

1
S West Monroe Street
Chong Chao Village H.D.

2011 HAWP

FILE # PE-AL-McMACKIN
DEALER: PATIO ENCLOSURE
McMACKIN
9 WEST MELROSE ST
CHEVY CHASE, MD 20815

DATE: 03/25/11
SCALE: 1/4" = 1'

WALZ ENGINEERING
ENGINEERING
11111 HALL RD, SUITE 110
UTICA, MI 48317

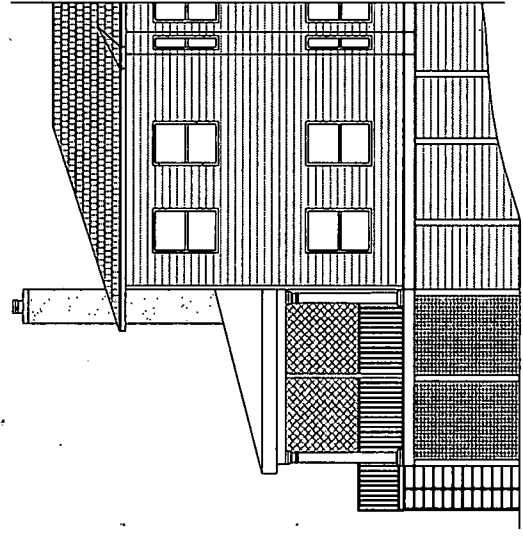
ROBERT A. WALZ P.E.
PHONE: (888) 262-9259

FAX: (586) 323-1645

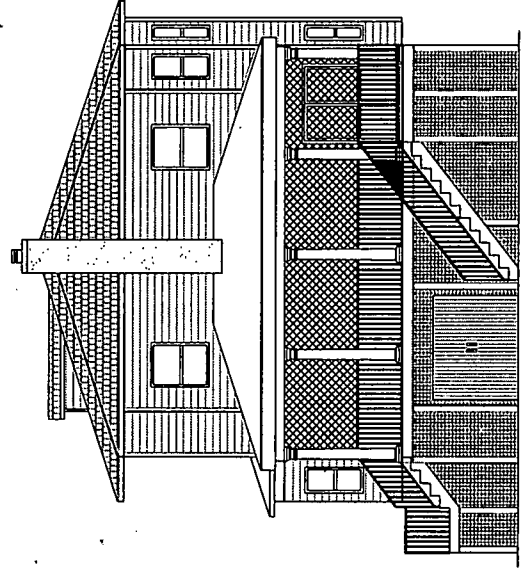
PRINTED, SIGNED AND SEALED ON: 6/21/11

Plans stamped 6/23/11

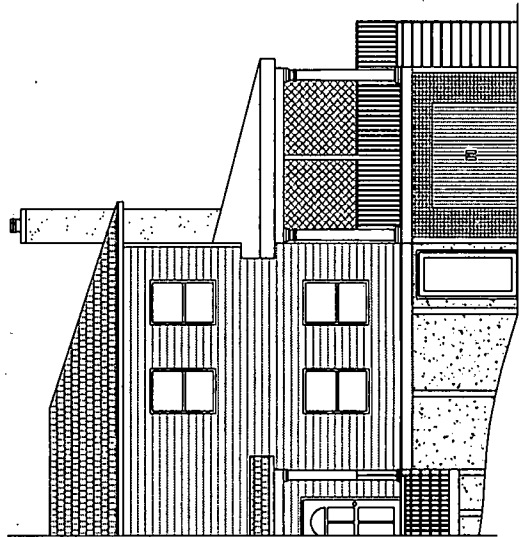
ELEVATIONS



RIGHT ELEVATION



FRONT ELEVATION



LEFT ELEVATION



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: 6/23/11

MEMORANDUM

TO: Jennifer Hughes, Acting Director
Department of Permitting Services

FROM: Anne Fothergill *AF*
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #568746—screened porch construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was approved by the HPC on June 8, 2011.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: John McMackin and Kathleen Kearns
Address: 5 West Melrose, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Laura Padgett
Daytime Phone No.: 703-690-2000

Tax Account No.: 06458364
Name of Property Owner: John McMackin/Kathleen Kearns
Address: 5 Chevy Chase W Melrose 20815
Contractor: Reamco Inc dba Rati Enclosures
Contractor Registration No.:
Agent for Owner:

LOCATION OF BUILDING/PERMITS

House Number: 5 Street: West Melrose St.
Town/City: Chevy Chase Nearest Cross Street: Connecticut Ave
Lot: 3, 10, 11 Block: 48 Subdivision: Chevy Chase Village
Liber: Folio: Parcel:

PART ONE: TYPE OF CONSTRUCTION/ACTIVITY

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable, A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Screen Porch
1B. Construction cost estimator: \$ 50,000
1C. If this is a revision of a previously approved active permit, see Permit # 568545

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTERIOR ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other
2B. Type of water supply: 01 WSSC, 02 Well, 03 Other

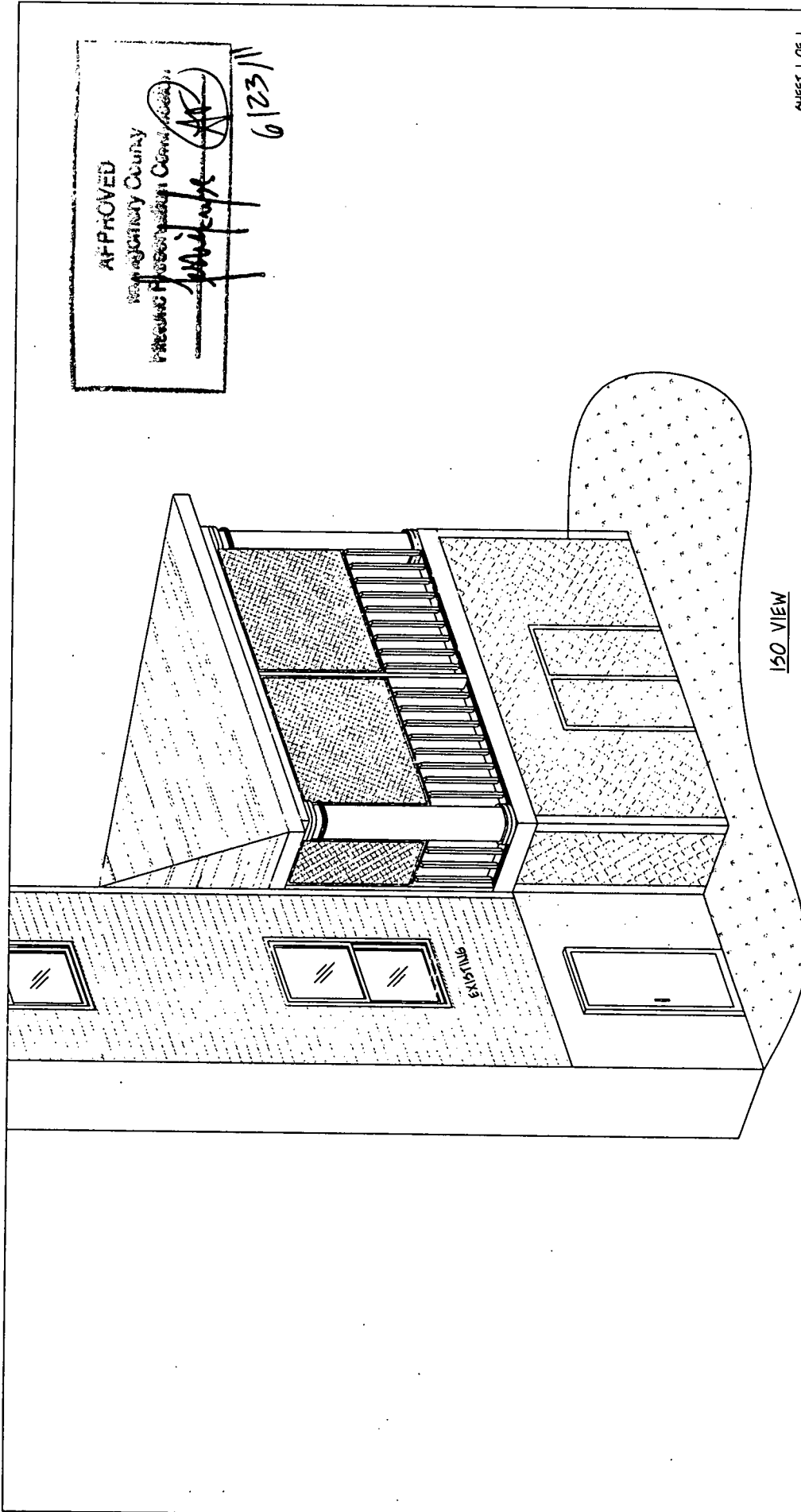
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height: 11 feet 8 inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Laura Padgett Date: 5/17/11

Approved: [Signature] For the Historic Preservation Commission
Disapproved: [Signature] Date: 6/23/11
Application/Permit No.: 568746 Date Filed: 5/17/2011 Date Issued:



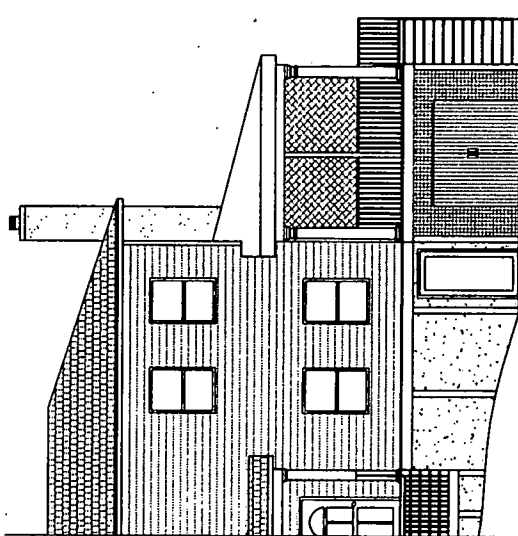
150 VIEW

APPROVED
 Montgomery County
 Planning & Zoning Commission
[Signature]
 6/23/11

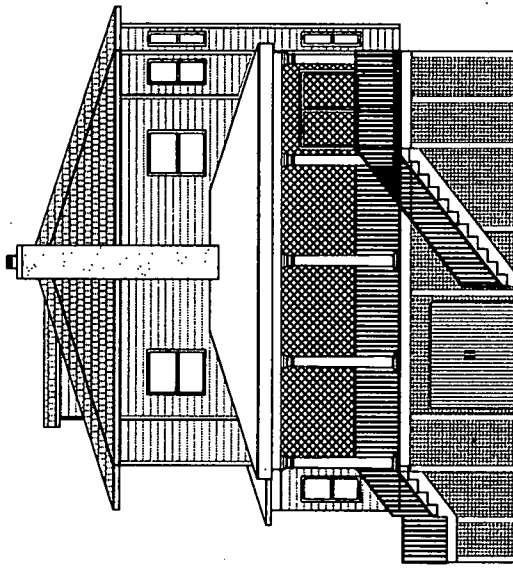
SHEET 1 OF 1

THIS DRAWING IS THE PROPERTY OF PATIO ENCLOSURES, INC. ALL RIGHTS RESERVED. DUPLICATION OF THIS DRAWING IN ANY FORM IS NOT PERMITTED WITHOUT THE EXPRESSED WRITTEN CONSENT OF PATIO ENCLOSURES, INC.	DRAWN	VJG
	DATE	06-15-11
	SCALE	1/4" = 1'-0"
REAMCO, INC. 13230 MARINA WAY WOODBRIDGE, VA. 22191 (703)492-5400		McMACKIN 5 WEST MELODSE ST. CHEVY CHASE, MD. 20815 JOB NO.

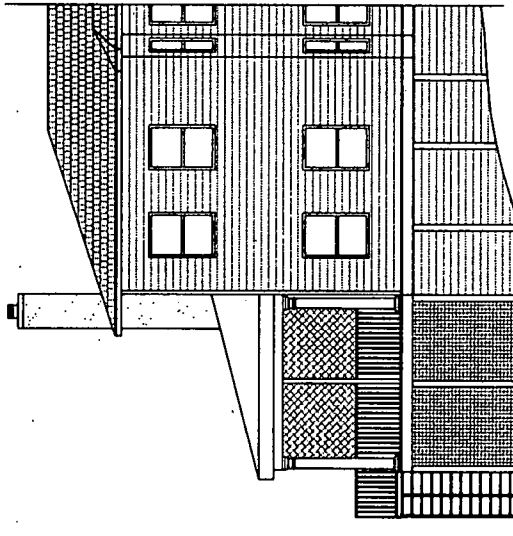
ELEVATIONS



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION

PRINTED, SIGNED AND SEALED ON: 6/21/11

FILE # PE-A-MCMACKIN
DEALER: PATIO ENCLOSURE
MCMACKIN
5 WEST MELROSE ST.
CHEVY CHASE, MD 20815
DRAWN BY: ALEX BUECHEL
SCALE: 1/4"=1'
ENGINEERING
WALT ENGINEERING LLC
11111 HALL RD, SUITE 110
UTICA, MI 48317
PHONE: (888) 262-9259
FAX: (586) 323-1645

SHEET
E1

APPROVED
Montgomery County
Planning & Zoning Commission
[Signature]

11/21/09

Manarolla, Kevin

From: Bourke, Tom (Winchester Homes, Inc.)(Tom) [tom.bourke@whihomes.com]
Sent: Wednesday, June 08, 2011 2:23 PM
To: Folbergell, Anne; Manarolla, Kevin; Whipple, Scott; Silver, Joshua
Cc: ChCh Village file (CCV@montgomerycountymd.gov); Feldman, Gail; HBSacks@comcast.net; Jacobs - Eph's daughter (abjdoe@gmail.com); Marsh, Joan (r.marshes@gmail.com); P. Wellington; Stephens, Betsy
Subject: LAP comments HPC Hearing for June 8, 2011 - 10 New; 5 W Mel; 20 W Len

The following are the comments of the Chevy Chase village Local Advisory Panel for items on the HPC agenda for 6/8/11:

I-D
10 Newlands
Contributing Resource
Garden shed reconstruction – Staff gave ‘expedited approval’
LAP concurs with staff and as always encourages the use of expedited Approvals to facilitate the processing of resident requests

I-G
5 West Melrose
Contributing Resource
Construction of rear screened porch
Staff recommends approval and LAP concurs with Staff

I-H
20 West Lenox
Contributing Resource
Side and rear additions, alterations to house and driveway and tree removal
Staff approved with “tree protection measures”
LAP concurs with staff

Submitted on behalf of the LAP by
Tom Bourke, Chair

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	5 West Melrose Street, Chevy Chase	Meeting Date:	6/8/11
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	6/1/11
Applicant:	John McMackin and Kathleen Kearns	Public Notice:	5/25/11
Review:	HAWP	Tax Credit:	None
Case Number:	35/13-11S	Staff:	Anne Fothergill

PROPOSAL: Construction of rear screened porch

STAFF RECOMMENDATION

Staff recommends that the HPC approve the application.

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: 1908

PROPOSAL

The applicants are proposing to construct a screened porch at the rear of the house where there is currently a wood deck, railing and stairs. The new porch will have synthetic columns, a wood railing to match the the front porch railing, and a copper roof. The existing steps to grade and railing will be retained.

See proposed plans in Circles 8-19 and photos of existing conditions in Circles 20-25. Note: the survey shows previous work that is not part of this application.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District

The Guidelines define a Contributing Resource as "A resource which contributes to the overall character of the district and its streetscape, but which is of secondary architectural and historical significance. A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has

lost some degree of its architectural integrity due to alterations. Contributing resources add to the overall streetscape due to their size, scale, and architectural character.”

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

Specifically, the *Guidelines* state:

- o *Porches* should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The proposed rear screened porch is compatible and in keeping with the *Standards and Guidelines*. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** this HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Laura Padgett
Daytime Phone No.: 703-690-2000

Tax Account No.: 00 458 364

Name of Property Owner: John McMackin/Kathleen Kearns Daytime Phone No.: 202-213-5546

Address: 5 Chevy Chase W Melrose 20815
Street Number Street Zip Code

Contractor: Reamco Inc dba Patio Enclosures Phone No.: 703-690-2000

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PERMITS

House Number: 5 Street: West Melrose St.
Town/City: Chevy Chase Nearest Cross Street: Connecticut Ave
Lot: 3, 10, 11 Block: 48 Subdivision: Chevy Chase Village
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT AND SCOPE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate A/C Stab Room Addition Porch Deck Shed
- Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
- Revision Repair Revocable Fence/Wall (complete Section 4) Other: Screen Porch

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit # 568545

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXISTING ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE FOR FENCE OR RETAINING WALL

3A. Height 11 foot 8 inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Laura Padgett 5/17/11
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 568746 Date Filed: 5/17/2011 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Open deck w/ mounted fabric awning on rear of house

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Enclose open deck w/ roof + screen porch

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

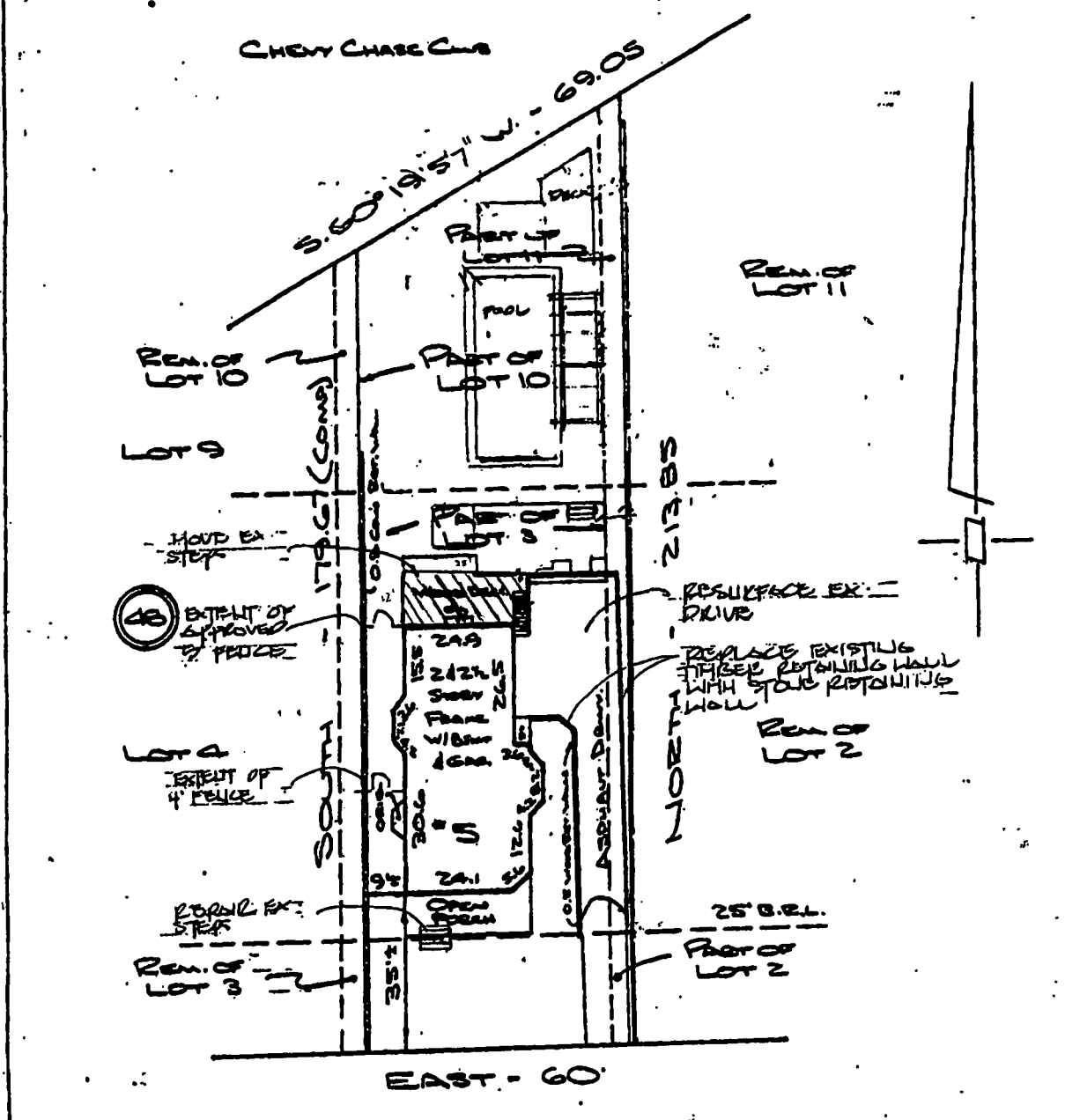
For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/278-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>5 West Melrose St. Chevy Chase, MD 20815</p>	<p>Owner's Agent's mailing address</p> <p>10595 Furnace Rd. Ste 100 Lorton, VA 22079</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Rebecca + George Beuchert 3 W Melrose St. Chevy Chase, MD 20815</p>	<p>Thomas Marvaso 2 W Melrose St. Chevy Chase, MD 20815</p>
<p>Edmund Bartlett 4 W Melrose St. Chevy Chase, MD 20815</p>	<p>Herbert Jacobs 8 W Melrose St. Chevy Chase, MD 20815</p>
<p>Paul Katinas 9 W Melrose St. Chevy Chase, MD 20815</p>	<p>Nicholas Calio 11 W Melrose St. Chevy Chase, MD 20815</p>

Total Area = 11,865 sq



WEST MELROSE STREET

MONTGOMERY COUNTY
 DEPARTMENT OF PERMITTING SERVICES
 APPROVED 6/2 DATE 5/17/93
 ZONING CLASS R-60 PAGE 7
 BOARD OF APPEALS CASE 1349-93

Note: This property does not lie within the limits of a flood hazard area as delineated on the maps of the National Flood Insurance Program, unless otherwise shown.

CAPITOL SURVEYS

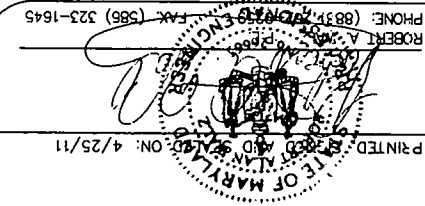
NOTE: This drawing is not intended to establish property lines. It cannot be used for construction purposes. All information shown hereon taken from the land records of the county or city in which the property is located and field work performed.

HOUSE LOCATION
 PARTS OF LOTS 2, 3, 10 & 11 BLOCK 48
 SECTION NO. 2
CHEVY CHASE
 MONTGOMERY COUNTY, MARYLAND
 Recorded in Plat Book 2 Plat 106 Scale 1" = 30'

I hereby certify that the location of the existing improvements on the ab described property have been established by accepted field practices, and unless otherwise shown there are visible encroachments.

LOUIS COHEN
 Registered Land Surveyor
 Maryland No 1951

DATE: JULY 12, 1993 CASE: 1349-93 FILE: 47429



Walz Engineering
 11111 HALL RD, SUITE 110
 UTMCA, WI 48317
 PHONE: (883) 270-4119 FAX: (586) 323-1645
 ROBERT A. WALZ, P.E.

FILE # PE-AL-McMACKIN
 DEALER: PATIO ENCLOSURE
 McMACKIN
 5 WEST MELROSE ST.
 CHEVY CHASE, MD 20815
 DRAWN BY: ALEX BUECHEL
 SCALE: NONE
 DATE: 03/25/11

COVER SHEET

MONTGOMERY COUNTY
 APPROVED
 AS NOTED
 PLAN REVIEW SECTION

PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 26665 EXPIRATION DATE: 09-24-11

CHANGES OR MODIFICATIONS TO THESE PLANS MAY REQUIRE PERMIT FEES. NO CHANGES CAN BE MADE TO THE APPROVED DRAWINGS.

McMACKIN ENGINEERING

McMACKIN SUNROOM

-PURCHASED THROUGH-

PATIO ENCLOSURE SCREENED PATCH

SHEET #	DESCRIPTION
1	ELEVATION DRAWINGS
2	PLAN VIEW
3	FOUNDATION PLAN
4	ROOF PLAN
5	CROSS SECTION "CS1" AND DETAILS
C1	WIND UPLIFT AND SOIL BEARING CALCULATIONS
G1	GENERAL ENGINEERING
G2	GENERAL ENGINEERING
G3	GENERAL ENGINEERING
E1	EXISTING HOME ELEVATION

GENERAL STRUCTURAL ARRANGEMENT APPROVED SUBJECT TO FURTHER APPROVAL OF CONSTRUCTION

Electrical wiring must conform to the 2008 National Electric Code and County Requirements.

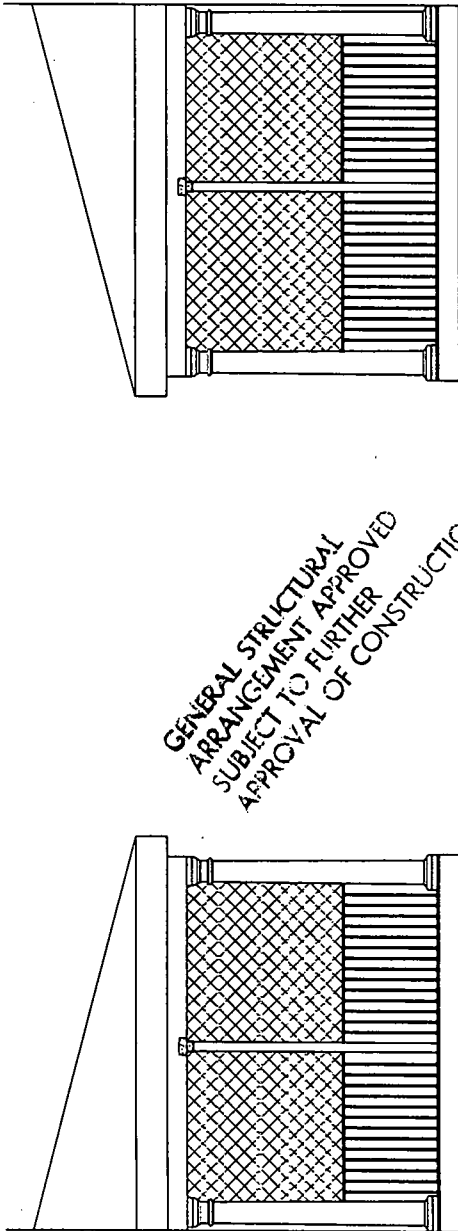
DIVISION OF BUILDING CONSTRUCTION
 MONTGOMERY COUNTY

These plans are conditionally approved in accordance with any correction notes on plans. The building permit is license to construct in accordance with adopted codes and does not waive any code requirements not noted during plan review. Issuance of permit does not prevent field inspectors from ordering corrections to plans when issues are noted during inspections.

Approvals: Arch. [Signature] 3/27/2011
 Struct. [Signature] 3/27/2011
 Permit Number: [Signature]

NOTE
 THIS PERMIT DOES NOT INCLUDE APPROVAL FOR ANY ELECTRICAL WORK. YOU MUST HAVE A SEPARATE ELECTRICAL PERMIT FOR ALL ELECTRICAL WORK.

ELEVATIONS



GENERAL STRUCTURAL
ARRANGEMENT APPROVED
SUBJECT TO FURTHER
APPROVAL OF CONSTRUCTION

3

1

2

SCREENED PORCH

NOTE:
THIS ENCLOSURE NOT TO BE
CONDITIONED OR USED AS A
PERMANENT LIVING AREA

MINIMUM DESIGN LOADS:

DEAD LOADS:

- 1) ROOF: 6 PSF
 - 2) WALLS: 5 PSF
 - 3) FLOOR: 5 PSF
- LIVE LOADS:
- 1) ROOF: 30 PSF
 - 2) WALLS: 90 MPH - 3 SEC. WIND GUST
 - 3) FLOOR: 40 PSF

DEFLECTION LIMITS:

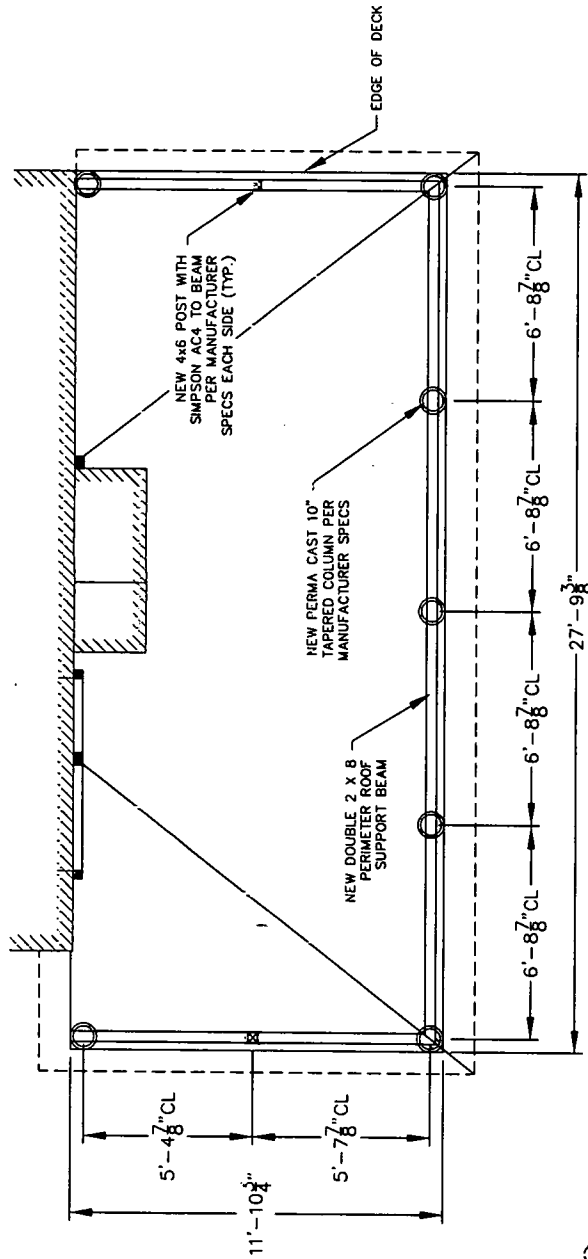
- 1) ROOF: L/180
- 2) WALLS: L/175
- 3) FLOOR: L/240

TOTAL WEIGHT OF PRODUCTS: 3500 lbs.

NOTE:
THESE PLANS WERE DESIGNED IN
ACCORDANCE WITH THE 2006 IRC.

MONTGOMERY COUNTY
APPROVED
AS NOTED
PLAN REVIEW SECTION

PLAN VIEW



GENERAL STRUCTURAL
ARRANGEMENT APPROVED
SUBJECT TO FURTHER
APPROVAL OF CONSTRUCTION

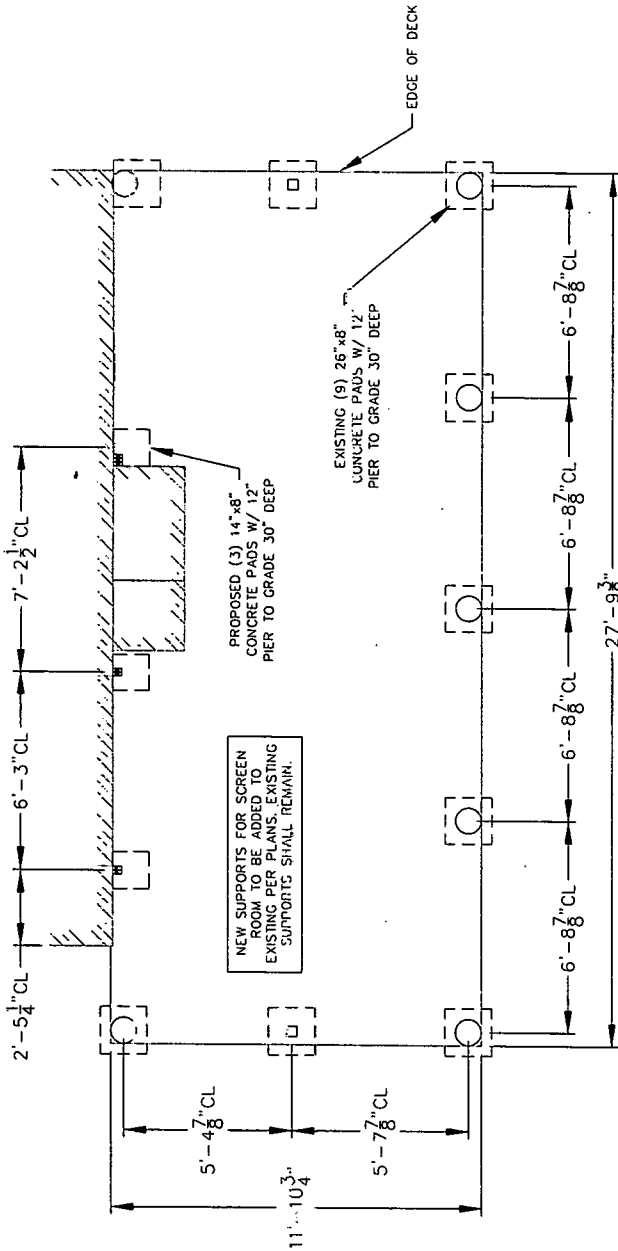
ALL FASTENERS IN TREATED
LUMBER SHALL BE STAINLESS STEEL
OR CONFORM TO ASTM A153

10

MONTGOMERY
APPROVED
AS NOTED
PLAN REVIEW SECTION

NOTE:
THIS ENCLOSURE NOT TO BE
CONDITIONED OR USED AS A
PERMANENT LIVING AREA

FOUNDATION PLAN



FOUNDATION PLAN

NOTE: PIER SIZES REFLECT ROUND CONCRETE PAD CONSTRUCTION. SEE CALCULATIONS SHEET FOR OPTIONAL SQUARE PAD APPLICATION.

THE SUNROOM HAS BEEN DESIGNED TO BE ATTACHED TO AN EXISTING WOOD DECK. THE EXISTING DECK SUPPORTING THIS SUNROOM IS NOT PART OF THIS DESIGN.

EX-REVIEWED
PURCH

GENERAL STRUCTURAL ARRANGEMENT APPROVED SUBJECT TO FURTHER APPROVAL OF CONSTRUCTION

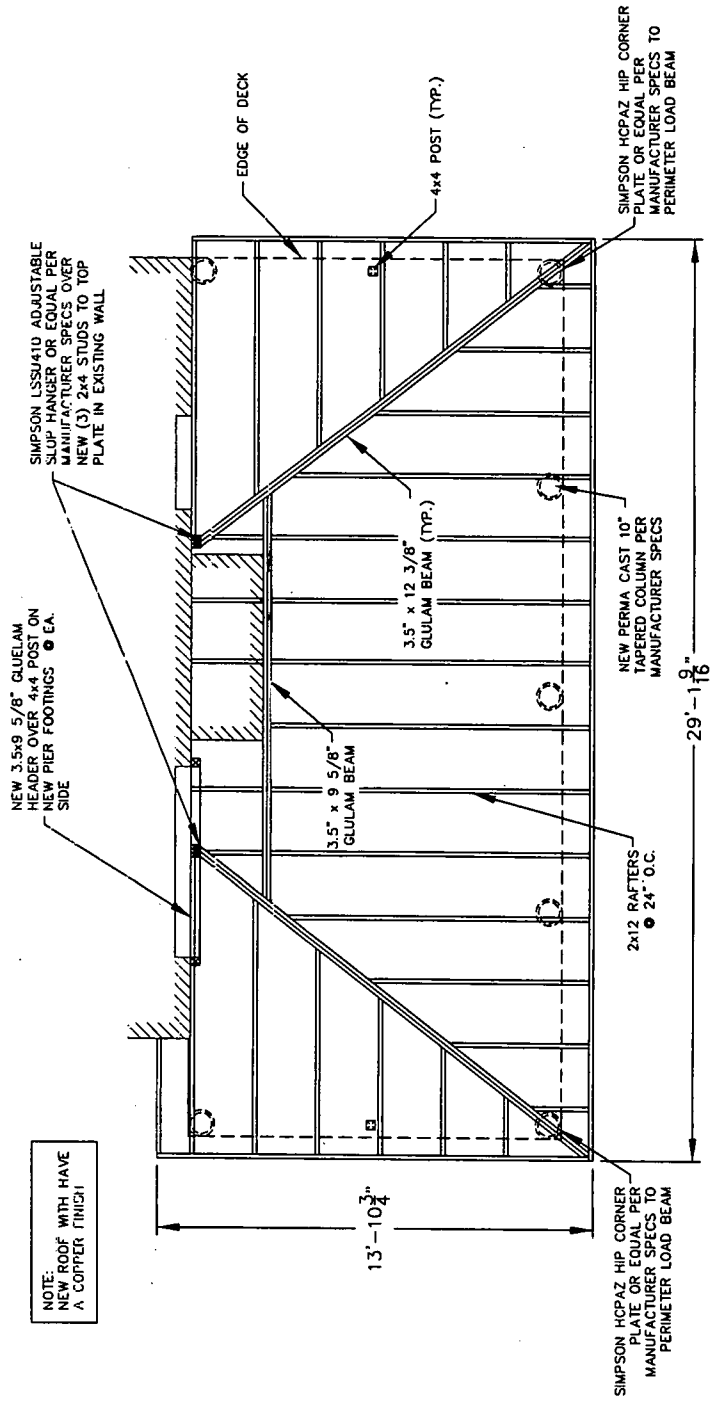
ALL FASTENERS IN TREATED LUMBER SHALL BE STAINLESS STEEL OR CONFORM TO ASTM A153



MONTGOMERY COUNTY
APPROVED
AS NOTED
PLAN REVIEW SECTION

NOTE: THIS ENCLOSURE NOT TO BE CONDITIONED OR USED AS A PERMANENT LIVING AREA

ROOF PLAN



NOTE:
NEW ROOF WITH HAVE
A COPPER FINISH

MONTGOMERY COURT
APPROVED
AS NOTED
PLAN REVIEW SECTION

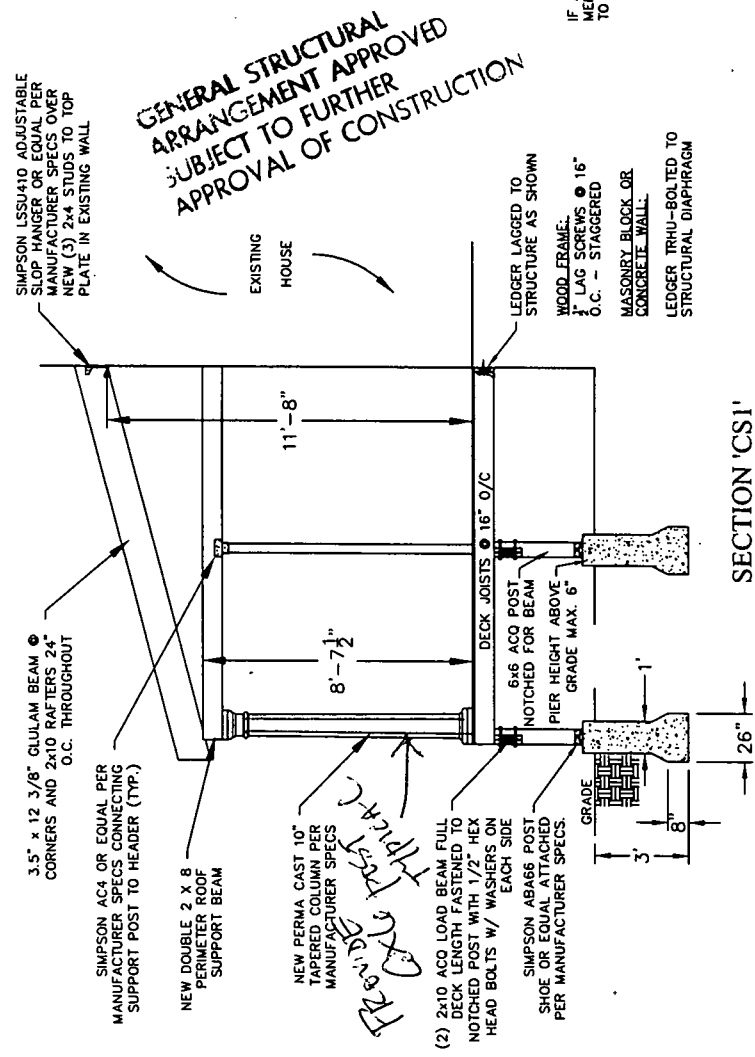
GENERAL STRUCTURAL
ARRANGEMENT APPROVED
SUBJECT TO FURTHER
APPROVAL OF CONSTRUCTION

21

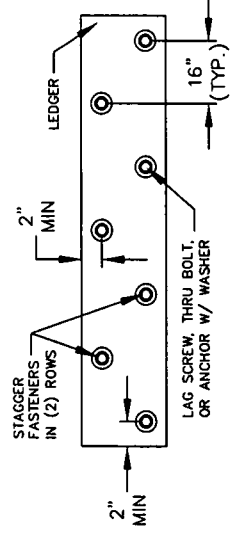
<p>ROBERT A. WALZ, P.E. No. 2668 (888) 262-2629 (506) 323-1645</p>	<p>11111 HALL RD., SUITE 110 UTMCA, MI 48317</p>	<p>SCALE: NONE</p>	<p>DRAWN BY: ALEX BUECHEL 5 WEST MELROSE ST. CHEVY CHASE, MD 20815</p>	<p>SHEET 4 OF 5</p>
<p>ENGINEERING BW WALZ ENGINEERING L.C.</p>	<p>DATE: 03/25/11</p>	<p>DEALER: PATIO ENCLOSURE</p>	<p>FILE # PE-AL-MACKIN</p>	

PRINTED, SIGNED, AND SEALED 4/25/11

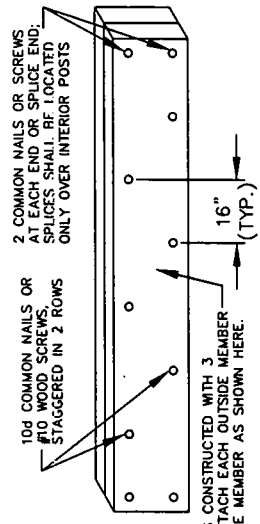
CROSS SECTION



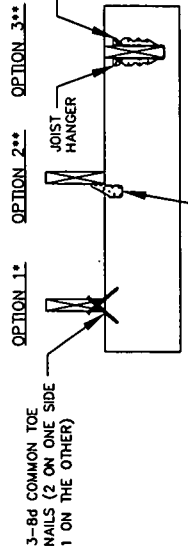
GENERAL STRUCTURAL ARRANGEMENT APPROVED SUBJECT TO FURTHER APPROVAL OF CONSTRUCTION



LEDGER BOARD FASTENER SPACING AND CLEARANCE



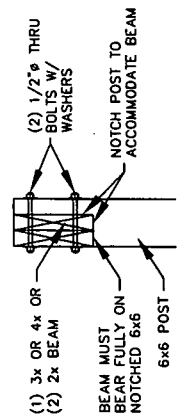
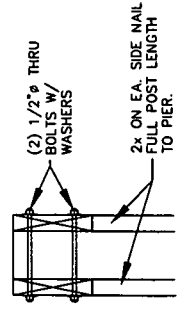
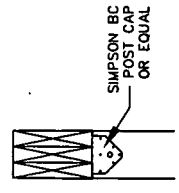
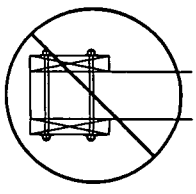
BEAM ASSEMBLY DETAIL



*OPTION 1 SHALL ONLY BE USED IF THE DECK IS ATTACHED TO THE HOUSE FOR ADDITIONAL REQUIREMENTS

**SEE MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL REQUIREMENTS

JOIST TO BEAM DETAIL



POST TO BEAM DETAIL

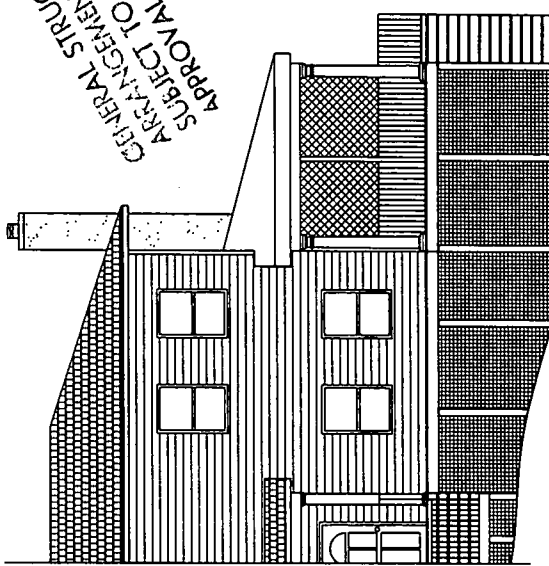
APPROVED AS NOTED PLAN REVIEW SECTION

STATE OF MARYLAND PROFESSIONAL ENGINEER
 PRINTED AND REPRODUCED IN MARYLAND ON: 4/25/11
 ROBERT A. WATSON, P.E. ENGINEER
 PHONE: (888) 282-9239 FAX: (586) 323-1645

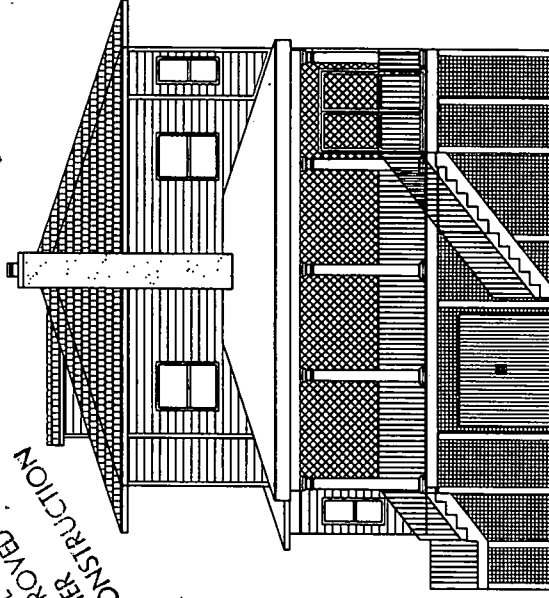
BW
 ENGINEERING
 WATZ ENGINEERING LLC
 11111 HALL RD. SUITE 110
 UTICA, MI 48317

FILE # PE-AL-MCMACKIN
 DEALER: PATTO ENCLOSURE
 5 WEST MELROSE ST.
 CHEVY CHASE, MD 20815
 DRAWN BY: ALEX BUECHEL
 SCALE: NONE
 DATE: 03/25/11

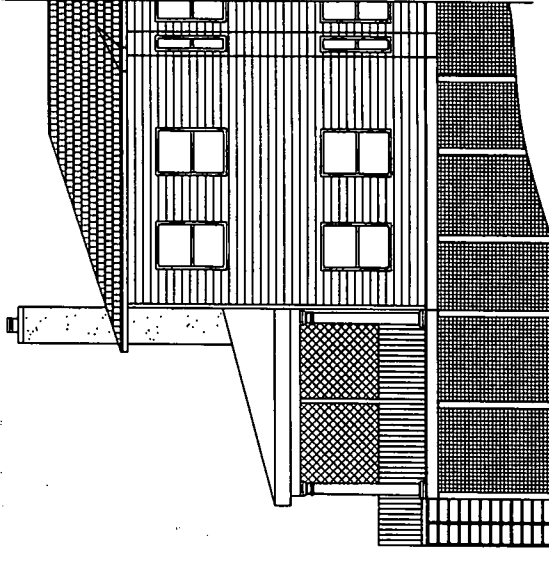
ELEVATIONS



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION

GENERAL STRUCTURAL
ARRANGEMENT APPROVED
SUBJECT TO FURTHER
APPROVAL OF CONSTRUCTION

NOTE
THIS PERMIT DOES NOT INCLUDE
APPROVAL FOR ANY ELECTRICAL WORK.
APPROVAL FOR ANY ELECTRICAL WORK
YOU MUST HAVE A SEPARATE ELECTRICAL
PERMIT TO DO ANY ELECTRICAL WORK

Electrical Work must conform to
Res. Code National Electric
Code and County Requirements

WICOMERY COURSES
APPROVED
AS NOTED
FLAN KEYWAY SECTION

5

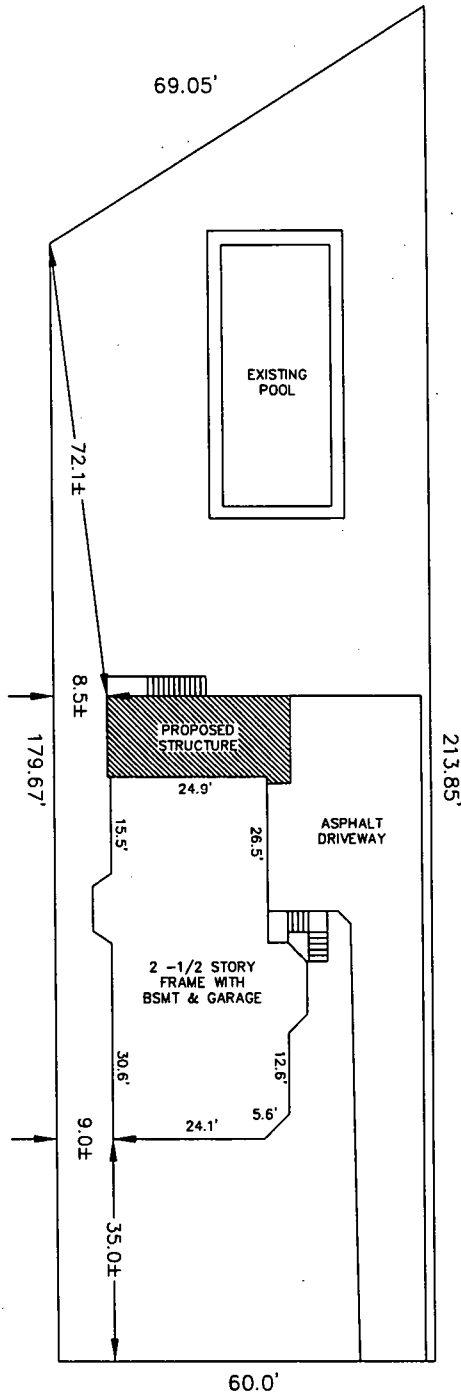
STATE OF MARYLAND
PLANNING AND ZONING
COMMISSION
PRINTED AND FILED ON: 4/25/11

BW
ENGINEERING
WALZ ENGINEERING LLC
11111 HALL RD., SUITE 110
UMCA, MD 20817
PHONE: (301) 209-9858
FAX: (301) 209-9858
ROBERT W. WALZ, P.E.

FILE # PE-AL-MCMACKIN
DEALER: PATIO ENCLOSURE
DATE: 03/25/11
SCALE: 1/4"=1'
MCMACKIN
5 WEST MELROSE ST.
CHEVY CHASE, MD 20815
DRAWN BY: ALEX BUECHEL

SHEET
E1

NOT A SURVEY



WEST MELROSE STREET

ORIGINAL SURVEY PERFORMED BY:
LOUIS COMEN
JULY 12, 1993

APPROVED AS NOTED
BY THE BOARD OF ZONING
COMMISSIONERS
CITY OF CHEVY CHASE

SITE PLAN FOR LOCATION REFERENCE ONLY

PRINTED, SIGNED AND SEALED ON: 4/25/11

SHEET 51	FILE # PE-AL-McMACKIN	DATE: 03/25/11	
	DEALER: PATIO ENCLOSURE		
	McMACKIN 5 WEST MELROSE ST. CHEVY CHASE, MD 20815		ENGINEERING WALZ ENGINEERING LLC 11111 HALL RD., SUITE 110 UTICA, MI 48317 PHONE: (800) 257-9258 FAX: (586) 323-1645
	DRAWN BY: ALEX BUECHEL	SCALE: 1"=20'	

15

CALCULATIONS

SOIL BEARING CAPACITY CALCULATIONS

SNOW LOADS
LIVE 30 PSF

DECK LOADS
LIVE 40 PSF
DEAD 5 PSF
TOTAL 45 PSF

DECK DETAILS
PROJECTION 12 FT
WIDTH 27.75 FT
EXTRA 5 FT
TOTAL 333 FT²

ASSUMED WEIGHT OF FUTURE PRODUCT
WEIGHT 3500 LBS

TOTAL DESIGN LOAD
LOAD 28475 LBS

SOIL BEARING CAPACITY
BEARING (1500-2500 PSF) 1500 PSF

NUMBER OF PIERS
PIERS 5

DIAMETER REQUIRED FOR PIERS
PIER DIAMETER (ROUND) 26 INCHES
PIER WIDTH (SQUARE) 23 INCHES

WIND UPLIFT DESIGN CALCULATIONS

TOTAL WEIGHT OF PRODUCT 3500 LBS

DIMENSION OF DECK
PROJECTION (FEET) 12 FT
WIDTH (FEET) 27.75 FT
EXTRA SQUARE FOOTAGE IF ODD SHAPED (SQUARE FEET) 333 FT²
TOTAL AREA (SQUARE FEET) 333 FT²

DECK WEIGHT PER SQUARE FOOT 10 LBS/FT²

DIMENSION OF PIER FOOTING
DIAMETER (INCHES) 29 IN
DEPTH (INCHES) 24 IN
TOTAL VOLUME OF PIER FOOTING (CUBIC FEET) 9.17 FT³

NUMBER OF PIERS 5

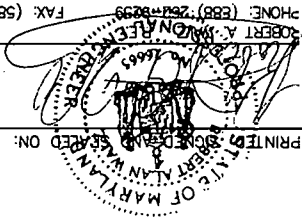
ASSUMED WEIGHT OF CONCRETE 145 LBS/FT³

WIND CONVERSION
WIND SPEED (80, 90, 100, 110, 120, 130, 140, 150) 90 MPH
EXPOSURE (B, C, D) B
CALCULATED WIND PRESSURE 15.4 LBS/FT²

FINAL CALCULATIONS
TOTAL UPLIFT 5128.2 LBS
TOTAL WEIGHT OF DECK, PRODUCT, AND FOOTINGS 13478 LBS
DIFFERENCE 8349.8 LBS

WIND UPLIFT DESIGN IS ACCEPTABLE

PRINTED BY: JOHN DEAN, REGISTERED PROFESSIONAL ENGINEER, STATE OF MARYLAND, LICENSE NO. 133665, DATE: 4/25/11



BW
ENGINEERING
WALZ ENGINEERING LLC
11111 HALL RD, SUITE 110
UTICA, MI 48317

FILE # PE-AL-MCMACKIN DATE: 03/25/11
DEALER: PATTO ENCLOSURE
MCMACKIN
5 WEST MELROSE ST.
CHEVY CHASE, MD 20815
DRAWN BY: ALEX BUECHEL
SCALE: NONE

SHEET
CI

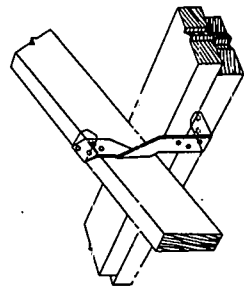
FILE # PE-AL-MCMACKIN
DEALER: PATIO ENCLOSURE
MCMACKIN
5 WEST MELROSE ST.
CHEVY CHASE, MD 20815
DRAWN BY: ALEX BUECHEL
SCALE: NONE

ENGINEERING
WALZ ENGINEERING LLC
11111 HALL RD., SUITE 110
UTCA, MI 48317

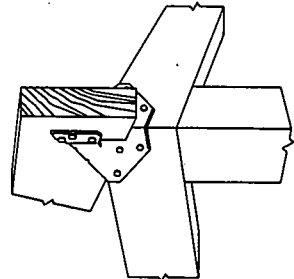
ROBERT A. MCMACKIN
PHONE: (888) 267-9259
FAX: (586) 323-1645

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
PRINTED, SIGNED AND SEALED ON: 4/25/11

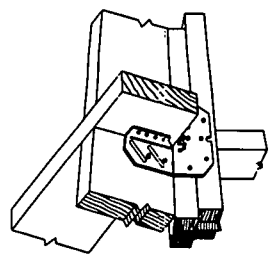
MONTGOMERY COUNTY
APPROVED
AS NOTED
PLAN REVIEW SECTION



Simpson Strong-Tie
LTS

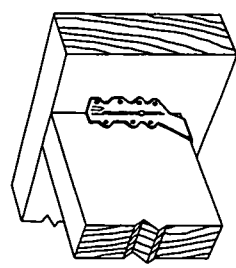


Simpson Strong-Tie
HCP4Z

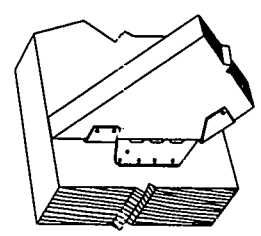


Simpson Strong-Tie
H1U

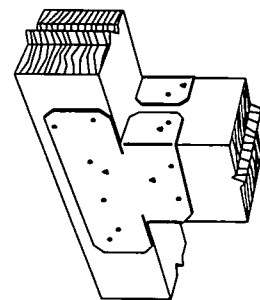
GENERAL STRUCTURAL
ARRANGEMENT APPROVED
SUBJECT TO FURTHER
APPROVAL OF CONSTRUCTION



Simpson Strong-Tie
LU210



Simpson Strong-Tie
LSSU



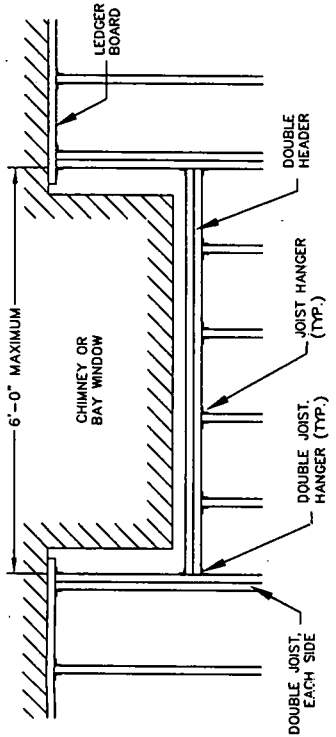
Simpson Strong-Tie
AC4

STATE OF MARYLAND
 PROFESSIONAL ENGINEERING
 No. 2662
 PRINTED, SIGNED AND SEALED ON: 4/25/11

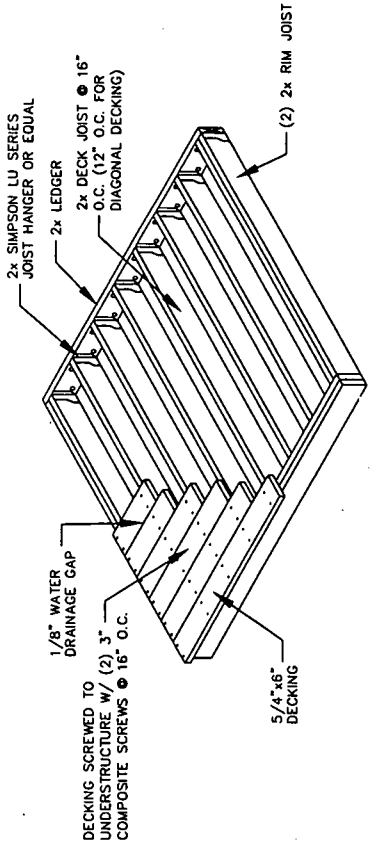
BW
 ENGINEERING
 WALZ ENGINEERING LLC
 11111 HALL RD., SUITE 110
 UTMCA, MI 48317
 PHONE: (888) 262-9299
 FAX: (586) 323-1645

FILE # PE-AL-MACKIN
 DEALER: PATTO ENCLOSURE
 MCMACKIN
 5 WEST MELROSE ST.
 CHEVY CHASE, MD 20815
 DRAWN BY: ALEX BUECHEL
 SCALE: NONE
 DATE: 03/25/11

SHEET
G2



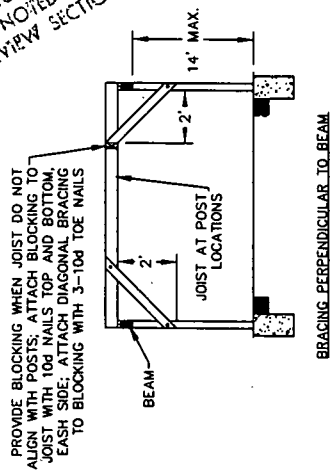
**CHIMNEY OR BAY WINDOW
 FRAMING DETAIL**



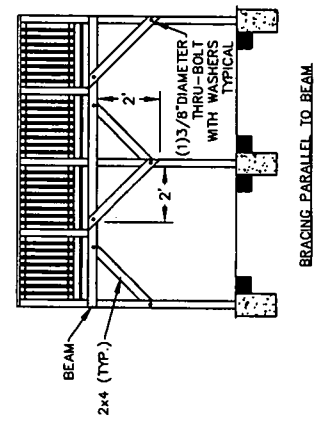
DECKING INSTALLATION W/ FRAMING

GENERAL STRUCTURAL
 ARRANGEMENT APPROVED
 SUBJECT TO FURTHER
 APPROVAL OF CONSTRUCTION

CATGOMERY COURT
 APPROVED
 AS NOTED
 PLAN REVIEW SECTION

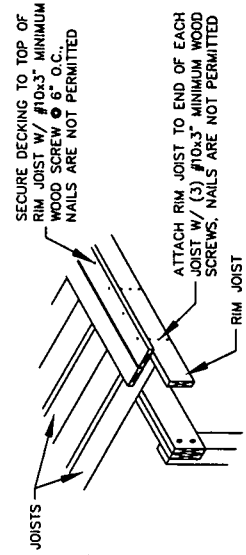


BRACING PERPENDICULAR TO BEAM



BRACING PARALLEL TO BEAM

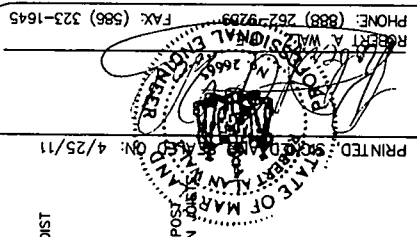
DIAGONAL BRACING REQUIREMENTS



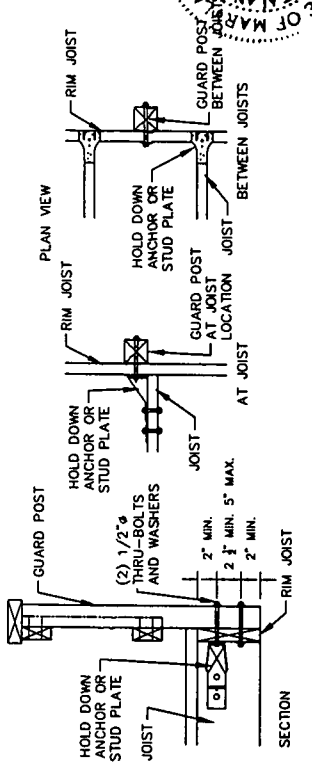
RIM JOIST CONNECTION DETAIL

FILE # PE-AL-MACKIN
DEALER: PATO ENCLOSURE
MCMACKIN
5 WEST MELROSE ST.
CHEVY CHASE, MD 20815
DRAWN BY: ALEX BUECHEL
SCALE: NONE
DATE: 03/25/11

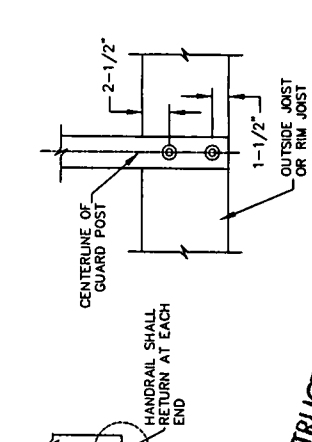
ENGINEERING
WALZ ENGINEERING LLC
11111 HALL RD., SUITE 110
UTICA MI 48317
PHONE: (888) 267-9289
FAX: (586) 323-1645



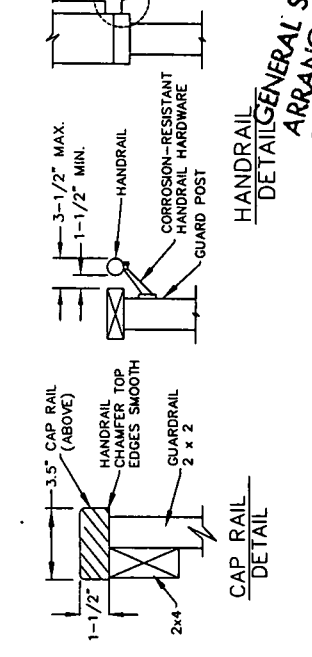
PRINTED: 5/20/11
DATE: 4/25/11



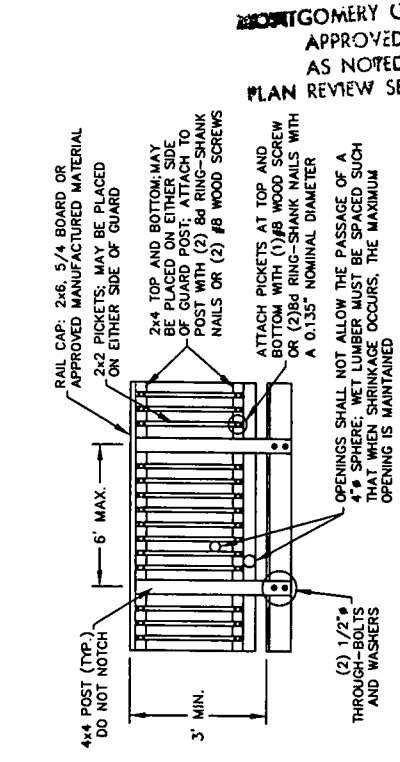
GUARD POST TO OUTSIDE JOIST DETAIL



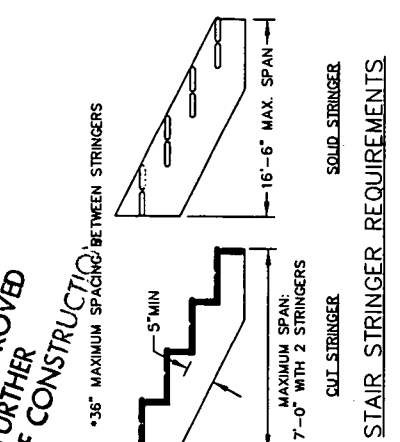
GENERAL STRUCTURAL GUARD POST ATTACHMENT DETAIL



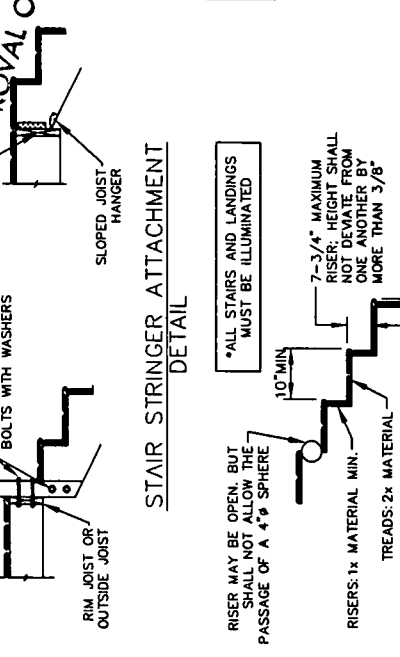
CAP RAIL DETAIL



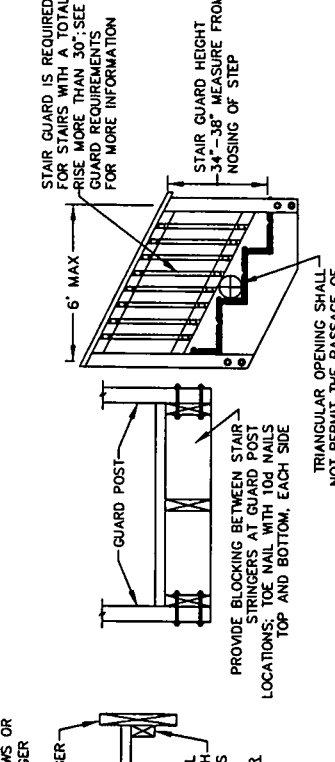
TYPICAL GUARD DETAIL



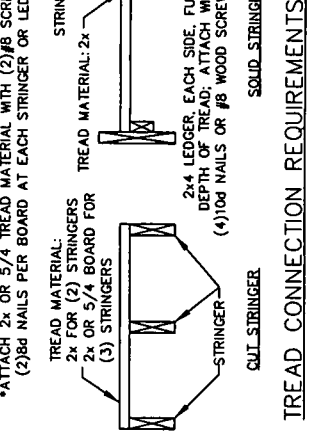
STAIR STRINGER REQUIREMENTS



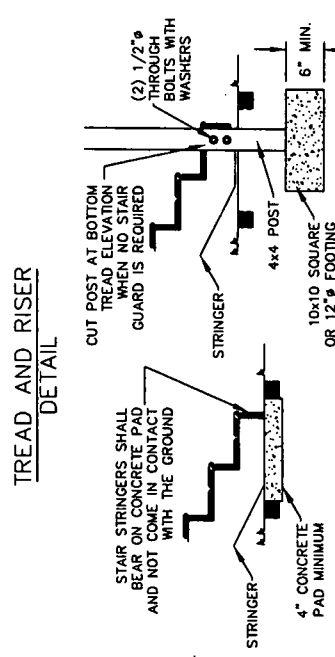
STAIR STRINGER ATTACHMENT DETAIL



STAIR GUARD REQUIREMENTS



STAIR CONNECTION REQUIREMENTS



TREAD AND RISER DETAIL



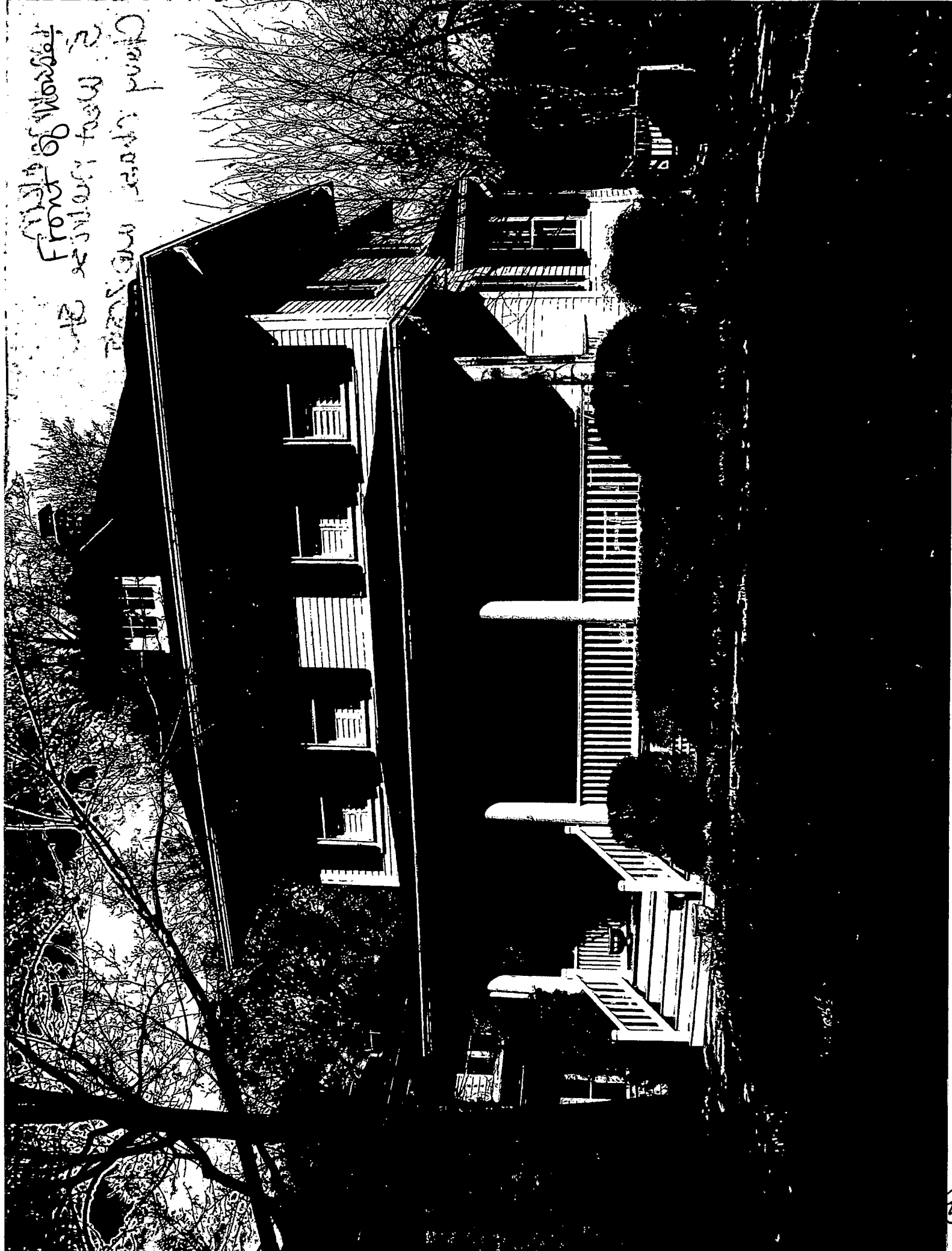
CHEVYCHASE VILLAGE

NEWLANDS ST

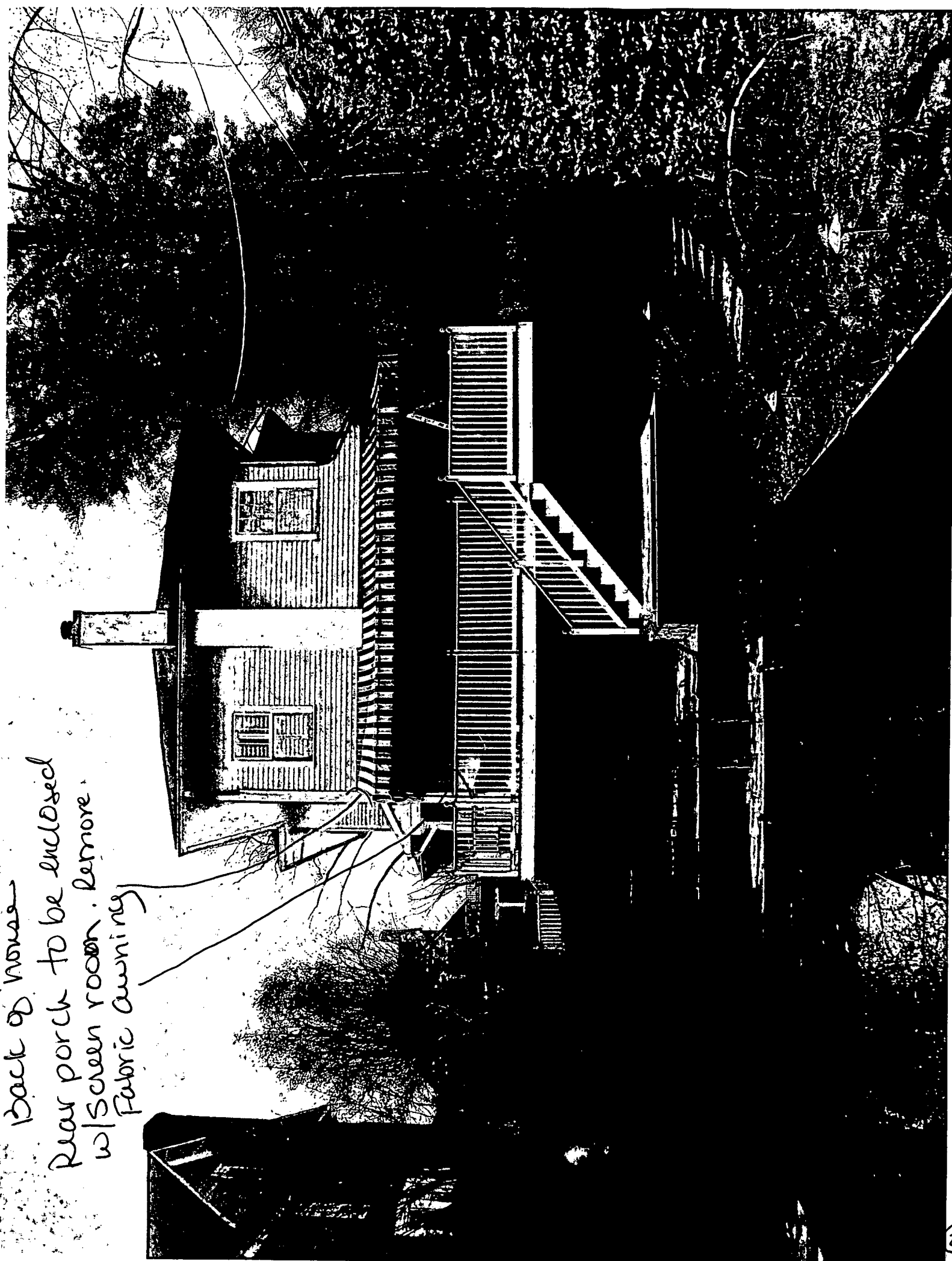
5

10

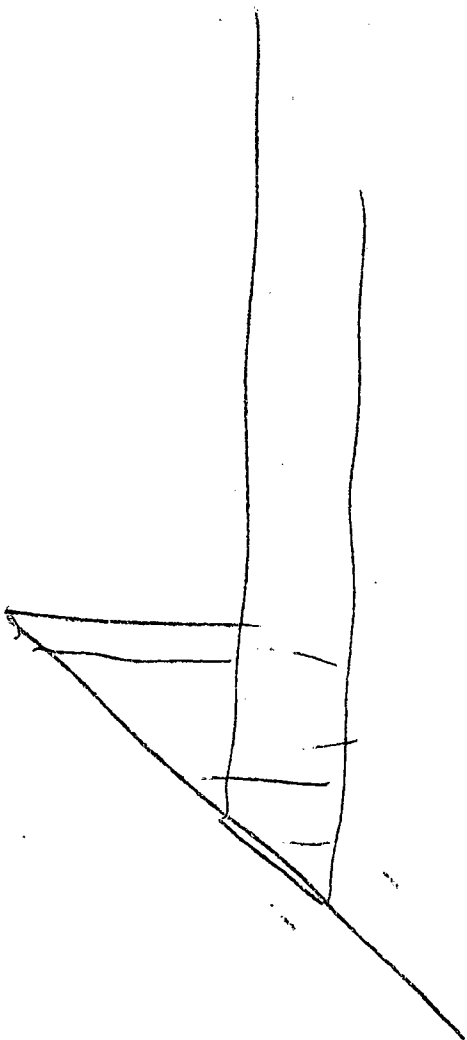
Front of Wooded
to West
Open (post and rail)



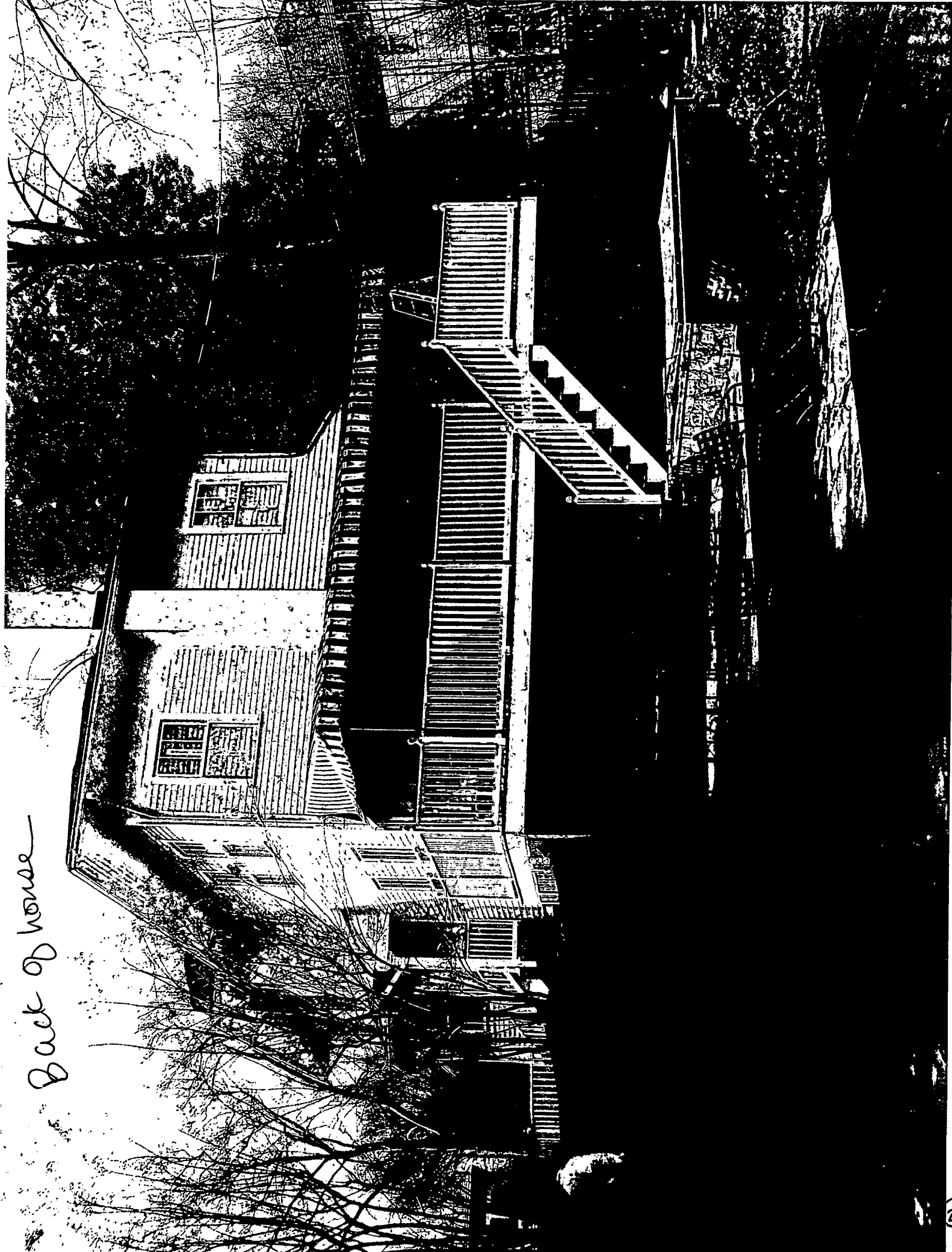
Back of house
Rear porch to be enclosed
w/ screen room. Remove
Fabric awning



Mematkin
5 West Melrose St.
Cherry Chase, MD 20815



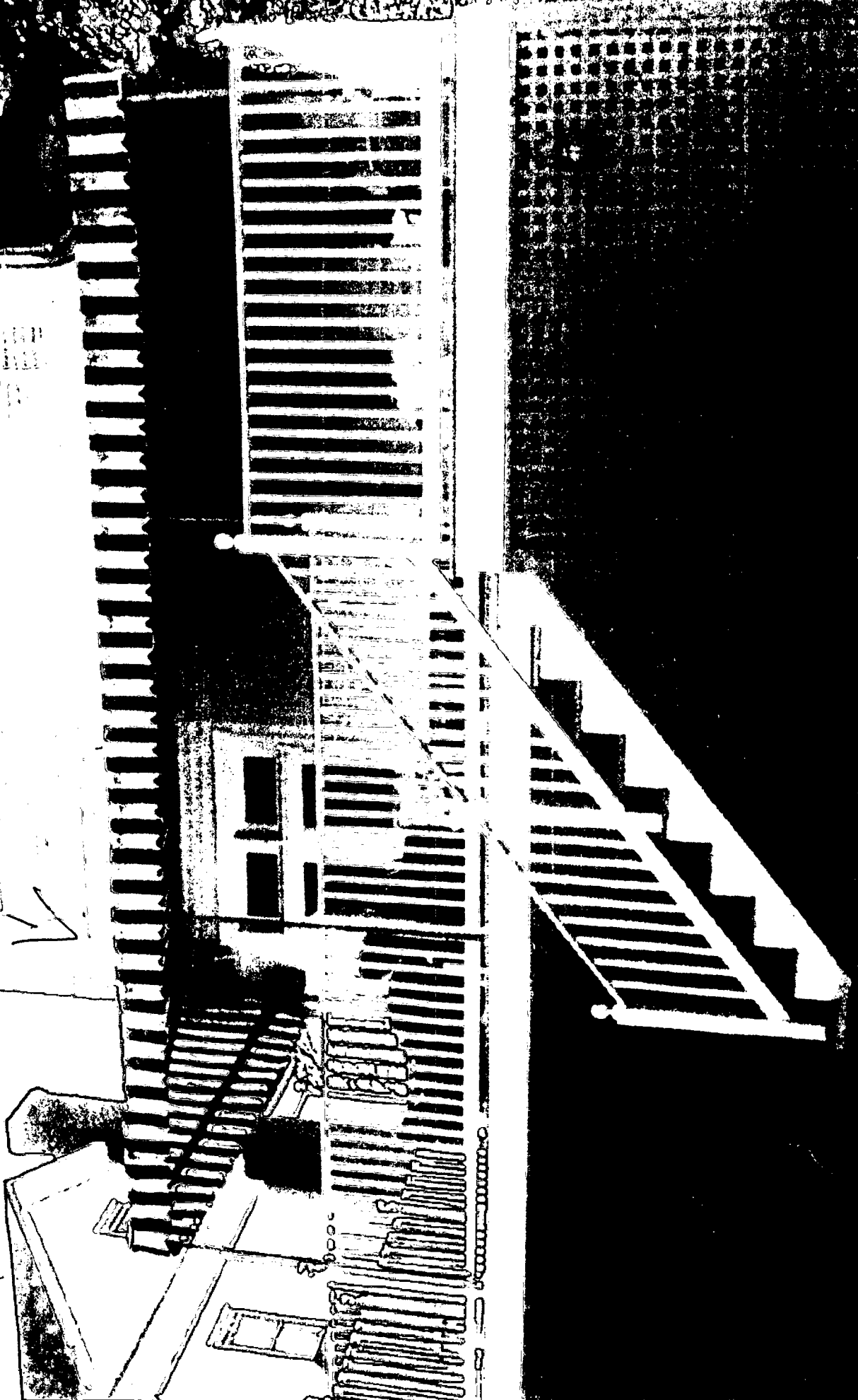
Back of house



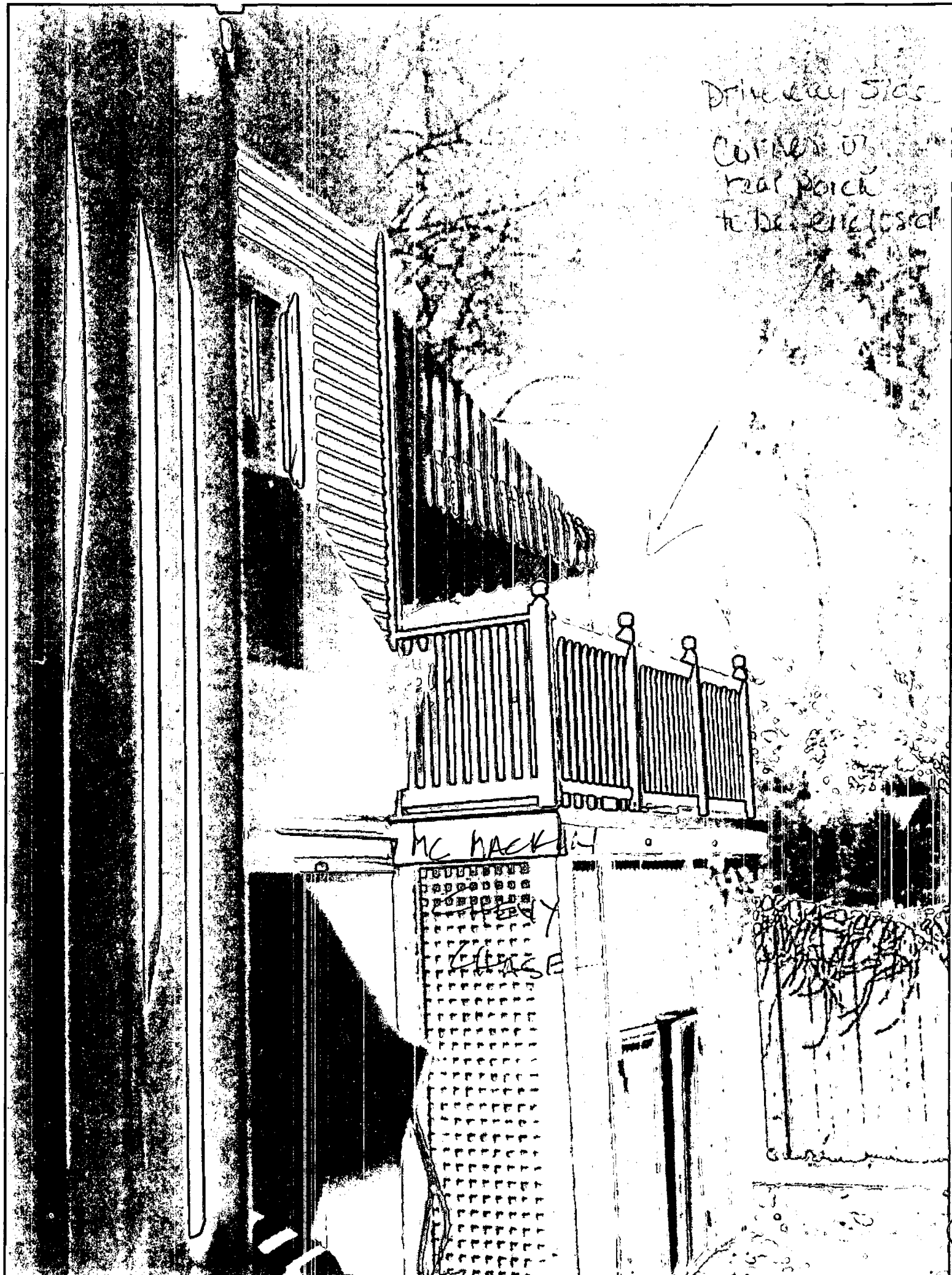
McMACKIN

CHERYL CHASE

Back of house
Remove Awning
Enclose existing deck



Driveway side
corner of
rear porch
to be enclosed



MC HACK

SCREEN
SCREEN