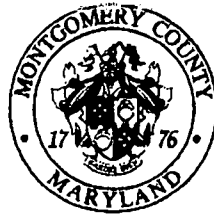


12 PIMOSE street
Cherry Chase Village H.P.

2011 H.P.



HISTORIC PRESERVATION COMMISSION

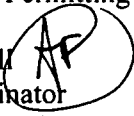
Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: 7/15/11

MEMORANDUM

TO: Jennifer Hughes, Acting Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #570903—hand railing installation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on July 13, 2011.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Stewart Bainum Jr.
Address: 12 Primrose Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





570903

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: ROB NOBLE
Daytime Phone No.: 443-433-6894

Tax Account No.: 03210411

Name of Property Owner: STENWALT BAINUM JR Daytime Phone No.: 301-656-6829

Address: 12 PRIMROSE ST CHEVY CHASE MD 20815-4229
Street Number City Street Zip Code

Contractor: WINCHESTER CONSTRUCTION CO, INC Phone No.: 410-987-5905

Contractor Registration No.: MD #12309

Agent for Owner: ROB NOBLE Daytime Phone No.: 443-433-6894

LOCATION OF BUILDING/PREMISE

House Number: 12 Street: PRIMROSE
Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE
Lot: 38 Block: 57 Subdivision: 0009
Liber: _____ Folio: _____ Parcel: 0000

Handwritten notes and stamps: "NEW 12", "12", "38", "57", "0009", "0000"

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|---|---|--|---|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input checked="" type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: <u>PORCH/RAILINGS</u> | | | | |

1B. Construction cost estimate: \$ 5000.

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: ROB NOBLE Date: 5/24/11

Approved: _____
Signature: _____ Date: _____

Disapproved: _____
Application/Permit No.: 570903 Date Filed: _____ Date Issued: 7/14/11

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING HOME WITH PORCHES LISTED UNDER ITEM B.
EXISTING PORCHES / STAIR) DO NOT HAVE RAILINGS AT
THIS TIME

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

INSTALL METAL STAIR RAILINGS AT:
COVERED PORCH (1)
BACK STAIR (2)

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

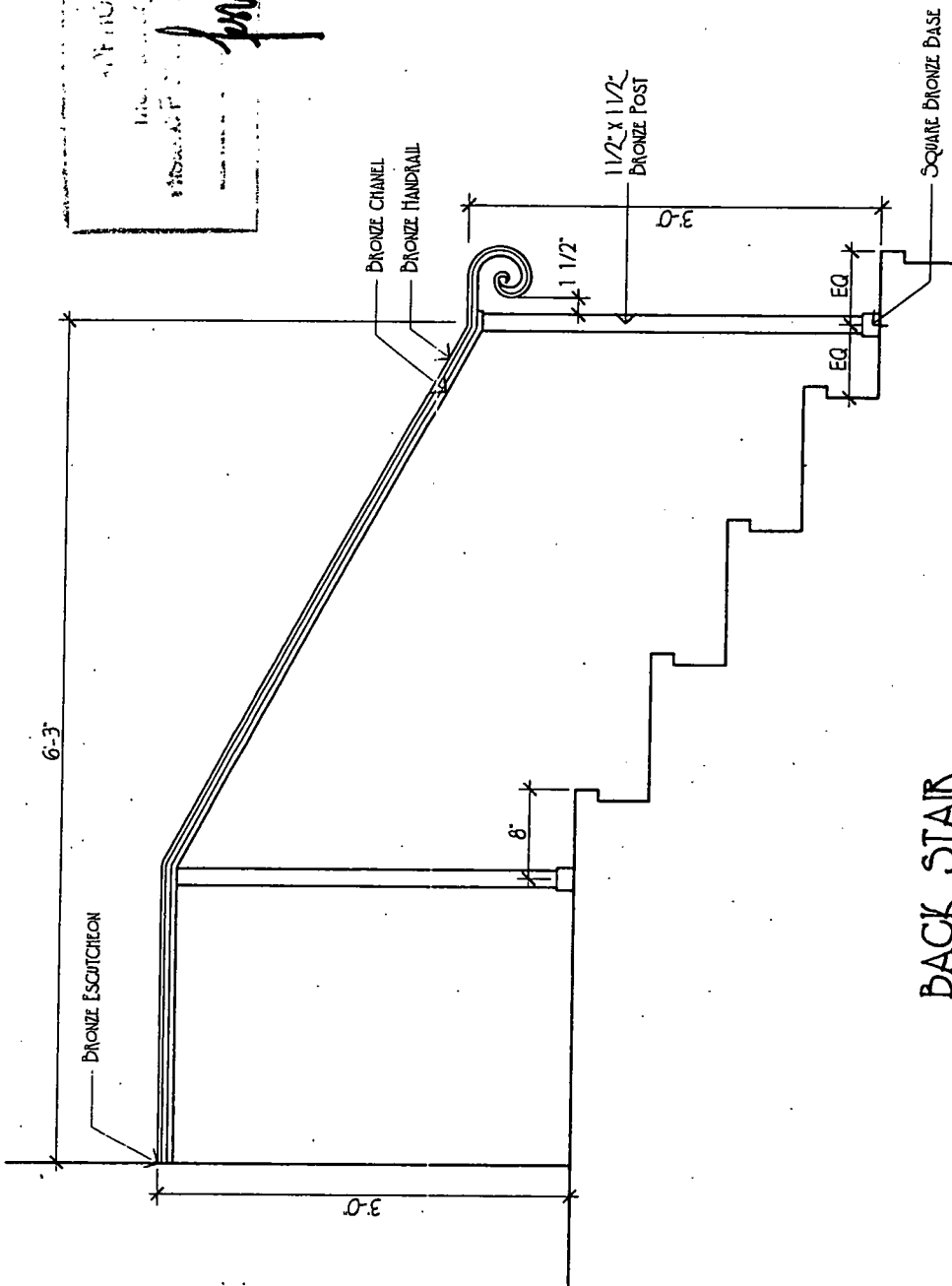
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For All projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



**BACK STAIR
HANDRAIL ELEVATION**
SCALE: 3/4" = 1'-0"

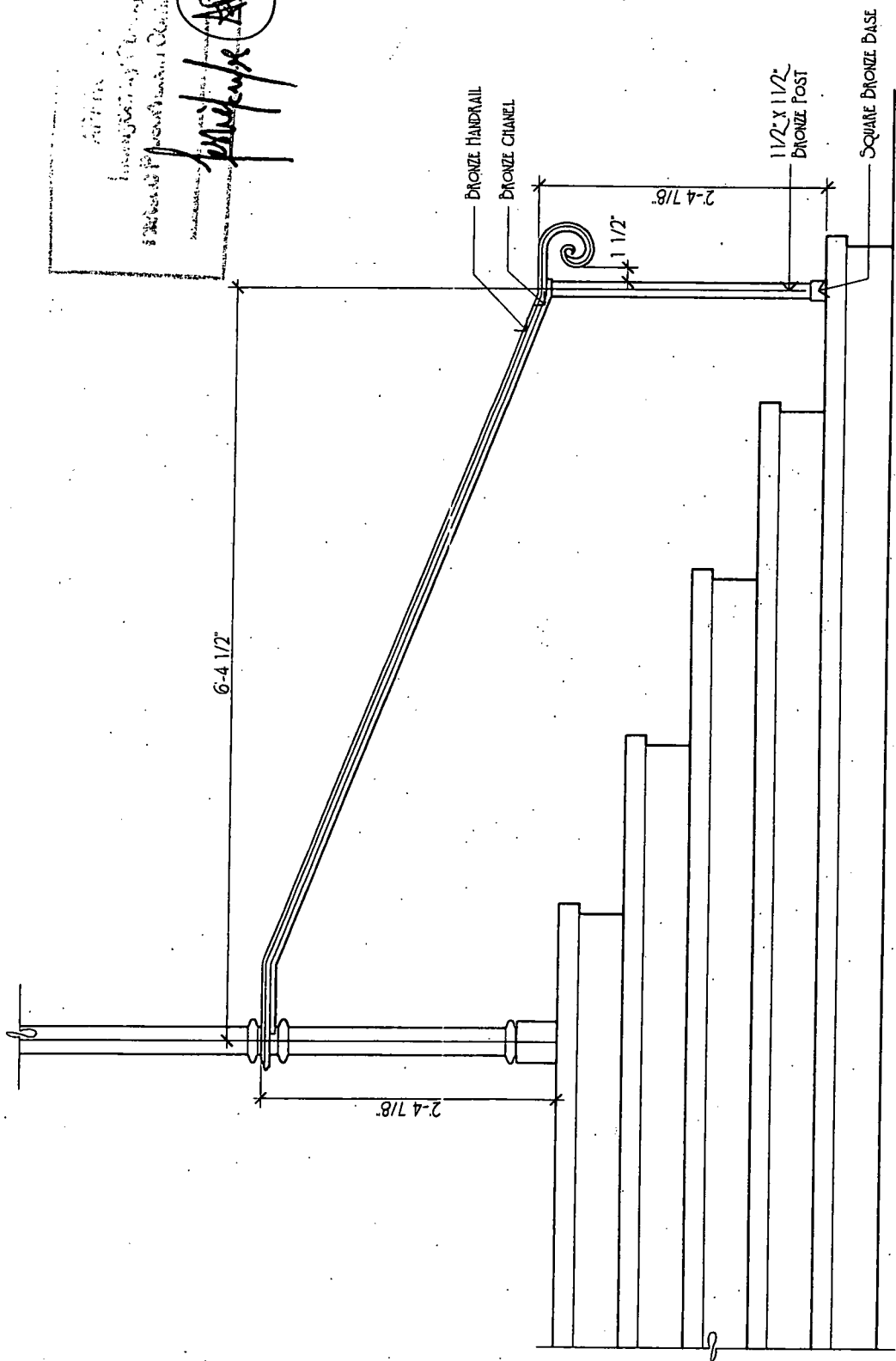
2 RAICW65

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
SHOP DRAWINGS ARE TO BE APPROVED BY ARCHITECT PRIOR TO FABRICATION

<p>GOOD ARCHITECTURE PROFESSIONAL CORPORATION 132 WEST STREET • ANNAPOLIS, MARYLAND 21401 • TELEPHONE: 410.268.7414 • FACSIMILE: 410.268.7430</p>	<p>THE BAINUM RESIDENCE 12 PRUNOSE STREET, CHEFFY CHASE, MD 20815</p>	<p>DRAWN BY: EMS</p>	<p>ISSUED: 05/02/2011 FOR CONSTRUCTION</p>	<p>A.1</p>
	<p>CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS SHOP DRAWINGS ARE TO BE APPROVED BY ARCHITECT PRIOR TO FABRICATION</p>			




ARCHITECT
 GOOD ARCHITECTURE
 PROFESSIONAL CORPORATION
 132 WEST STREET, ANNAPOLIS, MARYLAND 21401
 TEL: 410.268.7414 FAX: 410.268.7438
 [Signature]



COVERED PORCH STAIR
 HANDRAIL ELEVATION
 SCALE: 3/4" = 1'-0"

1 PARALLEL

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
 SHOP DRAWINGS ARE TO BE APPROVED BY ARCHITECT PRIOR TO FABRICATION

	GOOD ARCHITECTURE PROFESSIONAL CORPORATION 132 WEST STREET • ANNAPOLIS, MARYLAND 21401 • TELEPHONE: 410.268.7414 • FACSIMILE: 410.268.7438		DRAWN BY: EMS	ISSUED: 05/02/2011 FOR CONSTRUCTION	A2
	THE BAINUM RESIDENCE 12 PINNACOLE STREET, CHEVY CHASE, MD 20015				

3/4" DIA. BRONZE SPINDLE
ANCHOR IN MASONRY WALL

BRONZE CHANEL

BRONZE HANDRAIL

1 1/2" X 1 1/2" BRONZE POST

BRONZE ESCUTCHEON


APPROVED
DATE: 05/02/2011
[Signature]

KITCHEN STAIR HANDRAIL ELEVATION

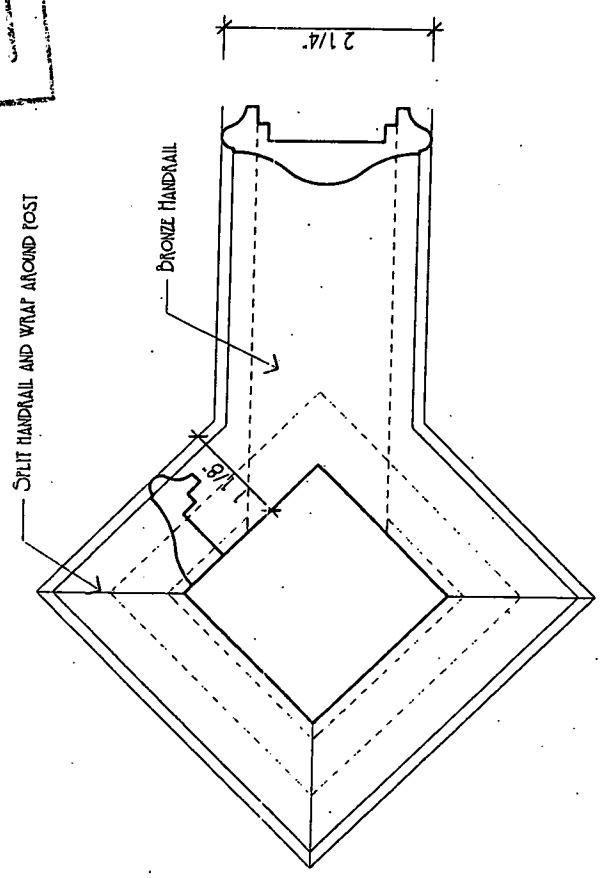
SCALE: 3/4" = 1'-0"

1 RA-1111 (

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
SHOP DRAWINGS ARE TO BE APPROVED BY ARCHITECT PRIOR TO FABRICATION

 <p>GOOD ARCHITECTURE Professional Corporation 132 WEST STREET • ANNE ARBOR, MARYLAND 21401 • TELEPHONE: 410.268.7414 • FAX: 410.268.7434</p>	<p>→ THE BAINUM RESIDENCE → 12 FARMHOUSE STREET, CHEVY CHASE, MD 20815</p>		<p>DRAWN BY: BMS</p>	<p>ISSUED: 05/02/2011 FOR CONSTRUCTION</p>	<p>A.3</p>
	<p>CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. SHOP DRAWINGS ARE TO BE APPROVED BY ARCHITECT PRIOR TO FABRICATION</p>				

Handwritten signature and initials



**PLAN DETAIL
HANDRAIL @ COVERED PORCH POST**
SCALE: 6" = 1'-0"

STOP DRAWINGS ARE TO BE APPROVED BY ARCHITECT PRIOR TO FABRICATION

DRAWN BY:	ISSUED:
EMS	05/02/2011 FOR CONSTRUCTION

THE BAINUM RESIDENCE
12 PUMPOSE STREET, CHEVY CHASE, MD 20015

GOOD ARCHITECTURE
PROFESSIONAL CORPORATION
133 WEST FERRY • ANNAPOLIS, MARYLAND 21401 • TELEPHONE 410.368.7414 • FACSIMILE 410.368.7428



A.5

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	12 Primrose Street, Chevy Chase	Meeting Date:	7/13/11
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	7/6/11
Applicant:	Stewart Bainum Jr.	Public Notice:	6/29/11
Review:	HAWP	Tax Credit:	None
Case Numbers:	35/13-11S	Staff:	Anne Fothergill
Proposal:	Hand railing installation		

STAFF RECOMMENDATION

- Approval
 Approval with conditions

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Renaissance Revival
DATE: 1922

PROPOSAL

The applicants are proposing to install bronze railings on the back stairs and on the stairs to the side porches of the house. The railing designs are in Circles 7-12.

APPLICABLE GUIDELINES

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8(b), (1) and (2);

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.



570903

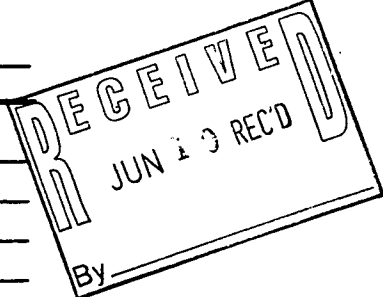
DPS-88

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: ROB NOBLE
Daytime Phone No.: 443-433-6894

Tax Account No.: 03210411
Name of Property Owner: STEWART BAINUM JR Daytime Phone No.: 301-656-6829
Address: 12 PRIMROSE ST CHEVY CHASE MD 20815-4229
Street Number City Street Zip Code
Contractor: WINCHESTER CONSTRUCTION CO, INC Phone No.: 410-987-5905
Contractor Registration No.: MS #12309
Agent for Owner: ROB NOBLE Daytime Phone No.: 443-433-6894



LOCATION OF BUILDING/PREMISE
House Number: 12 Street: PRIMROSE
Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE
Lot: 38 Block: 57 Subdivision: 0009
Liber: _____ Folio: _____ Parcel: 0000

PART ONE: TYPE OF PERMIT ACTION AND USE

- | | |
|---|--|
| 1A. CHECK ALL APPLICABLE: | CHECK ALL APPLICABLE: |
| <input type="checkbox"/> Construct | <input type="checkbox"/> A/C |
| <input type="checkbox"/> Extend | <input type="checkbox"/> Stab |
| <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> Room Addition |
| <input type="checkbox"/> Move | <input type="checkbox"/> Porch |
| <input checked="" type="checkbox"/> Install | <input type="checkbox"/> Deck |
| <input type="checkbox"/> Wrack/Raze | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Repair | <input type="checkbox"/> Fireplace |
| <input type="checkbox"/> Revocable | <input type="checkbox"/> Woodburning Stove |
| | <input type="checkbox"/> Single Family |
| | <input type="checkbox"/> Fence/Wall (complete Section 4) |
| | <input type="checkbox"/> Other: <u>PORCH RAILINGS</u> |

1B. Construction cost estimate: \$ 5000.

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

ROB NOBLE 5/24/11
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 570903 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING HOME WITH PORCHES USED UNDER IT IS
EXISTING PORCHES / STAIR) DO NOT HAVE RAILINGS AT
THIS TIME

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

INSTALL METAL STAIR RAILINGS AT:
COVERED PORCH (1)
BACK STAIR (2)

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
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4. MATERIALS SPECIFICATIONS

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PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

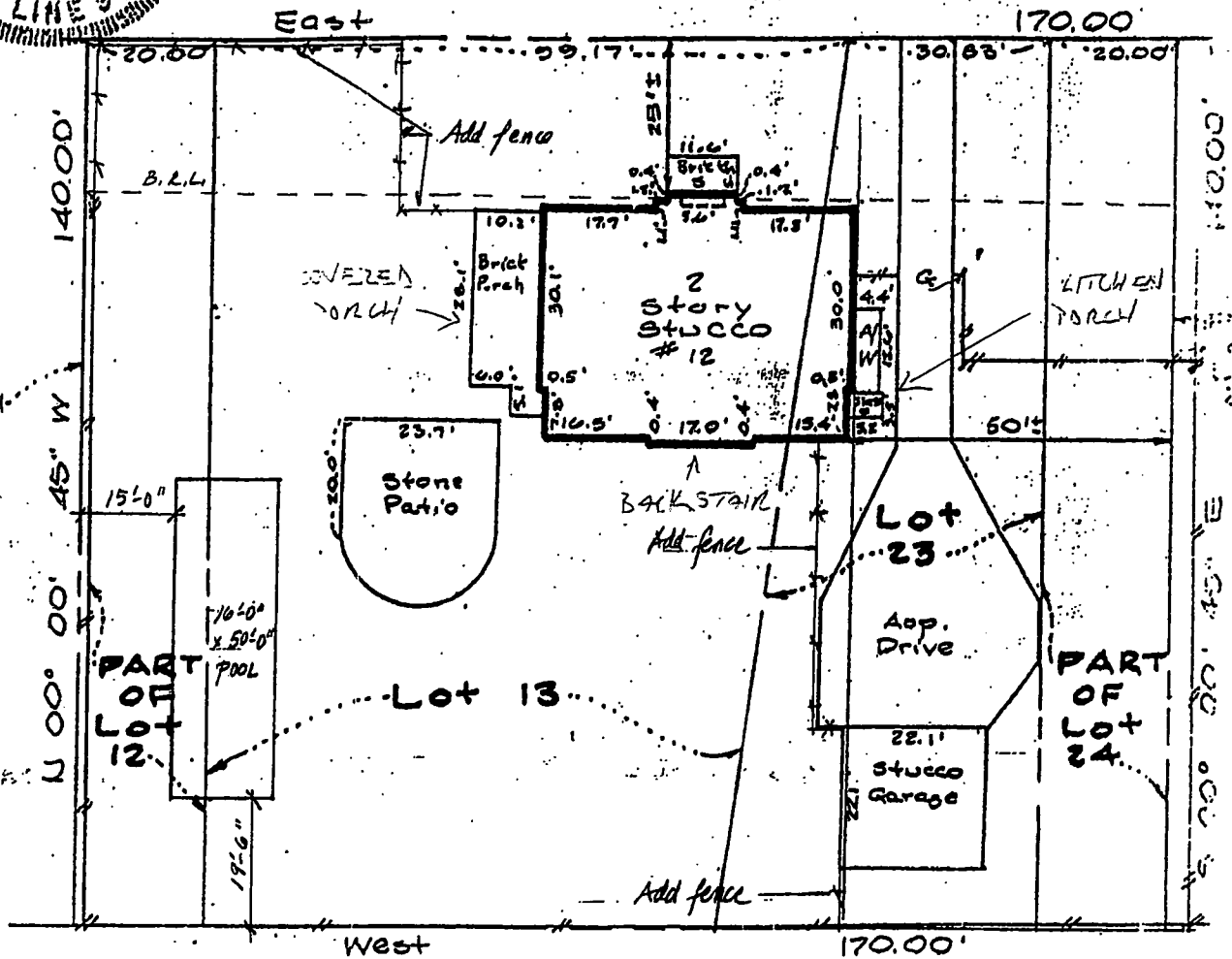
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
STEWART BAINUM 12 PRIMROSE ST CHENEY CHASE MD 20815	ROB NOBLE WINCHESTER CONSTRUCTION CO. PO BOX 351 CROWNSVILLE MD 21032
Adjacent and confronting Property Owners mailing addresses	

NOTE: This location for title purposes only - not to be used for determining property lines. Property Corner Markers Not guaranteed by this location.



PRIMROSE STREET

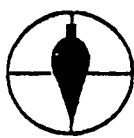
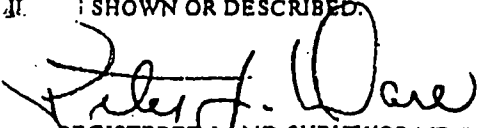


BUILDING LINE AND/OR FLOOD ZONE INFORMATION IS TAKEN FROM AVAILABLE SOURCES AND SUBJECT TO INTERPRETATION OF ORIGINATOR.

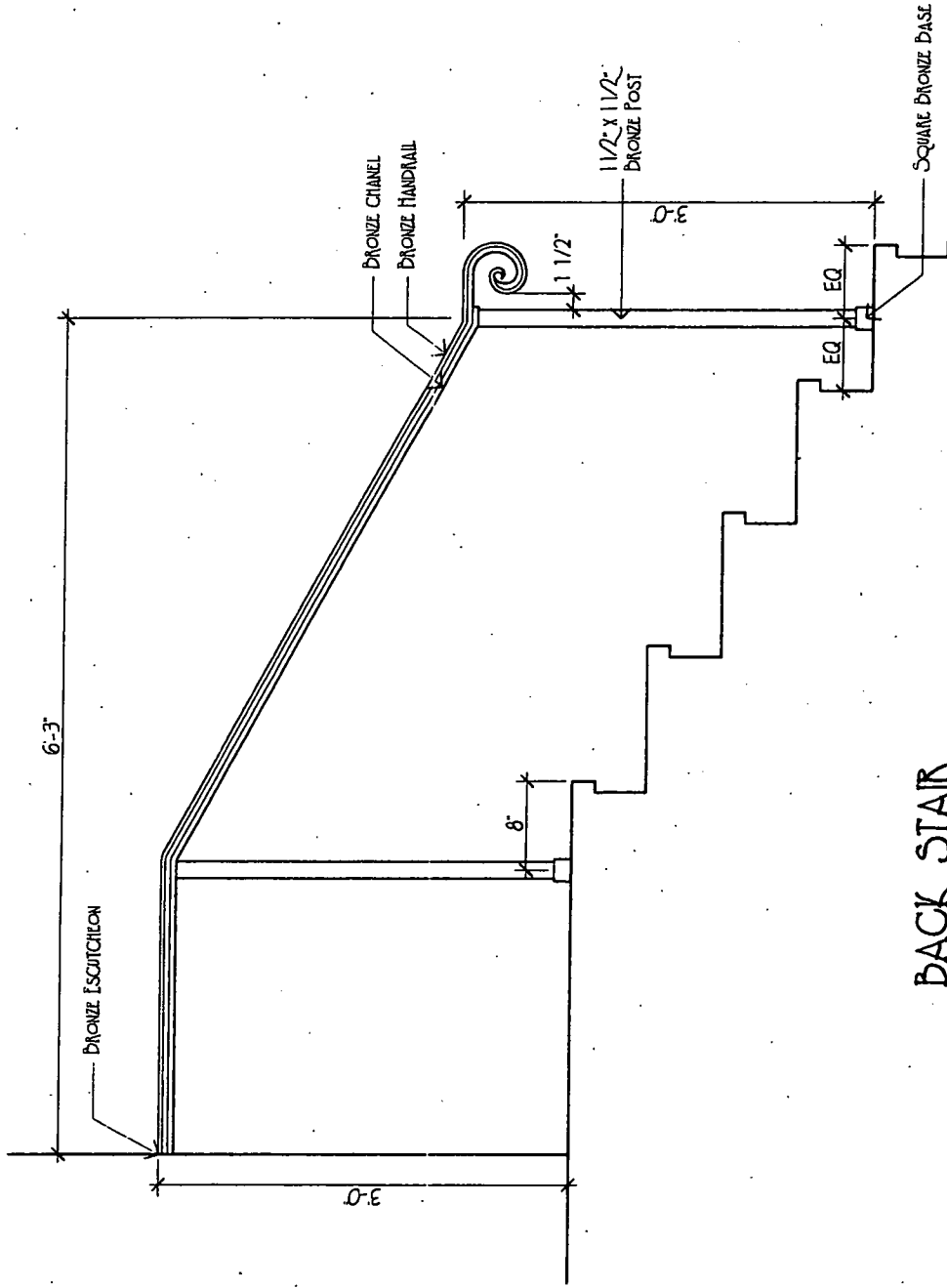
LOCATION OF HOUSE
 LOTS 13 & 23, PART OF
 LOTS 12 & 24, BLOCK 57
 SECTION 2
HEAVY CHASE
 MONTGOMERY COUNTY, MD.

- Notes:
- 1) HUD Panel Information Not Available.
 - 2) No Property Corners Found.
 - 3) ZONED: R-60 NON-CONFORMING

BUILDING LINE AND/OR FLOOD ZONE INFORMATION IS TAKEN FROM AVAILABLE SOURCES AND SUBJECT TO INTERPRETATION OF ORIGINATOR.

SURVEYOR'S CERTIFICATE		REFERENCES		SNIDER, BLANCHARD, & ASSOC., INC. SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS		
THE PLAN SHOWN HEREON IS PREPARED FROM FIELD MEASUREMENTS OF EXISTING STRUCTURES AND CORNERS, TO THE BEST OF MY KNOWLEDGE AND BELIEF. ALL ARE SHOWN OR DESCRIBED.		PLAT BK. 2		286 Montevue Lane Frederick, MD 21701 (301) 694-3544		2 Professional D. 5 Gallagher, Inc. 475 10-11-14
		PLAT NO. 106				
 REGISTERED LAND SURVEYOR MD # 224		LIBER 6228	DATE OF LOCATIONS	SCALE: 1" = 30'		
		FOLIO 345	WALL CHECK:	DRAWN BY: S.D.		
			HSE. LOC.: 0-16-80	JOB NO.: 80-1272		
			BOUNDARY:			

6



**BACK STAIR
HANDRAIL ELEVATION**

SCALE: 3/4" = 1'-0"

2 RA1CW6S

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
SHOP DRAWINGS ARE TO BE APPROVED BY ARCHITECT PRIOR TO FABRICATION

GOOD ARCHITECTURE
PROFESSIONAL CORPORATION
132 WEST ELMENY • ANNAPOLIS, MARYLAND 21401 • TELEPHONE: 410.268.7414 • FACSIMILE: 410.268.7438

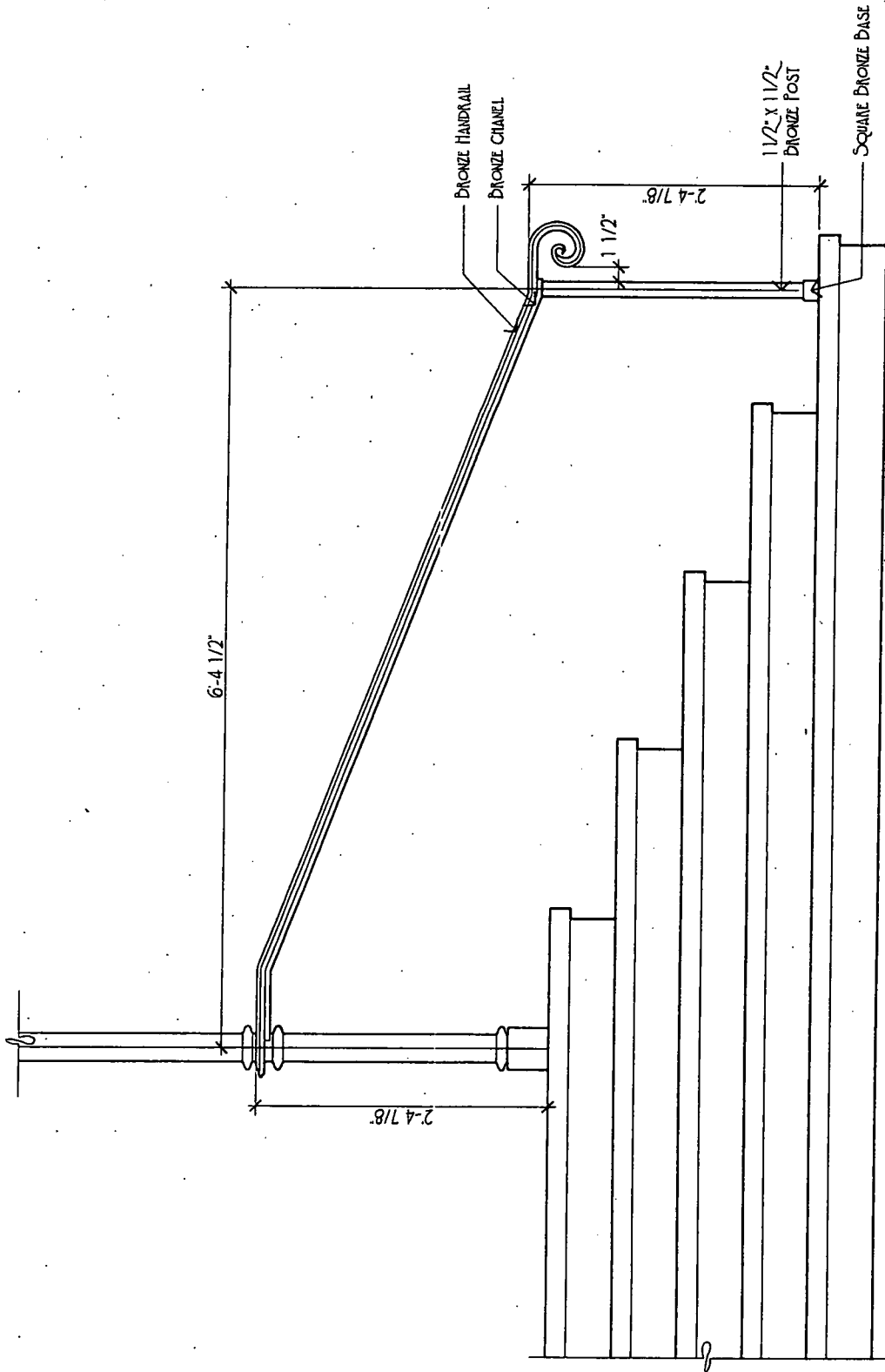
→ **THE BAINUM RESIDENCE** ←
12 PRIMROSE STREET, CHEVY CHASE, MD 20815

DRAWN BY: DMS
ISSUED: 05/02/2011
FOR CONSTRUCTION

A.1



(7)



COVERED PORCH STAIR
HANDRAIL ELEVATION

SCALE: 3/4" = 1'-0"

1 2/16/11

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
SHOP DRAWINGS ARE TO BE APPROVED BY ARCHITECT PRIOR TO FABRICATION

GOOD ARCHITECTURE
PROFESSIONAL CORPORATION
132 WEST STREET • ANNAPOLIS, MARYLAND 21401 • TELEPHONE: 410.266.7414 • FACSIMILE: 410.266.7438

THE BAINUM RESIDENCE
12 PRIMROSE STREET, CHEVY CHASE, MD 20815

DRAWN BY: DMS
ISSUED: 05/02/2011
FOR CONSTRUCTION

A2



(8)

BRONZE ESCUTCHEON

3/4" DIA. BRONZE SPINDLE
ANCHOR IN MASONRY WALL

BRONZE CHANNEL

BRONZE HANDRAIL


1 1/2" x 1 1/2" BRONZE POST

KITCHEN STAIR HANDRAIL ELEVATION

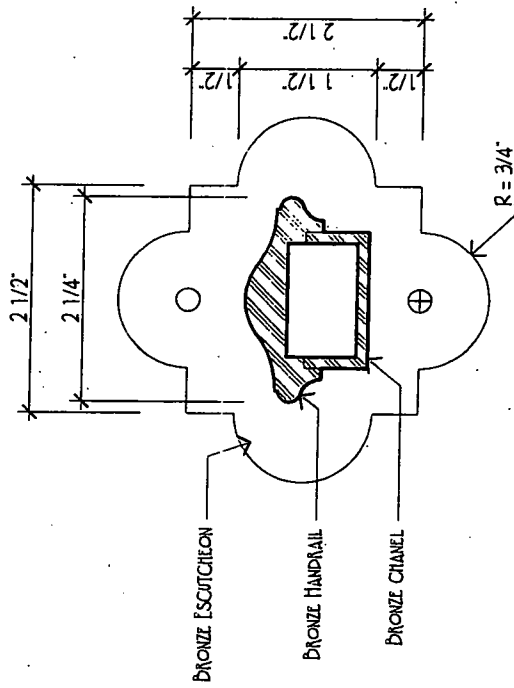
SCALE: 3/4" = 1'-0"

1 RAJLW

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
SUCH DRAWINGS ARE TO BE APPROVED BY ARCHITECT PRIOR TO FABRICATION

	GOOD ARCHITECTURE <small>PROFESSIONAL CORPORATION</small> 132 WEST STREET • ANNAPOLIS, MARYLAND 21401 • TELEPHONE: 410.268.7414 • FACSIMILE: 410.294.7408		THE BAINUM RESIDENCE 12 PUMPOSE STREET, CHEYF CHASE, MD 20615	DRAWN BY: DMS	ISSUED: 05/02/2011 FOR CONSTRUCTION	A.3

9



HANDRAIL & ESCUTCHEON
SCALE: 6" = 1'-0"

SHOP DRAWINGS ARE TO BE APPROVED BY ARCHITECT PRIOR TO FABRICATION

DRAWN BY:	ISSUED:
DMS	05/02/2011 FOR CONSTRUCTION

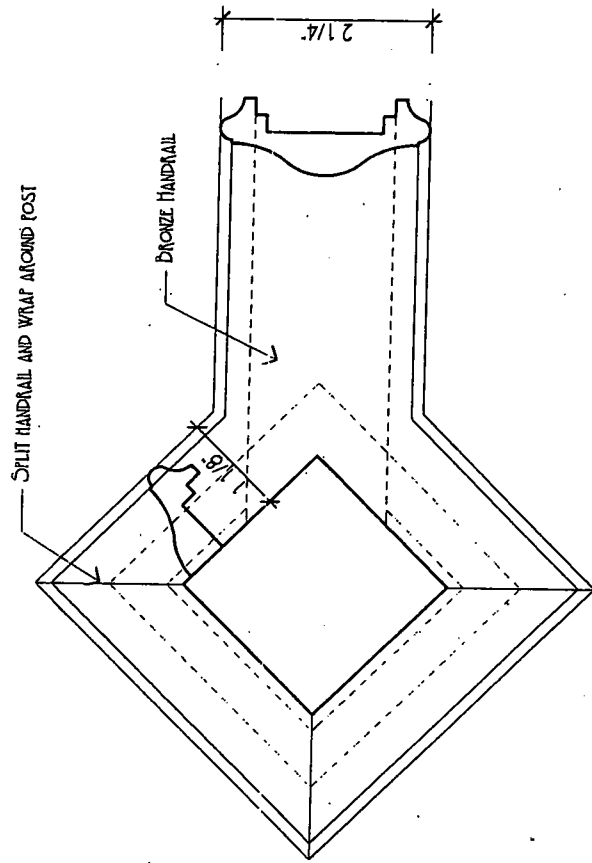
A.4

← THE DAINUM RESIDENCE
12 PRIMROSE STREET, CHEVY CHASE, MD 20815

GOOD ARCHITECTURE
PROFESSIONAL CORPORATION
132 WEST EIMART - ANNAPOLIS, MARYLAND 21401 - TELEPHONE: 410.266.7414 • FACSIMILE: 410.266.7438



(10)



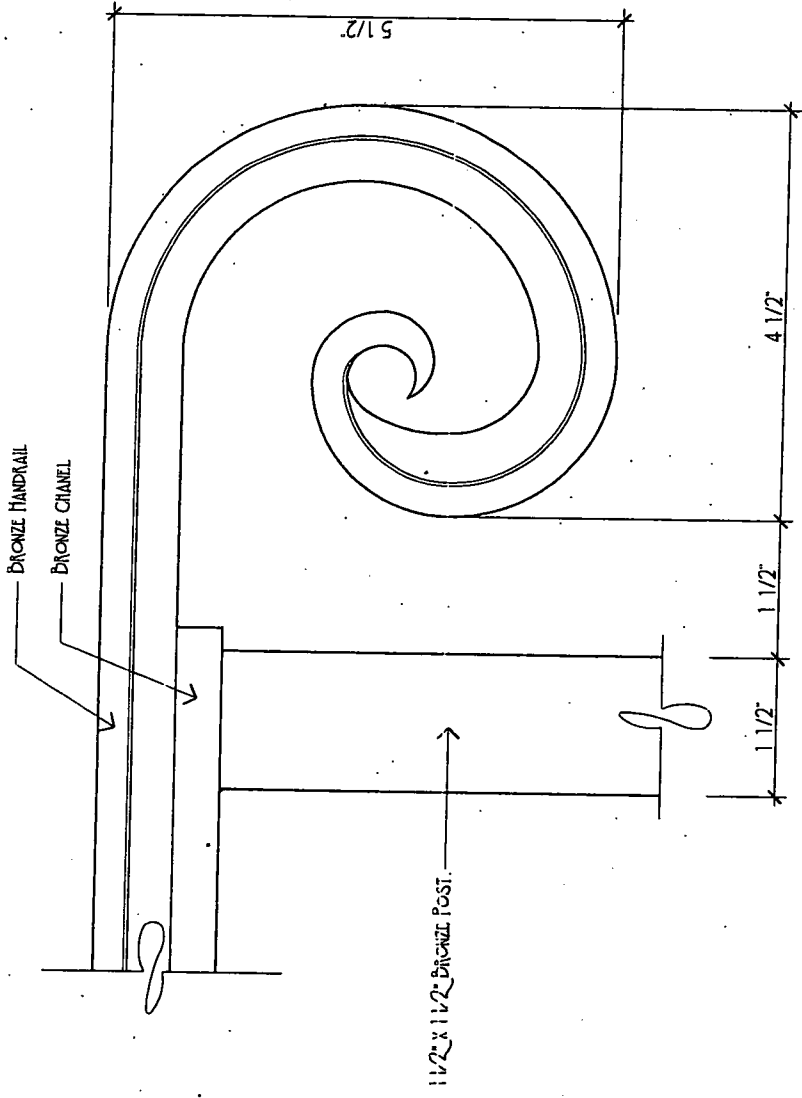
PLAN DETAIL
HANDRAIL @ COVERED PORCH POST
 SCALE: 6" = 1'-0"

SHOP DRAWINGS ARE TO BE APPROVED BY ARCHITECT PRIOR TO FABRICATION

<p>GOOD ARCHITECTURE <small>PROFESSIONAL CORPORATION</small> 132 WEST RIVERST • ANNAPOLIS, MARYLAND 21401 • TELEPHONE: 410.266.7114 • FACSIMILE: 410.266.7438</p>	<p>THE BAINUM RESIDENCE 12 PRIMROSE STREET, CHEYF CHASE, MD 20815</p>		<p>ISSUED: 05/02/2011 FOR CONSTRUCTION</p>	<p>A.5</p>
	<p>DRAWN BY: BMS</p>			



11



HANDRAIL VOLUTE
SCALE: 6" = 1'-0"

SHOP DRAWINGS ARE TO BE APPROVED BY ARCHITECT PRIOR TO FABRICATION

DRAWN BY:	ISSUED:
DMS	05/02/2011 FOR CONSTRUCTION

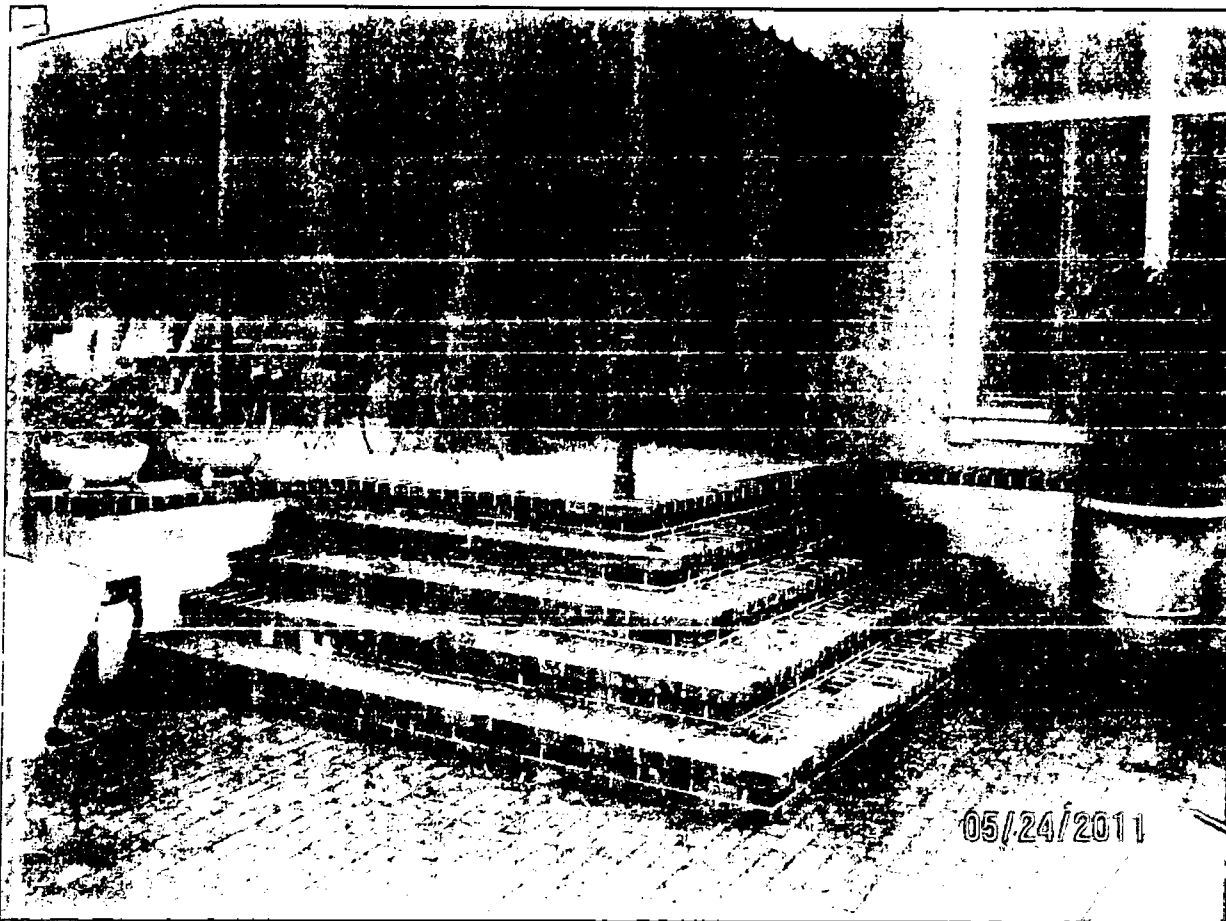
A.6

← THE BAINUM RESIDENCE →
12 PEARSON STREET, CHEVY CHASE, MD 20815

GOOD ARCHITECTURE
Professional Corporation
112 WEST STREET • ANNAPOLIS, MARYLAND 21401 • TELEPHONE: 410.268.7411 • FACSIMILE: 410.268.7438



(2)



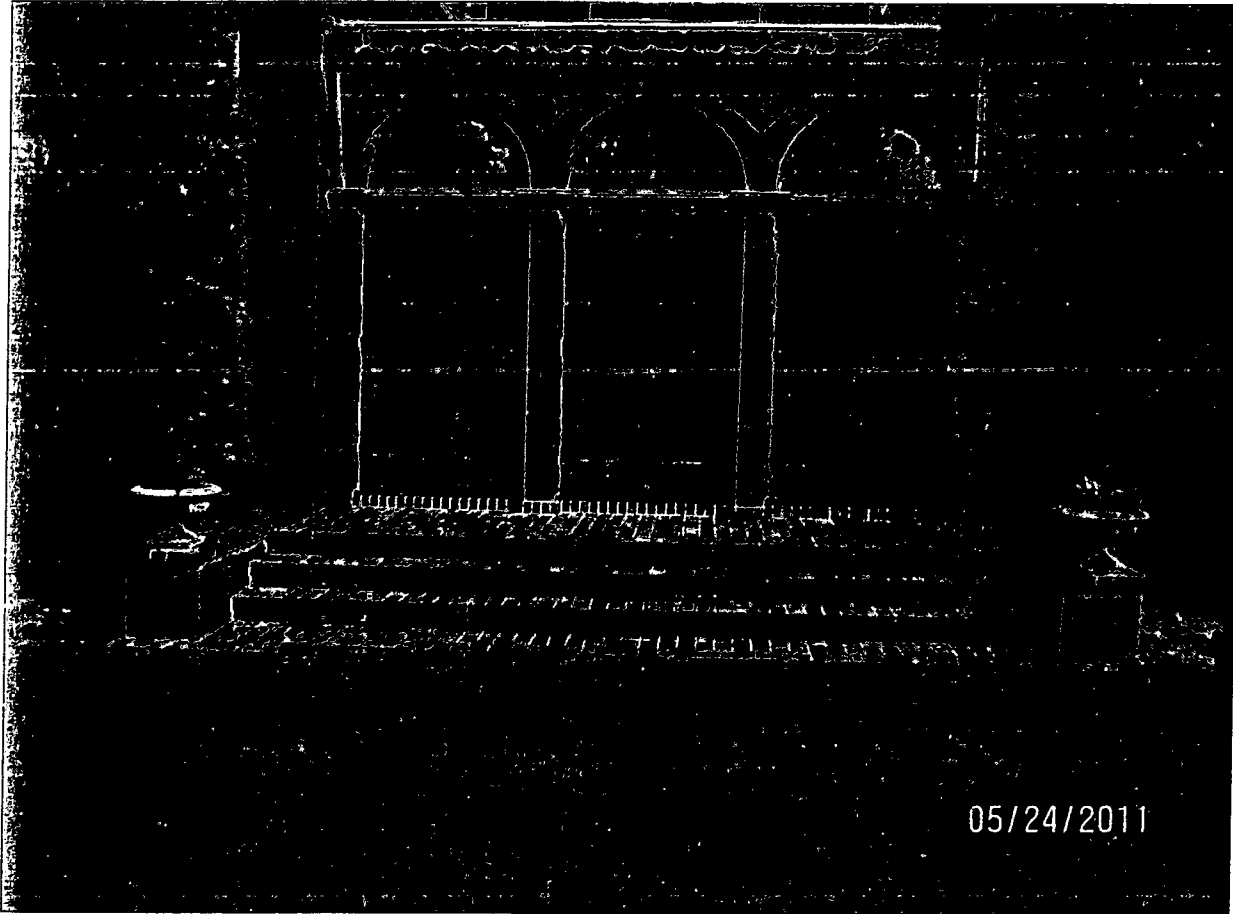
IMG_2532

COVERED PORCH

13

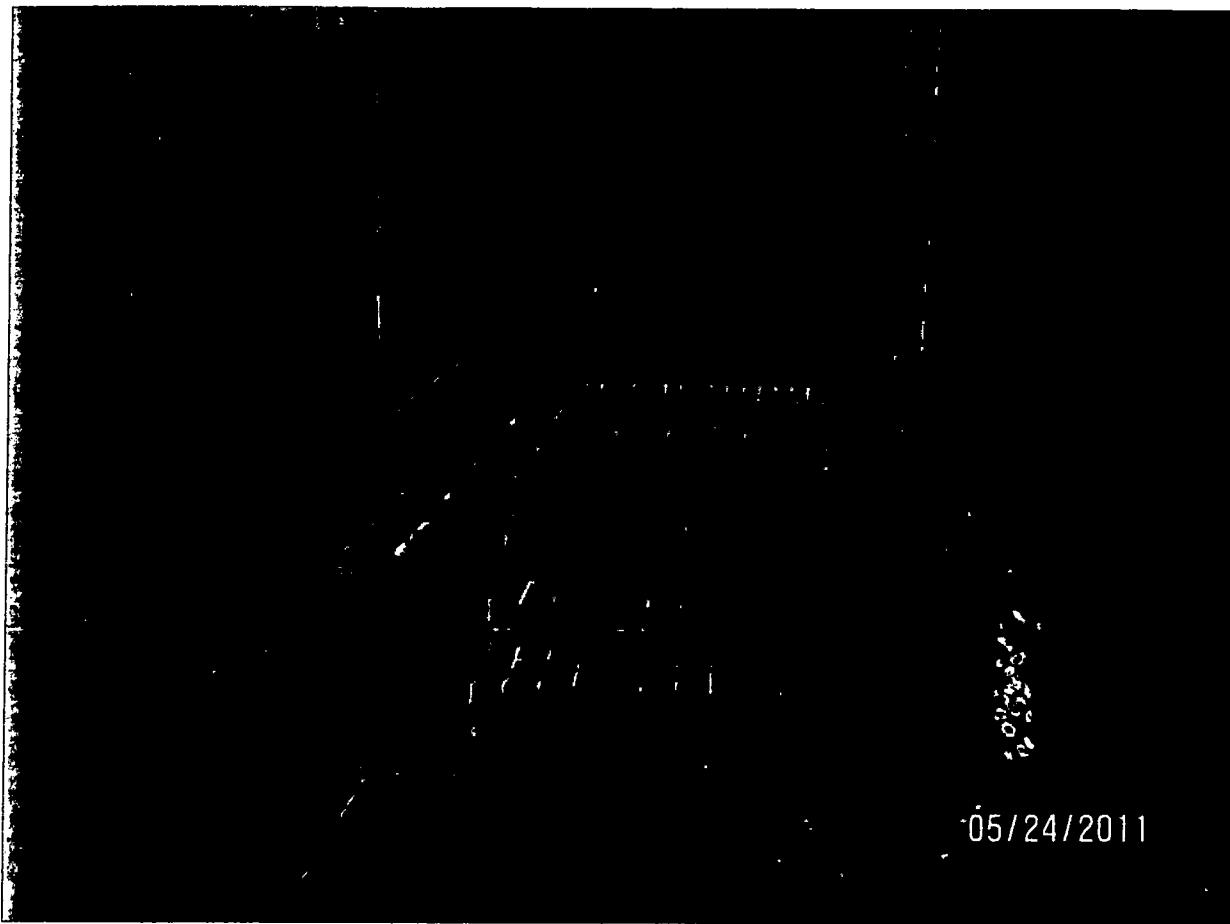
Rob

From: Samantha Western [samnmat96@aol.com]
Sent: Wednesday, May 25, 2011 7:15 AM
To: Rob
Subject: bainum porch rails



IMG_2531

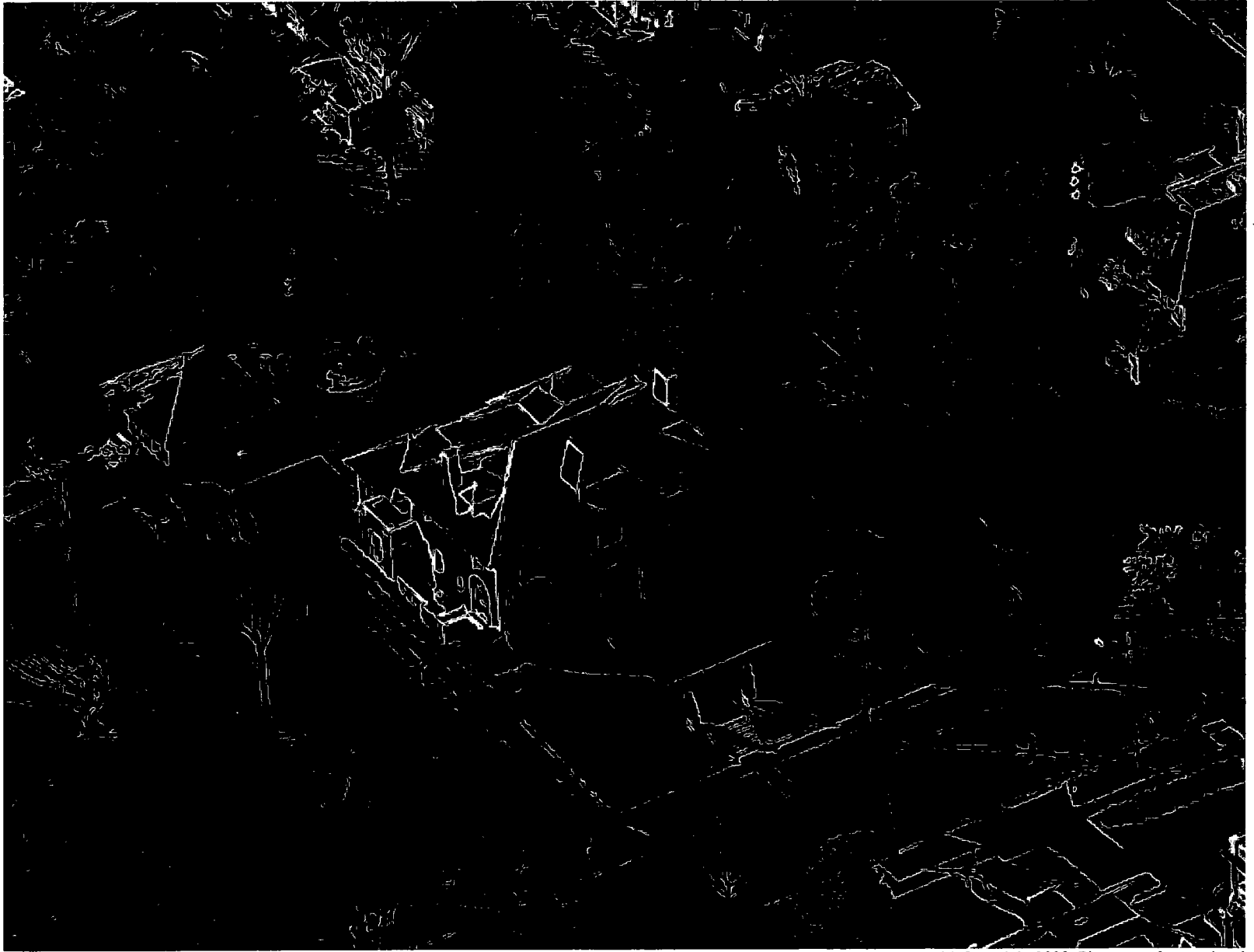
BACK STAIR



IMG_2533

KITCHEN STALL

(15)



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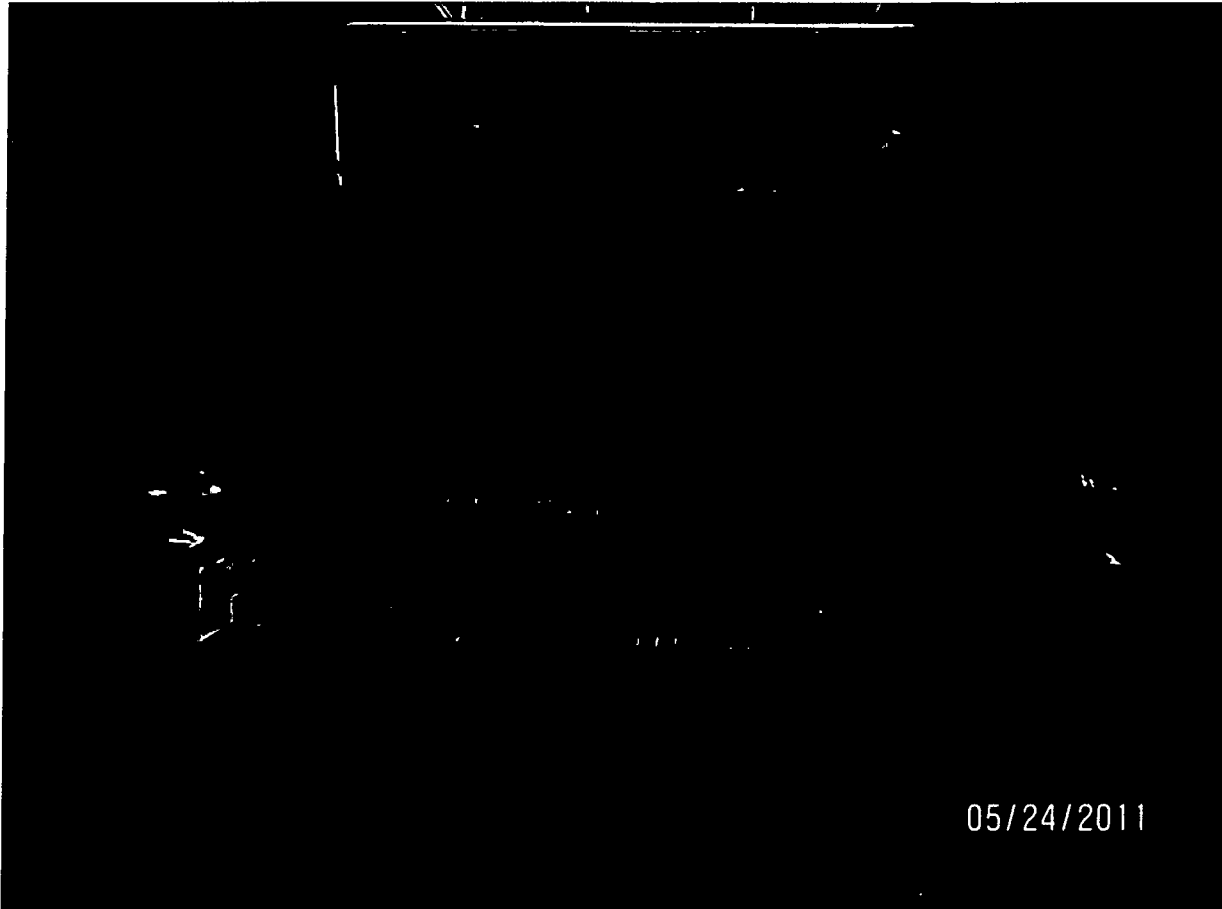


IMG_2532

COVERED TORCH

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IMG_2531

BACK STAIR



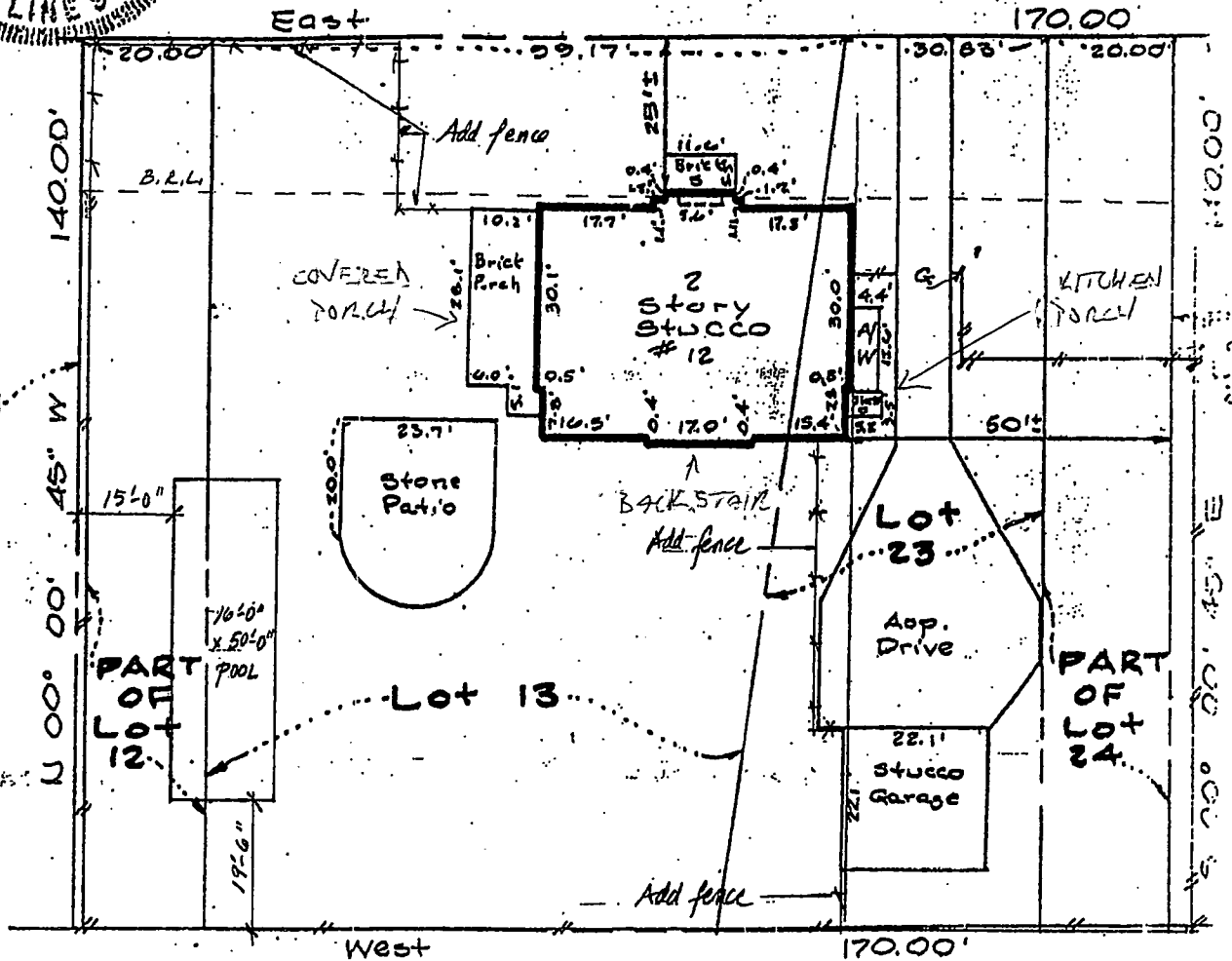
05/24/2011

IMG_2533

KITCHEN STALL



PRIMROSE STREET




BUILDING LINE AND/OR FLOOD ZONE INFORMATION IS TAKEN FROM AVAILABLE SOURCES AND SUBJECT TO INTERPRETATION OF ORIGINATOR.

LOCATION OF HOUSE
 LOTS 13 & 23, PART OF
 LOTS 12 & 24, BLOCK 57
 SECTION 2
HEVY CHASE
 MONTGOMERY COUNTY, MD.

- Notes & 1) HUD Panel Information Not Available.
 2) No Property Corners Found.
 3) ZONED: R-60
 NON-CONFORMING

BUILDING LINE AND/OR FLOOD ZONE INFORMATION IS TAKEN FROM AVAILABLE SOURCES AND SUBJECT TO INTERPRETATION OF ORIGINATOR.

SURVEYOR'S CERTIFICATE THE PLAN SHOWN HEREON IS PREPARED FROM FIELD ASSESSMENTS OF EXISTING STRUCTURES AND (E) NS, TO THE BEST OF MY KNOWLEDGE AND (I) I SHOWN OR DESCRIBED.	REFERENCES PLAT BK. 2 PLAT NO. 106	 SNIDER, BLANCHARD, & ASSOC., INC. SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 286 Montevue Lane Frederick, MD 21701 (301) 694-3544 2 Professor of D. S. Calhoun, MD 10'	DATE OF LOCATIONS SCALE: 1" = 30'
	LIBER 6228 FOLIO 345		WALL CHECK: HSE. LOC.: 6-16-80 BOUNDARY:

Peter J. Dare
 REGISTERED LAND SURVEYOR MD # 224