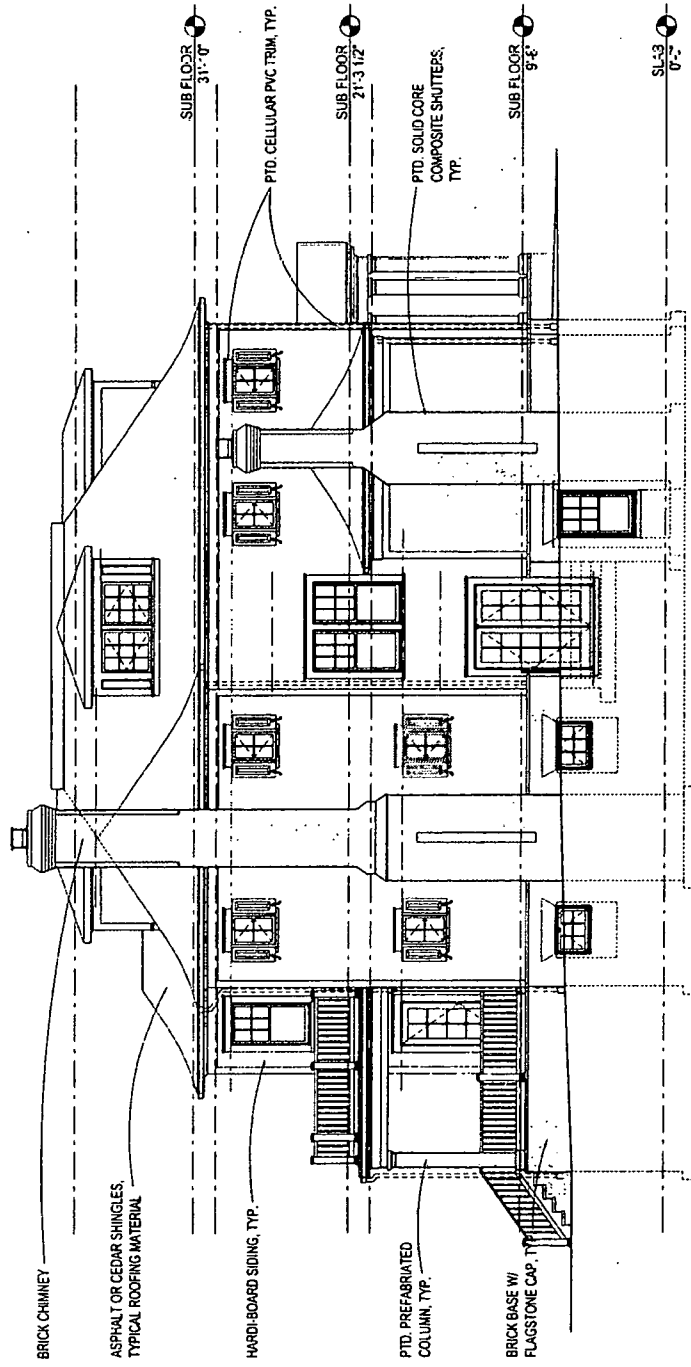
4 QUINCY STREET

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LEFT ELEVATION

*NYC approved*

A-5



**4 QUINCY STREET**

4 QUINCY STREET, CHEVY CHASE, MD

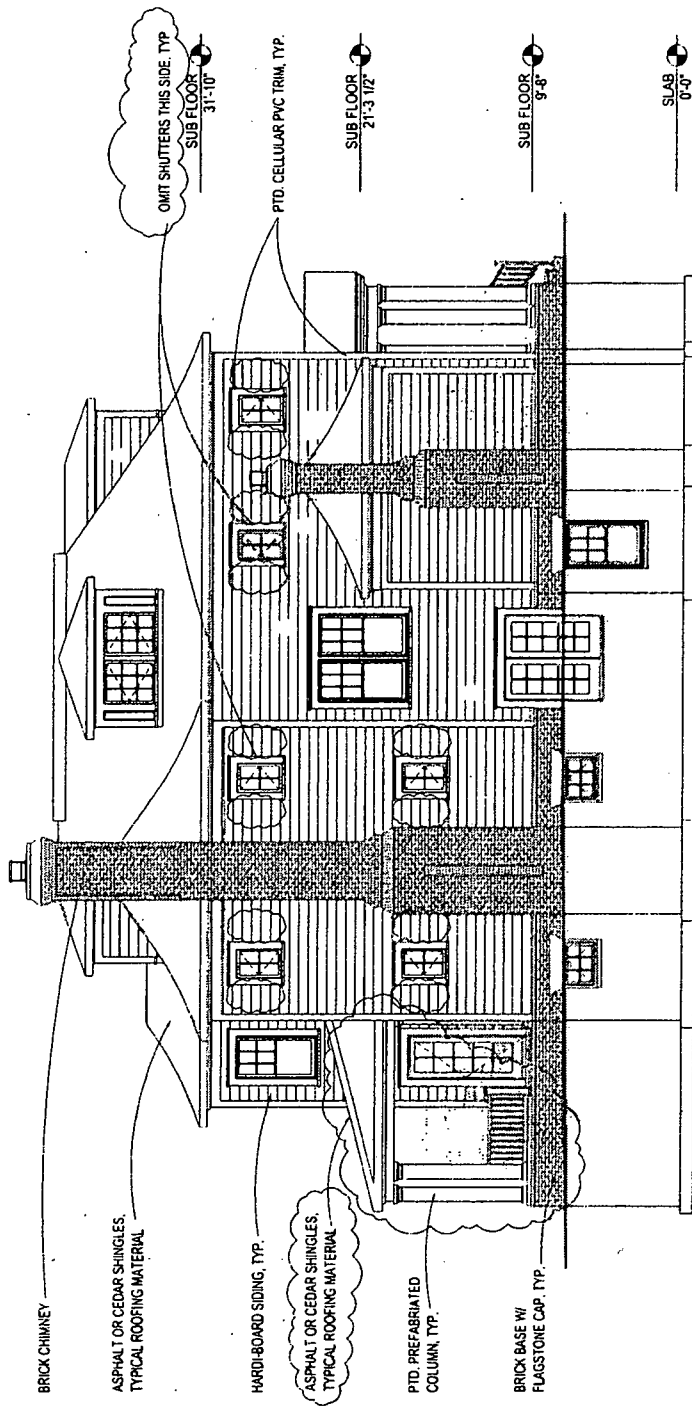
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G T M



LEFT ELEVATION

*Revised*

A-5



DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

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4 QUINCY STREET

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## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

David Rotenstein  
Chairperson

Date: 4/30/10

### MEMORANDUM

TO: Carla Reid, Director  
Department of Permitting Services

FROM: Anne Fothergill  
Planner Coordinator  
Historic Preservation Section-Planning Department  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #515307 for new construction--revision

The Montgomery County Historic Preservation Commission (HPC) has approved the revisions to the previously-approved Historic Area Work Permit (HAWP). The revised plans have been stamped as approved.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Georgetown Capital Partners  
Address: 4 Quincy Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [anne.fothergill@mncppc-mc.org](mailto:anne.fothergill@mncppc-mc.org) to schedule a follow-up site visit.



**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	4 Quincy Street, Chevy Chase	<b>Meeting Date:</b>	4/28/10
<b>Resource:</b>	New Construction Chevy Chase Village Historic District	<b>Report Date:</b>	4/21/10
<b>Applicant:</b>	Georgetown Capital Partners (Eric Ross, Agent)	<b>Public Notice:</b>	4/14/10
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/13-09P REVISION	<b>Staff:</b>	Anne Fothergill

**PROPOSAL:** Revision to approved plans for new house

---

**STAFF RECOMMENDATION**

Staff recommends that the HPC approve the HAWP application.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** New Construction within the Chevy Chase Village Historic District  
**DATE:** 2010

**BACKGROUND**

In August 2009 the HPC approved the demolition of a non-contributing house and the construction of a new house at this location.

**PROPOSAL**

The applicants are proposing the following changes to their approved plans:

**Front/North elevation:**

- Add concrete stairs with flagstone veneer to access the mud room porch from the driveway (the revised plans reflect the actual grade and storm water management and drainage plan required by the County)

**Left/East elevation:**

- Add masonry fireplace
- Replace a double basement window with French doors and steps
- Install three new windows at the basement level
- Enclose rear porch railing (access porch from rear)

**Right/West elevation:**

- Delete the areaway and steps to basement and install a new window in that location
- Replace a double hung window with octagon window on the 2<sup>nd</sup> floor



Rear/South elevation:

- Add stairs from rear porch to grade
- Replace the door off of the study with one window; remove the patio/porch off the study

The applicants state that the size, height and setback of the house remain as submitted and approved by the HPC.

### **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

#### ***Chevy Chase Village Historic District***

Basic policies stated in the *Guidelines* include:

1. Preserving the integrity of the proposed Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
3. Maintaining the variety of architectural styles and the tradition of architectural excellence.
4. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
5. Alterations to the portion of a property that are not visible from the public right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The Historic Preservation Ordinance directs the HPC to be lenient in its judgment of plans for structures in historic districts which are of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historical or architectural value of surrounding historic resources or would impair the character of the historic district.

The *Guidelines* define a Non-Contributing or Out-of-Period Resource as "A resource which does not directly contribute to the historicity of the district because of its lack of architectural and historical significance and/or because of major alterations that have eliminated most of the resource's original architectural integrity. Or a resource that is a newer building, which possibly contributes to the overall streetscape but is out of the district's primary historical and architectural context."

The *Guidelines* state:

Non-contributing/out-of-period resources are either buildings that are of little or no architectural and historical significance to the historic district or newer buildings constructed outside the district's primary period of historical importance. IIAWP applications for exterior alterations, changes, and/or additions to these type of resources should receive the most lenient level of design review.

Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

The goal of new construction within the proposed historic district is to be sympathetic to the traditional street and building patterns in the district, while allowing for creative and new building designs. In addition to the approach of recalling earlier architectural styles in new buildings, it is

appropriate for new structures to reflect and represent that period in which they are built. It is not the intention of these guidelines to inhibit or exclude creative design solutions that may be developed for new buildings in the district. Unique designs, reflecting architectural excellence, which do not adhere strictly to traditional neighborhood practices, but are sensitive to and compatible with the fabric of the community, should be supported. The key considerations in reviewing new construction should be the two paramount principles identified above—fostering the Village's shared commitment to evolving eclecticism while maintaining its open park-like character.

**Montgomery County Code; Chapter 24A-8:**

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

**Secretary of the Interior's Standards for Rehabilitation:**

- #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The proposed revisions to the approved plan for the new house are in keeping with the *Guidelines and Standards* and staff recommends approval of the revised HAWP.

**STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

RECEIVED DPS #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

JUL 01 2009

Dept. of Permitting Services  
Casework Management

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Eric Ross

Daytime Phone No.: 301-913-5995 x 115

Tax Account No.: 00454388

Name of Property Owner: Georgetown Capital Partners (Contract purch) Daytime Phone No.: 202-244-5090

Address: 5100 Wisconsin Avenue, Suite 514 Washington, DC 20016  
Street Number City Street Zip Code

Contractor: Sandy Spring Builders Phone No.: 301-913-5995 x 115

Contractor Registration No.: BC 2763

Agent for Owner: Eric Ross Daytime Phone No.: 301-913-5995 x 115

### LOCATION OF BUILDING/PREMISE

House Number: 4 Street: Quincy

Town/City: Chevy Chase Nearest Cross Street: Connecticut

Lot: 28 Block: 58 Subdivision: 9

Liber: 15947 Folio: 583 Parcel:

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

#### CHECK ALL APPLICABLE:

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

6.30.09  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 515307 Date Filed: 7/1/09 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The current home is a two story brick "contemporary" built in 1974 and is designated as a "non-contributing" structure in the historic district of Chevy Chase Village. The house is vacant, run-down and has no architectural or historic significance. There is a 1-1/2 story 2 car garage with a newer 2 car garage addition (circa 1975). The 2 car addition would be torn down and the original 1-1/2 story two car garage would be repaired and updated.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Demolition of the existing house will be done in accordance with the rules and regulations of Montgomery County and Chevy Chase Village. The house is designated as a "non-contributing" structure in the historic district.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date,
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6

Attachment to Application for Historic Area Work Permit  
4 Quincy Street  
June 4, 2009

ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

Patrick M & JN Regan  
6 Quincy Street  
Chevy Chase, MD 20815

Richard C Miller and Nancy B Stone  
2 Quincy Street  
Chevy Chase, MD 20815-4227

Francis B Saul 2<sup>nd</sup> and P E  
1 Quincy Street  
Chevy Chase, MD 20815-4226

Thomas W Jarrett & Martha A Burke  
3 Quincy Street  
Chevy Chase, MD 20815-4226

Marital Trust / Otto J Ruesch et al  
C/o Jeanette Weaver Ruesch  
1 Primrose Street  
Chevy Chase, MD 20815-4228

Michael and Susan Harreld  
3 Primrose Street  
Chevy Chase, MD 20815-4228

Allan B and Sandra L Geller  
5 Primrose Street  
Chevy Chase, MD 20815-4228

Pg 9

**CHEVY CHASE VILLAGE**

**F.A.R. CALCULATION**

FIRST FLOOR	2,505
SECOND FLOOR	2,003
THIRD FLOOR	689
GARAGE	338 (578-240(per cov))
<b>TOTAL (SQ. FT.)</b>	<b>5,535</b>
ALLOWABLE F.A.R.	.5 (6,250 SQ.FT.)
PROPOSED F.A.R.	.44 (5,535 SQ.FT.)

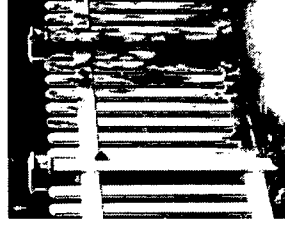
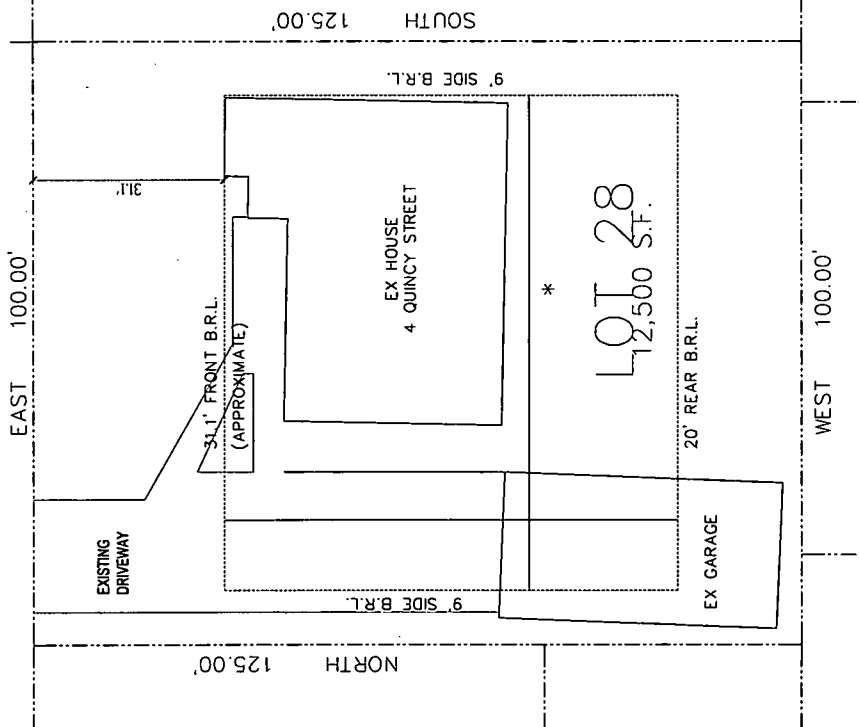
**LOT COVERAGE CALCULATION**

MAIN HOUSE	3,024
GARAGE	578
<b>TOTAL (SQ. FT.)</b>	<b>3,602</b>
ALLOWABLE LOT COVERAGE	4,375 SQ.FT. (35% OF 12,500)
PROPOSED LOT COVERAGE	3,602 SQ.FT. (28.8% OF 12,500)

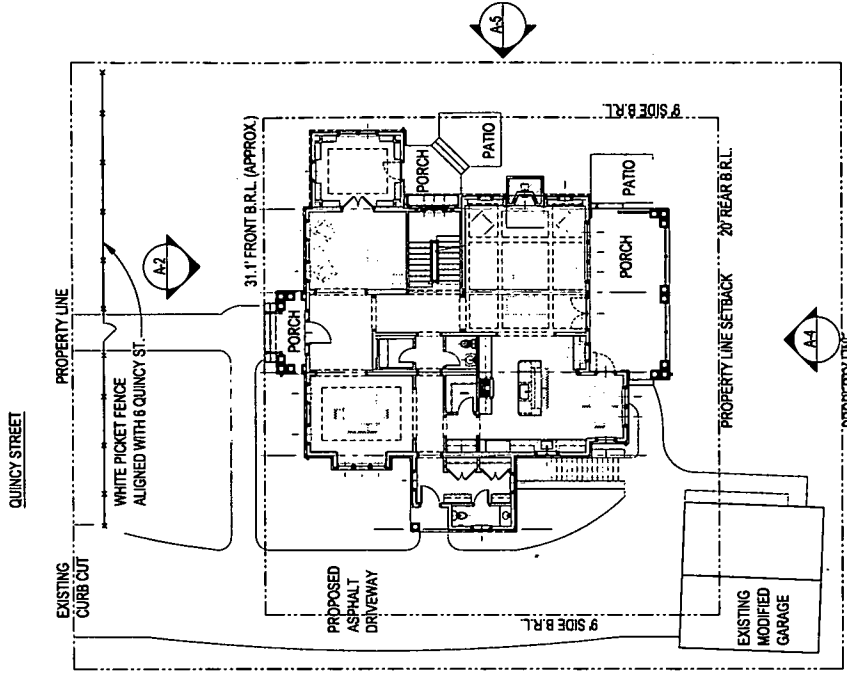
**MONTGOMERY COUNTY ZONING**

<b>LOT COVERAGE CALCULATION</b>	
MAIN HOUSE	2,348
GARAGE	578
<b>TOTAL (SQ. FT.)</b>	<b>2,926</b>
ALLOWABLE LOT COVERAGE	2,937.5 SQ.FT. (23.5% OF 12,500)
PROPOSED LOT COVERAGE	2,926 SQ.FT. (23.4% OF 12,500)

QUINCY STREET



SIMILAR DESIGN STYLE TO BE USED FOR FRONT PTD. CELLULAR PVC FENCE



\*ALL PORCHES, PATIOS AND WALKWAYS TO BE FLAGSTONE

PROPOSED SITE PLAN

A-1



NORTH

**GTM ARCHITECTS**

\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

\*SUGGESTED SITE PLAN, CONFIRM WITH CIVIL ENGINEER

**4 QUINCY STREET**

4 QUINCY STREET, CHEVY CHASE, MD

0172109

PROJ. #09.0225

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*Approved*

CHEVY CHASE VILLAGE

F.A.R. CALCULATION

FIRST FLOOR	2,505
SECOND FLOOR	2,003
THIRD FLOOR	689
GARAGE	338 (578-240)(per cov)
<b>TOTAL (SQ. FT.)</b>	<b>5,535</b>

ALLOWABLE F.A.R.

PROPOSED F.A.R.	.44 (6,535 SQ.FT.)
-----------------	--------------------

LOT COVERAGE CALCULATION

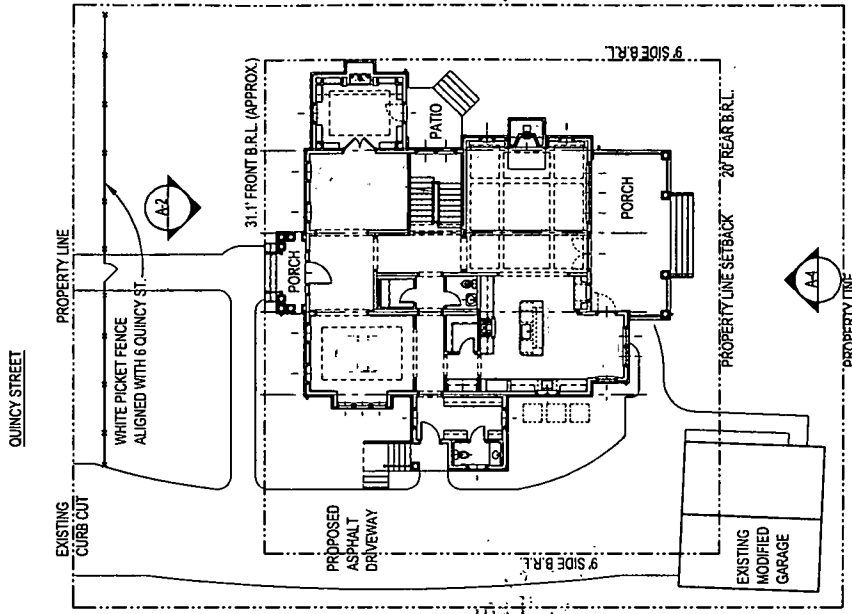
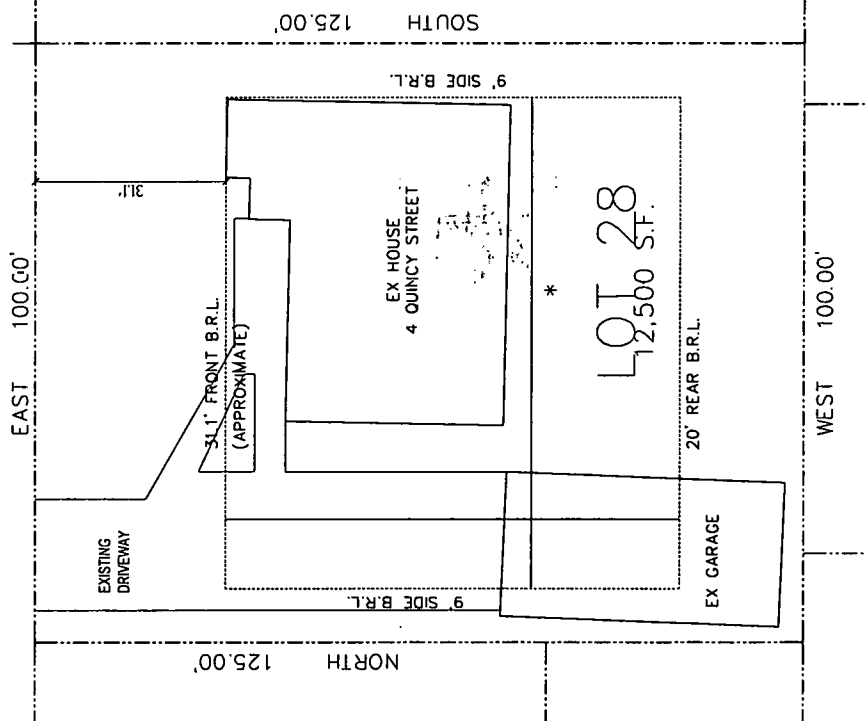
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MONTGOMERY COUNTY ZONING

LOT COVERAGE CALCULATION

MAIN HOUSE	2,348
GARAGE	578
<b>TOTAL (SQ. FT.)</b>	<b>2,926</b>
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QUINCY STREET



ALL PORCHES, PATIOS AND WALKWAYS TO BE FLAGSTONE

PROPOSED SITE PLAN

*Revised*



**4 QUINCY STREET**

4 QUINCY STREET, CHEVY CHASE, MD

04/12/10

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 \*SUGGESTED SITE PLAN, CONFIRM WITH CIVIL ENGINEER

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9

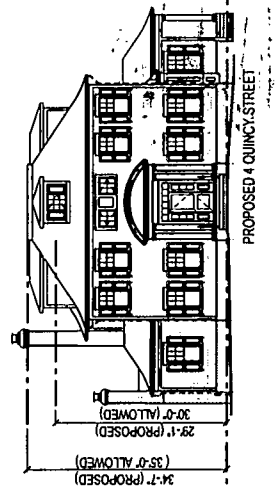




6 QUINCY STREET



2 QUINCY STREET



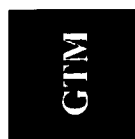
PROPOSED 4 QUINCY STREET

MONTGOMERY COUNTY ZONING  
 35' TO ROOF PEAK OR 30' TO MEAN HEIGHT BETWEEN EAVES & RIDGE  
 PROPOSED ROOF PEAK: 34'-7"

CHEVY CHASE VILLAGE  
 35' TO ROOF PEAK AND 30' TO MEAN HEIGHT BETWEEN EAVES & RIDGE  
 PROPOSED ROOF PEAK: 34'-7"  
 PROPOSED MEAN HEIGHT: 28'-1"

HEIGHT COMPARISON

A-1a



**4 QUINCY STREET**

4 QUINCY STREET, CHEVY CHASE, MD

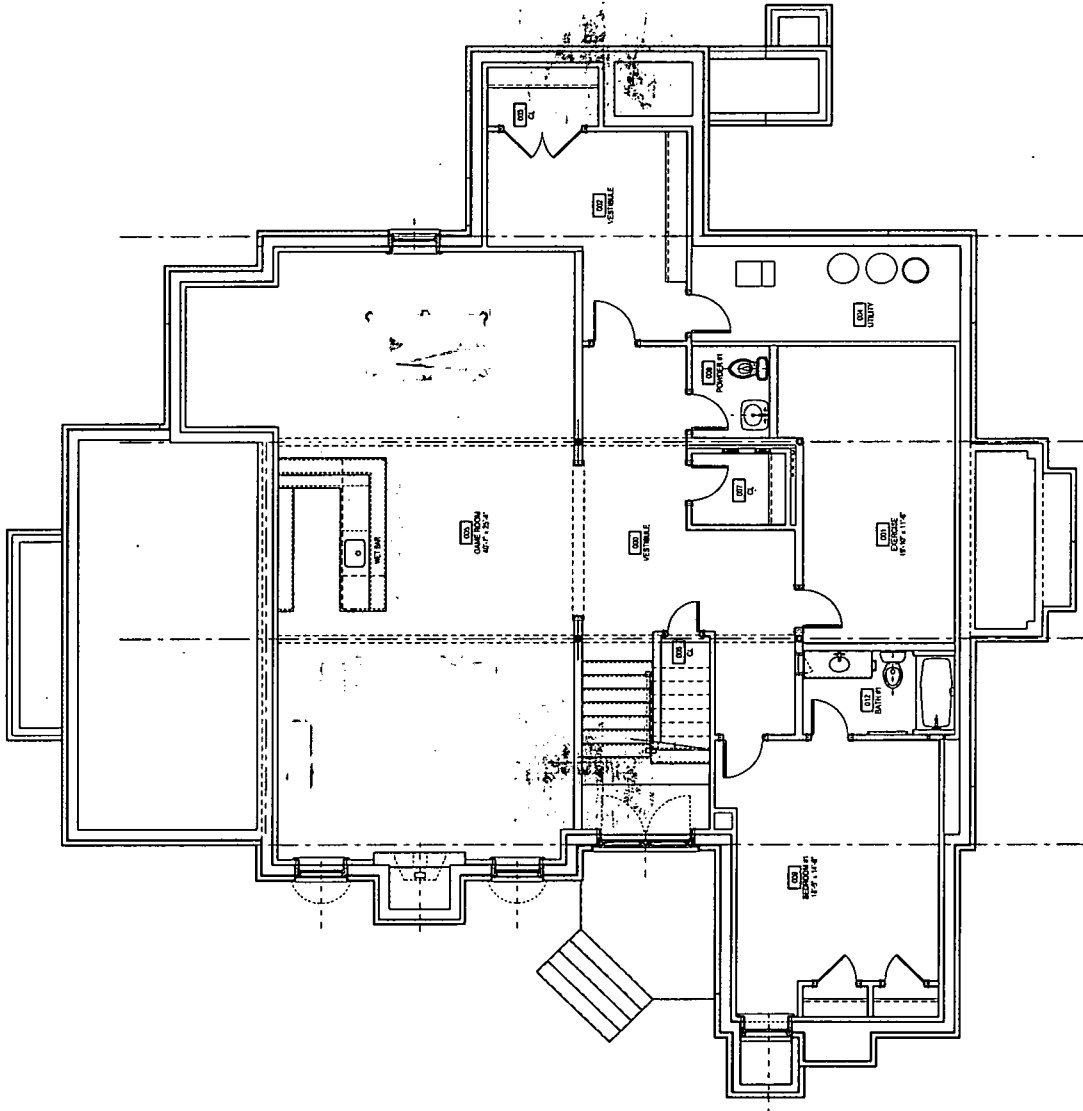
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*revised*

A-5



GTM ARCHITECTS

BASEMENT PLAN

4 QUINCY STREET

4 QUINCY STREET, CHEVY CHASE, MD

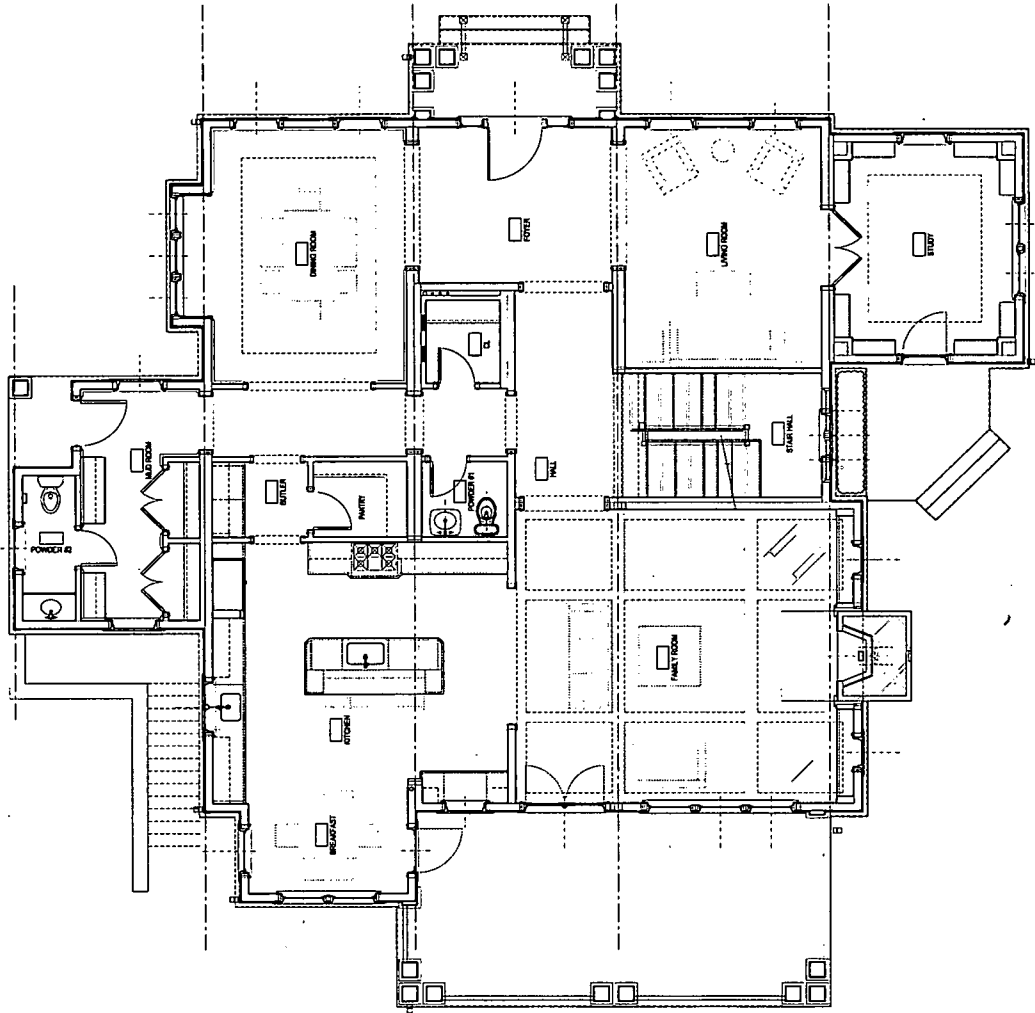
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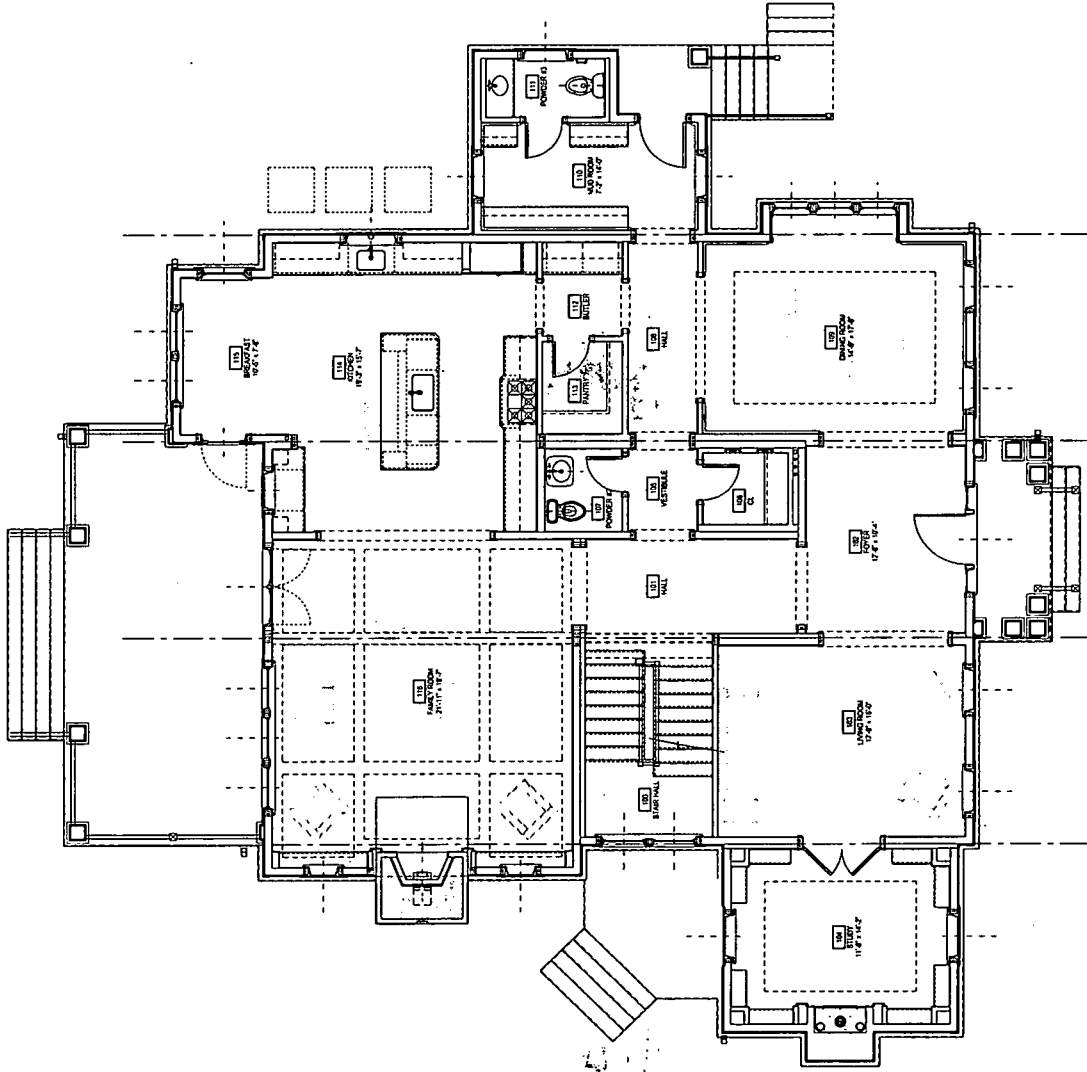




FIRST FLOOR PLAN

Approved

21  
~~15~~



*revised*

FIRST FLOOR PLAN

4 QUINCY STREET

4 QUINCY STREET, CHEVY CHASE, MD

04/12/10

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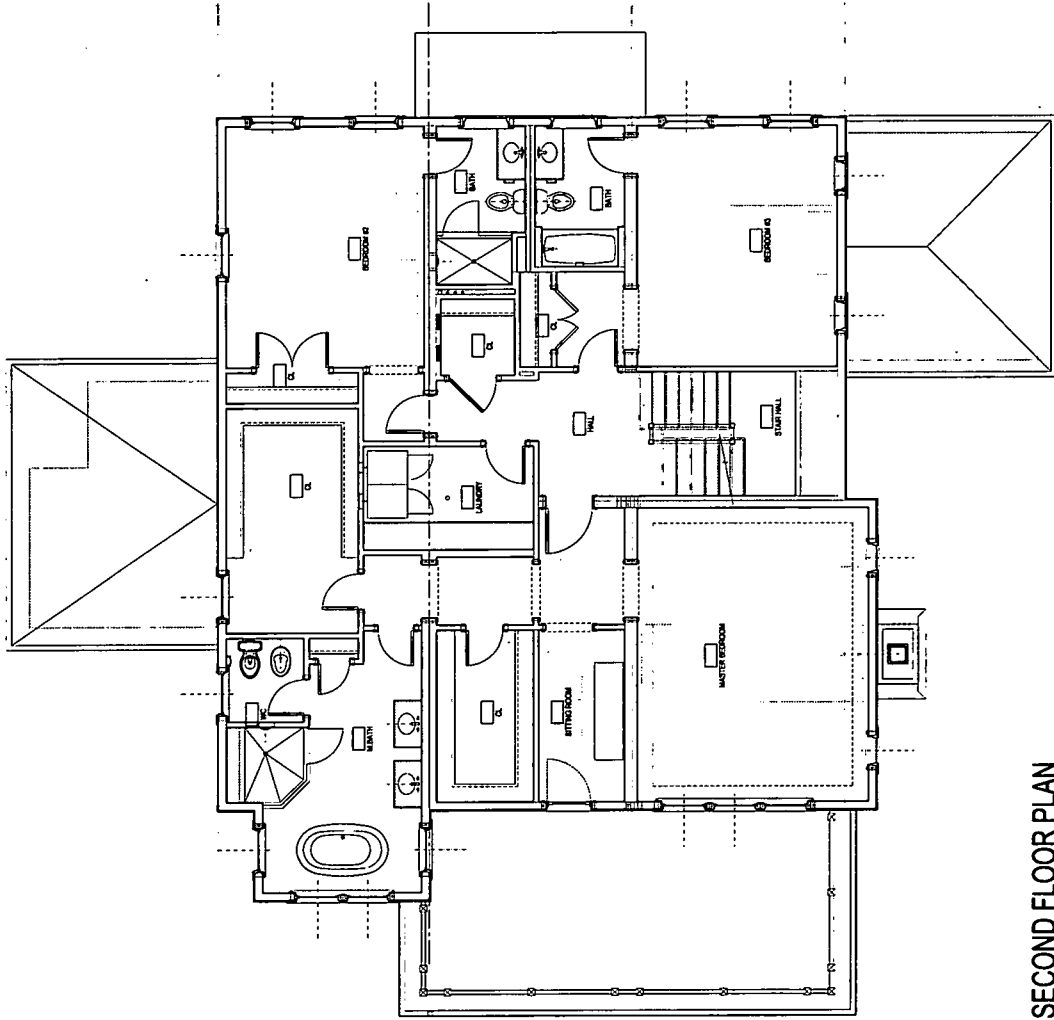
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G T M A R C H I T E C T S



A-6

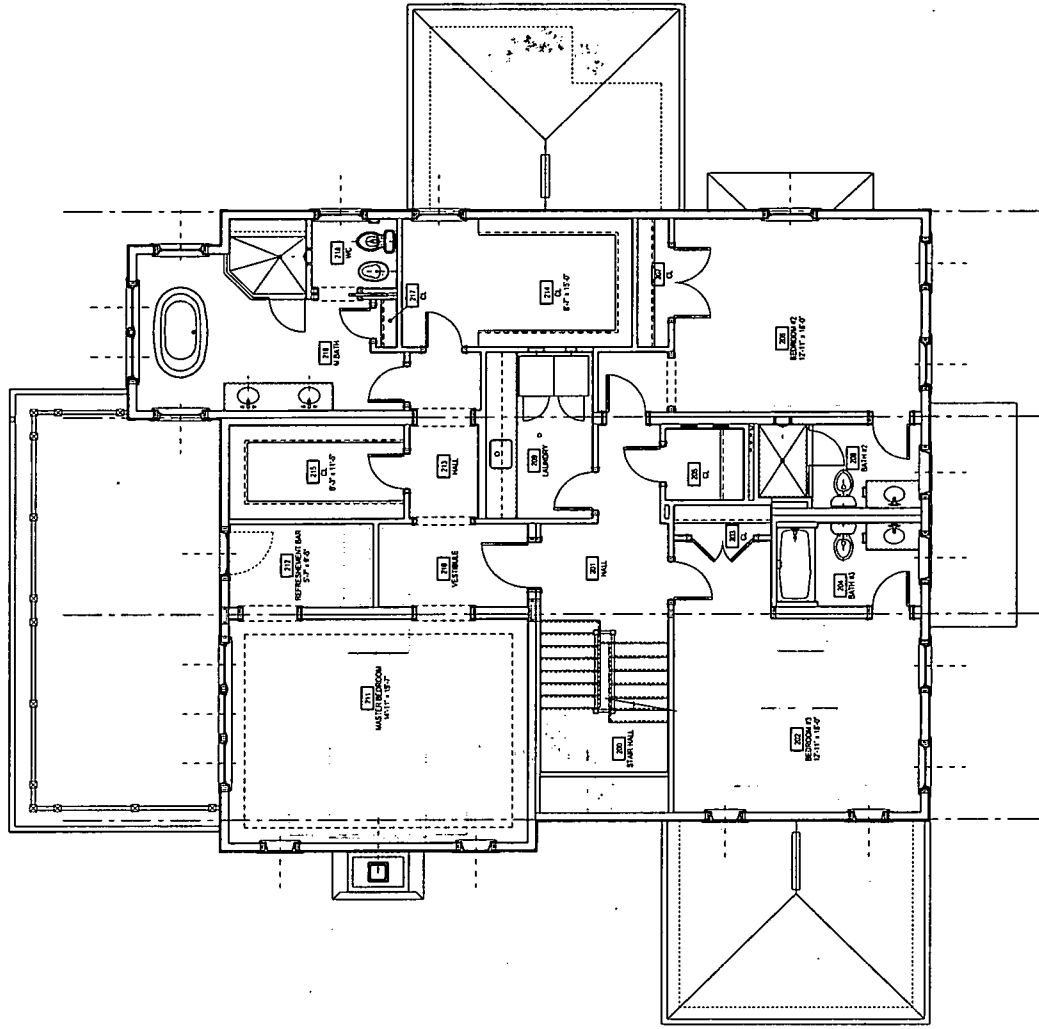
13



SECOND FLOOR PLAN

*Approved*

~~16~~ 14



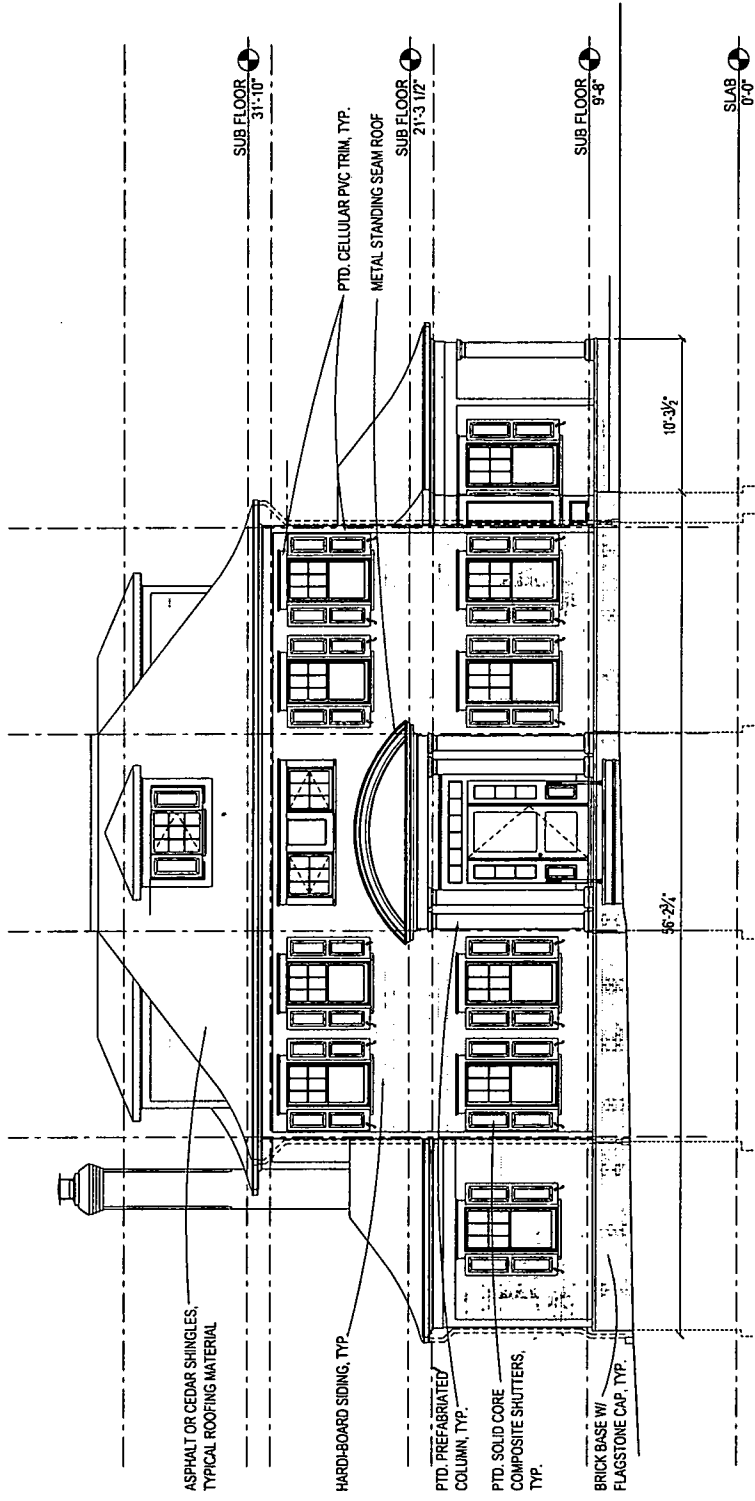
*revised*

A-7



SECOND FLOOR PLAN  
**4 QUINCY STREET**  
 4 QUINCY STREET, CHEVY CHASE, MD 04/12/10  
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 GTM ARCHITECTS

15



FRONT ELEVATION

*Approved*

A-2



4 QUINCY STREET

4 QUINCY STREET, CHEVY CHASE, MD 07/21/09

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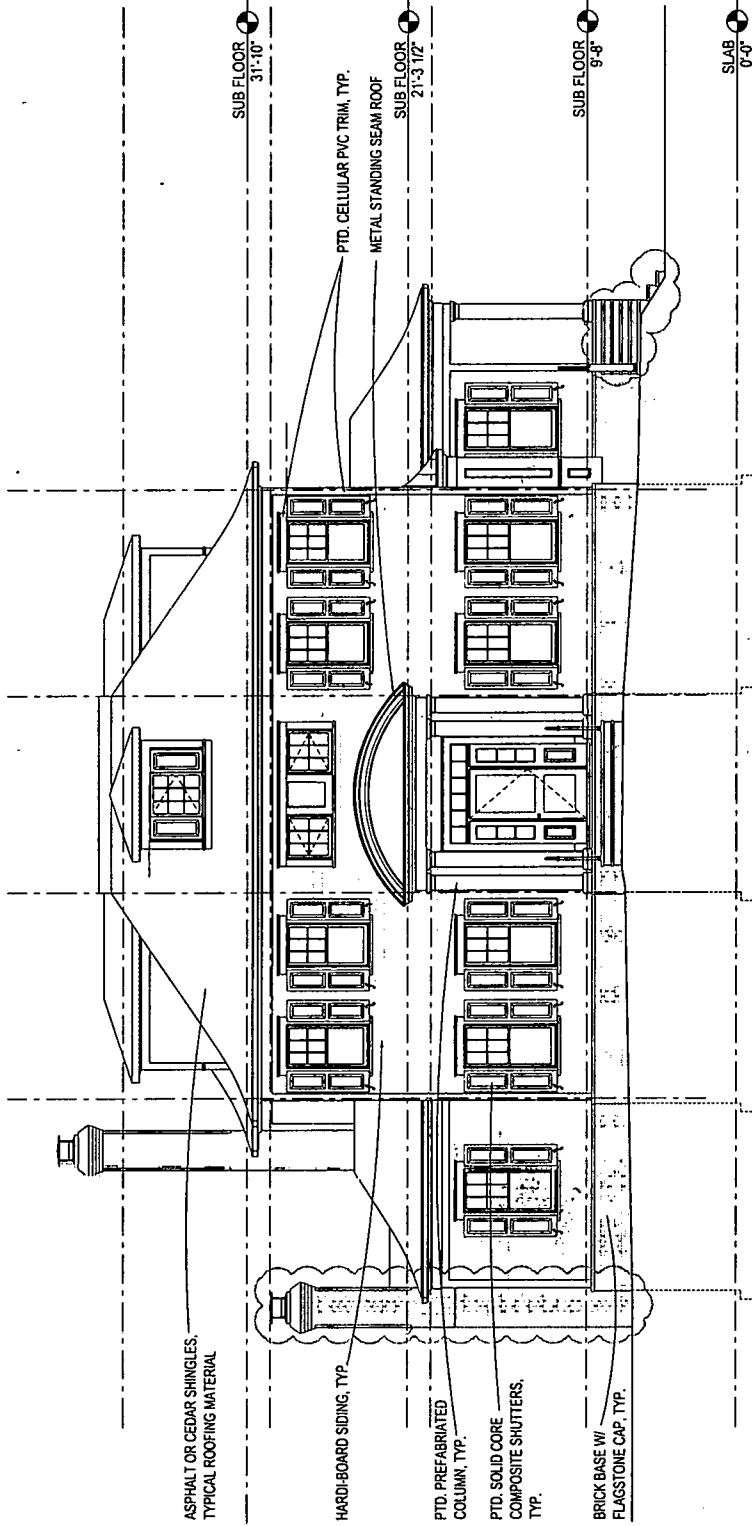
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16



GTM ARCHITECTS

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FRONT ELEVATION

*Revised*

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4 QUINCY STREET

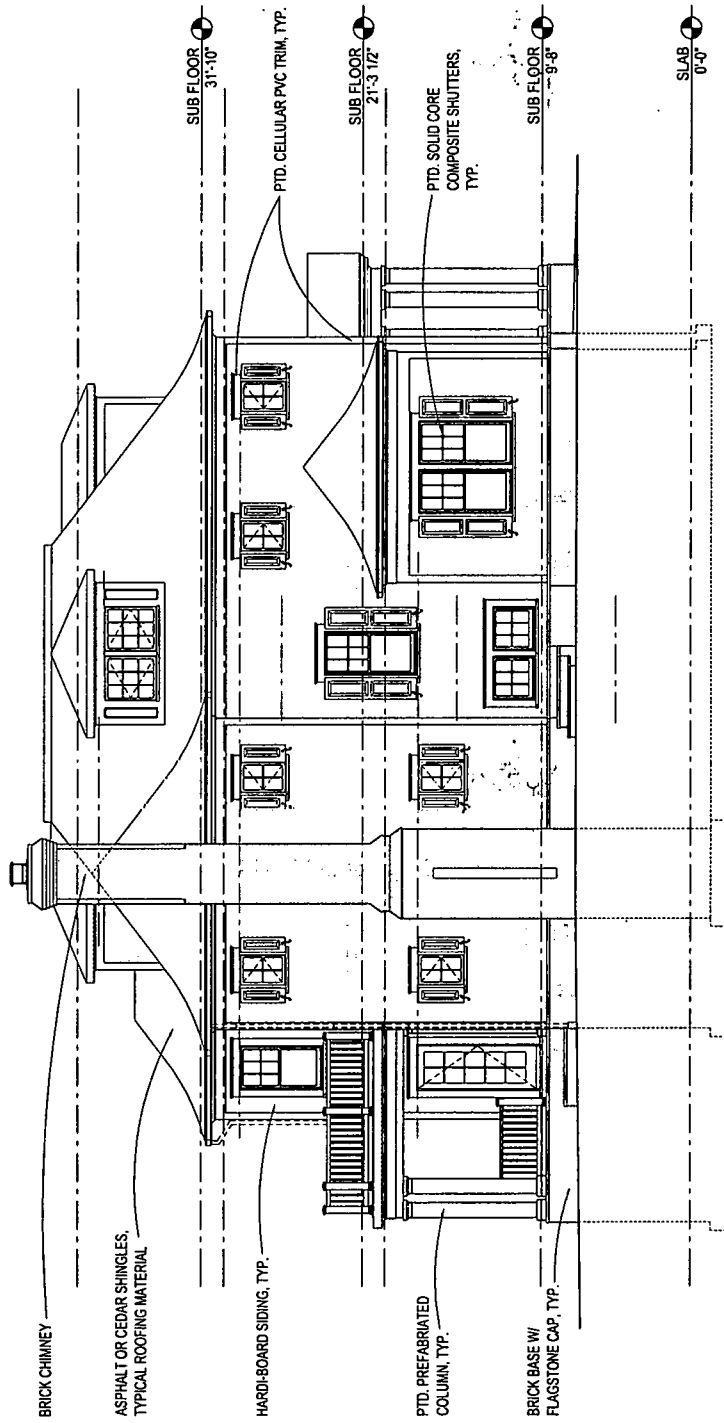
04/9/10

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4 QUINCY STREET, CHEVY CHASE, MD

17





LEFT ELEVATION

*Approved*

A-5



4 QUINCY STREET

4 QUINCY STREET, CHEVY CHASE, MD 072109

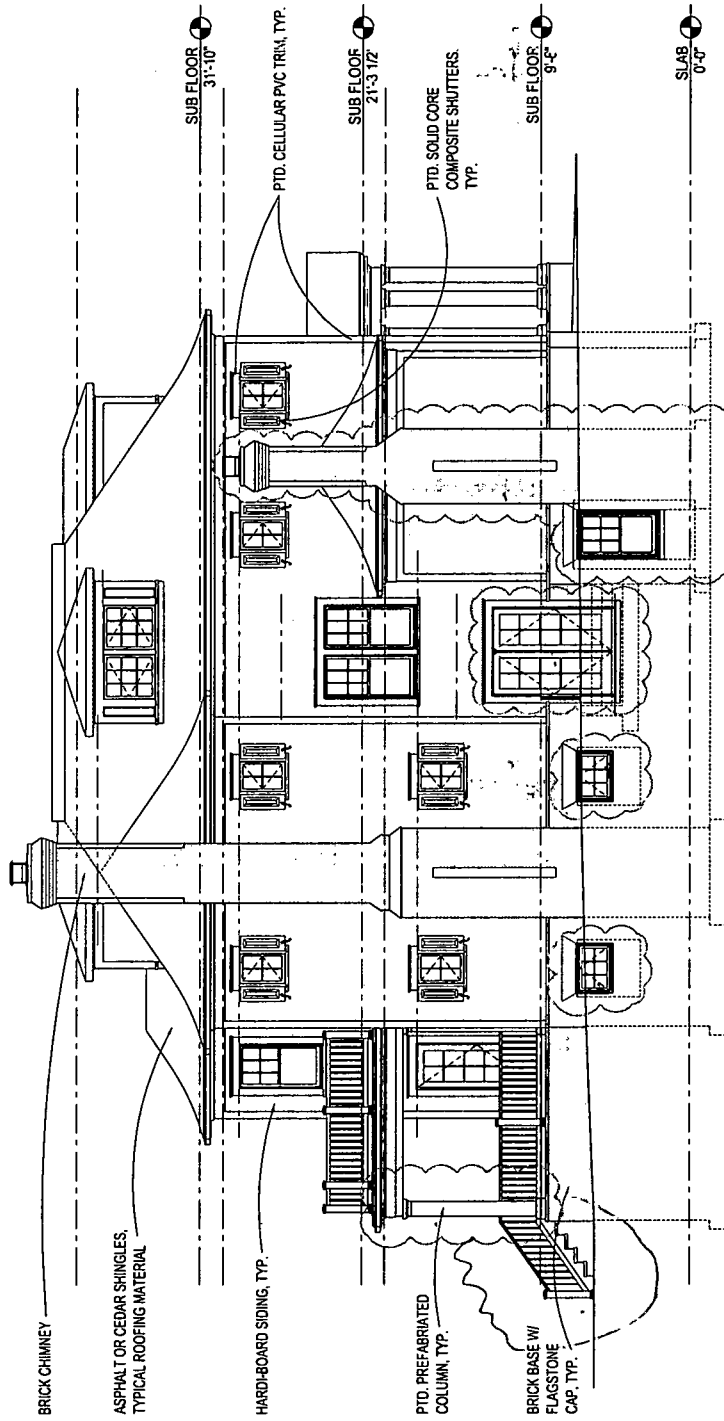
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13



LEFT ELEVATION

*revised*

A-4



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DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

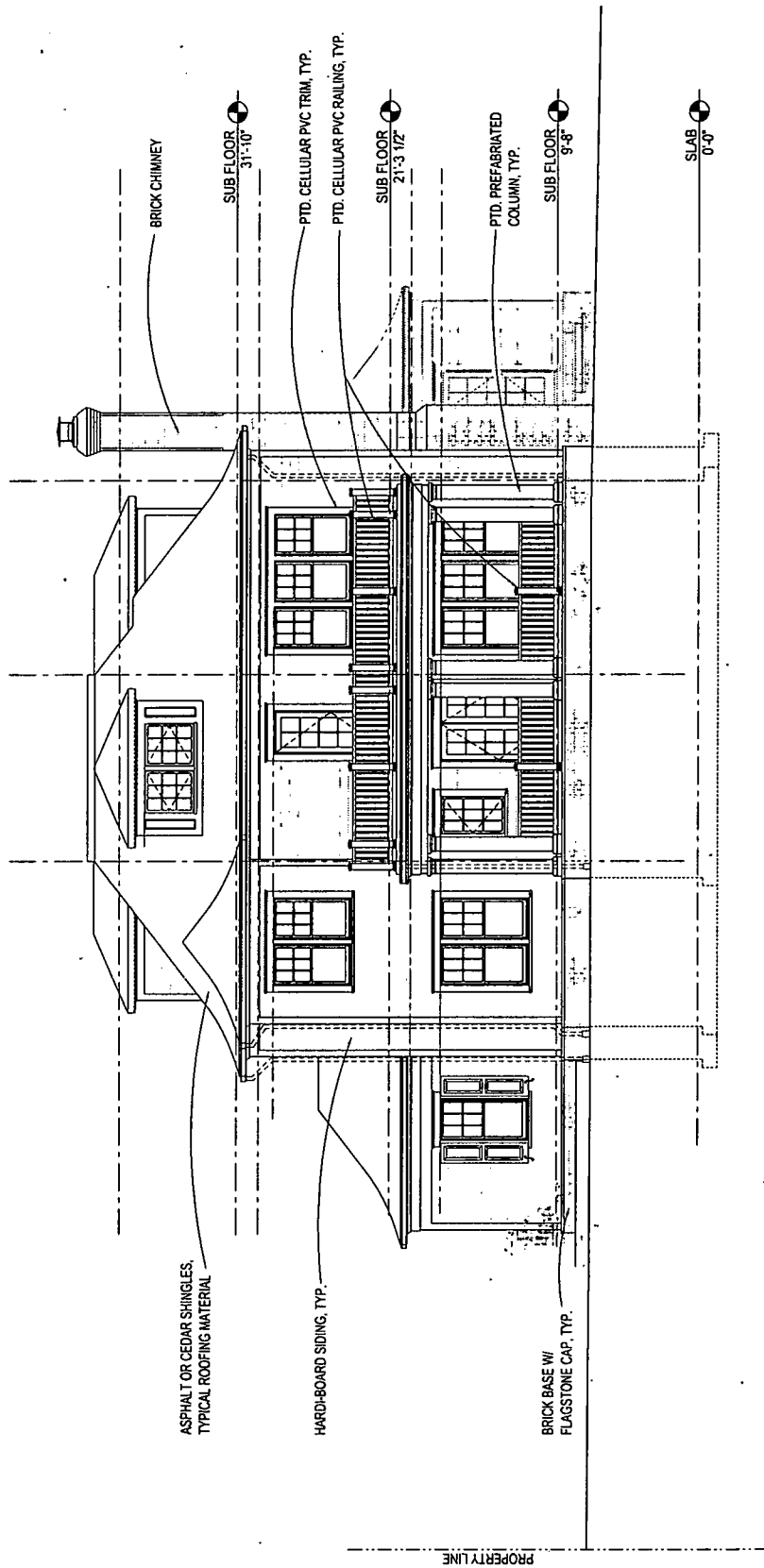
4 QUINCY STREET

4 QUINCY STREET, CHEVY CHASE, MD

04/9/10

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REAR ELEVATION

*Approved*

A-4



4 QUINCY STREET

4 QUINCY STREET, CHEVY CHASE, MD

07/21/09

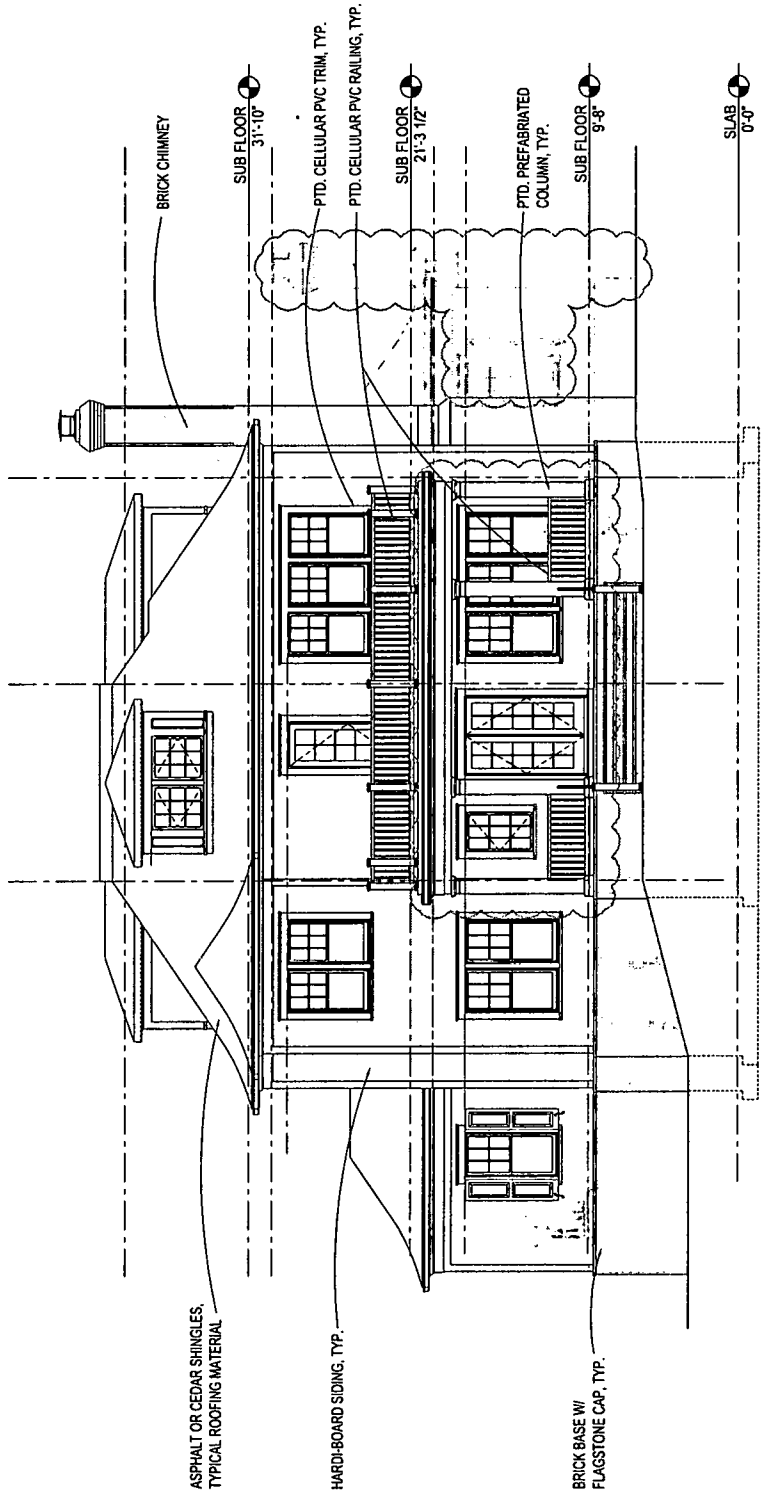
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20



REAR ELEVATION

*revised*

A-3



4 QUINCY STREET

4 QUINCY STREET, CHEVY CHASE, MD

04/9/10

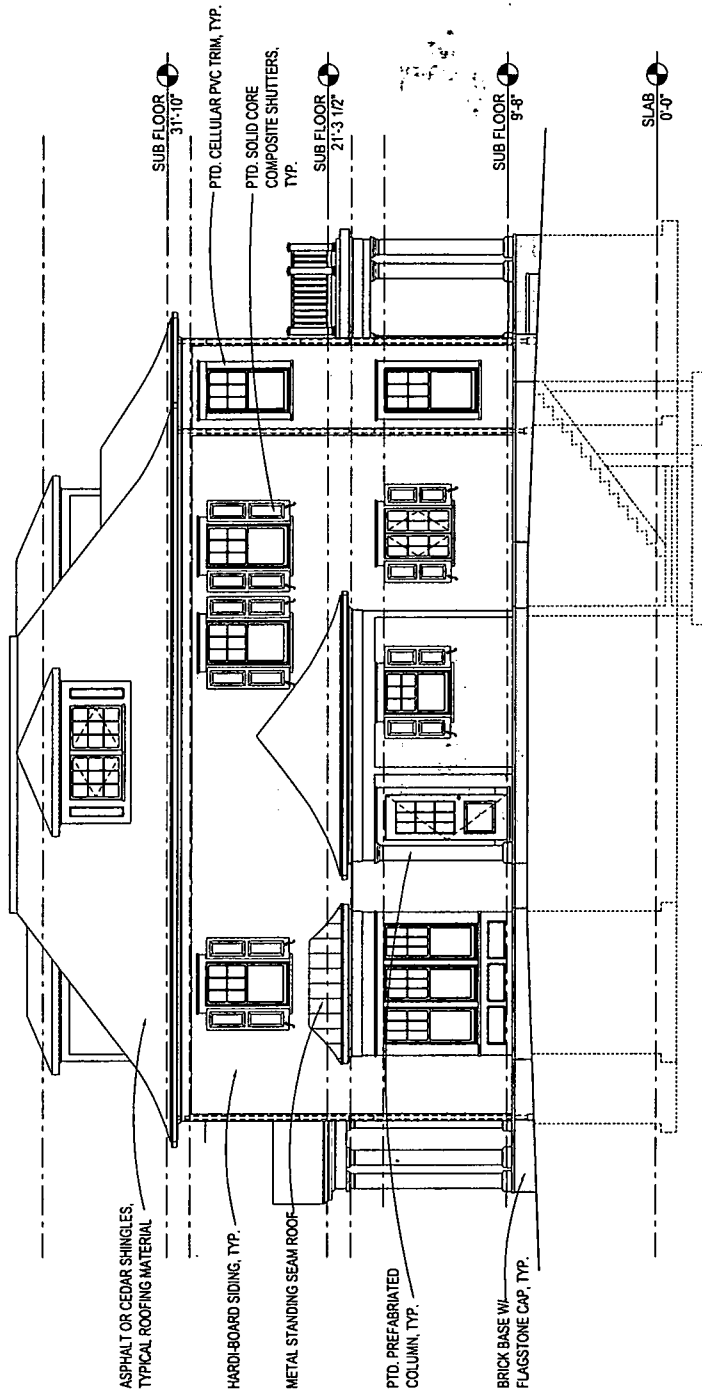
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12



RIGHT ELEVATION

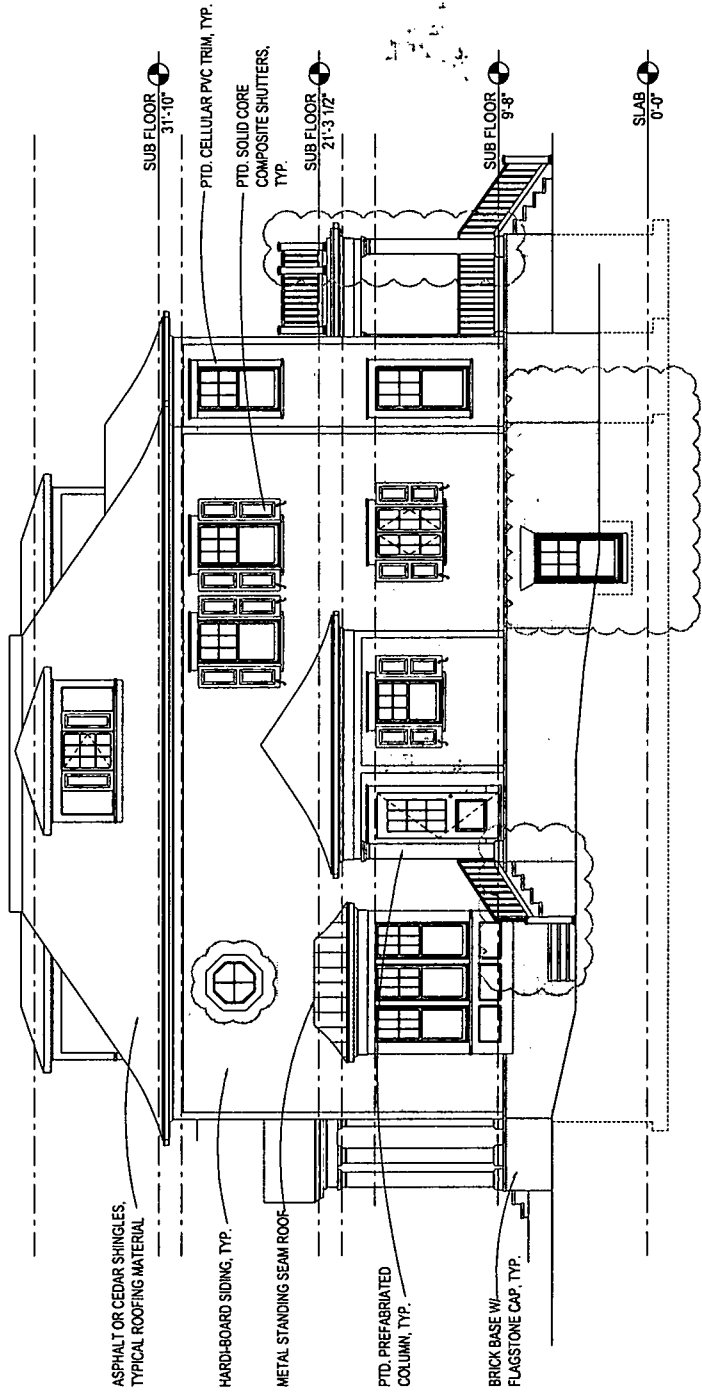
*Approved*

A-3



\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

22



RIGHT ELEVATION

*revised*

A-2



4 QUINCY STREET

4 QUINCY STREET, CHEVY CHASE, MD

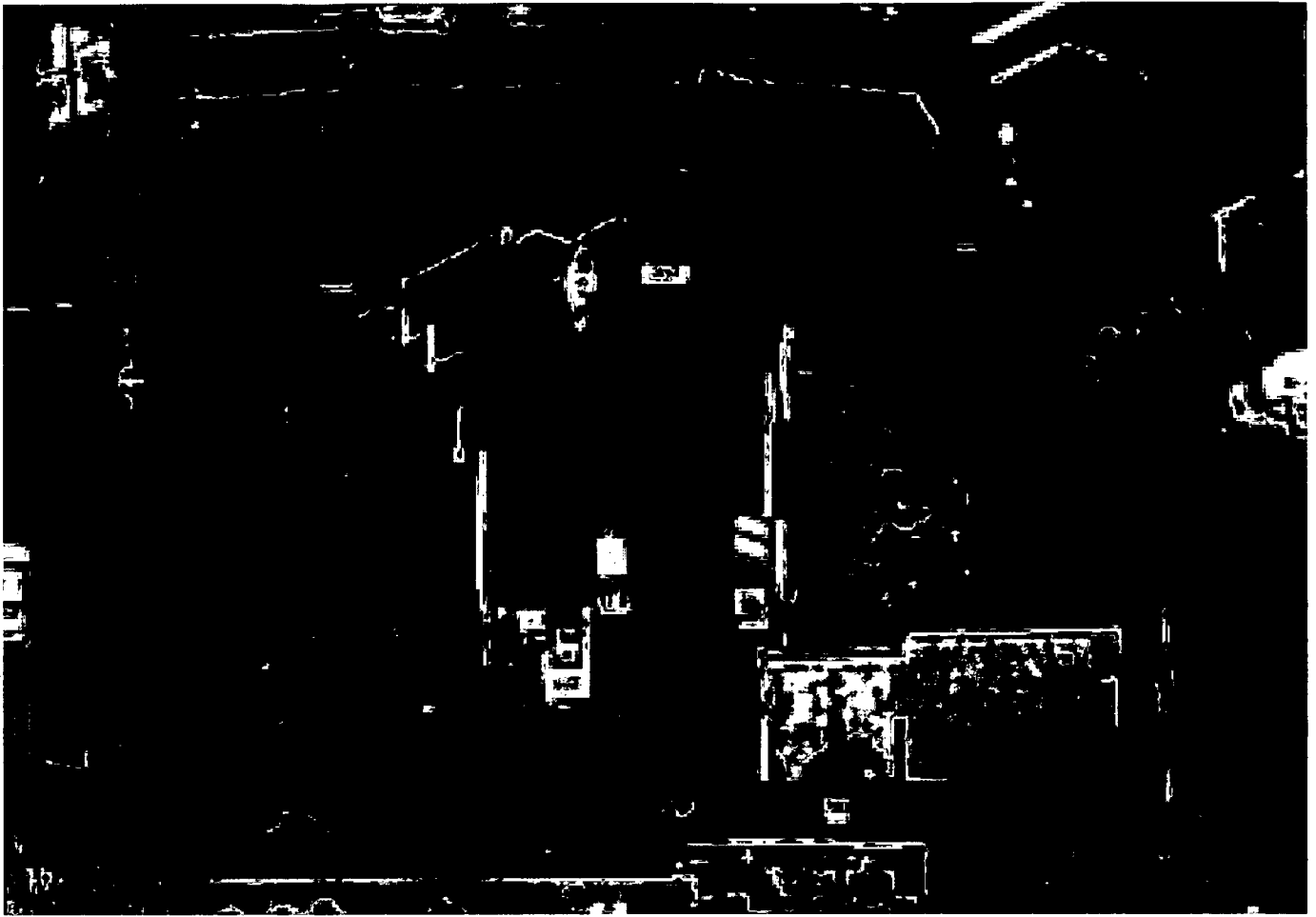
04/9/10

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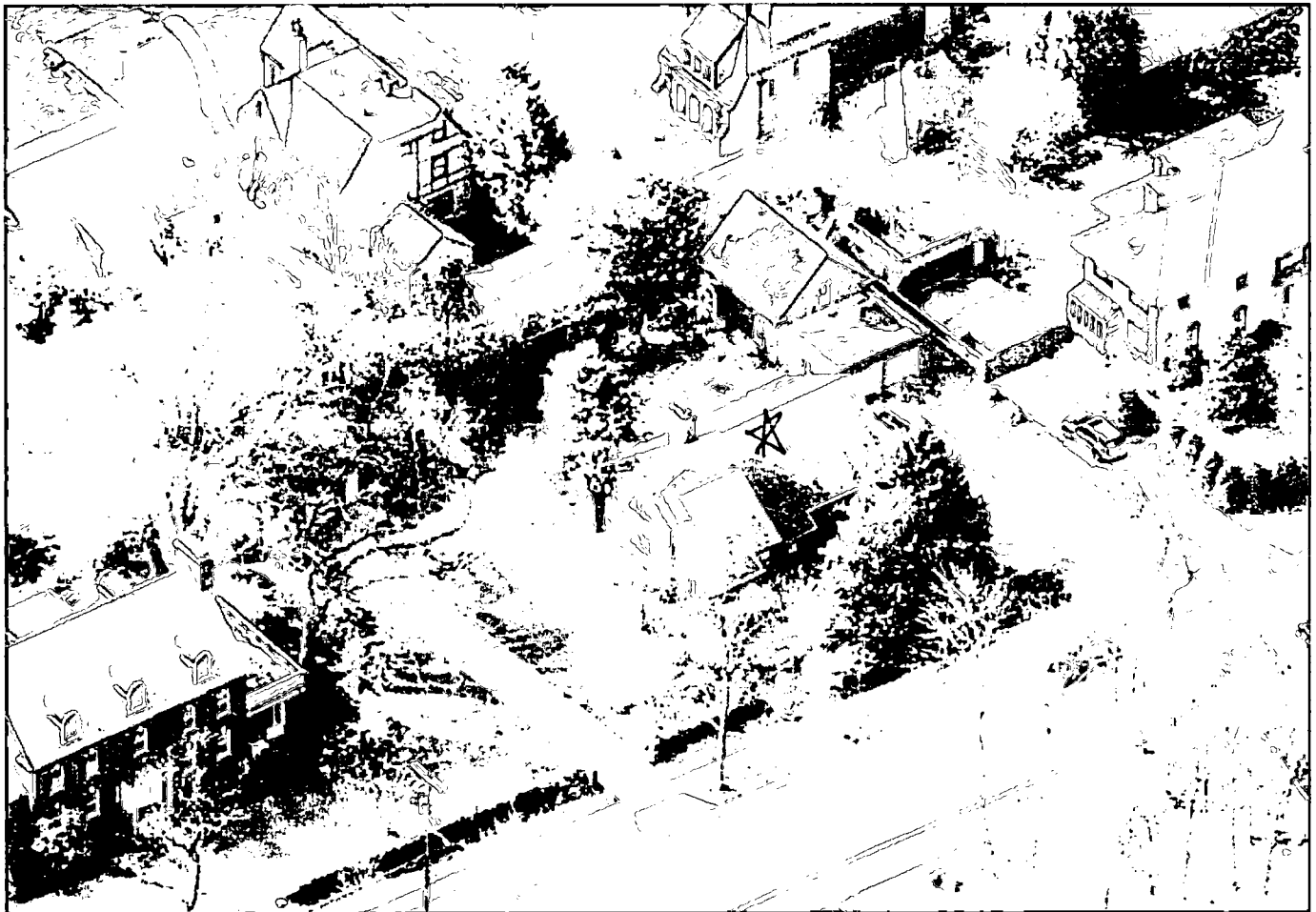
\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

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G T M A R C H I T E C T S



24  
~~46~~



25  
87



**Fothergill, Anne**

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**Subject:** FW: 4 Quincy - Revised Elevations

---

**From:** Eric Ross [mailto:[eross@sandyspringbuilders.com](mailto:eross@sandyspringbuilders.com)]  
**Sent:** Monday, April 19, 2010 3:02 PM  
**To:** Fothergill, Anne  
**Cc:** Mark Kaufman; John York  
**Subject:** RE: 4 Quincy - Revised Elevations

Anne,

The following should describe in detail the minor changes that we have made to the plans for 4 Quincy since they were approved by the HPC and for which we request the HPC approve:

First, I want to point out that the size, height and setback of the house remains as submitted and approved by the HPC. The two items you will notice that are now visible from the street are (i) the additional masonry fireplace on the left side of the house and (ii) the stairs to access the mud room porch from the driveway.

The masonry chimney is added because we've added a fireplace in the study. The stairs on the side of the house at the mud room are now visible because we've incorporated the actual grade to reflect the storm water management and drainage plan required by the county and the stairs are required in order for the to meet the grade.

Regarding the other window/door changes, we have:

- Deleted the areaway and steps down to basement on the garage side of the house (right elevation)
- Replaced a double hung window with octagon window on the 2<sup>nd</sup> floor (right elevation)
- Adjusted stairs from rear porch to grade at rear of house (rear elevation)
- Deleted the patio and doors off of the Study (rear and left elevation)
- Replaced a double basement window with french doors (left elevation). Basically, we will access the basement at grade from this side of the house rather than from the areaway on the right side of the house.

Please let me know if there is anything else you will need or find helpful.

Eric

Eric Ross  
*Sandy Spring Classic Homes*  
4302 East West Highway  
Bethesda, MD 20814  
301-718-0414 x 102  
240-743-8323(c)  
[eross@sandyspringbuilders.com](mailto:eross@sandyspringbuilders.com) (email)  
[www.sandyspringclassichomes.com](http://www.sandyspringclassichomes.com) (website)  
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## Fothergill, Anne

---

**From:** Fothergill, Anne  
**Sent:** Monday, April 12, 2010 11:31 AM  
**To:** 'Eric Ross'; mkaufman@gtmarchitects.com  
**Subject:** RE: 4 Quincy - Revised Elevations

Yes, it is technically what we need and you are on the 4/28 agenda. However, I would recommend providing more of an explanation about the grading change and any informative and helpful visuals so the HPC can understand how the house will appear with these changes. You also can send an email to the HPC (via me) explaining the proposed changes if you don't have supplemental visuals. If A-1a (height comparison) has not changed, I would recommend stating that in your email.

thanks,  
Anne

**From:** Eric Ross [mailto:eross@sandyspringbuilders.com]  
**Sent:** Monday, April 12, 2010 11:20 AM  
**To:** mkaufman@gtmarchitects.com; Fothergill, Anne  
**Subject:** Re: 4 Quincy - Revised Elevations

Anne,  
is this everything you need to put us on the 4/28 agenda?

---

**From:** Mark Kaufman  
**To:** Fothergill, Anne ; Eric Ross  
**Sent:** Mon Apr 12 11:07:27 2010  
**Subject:** RE: 4 Quincy - Revised Elevations  
Anne,

Please see the attached PDF. We don't have a 3d model to submit, so hopefully the elevations are clear enough. Please let me know if you need any other drawings.

Thank you,  
Mark

-----Original Message-----

**From:** Fothergill, Anne [mailto:Anne.Fothergill@mncppc-mc.org]  
**Sent:** Monday, April 12, 2010 9:41 AM  
**To:** Eric Ross  
**Cc:** Mark Kaufman  
**Subject:** RE: 4 Quincy - Revised Elevations

I noted in my previous emails that we needed to see the proposed changes to evaluate whether a change can be done as a staff item or not. My supervisor has determined that this constitutes a revision to your approved plans. The good news is we are finalizing the April 28<sup>th</sup> HPC agenda today so if you can get me the new floor plans and site plan today it can be on that agenda. Otherwise it will be on the May 12<sup>th</sup> agenda. We would recommend submitting the height comparison A-1a again (to show that it has not changed) and some sort of perspective rendering for the HPC because we anticipate there will be concerns about how much more of the basement is visible than what was shown in the original, approved plans. Please don't forget that any revisions need to go to Chevy Chase Village as well.

thanks, Anne

---

**From:** Eric Ross [mailto:eross@sandyspringbuilders.com]  
**Sent:** Monday, April 12, 2010 8:36 AM  
**To:** Fothergill, Anne  
**Cc:** mkaufman@gtmarchitects.com; jcyjr@msn.com  
**Subject:** Re: 4 Quincy - Revised Elevations

Hi Anne,

I am copying Mark Kauffman of GTM so he can respond too. Height of the house hasn't changed. We just now have a final grading plan. With the exception of the chimney I really do think the changes were a window here or a window there on the sides and rear (not the front). I am in PA today. Can we talk later?.

---

**From:** Fothergill, Anne  
**To:** Eric Ross  
**Sent:** Mon Apr 12 08:25:04 2010  
**Subject:** RE: 4 Quincy - Revised Elevations  
Hi Eric,

Looking at these revised plans, there may be too many changes to be done at the staff level. You had originally emailed that the changes were a new chimney and one window change on each side. I will talk to my supervisor and get back to you about whether this needs to be a revision on the agenda. One main thing I notice is that the house is now popping out of the ground more than before on the sides and in the back. For example, the mud room now has many steps to grade and originally it had none. What happened? And how does this affect the overall height in terms of adjacent houses? I am attaching the original plans for comparison.

thanks,  
Anne

---

**From:** Eric Ross [mailto:eross@sandyspringbuilders.com]  
**Sent:** Friday, April 09, 2010 4:01 PM  
**To:** Fothergill, Anne  
**Cc:** John York  
**Subject:** RE: 4 Quincy - Revised Elevations

Hi Anne,

Here are the revised elevations for 4 Quincy. GTM has put "bubbles" around the areas that changed from the plans that HPC approved. The changes are:

- Added masonry chimney for new fireplace in Study (left elevation)
- Added stairs to meet grade from mudroom (right elevation)
- Deleted areaway and steps down to basement (right elevation)
- Replaced double hung window with octagon window on 2<sup>nd</sup> floor (right elevation)
- Adjusted stairs from rear porch to grade (rear elevation)
- Deleted patio and doors off of Study (rear and left elevation)
- Replaced window with french door at stairs and basement windows (left elevation)

Please let me know if there is anything else you need.

THANKS

Eric

Eric Ross  
*Sandy Spring Classic Homes*  
**4302 East West Highway**  
**Bethesda, MD 20814**  
301-718-0414 x 102  
240-743-8323(c)  
[eross@sandyspringbuilders.com](mailto:eross@sandyspringbuilders.com) (email)  
[www.sandyspringclassichomes.com](http://www.sandyspringclassichomes.com) (website)  
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**From:** Fothergill, Anne [mailto:Anne.Fothergill@mncppc-mc.org]  
**Sent:** Friday, April 09, 2010 11:22 AM  
**To:** Eric Ross  
**Subject:** RE: 4 Quincy - Revised Elevations

Sounds good and yes. Please include a written description of what was approved and what changes you are proposing to go with the elevations.


Thanks, Anne

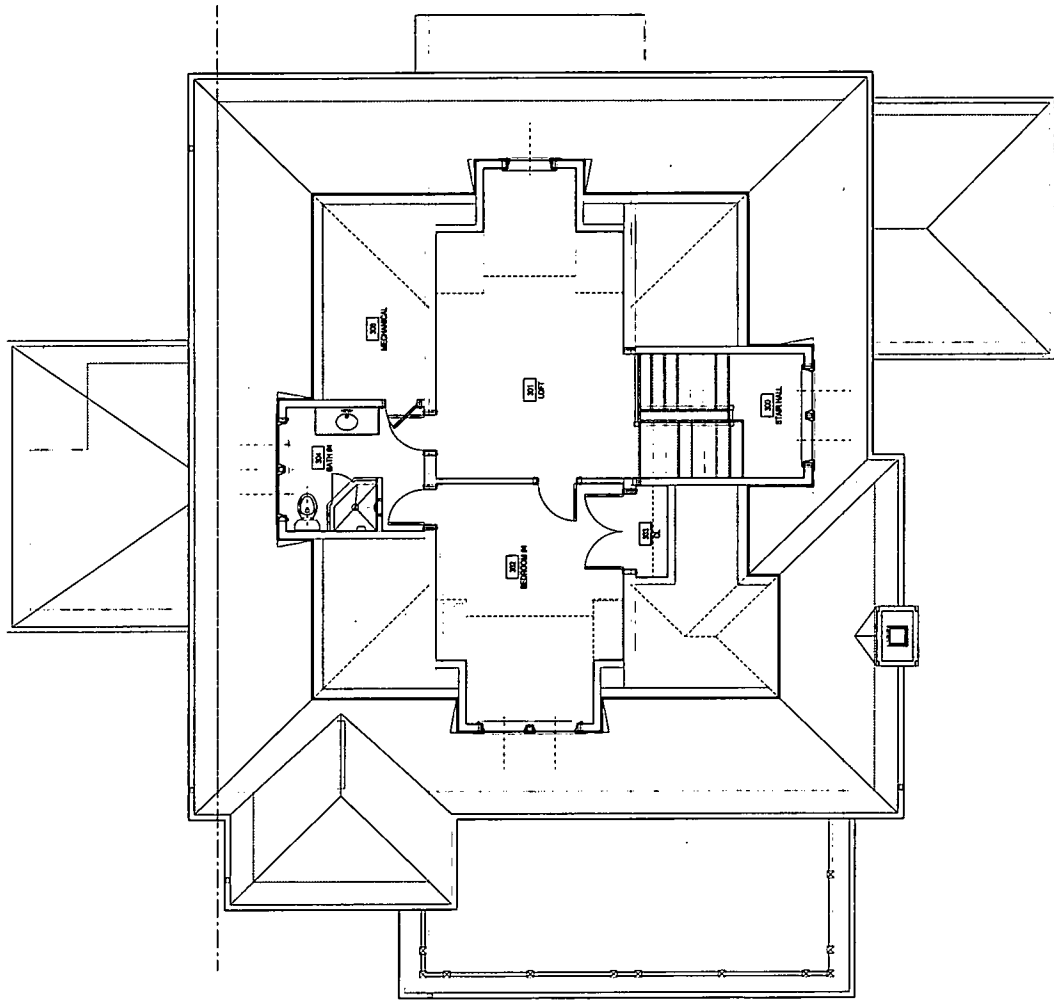
**From:** Eric Ross [mailto:eross@sandyspringbuilders.com]  
**Sent:** Friday, April 09, 2010 10:45 AM  
**To:** Fothergill, Anne  
**Cc:** John York  
**Subject:** 4 Quincy - Revised Elevations

Hi Anne – hoping to have the revised elevations for 4 Quincy to you this afternoon. Is your meeting for 4/14 still on?

THANKS

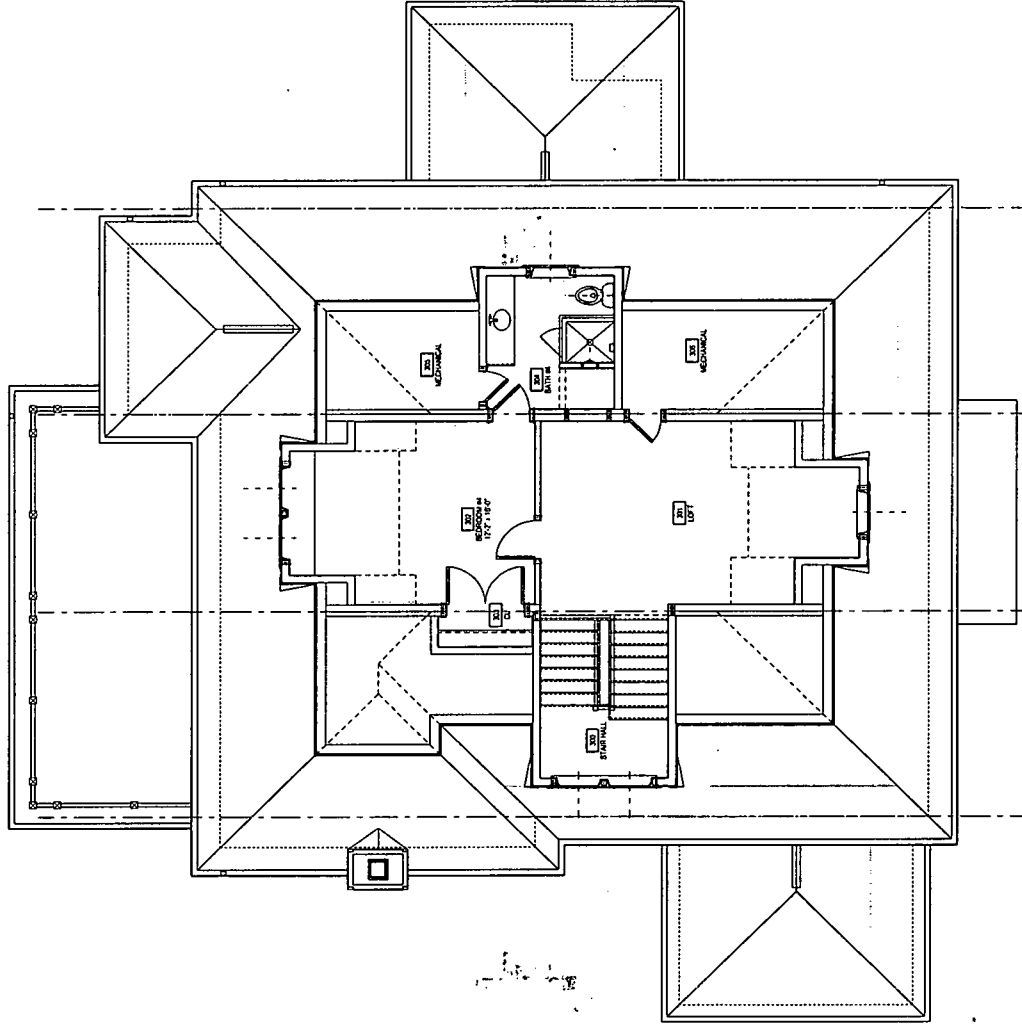
Eric Ross  
*Sandy Spring Classic Homes*  
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**Bethesda, MD 20814**  
301-718-0414 x 102  
240-743-8323(c)  
[eross@sandyspringbuilders.com](mailto:eross@sandyspringbuilders.com) (email)  
[www.sandyspringclassichomes.com](http://www.sandyspringclassichomes.com) (website)  
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THIRD FLOOR PLAN

Approved



A-8



**4 QUINCY STREET**

4 QUINCY STREET, CHEVY CHASE, MD

04/12/10

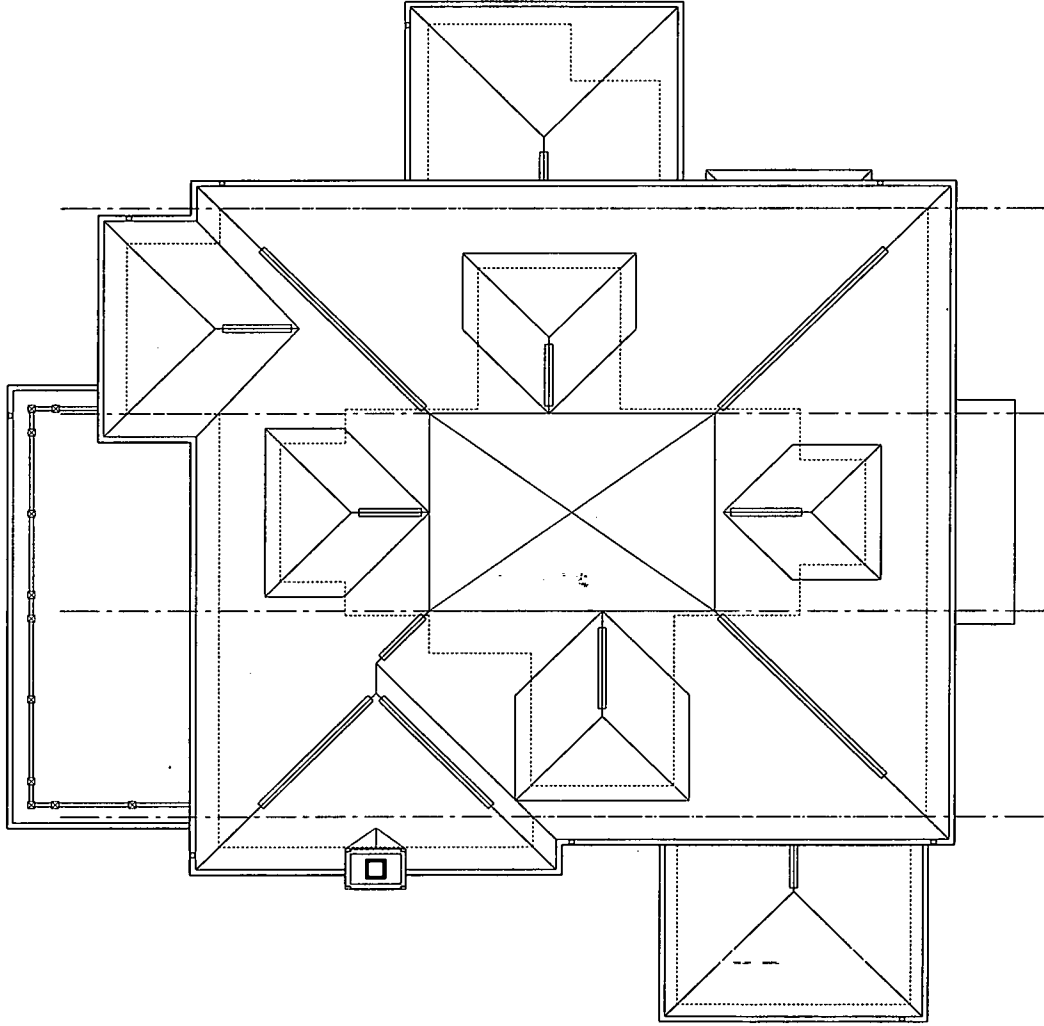
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THIRD FLOOR PLAN



A-9



ROOF PLAN

4 QUINCY STREET

\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

G T M A R C H I T E C T S

4 QUINCY STREET, CHEVY CHASE, MD

04/12/10

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## HISTORIC PRESERVATION COMMISSION

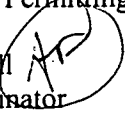
Isiah Leggett  
County Executive

David Rotenstein  
Chairperson

Date: 12/15/09

### MEMORANDUM

TO: Carla Reid, Director  
Department of Permitting Services

FROM: Anne Fothergill   
Planner Coordinator  
Historic Preservation Section-Planning Department  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #515307 for house demolition and new construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with conditions** at the August 12, 2009 HPC meeting. The conditions of approval are:

1. The tree protection plan will be in place prior to demolition and construction.
2. The new fencing will be wood, not vinyl.
3. The applicants will place three replacement trees.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Georgetown Capital Partners  
Address: 4 Quincy Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [anne.fothergill@mncppc-mc.org](mailto:anne.fothergill@mncppc-mc.org) to schedule a follow-up site visit.







RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE 2nd FLOOR ROCKVILLE MD 20850  
240/777 6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR**  
**HISTORIC AREA WORK PERMIT**

Contact Person: Eric Ross  
Daytime Phone No.: 301-913-5995 x 115

Tax Account No.: 00454388

Name of Property Owner: Georgetown Capital Partners (contract purch) Daytime Phone No.: 202-244-5090

Address: 5100 Wisconsin Avenue, Suite 514 Washington, DC 20016  
Street Number City Street Zip Code

Contractor: Sandy Spring Builders Phone No.: 301-913-5995 x 115

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: Eric Ross Daytime Phone No.: 301-913-5995 x 115

**LOCATION OF BUILDING/PREMISE**

House Number: 4 Street: Quincy  
Town/City: Chevy Chase Nearest Cross Street: Connecticut  
Lot: 28 Block: 58 Subdivision: 9  
Liber: 15947 Folio: 583 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- |   |                                  |  |  |   |  |   |  |                               |
|---|----------------------------------|--|--|---|--|---|--|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend  | <input type="checkbox"/> Alter/Renovate        | <input checked="" type="checkbox"/> A/C                  | <input type="checkbox"/> Slab                 | <input type="checkbox"/> Room Addition     | <input checked="" type="checkbox"/> Porch         | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Install | <input checked="" type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar                           | <input checked="" type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family |  |                               |
| <input type="checkbox"/> Revision             | <input type="checkbox"/> Repair  | <input type="checkbox"/> Revocable             | <input type="checkbox"/> Fence/Wall (complete Section 4) |   | <input type="checkbox"/> Other: _____      |   |  |                               |

1B. Construction cost estimate: \$ 1,500,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

- 2A. Type of sewage disposal: 01  WSSC      02  Septic      03  Other: \_\_\_\_\_
- 2B. Type of water supply: 01  WSSC      02  Well      03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line       Entirely on land of owner       On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent  
Eric Ross  
Date: 1-3-09

Approved: 1 with 3 conditions For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 12/15/09  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The current home is a two story brick "contemporary" (built in 1975) and is designated as a "non-contributing structure" in the historic district of Chevy Chase Village. The house is vacant, run down, and has no architectural or historical significance. There is a 1-1/2 story detached 2 car garage which appears to be at least 80 years old. The intent would be to repair and update this detached 2 car garage provided that it is deemed to be structurally sound.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

As shown on the attached site plan and elevation, the proposed new construction is intended to blend seamlessly into the existing neighborhood in terms of design, scale, and building materials.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Originals

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	4 Quincy Street, Chevy Chase	<b>Meeting Date:</b>	8/12/09
<b>Resource:</b>	Non-Contributing Resource, Chevy Chase Village Historic District	<b>Report Date:</b>	8/05/09
<b>Applicant:</b>	Georgetown Capital Partners (Eric Ross, Agent)	<b>Public Notice:</b>	7/29/09
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/13-09P	<b>Staff:</b>	Anne Fothergill

**PROPOSAL:** Demolition of house, construction of new house, alterations to garage, tree removal, fencing installation, and hardscape alterations

**STAFF RECOMMENDATION**

Staff recommends that the HPC approve the HAWP application with three conditions:

1. The tree protection plan will be in place prior to demolition and construction.
2. The new fencing will be wood, not vinyl.
3. The applicants will plant three replacement trees.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Modern  
**DATE:** 1977

**BACKGROUND**

The applicants came to the HPC for a Preliminary Consultation in June 2009 and the HPC supported demolition of the house, the proposed new house, and alterations to the garage. The draft transcript is in Circles 27-40. The staff report for the Preliminary Consultation is in Circles 41-62.

**PROPOSAL**

The applicants are proposing to demolish the existing house, built in 1975. The applicants propose to construct a 2 ½ story house. The house will have a covered front portico and a covered right side entry off the driveway. The house will have four dormers and two small rooms extending off each side. At the rear of the house is a one-story covered porch with a deck on the roof above. The proposed materials are cement fiber board siding, synthetic trim, solid core composite shutters, vinyl-clad wood windows, wood doors, brick foundation, asphalt or cedar shingle roof, and brick chimney.

The applicants propose to remove the front section (later addition) of the garage. They will install new wood garage doors and new windows and doors in the garage. The existing asphalt driveway will be extended to the smaller garage. They also propose to remove three trees, transplant one tree, and plant three replacement trees. There will be a flagstone patio and walkways behind the house and 4' tall synthetic picket fencing across the front of house aligned with the adjacent house.

The Chevy Chase Village office has reviewed and preliminarily approved this application including the tree removal and tree protection plan. The applicants will continue to work with the Village arborist as the project progresses. The house demolition requires a special permit and that will be reviewed by the Village Board in September 2009.

### **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

#### ***Chevy Chase Village Historic District***

Basic policies stated in the *Guidelines* include:

1. Preserving the integrity of the proposed Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
3. Maintaining the variety of architectural styles and the tradition of architectural excellence.
4. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
5. Alterations to the portion of a property that are not visible from the public right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The Historic Preservation Ordinance directs the HPC to be lenient in its judgment of plans for structures in historic districts which are of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historical or architectural value of surrounding historic resources or would impair the character of the historic district.

The *Guidelines* define a Non-Contributing or Out-of-Period Resource as "A resource which does not directly contribute to the historicity of the district because of its lack of architectural and historical significance and/or because of major alterations that have eliminated most of the resource's original architectural integrity. Or a resource that is a newer building, which possibly contributes to the overall streetscape but is out of the district's primary historical and architectural context."

The *Guidelines* state:

Non-contributing/out-of-period resources are either buildings that are of little or no architectural and historical significance to the historic district or newer buildings constructed outside the district's primary period of historical importance. HAWP applications for exterior alterations, changes, and/or additions to these type of resources should receive the most lenient level of design review.

Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

Demolition of non-contributing/ out-of-period resources should be permitted. However, any new building should be reviewed under the guidelines for new construction that follow.

The goal of new construction within the proposed historic district is to be sympathetic to the traditional street and building patters in the district, while allowing for creative and new building designs. In addition to the approach of recalling earlier architectural styles in new buildings, it is appropriate for new structures to reflect and represent that period in which they are built. It is not

the intention of these guidelines to inhibit or exclude creative design solutions that may be developed for new buildings in the district. Unique designs, reflecting architectural excellence, which do not adhere strictly to traditional neighborhood practices, but are sensitive to and compatible with the fabric of the community, should be supported. The key considerations in reviewing new construction should be the two paramount principles identified above—fostering the Village’s shared commitment to evolving eclecticism while maintaining its open park-like character.

***Montgomery County Code; Chapter 24A-8:***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior’s Standards for Rehabilitation:***

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## STAFF DISCUSSION

The Chevy Chase Village *Guidelines* state that the demolition of a non-contributing/out-of-period resource should be permitted and that any new house will be reviewed by the HPC under the guidelines for new construction. The applicants came to the HPC for a Preliminary Consultation about their proposed demolition and new construction and the Commission overall was very supportive of the proposal.

At the Preliminary Consultation, the HPC asked the applicants to look into the front setback to ensure it was in compliance with zoning restrictions and to consider pushing it back to keep it in line with the other houses on the block. The application shows that the proposed new house is sited with the same front setback as the existing house, which they have determined is in compliance with zoning. The Commission also recommended the applicants be sensitive to the neighbors behind the house if the house was to be pushed further in that direction. While the house could be pushed a few feet further back in order to enlarge the front setback to be in line with the rest of the block, staff does not think it is necessary. Because of the large amount of spacing between the houses on this block as well as the existing vegetation, this house will not stand out as being far forward of the other houses.

The design of the new house is appropriate for this block and the historic district and will be more compatible than the existing house. Since the Preliminary Consultation, the main design change is the removal of the porte-cochere, which was encouraged by staff and the HPC. The new house is lower in height than the adjacent houses and its size will not be out of scale with the others on the block.

The HPC also discussed concern about impacts to the park-like character. Any proposed tree removal must be approved by the Village arborist and found to be in compliance with the Village Tree Ordinance and this proposed tree removal has been approved. The applicants have proposed one-for-one tree replacement and they have submitted a tree protection plan that will be implemented during demolition and construction.

The proposed materials are all allowable for new construction except the vinyl fencing, which is not supported in the historic district. Staff is recommending that the applicants change the material to wood.

## STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with three conditions** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



Montgomery County Planning Department  
Department of Historic Preservation  
1109 Spring Street  
Suite 801  
Silver Spring, MD 20910  
**Attention: Anne Fothergill**

July 22, 2009

Re: Application for Historic Area Work Permit  
4 Quincy Street, Chevy Chase

Dear Anne,

In support of the previously filed HAWP application for the above referenced property, attached please find the revised house plans from GTM Architects Incorporated. The plans include a proposed site plan, setback and height comparisons to the adjacent homes, elevations of all four sides of the house which call out the intended building materials, and elevations of the existing and proposed garage structure.

As you know, the current home on the property is designated as a "Non-Contributing Resource" within the Chevy Chase Village Historic District. On May 19<sup>th</sup> we met with Geoff Biddle and Doris Lyerly of the Village of Chevy Chase to discuss our plans and intentions for the property. On June 3, 2009 we provided a preliminary application to the Historic Preservation Commission, which discussed our intention to demolish both the existing house and the addition to the original garage, and provided preliminary elevations of our initial design concepts for a new home. On June 17, 2009 the staff of the Historic Preservation Committee provided a staff report to the commission in which it said that "demolition of the existing non-historic house is allowable." On June 24, 2009, at a public meeting of the Historic Preservation Commission, the commissioners were supportive our request to demolish the existing non-contributing structure and provided helpful feedback on the preliminary plans for the new home we are designing. We have been working on revising the plans since that meeting and we believe the plans we are submitting herewith balance and address to best possible extent the feedback of the HPC, feedback and interests of the abutting and confronting neighbors, and the desire to preserve the architectural and design details the homeowner wishes to incorporate into the new home.

Based on our meetings with HPC, DPS and Chevy Chase Village, we can confirm that the proposed house complies with all of the Montgomery County and Chevy Chase Village requirements for lot coverage, FAR, building height and setback requirements. We have provided the FAR and lot coverage calculations for both Montgomery County and Chevy Chase Village on Page A-1 of the plan. The height comparison is on Page A-1a and the setback comparison is on Page A-1b.

We will be providing you in the next few days a copy of a tree replacement plan and a tree protection schedule. If there is anything else that you need to facilitate your review please do not hesitate to contact me. We appreciate the effort the HPC staff has made to help us navigate through this process.



# SANDY SPRING

CLAM of Montgomery County Planning Department

Department of Historic Preservation

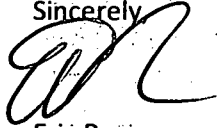
Page 2

July 22, 2009

We look forward to discussing this HAWP application at the August 12<sup>th</sup> meeting. We have begun the process of applying for demolition permits and building with both Montgomery County and Chevy Chase Village.

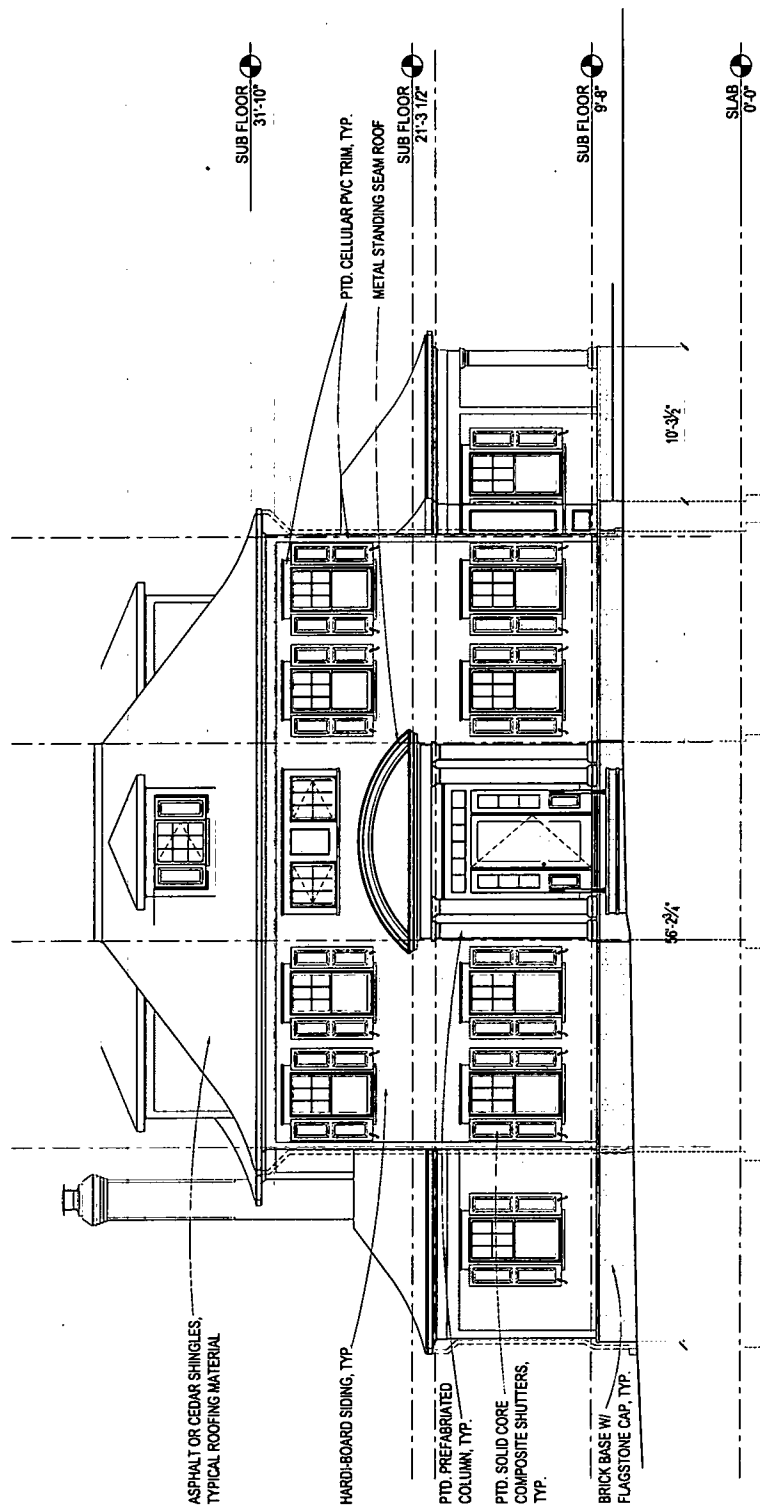
Please let us know if there is any further information you require.

Sincerely,



Eric Ross

Cc: John York, Georgetown Capital Partners  
George Myers, GTM Architects  
Doris Lyerly, Chevy Chase Village



FRONT ELEVATION

A-2



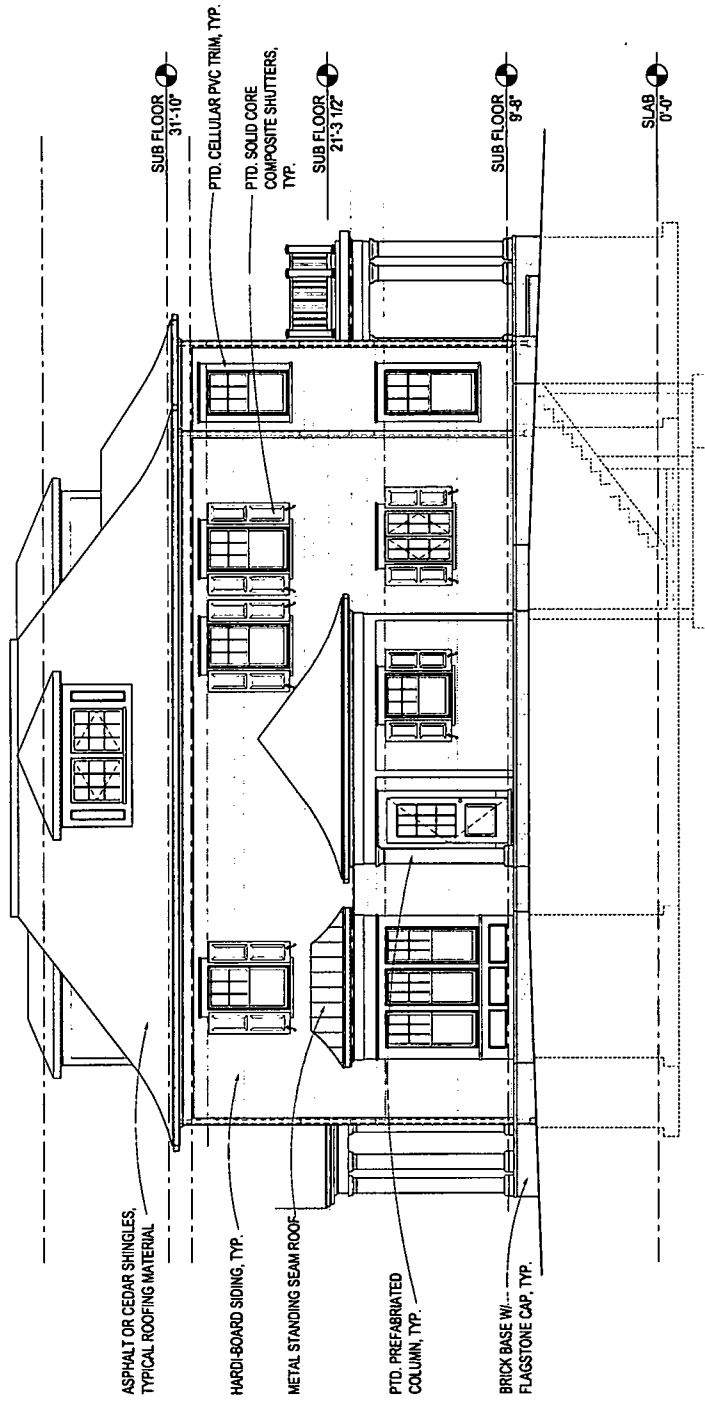
G T M A R C H I T E C T S

\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

4 QUINCY STREET

4 QUINCY STREET, CHEVY CHASE, MD 0721709 PROJ. #09.0225 COPYRIGHT 2008, GTM ARCHITECTS, INC. 7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 - TEL: (240) 333-2000 - FAX: (240) 333-2001





RIGHT ELEVATION

A3



\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

G T M A R C H I T E C T S

7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 - TEL: (240) 333-2000 - FAX: (240) 333-2001

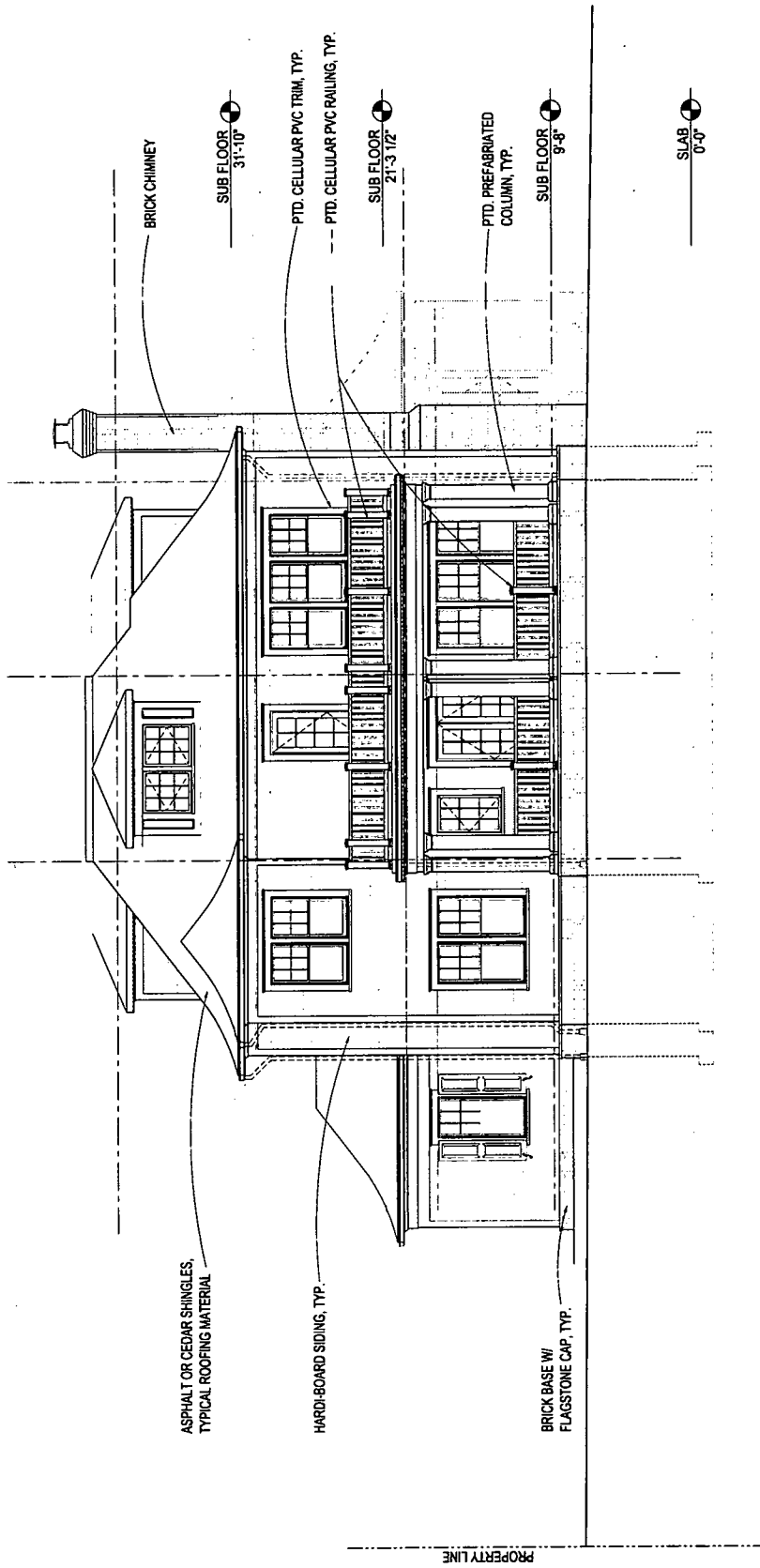
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07/21/08

4 QUINCY STREET

4 QUINCY STREET, CHEVY CHASE, MD

12



REAR ELEVATION

4 QUINCY STREET

4 QUINCY STREET, CHEVY CHASE, MD

07/21/09

\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

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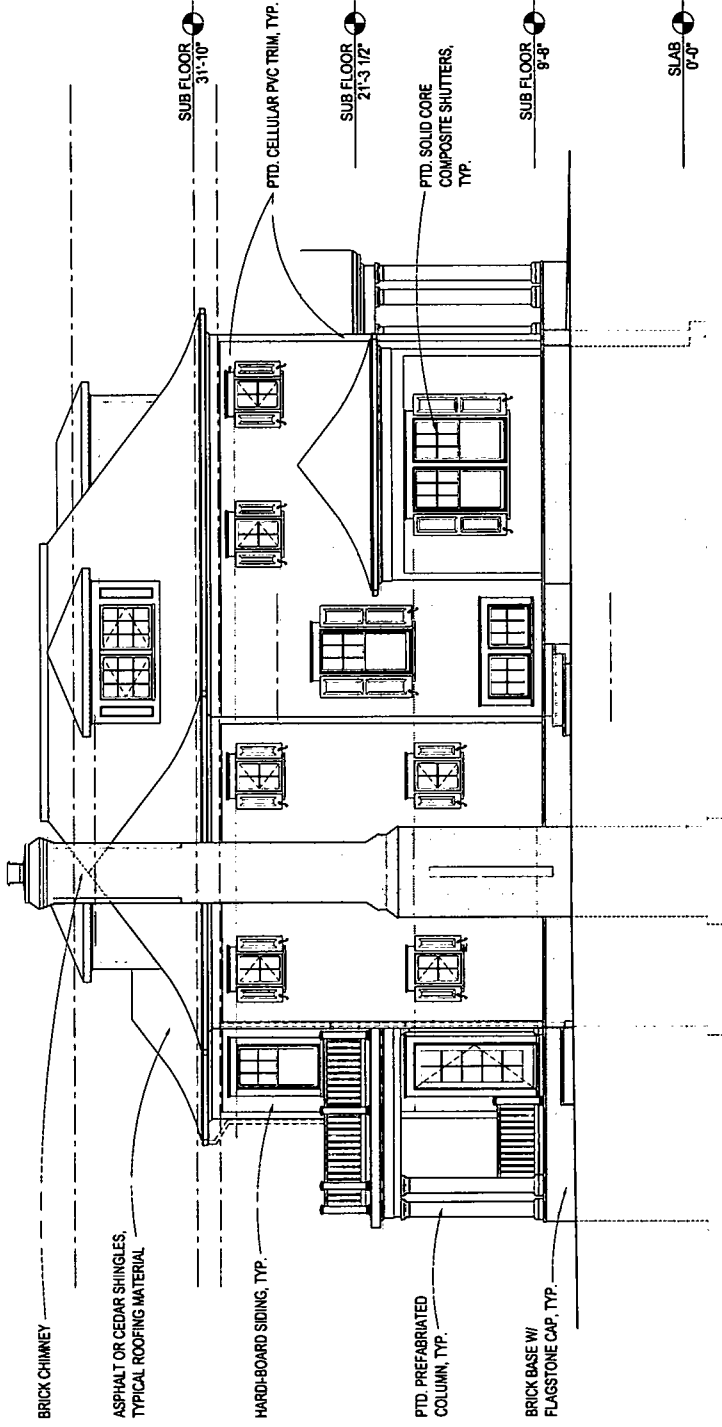
7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 - TEL: (240) 333-2000 - FAX: (240) 333-2001

G T M



A-4

13



LEFT ELEVATION

A-5



4 QUINCY STREET

\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

G T M

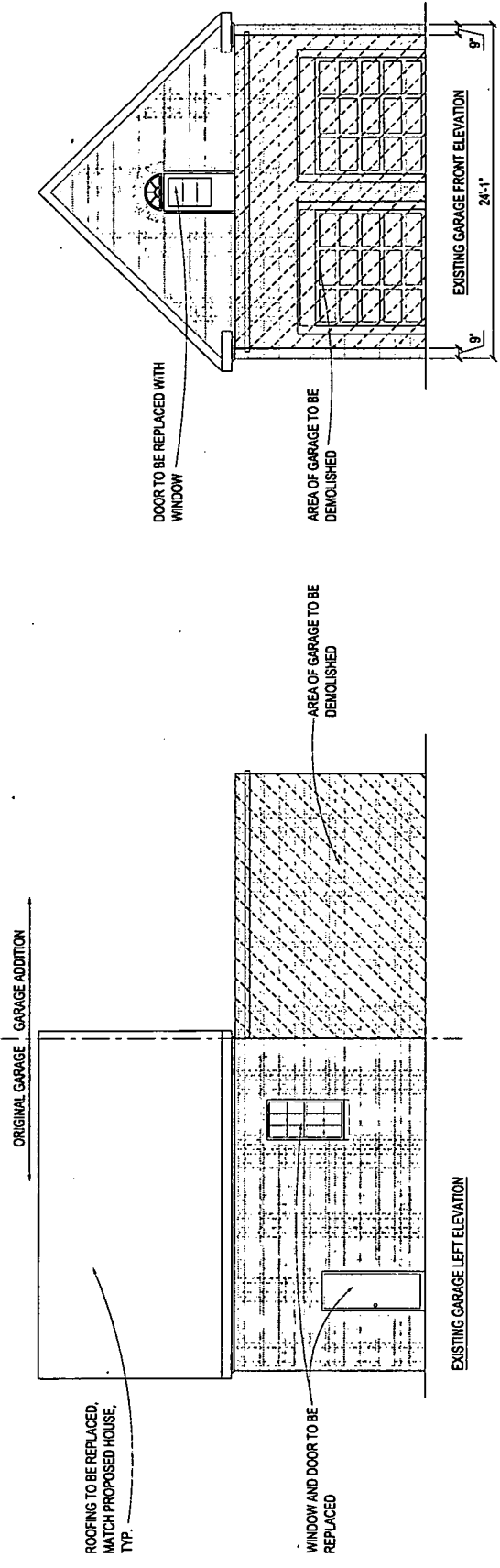
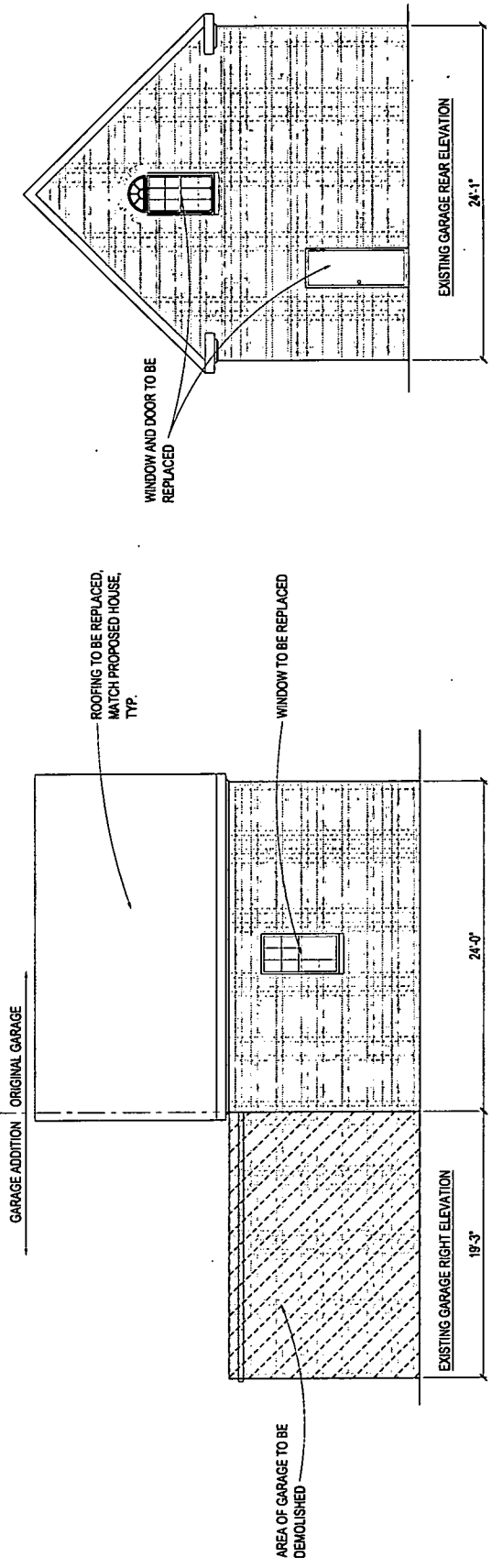
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14



A-8

**GTM ARCHITECTS**

\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

**4 QUINCY STREET**

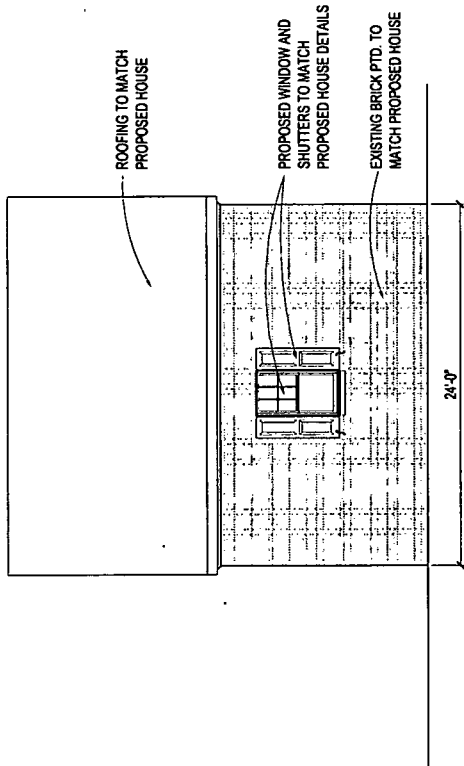
4 QUINCY STREET, CHEVY CHASE, MD 072109  
 7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 - TEL: (240) 333-2000 - FAX: (240) 333-2001

PROJ. #08.0225

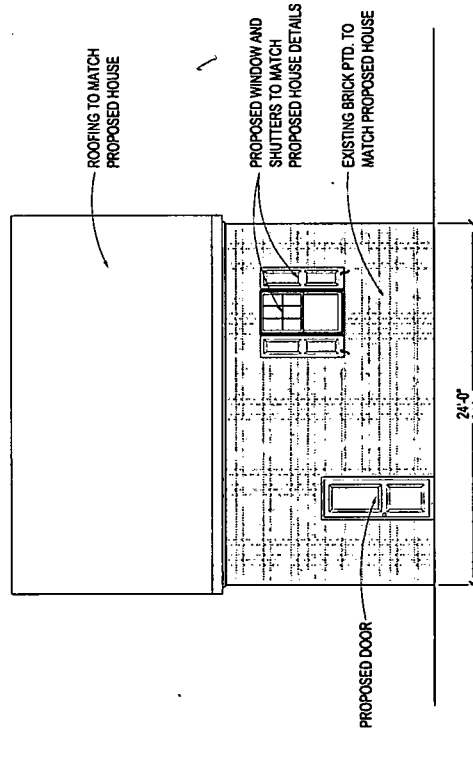
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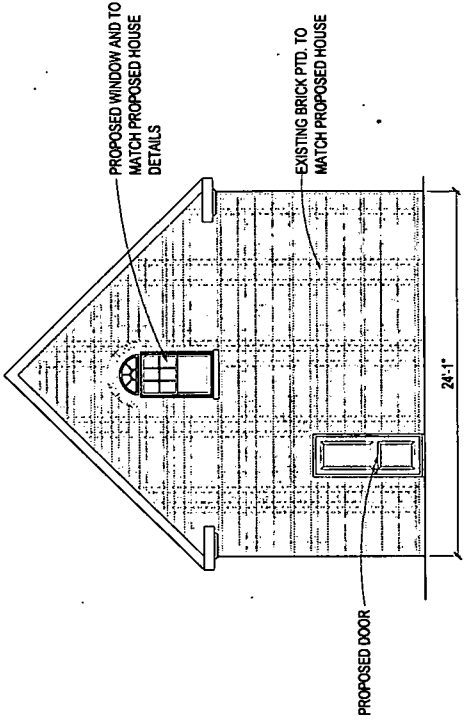
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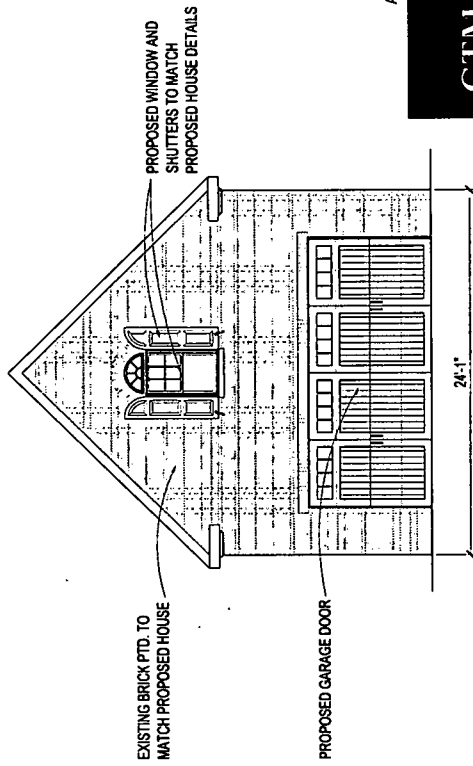
PROPOSED GARAGE RIGHT ELEVATION



PROPOSED GARAGE LEFT ELEVATION



PROPOSED GARAGE REAR ELEVATION



PROPOSED GARAGE FRONT ELEVATION

A:7



**Fothergill, Anne**

---

**Subject:** FW: materials and other

---

**From:** Joy Lanum  
**Sent:** Monday, July 27, 2009 5:15 PM  
**To:** Eric Ross; 'Fothergill, Anne'  
**Subject:** RE: materials and other

Specific Material Spec's:

**Exterior Doors:** Front and Side Doors at Mud Room: Solid Unfinished Mahogany – stained

**Exterior Rear Doors:** Andersen 400 Series, wood double hung, SDL, grids on in top sash only, window exteriors are clad in pre-formed rigid vinyl PVC , which minimizes maintenance.

**Windows:** Andersen 400 Series , wood, no grids in glass, window exteriors are clad in pre-formed rigid vinyl PVC , which minimizes maintenance.

**Garage Doors:** Wood cedar, to be painted or stained

**Rear Railings –** Porch and Second Floor Deck: Rigid pre-formed vinyl PVC , which minimizes maintenance.

Let me know if require any further information

**Joy Lanum**

**Sandy Spring Classic Homes**

4302 East West Highway

Bethesda, MD 20814


301.913.5995 Ext. #117 (Office)

301.913-2882 (Fax)

301.787.9175 (Mobile)

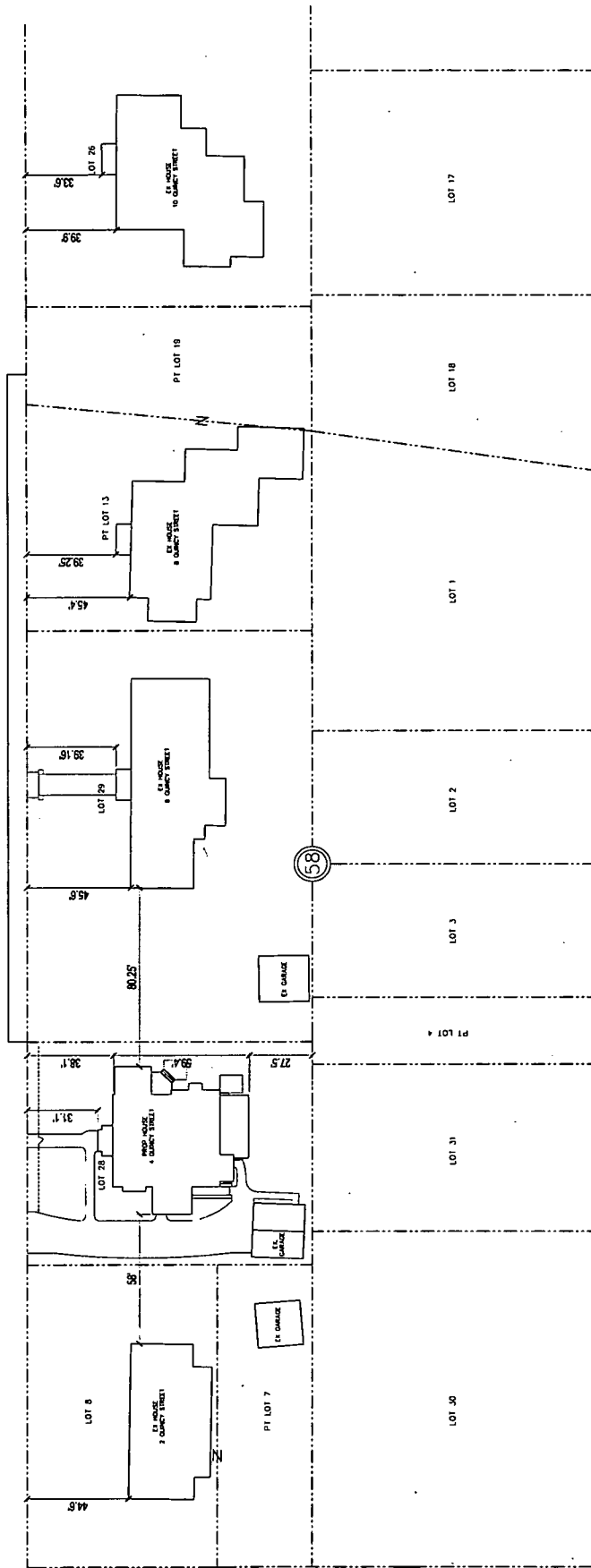
[ilanum@sandyspringbuilders.com](mailto:ilanum@sandyspringbuilders.com)

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 *Please consider the environment before printing this e-mail.*



QUINCY STREET  
(60' R/W)



CONNECTICUT AVE  
(130' R/W)

MONTGOMERY COUNTY ZONING  
ESTABLISHED BUILDING RESTRICTION LINE - FRONT YARD SETBACK - METHOD 3 - ALLOWED: 31.1'

PROPOSED FRONT YARD SETBACK: 38.1'

CHEVY CHASE VILLAGE

ESTABLISHED BUILDING RESTRICTION LINE - FRONT YARD SETBACK - METHOD 3 - ALLOWED: 31.1'

PROPOSED FRONT YARD SETBACK: 31.1'

PRIMROSE STREET  
(100' R/W)

SETBACK COMPARISON

A-1b



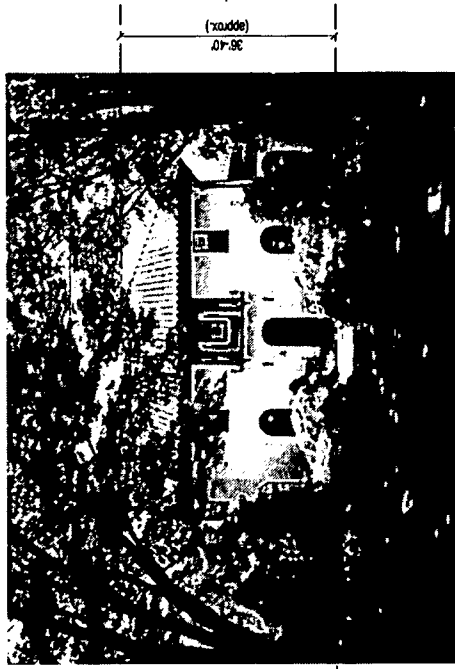
GTM ARCHITECTS

\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS  
\*SUGGESTED SITE PLAN, CONFIRM WITH CIVIL ENGINEER

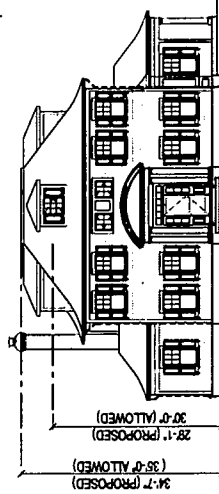
4 QUINCY STREET

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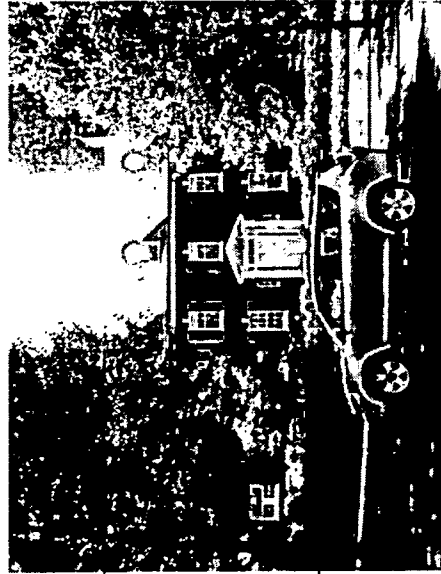
12



2 QUINCY STREET



PROPOSED 4 QUINCY STREET



6 QUINCY STREET

MONTGOMERY COUNTY ZONING  
 35' TO ROOF PEAK OR 30' TO MEAN HEIGHT BETWEEN EAVES & RIDGE  
 PROPOSED ROOF PEAK 34'-7"

CHEVY CHASE VILLAGE  
 35' TO ROOF PEAK AND 30' TO MEAN HEIGHT BETWEEN EAVES & RIDGE  
 PROPOSED ROOF PEAK: 34'-7"  
 PROPOSED MEAN HEIGHT: 28'-1"

HEIGHT COMPARISON

\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

**4 QUINCY STREET**

4 QUINCY STREET, CHEVY CHASE, MD 072109

PROJ. #08.0225

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A-1b



**G T M A R C H I T E C T S**

**Fothergill, Anne**

---

**Subject:** FW: 4 Quincy Street - Final Plan Set for HPC

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**From:** Eric Ross [mailto:[eross@sandyspringbuilders.com](mailto:eross@sandyspringbuilders.com)]  
**Sent:** Thursday, July 30, 2009 6:39 PM  
**To:** Fothergill, Anne  
**Cc:** John York; Mark Kaufman; Phil Leibovitz; Joy Lanum; George Myers  
**Subject:** 4 Quincy Street - Final Plan Set for HPC

Anne,

We seek to remove four trees in total based on the tree survey from Bartlett. We have a received tree removal permit from Chevy Chase Village to remove the three trees we note on the tree survey as Trees # 1, 4 and 7. The fourth tree (Tree # 8) is less than 24" in circumference and so we don't need a permit from CCV. This fourth tree (Tree # 8) is the tree we intend to transplant. Under separate cover I have provided you a tree protection/preservation plan prepared by Bartlett Tree Experts. We have also committing to replacing (or transplanting) any trees that we receive approval to remove.

Eric

Eric Ross  
*Sandy Spring Classic Homes*  
**4302 East West Highway**  
**Bethesda, MD 20814**  
301-913-5995 x 115  
301-466-4411(c)  
[eross@sandyspringbuilders.com](mailto:eross@sandyspringbuilders.com) (email)  
[www.sandyspringclassichomes.com](http://www.sandyspringclassichomes.com) (website)  
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# BARTLETT TREE EXPERTS

SCIENTIFIC TREE CARE SINCE 1907

12200 Nebel Street, Rockville, MD 20852-2687 • 301-881-8550 (o) 301-881-9063 (f) • [tzastrow@bartlett.com](mailto:tzastrow@bartlett.com)

Mr. Eric Ross  
Sandy Spring Classic Homes  
4302 East West Highway  
Bethesda, MD 20814

June 22, 2009

301.913.5995 x 115  
301.466.4411 (m)

[eross@sandyspringbuilders.com](mailto:eross@sandyspringbuilders.com)

## TREE INSPECTION REPORT

TREE(S): Ornamental and shade trees greater than 6" diameter

LOCATION: 4 Quincy Street (Lot 28), Chevy Chase Village, Maryland 20815

DATE OF INVESTIGATION: 06/11/2009

ARBORIST: Timothy D. Zastrow, ISA Cert. #MA-0043, MD-DNR Tree Expert #390

### FINDINGS & RECOMENDATIONS

Below is a listing of all of the significant trees on this property along with their condition and recommendations for action.

**Tree #1 – Southern Magnolia (17.2"), located on the left side of the existing house, 8' from the back corner:**

This tree is in good condition, but is growing against the foundation. Remove for construction

**Tree #2 – Neighbor's Crabapple (7.6"), located near the left rear corner of the existing house, 10' from the building restriction line:**

**Tree #3 – Neighbor's Crabapple (8.1"), located near the left front corner of the existing house, 13' from the building restriction line:**

These trees are in good condition, but their low crowns on the construction side may hamper access for work on the new house. Protection of these trees will have to be part of the tree protection plan for this property.

**Tree #4 – Burford Holly (14"), located 2' of the back wall of the existing house about 2' from the left rear corner:**

Good condition, but too close to the house. Remove for construction.

**Tree #5 – Southern Magnolia (14"), located in the left rear corner, 8' from the south property line and 3' from the east property line:**

24



# BARTLETT TREE EXPERTS

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**Tree #6 – Southern Magnolia (16”), located in the right rear, 6’ from the south property line and 13’ from the left rear corner of the existing garage:**

Both of these trees are in fair condition. Thin crowns may be evidence of root disease or a weak root system due to poor drainage in this area. Vines are growing on #6. Provided drainage can be improved these trees may be restored to good health, but if drainage cannot be addressed, or if drywells must be installed in this area both of these trees should be removed.

**Tree #7 – White Pine (13”), located in the right rear, 4’ from the south property line and 21’ from the left rear corner of the existing garage:**

This tree is uprooting and should be removed for safety.

**Tree #8 – Japanese Maple (6.5”), located 9’ from the right rear corner of the existing house:**

Very good condition. This tree is located within the foot print of planned construction. It is a good candidate for transplanting to the front or rear of the property.

**Tree #9 – Norway Spruce (20.8”), center front:**

Fair condition. The crown is thin and it has an active spruce spider mite infestation. If this tree can be given a protected root area of at least 600 SF (14’ radius from trunk), it should be treated to improve growth and control pests. With the protected root zone and the treatments it should be able to return to good health. If this much area cannot be protected due to utilities or construction access, it should be removed.

**Tree #10 – Green Ash (10”), left front, located 3’ from the north property line and 5’ from the east property line:**

Good condition. Has some foliar blighting from Ash Anthracnose.

**Tree #11 – Twin trunk Southern Magnolia (16”), located 6’ from the north property line and 25’ from the east property line:**

Fair condition. Thin crown, but good growth in past years. If this tree can be given a protected root area of a least 380 SF (11’ radius from trunk), it should be treated it improve growth. With the protected root zone and treatments it should be able to return to good health. If this much area cannot be protected due to utilities or construction access, it should be removed.

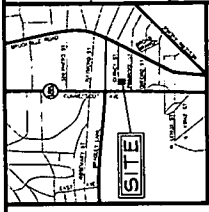
tree protection plan

ENGINEERING  
 CIVIL, SURVEYING & LAND PLANNING  
 A DIVISION OF C&E ENGINEERS, P.C.  
 1306 Pleasant Spring Road  
 Fort Mill, South Carolina 29504  
 (803) 547-8200

**CHEVY CHASE SEC. 2**  
 BETHESDA (7TH) ELECTION DISTRICT  
 MONTGOMERY COUNTY, MARYLAND  
 PRELIMINARY BUILDING LINE SKETCH /  
 SITE PLAN FOR HPC REVIEW

PLAT #1172, CHSCA 1976  
 LOT 28, BLOCK 58  
 4 QUINCY STREET

DATE	REVISION
08/29/09	REV. PLAN, E.L. TO CLIGHT
07/29/09	ADD. CREEP, IMPROVED WORK
07/29/09	ADD. CREEP, IMPROVED WORK
07/29/09	ADD. CREEP, IMPROVED WORK
09-07-03	
09-07-03	
11-30-07	



**TREE PRESERVATION PLAN**  
 July 30, 2009  
 4 Quincy Street (Lot 28) Chevy Chase, MD 20815

**LIMIT OF DISTURBANCE & SEGMENT CONTROL**

The tree of disturbance (LOD) is to be marked on site with blue flags and blue paint. The placement of new construction fences along the limit of disturbance. Each LOD shall be marked before any excavation or other construction is begun, but after the completion of all root pruning. Segment control fence must be placed on the construction side of the tree preservation fence.

Successful tree preservation will require an on-going commitment to care for these trees and submit to the City for the long-term survival of these trees. A pre-construction meeting must be held with the Owner, Architect, Builder, Landscaper, and Arborist to ensure that everyone understands the critical nature of following these tree preservation guidelines.

The following sequence gives the order in which to proceed with your project to insure the best possible tree survival.

**ROOT PRUNING**  
 9, 10 & 11 ft tall major significant root loss from construction is a loss to preserve. These roots to avoid more serious damage caused by excavation equipment. Prune roots with a Wineman Root Saw to a depth of 15" or just beyond with blue flag on the Root, which cannot be cut by machine, are to be carefully examined and cut by hand using a clean sharp saw.

**TREE PRESERVATION FENCE**  
 The tree preservation fence shall be installed immediately. The fence shall be installed immediately. No activity or equipment and supply storage will be allowed in the preservation areas.

**MYCORRHIZAE AND FERTILIZATION (MYF)**  
 Treat the 5, 6, 9, 10, & 11 ft trees with root excavation, compaction and/or grade changes will then help to recover from the loss. Treat these trees as follows:

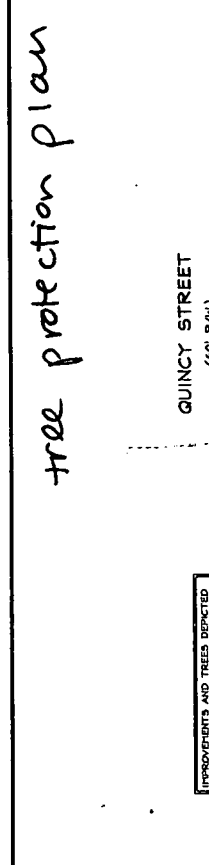
- Prior to start of construction - Mycorrhizae & fertilizer.
- Spring 11 - Mycorrhizae & fertilizer.
- Spring 11 - Mycorrhizae & fertilizer.

**TREAT ALL TREES WITH 100% PROTECTION**  
 Treat all trees with 100% protection (four (4) courses per 100 gallons water). This includes all trees with a trunk diameter of 4" or greater. The construction area to be protected from the trunk to radius of 20' in all directions or the furthest extent of branch spread, whichever is greater.

Treatments to be applied by liquid soil injection at 200 gal. three (3) feet on center, four (4) feet (12) inches deep over the entire treatment area.

**WATER SCALE SUPPRESSION AND BOXER PROTECTION**  
 Treat all trees with water scale suppression and Boxer Protection. This will also be done to some extent as it is recovering from the construction impact. The following treatments should be implemented:

- Pruning: Pruning should be removed in September 2009, April 2010, and September 2010.
- Water application: Water application should be applied June 2010.
- Bark application of Bacterium in September 2009, March 2010, June 2010, and September 2010 should be applied to suppress borers.



**GENERAL NOTES**

- 1) WATER CATEGORY - 1 - BORED CATEGORY - 1
- 2) BOUNDARY INFORMATION BASED ON AVAILABLE RECORD INFORMATION.
- 3) EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD INFORMATION. UNDEVELOPED UTILITIES ARE NOT SHOWN UNLESS INDICATED OTHERWISE ON THE PLAN. THE FIELD DISTRIBUTION OF UTILITIES HAS BEEN DETERMINED.
- 4) TOTAL LOT AREA - 12,000 S.F. (0.277 ACRES)
- 5) PROPERTY SHOWN ON THE MAP IN SH, LOT 28, BLOCK 58.
- 6) CERTIFICATE NUMBER 2.
- 7) PROPERTY SHOWN ON HPC 200 SHEET 208 N4 04.
- 8) THE PLAN IS A PRELIMINARY SUBMITTAL. ANY CHANGES TO THE PLAN SHALL BE MADE BY THE ARCHITECT/ENGINEER/PLANNING CONSULTANT.
- 9) THE PLAN IS A PRELIMINARY SUBMITTAL. ANY CHANGES TO THE PLAN SHALL BE MADE BY THE ARCHITECT/ENGINEER/PLANNING CONSULTANT.
- 10) THE PLAN IS A PRELIMINARY SUBMITTAL. ANY CHANGES TO THE PLAN SHALL BE MADE BY THE ARCHITECT/ENGINEER/PLANNING CONSULTANT.

**ZONING DATA**

1) ZONING MAP AREA - 4,000 SQ. FT.  
 FRONT SETBACK - 34.1 FT. (APPROXIMATE)  
 THE LOT WIDTH AT 4.000 - 20 FT.  
 SIDE SETBACK - 5 FT. TOTAL  
 THE LOT WIDTH AT 5.000 - 30 FT. TOTAL

2) VERIFY BUILDING HEIGHT IN ACCORDANCE WITH SECTION 94-2-103 OF ZONING ORDINANCE.  
 (AS REQUIRED TO THE FRONT POINT OF ROOF)

3) VERIFY LOT COVERAGE IN ACCORDANCE WITH SECTION 94-2-103 OF ZONING ORDINANCE. LOT AREA SHALL BE GREATER THAN THE SQUARE FEET OF THE LOT AREA.  
 ALLOWABLE LOT COVERAGE: 50% OF TOTAL LOT AREA, LESS 0.1 PERCENT FOR EVERY SQUARE FOOT OF LOT AREA EXCEEDING 5,000 SQUARE FEET.

LOT 28 - 12,000 SQUARE FEET (PER PLAN)  
 0.277 ACRES  
 50% = 6,000 SQUARE FEET  
 0.1 PERCENT = 12,000 SQUARE FEET

ALLOWABLE AREA TO BE COVERED BY BUILDINGS (INCL. ACCESSORY BUILDINGS) = 2,877.00 SQUARE FEET

PER SECTION 94-2-103 OF THE ZONING ORDINANCE (AS AMENDED BY STA. 09-11) THE FOLLOWING ARE INCLUDED FROM THE LOT COVERAGE CALCULATION:

- DAY NURSERY
- CONCRETE
- UP TO 30% OF DETACHED GARAGE, IF GARAGE IS LESS THAN 300 SQ. FT. AND LESS THAN 20 FT. IN HEIGHT

**PRELIMINARY BUILDING LINE DETERMINATION**

WELLHEADS	DIAMETER
LOT 5, BLOCK 58	44.6"
LOT 9, BLOCK 58	44.6"
LOT 19, BLOCK 58	44.6"
PT LOT 19, BLOCK 58	44.6"
TOTAL	181.4"
AVERAGE	45.35"

NOTE: NOT BE INCLUDED IN THE DETERMINATION PER ARTICLE 94-2-103(F), OF THE ZONING ORDINANCE.

THE APPLICANT MAY CHOOSE TO USE THE FRONT SETBACK DISTANCE TO DETERMINE THE BUILDING LINE DETERMINATION. THE SETBACK DISTANCE SHALL BE THE DISTANCE FROM THE FRONT SETBACK OF THE ZONE.

NOTE: 5 FT.

**MISS UTILITY**

FOR LOCATION OF UTILITIES, CALL THE UTILITY LOCATOR AT 1-800-251-7773, OR GO ON TO THE WEBSITE AT WWW.MISSUTILITIES.COM. THE UTILITY LOCATOR WILL PROVIDE YOU WITH THE LOCATION AND DEPTH OF ALL UTILITIES. THESE LOCATIONS SHALL BE SHOWN ON THE PLAN. THE UTILITY LOCATOR SHALL BE CONTACTED PRIOR TO COMMENCING CONSTRUCTION. THE UTILITY LOCATOR SHALL BE CONTACTED PRIOR TO COMMENCING CONSTRUCTION OF THE PROJECT.

**SUMMARY OF TREES TO BE GIVEN SPECIAL ATTENTION FOR PRESERVATION**

- 81 - 12.2" diameter Southern Magnolia: Take down, too close to existing house.
- 82 - 7.5" diameter Catalpa, neighbor's tree: Root Prune.
- 83 - 6.1" diameter Catalpa, neighbor's tree: Root Prune.
- 84 - 14" diameter Southern Magnolia: Take down, too close to existing house.
- 85 - 14" diameter Southern Magnolia: Root Prune, MYF.
- 86 - 10" diameter Southern Magnolia: Root Prune, cut & treat trees, MYF.
- 87 - 0.5" diameter Japanese Maple: Take down, too close to house.
- 88 - 20.0" diameter Norway Spruce: Root Prune, MYF, manage miles, scale 5.
- 89 - 10" diameter Green Ash, Root Prune MYF.
- 90 - 10" diameter Southern Magnolia: Root Prune, MYF.

**CLIENT**  
 SANDY GREEN BUILDERS  
 1000 WEST HICKORY  
 WASHINGTON DC 20004  
 (202) 462-8888 FAX

**GRAPHIC SCALE**  
 1" = 10'

**BARILETTI TREE EXPERTS**  
 Thomas D. Barilotti  
 Licensed Arborist  
 11111 1st Avenue, N.E.  
 Bellevue, WA 98004  
 (206) 835-8888  
 www.barilotti.com

1 MR. ROTENSTEIN: And thank you for all the hard  
2 work and the research you did to get to this point. Have a  
3 good evening.

4 The next item on the agenda is the preliminary  
5 consultation for the demolition of a house and new  
6 construction at 4 Quincy Street in Chevy Chase. Do we have  
7 a staff report?

8 MS. FOTHERGILL: Yes. This is a noncontributing  
9 resource in the Chevy Chase Village historic district. It  
10 was constructed in 1977, and the applicants are proposing to  
11 demolish the existing house. Maybe it was built in 1975,  
12 somewhere in the mid-seventies.

13 And they are proposing to construct a two and a  
14 half story, 5,500 square foot house. The house will have a  
15 2,377 square foot footprint. The house has two side  
16 appendages off the main block. There's a one-story room on  
17 the left side flush with the front elevation. On the right  
18 side, there's a bay window, and behind it there is a one-  
19 story room with an attached porte-cochere.

20 The house will have clapboard siding, wood  
21 shutters, masonry foundation, and masonry chimney. And  
22 because this is a preliminary, other materials haven't been  
23 discussed quite yet.

24 The applicants are proposing at this point to  
25 retain the existing garage and remove the front section.

1 You'll see in the photos that there are two blocks to the  
2 garage, and they are proposing to remove the front section.

3 You received tonight a tree survey prepared by an  
4 arborist. And ultimately when they come in for an  
5 application, they would have a tree removal and tree  
6 replacement plan. But they did have a tree survey  
7 completed.

8 The applicants have been very responsive to  
9 staff's suggestions about what the Commission would need to  
10 see in reviewing any new construction. So in your packet  
11 and in this slide show you will see a setback comparison, a  
12 height comparison, an existing and proposed footprint. And  
13 all that has been very helpful. So I will run through those  
14 now.

15 That is 4 Quincy. As you can see, it is the  
16 second house off of Connecticut Avenue. It's surrounded by  
17 varying sizes of houses, but as you can see, directly across  
18 the street, setback from Quincy, is a very large house. And  
19 there is the house. These are just aerial shots.

20 We can come back to this at the end when we  
21 discuss the massing, if you want to leave it on this shot,  
22 because that probably is one of the more helpful ones, to  
23 see the block. And tell me if I'm going too fast.

24 And that is the garage that I was referring to  
25 that has two sections. And they are proposing at this point



1 to remove the front section and retain the rear block.

2 This is the existing house. And the Chevy Chase  
3 guidelines are very clear that, and I will quote from them,  
4 that demolition of a noncontributing out of period resource  
5 should be permitted, and that any new house would be  
6 reviewed by the Commission. And there are some guidelines  
7 for new construction.

8 And so in keeping with that, staff supports the  
9 demolition. This is a noncontributing out-of-period  
10 resource, and the staff report is focused on reviewing the  
11 proposed new house. This is the left side, the rear, and  
12 there's the garage.

13 And this is across the street, slightly to the  
14 east, and this is the adjacent property to the east.

15 This is the proposed front elevation, and you can  
16 see those two side extensions that we were referring to.  
17 That room on the left is flush with the front plane. The  
18 room and the porte-cochere on the right are pushed back from  
19 the front elevation. There is the proposed right side, and  
20 you can see the location of the porte-cochere. The proposed  
21 rear of the house and the proposed left side.

22 This shows the existing footprint and the proposed  
23 footprint. And as you can see, this house does go further  
24 back into the rear of the lot than the existing house. The  
25 setbacks at the front are essentially the same. And this is

1 a very helpful diagram that shows the adjacent houses and  
2 going slightly up the block.

3           And one thing that staff pointed out in the staff  
4 report is that this house, if you are trying to maintain a  
5 pattern, is sited a little further forward, towards Quincy  
6 Street, than the others in the block. While it may match  
7 the existing house, looking at the other resources, it is  
8 slightly forward.

9           And then, as you can see, it does go further back  
10 than the two adjacent properties, not the one two up, which  
11 appears to go all the way to the rear property line. And so  
12 those are things to take into consideration, these patterns  
13 and setbacks.

14           The height comparison, this house will be lower  
15 than the two adjacent resources, lower or maybe perhaps  
16 right in line with, but not taller, not substantially  
17 overpowering the other resources in terms of height, which  
18 is appropriate.

19           And I can go back to that aerial shot, if you  
20 would like, Commissioner Alderson, and leave it on that, or  
21 I can leave it -- okay.

22           So in general, the size of the house does not  
23 overwhelm the adjacent resources to a large degree. It is  
24 not substantially taller. Staff did have some possible  
25 concerns about that the further encroachment into the rear

1 yard, compared to the neighbors, and maybe those side wings  
2 is just something that sort of adds to the overall massing.  
3 But, in general, the demolition is approvable in terms of  
4 the guidelines, and the new construction will be reviewed by  
5 the Commission for its compatibility.

6 MR. ROTENSTEIN: Thank you. And are there any  
7 questions for staff? Would the applicant like to come up,  
8 please?

9 MS. MILES: I have a question for staff.

10 MR. ROTENSTEIN: I'm sorry. I didn't see you.

11 MS. MILES: Well, I hadn't indicated. Would the  
12 tree at the front elevation be retainable?

13 MS. FOTHERGILL: You know, we just received this  
14 today. I think let's ask the applicants.

15 MS. MILES: Okay.

16 MS. FOTHERGILL: They have a better sense of what  
17 they are hoping to be able to keep.

18 MS. MILES: All right. Thank you.

19 MR. ROTENSTEIN: Any other questions? Would the  
20 applicant like to come up. Good evening. If you could  
21 switch your microphones on and identify yourselves for the  
22 record, please?

23 MR. KAUFMAN: I'm Mark Kaufman from GCM  
24 Architects.

25 MR. ROSS: Eric Ross on behalf of the applicant.

1 MR. ROTENSTEIN: Thank you. Per our regulations,  
2 you'll have seven minutes for your presentation, and we'll  
3 be running the time on that. So if you would like to make a  
4 presentation, we're looking forward to hearing it.

5 MR. KAUFMAN: Sure. The proposed house on 4  
6 Quincy Street is traditional style architecture, based on  
7 Georgian principals. It has a panel front door centered, a  
8 decorative entryway supported by columns and pilasters, as  
9 well as a cornice that's emphasized by moldings and vertical  
10 and horizontal symmetrical rows of windows organized in the  
11 facade.

12 Similar to many of the houses on Quincy Street,  
13 the proposal for 4 Quincy Street is a two and a half story  
14 center hall house with a decorated entryway and centrally  
15 located dormer, shutters on windows and double hung sashes,  
16 clapboard siding, and a masonry trim, all the recurring  
17 details on Quincy Street.

18 6 Quincy Street, the adjacent neighbor, as well as  
19 houses 8, 10, 21, 24, 27, 29, 34, and 36 Quincy Street, have  
20 similar design, height, and facade organization strategies  
21 as the one we're proposing on 4 Quincy Street.

22 The houses have windows, typically five ranked and  
23 symmetrical, as well as a center dormer. There is a  
24 diversity of materials ranging from stucco and brick to  
25 clapboard siding. Roofing ranges from shingles to clay

1 tiles.

2 The organization and size of the houses are  
3 similar, but there is some diversity of style. For example,  
4 4 and 27 Quincy Street are influenced by Spanish design.

5 Overall, 4 Quincy Street will complement and  
6 enhance the strong traditional history of Quincy Street in  
7 style and proportion and detail.

8 MR. ROTENSTEIN: Thank you. Are you done?

9 MR. KAUFMAN: That's the conclusion of my  
10 presentation.

11 MR. ROTENSTEIN: Thank you very much, and thank  
12 you for your brevity. Do you have anything to add?

13 MR. ROSS: Just appreciate your feedback. I  
14 appreciate the opportunity to come and talk to you.

15 MR. ROTENSTEIN: All right. I guess what we're  
16 going to do then is go down our Commission here and go  
17 through some of the items that were raised by Anne. And I  
18 guess the principal things we're focusing on are the scale  
19 and the massing. So Commissioner Kirwan, would you like to  
20 start?

21 MR. KIRWAN: Thank you. Let me start just with a  
22 couple of questions. With Montgomery County zoning, is  
23 there -- I'm familiar with there being an average setback in  
24 the street, the average plane of the street that's  
25 established by the neighboring houses. Has that been

1 identified yet, or is that, am I mistaken with that  
2 requirement?

3           Establishing a front yard setback is often you  
4 take the average plane of neighboring houses in either  
5 direction. I don't know if that's something you've looked  
6 at yet.

7           MR. KAUFMAN: What we have been given by our civil  
8 engineer was the setback of 31.1 feet. And that was, I  
9 think based on Montgomery zoning. That was what was  
10 existing at the house. I think we have to do a further  
11 study of the block to get the actual setback. That's the  
12 average of the entire street.

13           MR. ROSS: The only thing that I would point out,  
14 which I think on the setback analysis, this is just a  
15 technical thing, but I don't think it reflects the front  
16 entry porch of the house to the left facing it, just so that  
17 as you look at the plane, it's not quite as representative.

18           MR. KIRWAN: That would be a helpful determination  
19 to have for the HAWP. Ultimately, I think we would want to  
20 know exactly what that determination is by the County, to  
21 help guide us, and where the most appropriate front plane is  
22 of the house.

23           I mean, my initial reaction is that it does seem  
24 too far forward, you know, from the neighborhood houses,  
25 given the street context. So I would encourage you to look

1 at ways to try to push the house back to whatever that  
2 average plane is.

3 I mean, just taking a piece of paper and putting  
4 it down on the site plan that's been provided, it looks like  
5 you would want to come back a little bit to achieve that.

6 The only other question I had, the garage on the  
7 site plan seems to be moving around a little bit. Is  
8 there --

9 MR. KAUFMAN: That's, my apology.

10 MR. KIRWAN: Okay.

11 MR. KAUFMAN: When I was siting the house, I  
12 accidentally dragged the garage. But it's going to stay  
13 exactly where it is.

14 MR. KIRWAN: In the existing site plan?

15 MR. KAUFMAN: In the existing site plan, correct.

16 MR. KIRWAN: Okay. Okay. And you're basically  
17 just demolishing the front more current portion of the  
18 garage?

19 MR. KAUFMAN: Right. Yes. That was an addition  
20 to make it a four-car garage. We're just going back to what  
21 it originally was, a two-story -- I mean, a two-car and  
22 gable roof garage.

23 MR. ROTENSTEIN: Commissioner Miles.

24 MS. MILES: My only kind of reaction was that it  
25 looks like a house to which many things have been added on

1 the side, which we discourage. So I guess what I would  
2 suggest would be to push the porte-cochere back. I don't  
3 know if that's really a feature that people find that  
4 useful. Now, I realize you've got a detached garage to the  
5 rear, and that's what you're looking for. So it's an  
6 unusual feature to see in a new house.

7 But if that were pushed back, and if the screened  
8 or glass porch to the left were pushed back, that would look  
9 more like an old house that had been added to in sympathy  
10 with our usual requirements. And I think that would be  
11 helpful. And I think it would reduce the feeling of the  
12 massing being so substantial. So those are my only  
13 recommendations.

14 MR. ROTENSTEIN: Commissioner Alderson.

15 MS. ALDERSON: I think it would be a good idea to  
16 look at aligning it with the adjoining houses. I think that  
17 will make a big effect, make a big difference for the  
18 overall continuity.

19 I think this kind of massing, though, and this  
20 kind of articulation is very consistent for Chevy Chase.  
21 You're using a very traditional, stately kind of massing,  
22 and traditional articulation. And porte-cocheres and side  
23 additions of this nature are not unusual for this area.

24 I think it's not a bad idea to push that porte-  
25 cochere back, though, because what's unusual about this lot



1 is, that massing isn't unusual, but it's unusually tight in  
2 this lot, because your lot is smaller in relation to the  
3 house. And so I think if you can tighten that up, the other  
4 houses that have this much on the side tend to have more  
5 space around them.

6           The only other issue, your massing does go farther  
7 back. Sometimes this raises issues with neighbors who are  
8 worried about their gardens being shaded. We can't always  
9 anticipate that. You're fortunate that there's a lot of  
10 land on either side, but again, it's the neighboring  
11 properties.

12           I would strongly recommend talking to those  
13 neighbors, and sharing your plans, and seeing if they seem  
14 very agreeable and happy about it, or if they, you know, if  
15 you see their eyebrows raising, that means they'll probably  
16 show up for your hearing. So that's something you may want  
17 to get started on before you go further in developing your  
18 massing and program.

19           MR. ROSS: Can I just say, we actually have  
20 started. We've actually knocked on the doors of every  
21 abutting and every adjoining neighbor --

22           MS. ALDERSON: Great idea.

23           MR. ROSS: -- to show them what we are doing, and  
24 to talk with them.

25           MS. ALDERSON: Good. Always a smart thing to do.

1 And they may feel like they've got enough space around them  
2 that they are just fine, but we have seen it jump out as a  
3 big issue. So good. You're on the right track.

4 MR. ROTENSTEIN: Commissioner Heiler.

5 MS. HEILER: I agree with Commissioner Alderson  
6 that I think it would, I like this whole design. I think  
7 it's very typical of Chevy Chase. I think it would benefit  
8 by increasing the setback so that it matched the other  
9 houses.

10 One thing that that will do, though, is of course  
11 push it even farther back, so that if the neighbors like it  
12 where it is now, they may not be as happy. Maybe it isn't a  
13 huge amount that it would need to go back to match the  
14 adjoining properties.

15 MR. ROTENSTEIN: Commissioner Fleming.

16 MR. FLEMING: My only concern was the, I would  
17 like to see what your tree replacement plan is going to be,  
18 how it's going to fit with the rest of the surrounding area.

19 MR. ROTENSTEIN: I think Commissioner Alderson  
20 made some very good comments, and I generally tend to agree  
21 with them. My feeling is that the house that's there now is  
22 not consistent with the surrounding historic district, and I  
23 think what you're proposing is an improvement.

24 I also have some concerns about how far back in  
25 the lot you are going, and I would urge you to revisit your

1 plan on that. Moving the porte-cochere back is also a good  
2 recommendation, and Commissioner Alderson was right on  
3 target in terms of talking to your neighbors. Chevy Chase  
4 is a very involved community, and it's always good to  
5 maintain a good dialogue with your neighbors, when you're  
6 proposing a program of this scale.

7 I think you're moving in the right direction, and  
8 I think if you come back with the information that we've  
9 requested in terms of some concrete idea about the actual  
10 setbacks of what you're proposing, and the neighboring  
11 houses, the block in general, I guess.

12 And if you are able to reduce that extension into  
13 the rear yard -- one of the issues with the Chevy Chase  
14 guidelines is, we're required to ensure that the park-like  
15 setting is maintained. And the more of the lot you cover  
16 with a new building, the less the park-like setting tends to  
17 be retained.

18 And I don't have any issues with removing your  
19 modern addition to the garage. I think that will be a big  
20 improvement. So generally, I think you are hearing a lot of  
21 positive feelings from the Commission about your project.  
22 Do you have any comments about what you have heard?

23 MR. KAUFMAN: No.

24 MR. ROSS: Thank you.

25 MR. ROTENSTEIN: Very good. Then if you would

1 like to work with staff and come back for a historic area  
2 work permit, we certainly look forward to seeing it. And  
3 again, I think you are moving in the direction of creating a  
4 good improvement for this one. So thank you for coming in.

5 MR. KAUFMAN: Thank you.

6 MR. ROSS: Great. Thank you very much.

7

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	4 Quincy Street, Chevy Chase	<b>Meeting Date:</b>	6/24/09
<b>Resource:</b>	Non-Contributing Resource Chevy Chase Village Historic District	<b>Report Date:</b>	6/17/09
<b>Applicant:</b>	Georgetown Capital Partners (Eric Ross, Agent)	<b>Public Notice:</b>	6/10/09
<b>Review:</b>	Preliminary Consultation	<b>Tax Credit:</b>	None
<b>Case Number:</b>	N/A	<b>Staff:</b>	Anne Fothergill

**PROPOSAL:** Demolition of house and new construction

---

**STAFF RECOMMENDATION**

Staff recommends that the applicants make revisions based on the HPC's recommendations and proceed to a HAWP.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Modern  
**DATE:** 1977

**PROPOSAL**

The applicants are proposing to demolish the existing house, built in 1975. They propose to construct a 2½-story, 5,500 SF house with a 2,377 SF footprint on the property. In addition to the main block, the house has two side appendages. There is a one-story room on the left side that is flush with the front elevation. On the right side behind a bay window there is a one-story room with an attached porte-cochere. The house will have clapboard siding, wood shutters, masonry foundation, and a masonry chimney; other materials have not been specified yet. They propose to retain the existing garage and remove the front section of the garage.

See proposed plans and photos in Circles 8-12, 15-22. The applicants have also provided building setback and height comparisons of the adjacent houses in Circles 13 + 14. The applicants are having a tree survey prepared by an arborist and will provide it when available.

**APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Chevy Chase Village Historic District***

The Guidelines define a Non-Contributing or Out-of-Period Resource as “A resource which does not directly contribute to the historicity of the district because of its lack of architectural and historical significance and/or because of major alterations that have eliminated most of the resource’s original architectural integrity. Or a resource that is a newer building, which possibly contributes to the overall streetscape but is out of the district’s primary historical and architectural context.”

The Guidelines state:

Non-contributing/out-of-period resources are either buildings that are of little or no architectural and historical significance to the historic district or newer buildings constructed outside the district’s primary period of historical importance. HAWP applications for exterior alterations, changes, and/or additions to these type of resources should receive the most lenient level of design review.

Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

Demolition of non-contributing/ out-of-period resources should be permitted. However, any new building should be reviewed under the guidelines for new construction that follow.

The goal of new construction within the proposed historic district is to be sympathetic to the traditional street and building patters in the district, while allowing for creative and new building designs. In addition to the approach of recalling earlier architectural styles in new buildings, it is appropriate for new structures to reflect and represent that period in which they are built. It is not the intention of these guidelines to inhibit or exclude creative design solutions that may be developed for new buildings in the district. Unique designs, reflecting architectural excellence, which do not adhere strictly to traditional neighborhood practices, but are sensitive to and compatible with the fabric of the community, should be supported. The key considerations in reviewing new construction should be the two paramount principles identified above—fostering the Village’s shared commitment to evolving eclecticism while maintaining its open park-like character.

### ***Montgomery County Code; Chapter 24A-8:***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner

compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

(4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

(5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

(6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

(c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

### ***Secretary of the Interior's Standards for Rehabilitation:***

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **STAFF DISCUSSION**

The Chevy Chase Guidelines are very clear that demolition of a non-contributing/out-of-period resources should be permitted and that any new house will be reviewed under the guidelines for new construction. They also state that "the key considerations in reviewing new construction should be the two paramount principles identified above—fostering the Village's shared commitment to evolving eclecticism while maintaining its open park-like character."

As can be seen in the height comparison, the proposed building will be lower than the adjacent resources, which is what staff and the Commission always recommend. As can be seen in the setback comparison, both the adjacent properties have wider lots and, the proposed house will extend further back on the subject property. This house appears to have a higher lot coverage than the adjacent houses. The HPC may recommend that the applicants reduce the footprint and overall massing so as not to overpower the neighboring houses. Without the two side appendages (the room on the left side and the room and porte-cochere on the right side), the house would appear narrower and less massive. The HPC may recommend that the room on the left side be pushed further towards the rear and the porte-cochere be simplified or removed. In terms of setbacks, the new house appears to be sited slightly farther forward than the adjacent houses, and the HPC may recommend that the applicants push it back further than the building restriction line to be more in line with the two adjacent houses and in keeping with the setback pattern.

The materials proposed are sympathetic and staff encourages that the applicants also choose compatible and sympathetic materials for the roof, windows (wood), and other material choices.

The proposed retention of the brick garage, especially the rear, older portion, is encouraged as this



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE 2nd FLOOR ROCKVILLE, MD 20850  
240/777-6270

DPS - #8

**HISTORIC PRESERVATION COMMISSION  
301/563-3400**

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Person: Eric Ross

Daytime Phone No.: 301-913-5995 x 115

Tax Account No.: 00454388

Name of Property Owner: Georgetown Capital Partners (contract purch) Daytime Phone No.: 202-244-5090

Address: 5100 Wisconsin Avenue, Suite 514 Washington, DC 20016  
Street Number City State Zip Code

Contractor: Sandy Spring Builders Phone No.: 301-913-5995 x 115

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: Eric Ross Daytime Phone No.: 301-913-5995 x 115

**LOCATION OF BUILDING/PREMISE**

House Number: 4 Street: Quincy

Town/City: Chevy Chase Nearest Cross Street: Connecticut

Lot: 28 Block: 58 Subdivision: 9

Liber: 15947 Folio: 583 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate
- Move  Install  Wreck/Raze
- Revision  Repair  Revocable

CHECK ALL APPLICABLE:

- A/C  Slab  Room Addition  Porch  Deck  Shed
- Solar  Fireplace  Woodburning Stove  Single Family
- Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 1,500,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_


**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

  
Signature of owner or authorized agent  
Eric Ross Authorized Agent

6-3-09  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

45

h1



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The current home is a two story brick "contemporary", (built in 1975) and is designated as a "non-contributing structure" in the historic district of Chevy Chase Village. The house is vacant, run down, and has no architectural or historical significance. There is a 1-1/2 story detached 2 car garage which appears to be at least 80 years old. The intent would be to repair and update this detached 2 car garage provided that it is deemed to be structurally sound.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

As shown on the attached site plan and elevation, the proposed new construction is intended to blend seamlessly into the existing neighborhood in terms of design, scale, and building materials.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

46

Pg 2

Attachment to Application for Historic Area Work Permit  
4 Quincy Street  
June 4, 2009

ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

Patrick M & JN Regan  
6 Quincy Street  
Chevy Chase, MD 20815

Richard C Miller and Nancy B Stone  
2 Quincy Street  
Chevy Chase, MD 20815-4227

Francis B Saul 2<sup>nd</sup> and P E  
1 Quincy Street  
Chevy Chase, MD 20815-4226

Thomas W Jarrett & Martha A Burke  
3 Quincy Street  
Chevy Chase, MD 20815-4226

Marital Trust / Otto J Ruesch et al  
C/o Jeanette Weaver Ruesch  
1 Primrose Street  
Chevy Chase, MD 20815-4228

Michael and Susan Harrreld  
3 Primrose Street  
Chevy Chase, MD 20815-4228

Allan B and Sondra L Geller  
5 Primrose Street  
Chevy Chase, MD 20815-4228

QUINCY STREET

EAST 100.00'

EXISTING DRIVEWAY

31.1' FRONT B.R.L. (APPROXIMATE)

9' SIDE B.R.L.

EX HOUSE  
4 QUINCY STREET

82.0' \*

LOT 28  
12,500 S.F.

20' REAR B.R.L.

WEST 100.00'

9' SIDE B.R.L.

EX GARAGE

NORTH 125.00'

EXISTING SITE PLAN

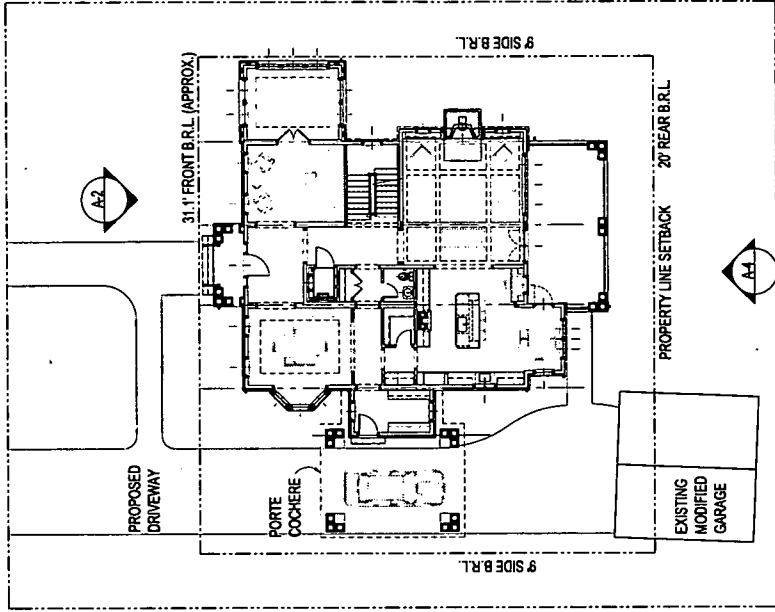
PROPOSED F.A.R. CALCULATION	
FIRST FLOOR	2.46
SECOND FLOOR	1.965
THIRD FLOOR	632
GARAGE (approx.)	545
TOTAL (SQ. FT.)	5,603
ALLOWABLE F.A.R.	.5 (6,250 SQ.FT.)
PROPOSED F.A.R.	.45 (5,603 SQ.FT.)

PROPOSED LOT COVERAGE CALCULATION	
FIRST FLOOR	2,377
GARAGE (approx.)	545
TOTAL (SQ. FT.)	2,922
ALLOWABLE LOT COVERAGE	2,937.5 SQ.FT. (23.5% OF 12,500)
PROPOSED LOT COVERAGE	2,922 SQ.FT. (23.3% OF 12,500)



QUINCY STREET



PROPOSED SITE PLAN

A-1



GTM

G T M A R C H I T E C T S

\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS  
\*SUGGESTED SITE PLAN, CONFIRM WITH CIVIL ENGINEER

4 QUINCY STREET

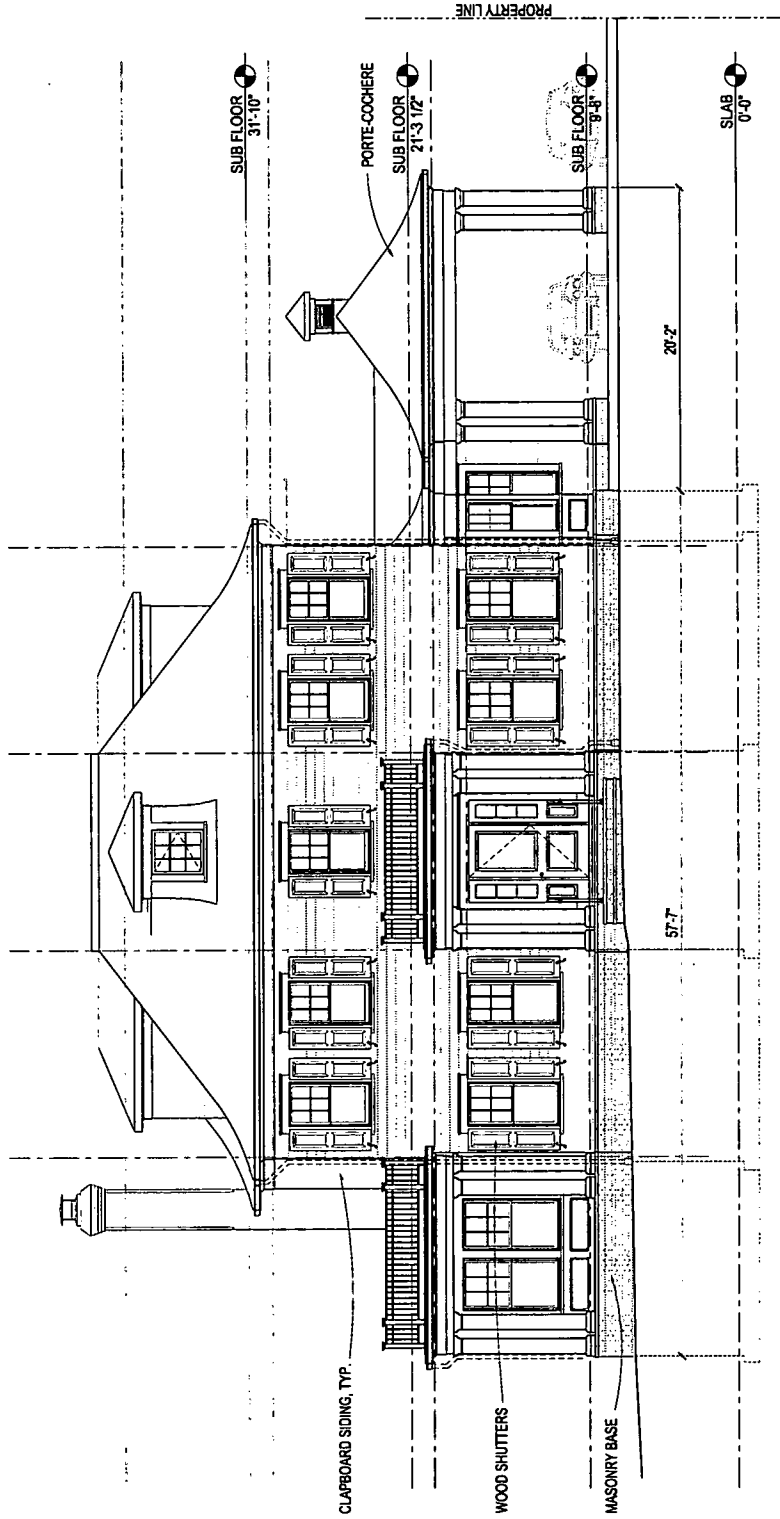
4 QUINCY STREET, CHEVY CHASE, MD

06/03/09

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28



FRONT ELEVATION

A-2



G T M A R C H I T E C T S

\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS  
 \*SUGGESTED SITE PLAN, CONFIRM WITH CIVIL ENGINEER

4 QUINCY STREET

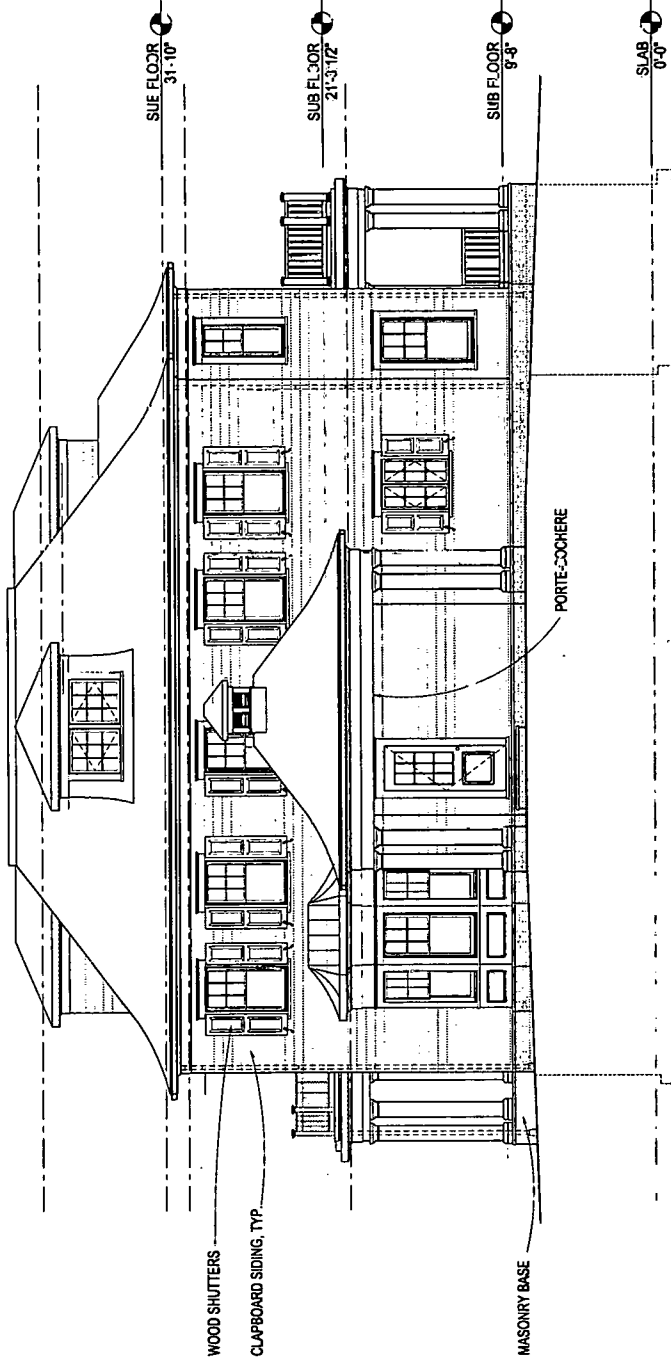
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49



RIGHT ELEVATION

A3



\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS  
 \*SUGGESTED SITE PLAN, CONFIRM WITH CIVIL ENGINEER

GTM ARCHITECTS

4 QUINCY STREET

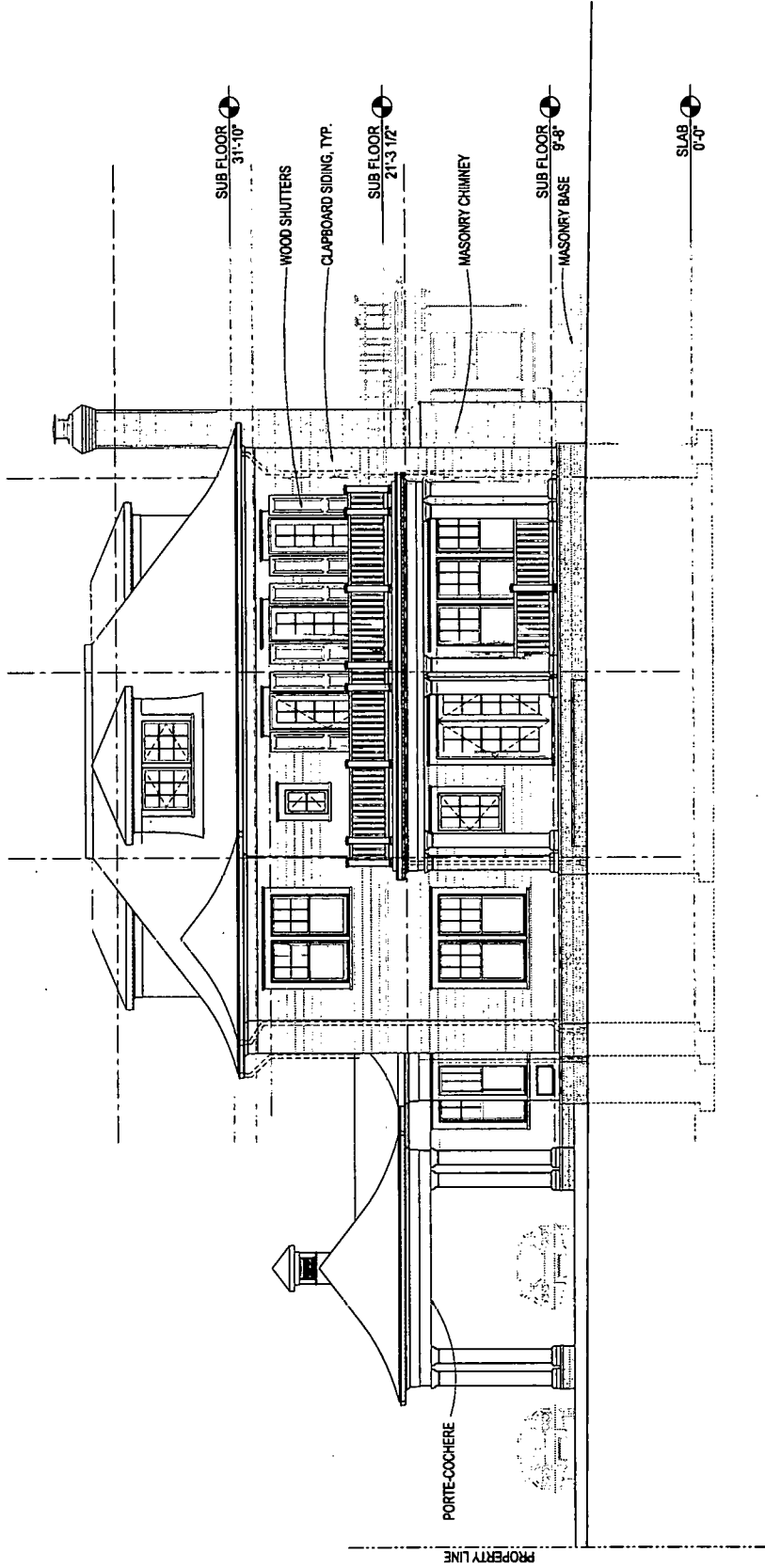
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50



REAR ELEVATION

A-4



G T M ARCHITECTS

\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS  
 \*SUGGESTED SITE PLAN, CONFIRM WITH CIVIL ENGINEER

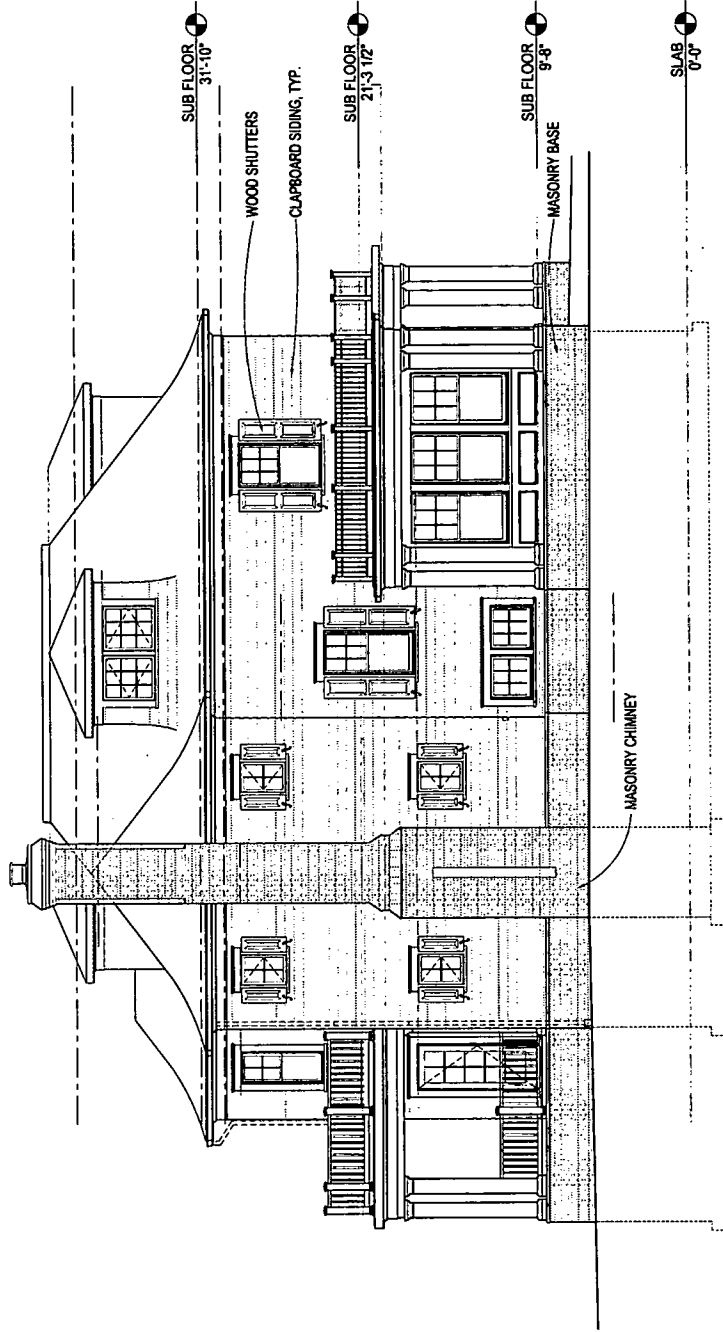
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4 QUINCY STREET

4 QUINCY STREET, CHEVY CHASE, MD 06/03/09





LEFT ELEVATION

A-5

GTNI

\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS  
 \*SUGGESTED SITE PLAN, CONFIRM WITH CIVIL ENGINEER

GT MARCHITECTS

4 QUINCY STREET

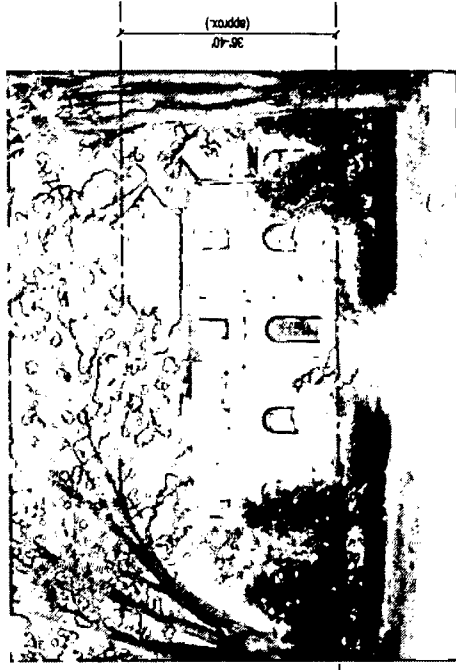
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08/03/09

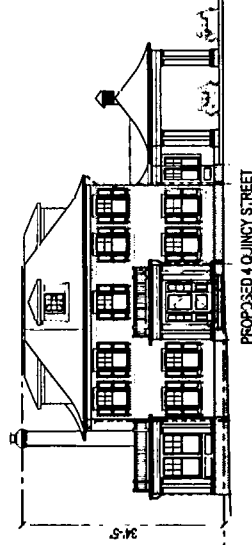
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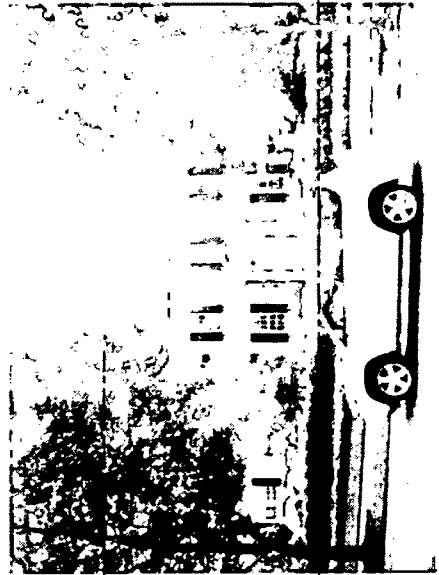
52



2 QUINCY STREET

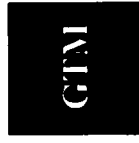


PROPOSED 4 QUINCY STREET



6 QUINCY STREET

A-1a



HEIGHT COMPARISON

DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS

GTM ARCHITECTS

4 QUINCY STREET

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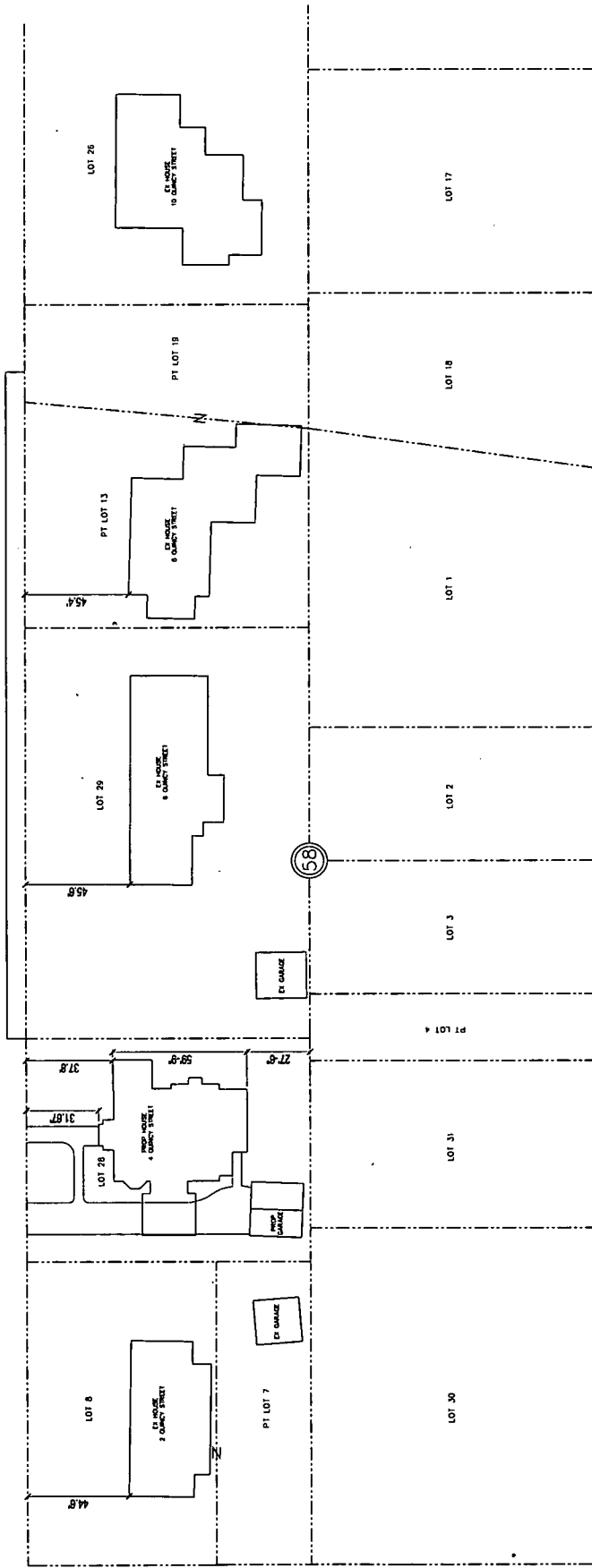
08/15/08

4 QUINCY STREET, CHEVY CHASE, MD

53



QUINCY STREET  
(60' R/W)



CONNECTICUT AVE  
(130' R/W)

PRIMROSE STREET  
(100' R/W)

SETBACK COMPARISON

\*DETAILS AND DIMENSIONS MAY DIFFER FROM ACTUAL PLANS AND ELEVATIONS  
\*SUGGESTED SITE PLAN, CONFIRM WITH CIVIL ENGINEER

4 QUINCY STREET

4 QUINCY STREET, CHEVY CHASE, MD

08/15/09

PROJ. #09.0225

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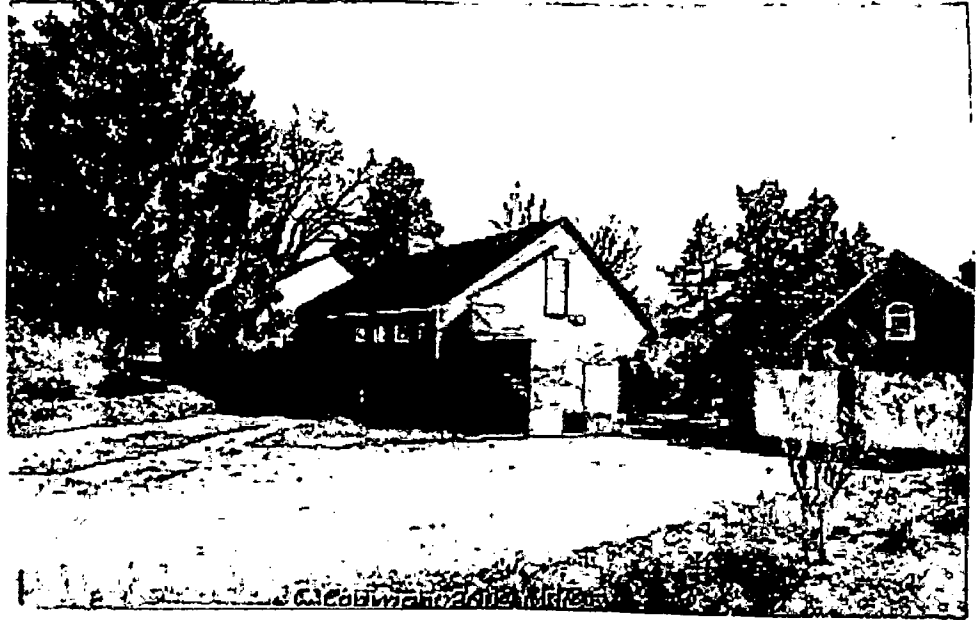
A-1b

GTM

GTM ARCHITECTS

54

Existing Property Condition Photographs (duplicate as needed)



Detail: FRONT

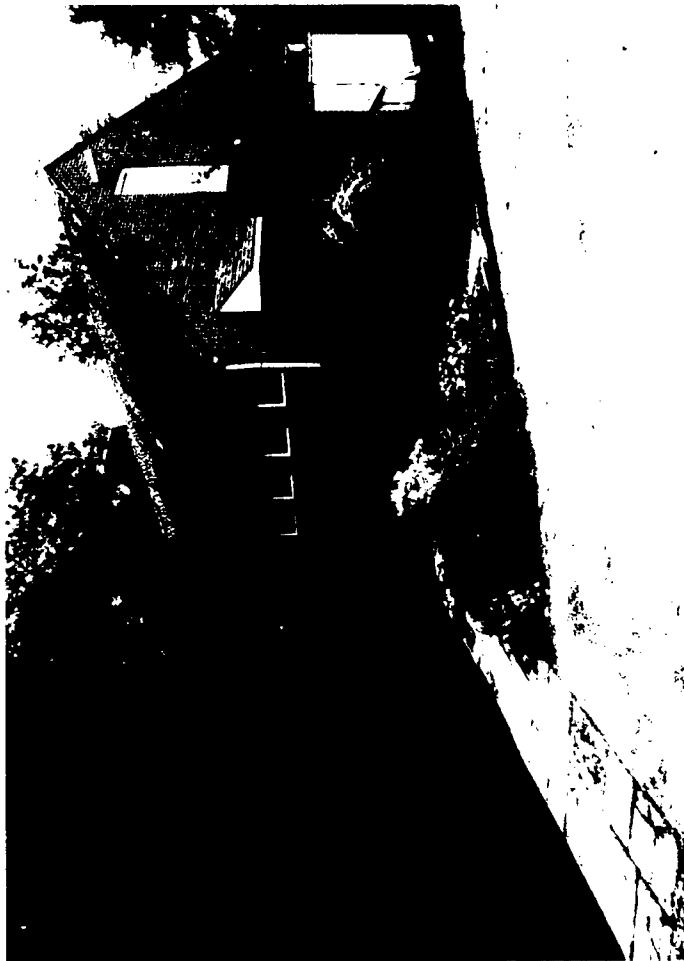
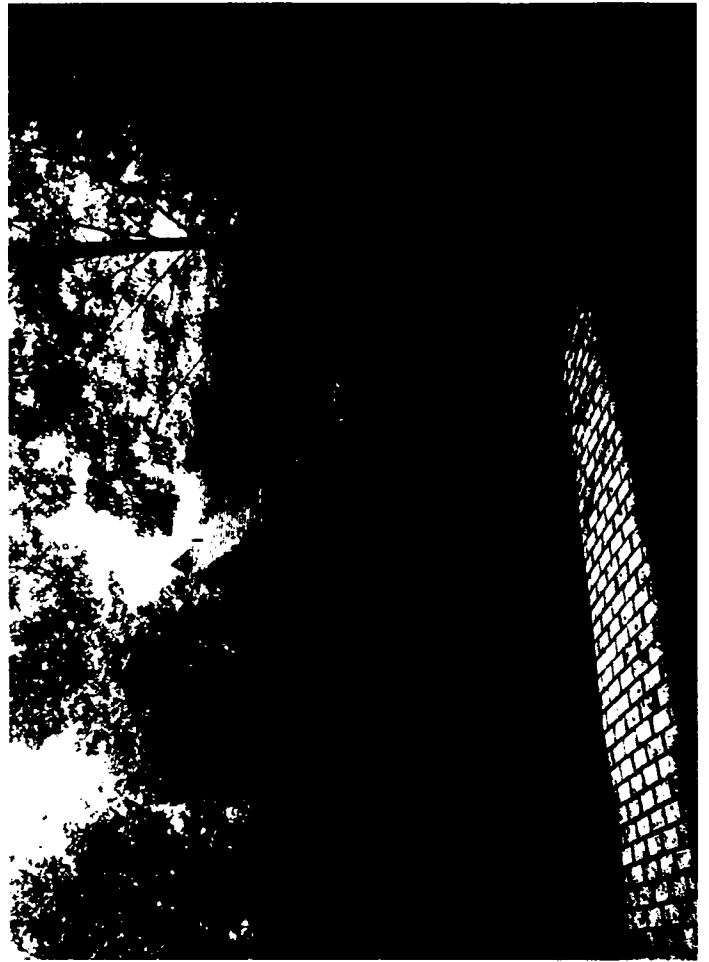


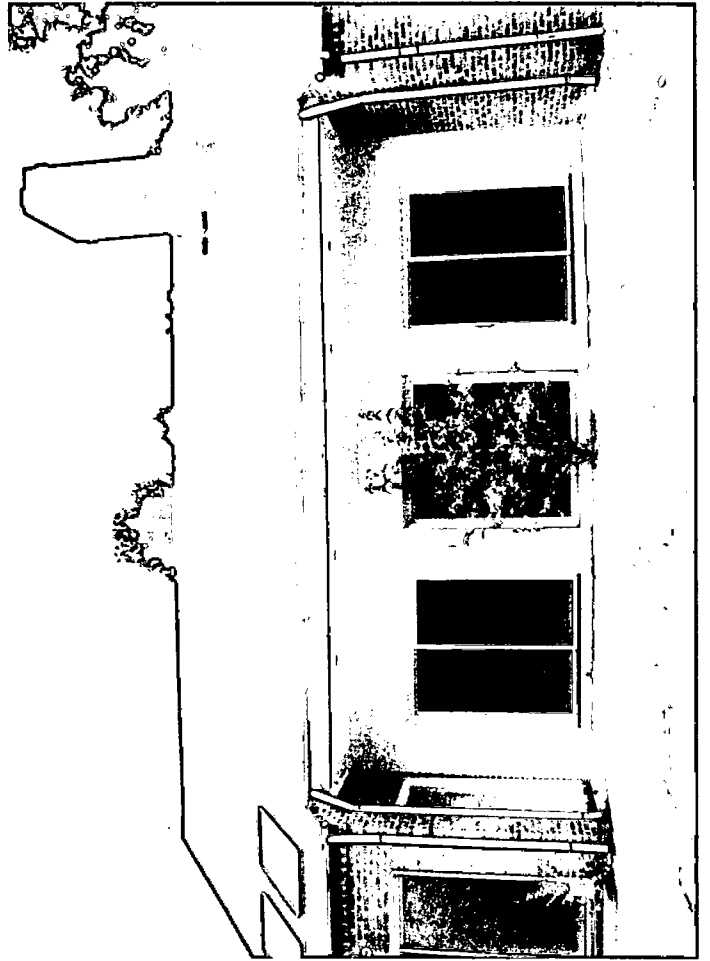
Detail: REAR

Applicant: 4 Duwop Street  
Georgetown Capital Properties











62  
66

## Fothergill, Anne

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**From:** Fothergill, Anne  
**Sent:** Thursday, August 13, 2009 12:24 PM  
**To:** 'Davis-Cook, Shana'; 'Lyerly, Doris'  
**Cc:** 'Eric Ross'  
**Subject:** 4 Quincy Street

Last night the Montgomery County Historic Preservation Commission approved the demolition of the house at 4 Quincy Street as well as the plans for the new house to be built there. Because the demolition and new construction are part of one Historic Area Work Permit, I won't be forwarding a copy of the signed application and DPS approval memo to your office until we have stamped the plans for the new house, which probably won't be for another 6+ weeks. However, I know the Village needs to review the demolition soon and I am hoping this email will suffice as the interim approval memo. If you need anything else from our office please let me know. I am copying the agent, Eric Ross of Sandy Spring Builders, on this email.

thanks,  
Anne

Anne Fothergill  
Planner Coordinator  
Historic Preservation Section  
Urban Design and Preservation Division  
Montgomery County Planning Department  
The Maryland-National Capital Park and Planning Commission  
1109 Spring Street, Suite 801  
Silver Spring, MD 20910  
301-563-3400 phone  
301-563-3412 fax  
<http://www.montgomeryplanning.org/historic>



## Fothergill, Anne

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**From:** Fothergill, Anne  
**Sent:** Thursday, August 13, 2009 12:48 PM  
**To:** 'Lucas, Gail'  
**Cc:** 'Eric Ross'  
**Subject:** 4 Quincy Street

Gail,

Last night the Montgomery County Historic Preservation Commission approved the demolition of the house at 4 Quincy Street, Chevy Chase as well as the plans for the new house to be built there. Because the demolition and new construction are part of one **Historic Area Work Permit (#515307)**, I won't be forwarding a copy of the signed application and approval memo to your office until we have stamped the plans for the new house, which probably won't be for another 6+ weeks. However, the applicant will be applying for the demolition permit soon and I am hoping this email will suffice as the interim approval memo so that the permit reviewer will know the demolition has been approved by the HPC. If you need anything else from our office please let me know. I am copying the agent, Eric Ross of Sandy Spring Builders, on this email.

thanks,  
Anne

Anne Fothergill  
Planner Coordinator  
Historic Preservation Section  
Urban Design and Preservation Division  
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1109 Spring Street, Suite 801  
Silver Spring, MD 20910  
301-563-3400 phone  
301-563-3412 fax  
<http://www.montgomeryplanning.org/historic>

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**From:** Lucas, Gail [mailto:Gail.Lucas@montgomerycountymd.gov]  
**Sent:** Wednesday, August 12, 2009 3:52 PM  
**To:** Fothergill, Anne  
**Subject:** RE: HAWP status

I found the letter. The status has been corrected.

Please complete our Customer Service Survey at  
[http://www.surveymonkey.com/s.aspx?sm=FDA4Q1KBHZkQqbP\\_2f\\_2fWHypQ\\_3d\\_3d](http://www.surveymonkey.com/s.aspx?sm=FDA4Q1KBHZkQqbP_2f_2fWHypQ_3d_3d)

*Gail M. Lucas*

Permitting Services Manager  
Building Construction Division  
255 Rockville Pike, 2nd Floor

**Fothergill, Anne**

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**Subject:** FW: HPC Hearing 8/12/09 - 4 Qu, 23 W Irving, 33 Ox, 3810 Br, 10 New

## LAP comments for Cases II-B, F, G, I, K, and L

---

**From:** Bourke, Tom (Winchester Homes, Inc.)(Tom) [mailto:tom.bourke@whihomes.com]

**Sent:** Wednesday, August 12, 2009 3:00 PM

**To:** Fothergill, Anne; Manarolla, Kevin; Whipple, Scott; Silver, Joshua

**Cc:** Bob Elliott; ChCh Village file (CCV@montgomerycountymd.gov); FeldmanGS@aol.com; Jacobs - Eph's daughter (abjdoe@gmail.com); Marsh, Joan (r.marshes@verizon.net); Stephens, Betsy; Wellington, P. (ccv)

**Subject:** FW: HPC Hearing 8/12/09 - 4 Qu, 23 W Irving, 33 Ox, 3810 Br, 10 New

The following are the comments from the Chevy Chase Village LAP for items on the HPC agenda for 8/12/09. Due to vacations etc, we were able to receive comments from only 3 members of the LAP:

4 Quincy

Non-contributing resource

New house construction

Staff recommendation - approval with conditions related to tree protection, new fence to be wood, 3 replacement trees

LAP comments: We had understood from Staff that the HPC on June 10th HPC had requested additional front yard setback for the main facade of the house, and we see in the minutes that there was extensive discussion of the front setback. We were disappointed that the location of the house in this submission does not appear to have been revised. In terms of square footage this will be one of the largest, if not the largest house, on Quincy St and its current location places it further forward than any of the other houses shown on the applicant's exhibit (21). All of the LAP members who were able to review this application were in agreement that the project not be approved unless the setback is increased to continue the contribute to the "park-like setting" recognized in the Guidelines. If a specific number is required, we suggest that the setback of the main front plane of the house be increased from 38.1' to the lesser of the setbacks of the two adjacent houses: 44.6'.

23 West Irving

Contributing Resource

Alterations to hardscape, shed, retaining wall, fencing

Staff recommends approval and had expedited this.

LAP concurs with Staff recommendation for approval. The LAP commends Staff for using the Expedited Approval process.

33 Oxford St

Contributing Resource

Fence installation - across side yards, 5' wooden picket

Staff recommends approval

LAP concurs with Staff recommendation

3810 Bradley

Outstanding Resource

Revision to approved addition, non-contributing garage

Staff recommends approval

LAP concurs with Staff recommendation

10 Newlands

Contributing Resource

Revisions to approved addition (in rear)

Staff recommends approval

LAP concurs with Staff recommendation

**Fothergill, Anne**

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**Subject:** FW: agenda

**From:** Eric Ross [mailto:[eross@sandyspringbuilders.com](mailto:eross@sandyspringbuilders.com)]

**Sent:** Thursday, July 30, 2009 3:35 PM

**To:** Fothergill, Anne

**Subject:** RE: agenda

Anne,

We can commit to replacing/replanting tree for tree any tree that we remove.

Eric Ross

*Sandy Spring Classic Homes*

**4302 East West Highway**

**Bethesda, MD 20814**


301-913-5995 x 115

301-466-4411(c)

[eross@sandyspringbuilders.com](mailto:eross@sandyspringbuilders.com) (email)

[www.sandyspringclassichomes.com](http://www.sandyspringclassichomes.com) (website)

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12200 Nebel Street, Rockville, MD 20852-2687 • 301-881-8550 (o) 301-881-9063 (f) • [tzastrow@bartlett.com](mailto:tzastrow@bartlett.com)

Mr. Eric Ross  
Sandy Spring Classic Homes  
4302 East West Highway  
Bethesda, MD 20814

June 22, 2009

301.913.5995 x 115  
301.466.4411 (m)

[eross@sandyspringbuilders.com](mailto:eross@sandyspringbuilders.com)

### TREE INSPECTION REPORT

TREE(S): Ornamental and shade trees greater than 6" diameter

LOCATION: 4 Quincy Street (Lot 28), Chevy Chase Village, Maryland 20815

DATE OF INVESTIGATION: 06/11/2009

ARBORIST: Timothy D. Zastrow, ISA Cert. #MA-0043, MD-DNR Tree Expert #390

### FINDINGS & RECOMENDATIONS

Below is a listing of all of the significant trees on this property along with their condition and recommendations for action.

**Tree #1 – Southern Magnolia (17.2"), located on the left side of the existing house, 8' from the back corner:**

This tree is in good condition, but is growing against the foundation. Remove for construction.

**Tree #2 – Neighbor's Crabapple (7.6"), located near the left rear corner of the existing house, 10' from the building restriction line:**

**Tree #3 – Neighbor's Crabapple (8.1"), located near the left front corner of the existing house, 13' from the building restriction line:**

These trees are in good condition, but their low crowns on the construction side may hamper access for work on the new house. Protection of these trees will have to be part of the tree protection plan for this property.

**Tree #4 – Burford Holly (14"), located 2' of the back wall of the existing house about 2' from the left rear corner:**

Good condition, but too close to the house. Remove for construction.

**Tree #5 – Southern Magnolia (14"), located in the left rear corner, 8' from the south property line and 3' from the east property line:**



12200 Nebel Street, Rockville, MD 20852-2687 • 301-881-8550 (o) 301-881-9063 (f) • [tzastraw@bartlett.com](mailto:tzastraw@bartlett.com)

**Tree #6 – Southern Magnolia (16”), located in the right rear, 6’ from the south property line and 13’ from the left rear corner of the existing garage:**

Both of these trees are in fair condition. Thin crowns may be evidence of root disease or a weak root system due to poor drainage in this area. Vines are growing on #6. Provided drainage can be improved these trees may be restored to good health, but if drainage cannot be addressed, or if drywells must be installed in this area both of these trees should be removed.

**Tree #7 – White Pine (13”), located in the right rear, 4’ from the south property line and 21’ from the left rear corner of the existing garage:**

This tree is uprooting and should be removed for safety.

**Tree #8 – Japanese Maple (6.5”), located 9’ from the right rear corner of the existing house:**

Very good condition. This tree is located within the foot print of planned construction. It is a good candidate for transplanting to the front or rear of the property.

**Tree #9 – Norway Spruce (20.8”), center front:**

Fair condition. The crown is thin and it has an active spruce spider mite infestation. If this tree can be given a protected root area of at least 600 SF (14’ radius from trunk), it should be treated to improve growth and control pests. With the protected root zone and the treatments it should be able to return to good health. If this much area cannot be protected due to utilities or construction access, it should be removed.

**Tree #10 – Green Ash (10”), left front, located 3’ from the north property line and 5’ from the east property line:**

Good condition. Has some foliar blighting from Ash Anthracnose.

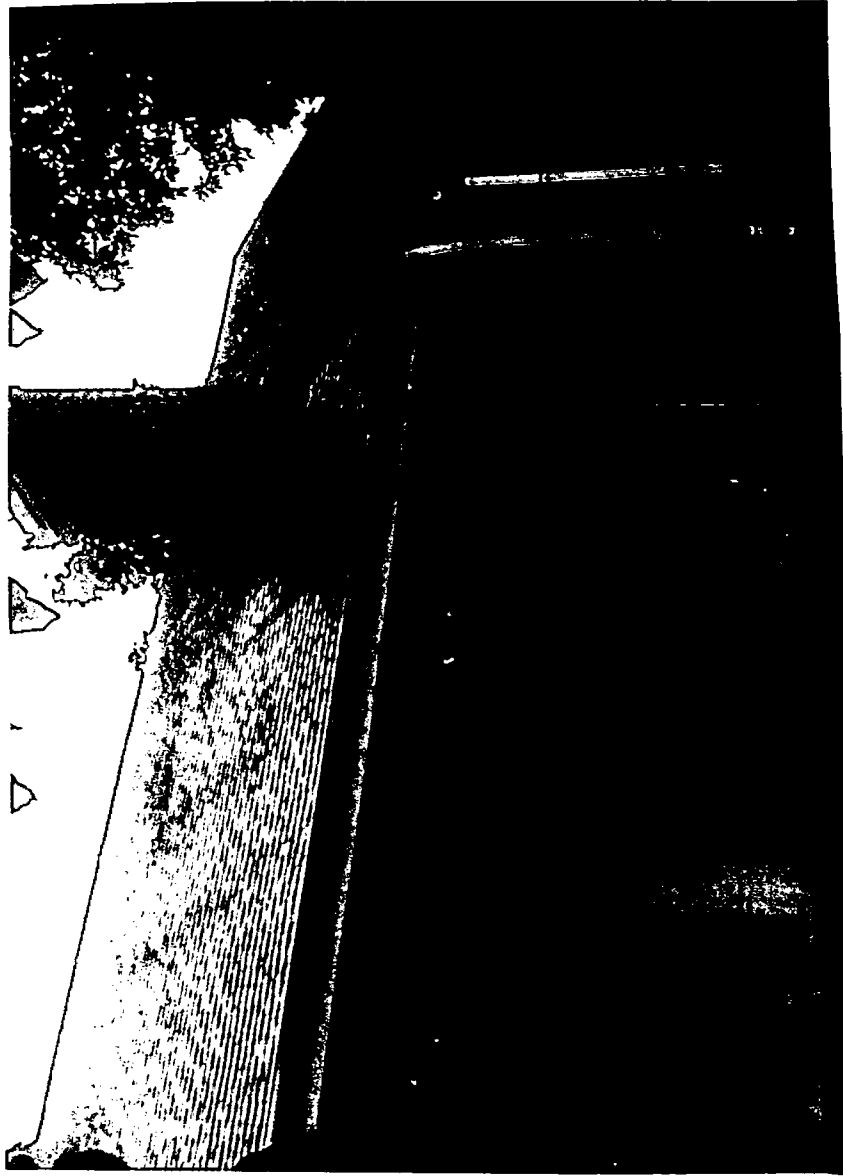
**Tree #11 – Twin trunk Southern Magnolia (16”), located 6’ from the north property line and 25’ from the east property line:**

Fair condition. Thin crown, but good growth in past years. If this tree can be given a protected root area of a least 380 SF (11’ radius from trunk), it should be treated it improve growth. With the protected root zone and treatments it should be able to return to good health. If this much area cannot be protected due to utilities or construction access, it should be removed.

Existing Property Condition Photographs (duplicate as needed)



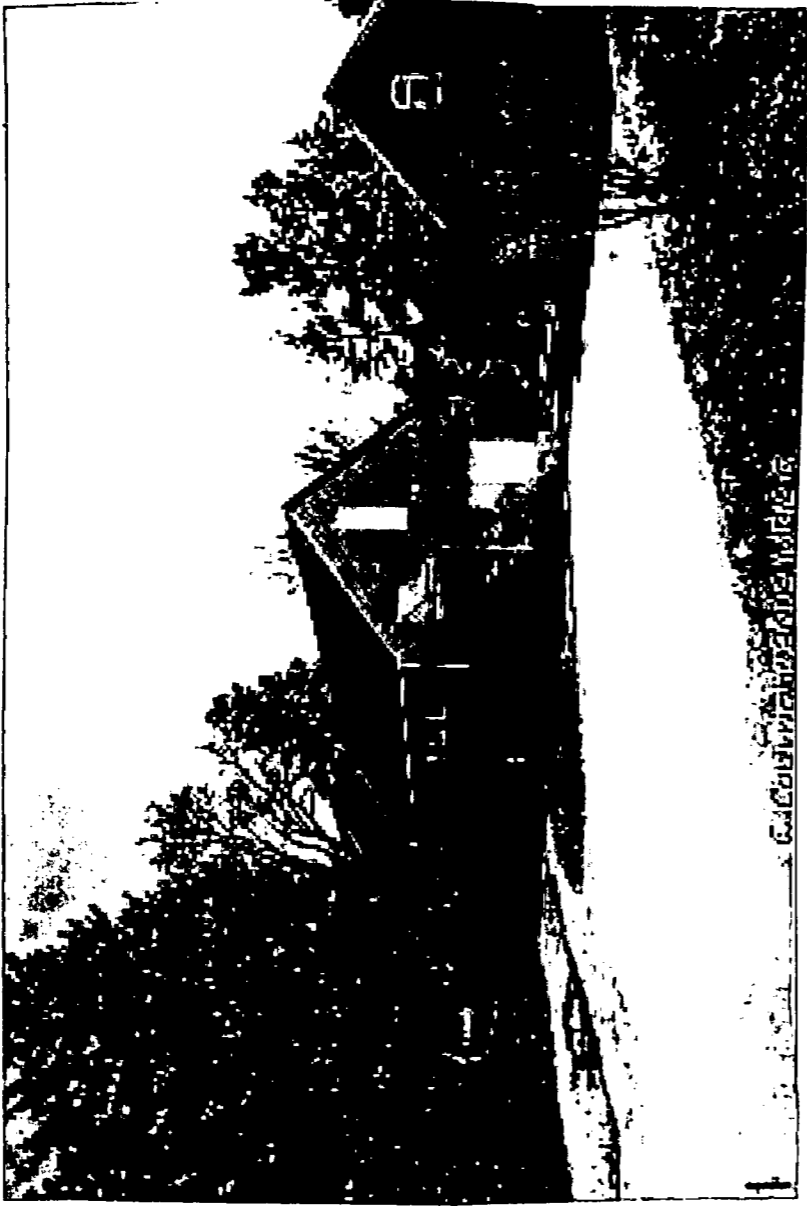
Detail: FRONT



Detail: REAR

Applicant: 4 Duwex Street  
Geoffgetown Capital Partners

Existing Property Condition Photographs (duplicate as needed)



Detail: FRONT



Detail: REAR

Applicant: 4 Duwice Street  
Georgetown Capital Pharmacy

**GENERAL NOTES**

- 1) WATER CATEGORY - 1 SEWER CATEGORY - 1
- 2) BOUNDARY INFORMATION BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED JULY, 2004.
- 3) TWO-FOOT CONTOUR DATA BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED JULY, 2004.
- 4) TOTAL LOT AREA: LOT 28 = 12,500 SQ. FT. (0.287 ACRES)
- 5) PROPERTY SHOWN ON TAX MAP HN 341, LOT 28, BLOCK 58, CHEVY CHASE, SECTION TWO.
- 6) PROPERTY SHOWN ON MISC 2007 SHEET 208 NM 04.
- 7) PROPERTY SHOWN ON MONTGOMERY COUNTY SOILS SURVEY MAP NO. 27, SOIL TYPE(S) 2UB.
- 8) FLOOD ZONE DATA NOT AVAILABLE FOR THE PROPERTY; LOCATED WITHIN CHEVY CHASE VILLAGE.
- 9) SITE IS LOCATED IN THE LOWER ROCK CREEK WATERSHED.
- 10) LOCAL UTILITIES INCLUDE:  
WATER - WASHINGTON SUBURBAN SANITARY COMMISSION  
ELECTRIC - PERCO  
TELEPHONE - VERIZON  
GAS - WASHINGTON GAS

**ZONING DATA**

- 1) ZONING: R-60  
MIN. LOT AREA = 6,000 SQ FT FRONT B.R.L. = 30.9' FT (ESTABLISHED)  
MIN. LOT WIDTH AT 0.0' = 25 FT REAR B.R.L. = 20 FT  
MIN. LOT WIDTH AT B.R.L. = 60 FT SIDE B.R.L. = 0 FT MIN. EACH SIDE, 18 FT MIN. TOTAL
- 2A) MONTGOMERY COUNTY & CHEVY CHASE VILLAGE: VERIFY MEAN HEIGHT OF HOUSE IN ACCORDANCE WITH SECTION 59-C-1.327 OF COUNTY ZONING ORDINANCE AND CHEVY CHASE VILLAGE ORDINANCE.  
MEAN HEIGHT OF HOUSE FROM FIRST FLOOR = 26.84 FT (PER ARCHITECT)  
FIRST FLOOR ELEVATION 361.50 FT  
MEAN HEIGHT OF BUILDING 26.84 FT  
ELEVATION @ MEAN HEIGHT OF BUILDING 358.39 FT  
AVERAGE ELEVATION ALONG FRONT OF HOUSE = 358.85 FT  
HEIGHT OF BUILDING = 358.39 - 358.85 = 29.54 FEET TO THE MEAN POINT  
ALLOWABLE HEIGHT OF BUILDING = 30 FEET TO THE MEAN POINT  
PROPOSED HEIGHT OF ADDITION TO MEAN = 29.6 FEET
- 2B) CHEVY CHASE VILLAGE: MUST ALSO VERIFY HEIGHT TO THE ROOF PEAK IN ACCORDANCE WITH CHEVY CHASE VILLAGE ORDINANCE.  
HEIGHT OF HOUSE FROM FIRST FLOOR TO PEAK = 31.84 FT (PER ARCHITECT)  
FIRST FLOOR ELEVATION 361.50 FT  
HEIGHT OF BUILDING TO ROOF PEAK 31.84 FT  
ELEVATION @ ROOF PEAK 393.34 FT  
AVERAGE ELEVATION ALONG FRONT OF HOUSE = 358.85 FT  
HEIGHT OF BUILDING TO PEAK = 393.34 - 358.85 = 34.49 FEET  
ALLOWABLE HEIGHT OF BUILDING = 35 FEET TO THE PEAK  
PROPOSED HEIGHT OF BUILDING TO PEAK = 34.5 FEET
- 3A) VERIFY LOT COVERAGE IN ACCORDANCE WITH SECTION 59-C-1.326 OF ZONING ORDINANCE. LOT AREA EQUAL TO OR GREATER THAN 6,000 SQUARE FEET BUT LESS THAN 16,000 SQUARE FEET.  
ALLOWABLE LOT COVERAGE 30% OF TOTAL LOT AREA, LESS 0.001 PERCENT FOR EVERY SQUARE FOOT OF LOT AREA EXCEEDING 6,000 SQUARE FEET.  
LOT 28 = 12,500 SQUARE FEET (PER PLAT)  
12,500.00 - 6,000 = 6,500.00 SQUARE FEET  
6,500 \* 0.001 = 6.5  
30% - 6.5% = 23.5%  
ALLOWABLE AREA TO BE COVERED BY BUILDINGS = 2,937.5 SQUARE FEET  
TOTAL AREA COVERED BY BUILDINGS = 2,935.9 SQ. FT.  
- INCLUDES GARAGE, SINCE GARAGE FOOTPRINT IS GREATER THAN 950 SF  
- DOES NOT INCLUDE COVERED REAR PATIO
- 3B) VERIFY LOT COVERAGE IN ACCORDANCE WITH CHEVY CHASE VILLAGE ORDINANCE.  
ALLOWABLE LOT COVERAGE 35% OF TOTAL LOT AREA (INCLUDES STEPS, BUILDINGS, ACCESSORY BUILDINGS, PORCHES, STOPS, RAISED DECKS, OR OTHER RAISED STRUCTURES)  
LOT 28 = 12,500 SQUARE FEET (PER PLAT)  
12,500 \* 0.35 = 4,375 SQ. FT.  
ALLOWABLE LOT COVERAGE = 4,375 SQ. FT.  
TOTAL AREA COVERED BY BUILDINGS = 3,637.4 SQ. FT.
- 3C) VERIFY LOT COVERAGE FOR ACCESSORY BUILDINGS IN ACCORDANCE WITH SECTION 59-C-1.326(4)(1) OF THE ZONING ORDINANCE.  
ALLOWABLE REAR YARD LOT COVERAGE 20% OF TOTAL LOT REAR YARD AREA  
LOT 28 REAR YARD AREA = 4,488.8 SQ. FT.  
4,488.8 \* 0.20 = 897.7 SQ. FT.  
ALLOWABLE LOT COVERAGE = 897.7 SQ. FT.  
TOTAL AREA COVERED BY BUILDINGS = 604.4 SQ. FT. (13%)

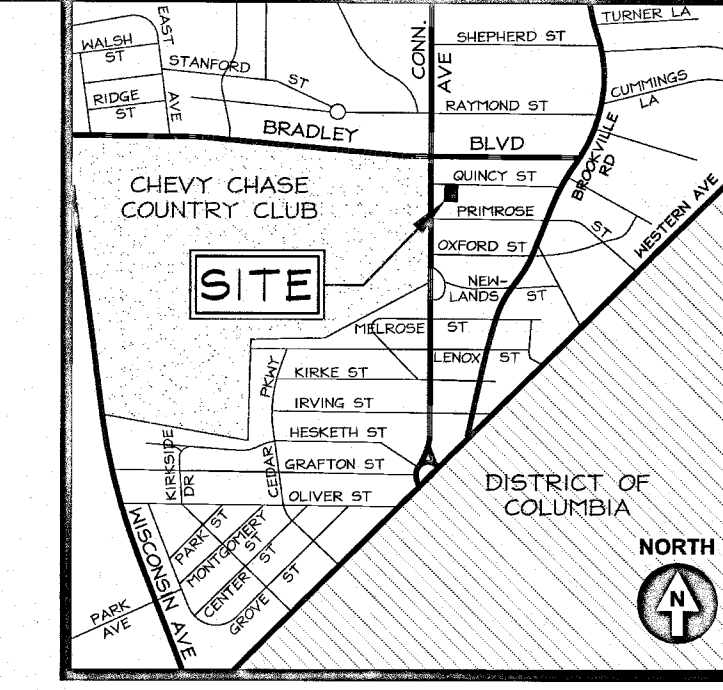
**LEGEND**

**EXISTING FEATURES**

- EX. STORM DRAIN WITH MANHOLE
- EX. SEWER LINE WITH CLEANOUT
- EX. SEWER MANHOLE AND INVERT
- EX. WATER LINE WITH VALVE
- EX. GAS LINE WITH VALVE
- EX. OVERHEAD UTILITY WITH POLE
- EX. UNDERGROUND UTILITY LINE
- EX. UNDERGROUND TELEPHONE W/ MANHOLE
- EX. TWO- AND TEN-FOOT CONTOURS
- EX. SPOT ELEVATION
- EX. CHAIN LINK FENCE
- EX. WIRE FENCE
- EX. WOOD FENCE

**PROPOSED FEATURES**

- PROP. W.H.C. PROP. WATER-HOUSE CONNECTION
- PROP. S.H.C. PROP. SEWER-HOUSE CONNECTION
- PROP. G.H.C. PROP. GAS-HOUSE CONNECTION
- PROP. E.H.C. PROP. ELECTRIC-HOUSE CONNECTION
- PROP. C.W. PROP. CONTOUR WITH ELEVATION
- PROP. S.E. PROP. SPOT ELEVATION
- PROP. R.W. PROP. RETAINING WALL
- PROP. 3" AND 4" PVC PIPE
- PROP. D.O.P. PROP. DOWNSPOUT DISCONNECT AND FLOWPATH
- PROP. R.D. PROP. RAINWATER DRYWELL WITH POP-UP EMITTER (CONFIGURATION VARIES)
- PROP. T.P. PROP. TREE PROTECTION FENCING AND ROOT PRUNING
- PROP. S.F. PROP. PROPOSED SILT FENCE
- PROP. S.C.E. PROP. STABILIZED CONSTRUCTION ENTRANCE
- PROP. I.P. PROP. PROPOSED INLET PROTECTION



**VICINITY MAP**  
ADC MAP 5407, GRID H-4  
SCALE: 1" = 2000'

**STORM DRAIN STRUCTURE SCHEDULE**

STRUCTURE	TYPE / SPECIFICATION	FINISHED GRADE (LOW SIDE)	INV. IN	INV. OUT	COMMENTS
1	DRYWELL (6 RAINWATER TRIPLE MODULES)	357.8	355.3	N/A	FROM ACF ENVIRONMENTAL (SEE DETAILS, SHEET 2)
2	DRYWELL (7 RAINWATER TRIPLE MODULES)	360.5	358.0	N/A	FROM ACF ENVIRONMENTAL (SEE DETAILS, SHEET 2)
3	DRYWELL (7 RAINWATER TRIPLE MODULES)	357.2	352.2	N/A	FROM ACF ENVIRONMENTAL (SEE DETAILS, SHEET 2) 4" PVC OVERFLOW REQUIRED
4	DRYWELL (8 RAINWATER TRIPLE MODULES)	355.5	352.2	N/A	FROM ACF ENVIRONMENTAL (SEE DETAILS, SHEET 2) 4" PVC OVERFLOW REQUIRED
5	ACC TRENCH DRAIN (#3 K28-K30, K900)	354.7	N/A	353.0	FROM ACC DRAIN (SEE DETAILS, SHEET 2)

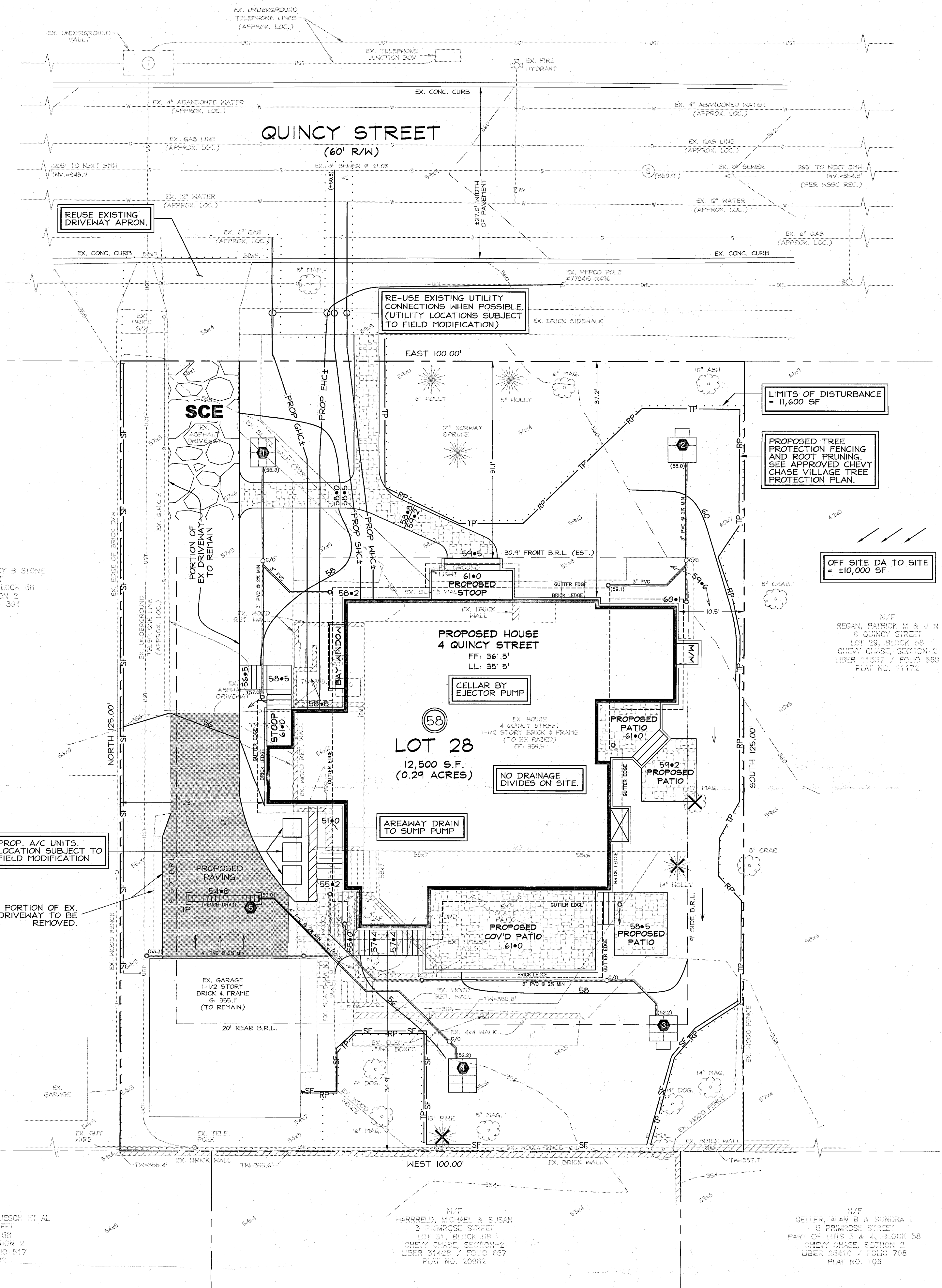
REFER TO NDS, INC. DRAINAGE PRODUCTS CATALOG FOR ADDITIONAL NECESSARY ACCESSORIES FOR ASSEMBLY

**SEQUENCE OF CONSTRUCTION**

- 1) PRIOR TO CLEARING OF TREES, INSTALLING SEDIMENT CONTROL MEASURES, OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE CONDUCTED ON-SITE WITH THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES (MCDPS) SEDIMENT CONTROL INSPECTOR, 240-777-6210 (48 HOURS NOTICE) AND THE CHEVY CHASE VILLAGE ARBORIST, BILL DUNN, 301-343-2563.
- 2) THE LIMITS OF DISTURBANCE MUST BE FIELD MARKED PRIOR TO CLEARING OF TREES, INSTALLATION OF SEDIMENT CONTROL MEASURES, CONSTRUCTION, OR OTHER LAND DISTURBING ACTIVITIES.
- 3) REMOVE EXISTING STRUCTURES PER DEMOLITION PERMIT.
- 4) CLEAR AND GRADE FOR INSTALLATION OF SEDIMENT CONTROL DEVICES.
- 5) INSTALL SEDIMENT CONTROL DEVICES.
- 6) ONCE THE SEDIMENT CONTROL DEVICES ARE INSTALLED, THE PERMITTEE MUST OBTAIN WRITTEN APPROVAL FROM THE MCDPS INSPECTOR BEFORE PROCEEDING WITH ANY ADDITIONAL CLEARING, GRUBBING, OR GRADING.
- 7) INSTALL BASE COURSES FOR DRIVEWAY AND CONSTRUCT HOUSE, ETC.
- 8) PAVE DRIVEWAY, PERMANENTLY STABILIZE ALL REMAINING AREAS.
- 9) OBTAIN WRITTEN APPROVAL FROM MCDPS INSPECTOR, PRIOR TO THE REMOVAL OF ANY AND ALL REMAINING SEDIMENT CONTROL DEVICES.

**STORM DRAIN NOTES**

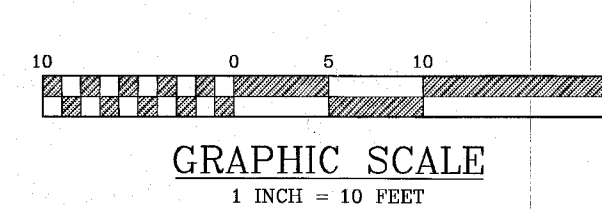
- 1) ALL STORM DRAIN PIPE TO BE SCHEDULE 40 PVC OR OF HIGHER QUALITY (I.E. CAST IRON).
- 2) DOWNSPOUT LEADERS ORIGINATING DIRECTLY FROM DOWNSPOUTS TO BE 3" DIA PVC. AS TWO OR MORE PIPES ARE CONNECTED IN SERIES, INCREASE PIPE DIAMETER TO 4" PVC, UNLESS NOTED OTHERWISE.
- 3) PROVIDE CLEANOUTS, AS SHOWN ON PLAN AT A MINIMUM, OR AS REQUIRED BY PLUMBING CODE.
- 4) PIPE SLOPE TO BE 2%, MINIMUM.
- 5) MAINTAIN MINIMUM 12" COVER OVER ALL PIPE IN TRAFFIC BEARING LOCATIONS; MINIMUM 12" IN NON-TRAFFIC AREAS.
- 6) ALL STORM DRAIN UNDER DRIVEWAY OR PAVED AREAS TO BE BEDDED IN GRAVEL AND TO HAVE A MINIMUM OF 12" OF COVER, OR BE CAST IRON.
- 7) WHERE RAINWATER MODULES ARE SPECIFIED, CONTACT 'ACF ENVIRONMENTAL' (800-448-3636; www.acfenvironmental.com).
- 8) GEOTEXTILE ON AROUND RAINWATER TO BE MARAFI 140-N, 4 OZ/S.Y. NON-WOVEN MATERIAL, OR APPROVED EQUIVALENT. PROVIDE 12" MIN. OVERLAP ON EDGES.
- 9) SURCHARGE PIPE REQUIRED AT A MINIMUM OF ONE DOWNSPOUT PER RAINWATER DRYWELL.



**AVERAGE GRADE DETERMINATION**

ELEV @ POINT 1	ELEV @ POINT 2	AVG. GRADE	SECTION LENGTH	% TOTAL LENGTH	AVERAGE GRADE x % LENGTH
357.6	360.1	358.85	53.42	100.0%	358.85

AVERAGE GRADE = 358.85'



**TOPSOIL NOTE**

ALL DISTURBED AREAS MUST BE TOPSOILED PER THE MONTGOMERY COUNTY "STANDARDS AND SPECIFICATIONS FOR TOPSOIL", PRIOR TO FINAL VEGETATIVE STABILIZATION. SPECIFICATIONS ARE SHOWN ON SHEET TWO.

**MISS UTILITY**

FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

**NOTE: EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THEY ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY. ALL UTILITY LOCATIONS MUST BE FIELD VERIFIED.**

**BUILDER**  
SANDY SPRING BUILDERS  
ATTN: PHIL LEIBOVITZ  
4502 EAST WEST HIGHWAY  
BETHESDA, MD 20814  
(301) 913-5995 PHONE

**ARCHITECT**  
GTM ARCHITECTS  
7535 OLD GEORGETOWN ROAD  
SUITE 700  
BETHESDA, MARYLAND 20814  
(240) 333-2000 MAIN  
(202) 333-2026 DIRECT  
(240) 333-2001 FAX

**OWNER**  
4 QUINCY, LLC  
4 QUINCY STREET  
CHEVY CHASE, MARYLAND 20815  
ATTN: JOHN YORK  
(202) 244-5090 PHONE  
(202) 244-5091 FAX

**RELATED REQUIRED PERMITS**  
To be completed by the consultant and placed on the first sheet of the Sediment Control/Stormwater Management plan set for all projects.  
IT IS THE RESPONSIBILITY OF PERMITTEE/OWNER OF THIS SITE TO OBTAIN ALL REQUIRED PERMITS PRIOR TO ISSUANCE OF THE APPROVED SEDIMENT CONTROL PERMIT.

TYPE OF PERMIT	REQD	NOT REQD	PERMIT NO.	EXPIRATION DATE	WORK RESTRICTION DATES
MCDPS Floodplain District		X			
WATERWAYS/WETLAND(S):		X			
a. Corps of Engineers		X			
b. MDE		X			
c. MDC Water Quality Certification		X			
MDE Dam Safety		X			
N.P.D.E.S. NOTICE OF INTENT		X	N/A	N/A	DATE FILED
OTHERS (Please List):		X			

**MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES APPROVED FOR:**

STORMWATER MANAGEMENT:

REVIEWED DATE \_\_\_\_\_  
APPROVED DATE \_\_\_\_\_  
S.M. FILE NO. \_\_\_\_\_

SEDIMENT CONTROL TECHNICAL REQUIREMENTS:

REVIEWED DATE \_\_\_\_\_  
APPROVED DATE \_\_\_\_\_  
S.M. FILE NO. \_\_\_\_\_

ADMINISTRATIVE REQUIREMENTS:

REVIEWED DATE \_\_\_\_\_  
APPROVED DATE \_\_\_\_\_  
SEDIMENT CONTROL PERMIT NUMBER \_\_\_\_\_

MCDPS APPROVAL OF THIS PLAN WILL EXPIRE ONE YEAR FROM THE DATE OF APPROVAL IF THE PROJECT HAS NOT STARTED UNLESS THE PERMIT HAS BEEN EXTENDED.

NOTE: MCDPS APPROVAL DOES NOT NEGATE THE NEED OF A MCDPS ACCESS PERMIT.

DATE: 11/2009  
PROJECT: 09-073  
ENGINEERING: EBT  
ILLUSTRATION: EBT  
SCALE: 1"=10'  
APPROVAL: CAS

BY: REVISION: PERMIT SET  
DATE: 02/20/09

4 QUINCY STREET, LOT 28, BLOCK 58  
P.B. 99, PLAT 11772, C.R.C.A. 02/03/976

CHEVY CHASE, SEC. 2  
BETHESDA (7TH) ELECTION DISTRICT  
MONTGOMERY COUNTY, MARYLAND

BUILDING PERMIT SITE  
STORMWATER MANAGEMENT AND  
SEDIMENT CONTROL PLAN

CAS ENGINEERING  
CIVIL • SURVEYING • LAND PLANNING  
A DIVISION OF CAS ENTERPRISES, INC.  
108 West Ridgeville Blvd., Suite 101, Mount Airy, Maryland 21771  
DC Metro (202) 607-8031 FAX (301) 907-6045

APPROVED  
Montgomery County  
Department of Permitting Services  
12/15/09

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