

25321 Frederick Road, Clarksburg
(APC # 10/57-10A)
Master Plan Site # 10/57 David Zeisler House



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Thomas Jester
Chairperson

Date: December 22, 2010

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #555463, siding removal, garage reconstruction, signage installation, and other alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with conditions** at the December 15, 2010 meeting.

1. The applicant will submit a site plan showing the final sign locations prior to submitting the permit set of plans. Final sign locations to be reviewed and approved by HPC staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: M-NCPPC Parks Department

Address: 25321 Frederick Road, Clarksburg Planning Commission

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850
246-774-3770

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

555463

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Jamie Kuhns
Daytime Phone No.: 301 650-4362

Tax Account No.: 0024676

Name of Property Owner: M-NCPPC Daytime Phone No.: 301-495-2595

Address: 8787 Georgia Ave. Silver Spring MD 20910
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 25321 Street: Frederick Road
Town/City: Clarksburg Nearest Cross Street: Clarksburg Road
Lot: _____ Block: _____ Subdivision: _____
Liber: 3594 Folio: 638 Parcel: P080

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|---|--|--|---|--|---|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input checked="" type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input checked="" type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jamie Kuhns Signature of owner or authorized agent 24 Nov. 2010 Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 12/21/10
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	25321 Frederick Road, Clarksburg	Meeting Date:	12/15/10
Applicant:	M-NCPPC Park Department (Jamie Kuhns, Agent)	Report Date:	12/8/10
Resource:	<i>Master Plan Site #10/57</i> David Zeigler House	Public Notice:	12/1/10
Review:	HAWP	Tax Credit:	None
		Staff:	Josh Silver

Case Number: 10/57-10A

PROPOSAL: Siding removal, garage reconstruction, signage installation, and other alterations

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application **with one condition**:

1. The applicant will submit a site plan showing the final sign locations prior to submitting the permit set of plans. Final sign locations to be reviewed and approved by HPC staff.

PROPERTY DESCRIPTION

SIGNIFICANCE: *Master Plan Site #10/57, David Zeigler House*
STYLE: Greek Revival
DATE: Mid 1800s

The following was excerpted from Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland.

The Zeigler House is a log and frame structure that was the home of David A. Zeigler, a miller and farmer of 300-acres. The house's main block has a traditional one-room deep, center passage form with transitional early Victorian stylistic influence. Evidence of Greek Revival styling is seen in the low center pediment and main doorway with transom and sidelights, while Italianate scroll brackets embellish the cornice. The rear section of the house is reportedly of log construction. Narrow brick chimneys and asbestos siding are not original to the house. A saw and bone mill once stood at the bottom of the hill on Prescott Road. A Christopher Zeigler was listed as owning a mill nearby in 1807. David A. Zeigler, and his wife Eleanor Hyatt, who married in 1835, had 10 children. The property includes a handsome concrete block dairy barn and ruins of a frame bank barn. [Page 142]

The Zeigler Log House, as it has long been called, is significant for being one of the earliest, documented settled sites in the northern portion of the county. The property and surrounding area was owned by George Wolfe, a Hyattstown resident, by 1822. In 1822 and 1823, Wolfe sold two parcels of land totaling 32 ¼ acres to his step-son, William Richards. Richards, a farmer, is believed to have constructed the "XX" one-

and-a-half story, "double pen" log house [1] in a single building campaign in 1823.[2]

An 1854 deed for the property selling it to the Zeigler family refers to the transfer of "lands and tenements." The word "tenements" suggests leased, possibly worker housing, specifically two units under one roof divided by a wall to give each family space and privacy. The Ziegler's farmed and ran mills on the property so it is conceivable that there was a need for leased or worker housing. This family constructed the substantial, two-story, five-bay Greek Revival/ Italianate house to the front of the double pen log cabin. After David Zeigler died in 1879, the property was sold out of the family.

Benjamin Hawkins purchased the property from the Zeiglers. It remained in the Hawkins family for nearly 50 years until 1935. It is likely that the bank barn was built during his tenure. After 1935, the property passed through a number of owners until it was purchased by M-NCPPC in 1967. The garage and concrete-block dairy barn date from the 1930s to 1940s. The house is now being used as office space for Parks staff and an interpretive site.

PROPOSAL

The applicant is proposing several projects at the property targeted at making the site more historically accurate and accessible, with a focus on aiding in the future interpretation of the site.

Project #1- Remove the non-original asbestos siding from all elevations of the house and reveal the original wood siding underneath. The existing wooden siding will be repaired and painted in accordance with the historic paint analysis performed on the siding.

Projects #2 and 5- Remove and replace in-kind, the existing concrete steps at the front (west) elevation of house.

Install a 48 – 0" wide ADA compliant ramp on the north side of the front porch. A new walkway will run parallel with the west elevation of the house before turning to the east where it communicates with a proposed ADA compliant parking space located on the right (south) side elevation of the house. The material for the walkway, ramp and new parking space will be a tinted exposed aggregate concrete material consistent with an existing ramp at the south elevation of the dairy barn.

Project #3- Restore the rear (east) elevation fenestration to a more historically accurate configuration.

Remove and replace a non-historic door and with a four-paneled wooden door in the same opening.

Remove and replace a non-historic window with a four-paneled wooden door.

Reestablish an existing door opening on the northeast corner using a custom-made wooden plank door with Z-brace pattern.

Project #4- Reconstruct an exterior stone chimney with a brick stack on the north wall of the house to match the interior fireplace opening. The proposed reconstruction will utilize salvaged materials from another park-owned property dating from the same period. The proposed dimensions of the chimney will be modified to meet current code. An existing non-historic window will be partially obstructed by the proposed installation.

[1] Henry Glassie, *Folk Housing in Middle Virginia*. Knoxville, Tennessee: University of Tennessee Press, 1975, p. 51.

[2] M. J. Worthington and Dr. D.W.H. Miles FSA, *Tree-Ring Dating of the Perry Browning House, Zeigler Log House, Prescott Rod Log Cabin, and Norwood Log Tobacco House in Little Bennett Regional Park, Clarksburg, Montgomery County, Maryland*. Oxford Dendrochronology Laboratory Report 2009/15, May 2010.

Project #6- Dismantle and reconstruct an existing garage in the same location. The garage dates to the end of the property's period of significance and contains evidence of significant deterioration. As determined feasible all existing materials will be reused when applicable. The proposed work includes rebuilding the poured concrete foundation, the installation of new board-and-batten siding, removal and replacement of the existing non-original garage doors with new, equally sized wooden doors with outward hinges, and removal and replacement of the existing standing seam metal roof. A new vent pipe will be added to the garage roof.

Project #7- Restore an existing gravel farm drive between Frederick Road and an existing dairy barn located at the northern end of the property. The property contains evidence of a driveway in this location. The driveway will be widened and eleven gravel parking spaces will be added in a new area across the gravel drive from the dairy barn. One ADA compliant parking space and walkway will be installed behind the barn. Materials for the parking space and walkway are consistent with the ADA ramp and parking space at the site.

Project #8- Install two interpretive signs at the property.

APPLICABLE GUIDELINES

When reviewing alterations and new construction to a *Master Plan* site several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the

use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard # 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the proposed project as submitted. The proposed repair and in-kind replacement projects are in keeping with review criteria established above. The applicants have provided a detailed plan that proposes a sensitive rehabilitation of the main house and proposes compatible new materials.

The proposed installation of an ADA ramp and exposed aggregate walkway and parking space will have negligible impact on the historic setting of the property. The north end of the front porch is almost at grade, and thus necessitates only a very low ADA ramp from the proposed walkway up to the porch. The exposed aggregate material treatment will match the same material treatment elsewhere on the site.

The proposed fenestration changes to the rear elevation are in keeping with the historicity of the structure and are based on research and interpretation performed at the site by the Parks Department, Cultural Resources Section. (See Circle 10 for a written justification for these changes).

The proposed reconstruction of the chimney and hearth in the log section of the house is based on interior evidence of an early fireplace opening. The style and materials proposed for the chimney are in keeping with the original architectural style of the structure and convey a similar scale and texture to a chimney on another park-owned house of the same period.

The reconstruction of an existing garage in the same location will have no impact on the environmental setting of the property. The applicant intends to preserve features of the existing garage structure and reuse salvaged materials where feasible. The proposed replacement materials that are specified on plans are consistent with the resource style and period.

The proposed restoration and widening of an existing gravel farm drive, installation of eleven parking spaces to north of the dairy barn, and one ADA parking space behind the dairy barn will have negligible impact on the historic setting of the property. The driveway orientation will remain unchanged and continue to communicate between Frederick Road and the dairy barn.

Staff supports the installation of two interpretive signs at the property. The sign style and materials are consistent with signs on other designated park-owned historic properties that the HPC has approved. Staff recommends the applicant submit a site plan to HPC staff prior to submitting the permit set of plans that shows the final sign locations.

The proposed work is also consistent with the guidance found in *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland*, which recommends:

- **Preserving primary historic building materials whenever feasible**
- **New door openings should be similar in location, size and type to those seen traditionally**
- **Use chimney materials in a manner similar to that seen historically**
- **New driveways should have compatible materials and use paving materials that will minimize a driveway's impact**
- **Retain and restore original or early accessory structures and outbuildings**
- **Signs should be in character with the site.**

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with the condition specified on Circle 1** as being consistent with Chapter 24A-8(b) (1), (2) & (3);

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located;

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301.563.3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850
246 777 4270

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

555463

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Jamie Kuhns
Daytime Phone No.: 301 650-4362

Tax Account No.: 0024676

Name of Property Owner: M-NCPCC Daytime Phone No.: 301-495-2595

Address: 8787 Georgia Ave. Silver Spring MD 20910
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 25321 Street: Frederick Road

Town/City: Clarksburg Nearest Cross Street: Clarksburg Road

Lot: _____ Block: _____ Subdivision: _____

Liber: 3594 Folio: 638 Parcel: P080

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|---|--|--|---|--|---|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input checked="" type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input checked="" type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # NA

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jamie Kuhns
Signature of owner or authorized agent

24 Nov. 2010
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

6

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See attached

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade effected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Written Description of Project-- Zeigler Log House

1a. Description of existing structure, environmental setting, including their historical features and significance

Environmental Setting: Surrounded by pasture and parkland and located in Little Bennett Regional Park, the site retains much of its original rural character. The house is framed by other farm buildings, including a late 19th-/early 20th-century bank barn, a 1930s or 1940s detached garage, and a 1930s or 1940s concrete-block dairy barn and milking parlor. The house faces west towards Frederick Road, is set back from the road, and has a front yard with a few large, old trees. This resource, Site Number 10/57, is listed on the *Master Plan for Historic Preservation*. The environmental setting includes the house, frame barn, and dairy barn, and encompasses 11.96 acres.

History: The Zeigler Log House, as it has long been called, is significant for being one of the earliest, documented settled sites in the northern portion of the county. The property and surrounding area was owned by George Wolfe, a Hyattstown resident, by 1822. In 1822 and 1823, Wolfe sold two parcels of land totaling 32 ¼ acres to his step-son, William Richards. Richards, a farmer, is believed to have constructed the "XX" one-and-a-half story, "double pen" log house¹ in a single building campaign in 1823.²

An 1854 deed for the property selling it to the Zeigler family refers to the transfer of "lands and tenements." The word "tenements" suggests leased, possibly worker housing, specifically two units under one roof divided by a wall to give each family space and privacy. The Zeiglers farmed and ran mills on the property so it is conceivable that there was a need for leased or worker housing. This family constructed the substantial, two-story, five-bay Greek Revival/Italianate house to the front of the double pen log cabin. After David Zeigler died in 1879, the property was sold out of the family.

Benjamin Hawkins purchased the property from the Zeiglers. It remained in the Hawkins family for nearly 50 years until 1935. It is likely that the bank barn was built during his tenure. After 1935, the property passed through a number of owners until it was purchased by M-NCPPC in 1967. The garage and concrete-block dairy barn date from the 1930s to 1940s. The house is now being used as office space for Parks staff and an interpretive site.

¹ Henry Glassie, *Folk Housing in Middle Virginia*. Knoxville, Tennessee: University of Tennessee Press, 1975, p. 51.

² M. J. Worthington and Dr. D.W.H. Miles FSA, *Tree-Ring Dating of the Perry Browning House, Zeigler Log House, Prescott Rod Log Cabin, and Norwood Log Tobacco House in Little Bennett Regional Park, Clarksburg, Montgomery County, Maryland*. Oxford Dendrochronology Laboratory Report 2009/15, May 2010.

Exterior Description: The Zeigler house was built in two campaigns. The first occurred in 1823 and includes the two-pen, one-and-one-half story log house in the back of the structure. The doors and window openings on the east (or rear) elevation of this first campaign are in original or early locations, but the actual doors and windows themselves have been altered. A once-enclosed back porch is now open and features south-side steps and a porch railing.

The second phase of building took place in the mid-19th century when a two-story, single pile, center-passage, five-bay, side-gable house was added to the west, or front, of the log structure. This main block has a Greek Revival/Italianate character, identified by its paneled door with sidelights and frieze; its decorative-shingle and pedimented gable; and drop-pendant, bracketed cornice. Its door and window openings are original, as are the main wood door itself, the paired window above the door at the stair hall landing, and the window frames and six-over-six sashes. There is a Tuscan-inspired, simple-columned front porch that is a 20th century alteration (dated via paint analysis).

Both building campaigns of the house rest on stone foundations. The exterior walls of the entire structure are covered with asbestos shingles, but wood siding remains underneath. The roof is clad in asphalt shingles except for the rear porch shed roof, which is covered in standing-seam metal. The house has four narrow, brick stove-type exterior, end-wall chimneys with corbelled caps—two on the main block, and two on the log structure.

The garage at the end of the driveway likely dates to the 1930s or 1940s and sits on a poured concrete foundation that itself rests upon a layer of fieldstone. The building is in disrepair. The concrete foundation was broken by volunteer trees growing up through it; its south wall is now structurally unsound. Its walls are covered in board and batten siding and it has a deteriorated standing-seam metal roof. It has hinged double doors that are not original.

1b. General description of the project and its effect on the resource.

This HAWP proposes several projects to make the site more historically accurate, accessible, and aid in the future interpretation of the site.

1. *Remove asbestos siding on house to reveal wood siding that still exists underneath. Retain all decorative brackets and shingles.* The restoration of the clapboard and novelty wood siding that exists under the asbestos and its painting in historic colors (white with gray) according to paint analysis will do much to strengthen the historic character of this house.
2. *Replace in kind the concrete front steps as their condition is beyond repair and build a new walkway and ADA ramp at the front porch.* The west elevation, concrete porch steps are damaged beyond repair and are unsafe. They will be replaced in kind, and a new walkway will be built. It will run parallel with the west elevation of the house starting at the drive and ending at the north end of the front porch, where the ADA ramp will be

located. The material for the walkway and ramp will be of an exposed aggregate with color matching the existing ramp at the door on the south elevation of the dairy barn, per HPC staff request. The north end of the front porch is almost at grade, and thus necessitates only a very low ADA ramp from the walkway up to the porch. While a thirty-six inch width is the minimum width required to provide sufficient space for a person who uses mobility aids to travel, restricting the pedestrian zone to 36 inches prevents passing and does not allow for two-way travel. Because we are an agency with public patrons, we have opted to use 48" width as the minimum.

3. *Return east elevation to more of its original appearance by replacing exterior modern door on the log structure and restoring door openings to their original configurations.* Currently, the east face of the log structure has a door, window, window pattern, from south to north. As a museum, the Zeigler Log House will be interpreting the changes that have taken place over the course of the house's history – from a one-and-half-story log house in 1823 to the addition of the two-story frame house probably in the 1850s. To aid this interpretation, the openings on the east elevation of the log house will be restored to the period in which it was constructed. From south to north:
 - a. *Modern Door replaced.* The south pen of the log structure opens onto the back porch (or east elevation) and currently contains one modern door. A new, four-panel Greek-Revival era-style door like that on the west elevation of the main house will be constructed to the size of the existing opening. The door's exact alignment with an interior door in the Greek Revival block indicates that this east wall opening was likely added to match the mid 19th century addition, thus the four-panel door choice.
 - b. *Multi-light window remains.*
 - c. *Door opening restored.* In the north room of the log house, the window opening in the southeast corner will be restored as a four-panel door since it is clear that the opening originally was built to serve as a door. Similar to item a above, this design decision is based on the size of the door frame and its exact alignment with an interior door on the opposite wall.
 - d. *Existing door opening revealed.* The opening visible inside the northeast corner of the north room is the earliest known opening, dating to the 1840s based on machine-sawn lath and cut nails used to construct the frame and surrounding wall. This opening will be revealed on the exterior wall and fitted with a plank door more appropriate to the first half of the 19th century and which better fits the period of interpretation for the log structure. The door design is based on historical examples and will be built of reclaimed oak boards that will be butted together and secured in a Z-brace pattern. The hinges and latches for the door will be wrought-iron reproductions.

4. *Reconstruct chimney and hearth in log house.* An exterior stone chimney with brick stack will be put back on the north wall of the log house matching the interior fireplace opening. Materials from the chimney from the vacant Perry Browning House, another park-owned house of the same period, but rejected from the *Master Plan* and Locational Atlas has already been stored on site and will be used. The upper part of the chimney is detached from the house by about 8" (It will visually overlap with the window to the extent shown on the elevation). Parks and NOA Architects do not believe this window to be original. The chimney will emulate other Montgomery County stone and brick chimneys of this period, such as seen at the Josiah Henson Historic Site, the John Poole House, Locust Grove, and Oaks II. An existing AC compressor will be moved to make space for the wider chimney made of historic materials. As part of the interpretation of the log house to its earliest period, the fireplace will be restored using salvaged historic materials, and its dimensions will be modified slightly to come closer to current code dimensions.
5. *Construct ADA compliant handicapped parking space near log house.* The parking space will be located at the end of the existing gravel drive, in front of the garage. The space will be constructed of exposed aggregate concrete to match that elsewhere on the site. It will connect to the ADA walkway that will lead to the house.
6. *Dismantle and reconstruct garage on its original site.* The frame garage dates from the end of the property's period of significance. It is structurally unsound and poses a hazard. The garage is in poor repair. The foundation was broken by trees growing up through it, which has caused the entire building to shift in an unsafe manner. The foundation repair will be challenging, as it involves matching existing concrete. The board-and-batten walls are no longer plumb on the foundation and are very rotted at their bases; it is possible that only the gable end elements of the board-and-batten walls will be salvageable. The entire roof substructure and metal sheathing is beyond repair and will need to be replaced. The garage will be dismantled and reconstructed in place, using therefore a minimum salvageable materials. As much of the foundation as possible will be retained and new concrete to match will be used to create stable foundation. Where possible any needed new board and batten siding will match the salvaged materials. The existing, non-original garage doors will be replaced with new, equally sized wood doors hinged at the side and opening outwards. The garage will be used to house an ADA-compliant portable toilet. A new vent pipe will be added to the garage roof, but will be painted to match the roof and located on the roof slope opposite of the house to minimize its visibility from the historic house. The repaired garage will feature a new standing seam metal roof to match; the current one which is beyond repair.

7. *Lay gravel farm drive.* The gravel drive that led from Frederick Road into the northern edge of the farm will be restored. The remaining gravel will be augmented with new gravel to match. The drive will lead to an area west of the barn that is suitable for staff and visitor parking. There will be minimal site disturbance. Current parking is now in the small driveway adjacent to the house. Whenever more than a few cars need access to the house they are forced to park in the front yard, which damages historic tree roots and is unsightly. Eleven gravel parking spaces will be added in a new area across the gravel drive from the dairy barn. An ADA compliant handicapped parking space, built of exposed aggregate cement, will be constructed on the south side of the drive. The position of the ADA compliant parking space behind the dairy barn will limit its visibility from the road. An exposed aggregate concrete walkway will lead from the handicapped parking space to the barn.

8. *Place interpretive signage.* Funding provided by the Maryland Heritage Area Authority (MHAA) will allow for the fabrication of interpretive panels for the Zeigler farm. These panels will focus on two themes: the Civil War, in preparation for the upcoming sesquicentennial remembrance, and Environmental Stewardship, with emphasis placed on identifying unique natural resources located in the Little Bennett Regional Park. Tentatively, it is expected that the signs will be placed facing the parking lot proposed beside the dairy barn. They will not adversely affect their historic integrity. They will have a positive impact by providing historic information to Park visitors. The signs are composed of 36" x 24" embedded fiberglass panels set at a 45-degree angle on aluminum posts. The cantilevered exhibit base is set into the ground at waist height. Cement will be used to anchor the sign posts in the ground to prevent easy removal by vandals. The signs will be fabricated by a National Park Service approved vendor. The design of the interpretive material follows a standard being set for all historic markers being placed within the county's Parks system.

Conclusion:

- The changes to the east face in the form of more historic doors will result in a more historically accurate interior and exterior appearance.
- The addition of the walkway and ramp, as well as the restoration of the gravel farm drive, will improve accessibility to the site and help the Montgomery County Parks Department achieve its goal of making the Zeigler Log House both a functioning public service office and a public interpretive site.
- The log section of the house will contain exhibits on log construction in Montgomery County, and on the science of dendrochronology, farming and milling as part of a local thriving economy, women and property ownership in the 19th century America, and specifically looking at the evolution of the house at Zeigler and the history of its occupants.
- It will be open to the public for scheduled tours.

The proposed project will have no adverse effect on the structures or its environmental setting. The character defining features of the property will remain intact.

2. Site Plan: See attached

3. Plans and Elevations: See attached

4. Materials Specifications: See attached

5. Photographs: See attached

6. Tree Survey: See attached

7. Addresses of Adjacent and Confronting Property Owners:

- The property is surrounded to the north, south, and east by Maryland-National Capital Park and Planning Commission property
- Lynwood Farm East LLC, 10111 Blue Marlin Dr., Ocean City, MD 21842

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The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks and Planning
Silver Spring, MD 20901

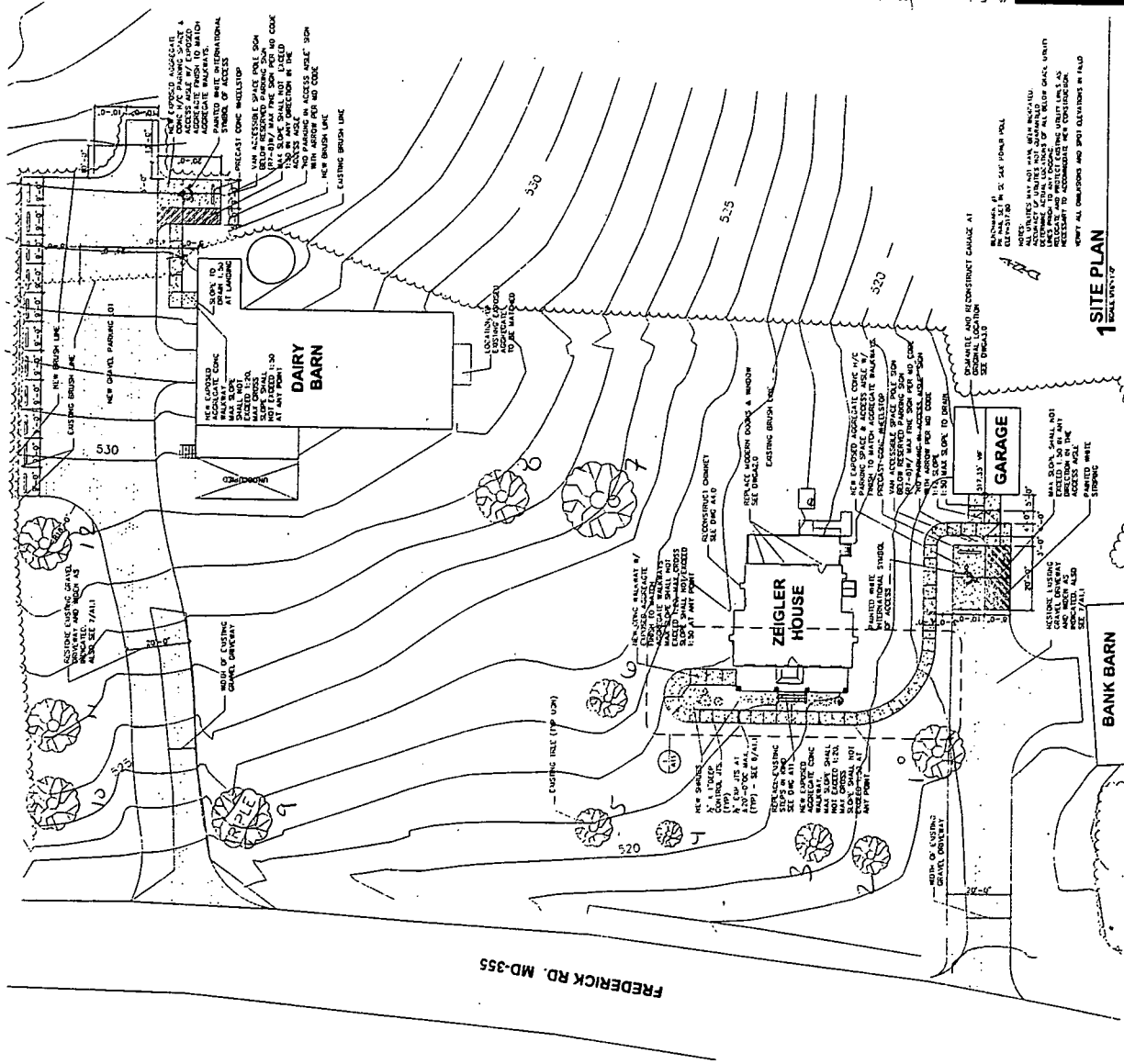
ZEIGLER HOUSE
29321 FREDERICK RD.
CLARKSBURG, MD 20871

REVISIONS

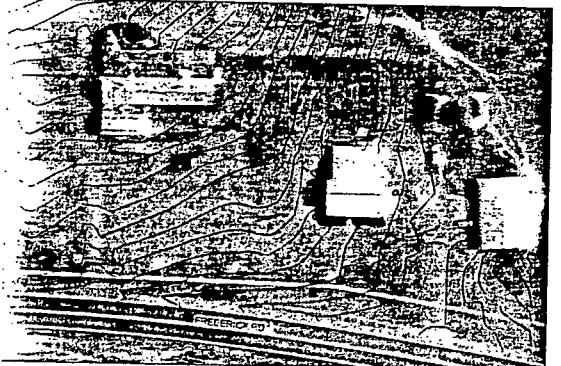
SITE PLAN
Free Survey

DATE: 8-24-10
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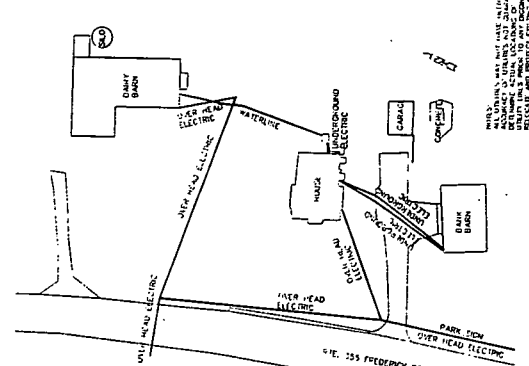
A1.0



1 SITE PLAN
SCALE: 1/4" = 1'-0"



2 AERIAL VIEW OF EXISTING SITE WITH EXISTING CONTOURS SUPERIMPOSED



3 EXISTING SITE UTILITIES
SCALE: 1/4" = 1'-0"

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The
Maryland-National
Capital Park and
Planning Commission
Manufacturing Center
Department of Park and Planning
1500 Brunell Ave.
Silver Spring, MD 20901

ZEIGLER
HOUSE

25321 FREDERICK RD.
CLARKSBURG, MD 20871

REVISIONS table with columns for NO., DATE, and DESCRIPTION.

COVER SHEET

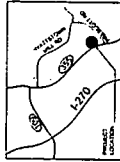
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SCALE: AS SHOWN

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The Historic
ZEIGLER HOUSE

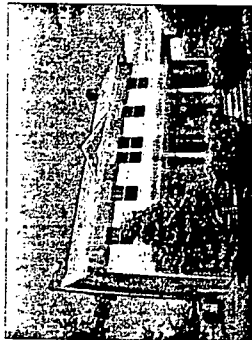
25321 FREDERICK RD,
CLARKSBURG, MD 20871

OWNER:
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION



LOCATION PLAN - RTS

OWNER CONTACT:
MS. JOEY LAMP,
MANAGER,
MANORPAC MORTGAGE COUNTY
DEPARTMENT OF PARKS PARK
DIVISION,
1105 SPRING STREET, SUITE 800,
CLARKSBURG, MARYLAND 20810
301.465.3411



CODE ANALYSIS:

BASIC APPLICABLE CODES:
COMMARY OF THE
APPLICABLE CODES

Table with columns for USE GROUP, TYPE OF CONSTRUCTION, NO. OF STORIES, AREA OF FLOOR, AREA OF ROOF, AUTOMATIC SUPPRESSION, and GARAGE.

ZEIGLER HOUSE IS LISTED IN THE "MARYLAND NATIONAL HISTORIC TRUST" INVENTORY OF HISTORIC PROPERTIES.
NO MECHANICAL, NUMBER OF ELECTRICAL, WORK IS PROPOSED.
NO NEW FINISH IS PROPOSED.

LIST OF DRAWINGS:

- A0.0 COVER SHEET
A0.1 GENERAL SPECIFICATION NOTES
A1.0 SITE PLAN
A1.1 SITE DETAILS
A2.0 EXTERIOR FINISHES
A2.1 RECONSTRUCTION OF EXISTING GARAGE/CHOC

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MARYLAND NATIONAL HISTORIC TRUST INVENTORY OF HISTORIC PROPERTIES... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES... 4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES... 5. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS... 6. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL WORK DONE... 7. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL MATERIALS USED... 8. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL LABORERS EMPLOYED... 9. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL EQUIPMENT USED... 10. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL SUBMITTALS... 11. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL VISITS... 12. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL CORRECTIONS... 13. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL CHANGES... 14. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL DELAYS... 15. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL ACCIDENTS... 16. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL COMPLAINTS... 17. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL DEFECTS... 18. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL REPAIRS... 19. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL FINISHES... 20. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL INSTALLATIONS... 21. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL DEMOLITIONS... 22. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL RECONSTRUCTIONS... 23. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL RESTORATIONS... 24. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL PRESERVATIONS... 25. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL PROTECTIONS... 26. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL MONITORINGS... 27. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL TESTS... 28. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL ANALYSES... 29. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL REPORTS... 30. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL MEETINGS... 31. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL DECISIONS... 32. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL ACTIONS... 33. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL RESULTS... 34. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL CONCLUSIONS... 35. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL RECOMMENDATIONS... 36. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL SUGGESTIONS... 37. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL COMMENTS... 38. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL REVISIONS... 39. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL APPROVALS... 40. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL SIGNATURES... 41. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL DATES... 42. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL TIMES... 43. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL PLACES... 44. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL THINGS... 45. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL PEOPLE... 46. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL PLACES... 47. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL THINGS... 48. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL PEOPLE... 49. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL PLACES... 50. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL THINGS... 51. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL PEOPLE...

MATERIAL SYMBOLS

Table listing material symbols for concrete, masonry, wood, metal, etc., with corresponding hatching patterns.

DRAWING SYMBOLS

Table listing drawing symbols for foundation, walls, doors, windows, etc., with corresponding symbols and notes.

ABBREVIATIONS

Table listing abbreviations for various materials and construction terms.

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NOA Architecture Planning Interiors is a full-service architectural, interior design and landscape architecture firm. We provide a wide range of services to our clients, including conceptual design, schematic design, design development, construction documents, construction administration, and post-occupancy evaluation. Our services are provided in a collaborative and client-focused manner, ensuring that our clients' needs and goals are met throughout the entire project lifecycle.

**The
Maryland-National
Capital Park and
Planning Commission
Montgomery County Department
of Park and Planning,
9300 Brunell Ave.,
Silver Spring, MD 20991**

**ZEIGLER
HOUSE**
29321 FREDERICK RD,
CLARKSBURG, MD 20871

REVISIONS

No.	Description	Date

**GENERAL
SPECIFICATION
NOTES**

DATE: 9.14.10
SCALE: AS NOTED

A0.1

[The main body of the page contains dense, illegible text, likely representing the project specifications or contract documents.]

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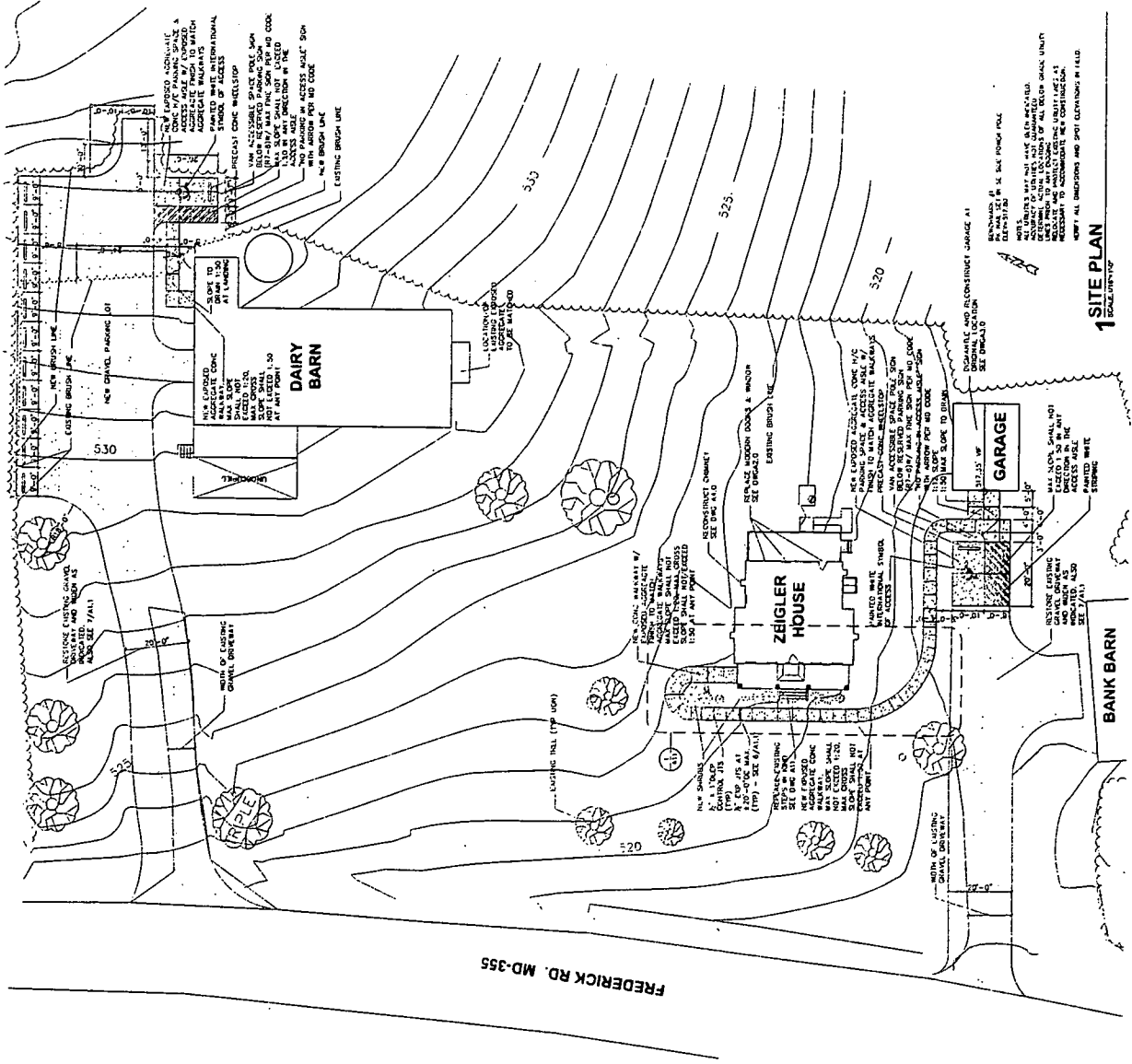
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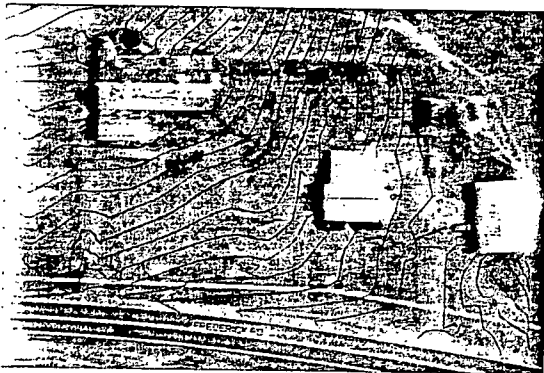
SITE PLAN

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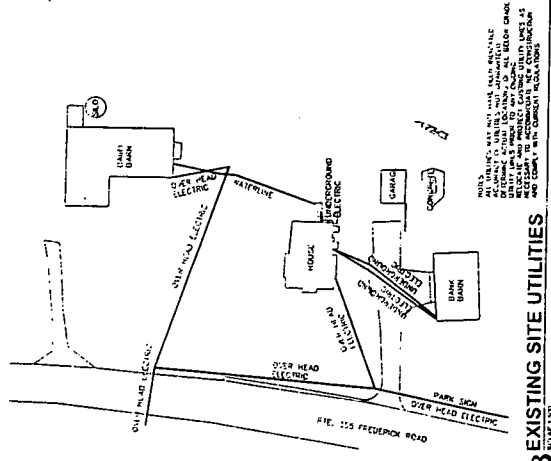
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1 SITE PLAN SCALE: 1/8\"/>



2 AERIAL VIEW OF EXISTING SITE
SUPERIMPOSED
EXISTING CONTOURS



3 EXISTING SITE UTILITIES
SCALE: 1/8\"/>

NO.	DATE	DESCRIPTION
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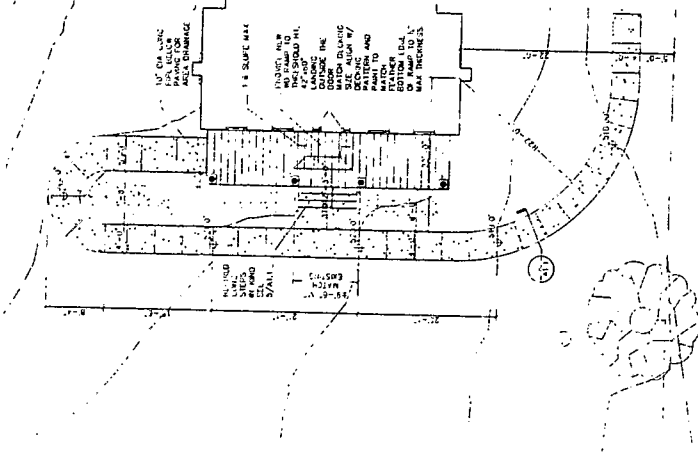
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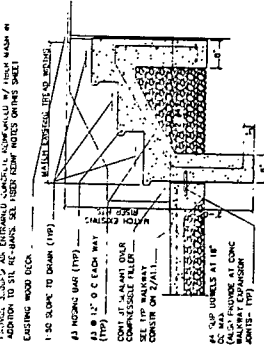
3 FRONT ELEVATION - EXISTING



1 ENLARGED PARTIAL PLAN



4 FRONT STEPS - EXISTING



5 FRONT STEPS - PROPOSED

GENERAL NOTES FOR FIBER REINFORCED CONCRETE STEPS

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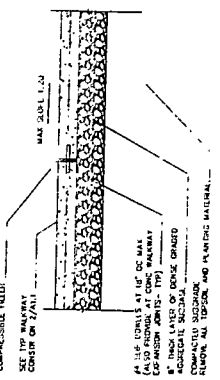
2. ALL CONCRETE SHALL BE PLACED AND FINISHED WITHIN THE SPECIFIED TIME FRAME.

3. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.

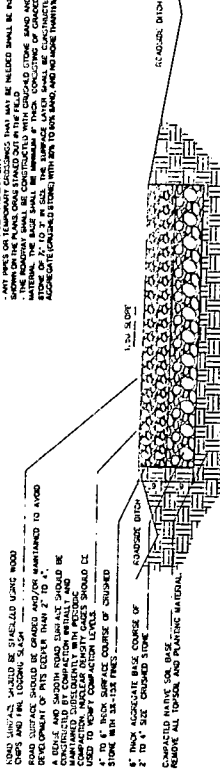
4. ALL CONCRETE SHALL BE FINISHED WITH A BROOM-FINISH.

GENERAL NOTES FOR GRAVEL DRIVEWAYS

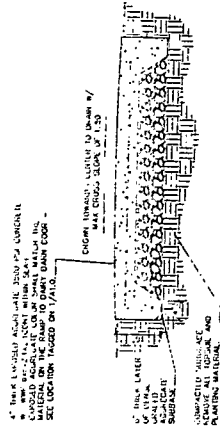
1. ALL GRAVEL SHALL BE 3/4\"/>



TYP WALKWAY EXPANSION JOINT SECTION



7 TYP GRAVEL DRIVEWAY SECTION



2 TYP WALKWAY SECTION

187

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Montgomery County Department
of Park and Planning,
8888 Burnet Ave.,
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**ZEIGLER
HOUSE**
25321 FREDERICK RD,
CLARKSBURG, MD 20871

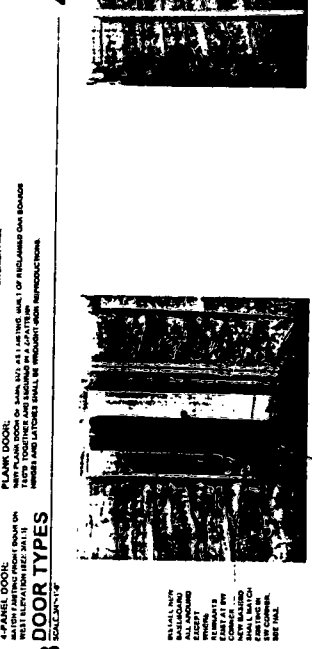
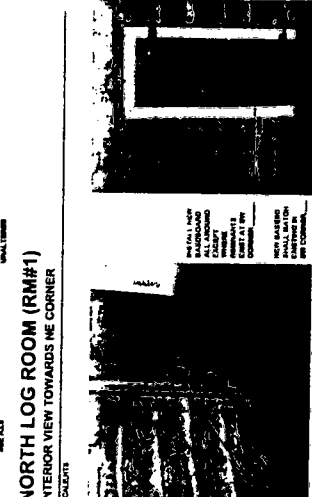
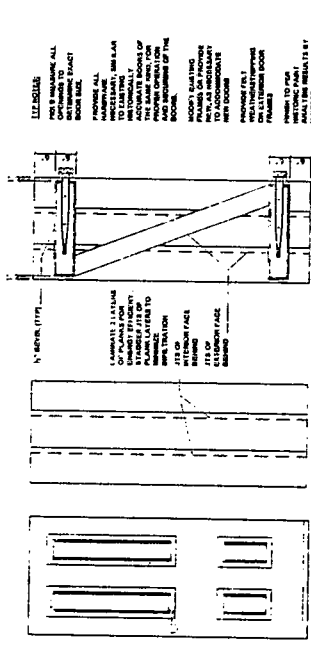
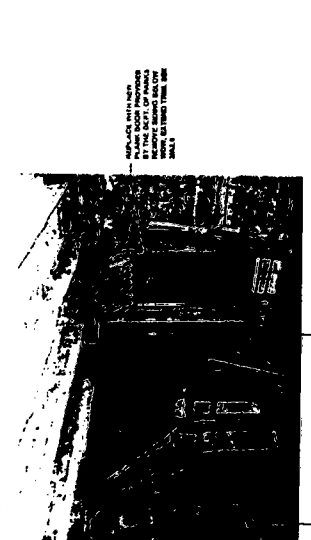
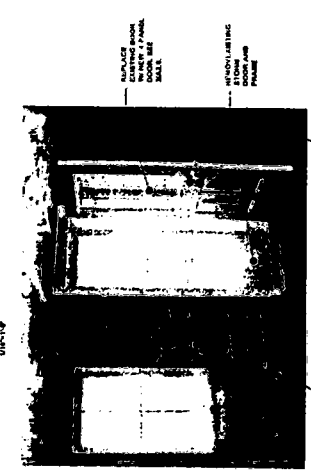
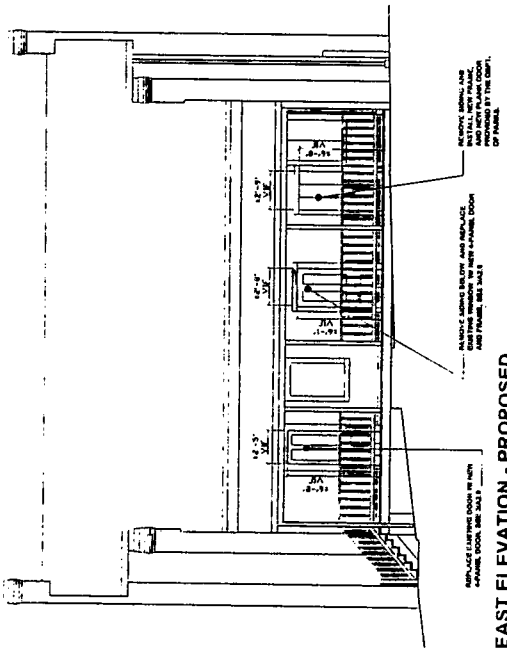
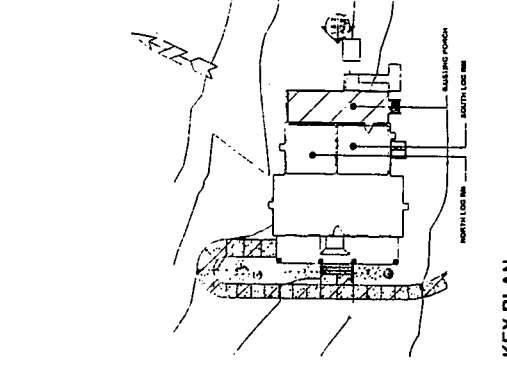
REVISIONS

NO.	DATE	DESCRIPTION

**ALTERATIONS TO
THE LOG ROOMS**

DATE 9/24/10
SCALE AS NOTED

A2.0



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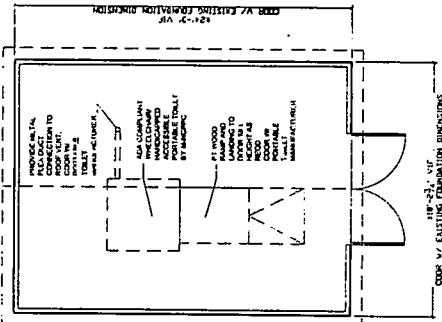
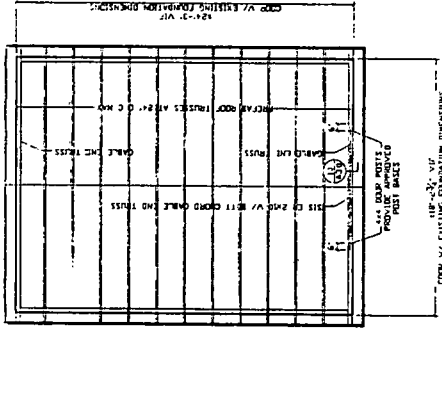
**The
Maryland-National
Capital Park and
Planning Commission**
Montgomery County Department
of Park and Planning,
1500 Brunnet Ave.,
Shrewsbury, MD 20861

**ZEIGLER
HOUSE**
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CLARKSBURG, MD 20871

REVISIONS
DATE: 9/21/10
SCALE: AS NOTED

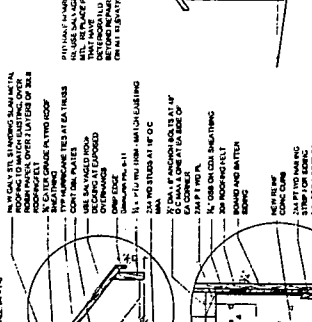
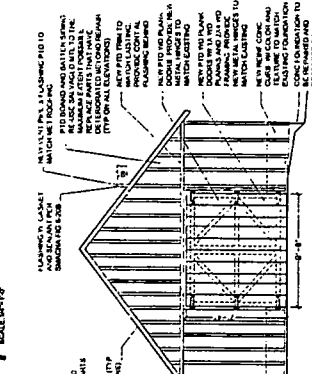
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**RECONSTRUCTION
OF EXISTING
GARAGESHED**



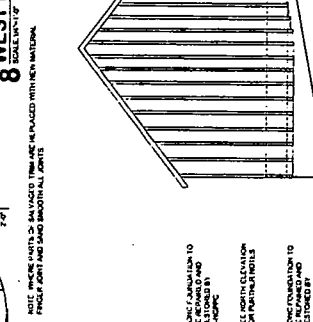
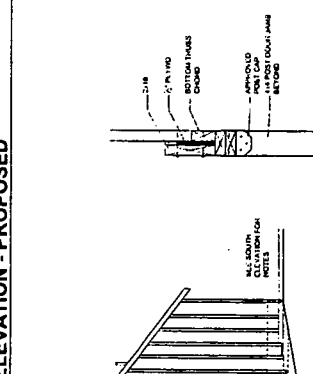
7 ROOF FRAMING PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

4 PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



8 WEST ELEVATION - PROPOSED
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5 SECTION - PROPOSED
SCALE: 1/4" = 1'-0"



FRAMING SECTION
SCALE: 1/4" = 1'-0"

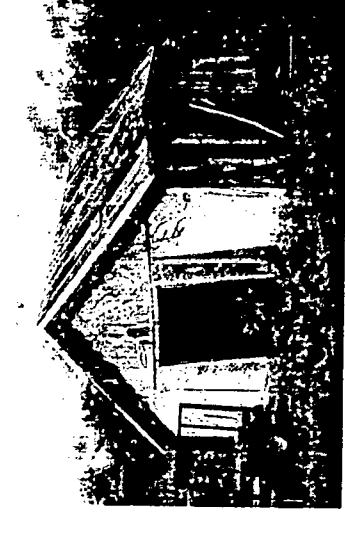
9 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

6 SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

3 NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FROM THE COUNTY AND STATE DEPARTMENTS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE APPLICABLE AGENCIES.

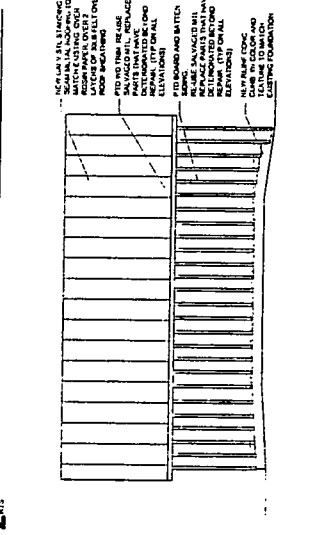
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1 EXISTING VIEW FROM SOUTH-WEST
SCALE: AS SHOWN



2 EXISTING VIEW FROM NORTH-WEST
SCALE: AS SHOWN



REVISIONS	DATE	BY

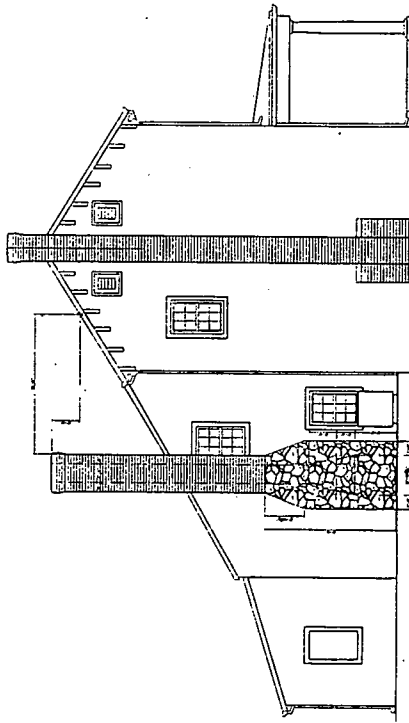
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FIREPLACE**

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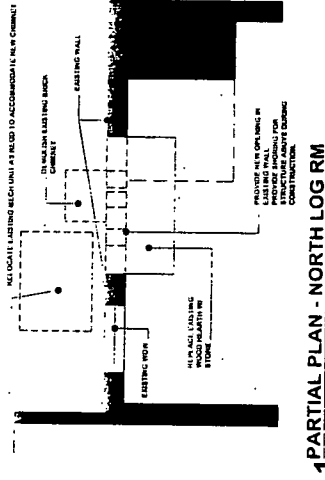
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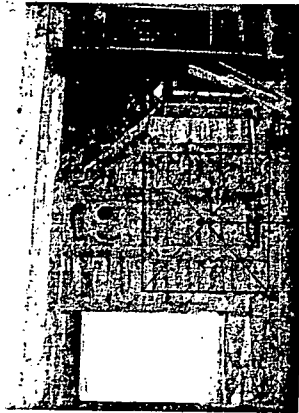
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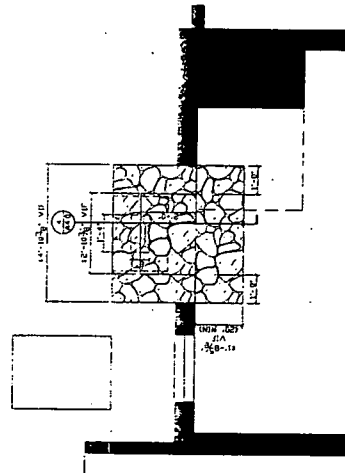
7 NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



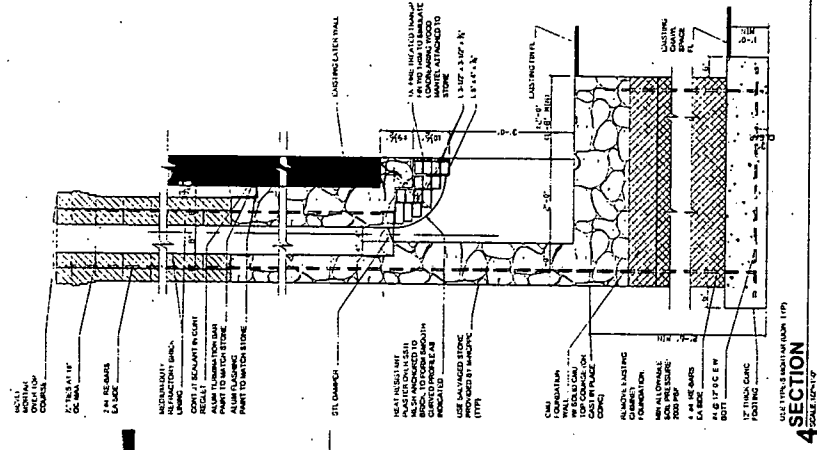
1 PARTIAL PLAN - NORTH LOG RM
SCALE: 1/4" = 1'-0"



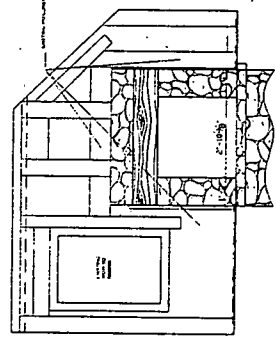
2 INTERIOR ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"



3 PARTIAL PLAN - NORTH LOG RM
SCALE: 1/4" = 1'-0"



4 SECTION
SCALE: 1/4" = 1'-0"



5 INTERIOR ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

21

CULTURAL RESOURCES STEWARDSHIP - Wayside Interpretive Signage

Web Address - 100% WHITE
 - 30 pt. Adobe Garamond Pro
 - Do not use "www." in address.
 - Capitalize the individual words in the address

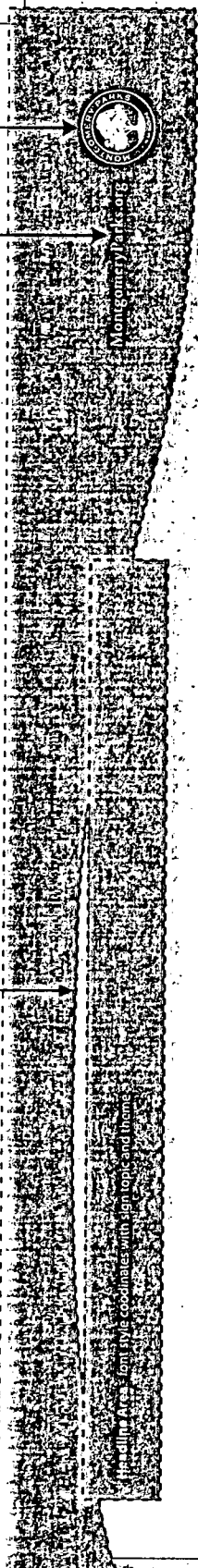
Background Title Swoop
 - 3/8" bleed
 - 100% fill = C 80 / M 90 / Y 100 / K 30

Parks Logo

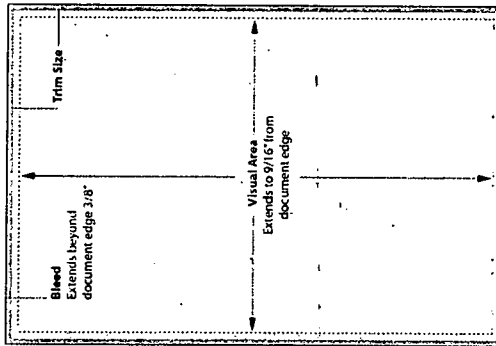
- Foreground = 100% WHITE
 - Background color matches the swoop color

Logo Height = 1.75"

Minimum Frame Clearance = 1"



Panel Layout for NPS Old Style Base



Bleed = 3/8"
 Bleed refers to the edge of an image that overlaps the final trim size by a specified amount to ensure that background images and colors extend to the edge of the finished panel. Whether using Adobe Illustrator or Adobe InDesign, please set your bleed size to be 3/8" (3.75) larger than the final size of the image. Our software allows you to do this using the "Print" dialog box. In Adobe InDesign, this can be set using the Document Setup dialog box.

Document Size = Trim Size (16" x 24")
 The trim size is the actual size the panel will be when it is cut and delivered. Please set the document size to be the same as the final trim size; this ensures that we know the exact dimensions of the artwork by looking at the size of the document.

Visual Area = 1/2" frame around the perimeter of the panel
 The Visual Area is the "safe" region inside the margins of the trimmed panel where text and graphics can be placed without being obscured by the frame of the base unit. Montgomery Parks uses the Old Style bases, which has a 1/2" frame around the perimeter of the panel, securing it on all four sides.

Color Specifications for Interpretive signs



Cultural Resources Brown
 C 80 / M 90 / Y 100 / K 30



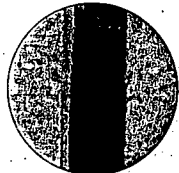
Parks & Nature Green
 C 100 / M 0 / Y 91 / K 42
 [CYMK match to Pantone PMS 349]



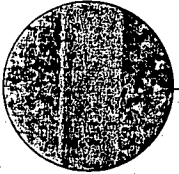
INTERPRETIVE WAYSIDE EXHIBIT

Outdoor exhibits are one of the most economical and effective ways to interpret the places and events that make parks special. Because they are located outdoors, close to the features they explain, waysides answer the questions visitors have, when and where they have them. By providing immediate information, wayside exhibits make visitors' experiences more meaningful and much more rewarding. Because NPS interpretive wayside exhibits use hardware that is part of the Visitor Information Sys-

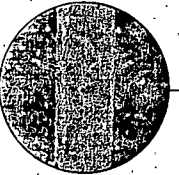
tem, parks should purchase them from the Servicewide sign contractor (Bunting Graphics, Inc.) as required. The contract with Bunting also includes wayside planning and design as an option. Parks may also work with staff at Harpers Ferry Center, do the work themselves, or arrange (with HFC's assistance or independently) to contract with professional design firms. HFC can also provide assistance in wayside production management.



Painted NPS Brown (Steel or Aluminum)

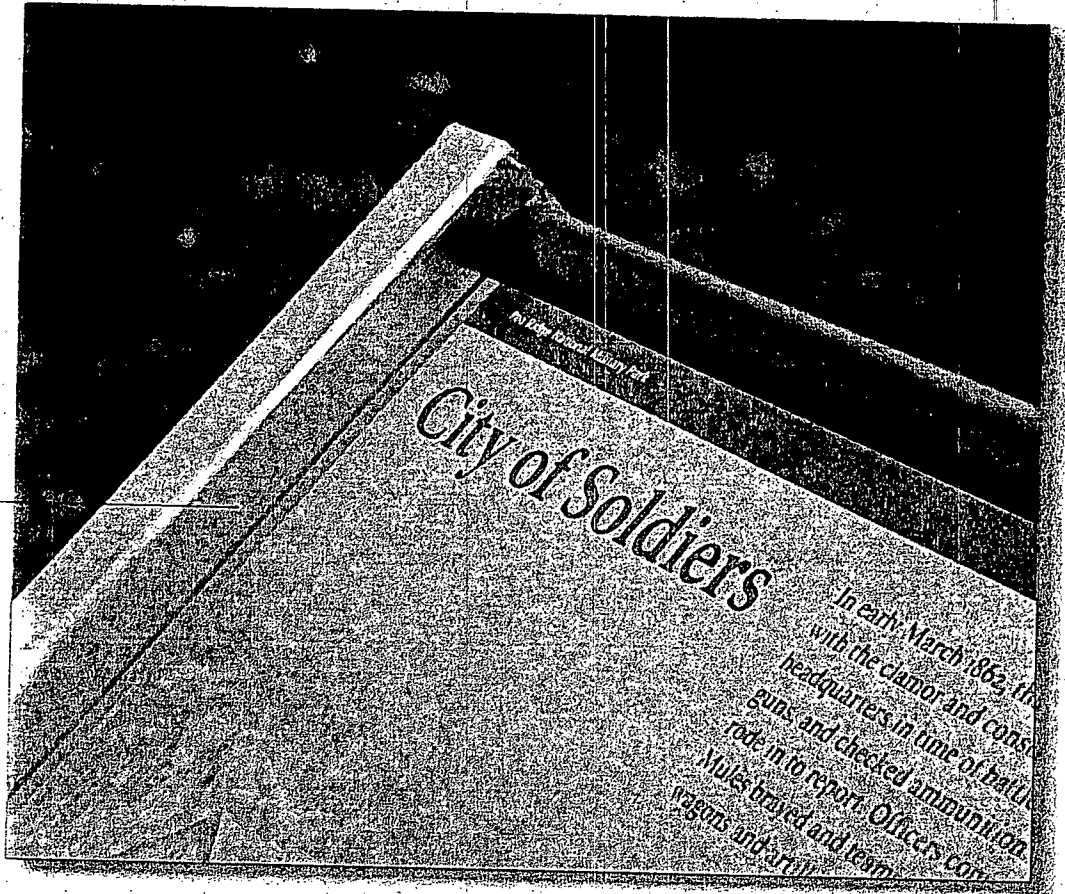


Weathering Steel

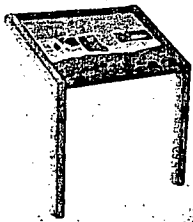


Galvanized Steel

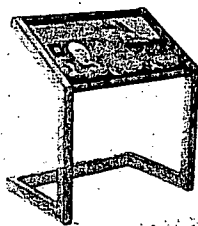
Structural Posts are available in two metals and three standard finishes. The material and finish appropriate for a specific sign depends primarily on the sign's purpose and its location. A painted post (either steel or aluminum) may be a good choice for an urban site; weathering steel is suitable for many forested or desert environments; galvanized steel is very durable in coastal areas.



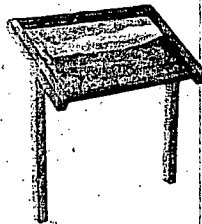
Wayside Base Styles



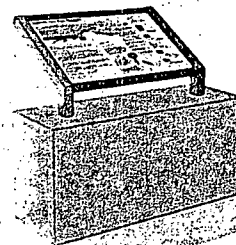
Reverse Angle



Sled Base Reverse Angle



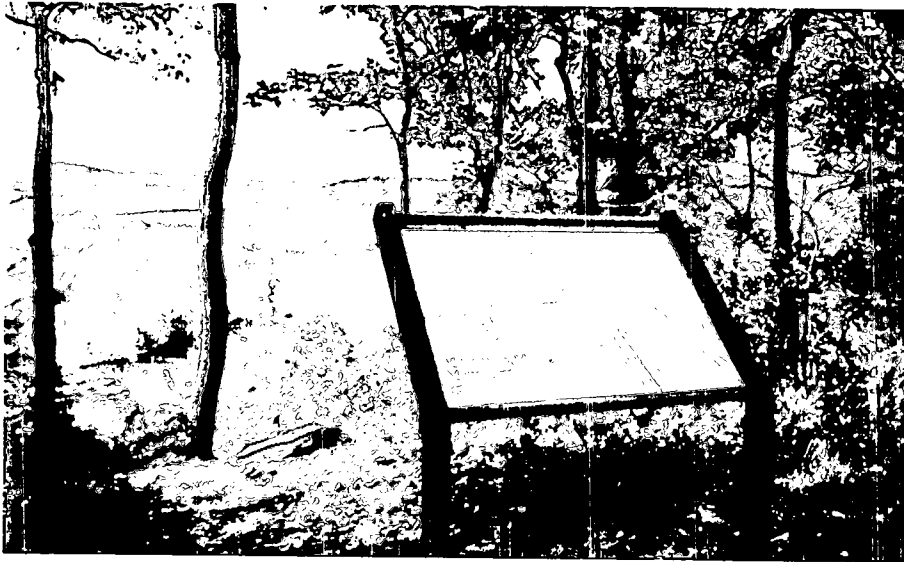
Traditional



Custom Masonry or Railing Mount

Wayside base hardware comes in several styles designed to suit various site conditions. Although new hardware has been introduced, the overall appearance of the bases is very similar to those present in many parks.

INTERPRETIVE WAYSIDE EXHIBIT



Panel Materials

Wayside panels may be fabricated in several materials, each with strengths and weaknesses. Porcelain enamel, which is made by fusing ground glass to steel sheets at very high temperatures, is quite beautiful and durable but requires a high initial investment. There are many panel options that utilize high resolution digital output. High Pressure Laminate panels are formed when digital output is fused between layers of thermosetting resins under extreme heat and pressure. Fiberglass embedment panels are also processed with digital output which is cured in a resin and fiberglass mix. A third digital option, fused polycarbonate panels, are fabricated with proprietary chemistry, pressure and heat which results in a beautiful panel with excellent impact and UV resistance. Since the material base is polycarbonate, the panels do not bow or warp.

Tactile:

The latest addition to Bunting's product offering is the Tactile Interpretive Panel. This panel is manufactured using a thermoforming process. The end result is a solid, single piece panel for use indoors and out. The tactile panel has received a positive response from all audiences.



Tactile Panel Features

Weather and UV Resistant

Panel graphics and raised areas are integral to the panel and cannot be picked off.

Meets ADA specifications for tactile lettering – Greatly enhances the park experience for visitors with low vision.

Multi-level relief sections on panels allow visitors to distinguish between featured subject matter on a panel.



Typical Panel Sizes



6" x 12"



18" x 18"



24" x 18"



24" x 24"



36" x 24"



42" x 24"

Interpretive waysides may be fabricated in a range of sizes. The most common ones are shown at left. Perhaps the size most frequently used is 36" x 24", which is the proportion of the three samples shown above.

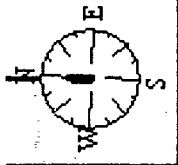
For More Information

To learn more about interpretive wayside exhibits, visit either www.nps.gov/hfc/products/waysides or www.hfc.nps.gov/uniguide. The first site is especially helpful in learning more about the process of planning and designing waysides.

To Order Interpretive Wayside Exhibits

To learn more about Interpretive Exhibits, visit the Bunting Graphics website at nps.buntinggraphics.com or call Liz Gamelier at 412-820-2200, x257.

24



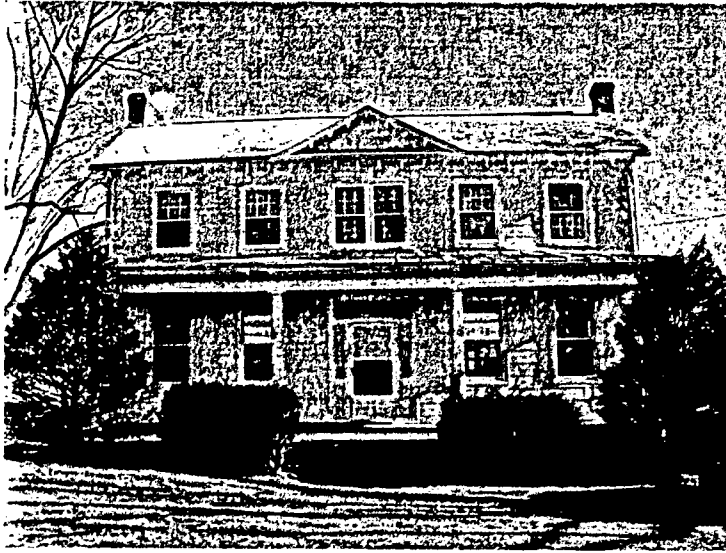


Image 1: West (Front) Elevation of the Zeigler House. The main house likely was constructed in the 1850s, and was attached to the older ca. 1823 one-and-a-half-story log house. (Log house dated by dendrochronology.)

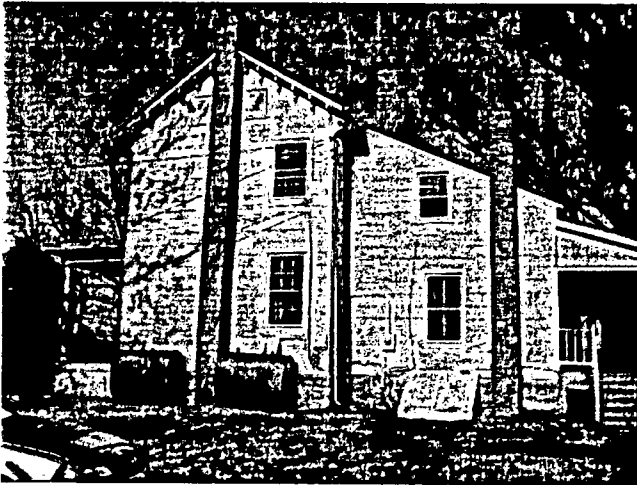


Image 2: Current asbestos siding, as seen here on the South (side) wall of the Zeigler House, will be removed to reveal original horizontal wood siding (clapboard and novelty) that exists underneath.



Image 3: Failing concrete front steps (West elevation) that will be replaced in kind.



Image 4: The front porch (West elevation) where a new walkway with a shallow, ADA-compliant ramp will be constructed to allow for easier access to the house by all patrons.



Image 5: East (Rear) Elevation of the Zeigler House. The back porch can welcome visitors into the older one-and-a-half-story log house.

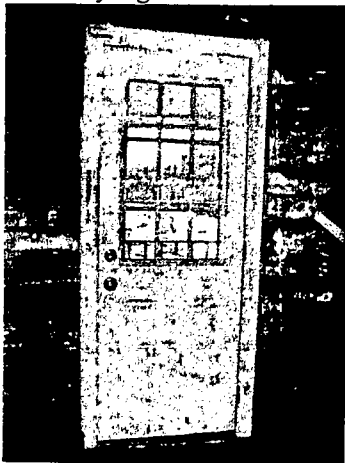


Image 6: Interior view of modern door located on the east (rear) elevation that will be replaced with a new, four-panel Greek Revival era-type door based on field investigation that such a door would have been added to the log structure in the Zeigler period (post 1854) and in the Greek Revival style.



Image 7: Interior view of original Greek Revival front door found on the west (front) elevation of the Zeigler House. This door panelling (and that of similar doors in main block of house) will serve as the model for several new doors.

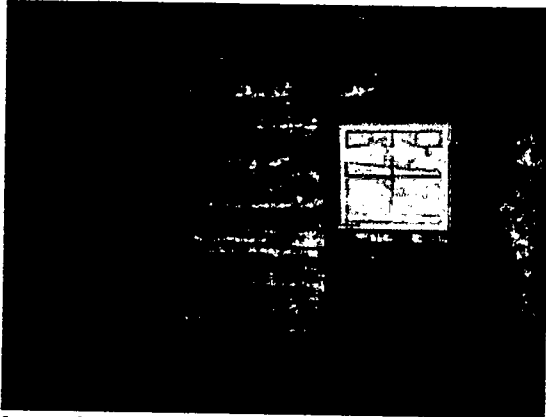


Image 8: Interior view of east log wall with multi-light window on right that will be restored to a door opening (with Greek Revival four-panel door to match the one that exists directly across from it on opposite side of log room). On left, original door opening will be restored and fitted with a plank door based on nail dating and riven lath showing such door predated 1840.

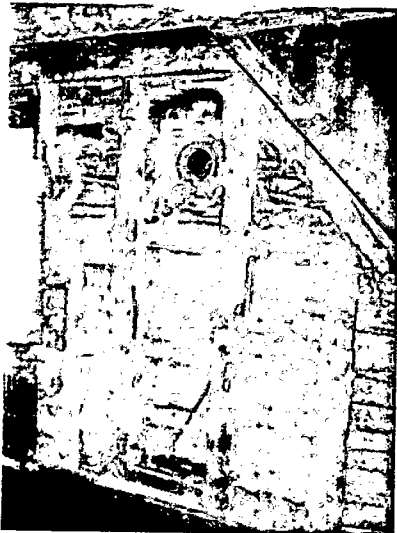


Image 9: Evidence of original location on the north wall for the interior fireplace and hearth of the log house.



Image 10: North elevation showing where new period-type chimney made of salvaged brick and stone will replace rear chimney on log section of house. AC unit has already been moved.



Images 11 and 12: Photos of similar exterior stone chimneys with brick stacks from structures of the first half of the 19th century. Such stacks that will be recreated at the Zeigler House. Left: Perry Browning House (dendro dated to 1816); Right: the Josiah Henson Historic Site (log wing dendro dated to 1850).

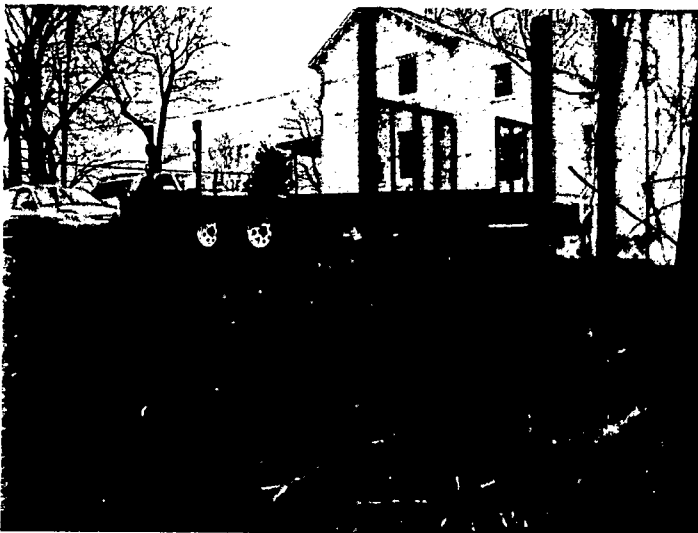


Image 13: Location of an ADA compliant handicapped parking space in front of the garage and directly south of the rear log portion of the house.

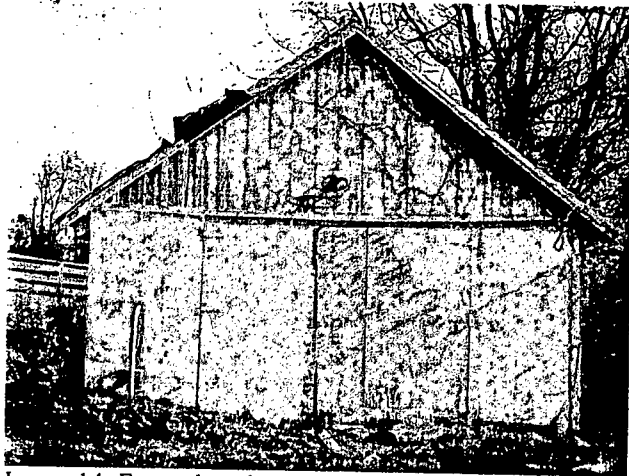


Image 14: Front elevation of the garage (likely 2nd quarter, 20th century) with non-original doors, board-and-batten siding, and metal roofing.



Image 15: Side elevation of garage showing deteriorating roof and subroofing and rotting wood wall planks.



Image 16: Rear elevation of garage showing damage of volunteer tree growth prior to Parks' staff occupation of site.



Image 17: Surrounding vegetation growth has compromised the structural stability of the garage.

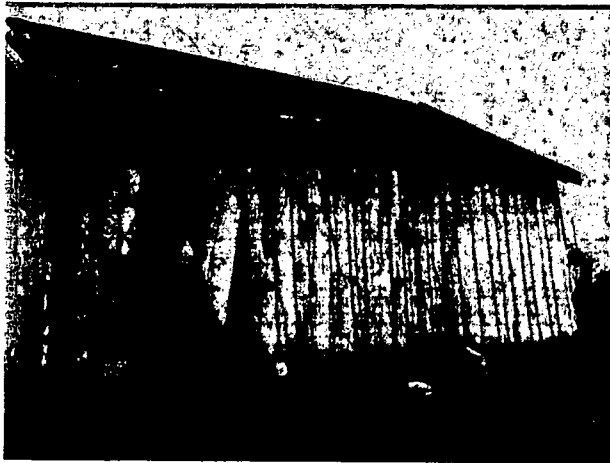


Image 18: Garage showing structural damage to side wall due to building no longer resting in alignment on foundation.

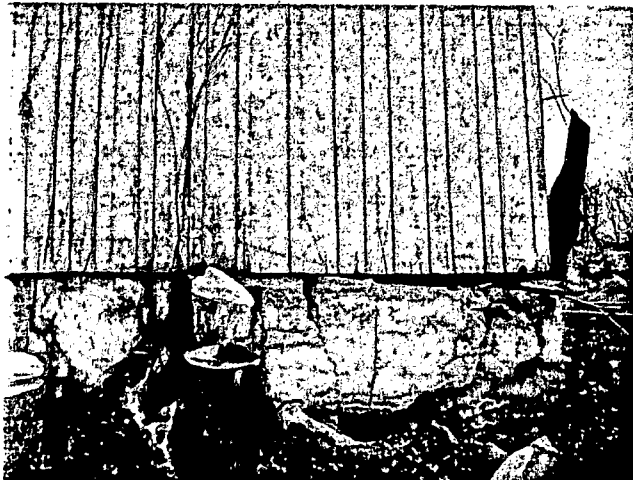


Image 19: Evidence of tree growth through garage foundation that has separated the frame building from its poured concrete foundation.



Image 20: Remnants of the original gravel farm road that leads to the dairy barn. The remaining gravel will be augmented with new gravel to match. This driveway will lead to a parking lot with 11 spaces, one of which is allocated to handicapped vehicles.

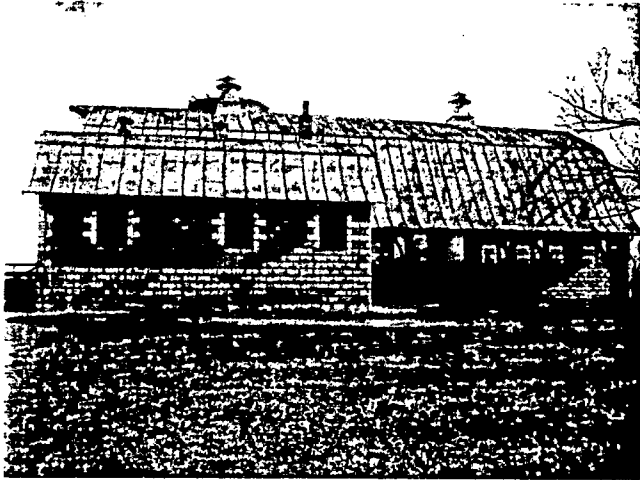


Image 21: View of Zeigler Dairy Barn (1930s-40s) with barn and milk house. Parks Central Maintenance has recently repaired structural cracks at milk house corner. No work planned other than routine maintenance.



Image 22: Zeigler Bank Barn. No work planned other than routine maintenance.



Image 23: Interpretive signage at the Red Door Store. A similar sign placement will occur at the Zeigler property. To retain the designated building's setting, the panel was placed in front of the parking lot, at a safe distance from the old store.

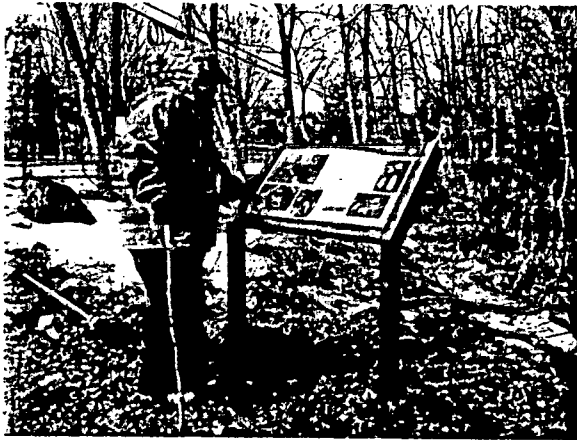
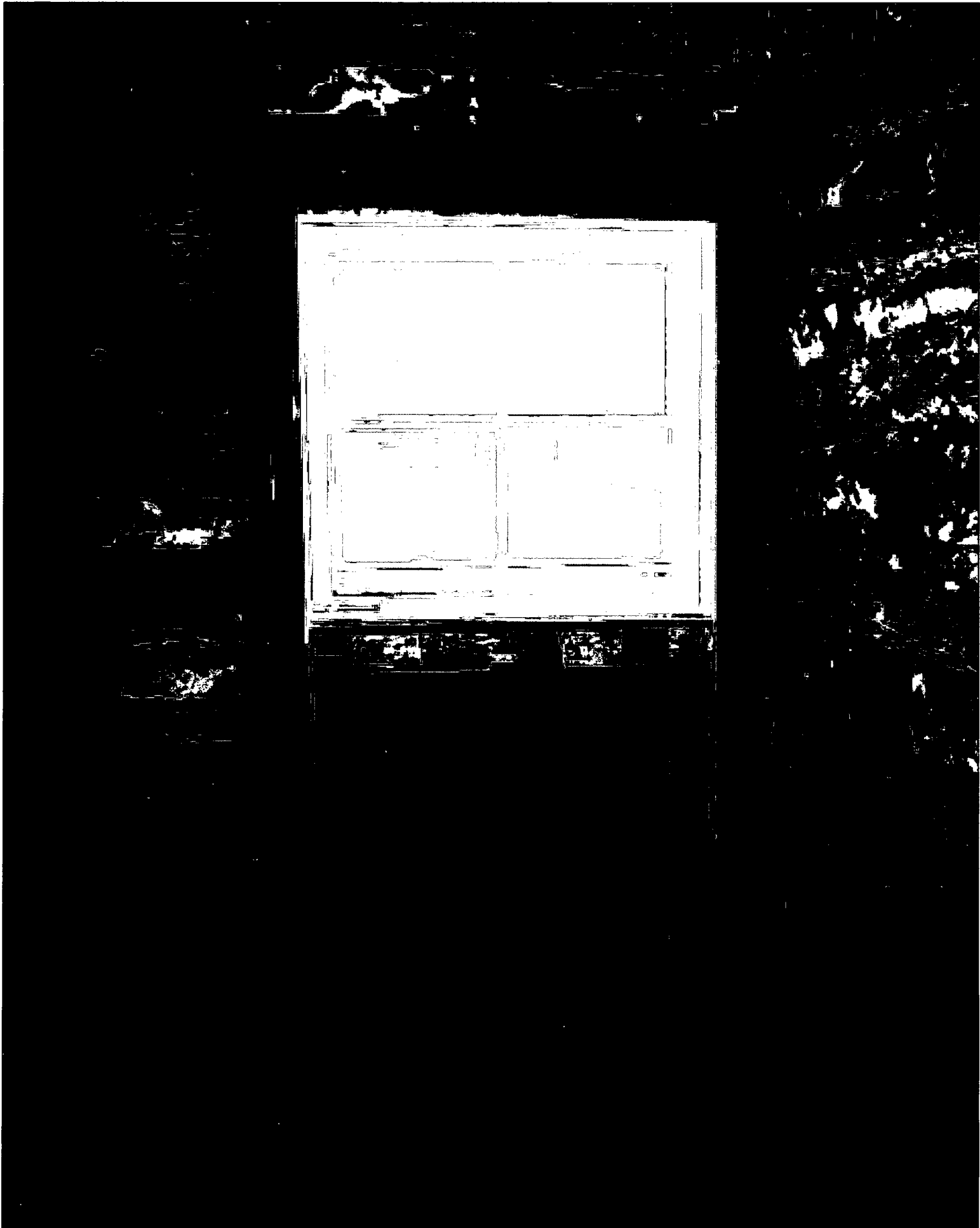


Image 24: All interpretive panels, including future panels proposed for Zeigler Log House, are displayed at a 45 degree angle to allow for optimal viewership by all patrons. Posts are anchored by quick-set cement, but can be removed and relocated if necessary.



Image 25: All interpretive signage produced by Montgomery County Parks follows a standard template that includes our logo and appropriate websites, and content is to promote stewardship of cultural and natural resources by our patrons.



**Zeigler Tree Survey
Conducted May 20, 2010
Carole Bergmann
301-962-1348**

1. Silver Maple	39.5" dbh @ 4.5'	multiple trunks
2. Red Maple	29.5"	multiple trunks, tap dead
3. Silver Maple	33.5"	dead limbs hacked off
4. Silver Maple	21.5"	multiple trunks, top dead
5. Silver Maple	26.25"	multiple trunks
6. Silver Maple	32.25"	multiple trunks
7. Silver Maple	60.25"	multiple trunks, limbs missing
8. Silver Maple	36.33"	multiple trunks, limbs missing
9. Silver Maple	40.75"	multiple trunks, dead limbs at top
10. Silver Maple	32"	multiple trunks
11. Tulip Poplar	33.5"	multiple trunks
12. Silver Maple	37.25"	multiple trunks
13. Tulip Poplar	28.25"	low split bark



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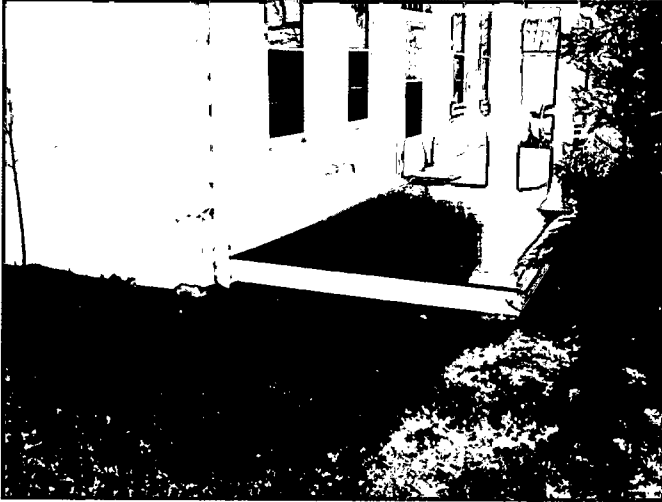


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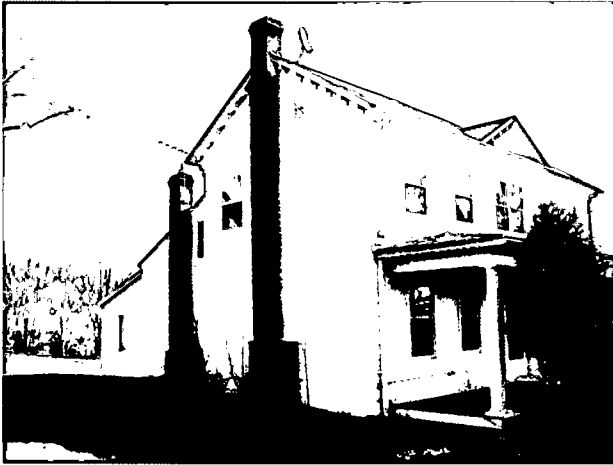


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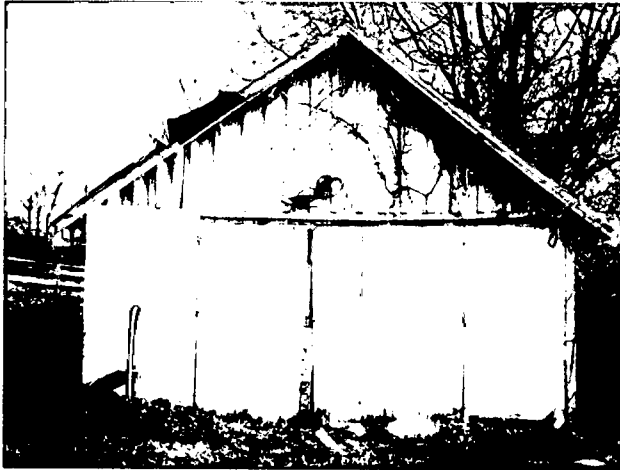


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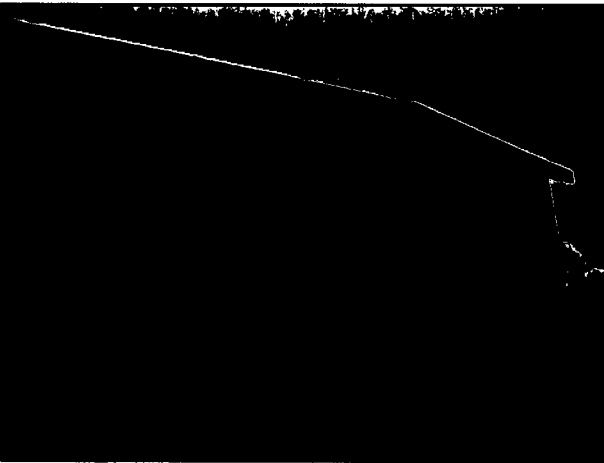


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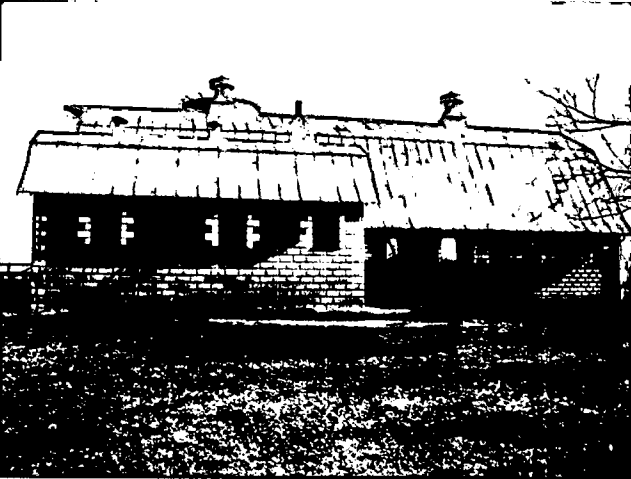


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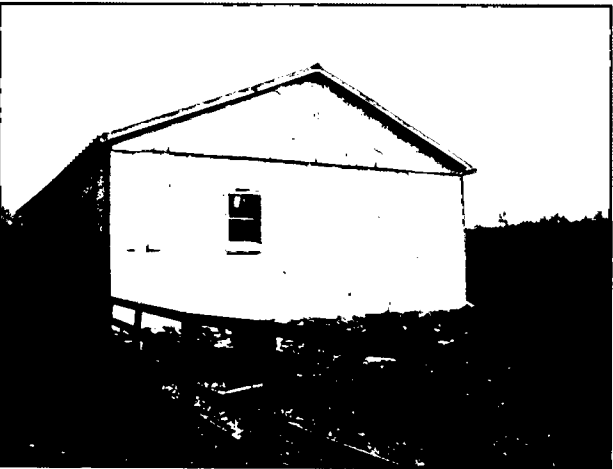


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CULTURAL RESOURCES STEWARDSHIP - Wayside Interpretive Signage

Web Address - 100% WHITE
 - 30 pt. Adobe Garamond Pro
 - Do not use "www." in address.
 - Capitalize the individual words in the address

Background Title Swoop
 - 3/8" bleed
 - 100% fill = C 80 / M 90 / Y 100 / K 30

Parks Logo
 - Foreground = 100% WHITE
 - Background color matches the swoop color

Logo Height = 1.75"

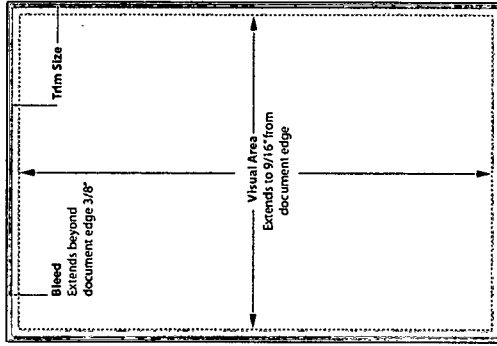
Headline Area - font style coordinates with sign top and theme

Montgomery Parkscorp



Minimum Frame Clearance = 1"

Panel Layout for NPS 'Old Style' Base



Bleed = 3/8"
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Document Size = Trim Size [36"x24"]
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Color Specifications for Interpretive signs



Cultural Resources Brown
 C 80 / M 90 / Y 100 / K 30



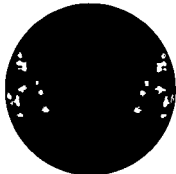
Parks & Nature Green
 C 100 / M 0 / Y 91 / K 42
 [CYMK match to Pantone PMS 349]

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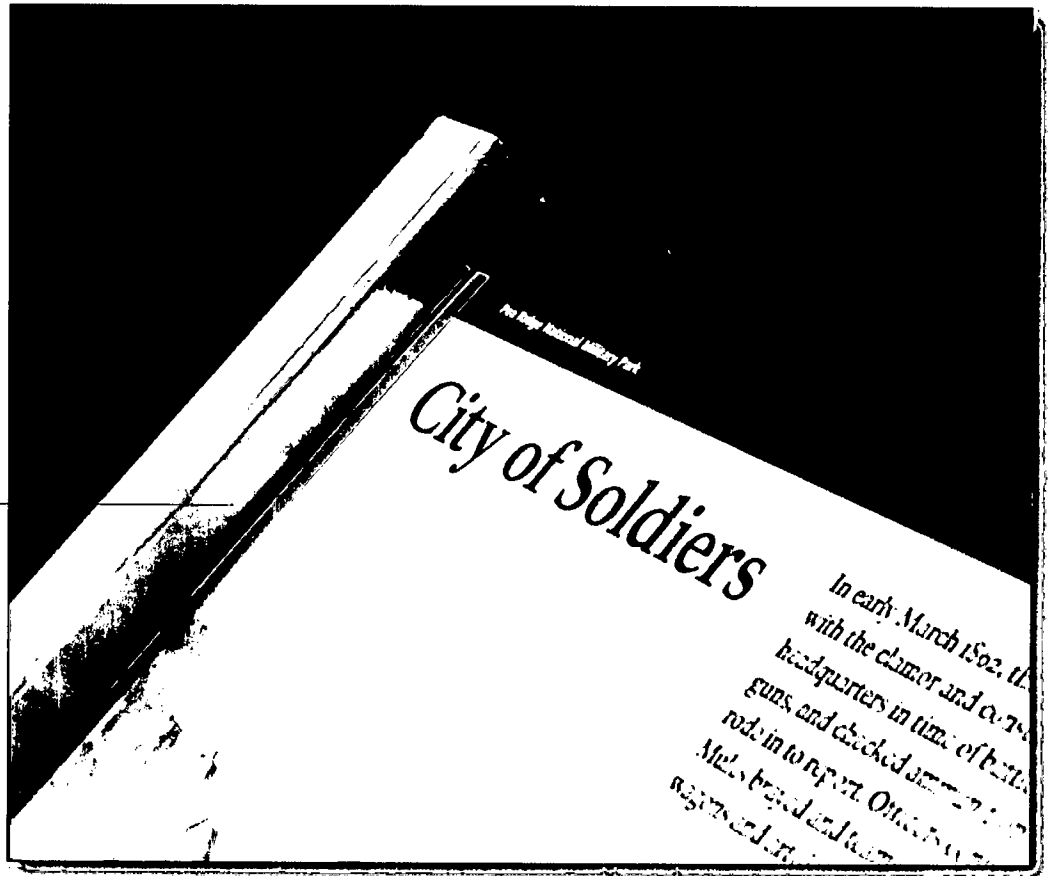


Weathering Steel

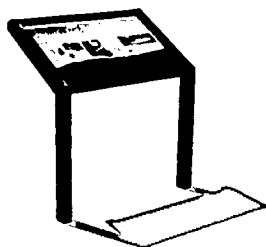


Galvanized Steel

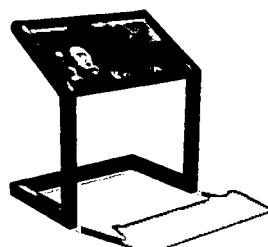
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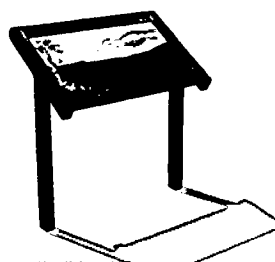
Wayside Base Styles



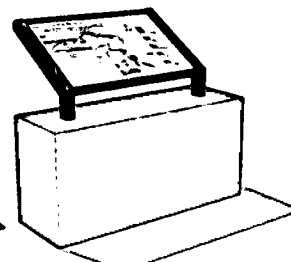
Reverse Angle



Sled Base Reverse Angle

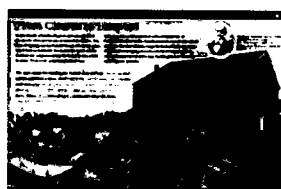
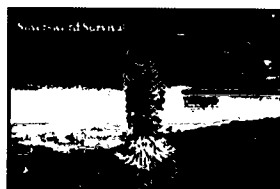


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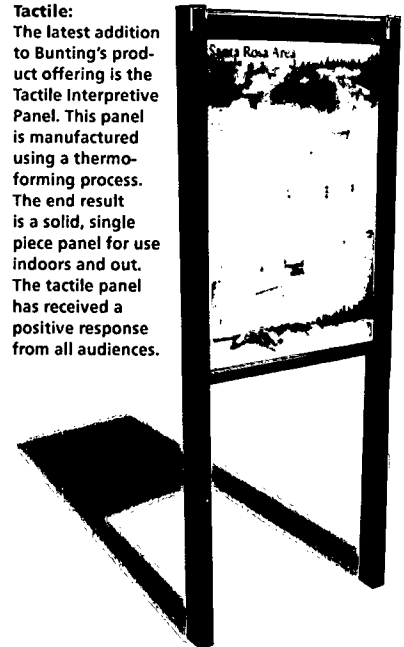


Panel Materials

Wayside panels may be fabricated in several materials, each with strengths and weaknesses. Porcelain enamel, which is made by fusing ground glass to steel sheets at very high temperatures, is quite beautiful and durable but requires a high initial investment. There are many panel options that utilize high resolution digital output. High Pressure Laminate panels are formed when digital output is fused between layers of thermosetting resins under extreme heat and pressure. Fiberglass embedment panels are also processed with digital output which is cured in a resin and fiberglass mix. A third digital option, fused polycarbonate panels, are fabricated with proprietary chemistry, pressure and heat which results in a beautiful panel with excellent impact and UV resistance. Since the material base is polycarbonate, the panels do not bow or warp.

Tactile:

The latest addition to Bunting's product offering is the Tactile Interpretive Panel. This panel is manufactured using a thermoforming process. The end result is a solid, single piece panel for use indoors and out. The tactile panel has received a positive response from all audiences.



Tactile Panel Features

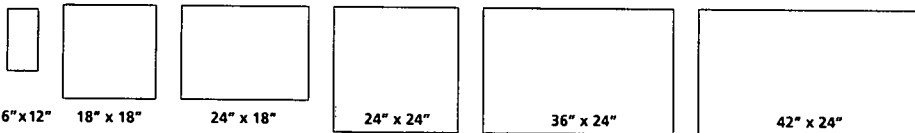
Weather and UV Resistant

Panel graphics and raised areas are integral to the panel and cannot be picked off.

Meets ADA specifications for tactile lettering – Greatly enhances the park experience for visitors with low vision.

Multi-level relief sections on panels allow visitors to distinguish between featured subject matter on a panel.

Typical Panel Sizes



Interpretive waysides may be fabricated in a range of sizes. The most common ones are shown at left. Perhaps the size most frequently used is 36" x 24", which is the proportion of the three samples shown above.

For More Information

To learn more about interpretive wayside exhibits, visit either www.nps.gov/hfc/products/waysides or www.hfc.nps.gov/uniguide. The first site is especially helpful in learning more about the process of planning and designing waysides.

To Order Interpretive Wayside Exhibits

To learn more about Interpretive Exhibits, visit the Bunting Graphics website at nps.buntinggraphics.com or call Liz Gamelier at 412-820-2200, x257.

NOA

**Architecture
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Interiors**

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Bethesda, MD 20814
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Fax: (301) 951 7934
E-Mail: info@noarchitects.com
www.noarchitects.com

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**The
Maryland-National
Capital Park and
Planning Commission**
Montgomery County Department
of Park and Planning,
9500 Brunnet Ave.,
Silver Spring, MD 20901

**ZEIGLER
HOUSE**

25321 FREDERICK RD,
CLARKSBURG, MD 20871

APPROVED
Montgomery County
Historic Preservation Commission

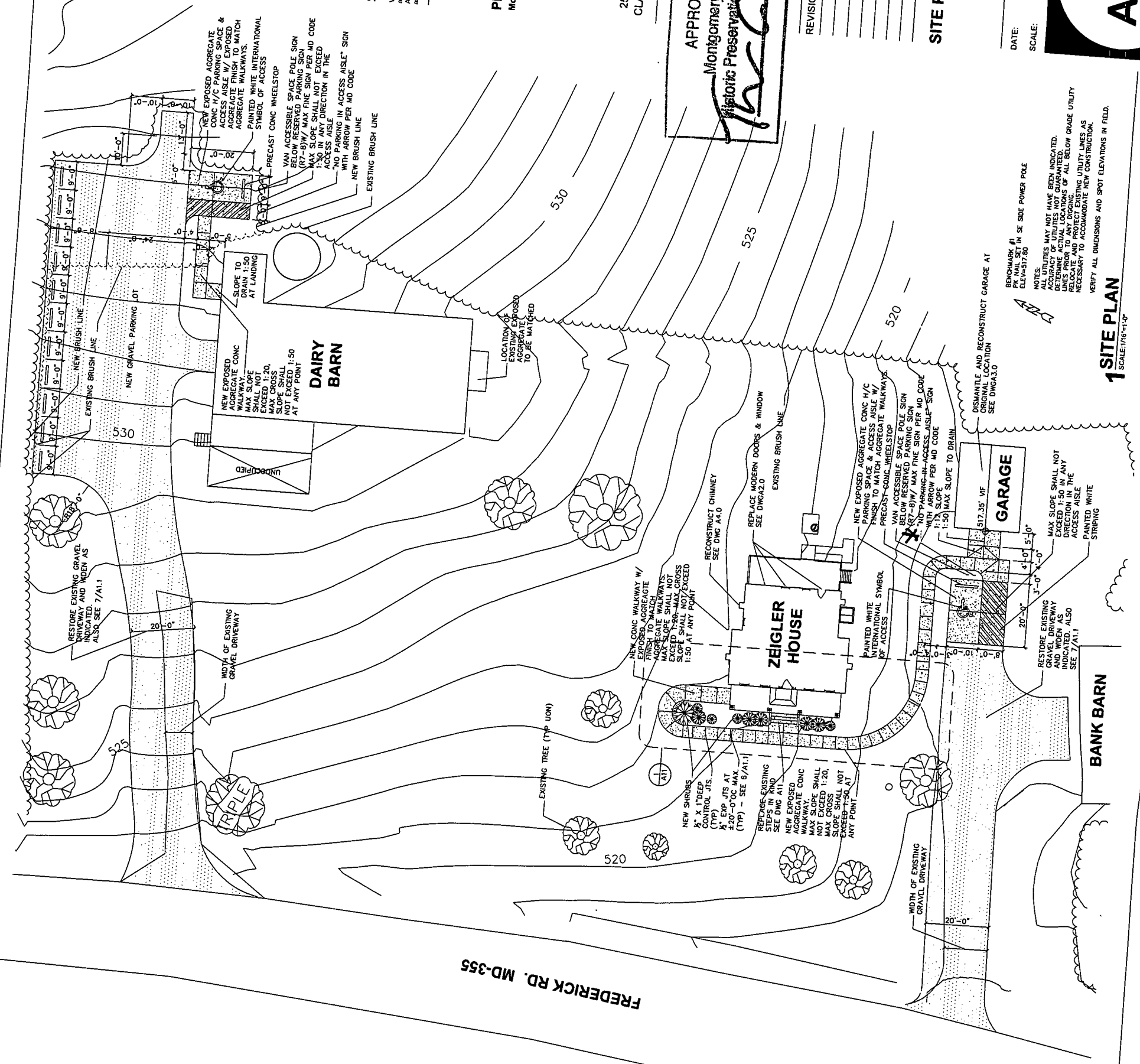
[Signature]
12/22/11

REVISIONS

SITE PLAN

DATE: 9.24.10
SCALE: AS NOTED

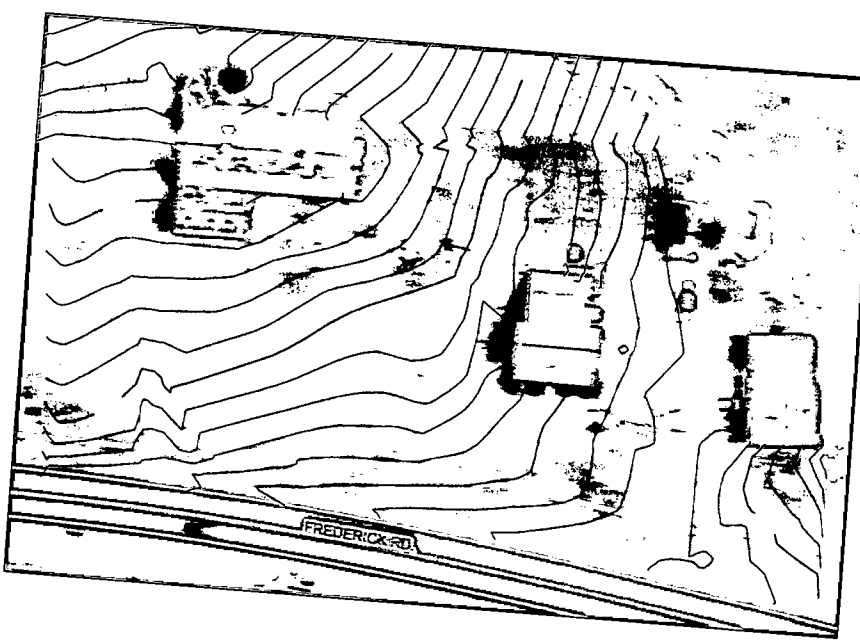
A1.0



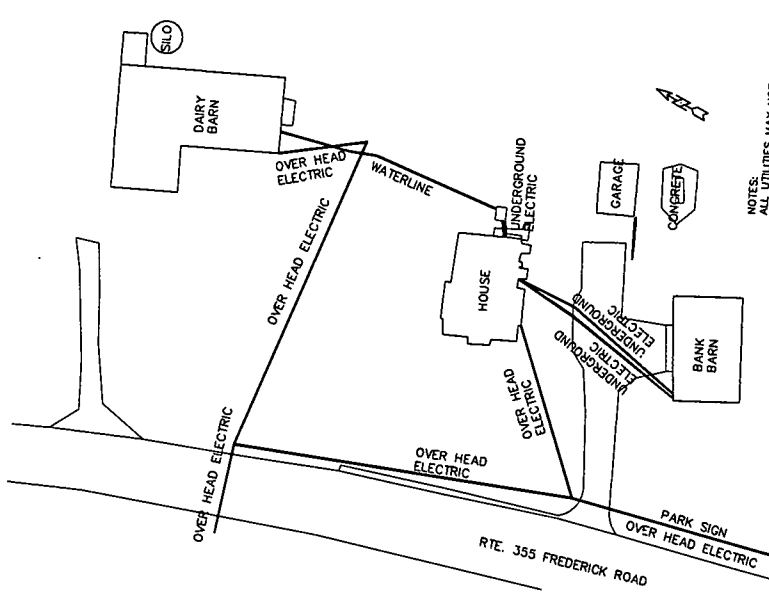
1 SITE PLAN
SCALE: 1/8"=1'-0"

NOTES:
ALL UTILITIES MAY NOT HAVE BEEN INDICATED. DETERMINE ACTUAL LOCATION OF ALL BELOW GRADE UTILITY LINES PRIOR TO ANY CONSTRUCTION. RELOCATE AND PROTECT EXISTING UTILITY LINES AS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION. VERIFY ALL DIMENSIONS AND SPOT ELEVATIONS IN FIELD.

* PROPOSED INTERPRETIVE SIGN LOCATION; 2 IN TOTAL

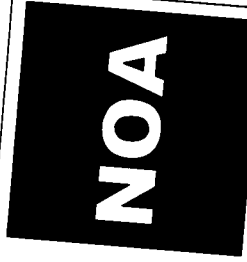


2 AERIAL VIEW OF EXISTING SITE
W/ EXISTING CONTOURS
SUPERIMPOSED



3 EXISTING SITE UTILITIES
SCALE: 1/320

NOTES:
ALL UTILITIES MAY NOT HAVE BEEN INDICATED. DETERMINE ACTUAL LOCATION OF ALL BELOW GRADE UTILITY LINES PRIOR TO ANY CONSTRUCTION. RELOCATE AND PROTECT EXISTING UTILITY LINES AS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION. VERIFY ALL DIMENSIONS AND SPOT ELEVATIONS IN FIELD.



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**The
Maryland-National
Capital Park and
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Montgomery County Department
of Park and Planning,
9500 Brunett Ave.,
Silver Spring, MD 20901

**ZEIGLER
HOUSE**

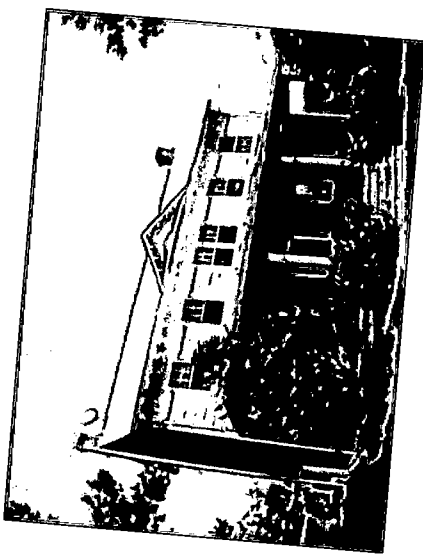
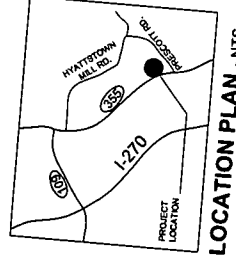
25321 FREDERICK RD,
CLARKSBURG, MD 20871

The Historic ZEIGLER HOUSE

25321 FREDERICK RD,
CLARKSBURG, MD 20871

OWNER:
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

OWNER CONTACT:
MS. JOEY LAMPL,
MANAGER,
MNCPPC, MONTGOMERY COUNTY
DEPARTMENT OF PARKS, PARK
PLANNING AND STEWARDSHIP
DIVISION,
1109 SPRING STREET, SUITE 800,
SILVER SPRING, MARYLAND 20910
301-563-3414



CODE ANALYSIS :

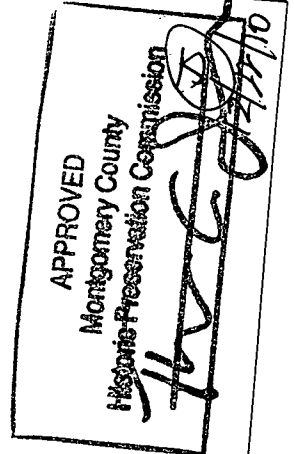
BASIC APPLICABLE CODES:
2005 MARYLAND BUILDING REHABILITATION CODE
COMA NFPA 101
COMA 16.02.022

USE GROUP	ZEIGLER HOUSE	GARAGE
TYPE OF CONSTR	A3 - MUSEUM (LOG ROOMS)	U
NO. OF STORES	: 2	58
TOTAL FIRST FLOOR AREA	: 11,904 SF	442 SF
AREA OF WORK	: 442 SF	442 SF
AUTOMATIC SUPPRESSION	: NO	NO

ZEIGLER HOUSE IS LISTED IN THE "MARYLAND NATIONAL HISTORIC TRUST INVENTORY OF HISTORIC PROPERTIES"
NO MECHANICAL PLUMBING OR ELECTRICAL WORK IS PROPOSED
NO NEW FENCE IS PROPOSED

LIST OF DRAWINGS :

- A0.0 COVER SHEET
- A0.1 GENERAL SPECIFICATION NOTES
- A1.0 SITE PLAN
- A2.0 ALTERATIONS TO THE LOG ROOMS
- A3.0 RECONSTRUCTION OF EXISTING GARAGE/SHED
- A4.0 STONE FIREPLACE



DATE: 9.24.10
SCALE: AS NOTED

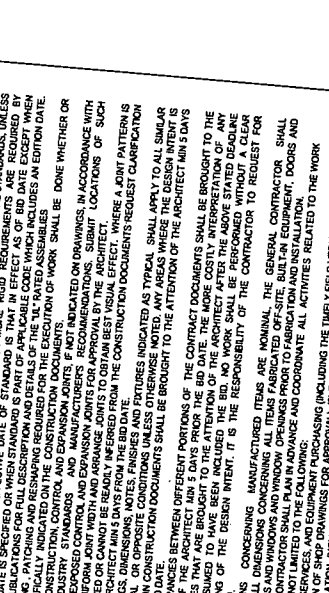
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GENERAL NOTES

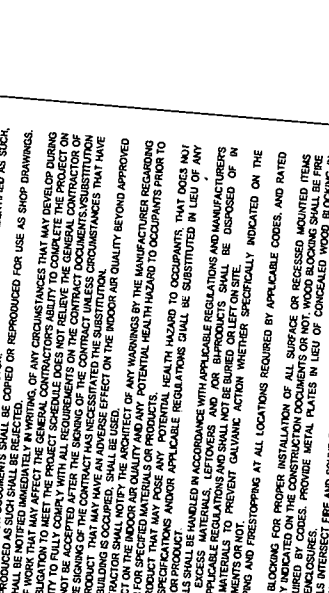
ALL WORK SHALL COMPLY WITH ALL APPLICABLE LAWS, CODES, ORDINANCES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION INCLUDING BUT NOT LIMITED TO THE MARYLAND NATIONAL HISTORIC TRUST INVENTORY OF HISTORIC PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND NOTICES FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND NOTICES FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND NOTICES FROM THE APPLICABLE AGENCIES.

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DRAWING SYMBOLS



MATERIAL SYMBOLS



ABBREVIATIONS

AC	ACCESSORY
AD	ADDENDUM
AE	ADDENDUM
AF	ADDENDUM
AG	ADDENDUM
AH	ADDENDUM
AI	ADDENDUM
AJ	ADDENDUM
AK	ADDENDUM
AL	ADDENDUM
AM	ADDENDUM
AN	ADDENDUM
AO	ADDENDUM
AP	ADDENDUM
AQ	ADDENDUM
AR	ADDENDUM
AS	ADDENDUM
AT	ADDENDUM
AU	ADDENDUM
AV	ADDENDUM
AW	ADDENDUM
AX	ADDENDUM
AY	ADDENDUM
AZ	ADDENDUM
BA	BACKSTOP
BB	BALANCE
BC	BALANCE
BD	BALANCE
BE	BALANCE
BF	BALANCE
BG	BALANCE
BH	BALANCE
BI	BALANCE
BJ	BALANCE
BK	BALANCE
BL	BALANCE
BM	BALANCE
BN	BALANCE
BO	BALANCE
BP	BALANCE
BQ	BALANCE
BR	BALANCE
BS	BALANCE
BT	BALANCE
BU	BALANCE
BV	BALANCE
BW	BALANCE
BX	BALANCE
BY	BALANCE
BZ	BALANCE
CA	CALIBRATION
CB	CALIBRATION
CC	CALIBRATION
CD	CALIBRATION
CE	CALIBRATION
CF	CALIBRATION
CG	CALIBRATION
CH	CALIBRATION
CI	CALIBRATION
CJ	CALIBRATION
CK	CALIBRATION
CL	CALIBRATION
CM	CALIBRATION
CN	CALIBRATION
CO	CALIBRATION
CP	CALIBRATION
CQ	CALIBRATION
CR	CALIBRATION
CS	CALIBRATION
CT	CALIBRATION
CU	CALIBRATION
CV	CALIBRATION
CW	CALIBRATION
CX	CALIBRATION
CY	CALIBRATION
CZ	CALIBRATION
DA	DRAWING
DB	DRAWING
DC	DRAWING
DD	DRAWING
DE	DRAWING
DF	DRAWING
DG	DRAWING
DH	DRAWING
DI	DRAWING
DJ	DRAWING
DK	DRAWING
DL	DRAWING
DM	DRAWING
DN	DRAWING
DO	DRAWING
DP	DRAWING
DQ	DRAWING
DR	DRAWING
DS	DRAWING
DT	DRAWING
DU	DRAWING
DV	DRAWING
DW	DRAWING
DX	DRAWING
DY	DRAWING
DZ	DRAWING
EA	EARTH
EB	EARTH
EC	EARTH
ED	EARTH
EE	EARTH
EF	EARTH
EG	EARTH
EH	EARTH
EI	EARTH
EJ	EARTH
EK	EARTH
EL	EARTH
EM	EARTH
EN	EARTH
EO	EARTH
EP	EARTH
EQ	EARTH
ER	EARTH
ES	EARTH
ET	EARTH
EU	EARTH
EV	EARTH
EW	EARTH
EX	EARTH
EY	EARTH
EZ	EARTH
FA	FLOOR
FB	FLOOR
FC	FLOOR
FD	FLOOR
FE	FLOOR
FF	FLOOR
FG	FLOOR
FH	FLOOR
FI	FLOOR
FJ	FLOOR
FK	FLOOR
FL	FLOOR
FM	FLOOR
FN	FLOOR
FO	FLOOR
FP	FLOOR
FQ	FLOOR
FR	FLOOR
FS	FLOOR
FT	FLOOR
FU	FLOOR
FV	FLOOR
FW	FLOOR
FX	FLOOR
FY	FLOOR
FZ	FLOOR
GA	GRAVEL
GB	GRAVEL
GC	GRAVEL
GD	GRAVEL
GE	GRAVEL
GF	GRAVEL
GG	GRAVEL
GH	GRAVEL
GI	GRAVEL
GJ	GRAVEL
GK	GRAVEL
GL	GRAVEL
GM	GRAVEL
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GS	GRAVEL
GT	GRAVEL
GU	GRAVEL
GV	GRAVEL
GW	GRAVEL
GX	GRAVEL
GY	GRAVEL
GZ	GRAVEL
HA	INSULATION
HB	INSULATION
HC	INSULATION
HD	INSULATION
HE	INSULATION
HF	INSULATION
HG	INSULATION
HH	INSULATION
HI	INSULATION
HJ	INSULATION
HK	INSULATION
HL	INSULATION
HM	INSULATION
HN	INSULATION
HO	INSULATION
HP	INSULATION
HQ	INSULATION
HR	INSULATION
HS	INSULATION
HT	INSULATION
HU	INSULATION
HV	INSULATION
HW	INSULATION
HX	INSULATION
HY	INSULATION
HZ	INSULATION
IA	CONCRETE
IB	CONCRETE
IC	CONCRETE
ID	CONCRETE
IE	CONCRETE
IF	CONCRETE
IG	CONCRETE
IH	CONCRETE
II	CONCRETE
IJ	CONCRETE
IK	CONCRETE
IL	CONCRETE
IM	CONCRETE
IN	CONCRETE
IO	CONCRETE
IP	CONCRETE
IQ	CONCRETE
IR	CONCRETE
IS	CONCRETE
IT	CONCRETE
IU	CONCRETE
IV	CONCRETE
IW	CONCRETE
IX	CONCRETE
IY	CONCRETE
IZ	CONCRETE
JA	BRICK
JB	BRICK
JC	BRICK
JD	BRICK
JE	BRICK
JF	BRICK
JG	BRICK
JH	BRICK
JI	BRICK
JJ	BRICK
JK	BRICK
JL	BRICK
JM	BRICK
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JO	BRICK
JP	BRICK
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JS	BRICK
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JU	BRICK
JV	BRICK
JW	BRICK
JX	BRICK
JY	BRICK
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KD	CMU
KE	CMU
KF	CMU
KG	CMU
KH	CMU
KI	CMU
KJ	CMU
KK	CMU
KL	CMU
KM	CMU
KN	CMU
KO	CMU
KP	CMU
KQ	CMU
KR	CMU
KS	CMU
KT	CMU
KU	CMU
KV	CMU
KW	CMU
KX	CMU
KY	CMU
KZ	CMU
LA	WOOD
LB	WOOD
LC	WOOD
LD	WOOD
LE	WOOD
LF	WOOD
LG	WOOD
LH	WOOD
LI	WOOD
LJ	WOOD
LK	WOOD
LL	WOOD
LM	WOOD
LN	WOOD
LO	WOOD
LP	WOOD
LQ	WOOD
LR	WOOD
LS	WOOD
LT	WOOD
LU	WOOD
LV	WOOD
LW	WOOD
LX	WOOD
LY	WOOD
LZ	WOOD
MA	STONE
MB	STONE
MC	STONE
MD	STONE
ME	STONE
MF	STONE
MG	STONE
MH	STONE
MI	STONE
MJ	STONE
MK	STONE
ML	STONE
MM	STONE
MN	STONE
MO	STONE
MP	STONE
MQ	STONE
MR	STONE
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MU	STONE
MV	STONE
MW	STONE
MX	STONE
MY	STONE
MZ	STONE
NA	STEEL
NB	STEEL
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NR	STEEL
NS	STEEL
NT	STEEL
NU	STEEL
NV	STEEL
NW	STEEL
NX	STEEL
NY	STEEL
NZ	STEEL
OA	GYPSUM BOARD
OB	GYPSUM BOARD
OC	GYPSUM BOARD
OD	GYPSUM BOARD
OE	GYPSUM BOARD
OF	GYPSUM BOARD
OG	GYPSUM BOARD
OH	GYPSUM BOARD
OI	GYPSUM BOARD
OJ	GYPSUM BOARD
OK	GYPSUM BOARD
OL	GYPSUM BOARD
OM	GYPSUM BOARD
ON	GYPSUM BOARD
OO	GYPSUM BOARD
OP	GYPSUM BOARD
OQ	GYPSUM BOARD
OR	GYPSUM BOARD
OS	GYPSUM BOARD
OT	GYPSUM BOARD
OU	GYPSUM BOARD
OV	GYPSUM BOARD
OW	GYPSUM BOARD
OX	GYPSUM BOARD
OY	GYPSUM BOARD
OZ	GYPSUM BOARD
PA	PLYWOOD
PB	PLYWOOD
PC	PLYWOOD
PD	PLYWOOD
PE	PLYWOOD
PF	PLYWOOD
PG	PLYWOOD
PH	PLYWOOD
PI	PLYWOOD
PJ	PLYWOOD
PK	PLYWOOD
PL	PLYWOOD
PM	PLYWOOD
PN	PLYWOOD
PO	PLYWOOD
PP	PLYWOOD
PQ	PLYWOOD
PR	PLYWOOD
PS	PLYWOOD
PT	PLYWOOD
PU	PLYWOOD
PV	PLYWOOD
PW	PLYWOOD
PX	PLYWOOD
PY	PLYWOOD
PZ	PLYWOOD
QA	EXTERIOR SHEATHING
QB	EXTERIOR SHEATHING
QC	EXTERIOR SHEATHING
QD	EXTERIOR SHEATHING
QE	EXTERIOR SHEATHING
QF	EXTERIOR SHEATHING
QG	EXTERIOR SHEATHING
QH	EXTERIOR SHEATHING
QI	EXTERIOR SHEATHING
QJ	EXTERIOR SHEATHING
QK	EXTERIOR SHEATHING
QL	EXTERIOR SHEATHING
QM	EXTERIOR SHEATHING
QN	EXTERIOR SHEATHING
QO	EXTERIOR SHEATHING
QP	EXTERIOR SHEATHING
QQ	EXTERIOR SHEATHING
QR	EXTERIOR SHEATHING
QS	EXTERIOR SHEATHING
QT	EXTERIOR SHEATHING
QU	EXTERIOR SHEATHING
QV	EXTERIOR SHEATHING
QW	EXTERIOR SHEATHING
QX	EXTERIOR SHEATHING
QY	EXTERIOR SHEATHING
QZ	EXTERIOR SHEATHING

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Montgomery County Department
of Park and Planning,
9500 Brunett Ave.,
Silver Spring, MD 20901

**ZEIGLER
HOUSE**

25321 FREDERICK RD,
CLARKSBURG, MD 20871

REVISIONS

SITE DETAILS

DATE: 9-24-10
SCALE: AS NOTED

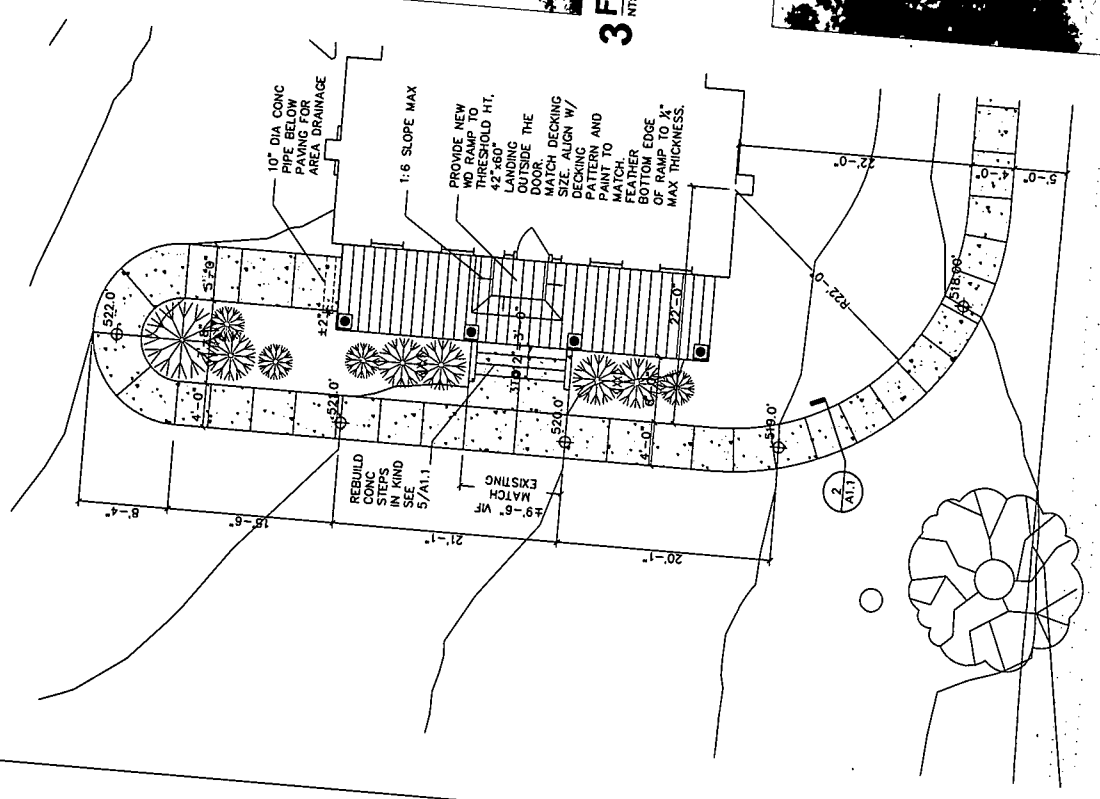
A1.1



3 FRONT ELEVATION - EXISTING
NTS

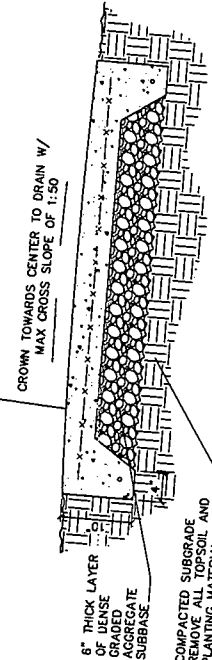


4 FRONT STEPS - EXISTING
NTS



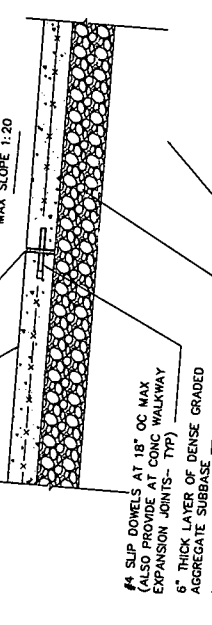
1 ENLARGED PARTIAL PLAN
SCALE: 1/8"=1'-0"

4" THICK EXPOSED AGGREGATE 3500 PSI CONCRETE W/ W/F 68R22 CONT WITHIN SLAB. EXPOSED AGGREGATE TO MATCH THE MATERIAL ON THE RAMP TO DARK BARN DOOR - SEE LOCATION TAGGED ON 1/A1.0.



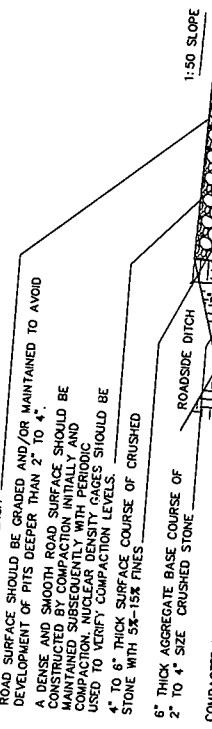
2 TYP WALKWAY SECTION
SCALE: 1/4"=1'-0"

CONT JT SEALANT OVER COMPRESSIBLE FILLER. SEE TYP WALKWAY CONSTR ON 2/A1.1.

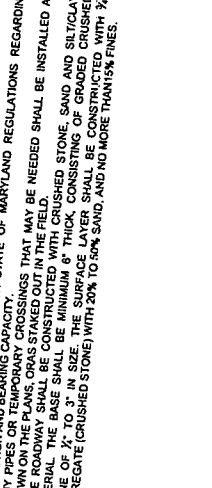


TYP WALKWAY EXPANSION JOINT SECTION
SCALE: 1/4"=1'-0"

ROAD SURFACE SHOULD BE STABILIZED USING WOOD CHIPS AND FINE LUSING SLASH. ROAD SURFACE SHOULD BE GRADED AND/OR MAINTAINED TO AVOID DEVELOPMENT OF PITS DEEPER THAN 2" TO 4". A DENSE AND SMOOTH ROAD SURFACE SHOULD BE CONSTRUCTED BY COMPACTING FULLY AND SUBSEQUENTLY WITH PEGS AND USED TO VERIFY CLEARANCE LEVELS.



5 FRONT STEPS - PROPOSED
SCALE: 3/4"=1'-0"

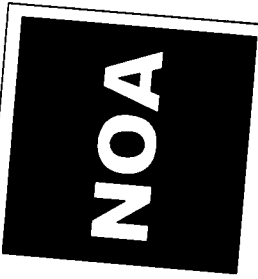


7 TYP GRAVEL DRIVEWAY SECTION
SCALE: 1/4"=1'-0"

GENERAL NOTES FOR FIBER REINF CONCRETE STEPS
CONCRETE DESIGN AND DETAILING SHALL CONFORM TO THE REQUIREMENTS OF LATEST ACI 318. CONTRACTOR SHALL SUBMIT MIX DESIGNS APPROVED BY APPROPRIATE GROUPS AND BACKGROUND DATA FOR APPROVAL. MIX DESIGN SHALL BE APPROPRIATE FOR THE EXPOSED AGGREGATE. WATER CEMENT RATIO, AIR, AND 28 DAY STRENGTH OF CONCRETE SHALL BE 0.45, 20%, AND 4000 PSI, RESPECTIVELY. ALL CONCRETE EXPOSED TO WEATHER SHALL BE UNREINFORCED. ALL EXTERIOR CONCRETE AND SLAB ON GRADE SHALL BE REINFORCED WITH SYNTHETIC MONO FIBER REINFORCEMENT (GRADE STRUX 800 OR) USED AT MINIMUM 1.5 LB PER CUM YD. MICRO FIBERS SHALL BE IN CONFORMANCE WITH ASTM C1116. PROPER ADJUSTURES MUST BE ADDED TO INCREASE CONCRETE WORKABILITY.

GENERAL NOTES FOR GRAVEL DRIVEWAYS:
- ALL DRIVEWAYS SHALL CONFORM WITH STATE OF MARYLAND REGULATIONS REGARDING DRIVEWAY AND OPERATION PADS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND LANDSCAPE AND CONSTRUCTION PRACTICE. DRIVEWAYS SHALL BE CONSTRUCTED AND WATER POLLUTIONS SHALL BE PREVENTED AND HELD WITHIN LEGAL LIMITS. OBJECTS, STUMPS, ROOTS, BRUSH, AND OTHER DEBRIS SHALL BE REMOVED FROM THE ROAD BED BEFORE CONSTRUCTION. ALL DRIVEWAYS SHALL BE REINFORCED WITH SYNTHETIC MONO FIBER REINFORCEMENT (GRADE STRUX 800 OR) USED AT MINIMUM 1.5 LB PER CUM YD. MICRO FIBERS SHALL BE IN CONFORMANCE WITH ASTM C1116. PROPER ADJUSTURES MUST BE ADDED TO INCREASE CONCRETE WORKABILITY.

EXISTING ASBESTOS SIDING SHALL BE REMOVED IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS UNDER SEPARATE CONTRACT - NC. ALL ASBESTOS REMOVAL SHALL BE REPAIRED. ALL WORK SHALL BE RECORDED BY MACPPC - NC. - TYP ALL AROUND THE BUILDING.



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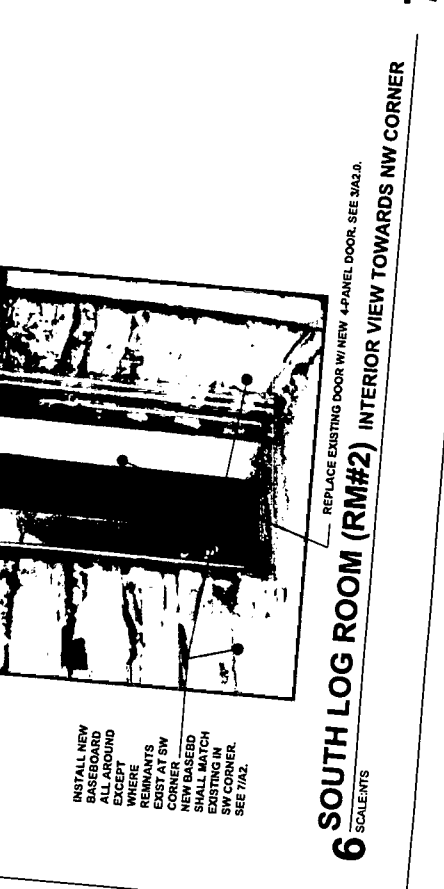
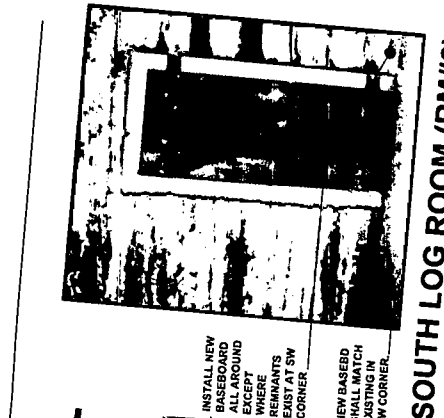
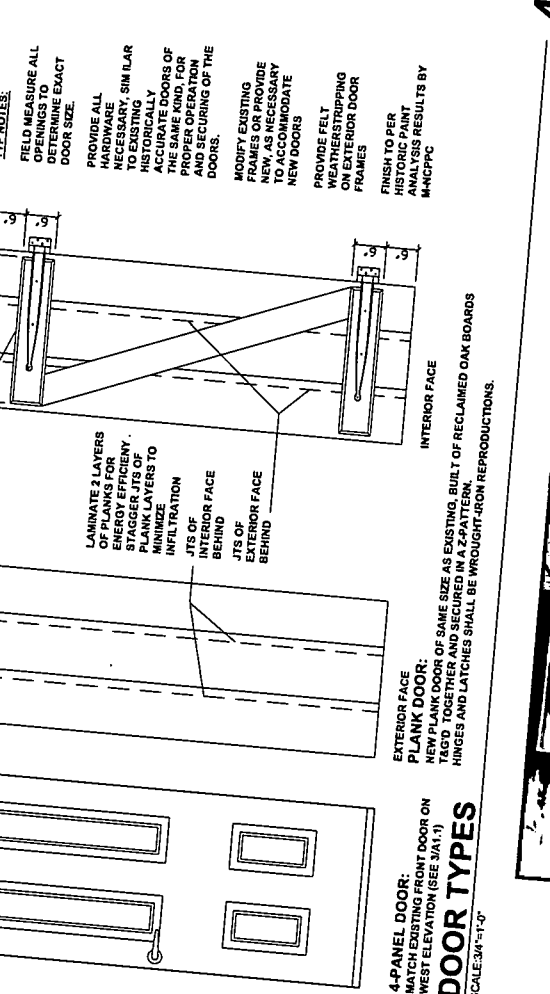
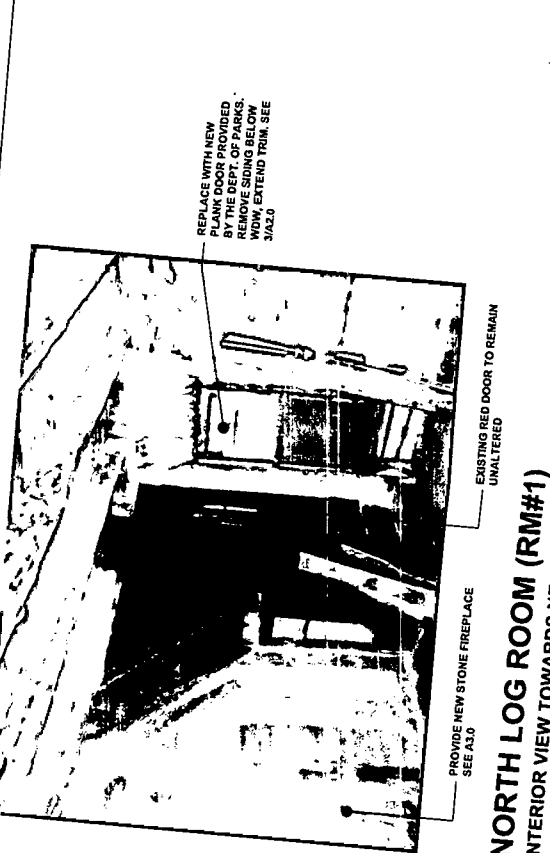
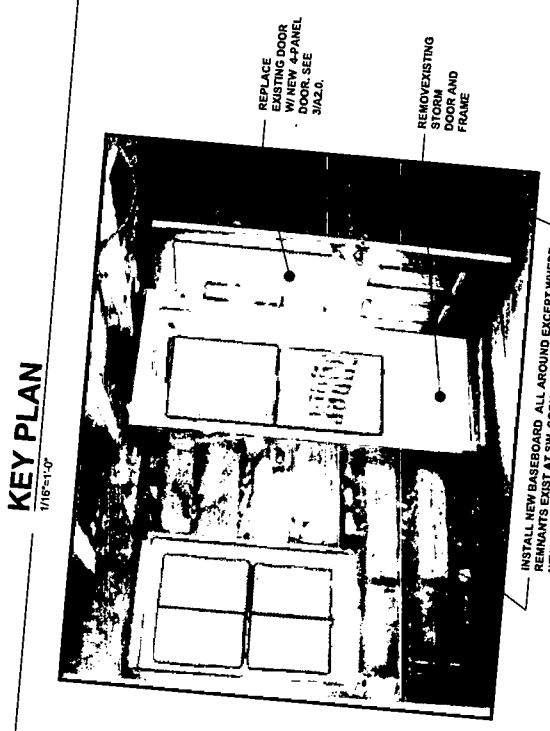
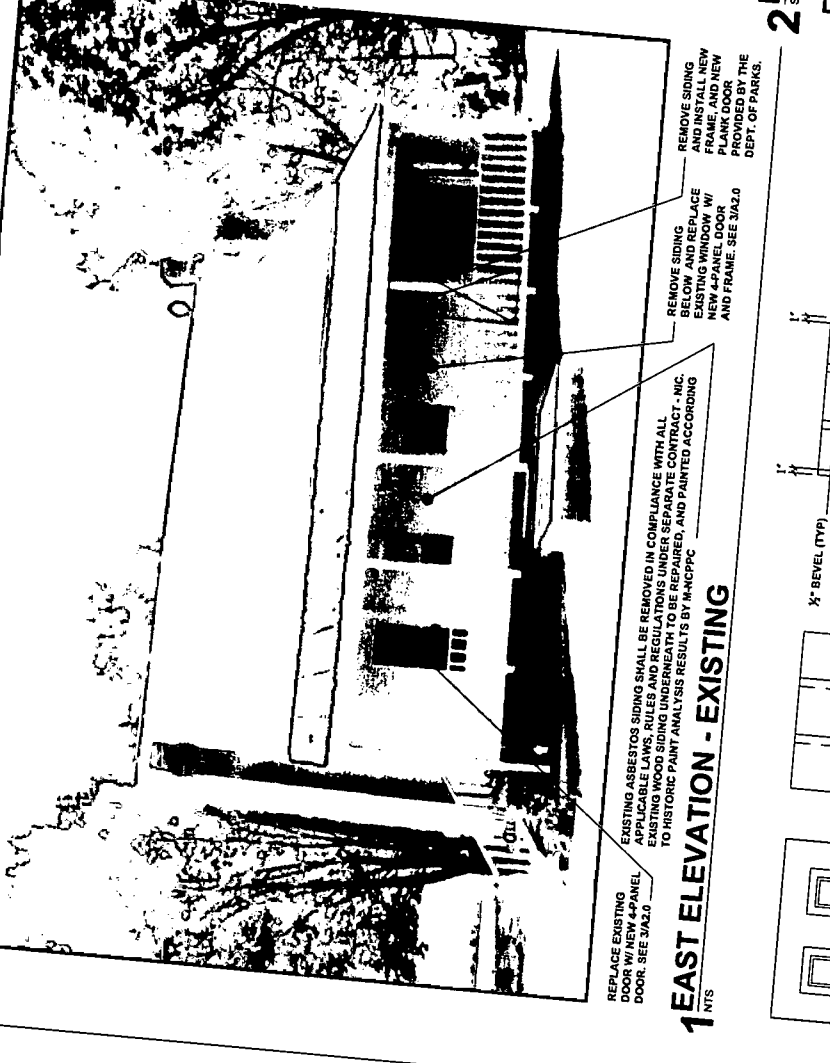
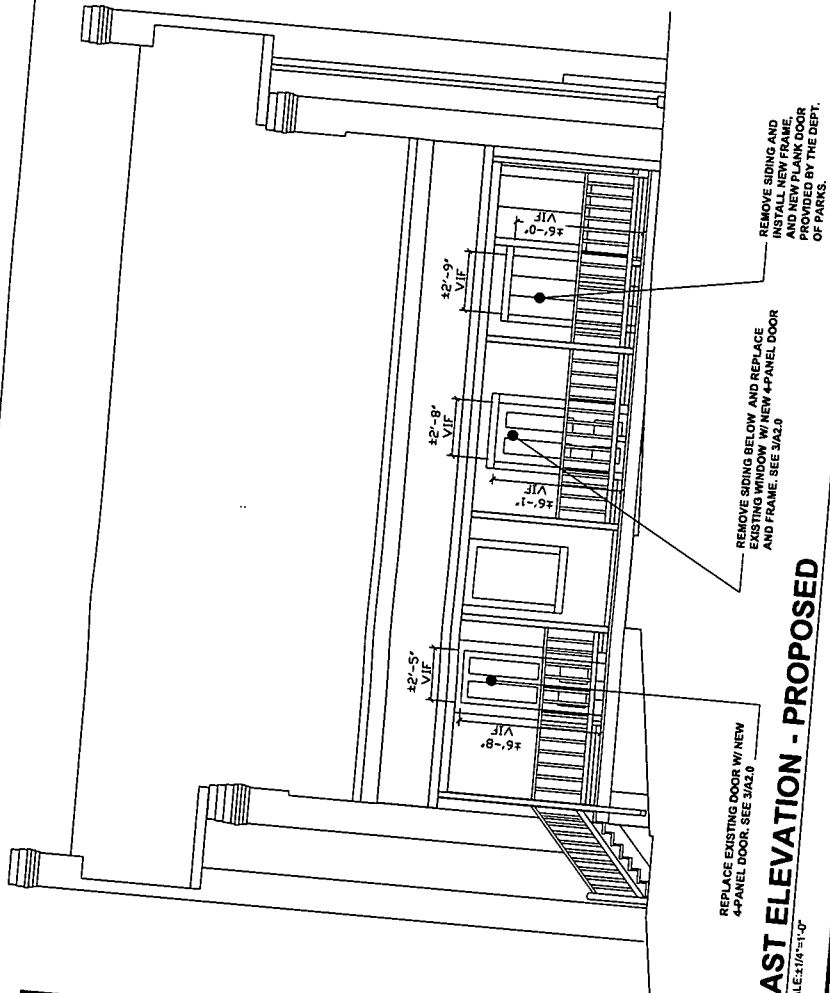
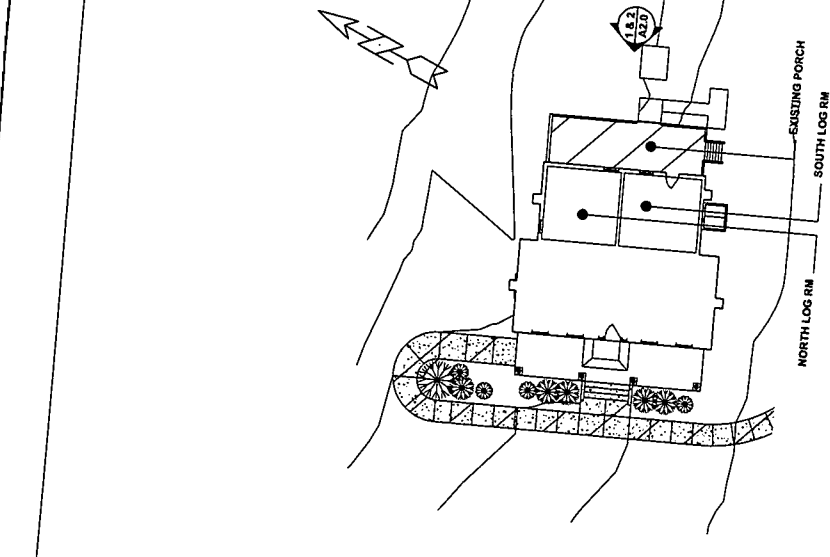
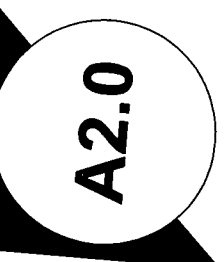
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**ALTERATIONS TO
THE LOG ROOMS**

DATE: 9.24.10
SCALE: AS NOTED



5 SOUTH LOG ROOM (RM#2)
SCALE: 3/4"=1'-0"

4 NORTH LOG ROOM (RM#1)
SCALE: 3/4"=1'-0"

7 SOUTH LOG ROOM (RM#2)
SCALE: 3/4"=1'-0"

6 SOUTH LOG ROOM (RM#2)
SCALE: 3/4"=1'-0"



1 ^{NTS} EXISTING VIEW FROM SOUTH-WEST



2 ^{NTS} EXISTING VIEW FROM NORTH-WEST

FOOTINGS EXISTING FOUNDATION WILL BE REPAIRED BY OTHERS. ALL REPAIRS TO THE FOUNDATION, AND SUB GRADES SHALL BE INSPECTED AND APPROVED BY A PROFESSIONAL ENGINEER REGISTERED IN MARYLAND, PRIOR TO PROCEEDING WITH NEW CONSTRUCTION.

LUMBER LUMBER SHALL COMPLY WITH THE REQUIREMENTS OF AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE NATIONAL FOREST PRODUCTS ASSOCIATIONS NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

ROOF TRUSSES SHALL BE DESIGNED AND FABRICATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FOREST PRODUCTS ASSOCIATIONS NATIONAL DESIGN SPECIFICATION FOR WOOD TRUSSES.

LUMBER FOR FRAMING SHALL BE SP OR APPROVED EQUIVALENT WITH THE FOLLOWING MINIMUM REQUIREMENTS: FB = 1200 PSI, FV = 90 PSI, FC = 425 PSI (PERPENDICULAR TO GRAIN) AND MODULES OF ELASTICITY E = 1,000,000 PSI, AND A MAXIMUM MOISTURE CONTENT OF 16%.

LUMBER FOR STUD BEARING WALLS AND EXTERIOR STUD WALLS SHALL BE STUD GRADE SP OR EQUIVALENT WITH MINIMUM REQUIREMENTS OF FC = 625 PSI (PARALLEL TO GRAIN) AND MODULES OF ELASTICITY E = 1,000,000 PSI.

PLYWOOD SHALL BE 5/8" THICK FOR ROOF IDENTIFIED WITH THE DPPA GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

STUD BEARING WALLS AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRACED WITH WOOD BRACING. BRACING SHALL BE INSTALLED BETWEEN FLOOR LEVELS AND BETWEEN FLOOR LEVEL AND ROOF DIAPHRAGMS. ALL DOUBLE STUDS SHALL BE NAILED TO EACH OTHER AT 8 INCH MAXIMUM SPACING FULL HEIGHT. BRACE EXTERIOR BUILDING CORNERS IN STUD WALLS TO CONFIRM IRC REQUIREMENTS WITH 1/2" THICK PLYWOOD OR WITH PRE ENGINEERED PANELS.

ALL DOUBLE (OR MORE) RAFTERS, JOISTS, PLYWOOD BEAMS, AND FLOOR TRUSSES MUST BE MECHANICALLY FASTENED OR NAILED TO EACH OTHER TO ACT AS A SINGLE UNIT WHEN LOADED.

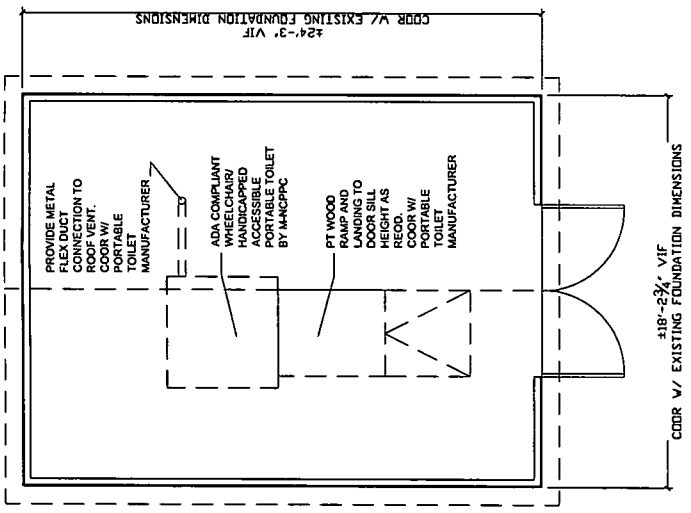
WOOD COLUMNS AND POSTS SHALL BE FRAMED TO TRUE END BEARINGS, AND SHALL BE POSITIVELY ANCHORED TO FOUNDATION. WOOD COLUMNS SHALL BE INSTALLED IN ACCORDANCE WITH THE POSITION AND PROTECT BASE FROM DETRIORATION. COLUMNS AND POSTS OF TREATED WOOD MAY BE PLACED DIRECTLY ON CONCRETE OR MASONRY. USE TREATED WOOD FOR ALL FLOOR JOISTS AND BEAMS WHICH ARE EXPOSED OR WITHIN 18" OF THE GROUND, OR IN PERMANENT CONTACT WITH EARTH.

BEAR BEAMS AND GIRDERS AT LEAST 4" ON MASONRY OR CONCRETE. BEAR BEAMS, GIRDERS, JOISTS, RAFTERS AND TRUSSES ON CONTINUOUS WOOD PLATE WITH 5/8" DIAMETER BOLTS @ 48" O.C. 18" LONG, UNLESS OTHERWISE NOTED. FLOOR JOISTS, CEILING JOISTS AND ROOF RAFTERS SHALL HAVE 4" NOMINAL BEARING ON WOOD OR WOOD PLATES ON METAL OR MASONRY.

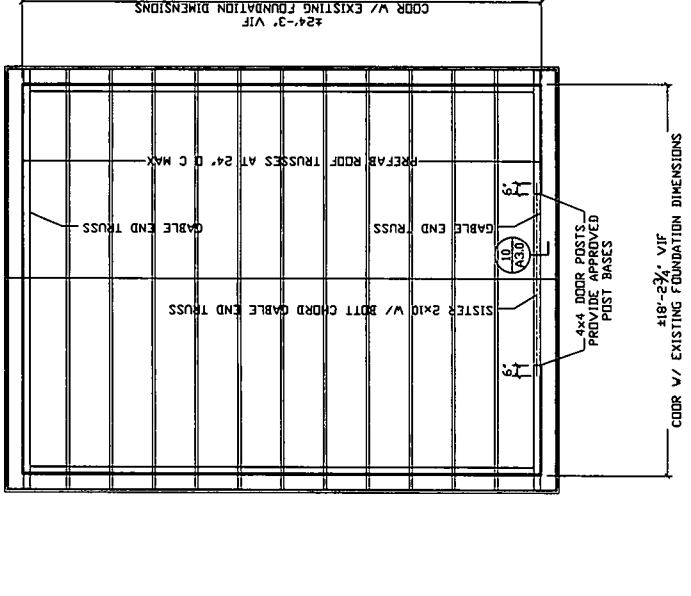
WOOD TRUSSES SHALL BE DESIGNED BY THE TRUSS MANUFACTURER FOR THE SPAN, CONFIGURATION AND LOADING CONDITIONS INDICATED ON THE DRAWINGS. DESIGN AND DETAIL OF ALL TRUSSES SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE BUILDING CODES AND SHALL BE IN ACCORDANCE WITH THE "NATIONAL SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS", COMPLETE SHOP DETAILS, STRESS DIAGRAMS, BEARING DETAILS AND DESIGN CALCULATIONS SHALL BE CERTIFIED BY REGISTERED PROFESSIONAL ENGINEER. STRESS DIAGRAM MANUFACTURERS TEST DATA MAY BE SUBMITTED SHOWING THE ALLOWABLE CAPACITY OF THE MEMBERS. TRUSSES SHALL BE FABRICATED WITH HYDRAULICALLY PRESSED 20 GAGE TOOTHED METAL PLATES OR NAILED STEEL GUSSET PLATES. CONNECTIONS SHALL BE CAPABLE OF TRANSMITTING THE STRESS PLUS ALL ECCENTRICITIES, WHERE MULTIPLE 1/2" GIRDER AND HEADER TRUSSES ARE UTILIZED. ALL TRUSSES SHALL BE INSTALLED IN ACCORDANCE WITH THE TRUSS MANUFACTURERS TEST DATA. THEY ACT AS A SINGLE UNIT WHEN SUBJECTED TO DESIGN LOADS.

WIND BRACING SHALL BE IN ACCORDANCE WITH IRC-2009 TABLE 2002.10.4.2 FOR CONT SHEETING. WIND BRACING TO STUDS AS PER IRC TABLE 606.2.4(1).

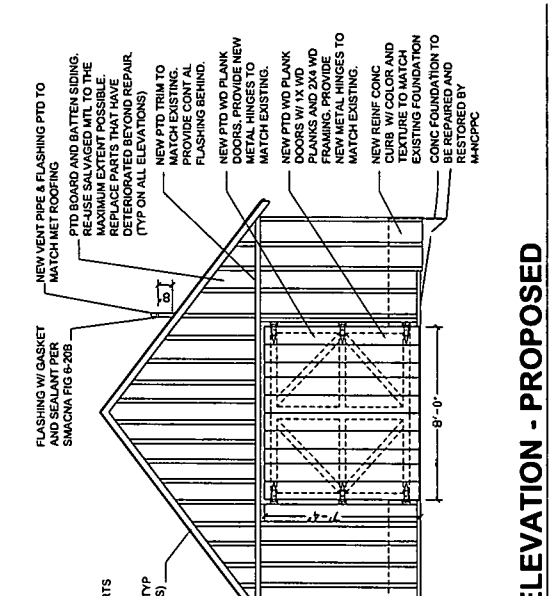
4 PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



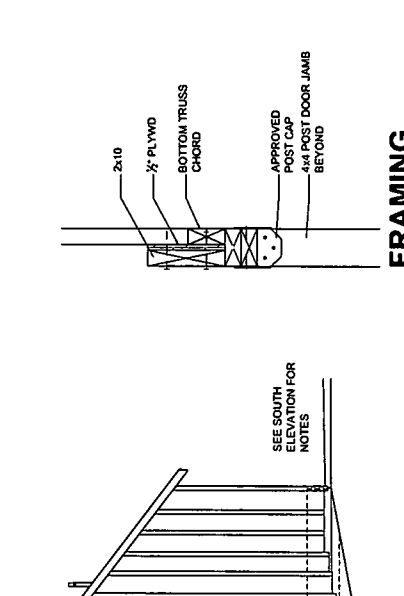
7 ROOF FRAMING PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



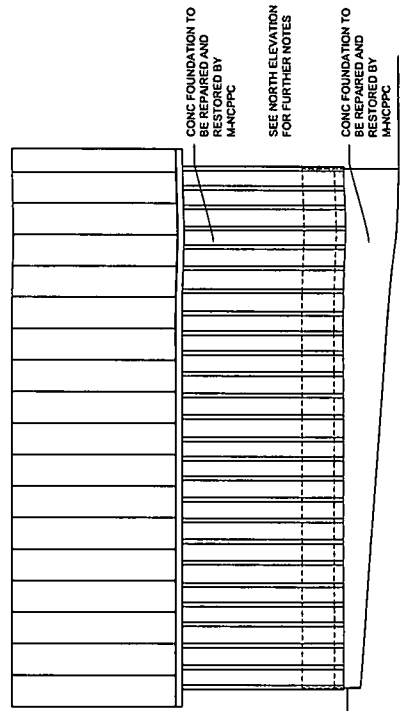
5 SECTION - PROPOSED
SCALE: 1/4" = 1'-0"



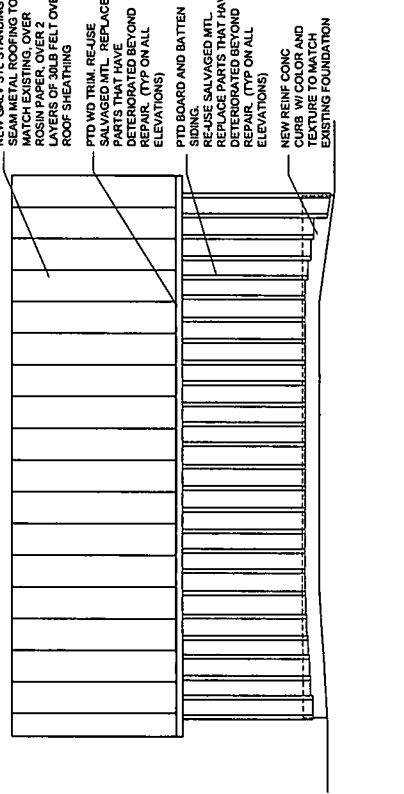
8 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



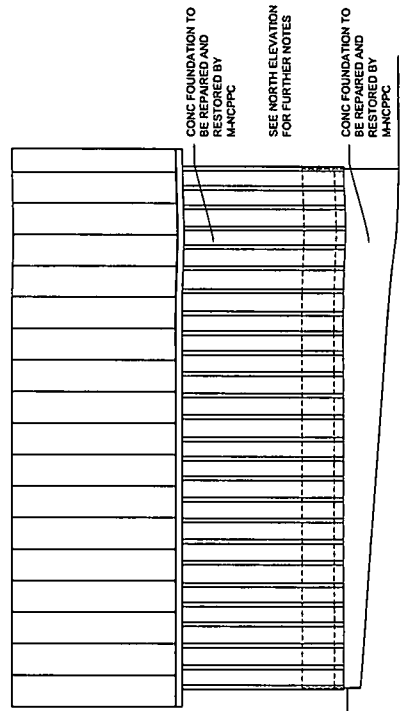
9 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



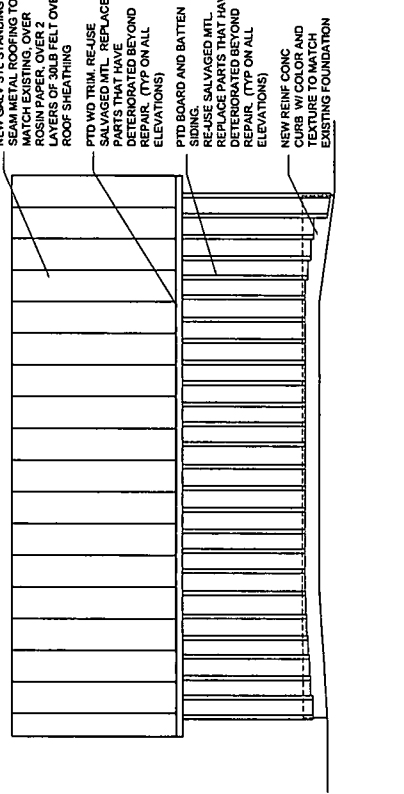
5 SECTION - PROPOSED
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

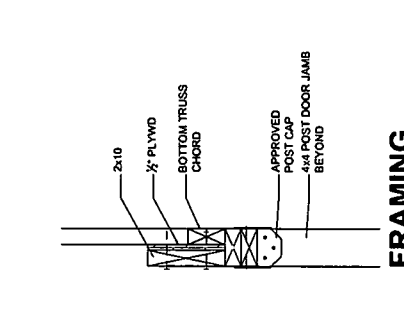


6 SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



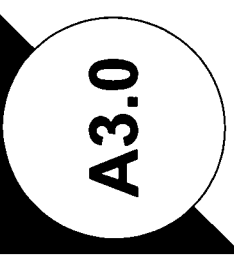
6 SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

10 SECTION
SCALE: 1/4" = 1'-0"



RECONSTRUCTION OF EXISTING GARAGE/SHED

DATE: 9.24.10
SCALE: AS NOTED



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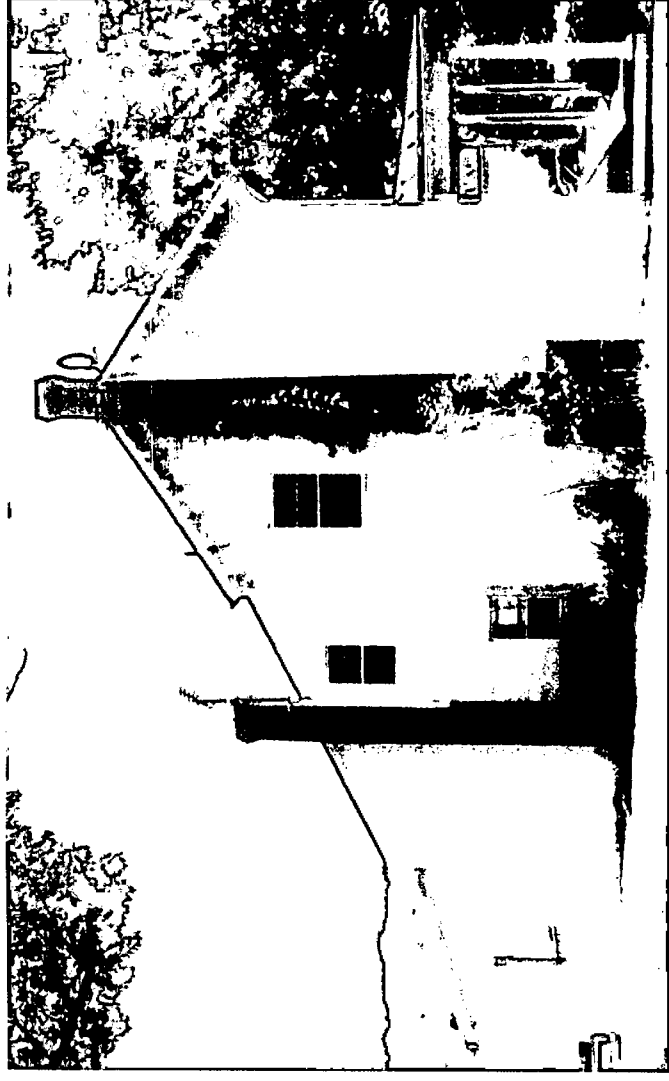
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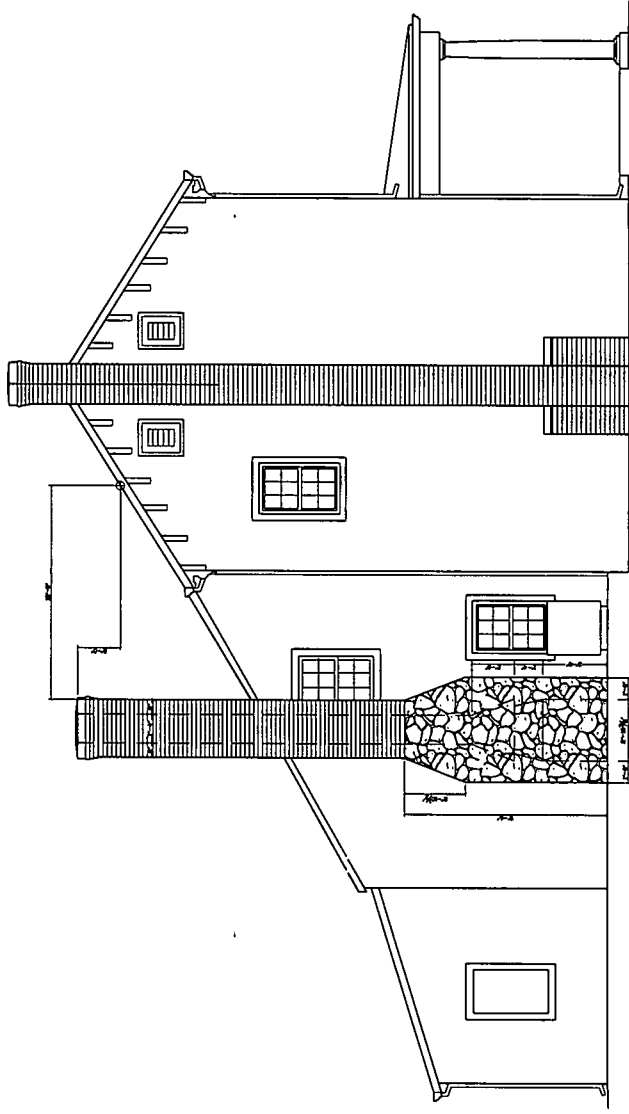
**STONE
FIREPLACE**

DATE: 9.24.10
SCALE: AS NOTED

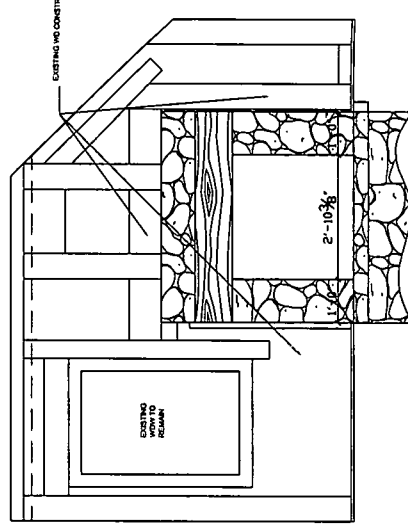
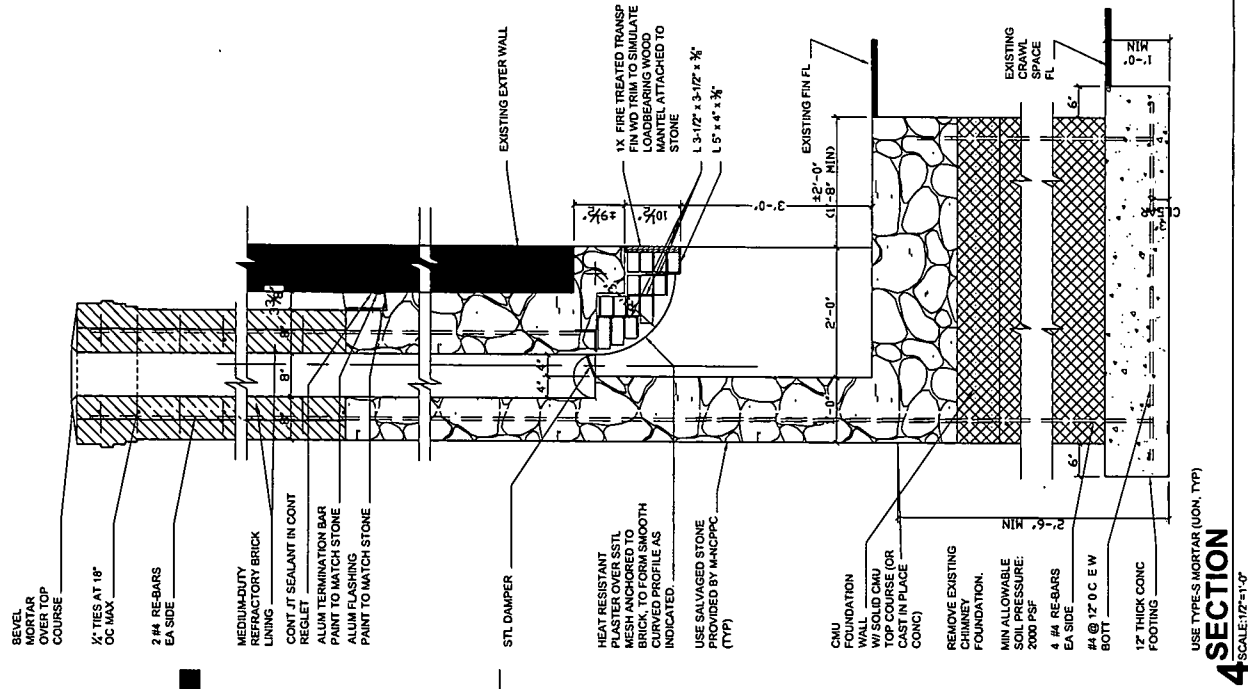
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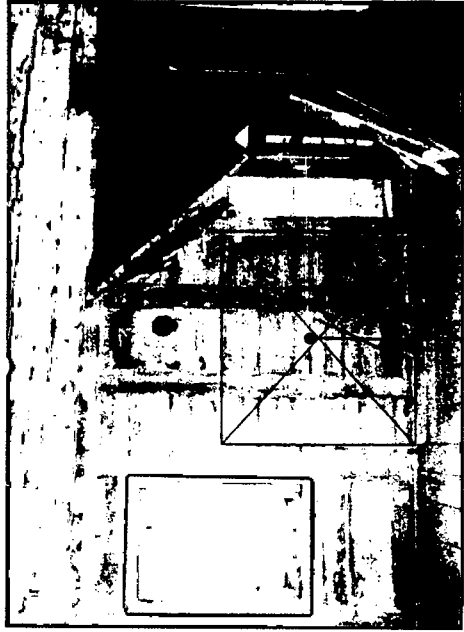
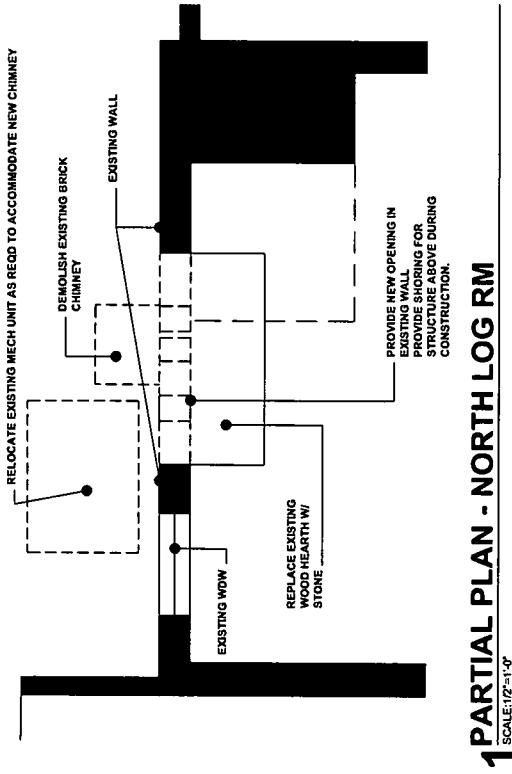
6 NORTH ELEVATION - EXISTING
NTS



7 NORTH ELEVATION - PROPOSED
SCALE: 1/2"=1'-0"



5 INTERIOR ELEVATION - PROPOSED
SCALE: 1/2"=1'-0"



2 INTERIOR ELEVATION - EXISTING
NTS

