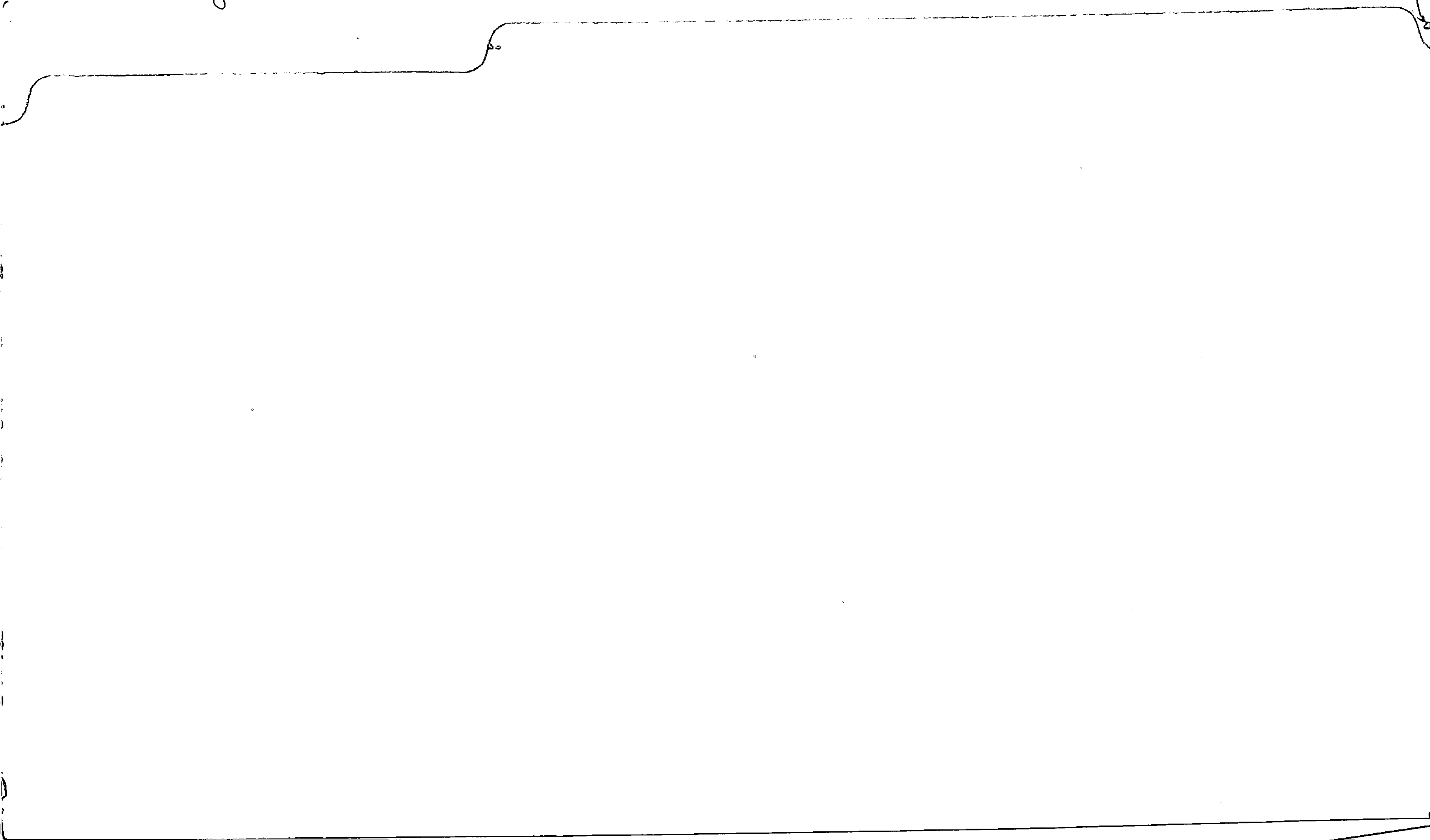


6 Quincy street  
Cherry Chase Village H.D.

2013 MAWP





## HISTORIC PRESERVATION COMMISSION


Isiah Leggett  
*County Executive*

William Kirwan  
*Chairperson*

Date: March 21, 2014

### MEMORANDUM

TO: Diane R. Schwartz Jones, Director  
Department of Permitting Services

FROM: Josh Silver, Senior Planner   
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #633463, alterations to previously-enclosed side porch

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the May 22, 2013 meeting.

Applicant: Patrick Regan

Address: 6 Quincy Street, Chevy Chase





HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: jverbeke@sandyspringbuilders.com Contact Person: JENNIFER VERBEKE  
 Daytime Phone No.: 240-400-0528  
 Tax Account No.: 01732211  
 Name of Property Owner: PATRICK REGAN Daytime Phone No.: 202-822-1880  
 Address: 6 QUINCY STREET CHEVY CHASE MD 20815  
Street Number City State Zip Code  
 Contractor: SANDY SPRING BUILDERS RENOVATIONS Phone No.: 301-252-0589  
 Contractor Registration No.: 50112  
 Agent for Owner: JENNIFER VERBEKE Daytime Phone No.: 240-400-0528

**LOCATION OF BUILDING/PREMISE**

House Number: 6 Street: QUINCY STREET  
 Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVENUE  
 Lot: 29 Block: 58 Subdivision: 0009  
 Liber: 11537 Folio: 509 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE
- |                                    |                                  |  |  |                                    |  |   |                               |                               |
|------------------------------------|----------------------------------|--|--|------------------------------------|--|---|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend  | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Stab      | <input type="checkbox"/> Room Addition     | <input type="checkbox"/> Porch                    | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move      | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze                | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision  | <input type="checkbox"/> Repair  | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) |                                    | <input type="checkbox"/> Other: _____      |   |                               |                               |

1B. Construction cost estimate: \$ 50,000  
 1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSIONS**

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jennifer Verbeke Signature of owner or authorized agent Date: 4/30/2013

Approved: 023463 Signature: \_\_\_\_\_ Date: 3/21/14  
 Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

6 Quincy Street is a 2 1/2 story federal style home, originally built in 1911. It is situated on a 23,125 sf lot with abundant landscaping and trees surrounding. Historically, the home had a one story side porch with roof on the right side of the home. Mr. and Mrs. Robert Bogue commissioned F.L. Fryer, AIA to design an enclosed sunroom at this side porch in 1963. The sunroom enclosed the historic porch and made it part of the conditioned space, utilizing the existing concrete slab and existing 2x10 roof rafters and metal roofing above. The sunroom was enclosed with a brick veneer outside and casement windows, the remainder of the Historic home is also of Brick construction with Double Hung style windows.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed project is a cosmetic, non structural alteration to the existing 1-story right side of the home. We are proposing to remove the brick veneer and clad instead with a solid MDO panel board, with columns and trim details to restore the side room to the look of a porch that has been enclosed, rather than a one story brick addition to the home. Detailing would draw off of elements on an existing rear porch of the home and existing front portico. All windows would be replaced with mullioned windows to further integrate with the existing home. At the existing bow window, the window units would be replaced with fixed units. All other windows would be double hung units. At the rear of the space, a triple sliding glass door would open to the picturesque rear yard and existing flagstone terraces. No work is proposed beyond the footprint of the existing home.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

**SUBJECT:** Revision to approved HAWP (HPC Case #35/13-13R) for alterations to previously enclosed side porch at 6 Quincy Street, Chevy Chase, a Contributing Resource within the Chevy Chase Village Historic District

**DATE:** November 12, 2013

**BACKGROUND:** The HPC approved alterations to an altered side elevation sunroom that was originally an open porch and was enclosed outside the historic district's period of significance.

**REVISED PROPOSAL:** The applicant is requesting HPC approval to change select window opening dimensions and extend the approved curvilinear bay feature by 1'6" beyond the approved curve depth. (See attached plans).

**STAFF RECOMMENDATION:** Staff finds the revised proposal described above as being consistent Chapter 24A-8(b) (1) & (2) and *Chevy Chase Village Historic District Guidelines* referred to below:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

Staff recommends that the HPC approve the revised work scope and delegate final review and approval to staff.

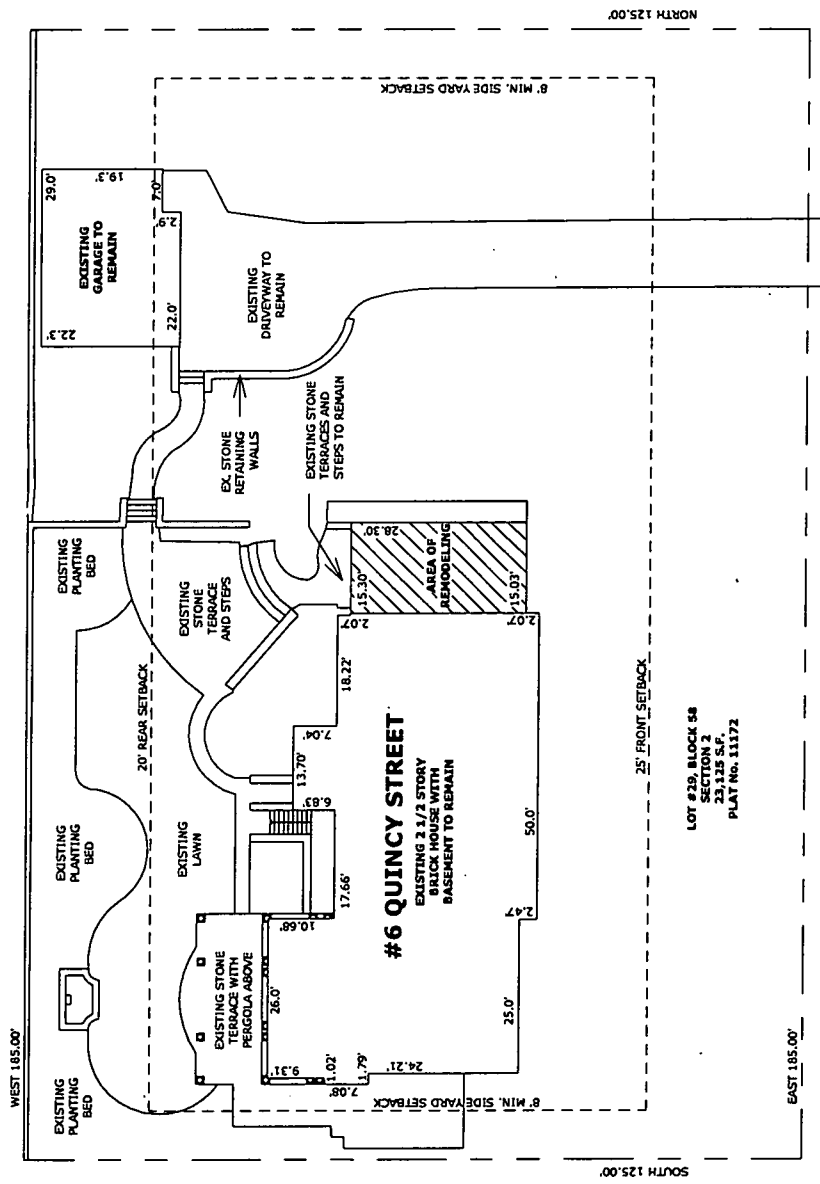
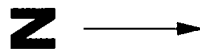
**HPC DECISION:**

APPROVED  
W/h JS 11/13/13

<b>Site Plan</b>	Project number	-----
	Date	11/8/2013
	Drawn by	JV
	Checked by	SSBR
Scale 1" = 30'-0"		

**Regan Residence**  
 6 Quincy Street  
 Chevy Chase, MD 20815

4720 Hampden Lane  
 Bethesda, MD 20814  
 P: (301) 951-0849  
 F: (301) 951-0892  
 SandySpringBuilders.com



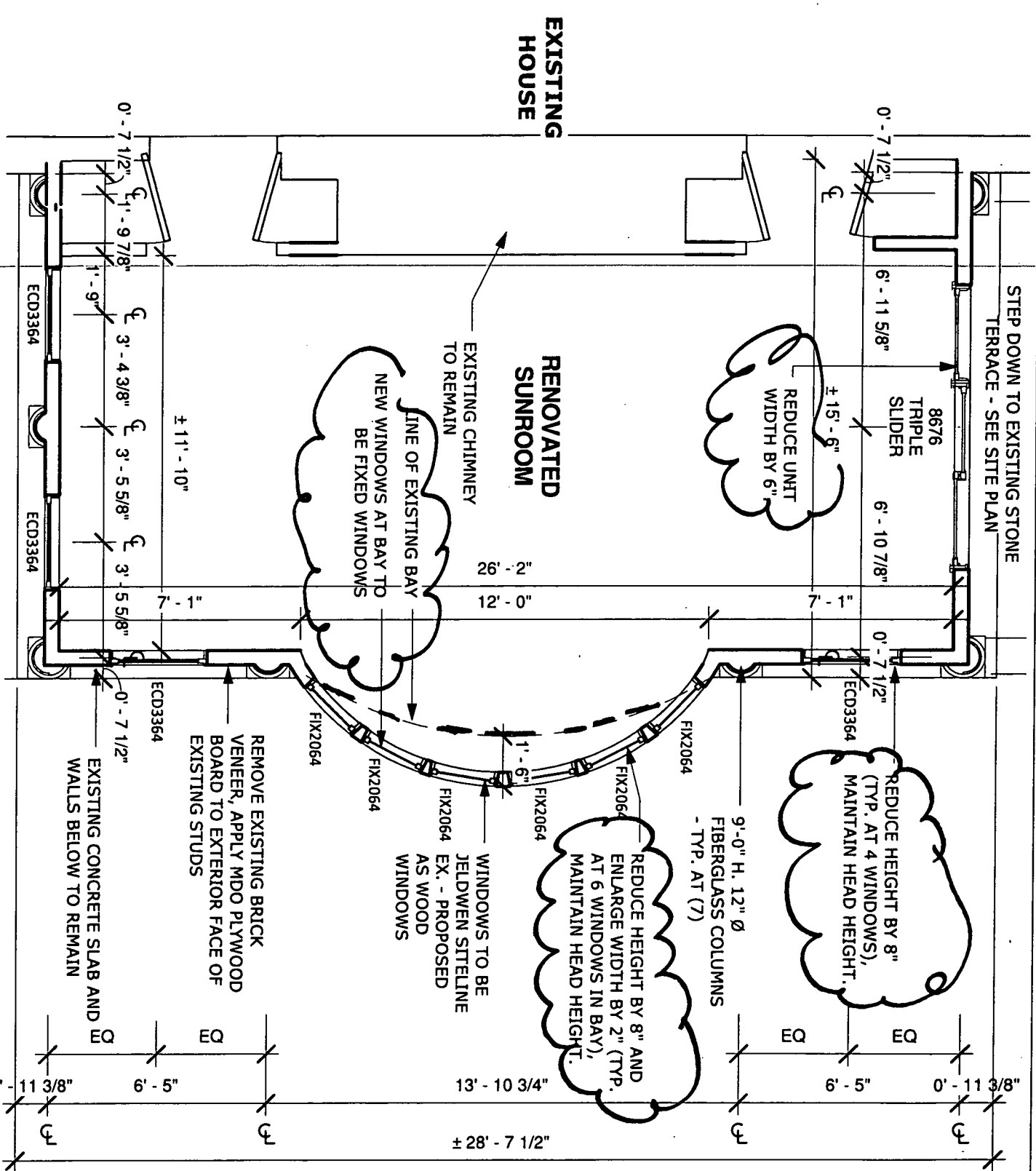
LOT #29, BLOCK 58  
 SECTION 2  
 23,125 S.F.  
 PLAT No. 11172

EXIST. CONCRETE PORCH  
 EXISTING BRICK SIDEWALK  
 ROLLED CURB AT STREET

# QUINCY STREET

1 Site Plan  
 1" = 30'-0"

1 Proposed Partial First Floor Plan  
 1/4" = 1'-0"

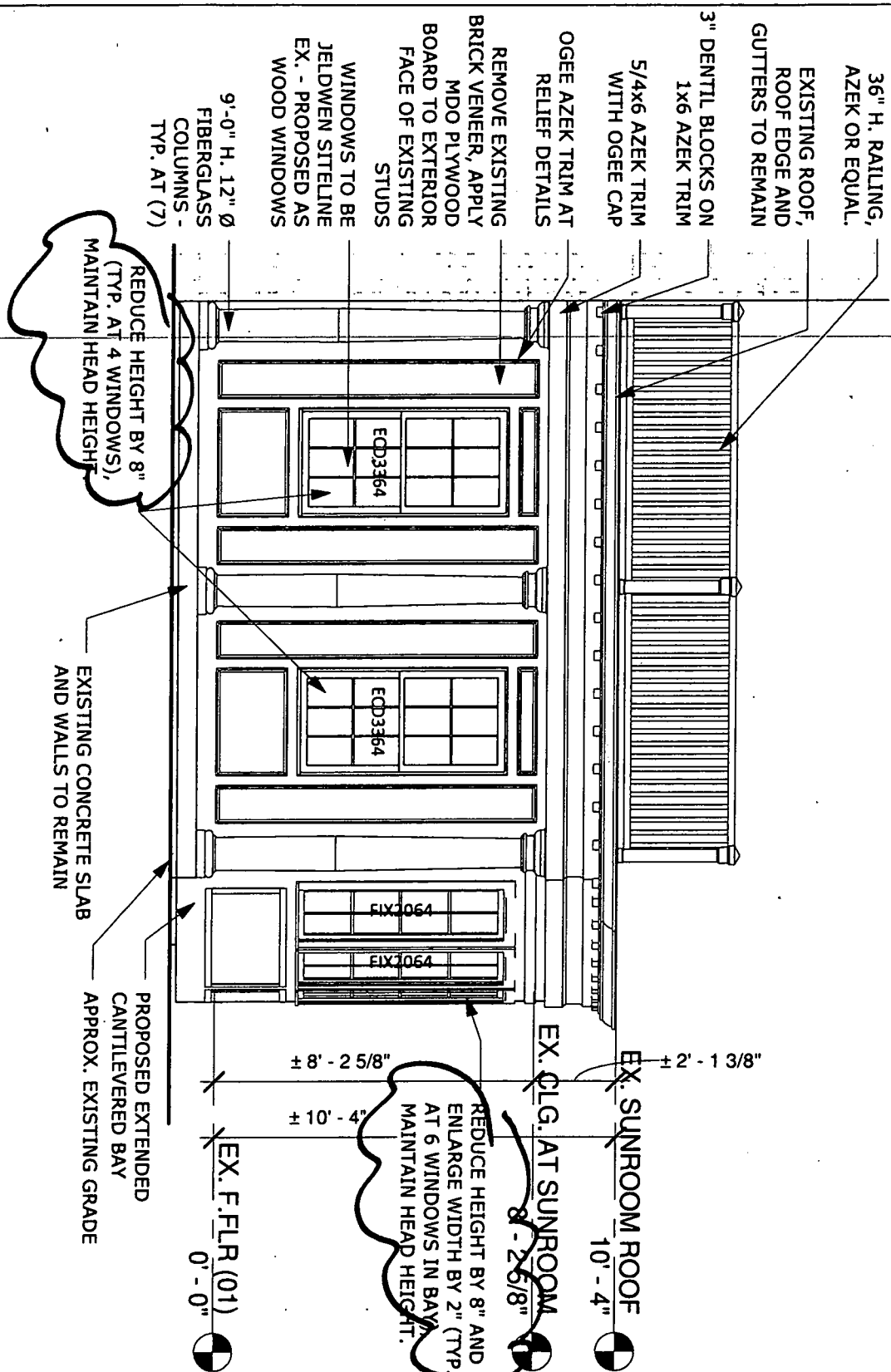


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 Bethesda, MD 20814  
 P: (301) 951-0849  
 F: (301) 951-0892  
 SandySpringBuilders.com

Regan Residence  
 6 Quincy Street  
 Chevy Chase, MD 20815

<b>Proposed Floor Plan</b>		<b>A1.0</b>
Project number	-----	
Date	11/8/2013	
Drawn by	JV	
Checked by	SSBR	Scale 1/4" = 1'-0"

1 Proposed Partial Front Elevation  
 1/4" = 1'-0"



4720 Hampden Lane  
 Bethesda, MD 20814  
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 F: (301) 951-0892  
 SandySpringBuilders.com

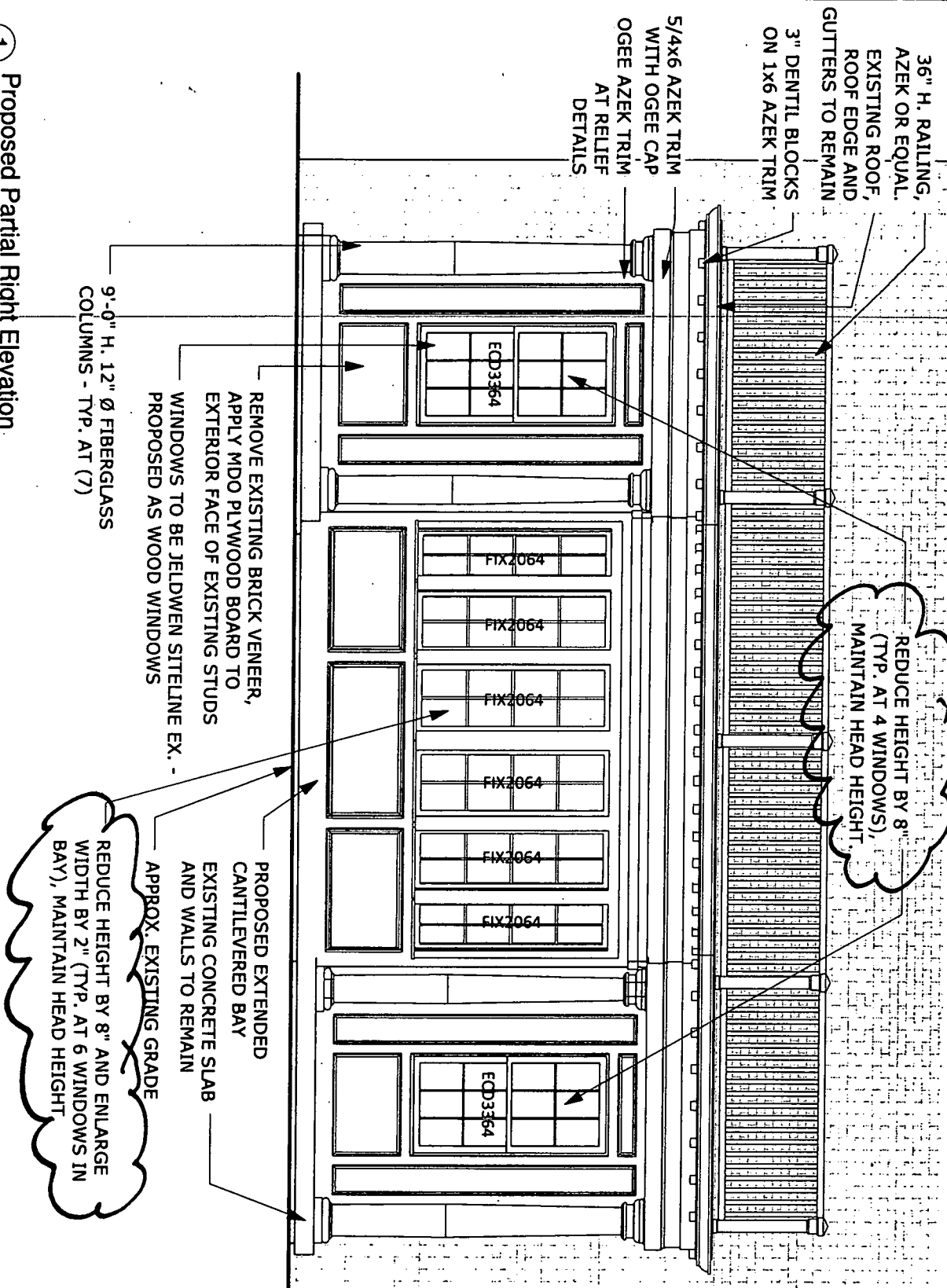
Regan Residence  
 6 Quincy Street  
 Chevy Chase, MD 20815

Proposed Elevation

Project number	-----	A2.0
Date	11/8/2013	
Drawn by	JV	Scale 1/4" = 1'-0"
Checked by	SSBR	



1 Proposed Partial Right Elevation  
 1/4" = 1'-0"



4720 Hampden Lane  
 Bethesda, MD 20814  
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 F: (301) 951-0892  
 SandySpringBuilders.com

Regan Residence  
 6 Quincy Street  
 Chevy Chase, MD 20815

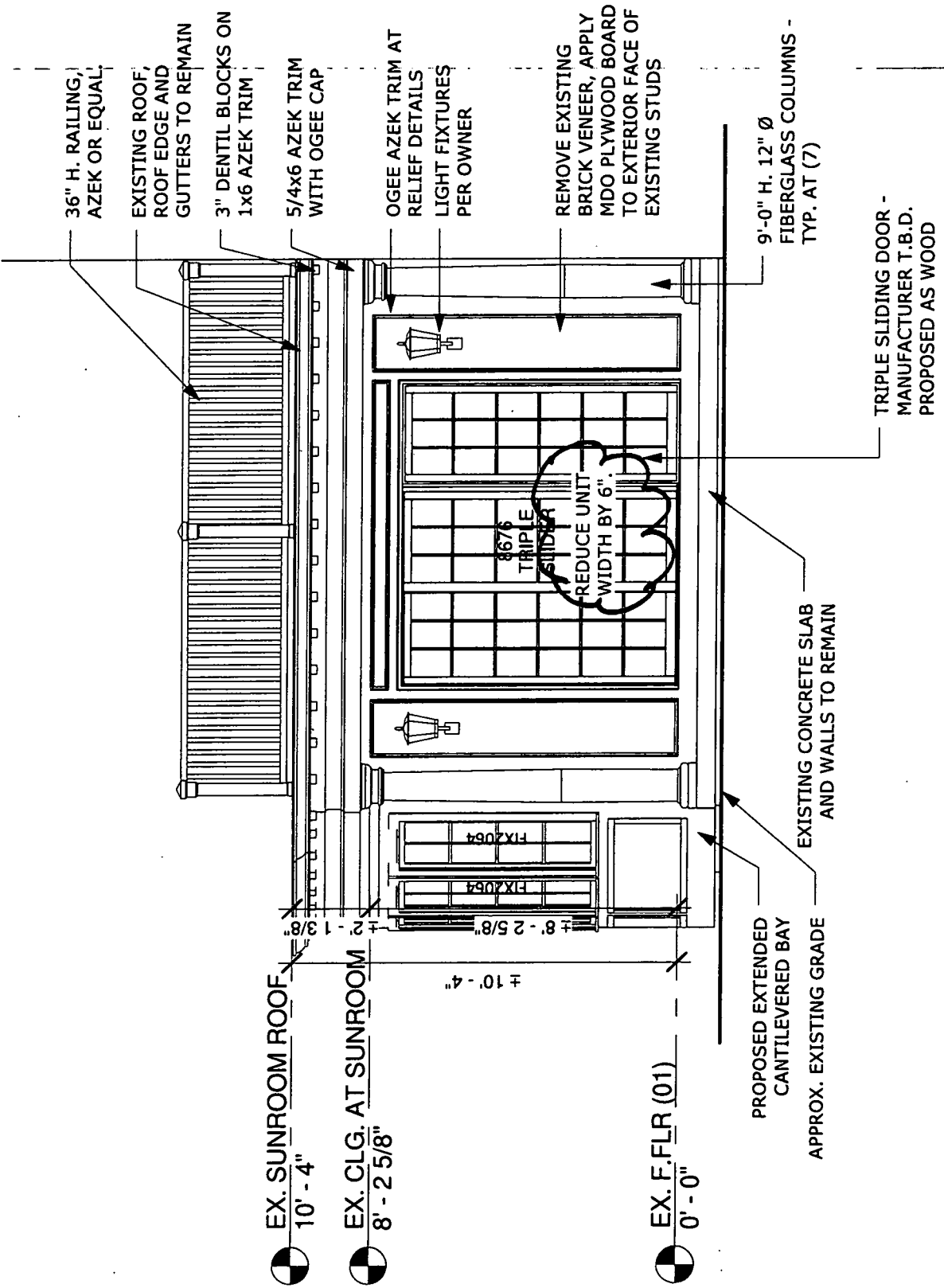
Proposed Elevation

Project number	----	<b>A2.1</b>
Date	11/8/2013	
Drawn by	JV	
Checked by	SSBR	
		Scale 1/4" = 1'-0"

<b>Proposed Elevation</b>	
Project number	-----
Date	11/8/2013
Drawn by	JV
Checked by	SSBR
Scale	1/4" = 1'-0"

Regan Residence  
 6 Quincy Street  
 Chevy Chase, MD 20815

4720 Hampden Lane  
 Bethesda, MD 20814  
 P: (301) 951-0849  
 F: (301) 951-0892  
 SandyspringBuilders.com



EX. SUNROOM ROOF  
 10' - 4"

EX. CLG. AT SUNROOM  
 8' - 2 5/8"

EX. F. FLR (01)  
 0' - 0"

1 Proposed Partial Rear Elevation  
 1/4" = 1'-0"

## Silver, Joshua

---

**From:** Jennifer Verbeke <JVERBEKE@sandyspringbuilders.com>  
**Sent:** Friday, November 08, 2013 4:11 PM  
**To:** Silver, Joshua  
**Subject:** RE: HAWP Case # 35/13-13R Revision  
**Attachments:** Regan - HAWP Updates - 11-8-2013.pdf

Joshua,

Attached please find the updated drawings per your request on October 28, 2013. For your convenience, I have attached the entire drawing package for the Regan residence at 6 Quincy Street, Chevy Chase (HAWP Case #35/13-13R), though the site plan and existing drawings have not changed. I updated the proposed floor plan and the three elevations with notes in red denoting the changes to the window sizes that we have proposed as requested.

If you have any further questions or need further information, please let me know.

Thanks,  
Jennifer Verbeke

LEED AP  
Sandy Spring Builders Renovations  
4720 Hampden Lane  
Bethesda, MD 20814  
Cell: 240-400-0528

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**From:** Silver, Joshua [joshua.silver@montgomeryplanning.org]  
**Sent:** Monday, October 28, 2013 2:38 PM  
**To:** Jennifer Verbeke  
**Subject:** RE: HAWP Case # 35/13-13R

Hi Jennifer,

Kevin forwarded your request to me for review and comment. The proposed revisions require HPC review and approval. Given the small scope of the project, these items can be handled administratively between staff and the HPC. You will not be required to submit a formal package of information for consideration or attend a meeting.

The HPC's next meeting is November 13<sup>th</sup> at which time I will present your request for the window and bow revisions.

Please specify which window dimensions will be changed and by how much (8") on the revised plans and resubmit them to me via e-mail no later than COB, Monday, November 11<sup>th</sup>. Please include in the subject line of your e-mail when you resubmit the plans per my request above the word "Revision".

Thanks,

**Joshua Silver, Senior Planner** | Historic Preservation Section  
Functional Planning and Policy Division | Montgomery County Planning Department | M-NCPPC  
8787 Georgia Avenue, Suite 206 | Silver Spring MD 20910  
301-563-3400 phone | 301-563-3412 fax | [joshua.silver@montgomeryplanning.org](mailto:joshua.silver@montgomeryplanning.org) | [www.montgomeryplanning.org/historic/](http://www.montgomeryplanning.org/historic/)

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**From:** Jennifer Verbeke [<mailto:JVERBEKE@sandyspringbuilders.com>]

**Sent:** Thursday, October 24, 2013 1:44 PM

**To:** Manarolla, Kevin

**Subject:** HAWP Case # 35/13-13R

Kevin,

I spoke with you on the phone earlier this week regarding some changes that we are proposing to our original HAWP Case #35/13-13R, for the residence at 6 Quincy Street in Chevy Chase, that Anne Fothergill had been assigned to. I have attached an updated set of drawings in their entirety for your review. The site plan and existing drawings have not really changed (some dimensions were slightly updated due to field discrepancies from the civil engineer.) On the proposed plans, we have altered the window dimensions by making them slightly shorter to allow for easier interior furniture layout (about 8" shorter, head height to remain the same.) On the side elevation, we would be very interested in extending the existing cantilevered bow window by an additional 1'-6". The general look would remain very similar to the proposed and approved HAWP review (Meeting date was 5/22/2013), but would extend a little further into the side yard. This proposed change is compliant with the building restriction lines on the property and would not affect any existing trees.

Would this change require submitting for approval from the Historic Preservation Commission or can this be approved at the staff level? Any guidance you can provide would be greatly appreciated. Please let me know if you have any questions or need additional information.

Thanks,  
Jennifer Verbeke

LEED AP  
Sandy Spring Builders Renovations  
4720 Hampden Lane  
Bethesda, MD 20814  
Cell: 240-400-0528

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	6 Quincy Street, Chevy Chase	<b>Meeting Date:</b>	5/22/13
<b>Applicant:</b>	Patrick Regan (Jennifer Verbeke, Agent)	<b>Report Date:</b>	5/15/13
<b>Resource:</b>	Outstanding Resource Chevy Chase Village Historic District	<b>Public Notice:</b>	5/8/13
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/13-13R	<b>Staff:</b>	Anne Fothergill

**PROPOSAL:** alterations to previously-enclosed side porch

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**STAFF RECOMMENDATION**

Staff is recommending that the HPC approve the HAWP application.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource, Chevy Chase Village  
**STYLE:** Colonial Revival  
**DATE:** 1911

**PROPOSAL**

The applicants are proposing to make alterations to the sunroom at the west side of the house that was originally an open porch and enclosed in 1963. The existing sunroom is brick with casement windows. The applicants propose to remove the brick and install solid MDO panel boards with columns and details to recall the original porch with a new railing above. The applicants propose to install new double hung wood windows, fixed wood windows, and a wood sliding glass door at the rear.

**APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

**Chevy Chase Village Historic District**

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and

compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

Specifically, the *Guidelines* state:

- o *Porches* should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed. Strict scrutiny should be applied to additions above existing front porches.

#### **Montgomery County Code; Chapter 24A-8:**

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**STAFF DISCUSSION**

The proposed alterations to the previously-enclosed side porch are compatible and appropriate changes which will help to recall the original open porch. The proposal will not adversely impact the historic house, streetscape, or historic district, and it is in the keeping with the applicable guidelines. Staff recommends approval.

**STAFF RECOMMENDATION**

Staff recommends that the Commission ***approve*** the HAWP application as being consistent with Chapter 24A-8 (b) (1) & (2):

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at [www.permits.emontgomery.org](http://www.permits.emontgomery.org) prior to commencement of work **and not more than two weeks following completion of work.**



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JENNIFER VERBEKE
Contact Email: jverbeke@sandyspringbuilders.com
Daytime Phone No.: 240-400-0528
Tax Account No.: 01732211
Name of Property Owner: PATRICK REGAN
Daytime Phone No.: 202-822-1880
Address: 6 QUINCY STREET CHEVY CHASE MD 20815
Contractor: SANDY SPRING BUILDERS RENOVATIONS Phone No.: 301-252-0589
Contractor Registration No.: 50112
Agent for Owner: JENNIFER VERBEKE Daytime Phone No.: 240-400-0528

LOCATION OF BUILDING/PREMISE

House Number: 6 Street: QUINCY STREET
Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVENUE
Lot: 29 Block: 58 Subdivision: 0009
Liber: 11537 Folio: 569 Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable, A/C, Stab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other.

1B. Construction cost estimate: \$ 50,000.

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSION/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other
2B. Type of water supply: 01 WSSC, 02 Well, 03 Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Jennifer Verbeke Date: 4/30/2013

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: Date Filed: Date Issued:



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

6 Quincy Street is a 2 1/2 story federal style home, originally built in 1911. It is situated on a 23,125 sf lot with abundant landscaping and trees surrounding. Historically, the home had a one story side porch with roof on the right side of the home. Mr. and Mrs. Robert Bogue commissioned F.L. Fryer, AIA to design an enclosed sunroom at this side porch in 1963. The sunroom enclosed the historic porch and made it part of the conditioned space, utilizing the existing concrete slab and existing 2x10 roof rafters and metal roofing above. The sunroom was enclosed with a brick veneer outside and casement windows, the remainder of the Historic home is also of Brick construction with Double Hung style windows.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed project is a cosmetic, non structural alteration to the existing 1-story right side of the home. We are proposing to remove the brick veneer and clad instead with a solid MDO panel board, with columns and trim details to restore the side room to the look of a porch that has been enclosed, rather than a one story brick addition to the home. Detailing would draw off of elements on an existing rear porch of the home and existing front portico. All windows would be replaced with mullioned windows to further integrate with the existing home. At the existing bow window, the window units would be replaced with fixed units. All other windows would be double hung units. At the rear of the space, a triple sliding glass door would open to the picturesque rear yard and existing flagstone terraces. No work is proposed beyond the footprint of the existing home.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

5

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Patrick Regan 6 Quincy Street Chevy Chase, MD 20815	Sandy Spring Builders Renovations Attn: Jennifer Verbeke 4720 Hampden Lane Bethesda MD 20814
<b>Adjacent and confronting Property Owners mailing addresses</b>	
Thomas Jarrett and Martha Burke 3 Quincy Street Chevy Chase, MD 20815	Jeffrey Black and Barbara Anne Tappan Black 4 Quincy Street Chevy Chase, MD 20815
Leslie Goldman 5 Quincy Street Chevy Chase, MD 20815	Gael Delany 8 Quincy Street Chevy Chase, MD 20815
Alan and Sondra Geller 5 Primrose Street Chevy Chase, MD 20815	Richard Kline 7 Primrose Street Chevy Chase, MD 20815
Alice and Peter Keating 9 Primrose Street Chevy Chase, MD 20815	Andrew and Carissa Marino 11 Primrose Street Chevy Chase, MD 20815



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Bethesda, MD 20814  
P: (301) 951-0849  
F: (301) 951-0892  
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Regan Residence  
6 Quincy Street  
Chevy Chase, MD 20815

Site Plan

Project number -----

Date

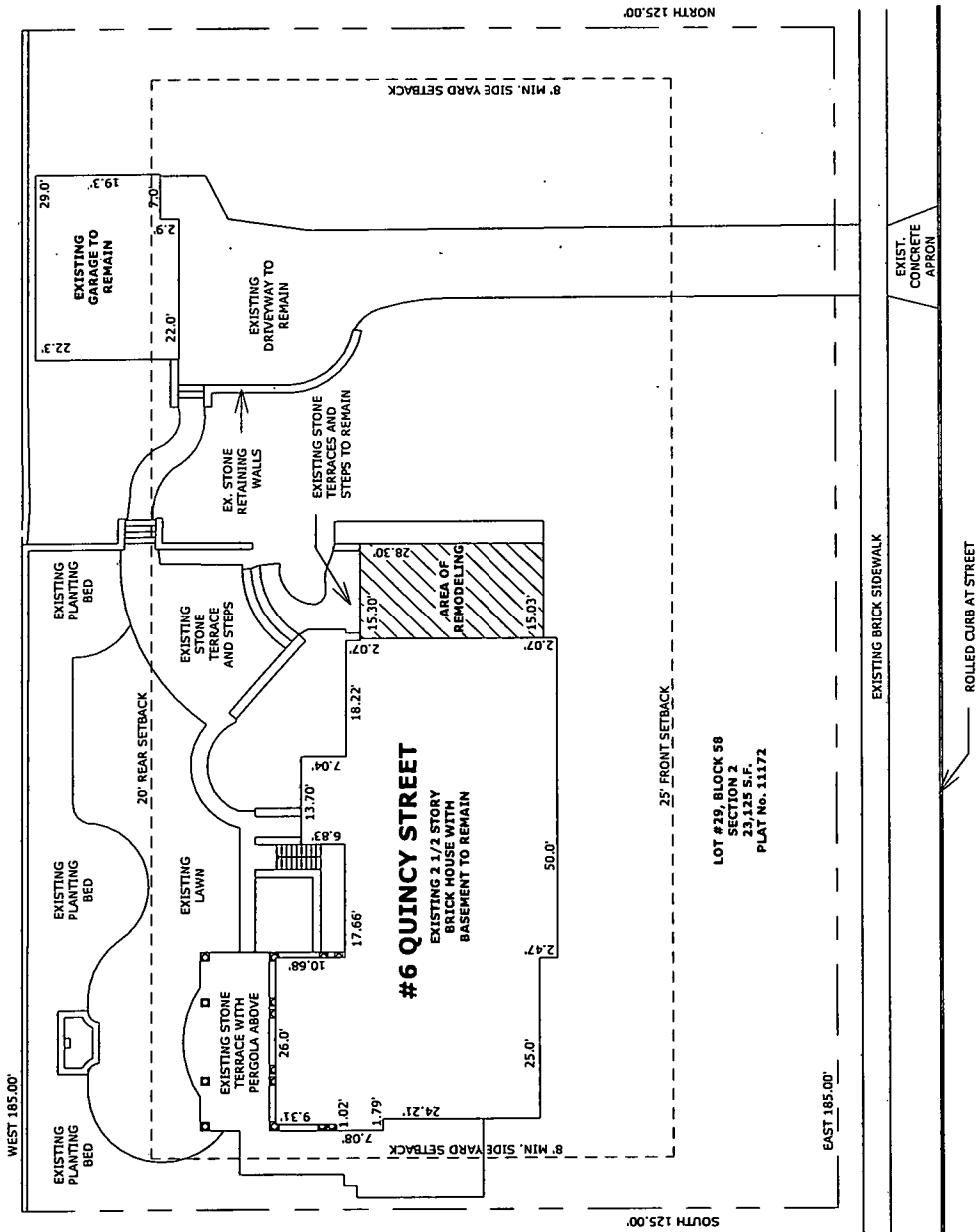
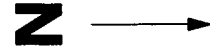
4/30/2013

Drawn by JV

SSBR

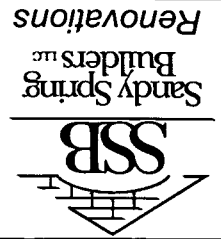
Scale 1" = 30'-0"

A0.1



1 Site Plan  
1" = 30'-0"

7



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Existing Plan

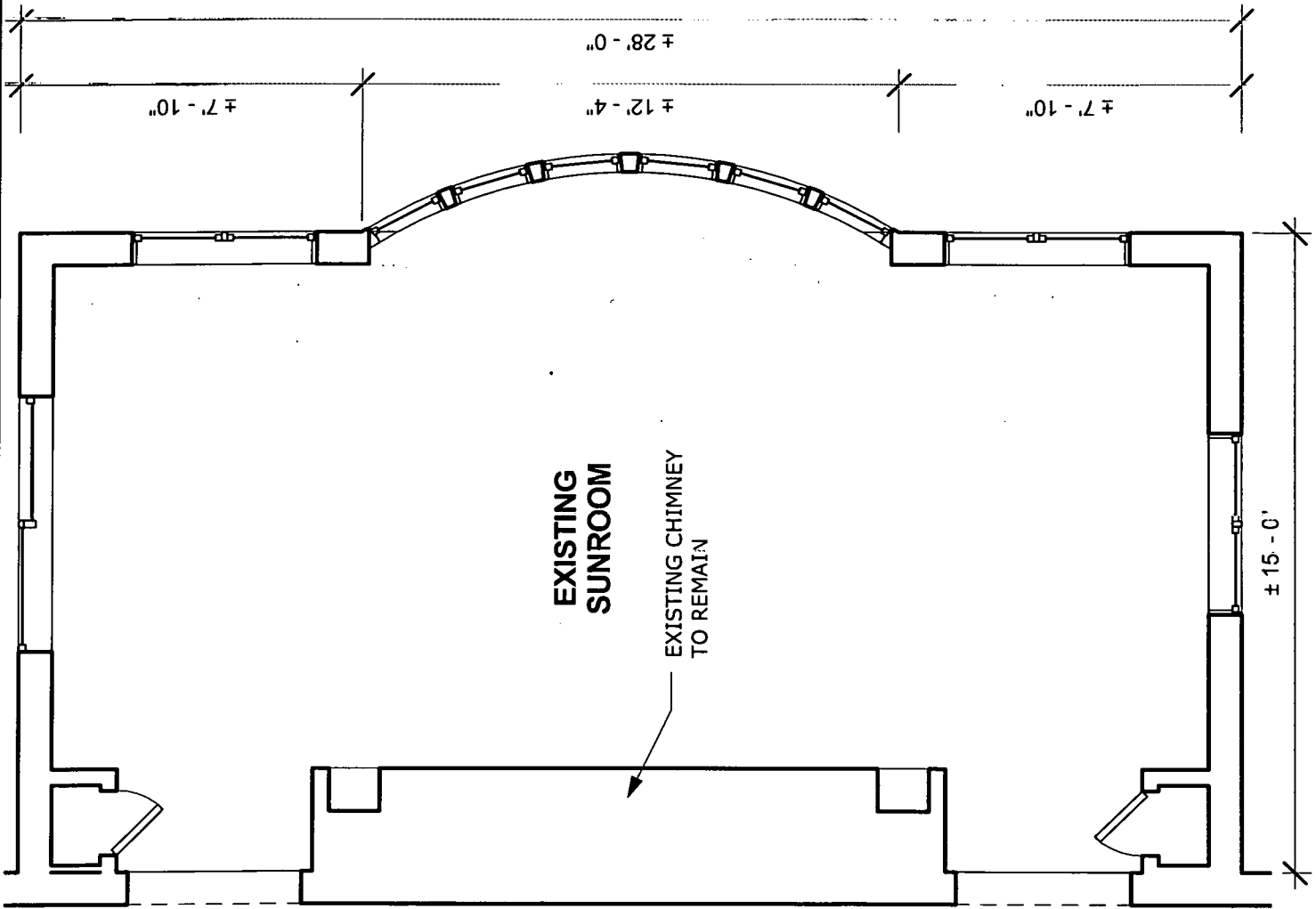
Project number -----

Date 4/30/2013

Drawn by JV

Checked by SSBR Scale 1/4" = 1'-0"

A0.3

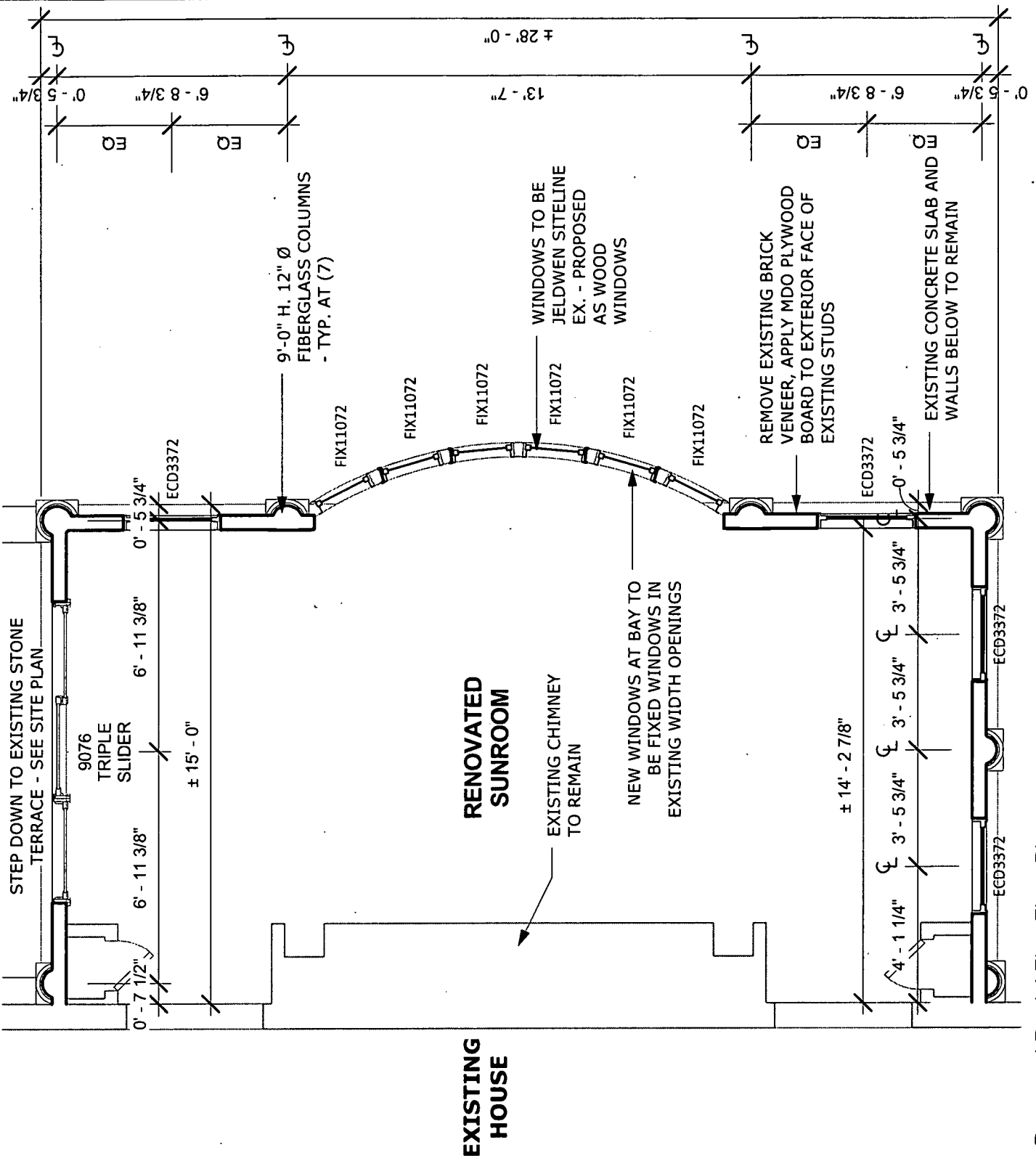


1 Existing Partial First Floor Plan  
1/4" = 1'-0"

<b>Proposed Floor Plan</b>		Project number	-----
Date		4/30/2013	JV
Drawn by		JV	
Checked by		SSBR	
Scale		1/4" = 1'-0"	

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1 Proposed Partial First Floor Plan  
 1/4" = 1'-0"

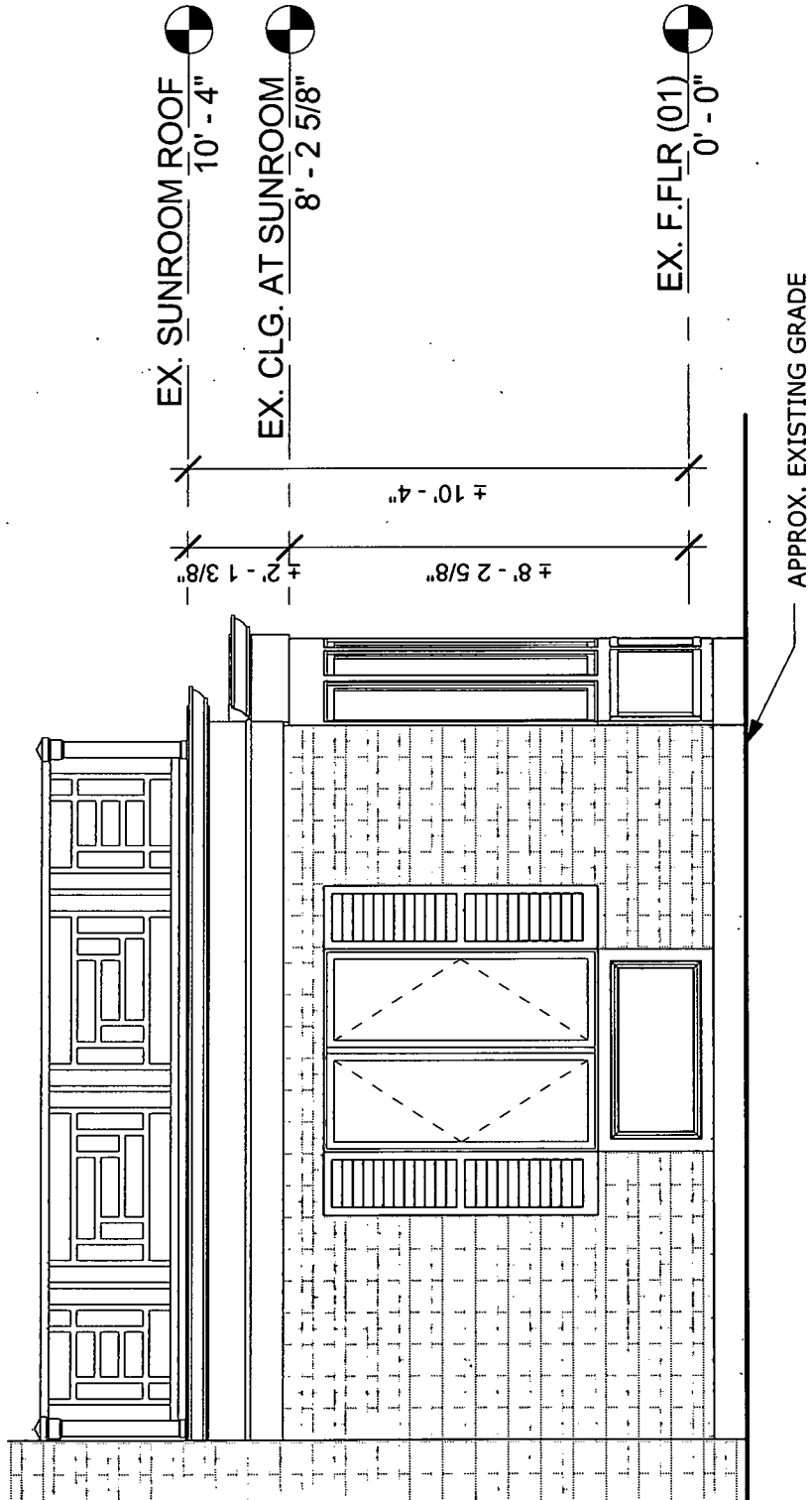


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A0.3a	Project number	-----
	Date	4/30/2013
Drawn by		JV
Checked by		SSBR
Scale 1/4" = 1'-0"		

Existing Elevation

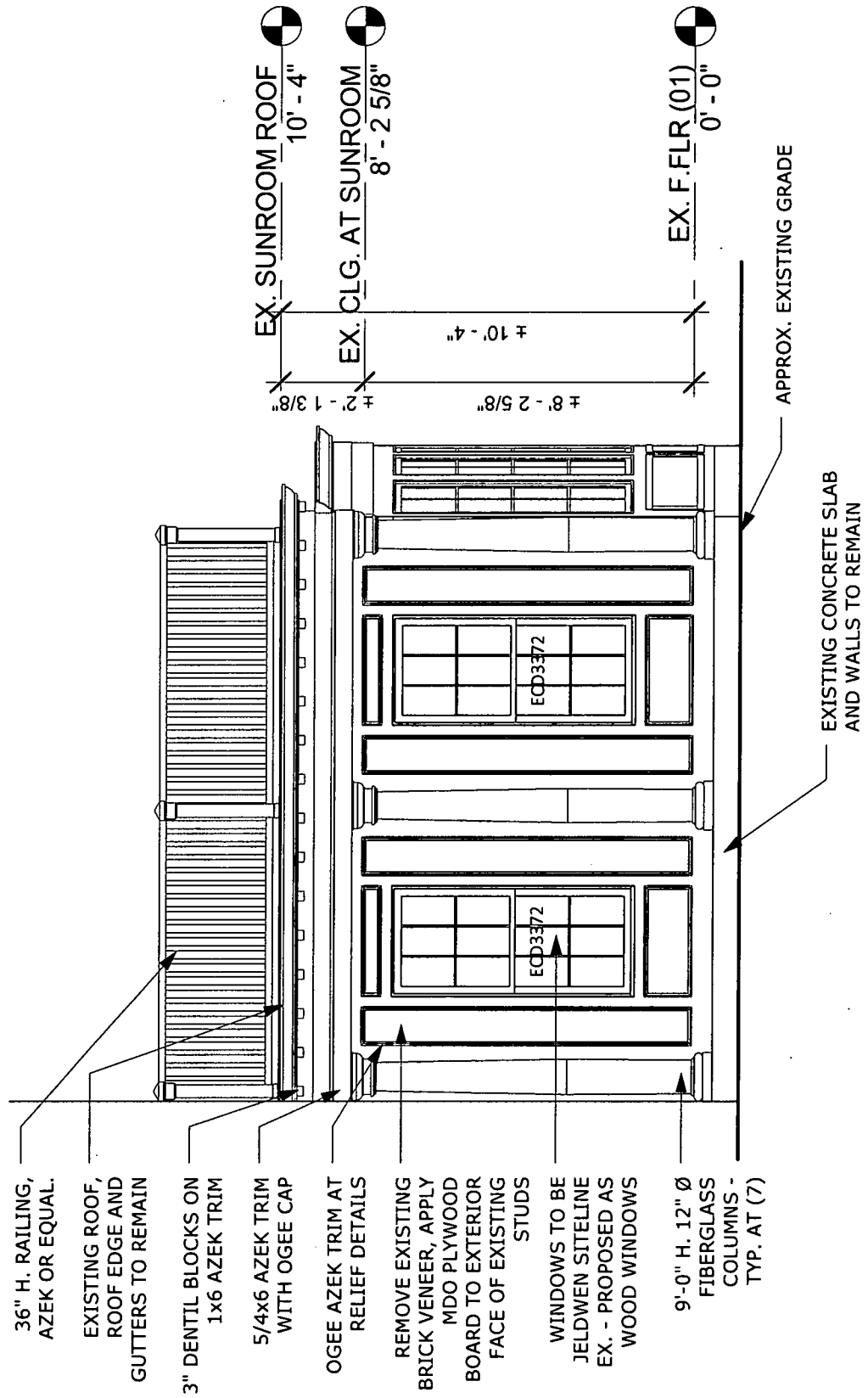
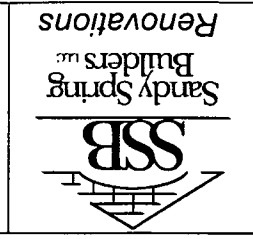


1 Existing Partial Front Elevation  
1/4" = 1'-0"

<b>Proposed Elevation</b>	Project number	-----
	Date	4/30/2013
	Drawn by	JV
	Checked by	SSBR
Scale 1/4" = 1'-0"		

**Regan Residence**  
 6 Quincy Street  
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- 36" H. RAILING, AZEK OR EQUAL.
- EXISTING ROOF, ROOF EDGE AND GUTTERS TO REMAIN
- 3" DENTIL BLOCKS ON 1x6 AZEK TRIM
- 5/4x6 AZEK TRIM WITH OGEE CAP
- OGEE AZEK TRIM AT RELIEF DETAILS
- REMOVE EXISTING BRICK VENEER, APPLY MDO PLYWOOD BOARD TO EXTERIOR FACE OF EXISTING STUDS
- WINDOWS TO BE JELDWEN SITELINE EX. - PROPOSED AS WOOD WINDOWS
- 9'-0" H. 12" Ø FIBERGLASS COLUMNS - TYP. AT (7)

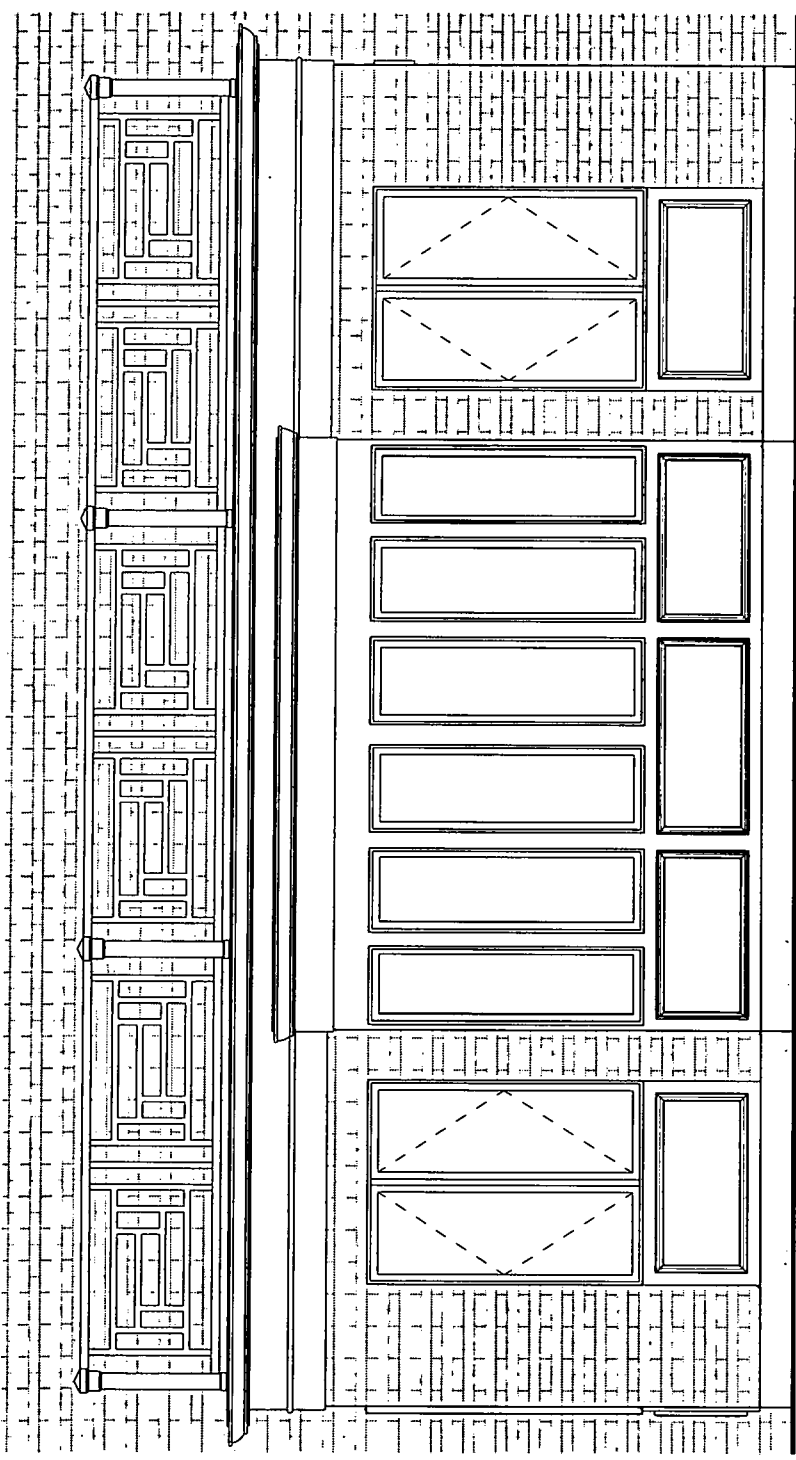
1 Proposed Partial Front Elevation  
 1/4" = 1'-0"



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Existing Elevation		Project number	-----
A0.3b		Date	4/30/2013
Scale 1/4" = 1'-0"		Drawn by	JV
		Checked by	SSBR



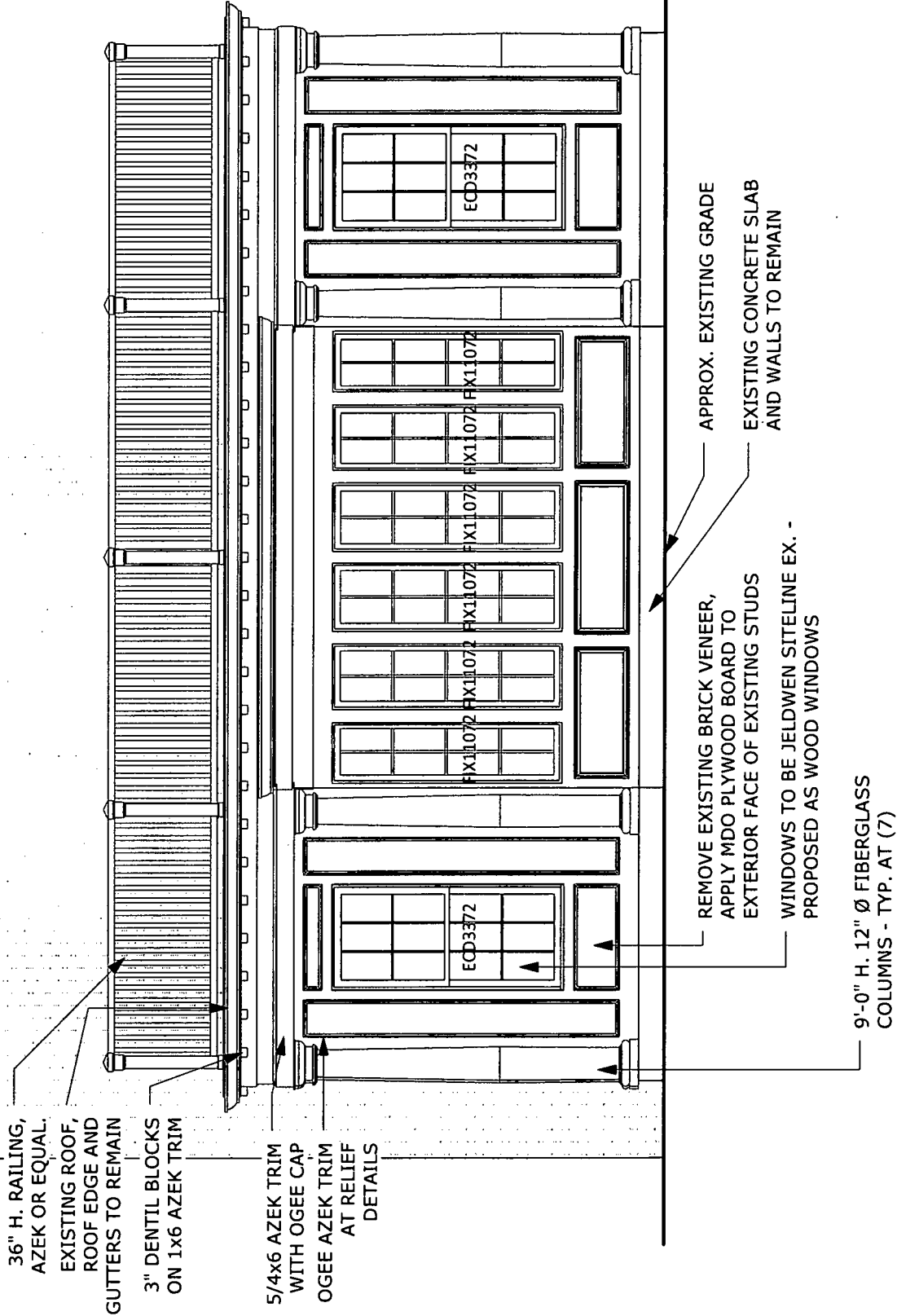
1 Existing Partial Right Elevation  
1/4" = 1'-0"



<b>Proposed Elevation</b>	Project number	-----
	Date	4/30/2013
	Drawn by	JV
	Checked by	SSBR
		Scale 1/4" = 1'-0"

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1 Proposed Partial Right Elevation

1/4" = 1'-0"

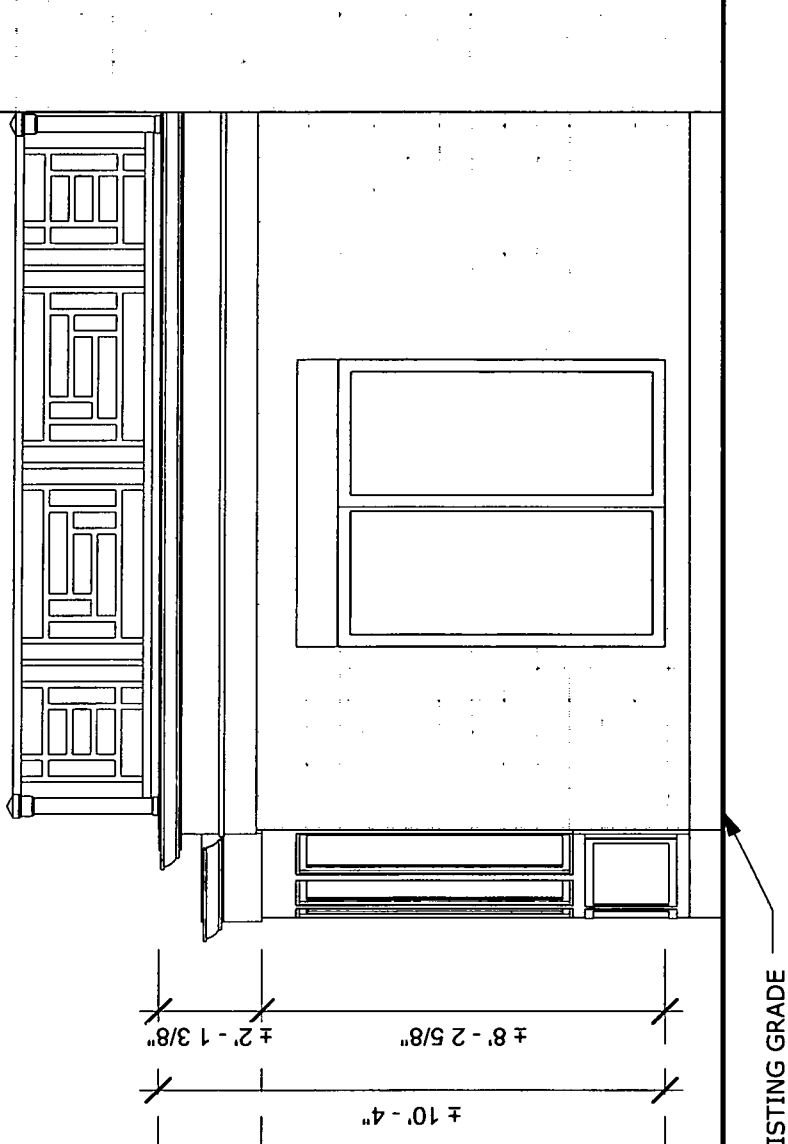


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Regan Residence  
6 Quincy Street  
Chevy Chase, MD 20815

Existing Elevation

Project number: -----  
Date: 4/30/2013  
Drawn by: JV  
Checked by: SSBR  
Scale: 1/4" = 1'-0"



EX. SUNROOM ROOF  
10' - 4"

EX. CLG. AT SUNROOM  
8' - 2 5/8"

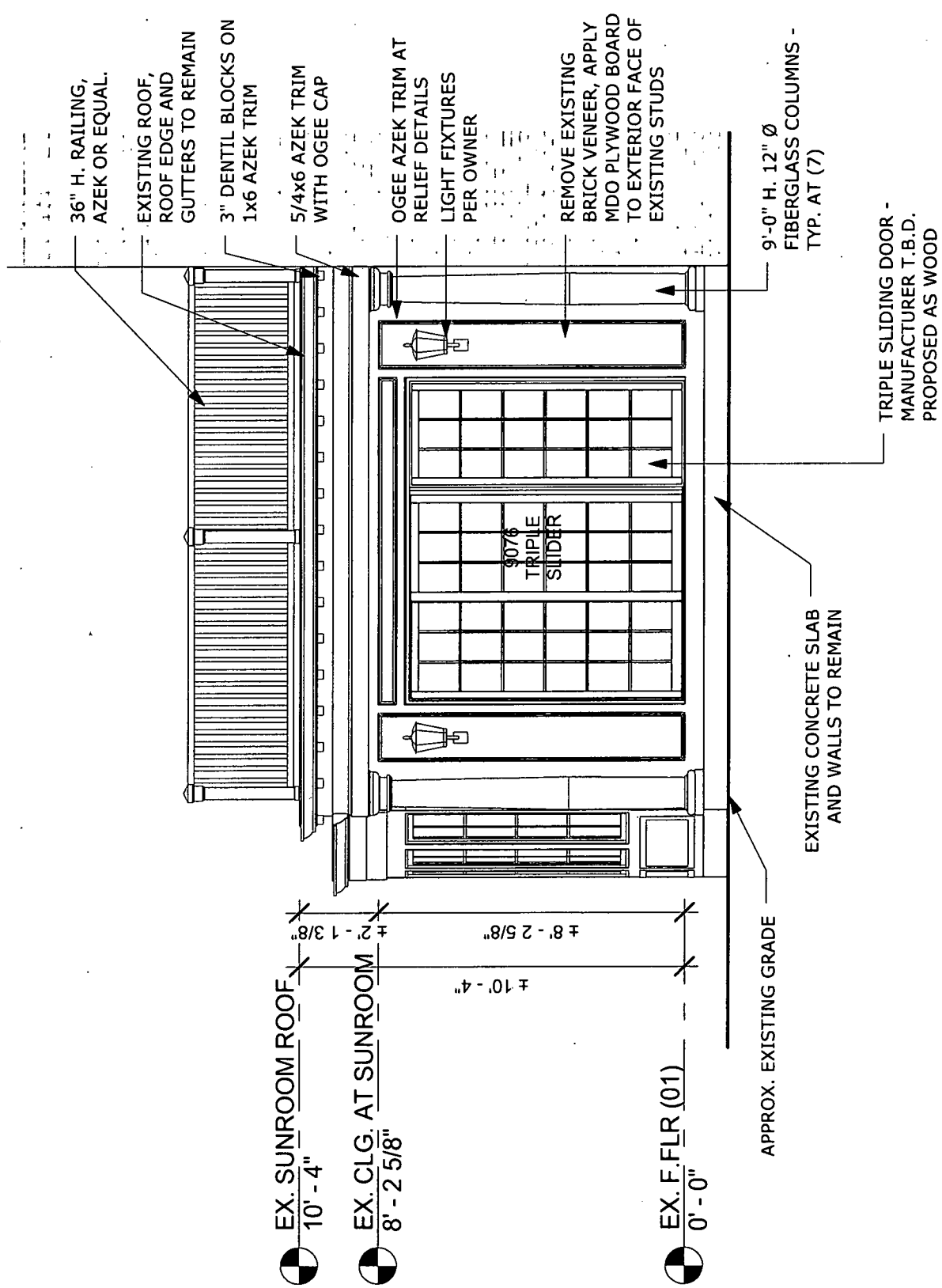
EX. F.FLR (01)  
0' - 0"

1 Existing Partial Rear Elevation  
1/4" = 1'-0"

<b>Proposed Elevation</b>	
Project number	-----
Date	4/30/2013
Drawn by	JV
Checked by	SSBR Scale 1/4" = 1'-0"

Regan Residence  
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EX. SUNROOM ROOF  
 10' - 4"

EX. CLG. AT SUNROOM  
 8' - 2 5/8"

EX. F.FLR (01)  
 0' - 0"

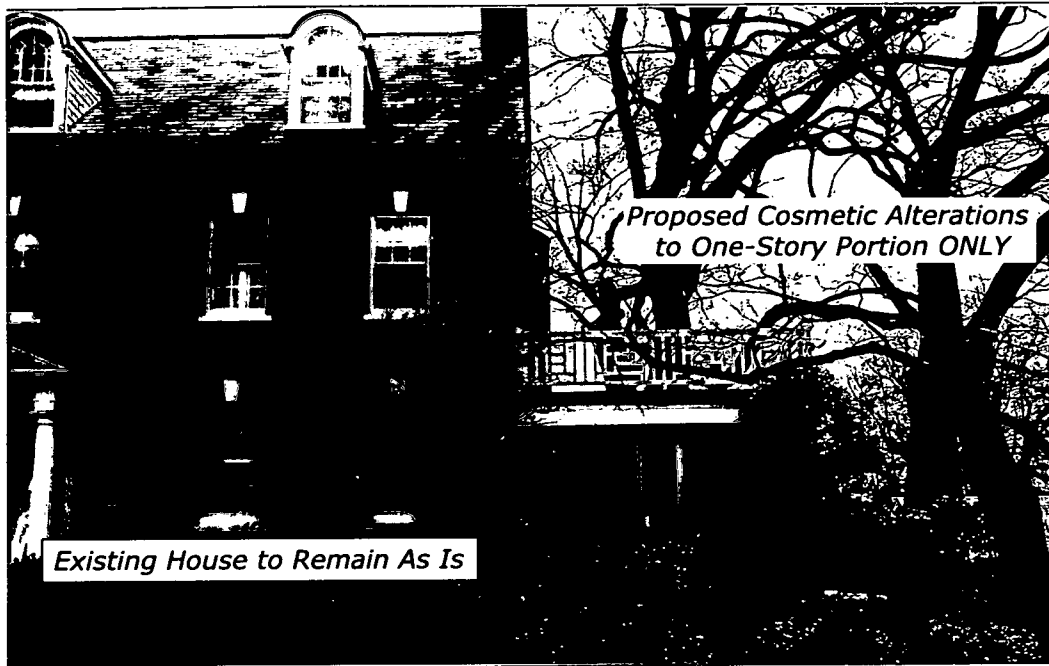
± 10' - 4"

± 8' - 2 5/8"

± 2' - 1 3/8"

1 Proposed Partial Rear Elevation  
 1/4" = 1'-0"

Existing Property Condition Photographs (duplicate as needed)



Detail: Existing Front Elevation



Detail: Existing Side Elevation

Existing Property Condition Photographs (duplicate as needed)



Detail: *Existing Side and Rear Elevations*

---



Detail: *Existing Rear Elevation*

---

Existing Property Condition Photographs (duplicate as needed)



Detail: View of 6 Quincy Street as viewed from Quincy Street - Looking SouthWest



Detail: View of 6 Quincy Street as viewed existing driveway - Looking SouthEast

6 Quincy Street, Chevy Chase - Existing Rear Portico



*Existing Rear Portico - For Reference Only*



*Existing Rear Portico - For Reference Only*



**Sleeper Calculation**

L1 =	12 Ft
L2 =	4 Ft
W1 =	67 plf
W2 =	53 plf
P =	280 lbs
R1 =	273 lbs
R2 =	1023 lbs
E =	2.90E+07 psi
Fb =	30360 psi
S =	3.5 cu-in
I =	6.1 in <sup>4</sup>
EI =	1.77E+08 lb-sqin
M =	1,544 lbs-ft
Mallow =	8,804 lbs-ft
Delta =	0.171 in = L / 561

Use TS3.5x3.5x0.3125

7 Sleeper Calculation

**GENERAL FRAMING NOTES**

- ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A SINGLE JACK AND A SINGLE KING STUD, UNLESS NOTED OTHERWISE.
- PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
- CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.

**WIND BRACING NOTES**

- WALLS BRACED PER IRC R602.10 AND R301.1.3 "ENGINEERED DESIGN".
- APPLY 7/16" OSB SHEATHING TO ALL EXTERIOR WALLS.
- ATTACH OSB TO WOOD FRAMING WITH 8d NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. ELSEWHERE.
- EDP DENOTES "ENGINEERED DESIGNED PANEL".
- ATTACH BOTTOM PLATE OF WALL TO JOISTS OR BLOCKING WITH 1-16d (0.135x3 1/2") NAIL. ATTACH TO RIM BOARD WITH 16d NAILS AT 12" O.C.
- ATTACH JOISTS AND RAFTERS TO THE TOP PLATE OF WALL WITH 2-16d (0.135x3 1/2") TOE NAILS.
- ATTACH RIM BOARD TO TOP PLATE OF WALL WITH 16d (0.135x3 1/2") TOE NAILS AT 12" O.C.
- ATTACH RIM BOARD TO SILL PLATE OF WALL WITH 16d (0.135x3 1/2") TOE NAILS AT 12" O.C.

**LOADS:**

LIVE LOADS	40 PSF
DECK:	20 PSF
ATTIC:	20 PSF
FLOOR:	40 PSF
BEDROOM:	30 PSF
ROOF:	30 PSF

**WIND LOADS:**

BASIC WIND SPEED:	90 MPH
WIND LOAD IMPORTANCE FACTOR:	1.0
WIND EXPOSURE FACTOR (CE):	B
WIND DESIGN PRESSURE:	16 PSF

**SNOW LOADS:**

GROUND SNOW LOAD (PG):	30 PSF
FLAT ROOF SNOW LOAD (PF):	20 PSF
SNOW EXPOSURE FACTOR (CE):	0.9
SNOW IMPORTANCE FACTOR (I):	1.0

**SEISMIC DESIGN DATA:**

SEISMIC IMPORTANCE FACTOR (Ie):	1.0
SPECTRAL RESPONSE ACCELERATIONS:	
(S <sub>1</sub> ):	20%
(S <sub>2</sub> ):	8%
SPECTRAL RESPONSE COEFFICIENTS:	
(S <sub>ds</sub> ):	33%
(S <sub>d1</sub> ):	18.7%

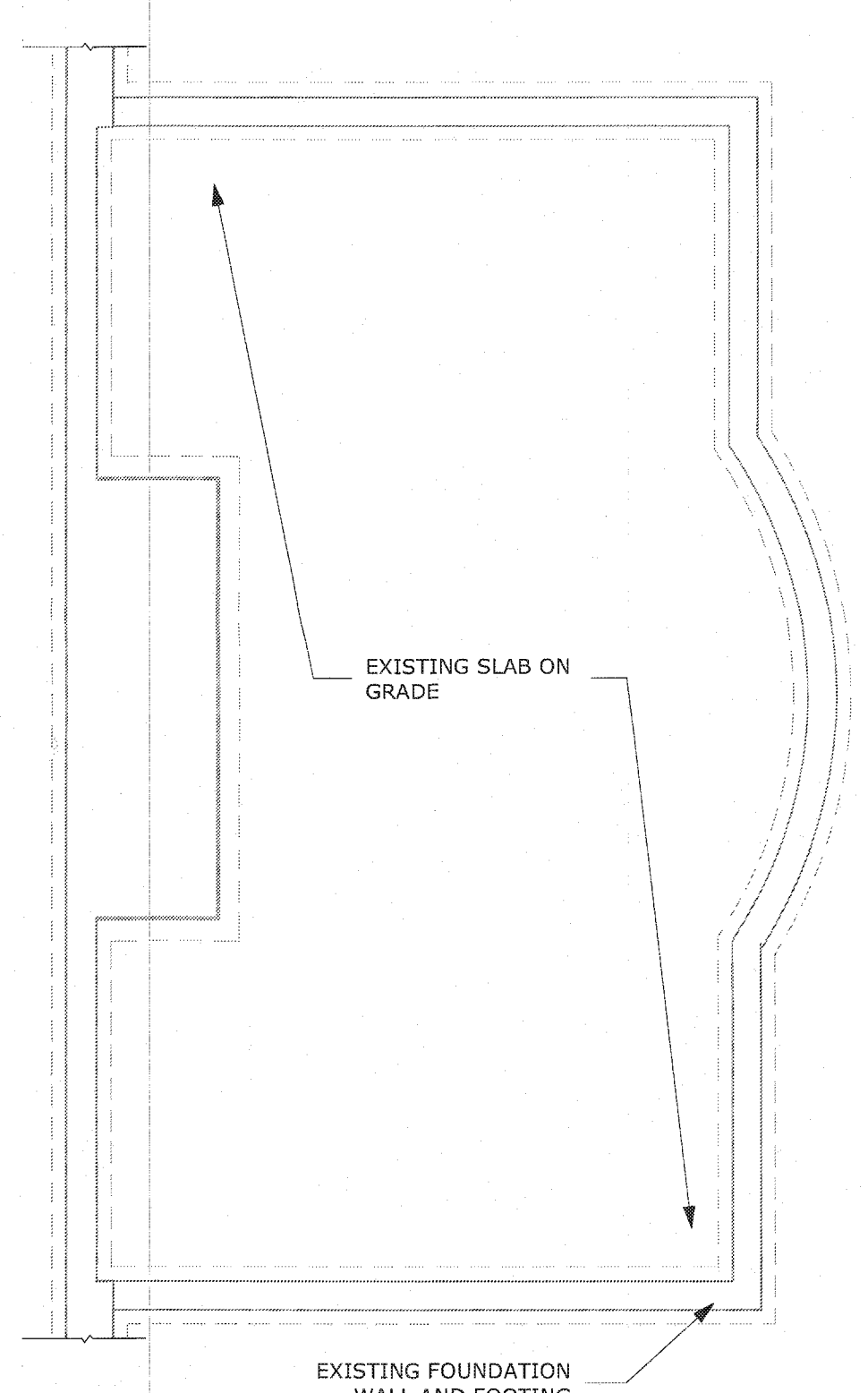
**SEISMIC DESIGN CATEGORY:** B  
**SEISMIC SITE CLASSIFICATION:** E  
**SEISMIC COEFFICIENT (Cs):** 0.05  
**SEISMIC MODIFICATION FACTOR (R):** 6.5  
**BASE SHEAR:** 1.3k  
**ANALYSIS PROCEDURE:** EQUIV. LATERAL FORCE  
**BASIC SFRS:** LIGHT FRAMED WALLS.

**STRUCTURAL NOTES**

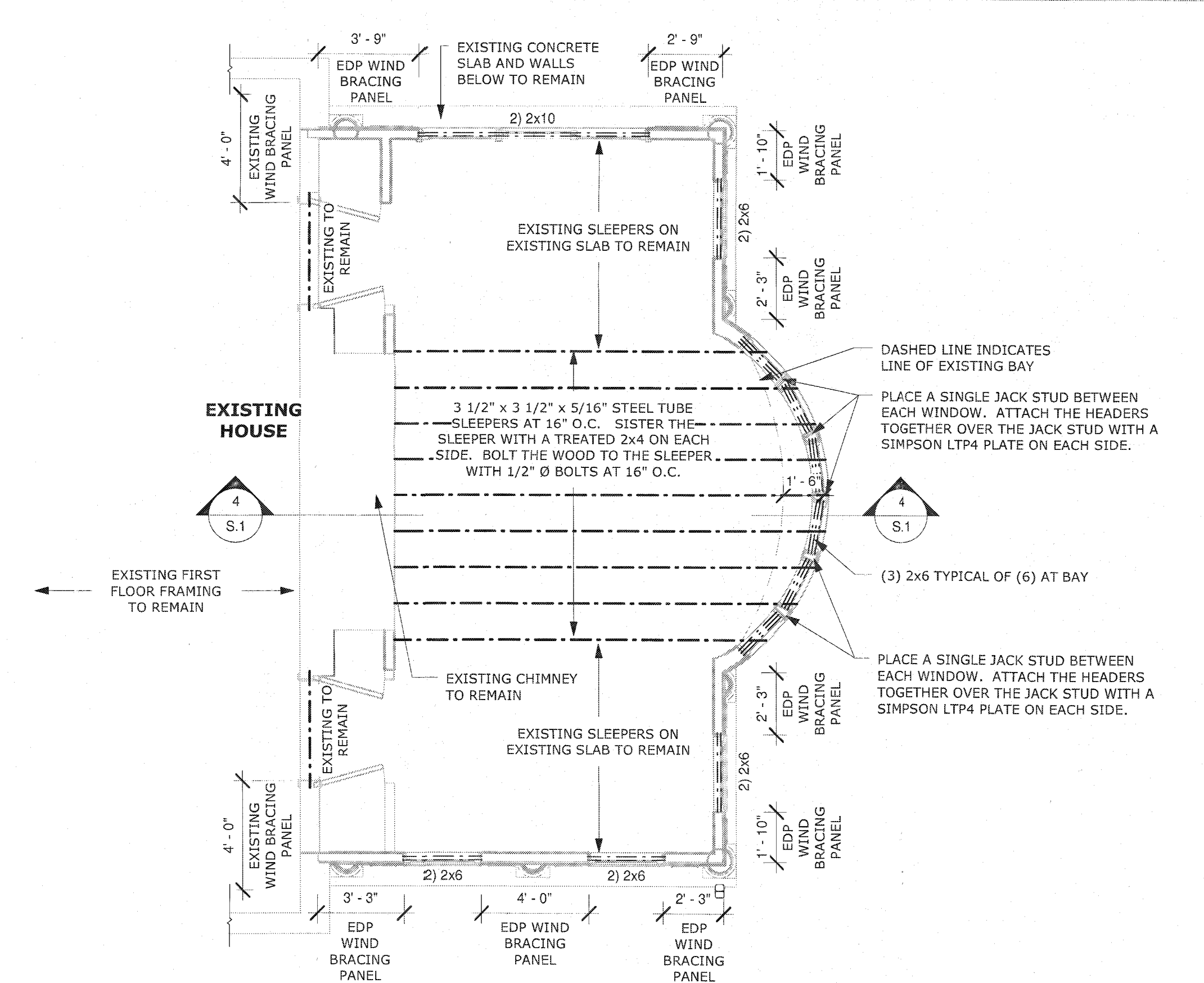
- All work and materials to comply with the requirements of the 2012 of IBC and IRC as revised by Montgomery County. Codes; the following design standards are applicable by reference: ACI 530-11/ASCE 5-11 Building Code Requirements for Masonry Structures. AISC - Timber Construction Manual - Fifth Ed. ACI 318-11 Building Code Requirements for Reinforced Concrete AISC - Manual of Steel Construction - Ninth Ed.
- Foundations, footings, underpinning and slab on grades are designed to bear on native soil with allowance bearing pressure of 2000 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
- Structural Steel:
  - All structural steel, including detail material shall conform to ASTM A572 Gr. Fy = 50 ksi, U.N.O.
  - All structural tubing shall conform to ASTM A500, grad. B.
  - All steel pipe shall be ASTM A53, type E or S, grade B.
  - All welders shop and field, shall be certified. Use E70xx electrodes only.
  - All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
  - Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
  - All exterior structural steel shall receive rust preventative paint.
  - Connections:
    - All beam connections shall be simple shear connections, U.N.O. Where no reaction is provided, the beam shall be assumed to carry 120% of the allowable uniform load in Kips for beams laterally supported, as given in the AISC steel construction manual.
    - Except as noted, all fasteners shall be 3/4" diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
- Steel Deck:
  - Steel deck shall be 20ga steel unless noted otherwise.
  - Steel deck shall be continuous over supports with no end laps.
  - Provide 3" min. bearing at each steel support.
  - Weld deck to steel supports with 5/8" diameter puddle welds @ 12" O.C.
  - Side laps shall be a min. of 3". Weld side laps together with 5/8" diameter puddle welds @ 36" O.C.
- Lumber:
  - Lumber shall be SPF #2 with a min. Fb = 875 psi; Min. Fv = 135 psi and min. E = 1,400,000 psi.
  - LVL and PSL shall have min. Fb = 2850 psi; Fv = 285 psi; E = 2,000,000 psi.
  - Nail all multiple members together per the manufacturer's recommendations and at a minimum use 2-10d nails at 6" O.C. staggered. Glue multiple studs together and stagger the sides the nails are driven from.
  - Provide bridging at center of all joist spans exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking below all bearing points on top of the walls or beams. Provide squash blocking below all posts and multiple studs.
  - Exterior load bearing walls shall be 2x4 studs at 16" O.C. and interior load bearing walls shall be 2x4 studs at 16" O.C. with a double top plate and a single bottom plate of the same size. Provide solid blocking @ 4'-0" with a minimum of solid blocking at the midpoint of the wall.
  - Floor decking shall be 3/4" APA rated decking and roof decking shall be 5/8" APA rated decking. Wall sheathing shall be 1/2" APA rated sheathing. Glue and screw decking to floor joists and roof rafters.
  - All posts shall have Simpson Cap and Base Plates - typ.
  - All joists shall have Simpson Hangers where applicable.
  - Glue and nail all multiple studs together with 2-10d nails at 6" O.C. stagger sides that nails are driven from.
  - Place a double stud below all beams, headers, and double joists.
  - Provide double joists below all walls that span parallel to floor framing.
  - All lumber in contact with masonry or concrete shall be pressure treated. All lumber placed within 8" of soil shall be pressure treated. All lumber shall be protected against decay and termites per IRC Chapter R3.
  - See IRC table R602.3(1) for nailing not shown on the plans.
  - Wood Headers shall be as follows:
 

Opening ≤ 3'-0"	2-2x6
3'-0" < Opening ≤ 4'-6"	2-2x8
4'-6" < Opening ≤ 6'-0"	2-2x10
6'-0" < Opening ≤ 8'-0"	2-1 3/4" x 9 1/4" LVL
8'-0" < Opening ≤ 12'-0"	2-1 3/4" x 11 7/8" LVL
- Fasteners:
  - All prefabricated angles, bearing plates, and joist hangers shall be installed per the manufacturer recommendations.
  - Follow the manufacturer recommendations for setting epoxy bolts.
  - Expansion bolts shall be RAWL Power Stud.
- Masonry:
  - Masonry construction shall be in conformance with the applicable sections of ACI 530-11/ASCE 5-11, "Specifications for Masonry Structures."
  - Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000 psi and F'm - 1500 psi.
  - All joints to be filled solid with mortar.
  - Mortar to comply with ASTM C270 (type M or S).
  - Place weep holes and expansion joints per the IRC Code.
  - Place horizontal truss style reinforcement at 16" O.C. vertically.
- Cast in place concrete:
  - Concrete construction shall be in conformance with the applicable sections of ACI 318-11, "Part 3 - Construction Requirements."
  - Concrete shall have a minimum compressive strength at 28 days of 3000 psi, UNO (unless noted otherwise).
  - All concrete shall be placed with a slump of 4" (± 1/2").
  - All concrete shall be normal weight, UNO.
  - All concrete shall have 6% (±1%) entrained air.
  - Concrete cover for reinforcement shall be:
 

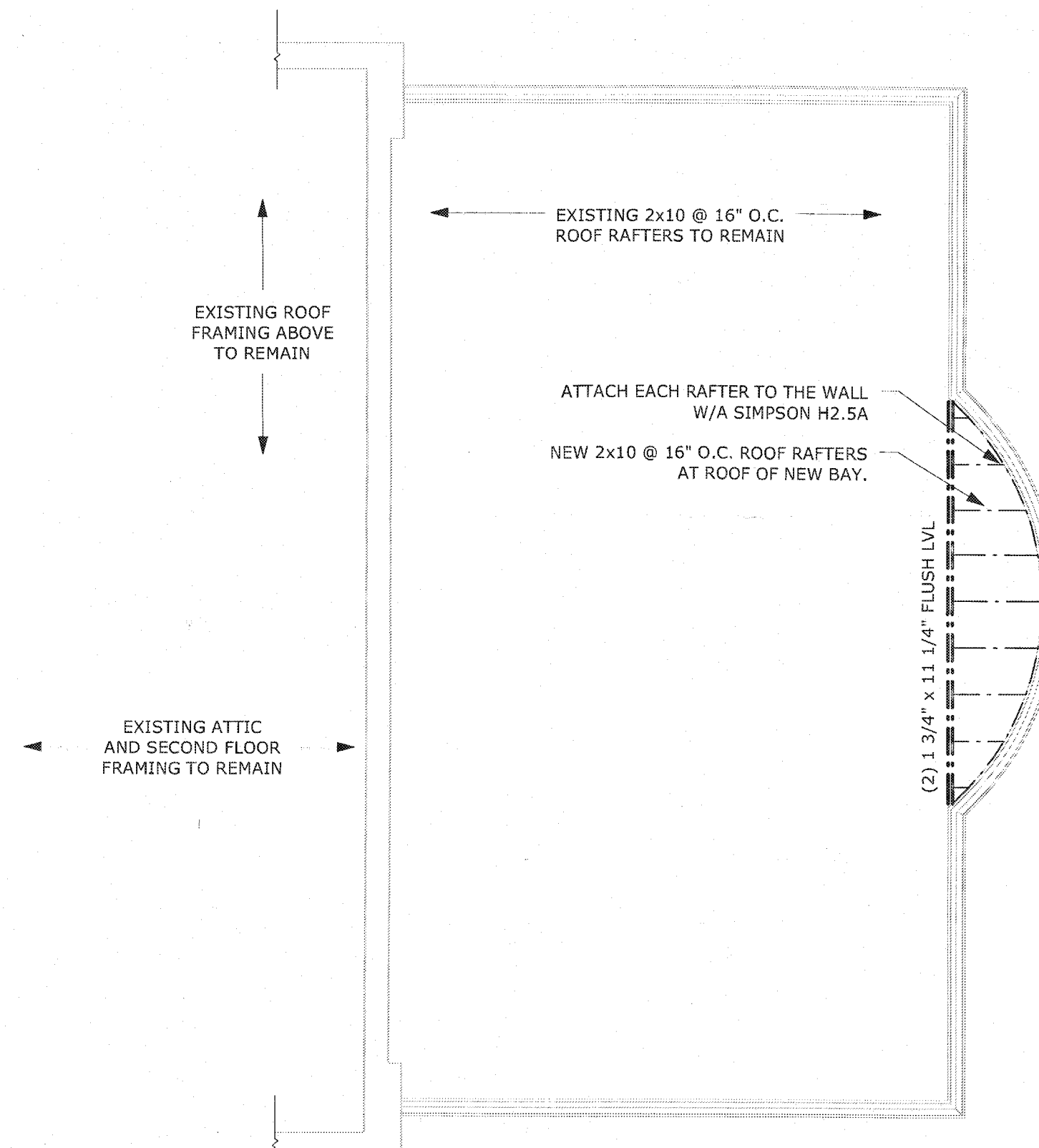
Columns and beams:	1 1/2"
Slabs:	3/4"
Footings:	3"
- Reinforcement:
  - Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60 ksi)
  - Welded wire fabric (wvf) shall conform to ASTM A185. Lap edges of wire fabric at least 6" in each direction.
- Dimensions: The contractor shall field verify all dimensions prior to fabrication of structural components.
- Coordination: The contractor shall coordinate all sleeves, duct openings, and holes between trades.



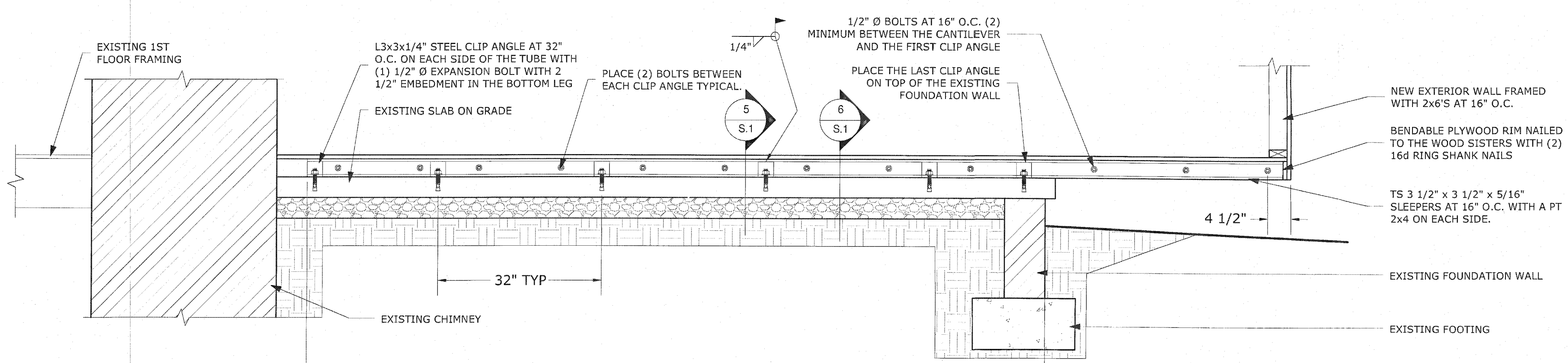
1 Foundation Plan  
1/4" = 1'-0"



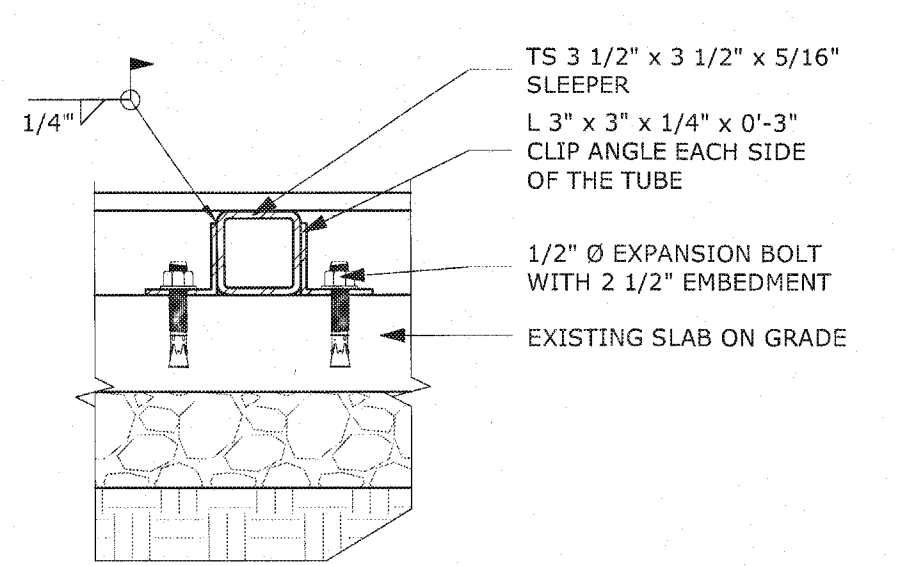
2 First Floor Deck Framing Plan / 1st Floor Headers / 1st Floor Wind Bracing Plan  
1/4" = 1'-0"



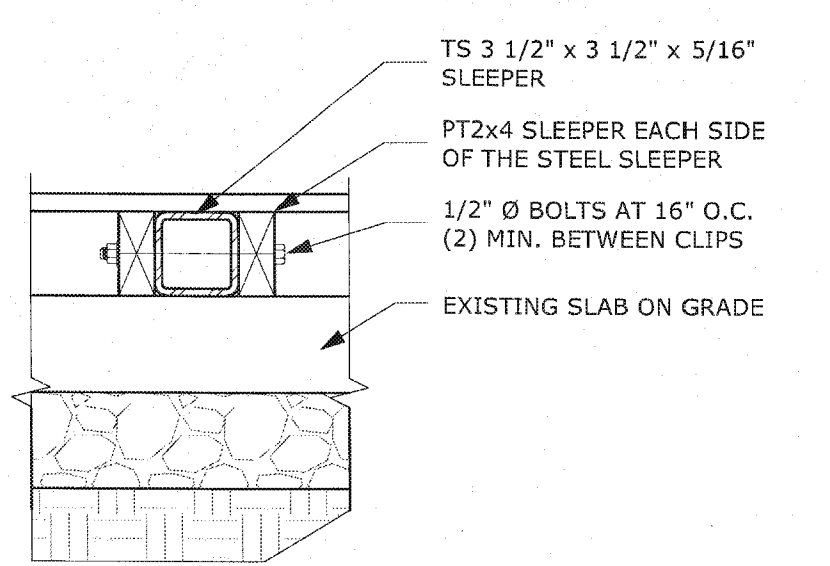
3 Roof Framing Plan  
1/4" = 1'-0"



4 Structural Section 1  
3/4" = 1'-0"



5 Detail Section A  
1 1/2" = 1'-0"



6 Detail Section B  
1 1/2" = 1'-0"



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 25427, Expiration Date: 7/17/14.

**SSB**  
**Sandy Spring Builders LLC**  
 Renovations

4720 Hampden Lane  
 Bethesda, MD 20814  
 P: (301) 951-0849  
 F: (301) 951-0892  
 SandySpringBuilders.com

**Regan Residence**  
 6 Quincy Street  
 Chevy Chase, MD 20815

Project Number: -----  
 Client Name: Regan  
 Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Other  
 Drawing Issue Date: 2/4/2014

**Revision Schedule**

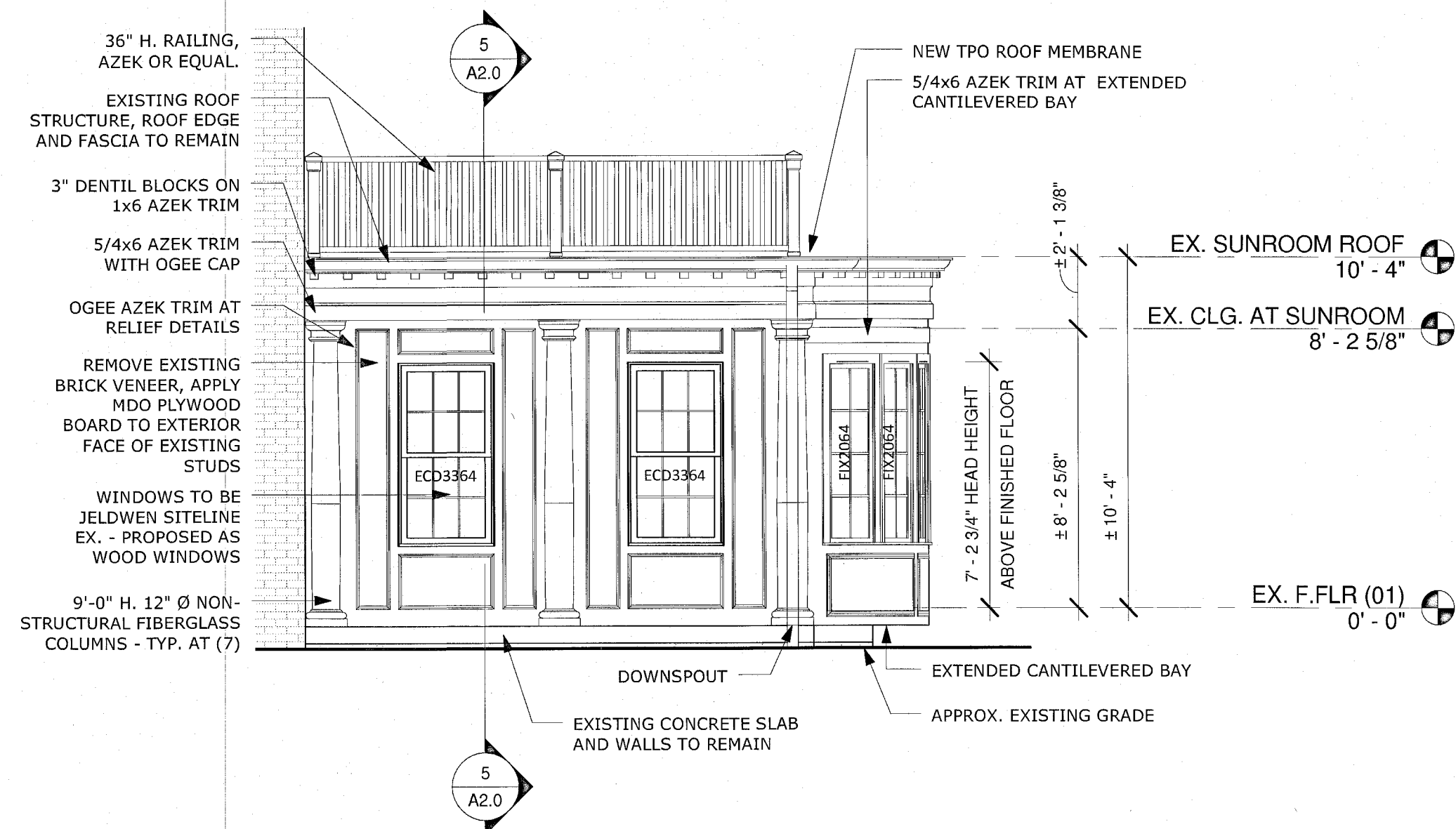
No.	Description	Date

Actual Plot Date: 2/4/2014 11:27:02 AM  
 Drawn by: JVC  
 Checked by: APAC  
 Scale: As indicated  
 Sheet Name:

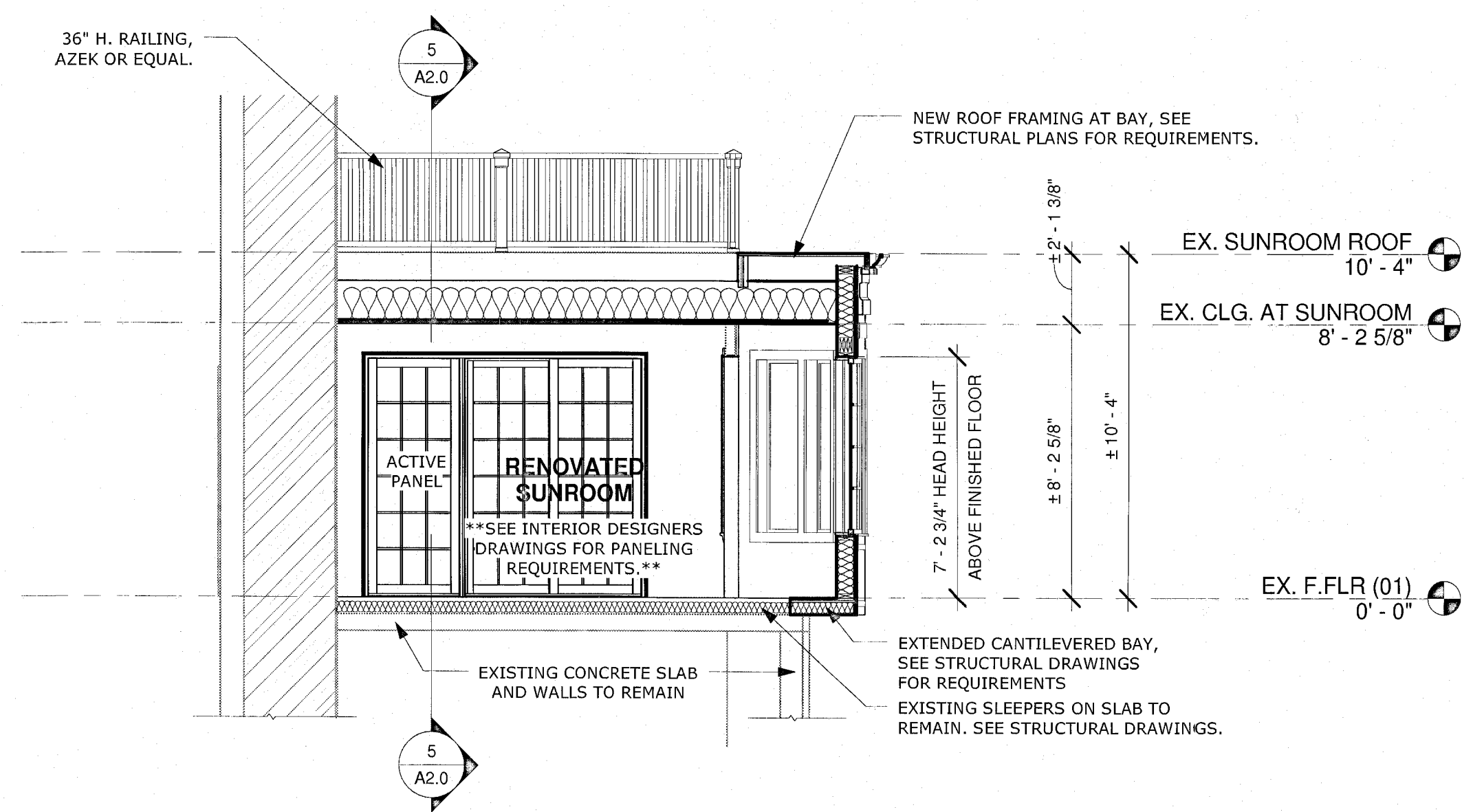
**Structural Plans and Details**

Sheet Number: **S.1**

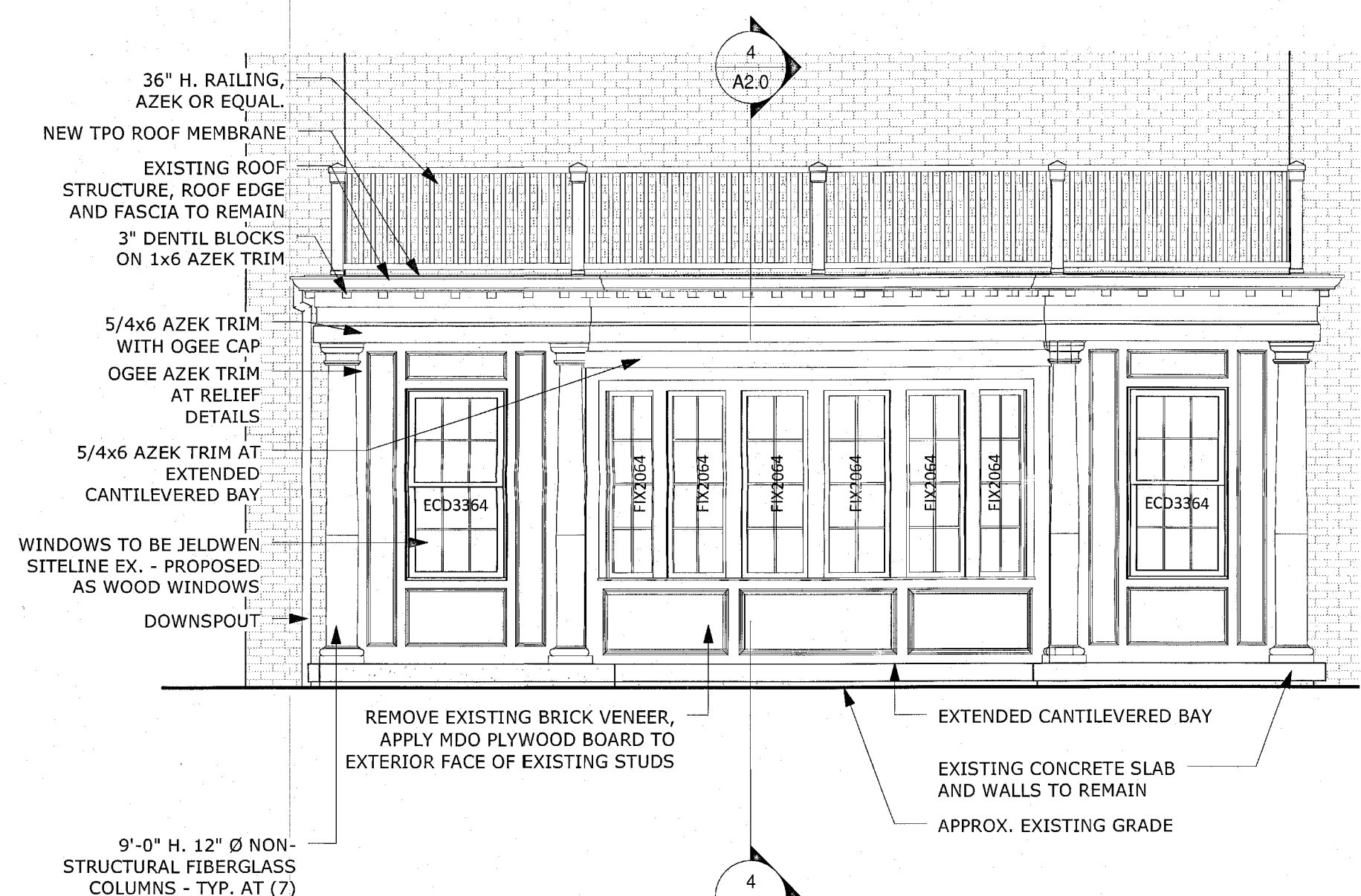




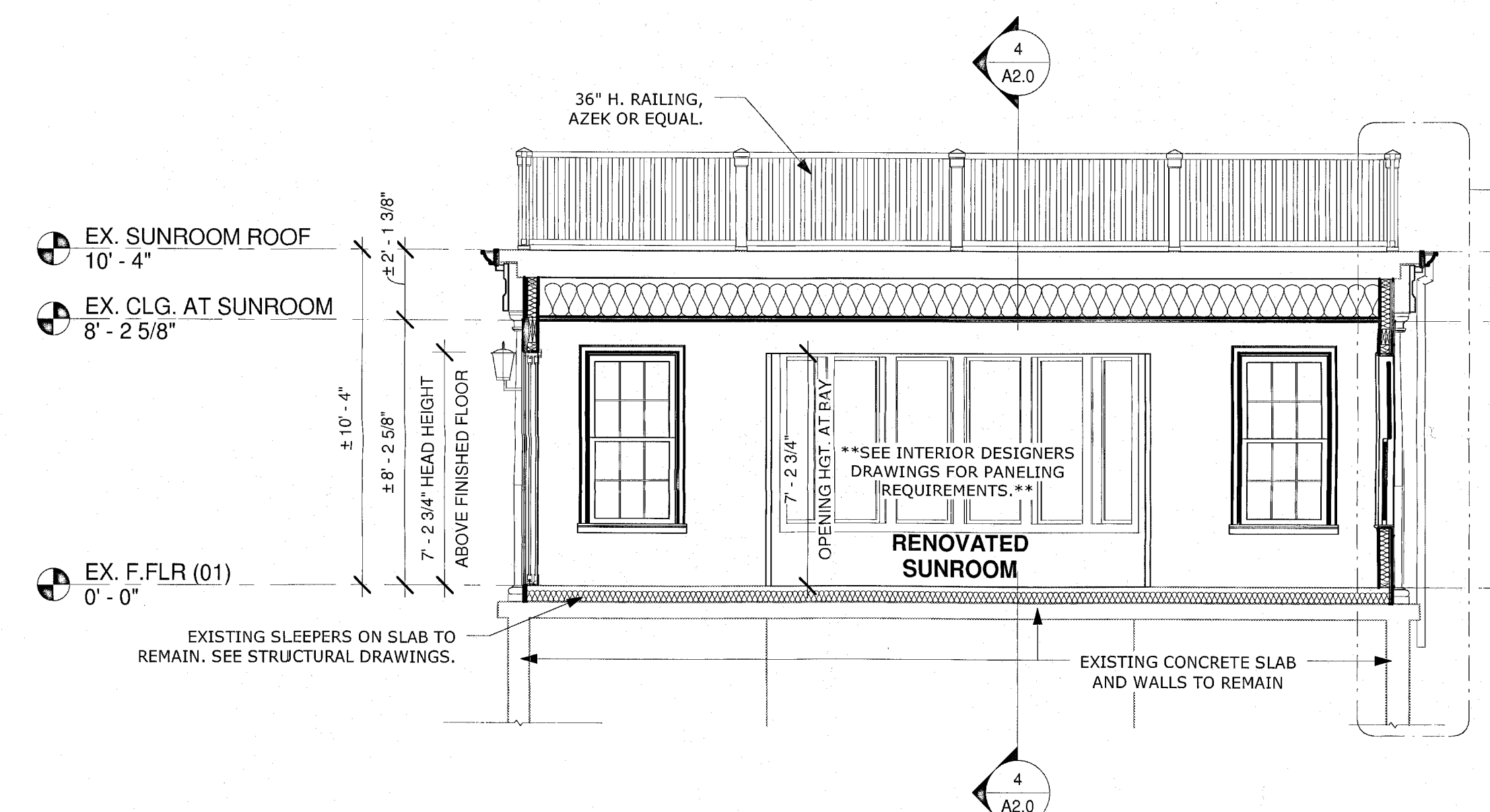
1 Proposed Partial Front Elevation  
1/4" = 1'-0"



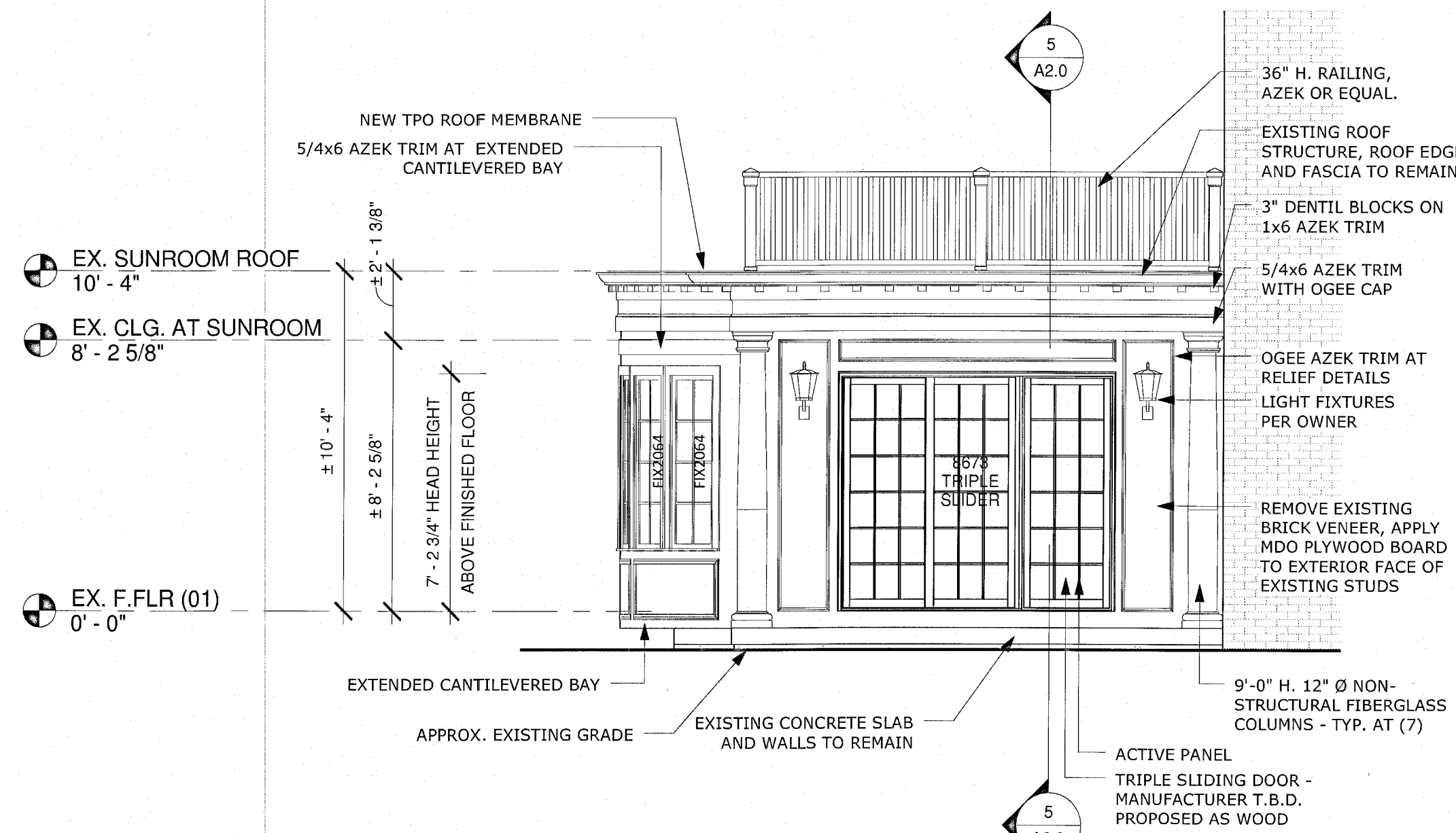
4 Cross Section thru Cantilevered Bay  
1/4" = 1'-0"



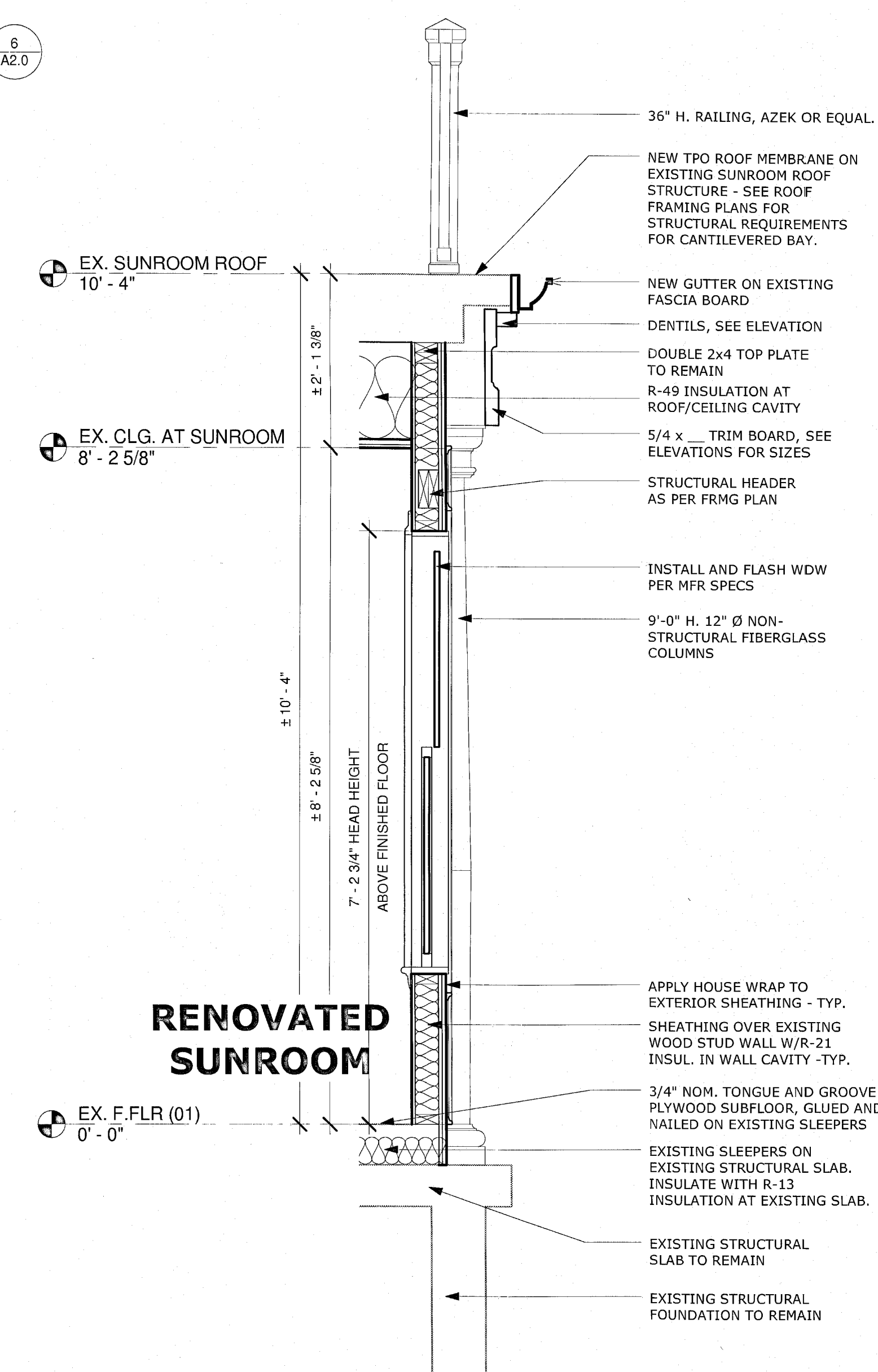
2 Proposed Partial Right Elevation  
1/4" = 1'-0"



5 Longitudinal Section thru Sunroom  
1/4" = 1'-0"



3 Proposed Partial Rear Elevation  
1/4" = 1'-0"



6 2x4 Wall Section  
3/4" = 1'-0"

- GENERAL ELEVATION NOTES**
1. ALL GUTTERS AND LEADERS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
  2. PROVIDE CONTINUOUS SOFFIT VENTING.
- GENERAL SECTION NOTES**
1. PROVIDE R-21 BATT INSULATION @ ALL 2x6 STUD WALLS AT EXTERIOR.
  2. PROVIDE R-21 SPRAY FOAM INSULATION @ ALL 2x4 STUD WALLS AT EXTERIOR.
  3. PROVIDE R-49 BATT INSULATION @ ROOF.
  4. PROVIDE R-13 BATT INSULATION BETWEEN SLEEPERS ON TOP OF EXISTING SLAB.
  5. PROVIDE R-21 SPRAY FOAM INSULATION @ FLOOR OF CANTILEVERED BAY.

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P: (301) 951-0849  
F: (301) 951-0892  
SandySpringBuilders.com

**Regan Residence**  
6 Quincy Street  
Chevy Chase, MD 20815

Project Number: -----  
Client Name: Regan  
Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Other  
 Drawing Issue Date: 2/20/2014

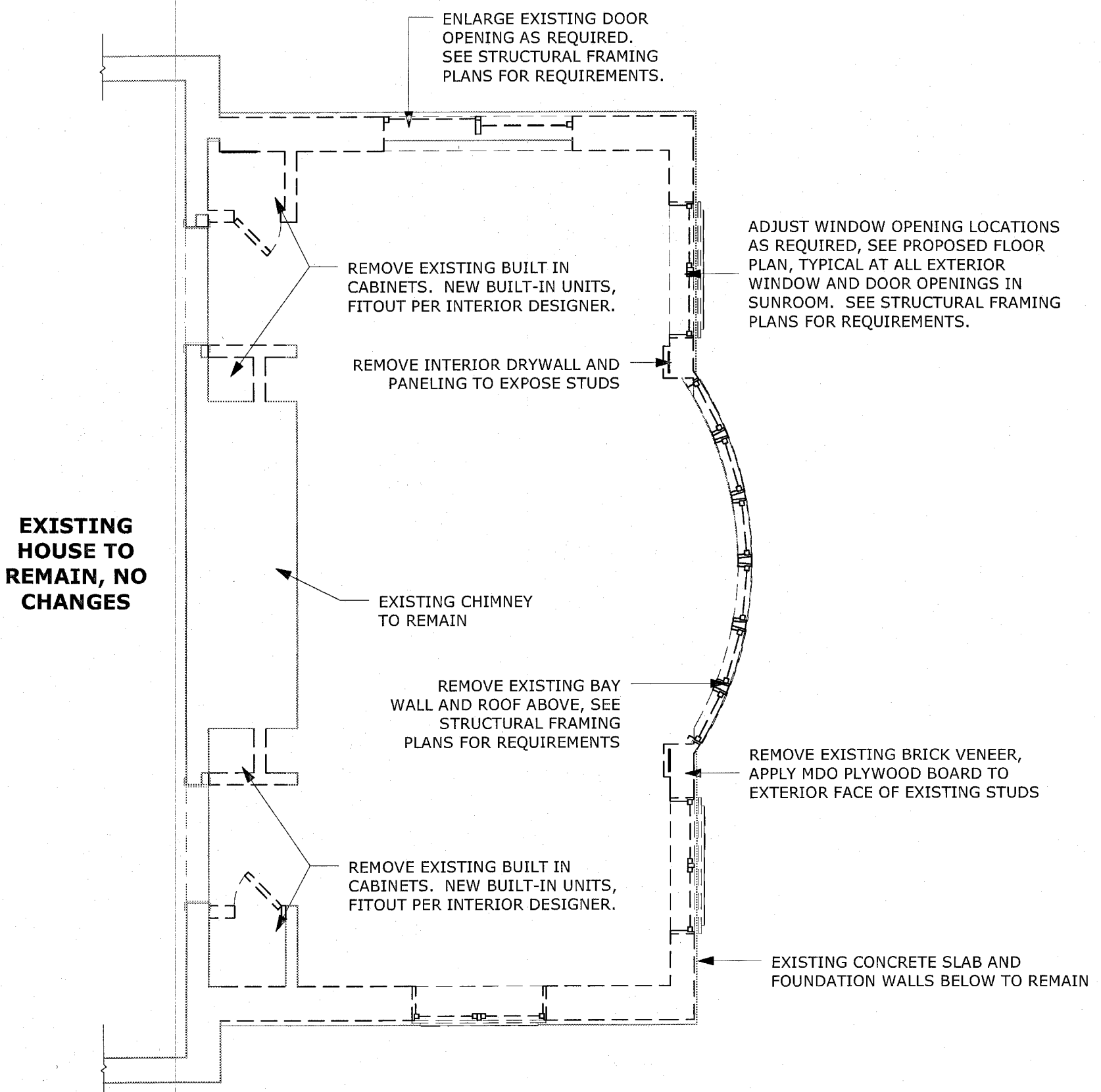
Revision Schedule		
No.	Description	Date

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 Checked by: SSB  
 Scale: As Indicated  
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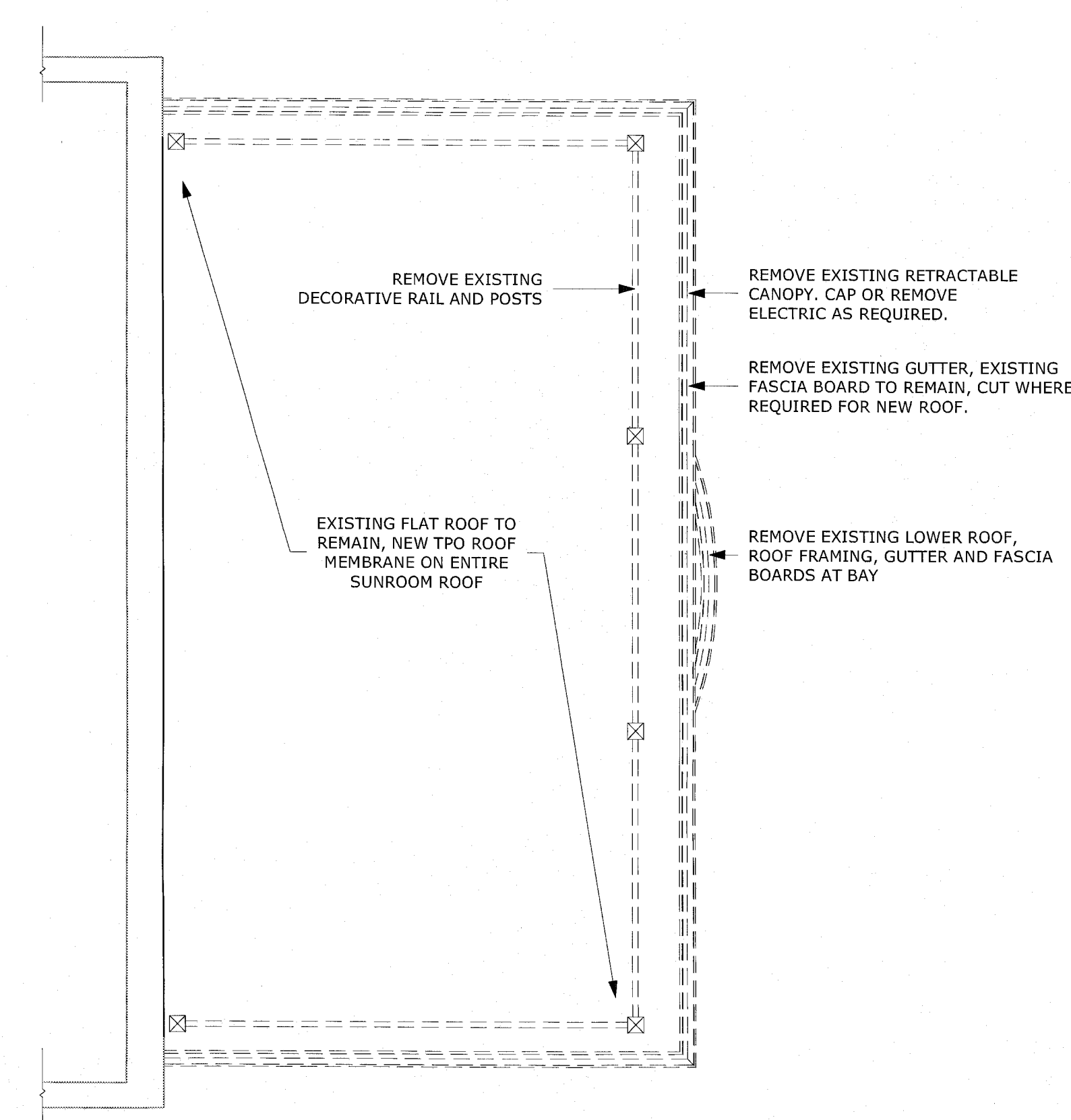
**Proposed Elevations and Sections**

Sheet Number:

**A2.0**



1 First Floor Demo Plan  
1/4" = 1'-0"



2 Roof Demo Plan  
1/4" = 1'-0"

**ELECTRICAL SYMBOLS**

	RECESSED CAN		STD. DUPLEX OUTLET
	WATERPROOF RECESSED CAN		(1) SWITCHED & (1) NON-SWITCHED DUPLEX OUTLET
	EYEBROW RECESSED CAN		220 VOLT OUTLET
	SURFACE MOUNTED FIXTURE		STD. G.F.I. OUTLET
	PENDANT FIXTURE		STD. G.F.I. OUTLET 36" ABOVE FIN. FLR.
	KEYLESS WITHIN ATTIC SURFACE MOUNTED		STD. G.F.I. OUTLET 42" ABOVE FIN. FLR.
	WALL MOUNTED FIXTURE		STD. SINGLE SWITCH
	CARBON MONOXIDE DETECTOR		SINGLE DIMMER SWITCH
	SMOKE DETECTOR		2-WAY SWITCH
	EXHAUST FAN		2-WAY DIMMER SWITCH
	GARBAGE DISPOSAL		3-WAY SWITCH
	JUNCTION BOX FOR CEILING FAN		3-WAY DIMMER SWITCH
	FLOOR TV JACK		CABLE TV JACK
	FLOOR OUTLET		DATA JACK
	ELECTRIC PANEL		PHONE JACK

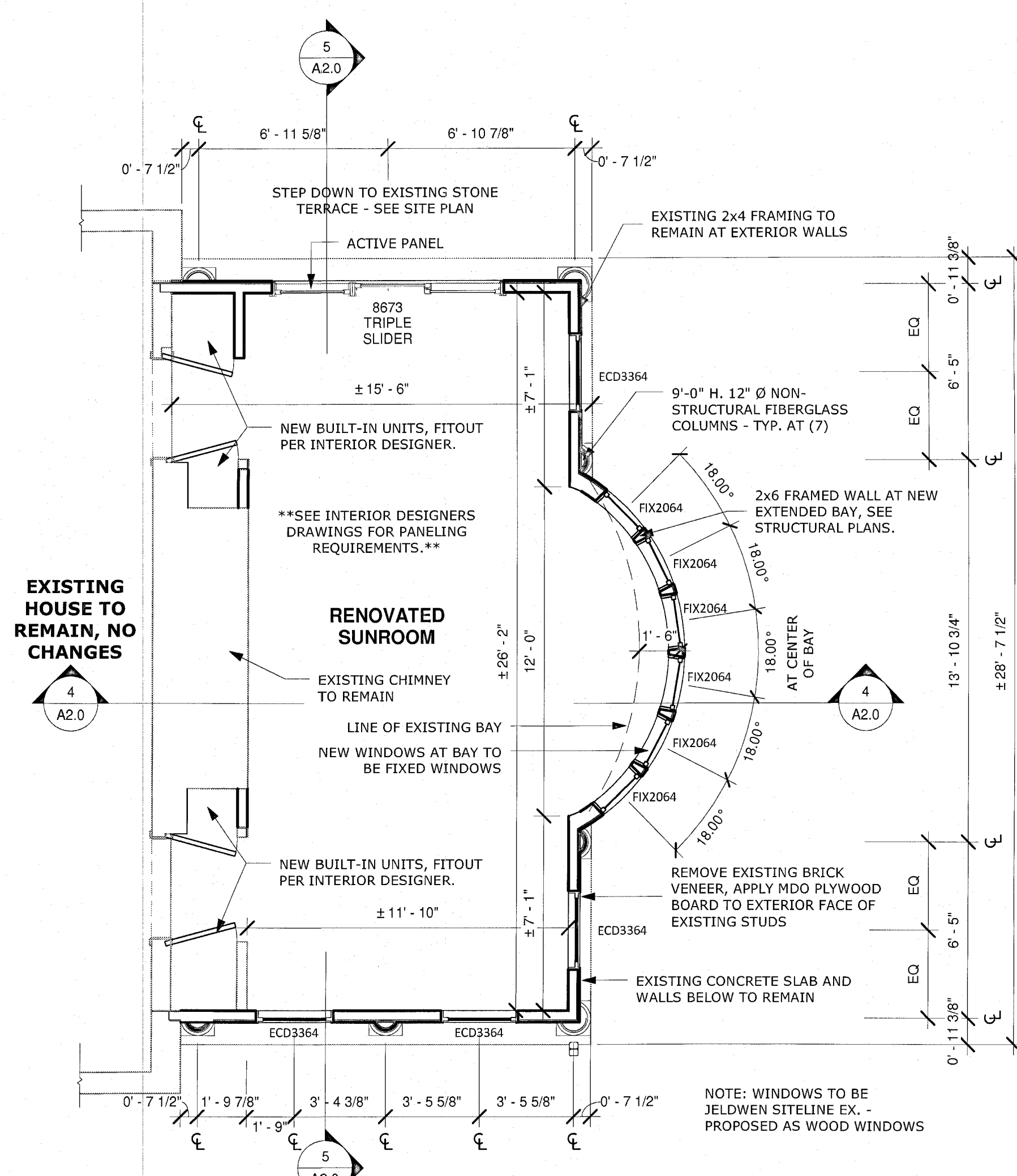
- GENERAL DEMOLITION NOTES**
1. SANDY SPRING BUILDERS RENOVATIONS DOES NOT WARRANT THE ABSOLUTE ACCURACY OF THE DELINEATION OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS. ACTUAL FIELD CONDITIONS MAY VARY. EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF THE WORK AND ANY DISCREPANCIES, HIDDEN AND UNFORESEEN CONDITIONS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
  2. ALL DASHED WALLS, FIXTURES, WALLS, ETC. ARE TO BE REMOVED.
  3. ALL DEMOLITION IS TO BE DONE IN COMPLIANCE WITH APPLICABLE CODES AND LOCAL ORDINANCES.
  4. ERECT TEMPORARY WALLS AND DUST BARRIERS AS NECESSARY TO PREVENT CIRCULATION OF DIRT AND DUST INTO PORTIONS OF THE HOUSE THAT ARE NOT PART OF THE WORK.
  5. PROVIDE AND MAINTAIN SHORING, BRACING, OR STRUCTURAL SUPPORTS TO PRESERVE BUILDING STABILITY AND PREVENT ANY STRUCTURAL FAILURE AT ALL TIMES.
  6. PROTECT BUILT STRUCTURE AND INTERIOR FROM WEATHER AND MAINTAIN IN WATERTIGHT CONDITION AT ALL TIMES.
  7. ALL WINDOWS IN SUNROOM TO BE REPLACED. SEE FLOOR PLANS FOR NEW SIZES.

- GENERAL PLAN NOTES**
1. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS NOTED OTHERWISE.
  2. ALL INTERIOR WALLS SHALL BE NOM. 2X4 WOOD STUD @ 16" O.C. WITH 1/2" GWB ON BOTH SIDES, U.N.O.

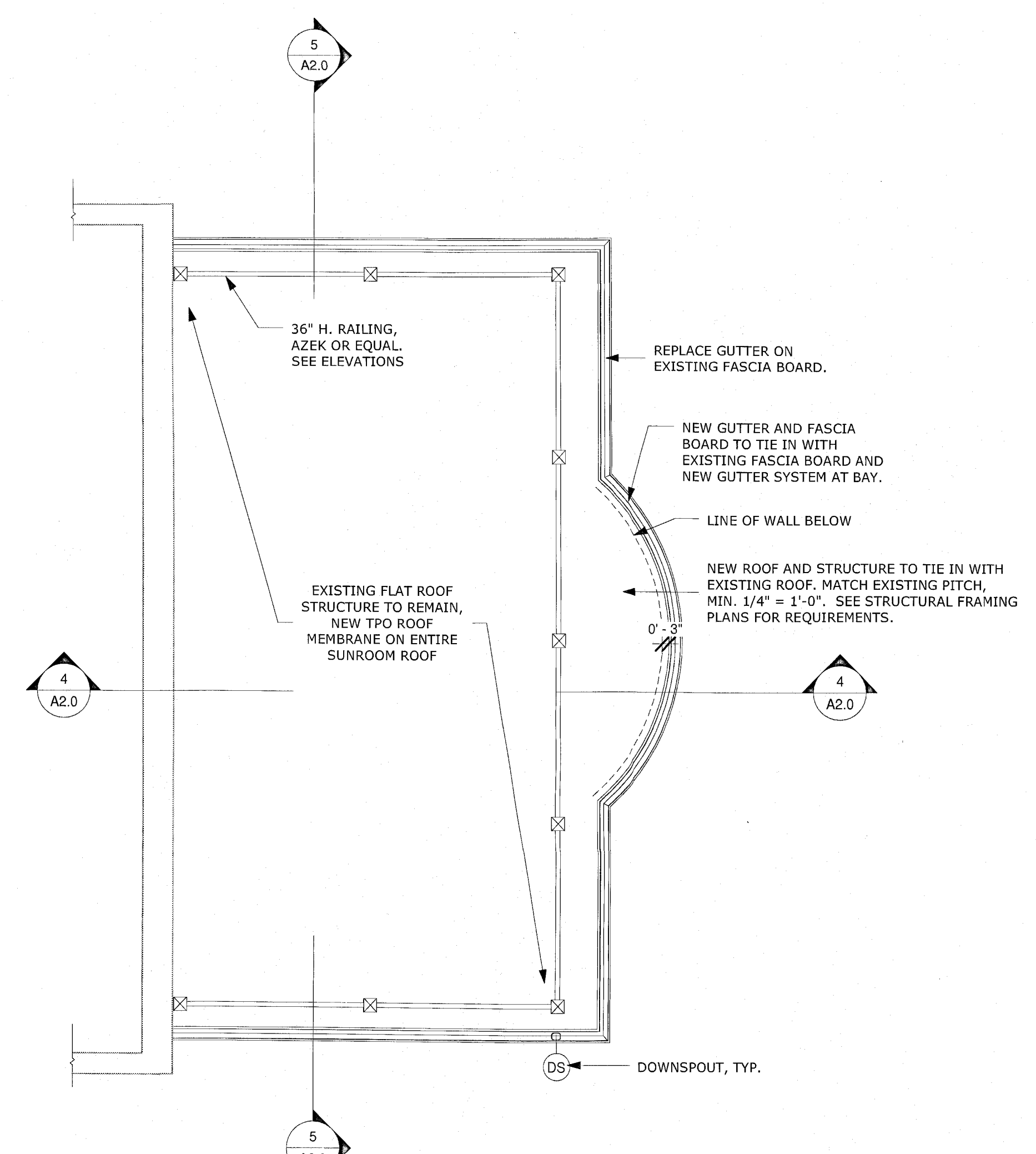
- GENERAL ROOF NOTES**
1. ALL GUTTERS AND LEADERS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
  2. PROVIDE CONTINUOUS SOFFIT VENTING.
- (DS) INDICATES PROPOSED DOWNSPOUT LOCATION. SIZE & LOCATION OF DOWNSPOUTS AND GUTTERS TO BE VERIFIED BY INSTALLER.

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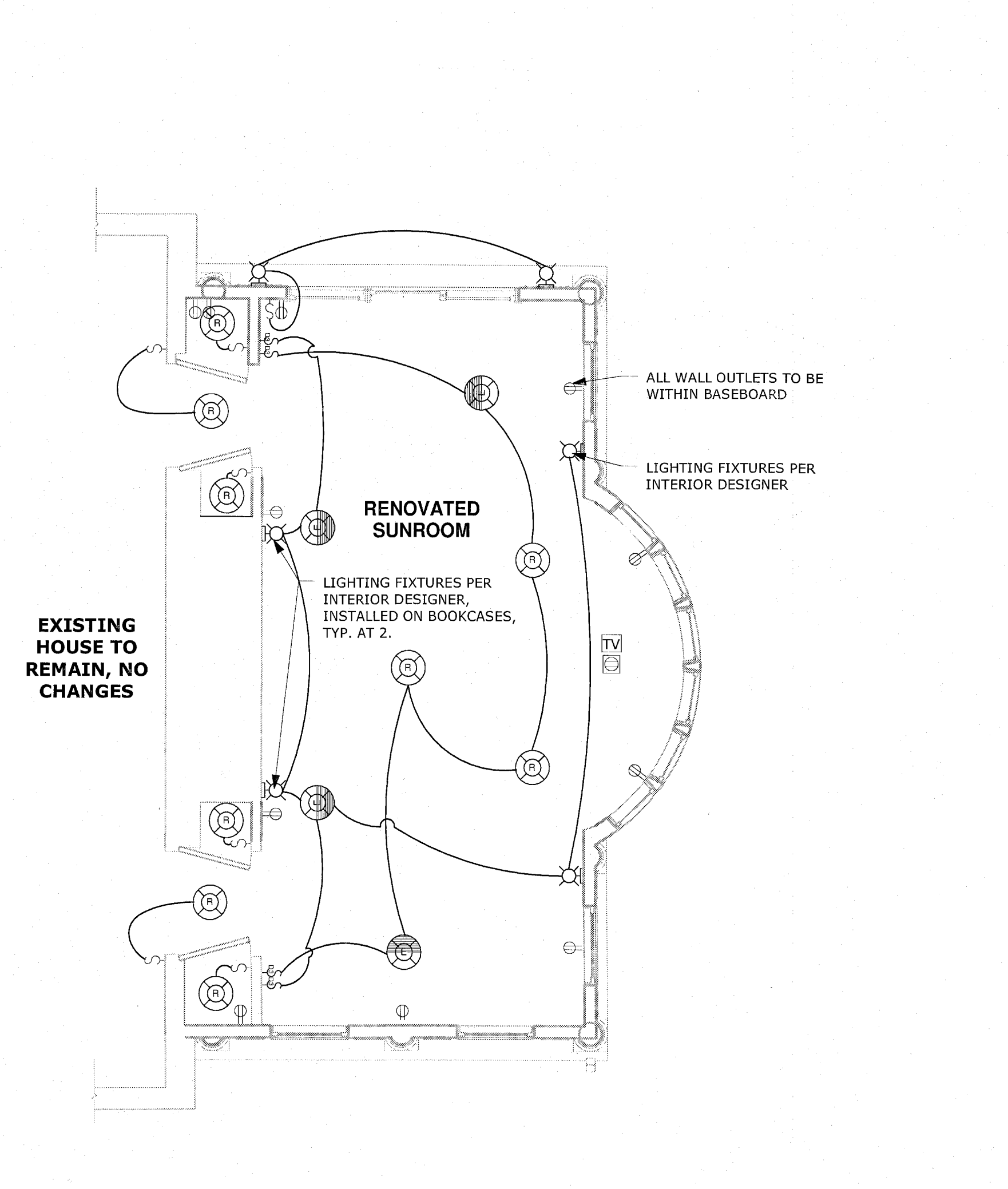
**Regan Residence**  
6 Quincy Street  
Chevy Chase, MD 20815



3 Proposed First Floor Plan  
1/4" = 1'-0"



4 Proposed Roof Plan  
1/4" = 1'-0"



5 Proposed Electrical Plan  
1/4" = 1'-0"

Project Number: -----  
Client Name: Regan  
Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Other  
Drawing Issue Date: 2/20/2014

Revision Schedule		
No.	Description	Date

Actual Plot Date: 2/21/2014 1:01:03 PM  
Drawn by: JV  
Checked by: SSSR  
Scale: 1/4" = 1'-0"  
Sheet Name:

Proposed Floor Plans  
Sheet Number:

A1.0





**Sandy Spring Builders LLC**  
Renovations

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Project Number: -----

Client Name:  
Regan

- Project Status:
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  - Preliminary Design
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  - Construction Documents
  - Construction Administration
  - Other

Drawing Issue Date: 2/20/2014

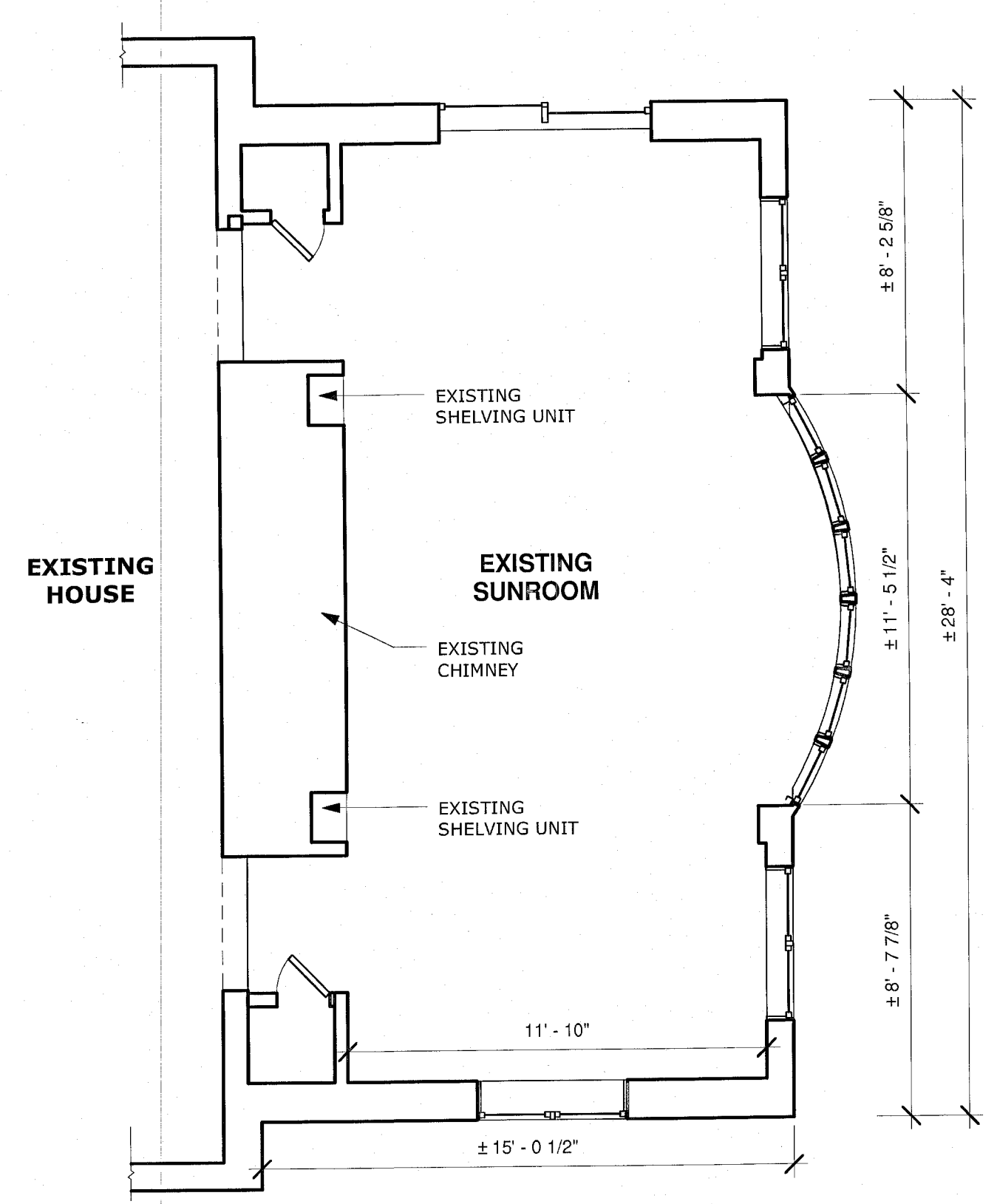
Revision Schedule		
No.	Description	Date

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Sheet Name:

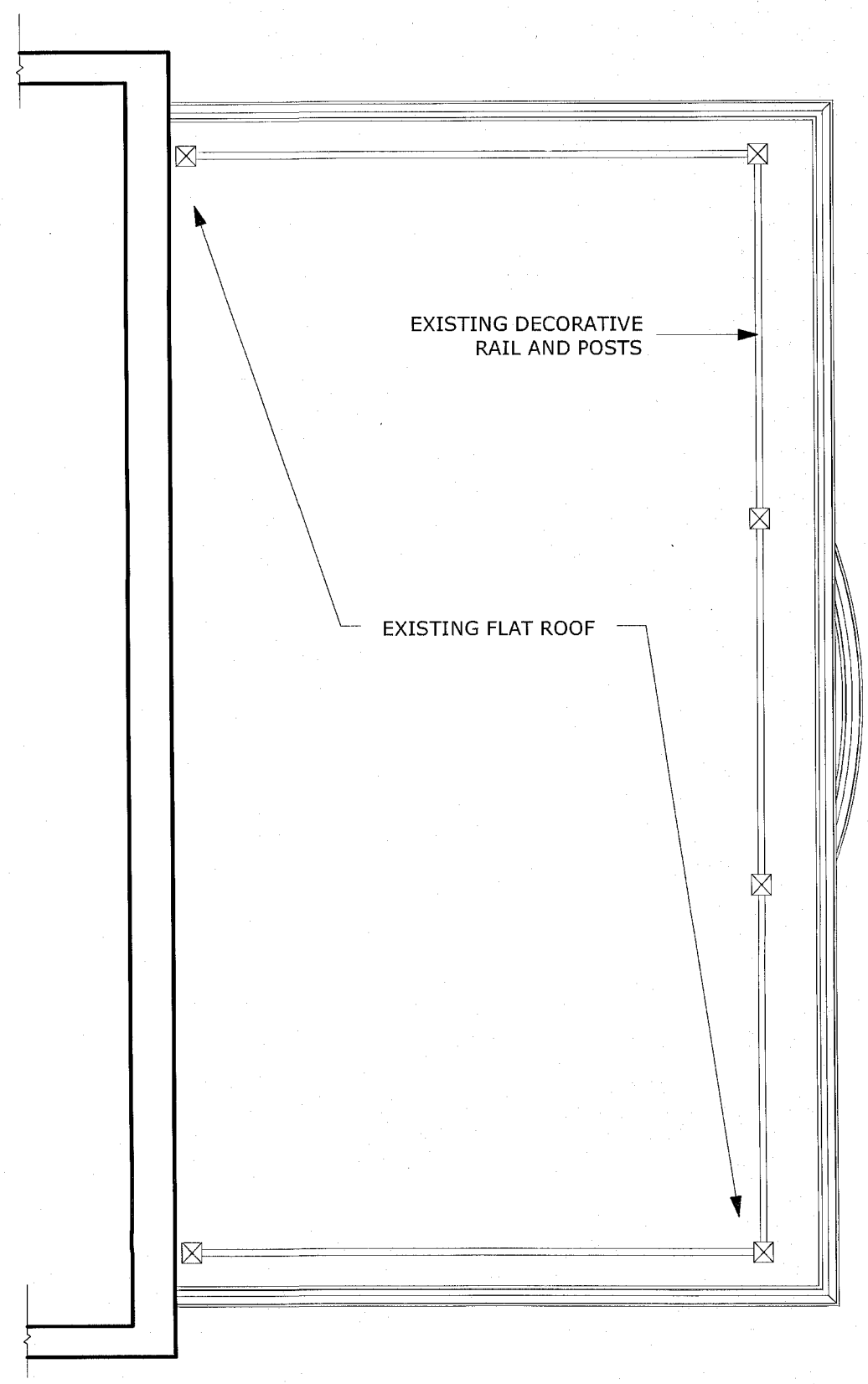
**Existing Plans and Elevations**

Sheet Number:

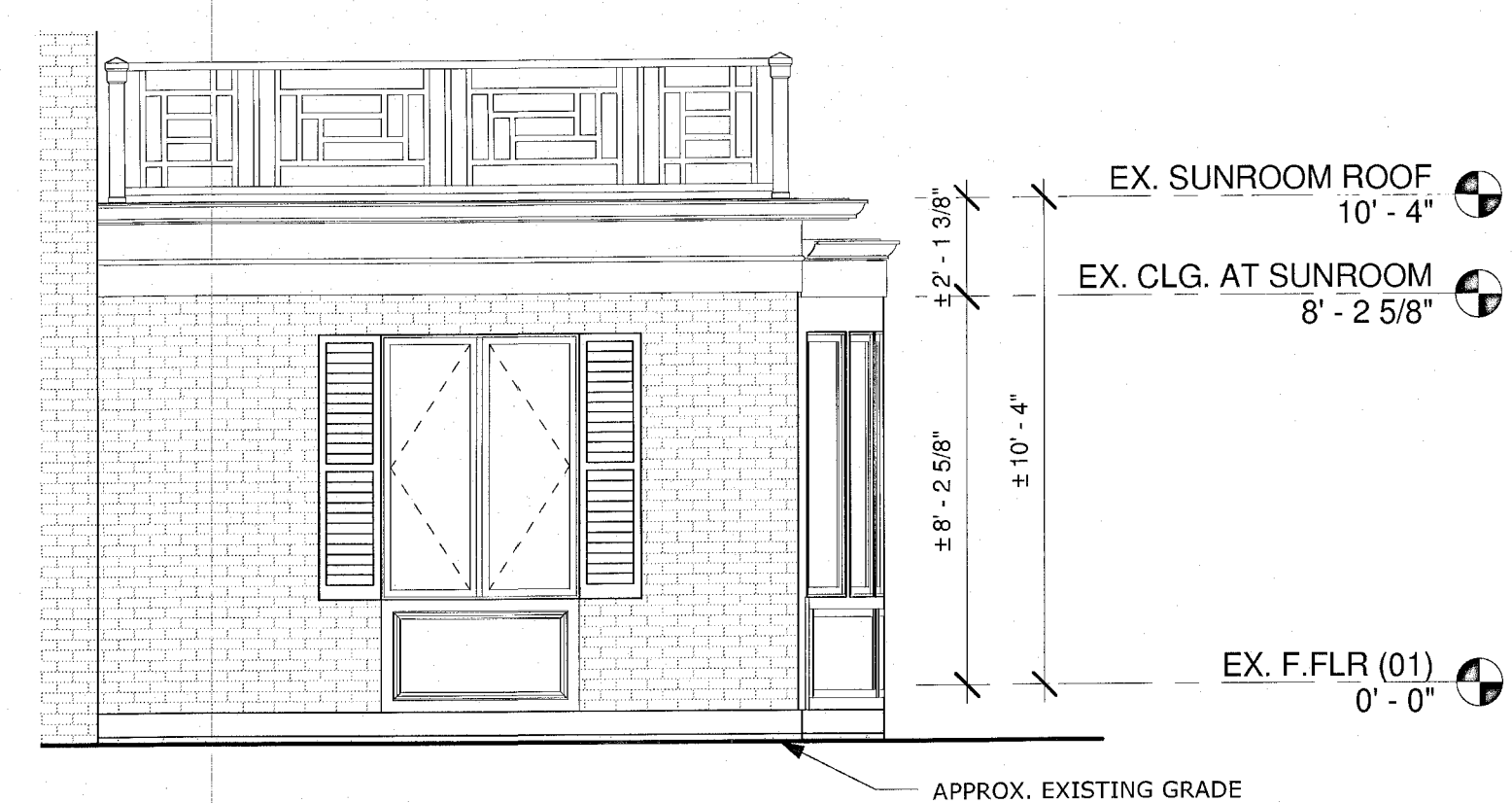
**A0.3**



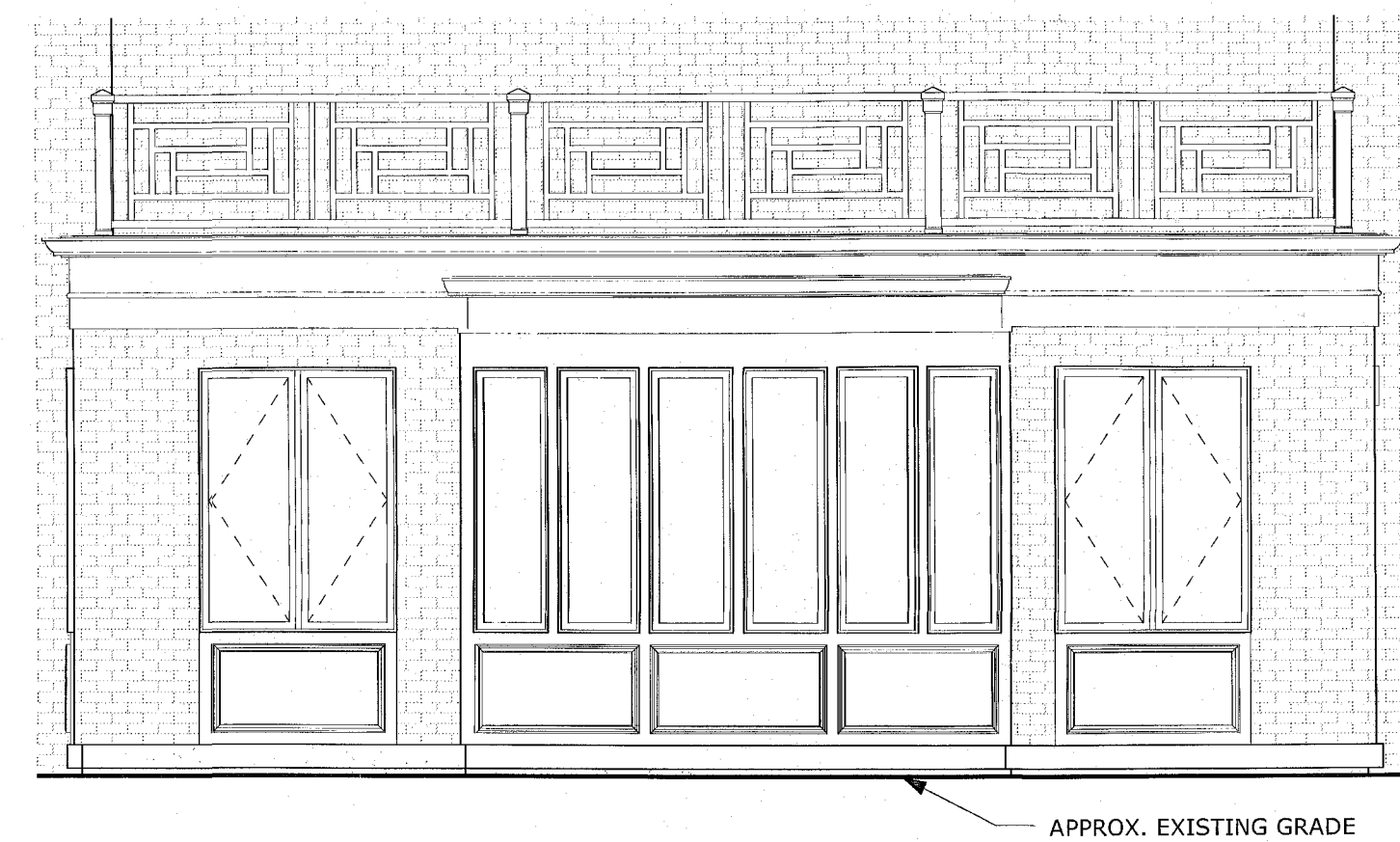
1 Existing Partial First Floor Plan  
1/4" = 1'-0"



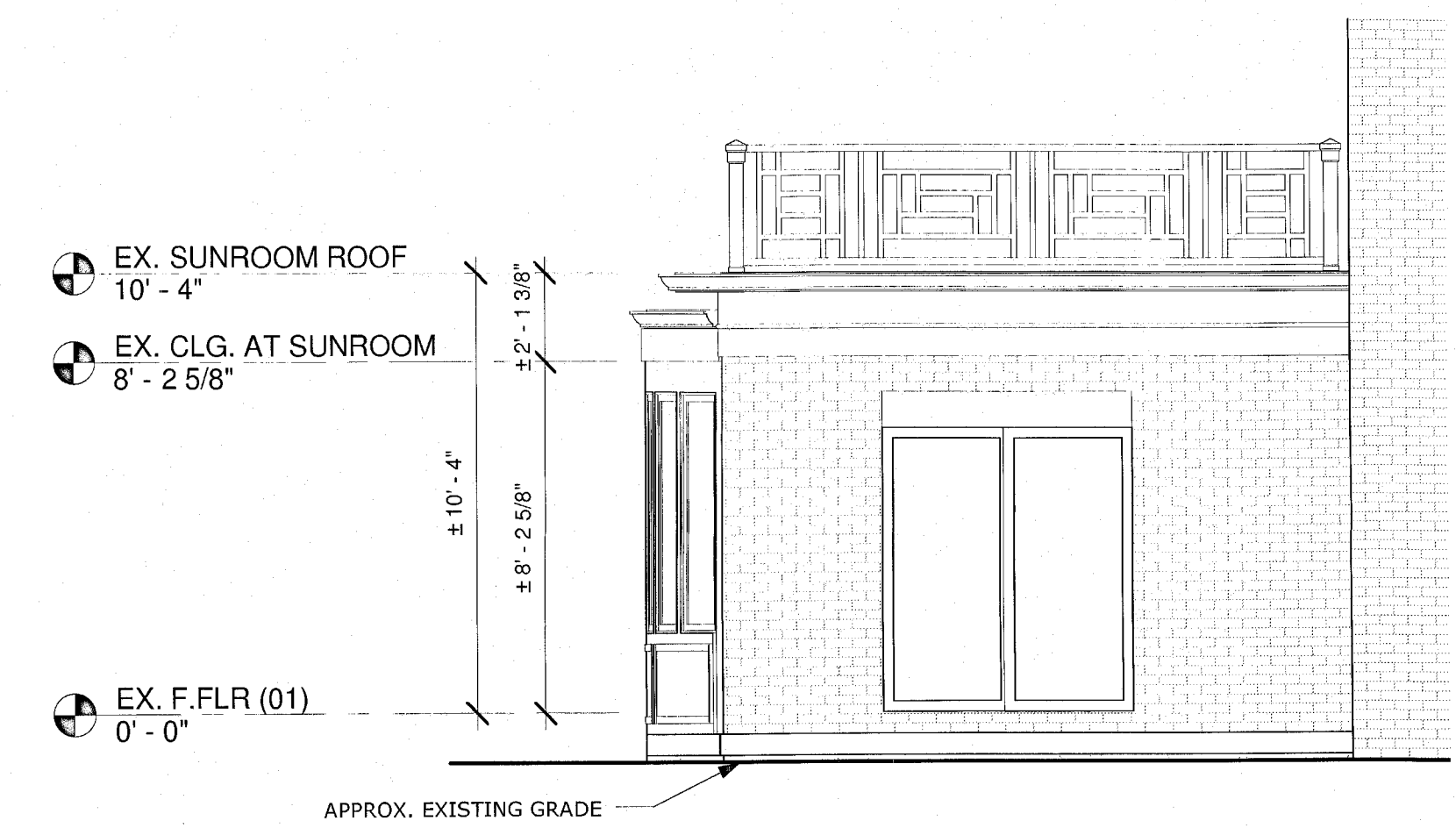
2 Existing Partial Roof Plan  
1/4" = 1'-0"



4 Existing Partial Front Elevation  
1/4" = 1'-0"



5 Existing Partial Right Elevation  
1/4" = 1'-0"

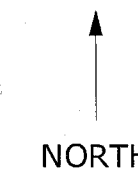


6 Existing Partial Rear Elevation  
1/4" = 1'-0"

NOTE:

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### LOCATION MAP



### DRAWING LIST

SHEET TITLE	SHEET NUM.	PERMIT NUM.
Cover Sheet	A0.0	X
Existing Plans and Elevations	A0.3	X
Proposed Floor Plans	A1.0	X
Proposed Elevations and Sections	A2.0	X
Structural Plans and Details	S.1	X

### RESCHECK

#### REScheck Software Version 4.5.0 Compliance Certificate

Project: Regan Residence

Energy Code: 2012 IECC  
 Location: Chevy Chase Village, Maryland  
 Construction Type: Single-family  
 Project Type: Alteration  
 Climate Zone: 4  
 Permit Date:  
 Permit Number:

Construction Site:  
 6 Quincy Street  
 Chevy Chase, MD 20815

Owner/Agent:  
 Patrick Regan  
 6 Quincy Street  
 Chevy Chase, MD 20815

Designer/Contractor:  
 Jennifer Verbeke  
 Sandy Spring Builders Renovations  
 4720 Hampden Lane  
 Bethesda, MD 20814  
 240-400-0528  
 jverbeke@sandyspringbuilders.com

Compliance: Passes

Compliance: 5.4% Better Than Code Maximum UA: 93 Your UA: 88  
 The % Better or Worse Than Code metric reflects how close to compliance the house is based on code trade-off rules.  
 It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

#### Envelope Assemblies

Assembly	Gross Area of Perimeter	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor	UA
Ceiling 1: Flat Ceiling or Scissor Truss	404	30.0	38.0	0.016	6
Wall 1: Wood Frame, 16" o.c.	468	21.0	0.0	0.057	16
Window 1: Wood Frame:Double Pane with Low-E SHGC: 0.28	123			0.350	43
Door 1: Glass SHGC: 0.28	62			0.350	22
Cantilevered Bay: All-Wood Jst/Truss:Over Outside Air	17	21.0	0.0	0.044	1
Existing Steepers on Slab: All-Wood Jst/Truss:Over Unconditioned Space Exemption: Framing cavity filled with insulation	---	---	---	---	---

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2012 IECC requirements in REScheck Version 4.5.0 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

JENNIFER VERBEKE - PROJECT DESIGNER  
 Name - Title Signature Date 2/25/2014

Project Title: Regan Residence Report date: 02/04/14  
 Data filename: C:\Users\jbn\Desktop\Regan.rck Page 1 of 1

### APPLICABLE CODES

IRC 2012 W/ MONTGOMERY COUNTY AMENDMENTS  
 NFPA-101 / 2009 W/ LOCAL AMENDMENTS  
 NFPA NATIONAL ELECTRICAL CODE / 2008 W/ LOCAL AMENDMENTS  
 INTERNATIONAL MECHANICAL CODE / 2012 W/ LOCAL AMENDMENTS  
 WSSC PLUMBING CODE  
 IECC 2012 W/ MONTGOMERY COUNTY AMENDMENTS

### SCOPE OF WORK

**MAIN LEVEL:**  
 - REMODEL EXISTING SUNROOM WITH COSMETIC AND AESTHETIC UPDATES PER HAWP CASE # 35/13-13R  
 - VARIOUS MECHANICAL AND ELECTRICAL WORK

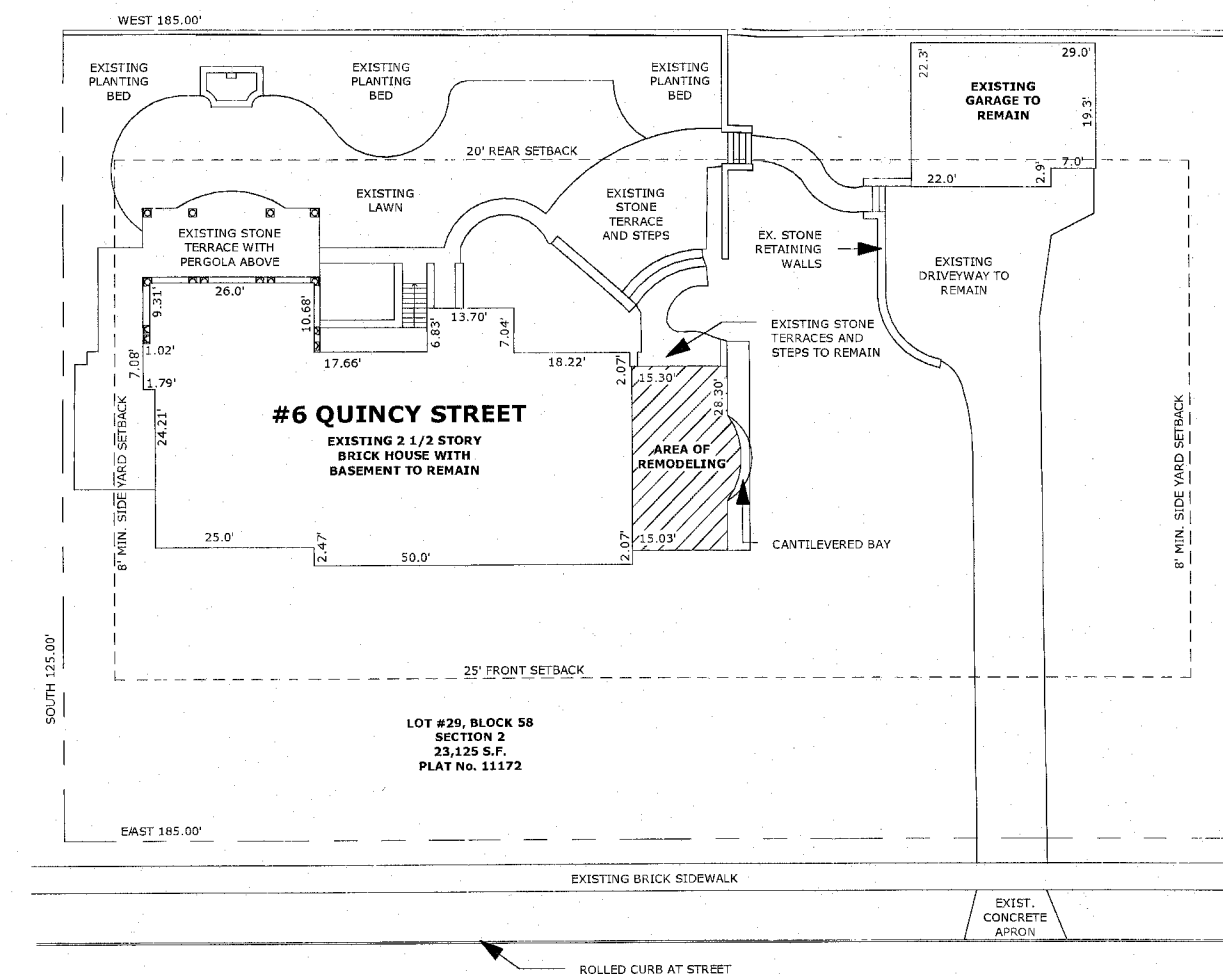
### CONTACT INFORMATION

**OWNER:**  
**PATRICK AND JANET REGAN**  
 6 QUINCY STREET  
 CHEVY CHASE, MD 20815

**CONTRACTOR:**  
**SANDY SPRING BUILDERS RENOVATIONS**  
 4720 HAMPDEN LANE  
 BETHESDA, MD 20814  
 CONTACT: JENNIFER VERBEKE  
 PHONE: 240-400-0528

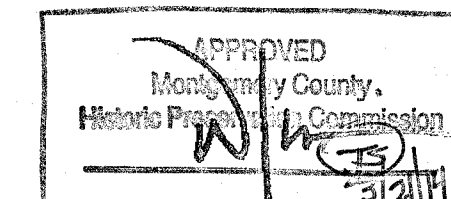
**STRUCTURAL ENGINEER:**  
**APAC ENGINEERING, INC.**  
 2110 SEMINARY ROAD  
 SILVER SPRING, MD 20910  
 CONTACT: ROBERT WIXSON  
 PHONE: 301-565-0543

### SITE PLAN



QUINCY STREET

1 Site Plan  
 1" = 30'-0"



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Actual Plot Date: 2/21/2014 1:01:02 PM  
 Drawn by: JV  
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 Scale: 1" = 30'-0"  
 Sheet Name:

Cover Sheet

Sheet Number:  
**A0.0**