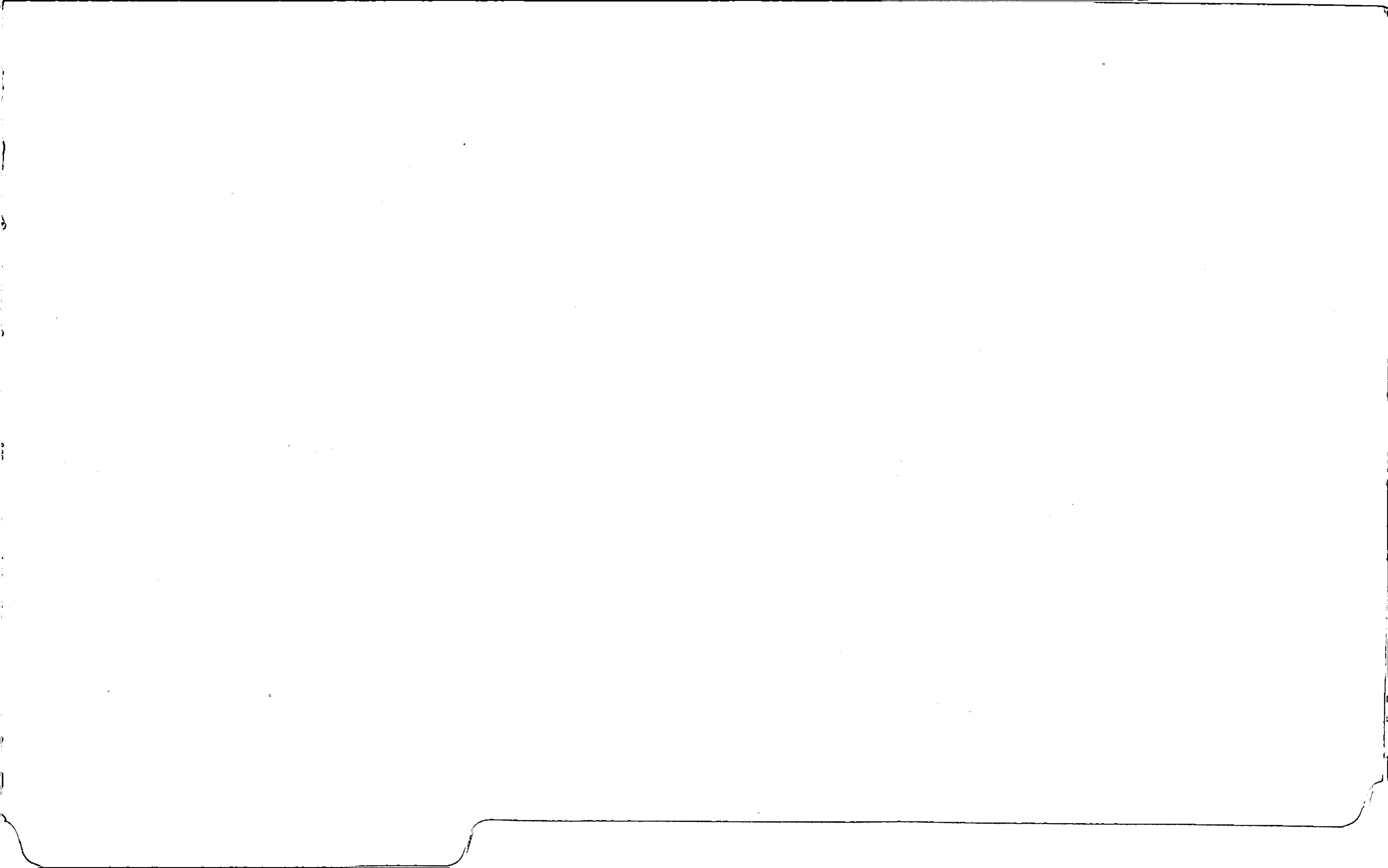


8100 Hampden Lane  
Greenwich Forest H.D.

2011 HAWP



11/22/8

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Stamped  
Plans



## HISTORIC PRESERVATION COMMISSION

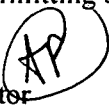
Isiah Leggett  
County Executive

Leslie Miles  
Chairperson

Date: 8/18/11

### MEMORANDUM

TO: Jennifer Hughes, Acting Director  
Department of Permitting Services

FROM: Anne Fothergill   
Planner Coordinator  
Historic Preservation Section-Planning Department  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #574804—rear addition

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on August 17, 2011.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Silvana and Luigi DeLuca  
Address: 8100 Hampden Lane, Bethesda

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





RETURNED DEPARTMENT OF PERMITTING SERVICES 255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850 24 777-7777

DPS - #8

HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Mont. County Appl. Permit #574787

Contact Person: MARK KRAMER Daytime Phone No.: 301-652-5700

Tax Account No.: 00495641

Name of Property Owner: SILVANA & LUIGI DE LUCA Daytime Phone No.: 301-656-6943

Address: 8100 HAMPDEN LANE, BETHESDA, MD. 20814

Contractor: Not established yet Phone No.:

Contractor Registration No.: Agent for Owner: Mark Kramer Architect Daytime Phone No.: 301-652-5700

LOCATION OF BUILDING/PREMISE

House Number: 8100 Street: HAMPDEN LANE Town/City: BETHESDA Nearest Cross Street: LAMBETH ROAD Lot: 7 Block: L Subdivision: GREENWICH FOREST

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable, A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other.

1B. Construction cost estimate: \$ 50,000.

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other. 2B. Type of water supply: 01 WSSC, 02 Well, 03 Other.

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height feet inches 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement

KRAMER ARCHITECTS, INC. 7960-D Old Georgetown Rd Bethesda, MD 20814 (301) 652-5700 FAX (301) 913-9254

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Mark A. Kramer Kramer Architects 7960-D Old Georgetown Road, Bethn. Date: July 15, 2011

Approved: [Signature] Disapproved: [Signature] Application/Permit No.: 574809 Date Filed: 7/15/11 Date Issued: 8/18/11

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing residence is a 1950 copy of a Normandy style residence. It has two stories and no basement. The setting of the residence is within a treed area, but the addition area has no trees impacted.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The new space will be a library area and family room which will accessed from the existing breakfast room. The addition is to be built in the rear of the residence and will blend with the architecture of the existing style.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include: ✓

- a. the scale, north arrow, and date; ✓  
b. dimensions of all existing and proposed structures; and ✓  
c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping. ✓

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred. ✓

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work. ✓  
b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required. ✓

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings. ✓

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs. ✓  
b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs. ✓

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension. ✓

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	8100 Hampden Lane, Bethesda	<b>Meeting Date:</b>	8/17/11
<b>Applicant:</b>	Silvana and Luigi DeLuca (Mark Kramer, Architect)	<b>Report Date:</b>	8/10/11
<b>Resource:</b>	Contributing Resource Greenwich Forest Historic District	<b>Public Notice:</b>	8/3/11
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/165-11A	<b>Staff:</b>	Anne Fothergill
<b>PROPOSAL:</b>	Rear addition		

**STAFF RECOMMENDATION**

Staff recommends that the HPC approve the HAWP application.

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource in the Greenwich Forest Historic District  
**STYLE:** French Eclectic  
**DATE:** 1949

See Circles 28-33 for information about the Greenwich Forest Historic District designation.

**PROPOSAL**

The applicants are proposing to construct a one-story 389SF footprint rear addition to the house. The proposed materials are painted brick, clay roof tiles, wood windows and door, wood trim, and brick chimney. Proposed plans are in Circles 8-20 and photos are in Circles 21-27.

**APPLICABLE GUIDELINES**

When reviewing alterations within the Greenwich Forest Historic District *Montgomery County Code Chapter 24A (Chapter 24A)*, the *Secretary of the Interior's Standards for Rehabilitation (Standards)*, and the *Greenwich Forest Historic District Guidelines (Guidelines)* are to be utilized as guidelines to assist the Commission in developing their decision. The pertinent information in these documents is outlined below.

***Montgomery County Code; Chapter 24A-8:***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the

preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

***Greenwich Forest Historic District Guidelines( see Circles 34-47 ):***

Moderate scrutiny is a higher level of review than limited scrutiny and adds consideration of the preservation of the property to the requirements of limited scrutiny. Alterations should be designed so the altered structure does not detract from the fabric of Greenwich Forest while affording homeowners reasonable flexibility. Use of compatible new materials or materials that replicate the original, rather than original building materials, should be permitted. Planned changes should be compatible with the structure's existing architectural designs.

Strict scrutiny is the highest level of review. It adds consideration of the integrity and preservation of significant architectural or landscape features and details to the



requirements of the limited and moderate scrutiny levels. Changes may be permitted if, after careful review, they do not significantly compromise the original features of the structure or landscape.

**Additions:** Additions to contributing and non-contributing houses are allowed. The style of an addition must be compatible and in keeping with the prevailing styles of that house. The style of the addition must be compatible with the style of the original house, unless the owner wishes to change the architectural style of both the house and addition to another style of a contributing house in Greenwich Forest (see Changes to architectural style, below). Additions to contributing houses must preserve as a recognizable entity the outline of the original house (not including subsequent additions). Side additions to contributing houses are allowed, but the limits of the original façade must be demarcated by stepping back the front plane of the addition and by a change in the additions roofline. Rear additions to contributing houses are allowed within limitations on height and setbacks (see D5).

**Guidelines on dimensions:** The total lot coverage of a house may not exceed 25% of the lot area, and accessory buildings may not exceed 5% of the lot area. The area of an accessory building may be increased by 2%, to 7% of total lot coverage, if the lot coverage of the house and the accessory buildings added together does not exceed 30% of lot area.

Additions should try to preserve ample spacing between houses (see Principle 2b). For example, visual crowding between houses could be minimized by: placing an addition toward the back of a property; placing an addition on the side of a property with greater distance to the adjacent house (especially when a side lot abuts the rear setback of an adjacent corner house); or by screening additions with plantings. The total of the two side lot setbacks must be at least 18" , with no less than 7" on one side. Rear lot setbacks must be at least 25" , though decks no higher than 3" from the ground may extend to an 11" setback.

The elevation of the main or predominant ridgeline(s) of a contributing house as viewed from the front may not be increased. To avoid excessive increases in the visual mass of houses, the elevation of any separate ridgelines of an addition to the rear of the house may not be more than 3" above that of the main ridge line.

### **STAFF DISCUSSION**

As the noted above, the Greenwich Forest Design *Guidelines* allow "additions to contributing and non-contributing houses" and Appendix 1B in Circle 42 notes that rear additions receive moderate scrutiny and the very narrow section that extends beyond the side plane and will be slightly visible from the front receives strict scrutiny.

The style of this proposed addition is compatible and in keeping with the house. The outline of the original house is preserved and the proposed height and setbacks are appropriate. The lot coverage of the house remains under 25%. The elevation of the main predominant ridgeline of the house as viewed from the front is not increased. Overall, the proposed addition is at the rear and is in keeping with the district specific-Guidelines. Staff recommends approval.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) and (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO THE DEPARTMENT OF PERMITTING SERVICES  
255 POLYVALE PIKE 2nd FLOOR POLYVALE MD 20814  
24-777-1276

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR**  
**HISTORIC AREA WORK PERMIT**

Mont. County Appl.  
Permit #574787

Contact Person: MARK KRAMER  
 Daytime Phone No.: 301-652-5700  
 Tax Account No.: 00495641  
 Name of Property Owner: SILVANA & LUIGI DE LUCA Daytime Phone No.: 301-656-6943  
 Address: 8100 HAMPDEN LANE, BETHESDA, MD. 20814  
Street Number City State Zip Code  
 Contractor: Not established yet Phone No.: \_\_\_\_\_  
 Contractor Registration No.: \_\_\_\_\_  
 Agent for Owner: Mark Kramer Architect Daytime Phone No.: 301-652-5700

**LOCATION OF BUILDING/PREMISE**

House Number: 8100 Street: HAMPDEN LANE  
 Town/City: BETHESDA Nearest Cross Street: LAMBETH ROAD  
 Lot: 7 Block: L Subdivision: GREENWICH FOREST  
 Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

<input checked="" type="checkbox"/> Construct	<input checked="" type="checkbox"/> Extend	<input checked="" type="checkbox"/> Alter/Renovate	<input type="checkbox"/> AC	<input type="checkbox"/> Stab	<input checked="" type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input checked="" type="checkbox"/> Woodburning Stove	<input type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)	<input type="checkbox"/> Other: _____				

1B. Construction cost estimate: \$ 50,000.

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

On party line/property line  Entirely on land of owner  On public right of way/easement

**KRAMER ARCHITECTS, INC.**  
7960-D Old Georgetown Rd  
Bethesda, MD 20814  
(301) 652-5700  
FAX (301) 913-9254

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Mark A. Kramer Kramer Architects  
 Signature of owner or authorized agent 7960-D Old Georgetown Road, Beth. Date: July 15, 2011

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
 Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Application/Permit No.: 574804 Date Filed: 7/20/11 Date Issued: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

(5)

- / -

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing residence is a 1950 copy of a Normandy style residence. It has two stories and no basement. The setting of the residence is within a treed area, but the addition area has no trees impacted.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:  
 The new space will be a library area and family room which will be accessed from the existing breakfast room. The addition is to be built in the rear of the residence and will blend with the architecture of the existing style.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

a. the scale, north arrow, and date;

b. dimensions of all existing and proposed structures; and

c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.

b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.

b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

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**7. ADDRESSES OF ADJACENT AND CONTIGUOUS PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and contiguous property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owners (or lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

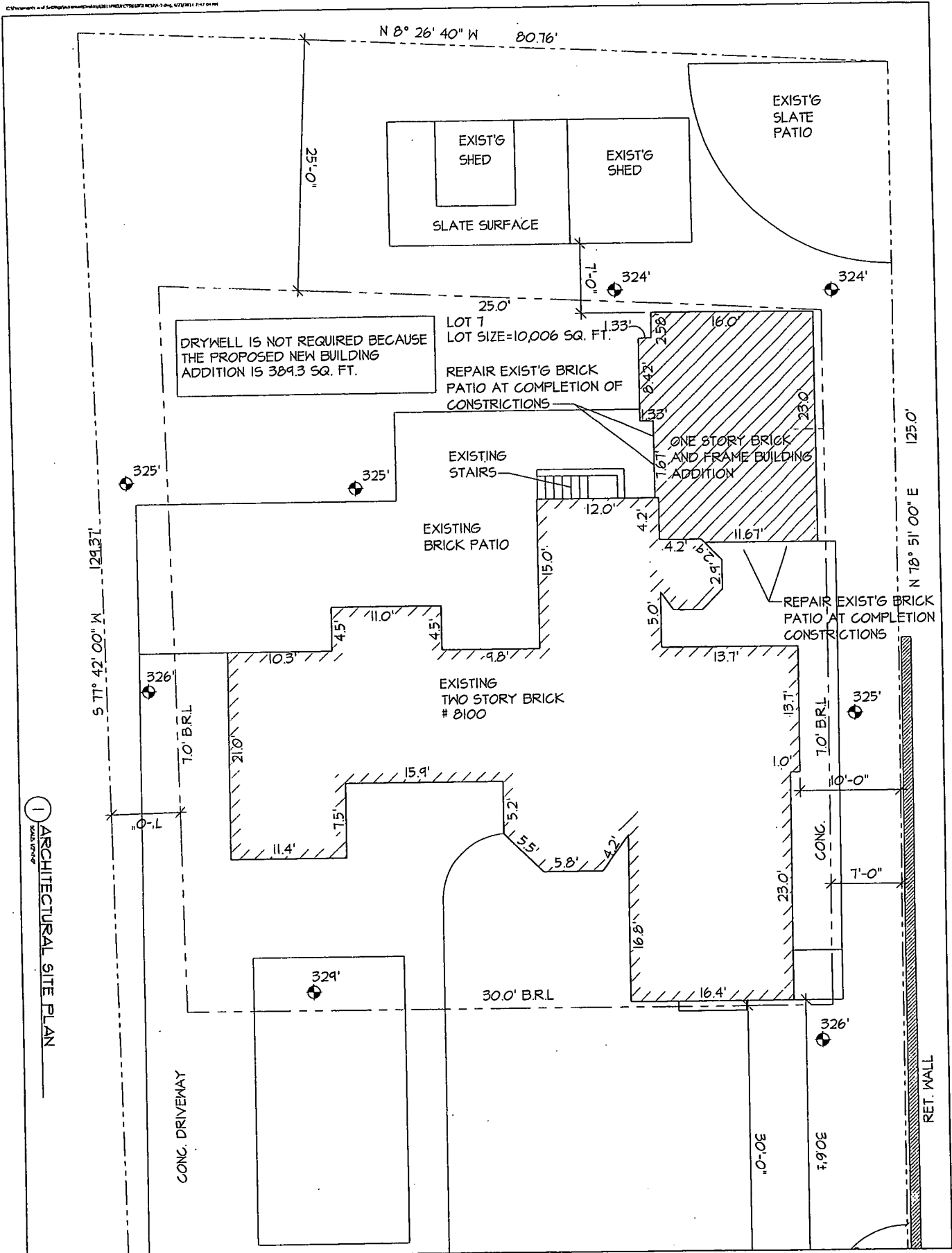
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
 PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b>  <i>Luigi &amp; Silvana DeLuca</i>  <i>8100 Hampden Lane</i>  <i>Bethesda, MD. 20814</i></p>	<p><b>Owner's Agent's mailing address</b>  <i>Mark Kramer Architect</i>  <i>Kramer Architects, Inc.</i>  <i>7960-D Old Georgetown Road</i>  <i>Bethesda, MD. 20817</i></p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p><i>Mark &amp; Marjorie Kramer</i>  <i>8102 Hampden Lane</i>  <i>Bethesda, MD. 20814</i></p>	<p><i>MR &amp; Mrs. Jonathan Brickman</i>  <i>8021 Aberdeen Road</i>  <i>Bethesda, MD. 20817</i></p>
<p><i>Ms. Nina Ewing</i>  <i>8024 Hampden Lane</i>  <i>Bethesda, MD. 20814</i></p>	<p><i>Mr. &amp; Mrs. Steve Burks</i>  <i>8025 Hampden Lane</i>  <i>Bethesda, MD. 20817</i></p>

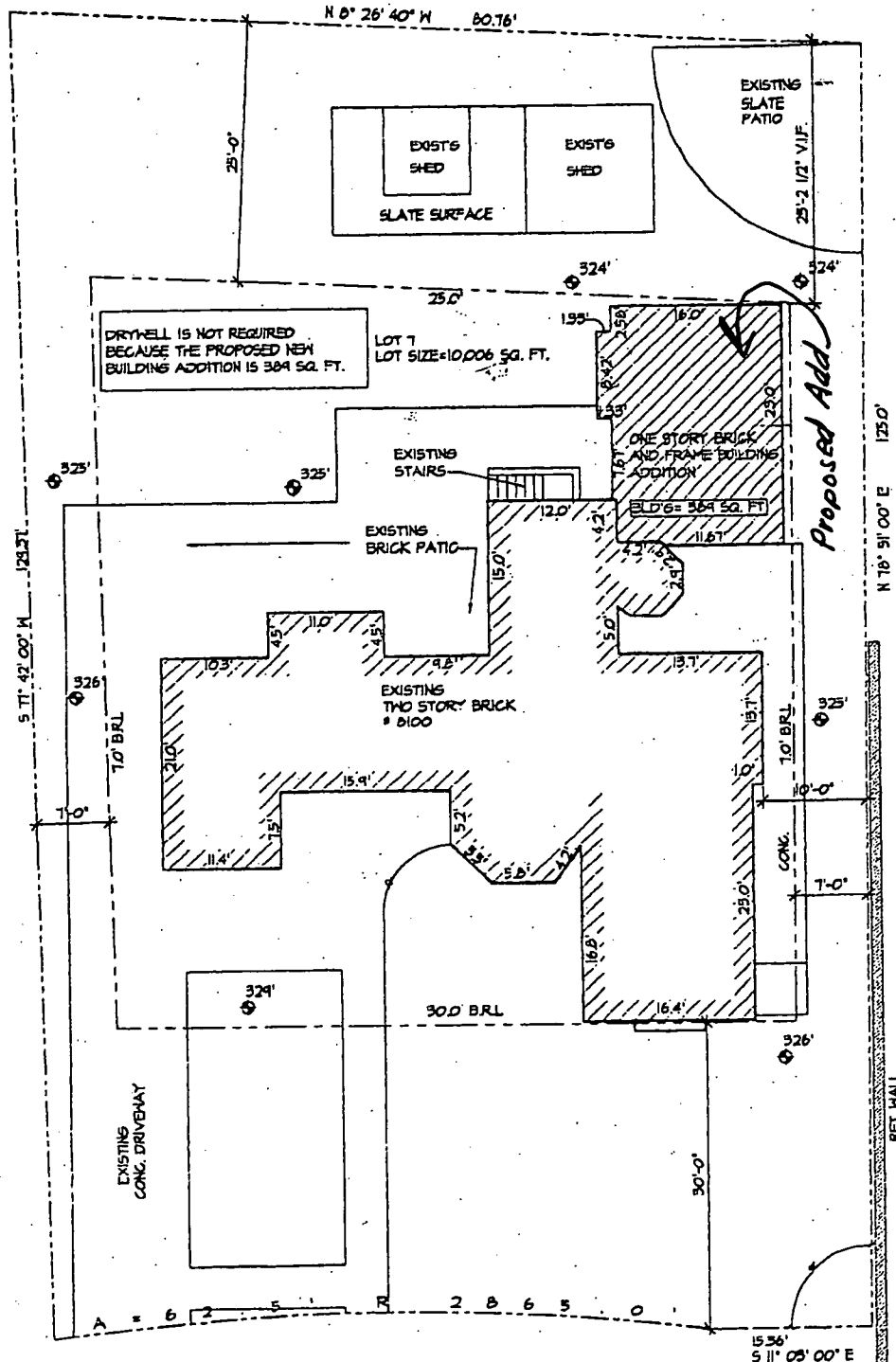




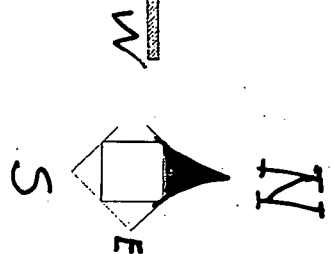
1 ARCHITECTURAL SITE PLAN

<p><b>S-1</b></p>	<p>DATE: 08/17/2011</p> <p>PROJECT: 1121</p>	<p>SHEET TITLE:</p> <p>ARCHITECTURAL SITE PLAN</p>	<p>PROJECT:</p> <p>THE DE LUCA RESIDENCE</p> <p>8100 HAMPDEN LANE</p> <p>BETHESDA, MARYLAND 20814</p>			<p><b>KRAMER ARCHITECTS INC.</b></p> <p>7810 2nd Street, Bethesda, MD 20814</p> <p>Phone: (301) 432-0780 Fax: (301) 613-9234</p>
	<p>1121</p>	<p>1121</p>	<p>1121</p>	<p>1121</p>	<p>1121</p>	<p>1121</p>

Site Plan



HAMPDEN LANE  
(60.0' R/W)



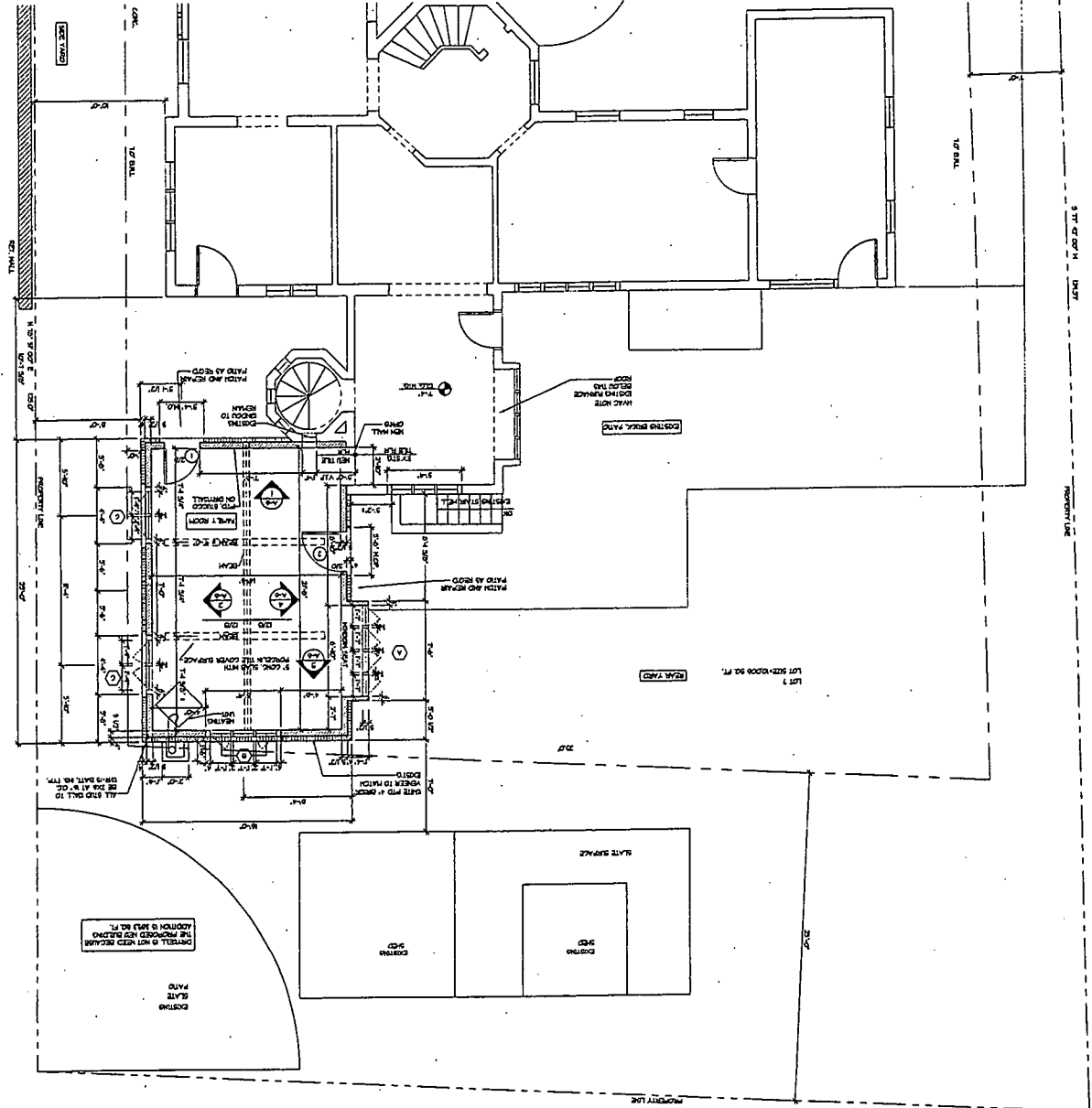
Shade portion to indicate North

Applicant: DE LUCA  
8100 Hampden Lane





PROPOSED FIRST FLOOR PLAN



**WALL LEGEND**

--- (dashed line)	CONC. WALL
--- (solid line)	CMU WALL
--- (dotted line)	1/2" GYP. WALL

- ROOM SCHEDULE**
- 1. 11' x 11' (BED) 11' x 11' 4" H.
  - 2. 11' x 11' (BED) 11' x 11' 4" H.
  - 3. 11' x 11' (BED) 11' x 11' 4" H.
  - 4. 11' x 11' (BED) 11' x 11' 4" H.
  - 5. 11' x 11' (BED) 11' x 11' 4" H.
  - 6. 11' x 11' (BED) 11' x 11' 4" H.
  - 7. HALL
  - 8. 11' x 11' (BED) 11' x 11' 4" H.
  - 9. 11' x 11' (BED) 11' x 11' 4" H.
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  - 20. 11' x 11' (BED) 11' x 11' 4" H.
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  - 39. 11' x 11' (BED) 11' x 11' 4" H.
  - 40. 11' x 11' (BED) 11' x 11' 4" H.
  - 41. 11' x 11' (BED) 11' x 11' 4" H.
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  - 100. 11' x 11' (BED) 11' x 11' 4" H.

A-3

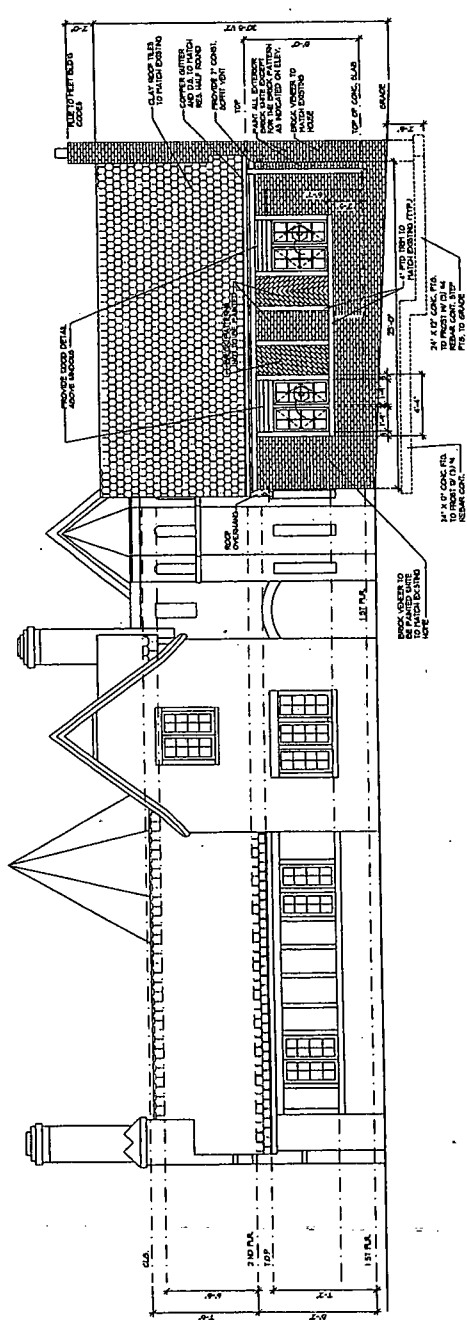
Project Number: 1121  
As Noted  
Date: 08/17/2011

REVISIONS  
SHEET TITLE:  
PROPOSED FIRST FLOOR PLAN

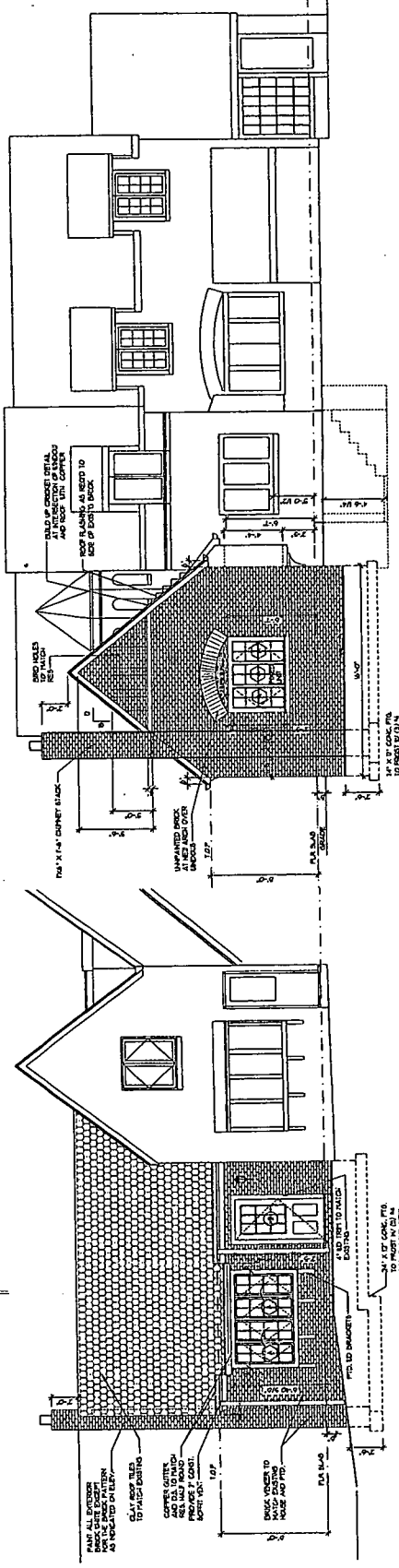
PROJECT:  
THE DE LUCA RESIDENCE  
8100 HAMPTON LANE  
BETHESDA, MARYLAND 20814

Professional seal and registration information for the architect.

**KRAMER ARCHITECTS INC.**  
Architects  
1100 15th Street, N.W.  
Washington, D.C. 20005  
Phone: 202-331-1100  
Fax: 202-331-1101



PROPOSED RIGHT SIDE ELEVATION



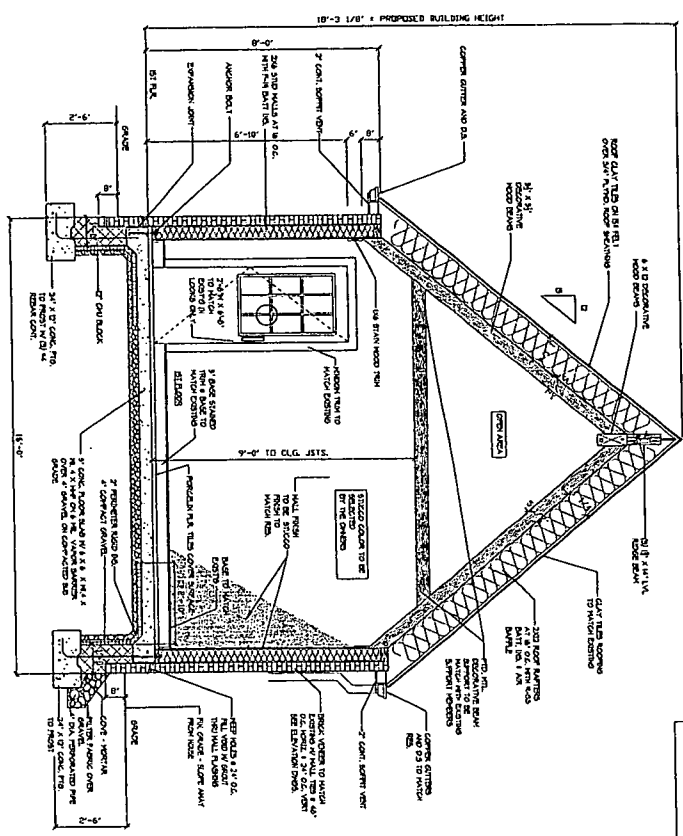
PROPOSED REAR ELEVATION

PROPOSED LEFT SIDE ELEVATION

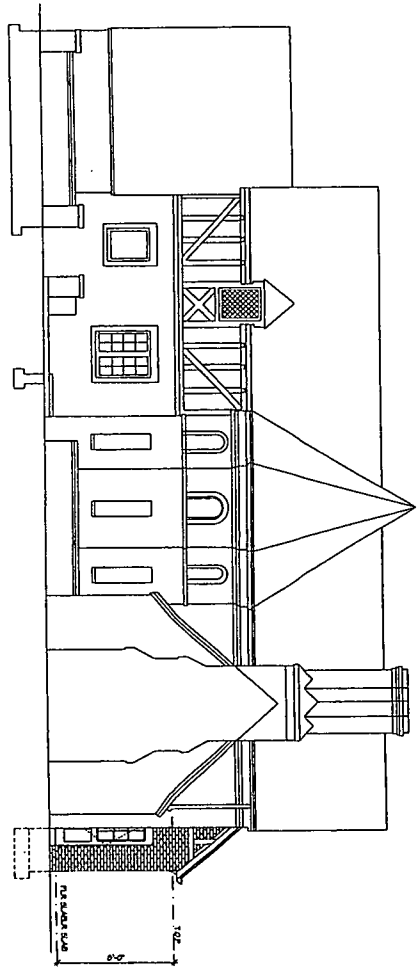
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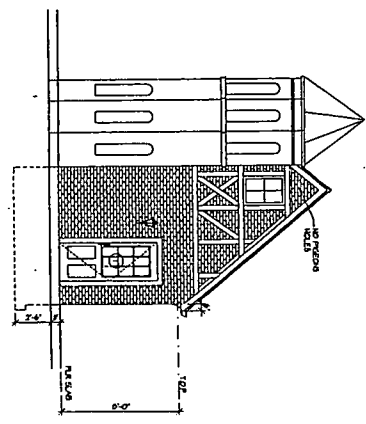
BUILDING SECTION AT FAMILY ROOM



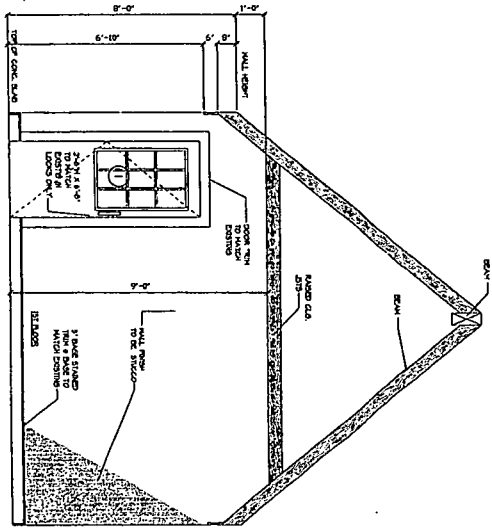
PROPOSED FRONT ELEVATION



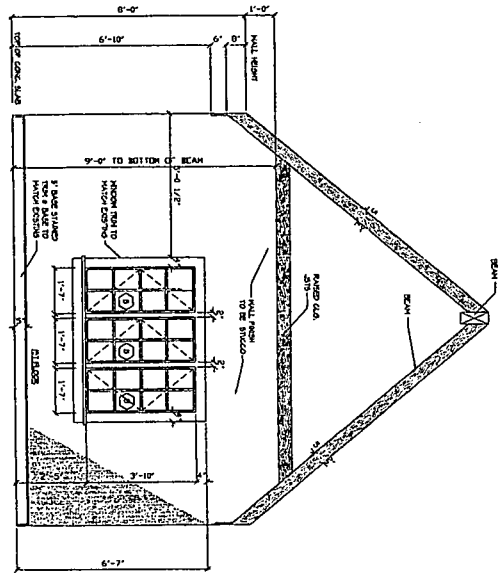
PROPOSED AT PORCH ELEVATION



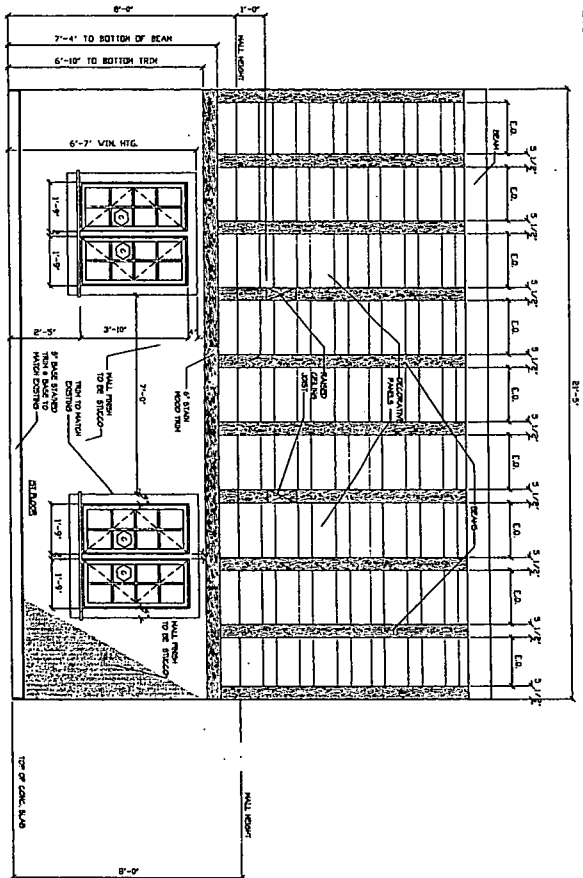
<b>A-5</b> <small>of 11</small>	Date: 06/17/2011 Drawn: [Name] Checked: [Name] Project Number: 1121	<b>REVISIONS</b> 1. [Description] 2. [Description]	<b>SHEET TITLE:</b> PROPOSED ELEVATIONS AND BUILDING SECTION AT FAMILY ROOM	<b>PROJECT:</b> THE DE LUCA RESIDENCE 8100 HAMPDEN LANE BETHESDA, MARYLAND 20814				<b>KRAMER ARCHITECTS INC.</b> 7940-B Old Georgetown Road, Bethesda, MD 20814 Phone: 301-657-3100 Fax: 301-657-3101
	This drawing is the property of Kramer Architects Inc. and is not to be used, copied, or reproduced in any form without the written permission of Kramer Architects Inc.							



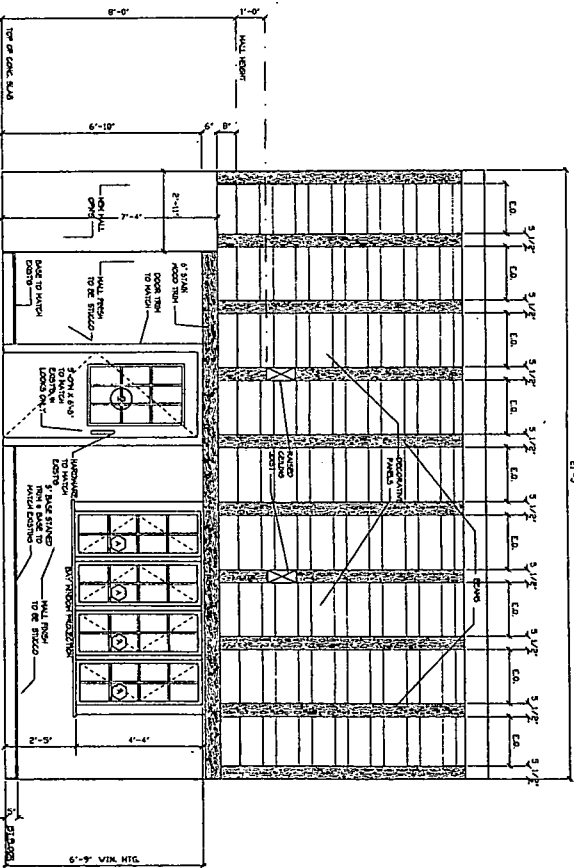
1 INTERIOR ELEVATION  
SCALE 1/8"=1'-0"



3 INTERIOR ELEVATION  
SCALE 1/8"=1'-0"



2 INTERIOR ELEVATION  
SCALE 1/8"=1'-0"

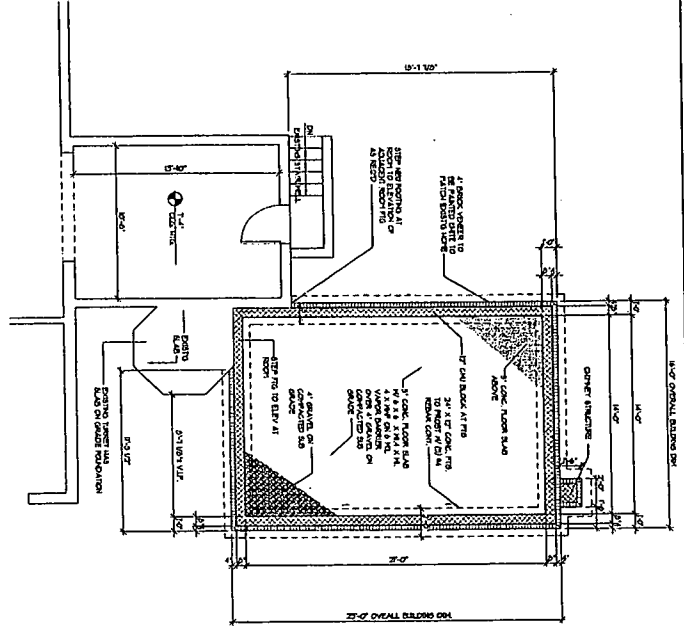


4 INTERIOR ELEVATION  
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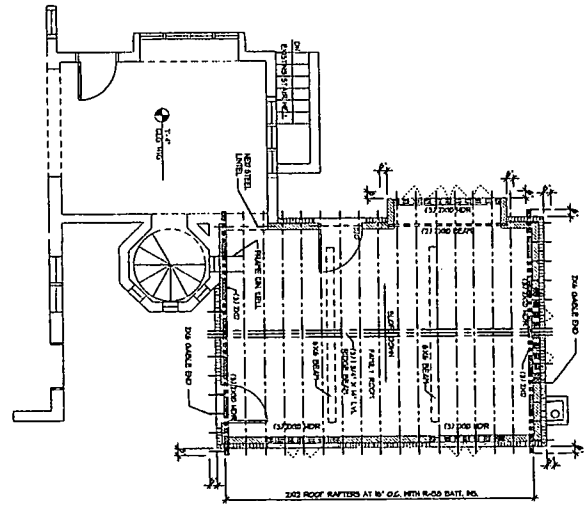
A-6	REVISIONS	SHEET TITLE: INTERIOR ELEVATIONS	PROJECT: THE DE LUCA RESIDENCE 8100 HAMPDEN LANE BETHESDA, MARYLAND 20814						
	Drawn: 08/17/2011 Blain Checked: JMS Project Number: 11121								

**KRAMER ARCHITECTS INC.**  
 7840-D Old Georgetown Road, Bethesda, MD 20814  
 Phone: (301) 634-5700 Fax: (301) 913-1024

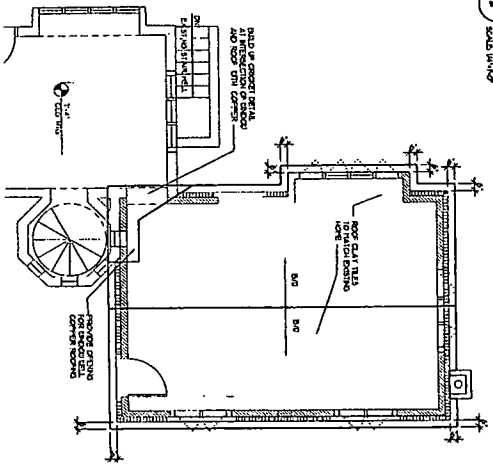
1 FOUNDATION PLAN W/ PARTIAL PLAN  
SCALE: 1/8" = 1'-0"



2 ROOF FRAMING PLAN  
SCALE: 1/8" = 1'-0"



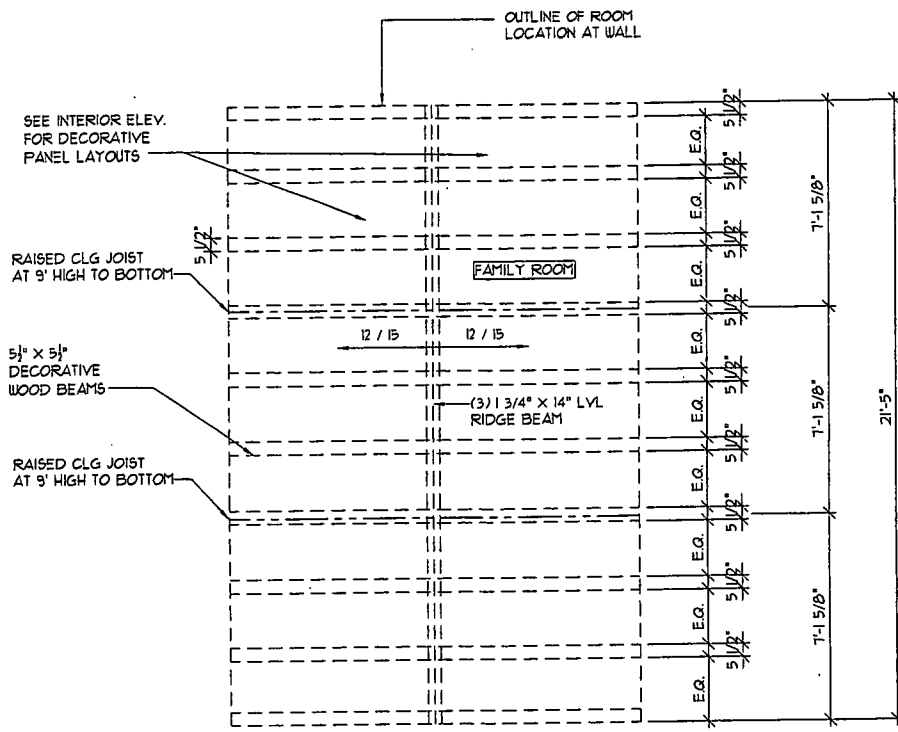
3 PARTIAL OVERALL ROOF PLAN  
SCALE: 1/8" = 1'-0"



<p><b>A-7</b></p>	<p>Project: 8100 Hampden Lane, Bethesda, MD 20814                  Date: 08/17/2011                  Scale: AS NOTED                  Project Number: 1121</p>	<p><b>REVISIONS</b></p>	<p><b>SHEET TITLE</b>                  FOUNDATION PLAN                  ROOF FRAMING PLAN                  AND OVERALL ROOF PLAN</p>	<p><b>PROJECT:</b>                  THE DE LUCA RESIDENCE                  8100 HAMPDEN LANE                  BETHESDA, MARYLAND 20814</p>			<p><b>KRAMER ARCHITECTS INC.</b>                  7942-B Old Georgetown Road, Bethesda, MD 20814                  Phone: (301) 634-0700 Fax: (301) 634-9434</p>
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1 REFLECTED CEILING PLAN AT FAMILY ROOM  
SCALE: 1/8" = 1'-0"



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**KRAMER ARCHITECTS INC.**  
 1100 GARDEN STREET, SUITE 200, BETHESDA, MD 20814  
 PHONE: 301.585.1700 FAX: 301.585.1701



These drawings, specifications, and schedules are prepared by the architect and are subject to the provisions of the contract documents. The architect is not responsible for any errors or omissions in these drawings, specifications, or schedules. The contractor shall verify all dimensions and conditions before construction.



PROJECT:  
 THE DE LUCA RESIDENCE  
 8100 HAMPTON LANE  
 BETHESDA, MARYLAND 20814

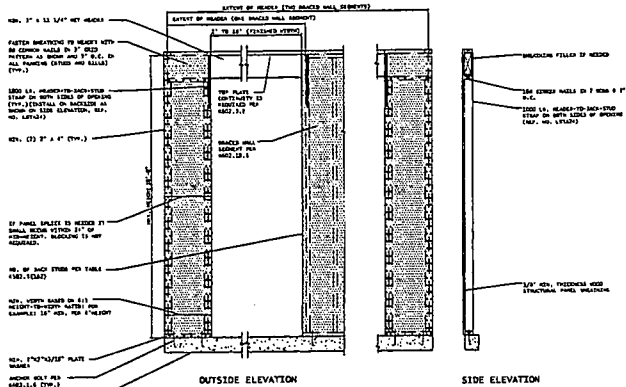
SHEET TITLE:  
 REFLECTED CEILING

REVISIONS  
 Dates: 06 / 17 / 2011  
 Plans:  
 Bids:  
 Scale:  
 AS NOTED  
 Project Number:  
 1121

A-8  
 OF

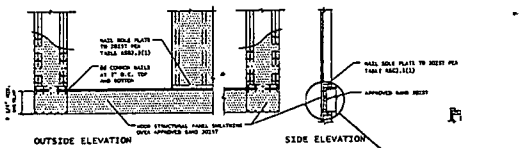




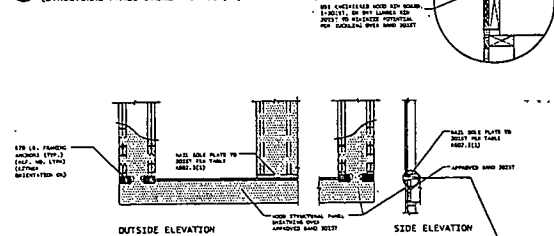


**TYPICAL WALL SHEATHING - ALL NEW EXT. WALLS**  
 15/32" APA SHEATHING WITH 8d COMMON NAILS @ 6" O.C. @ ALL EDGES -  
 12" IN THE FIELD  
 1ST & 2ND FLOOR WALLS TIED TOGETHER WITH PLYWOOD SHEATHING, OR  
 MSTC 28 STRAPS @ 6'-0" O.C.  
 IRC 2006  
 SECTION 502.10.5  
 CONTINUOUS STRUCTURAL PANEL SHEATHING - BRACE WALL PANEL  
 METHOD 3: WOOD STRUCTURAL PANEL SHEATHING  
 WITH A THICKNESS NOT LESS THAN 5/16" FOR 16"  
 STUD SPACING AND NOT LESS THAN 3/8" FOR 24"  
 STUD SPACING.  
 WOOD STRUCTURAL PANELS SHALL BE IN ACCORDANCE  
 WITH TABLE R602.3(3).

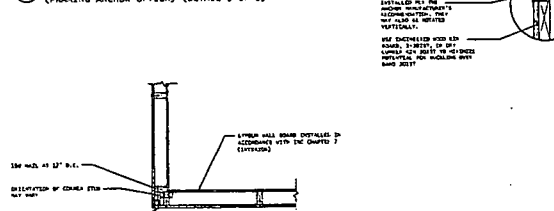
○ APA DETAIL OF NARROW WALL BRACING METHOD WITHOUT HOLD-DOWNS (DETAIL 1 OF 3)



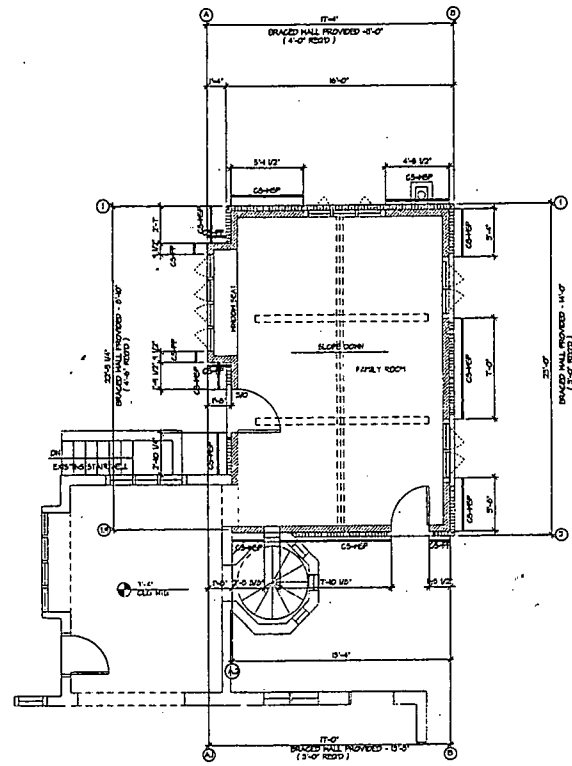
○ APA DETAIL OF NARROW WALL BRACING METHOD WITHOUT HOLD-DOWNS (STRUCTURAL PANEL OVERLAP OPTION) (DETAIL 2 OF 3)



○ APA DETAIL OF NARROW WALL BRACING METHOD WITHOUT HOLD-DOWNS (FRAMING ANCHOR OPTION) (DETAIL 3 OF 3)



○ EXAMPLE OF OUTSIDE CORNER DETAIL PER IRC R602.10.5



○ BRACED WALL PANEL PLAN - 1ST FLR  
 SCALE 1/4" = 1'-0"

**KRAMER ARCHITECTS INC.**  
 1000 W. WASHINGTON BLVD. SUITE 200  
 WASHINGTON, DC 20004  
 TEL: 202.331.1100  
 FAX: 202.331.1101  
 WWW.KRAMERARCHITECTS.COM

These drawings, specifications, and schedules are prepared by the architect and are subject to change without notice. The contractor shall verify all dimensions and conditions before construction. The architect shall not be responsible for any errors or omissions in these drawings.

**PROFESSIONAL CERTIFICATION**  
 I, the undersigned, being a duly licensed professional architect under the laws of the State of Maryland, do hereby certify that I am the author of these drawings and that I am a duly licensed professional architect under the laws of the State of Maryland.  
 Signature: [Signature]  
 Date: 05/17/2011

**INTERNATIONAL CERTIFICATION BOARD**  
 1004-S  
 SEAL OF EXCELLENCE

PROJECT:  
 THE DE LUCA RESIDENCE  
 8100 HAMPPDEN LANE  
 BETHESDA, MARYLAND 20814

SHEET TITLE:  
 BRACED WALL PANEL  
 PLANS

REVISIONS

Date: 05/17/2011  
 Per: [Name]  
 Design:  
 AS NOTED  
 Project Number  
 1121

**WP**

Contract and Construction Documents prepared by KRAMER ARCHITECTS INC., 1000 W. WASHINGTON BLVD., SUITE 200, WASHINGTON, DC 20004

61

Existing Property Condition Photographs (duplicate as needed)



(21)

Applicant: DE LUCA

FRONT & REAR  
ELEVATION

Page: 4

Existing Property Condition Photographs (duplicate as needed)



Detail: \_\_\_\_\_



Detail: \_\_\_\_\_

27

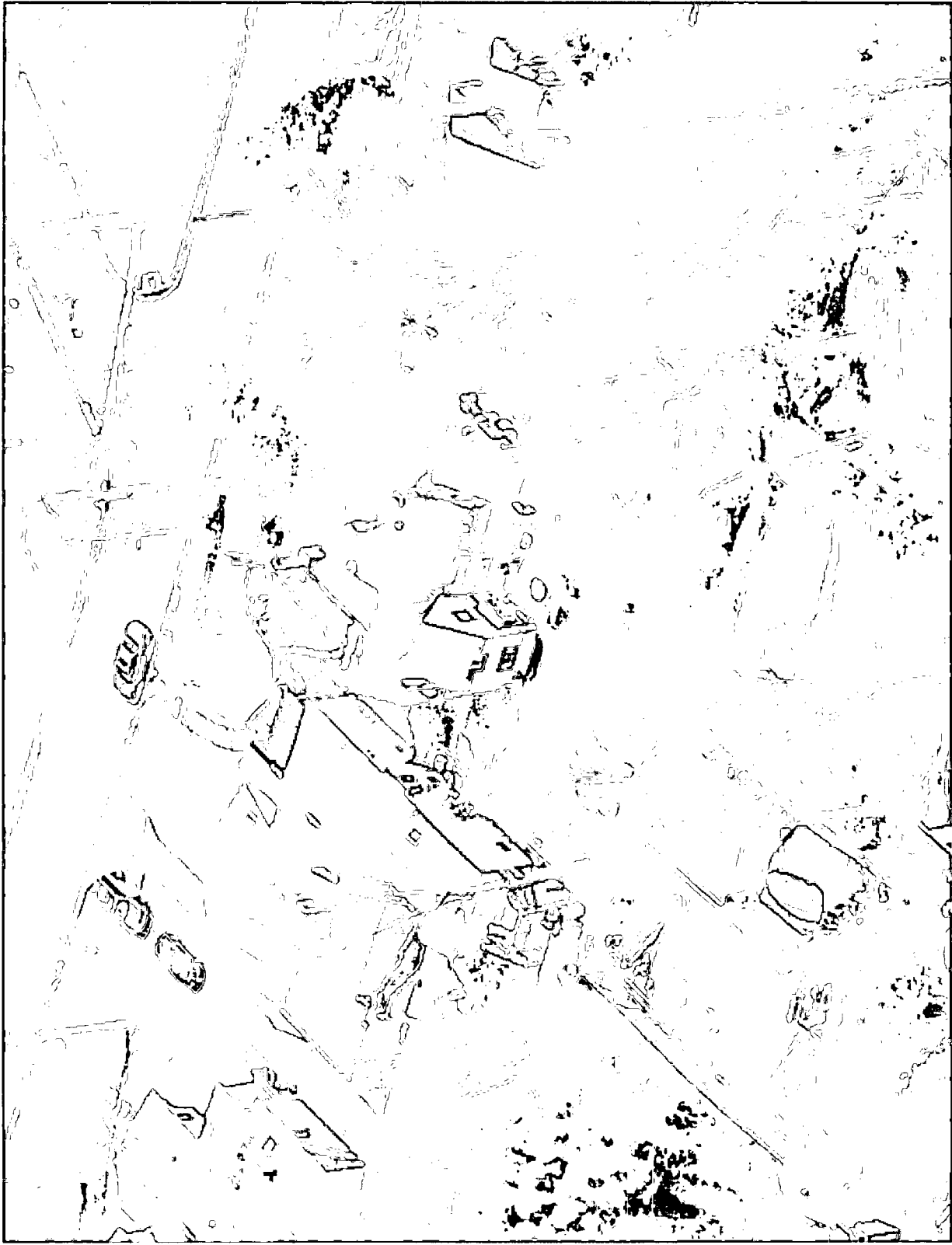
Applicant: \_\_\_\_\_

DE LUCA

Rear Elevation  
@ Area of Addition

Page: \_\_\_\_\_

5



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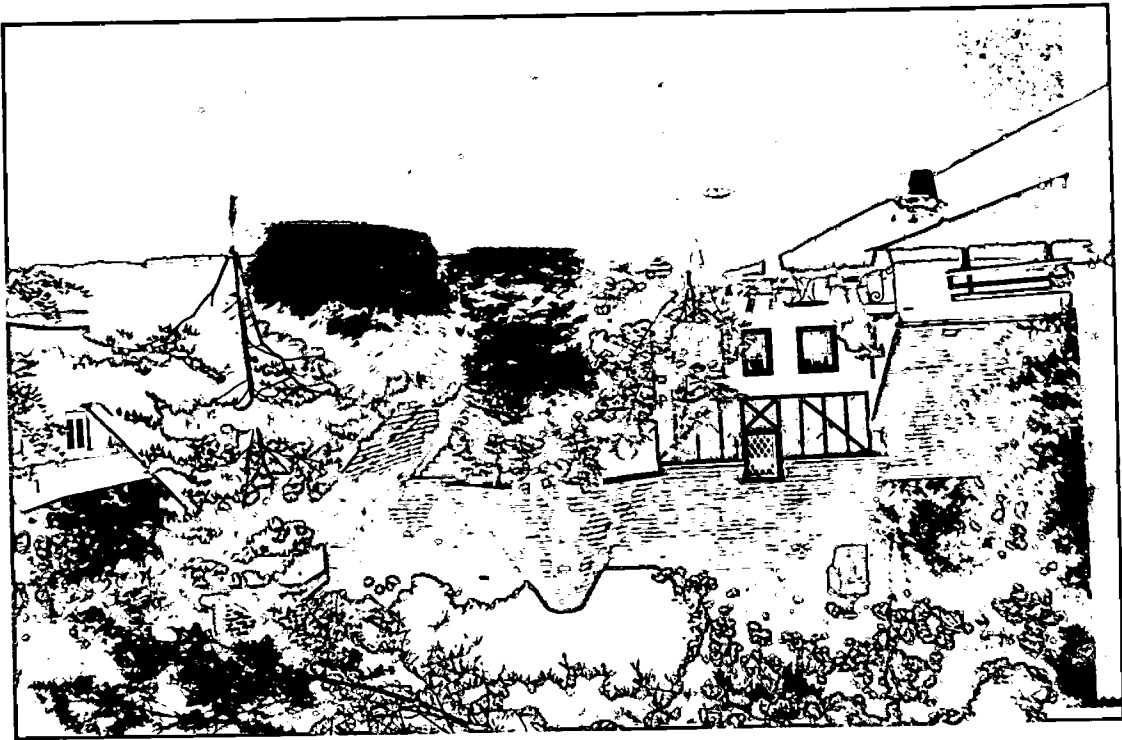
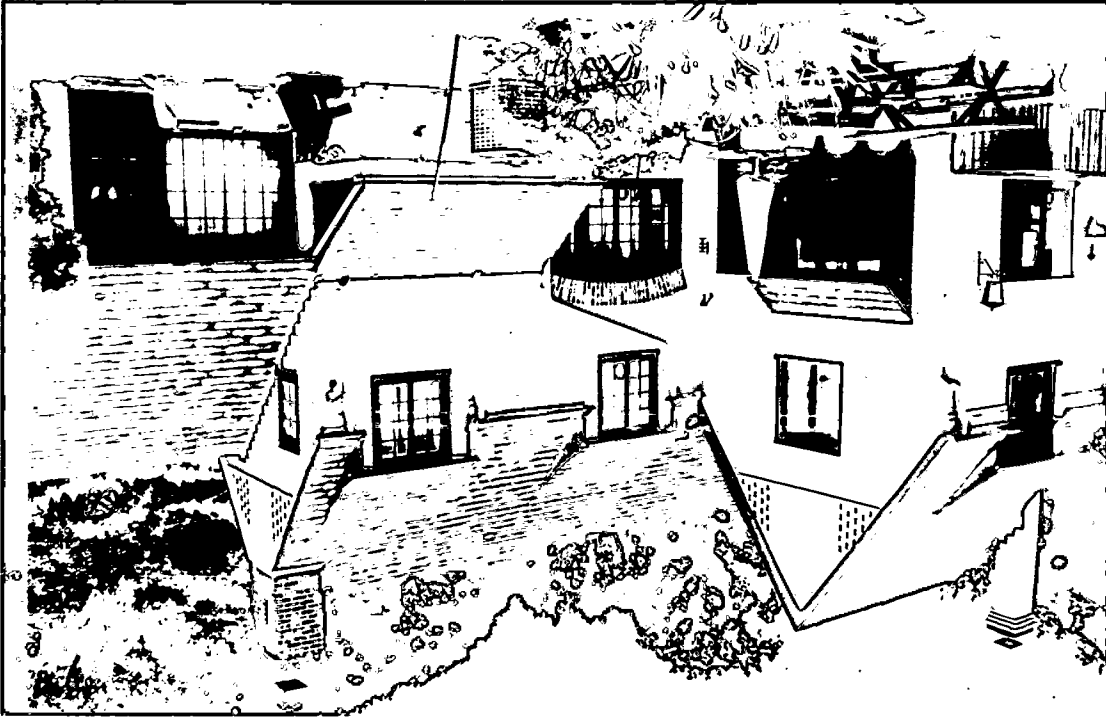
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(26)









Existing Property Condition Photographs (duplicate as needed)



Detail: \_\_\_\_\_



Detail: \_\_\_\_\_

Applicant: \_\_\_\_\_

*DE LUCA*

*Rear Elevation  
@ Area of Addition*

Page: \_\_\_\_\_