

4107 Aards Bridge Rd.  
Hawthorn Lane N.D.

2010 HWY

## Fothergill, Anne

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**From:** Fothergill, Anne  
**Sent:** Monday, October 04, 2010 9:48 AM  
**Subject:** October 6th staff item  
**Attachments:** Scan001.pdf

Attached please find a photo of the house at 4107 Jones Bridge Road (Contributing Resource, Hawkins Lane HD) along with the HPC-approved plans for a rear screened porch and deck. The applicant is proposing a material change from wood to a paintable synthetic material like Azek for the screened porch and the deck railing (she intends to use matte paint). The plans are marked showing the proposed material change. I will bring copies of the attachment as well as a material sample to the worksession.

See you Wednesday.

thanks,  
Anne

Anne Fothergill  
Planner Coordinator  
Urban Design | Historic Preservation Section  
Maryland-National Capital Park and Planning Commission  
301-563-3400 phone | 301-563-3412 fax  
<http://www.montgomeryplanning.org/historic>

**Office Location:**

1400 Spring Street, Suite 500 W  
Silver Spring, MD 20910

**Mailing Address:**

8787 Georgia Avenue  
Silver Spring, MD 20910



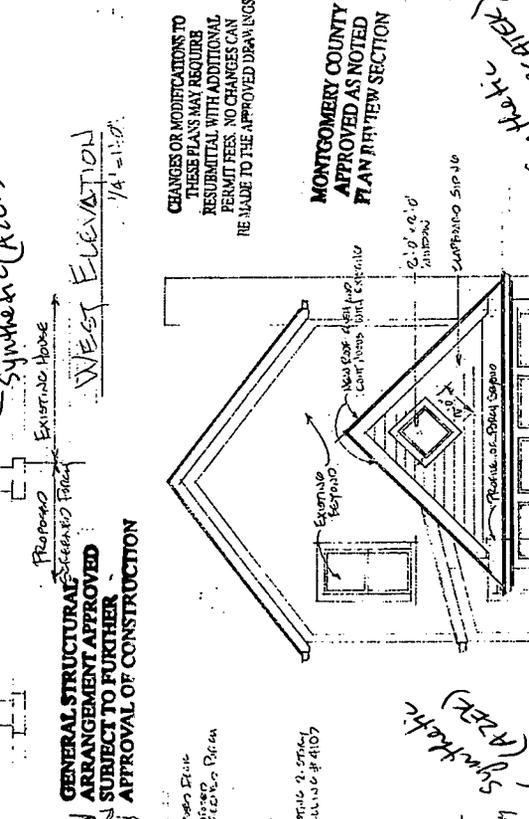
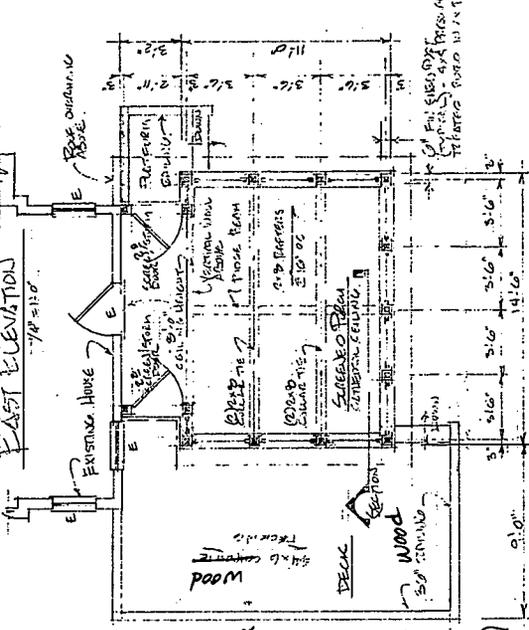
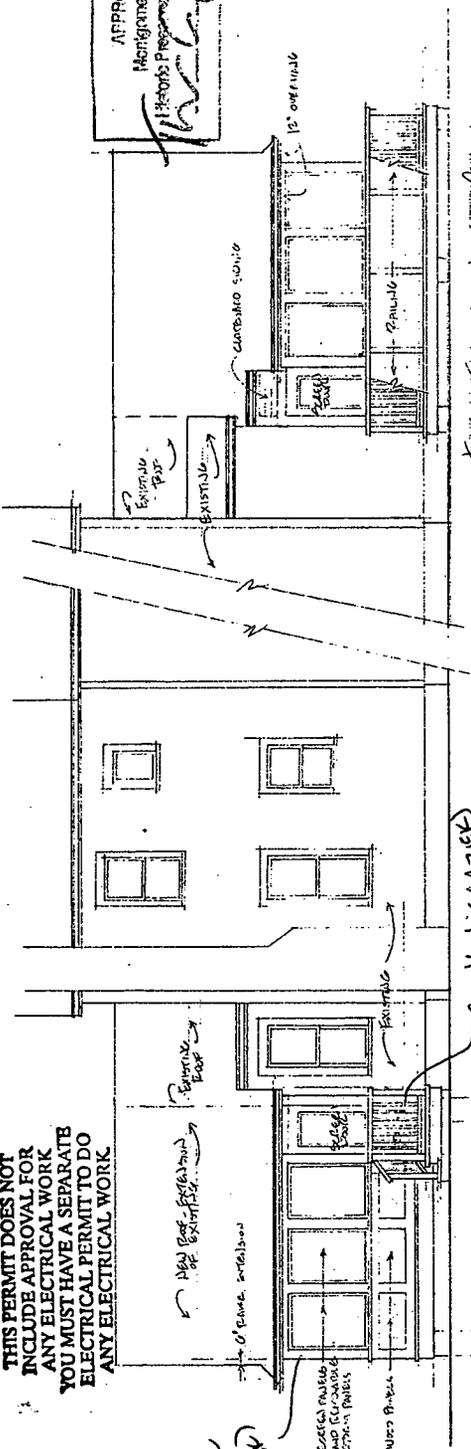


4107 Jones Bridge Rd.

THIS PERMIT DOES NOT INCLUDE APPROVAL FOR ANY ELECTRICAL WORK YOU MUST HAVE A SEPARATE ELECTRICAL PERMIT TO DO ANY ELECTRICAL WORK.

**MONTGOMERY COUNTY EXECUTIVE REGULATION 24-4**  
**THE FINAL INSPECTION MUST BE REQUESTED AND APPROVED BEFORE A BUILDING (OR PORTION THEREOF) IS USED OR OCCUPIED**

**APPROVED COURSES OF RESISTIVE FLASHING SHALL BE PROVIDED WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION.**



CHANGES OR MODIFICATIONS TO THESE PLANS MAY REQUIRE RESUBMITTAL WITH ADDITIONAL PERMIT FEES. NO CHANGES CAN BE MADE TO THE APPROVED DRAWINGS.

**MONTGOMERY COUNTY APPROVED AS NOTED PLAN VIEW SECTION**

FIRST FLOOR PLAN  
 1/4" = 1'-0"

PROPOSED SCREENED PORCH AND DECK ADDITION  
 4107 JONES BRIDGE ROAD  
 BETHESDA MD  
 STEVEN BRESLIN DESIGN LLC  
 301-977-7445  
 DATE: 5-23-10

MONTGOMERY COUNTY  
 DEPARTMENT OF PERMITTING SERVICES  
 APPROVED DATE 06/14/10  
 2010 CLASS 2-10 PAGE 01/00  
 76 MEH & ASS

MONTGOMERY COUNTY  
 DEPARTMENT OF PERMITTING SERVICES  
 APPROVED DATE 7/14/10



## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

Thomas Jester  
Chairperson

Date: 6/24/10

### MEMORANDUM

TO: Carla Reid, Director  
Department of Permitting Services

FROM: Anne Fothergill *AF*  
Planner Coordinator  
Historic Preservation Section-Planning Department  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #539339—screened porch and deck construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on June 23, 2010.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Carolyn Pilling and Victoria Van Roden  
Address: 4107 Jones Bridge Road, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





RETURN TO DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850  
246 777 1271

DPS - #8

539339

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Carolyn A. Pilling  
Daytime Phone No.: 202 274-3285

Tax Account No.: 165-58-4107  
Name of Property Owner: Carolyn A. Pilling/Victoria van Roden  
Address: 4107 Jones Bridge Road Chevy Chase, MD 20815  
Street Number City State Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

LOCATION OF BUILDING/PREMISE

House Number: 4107 Street: Jones Bridge Road  
Town/City: Chevy Chase Nearest Cross Street: Connecticut Avenue  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: Hawkins Lane Historic District  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

- |   |  |
|---|--|
| 1A. CHECK ALL APPLICABLE:                     | CHECK ALL APPLICABLE:                                    |
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> A/C                             |
| <input type="checkbox"/> Extend               | <input type="checkbox"/> Slab                            |
| <input type="checkbox"/> Alter/Renovate       | <input type="checkbox"/> Room Addition                   |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Solar                           |
| <input type="checkbox"/> Install              | <input type="checkbox"/> Fireplace                       |
| <input type="checkbox"/> Wreck/Raze           | <input type="checkbox"/> Woodburning Stove               |
| <input type="checkbox"/> Revision             | <input type="checkbox"/> Fence/Wall (complete Section 4) |
| <input type="checkbox"/> Repair               | <input type="checkbox"/> Other: _____                    |
| <input type="checkbox"/> Revocable            |  |

1B. Construction cost estimate: \$ \_\_\_\_\_  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Carolyn A. Pilling  
Signature of owner or authorized agent  
Date: 6/1/10

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 6/24/10  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

\*on existing plans, says 4113 but property address was changed to 4107 when house was renovated in 1990's

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1913(?) Farmhouse next to North Chevy Chase Park.  
Two new homes (1990's) share the driveway and are  
located behind the house. Adjacent to North  
Chevy Chase Park  
Garage built in 1990's when house was  
renovated.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Screened in porch on existing patio slab  
off back of house. Cannot be seen from  
Jones Bridge Road.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

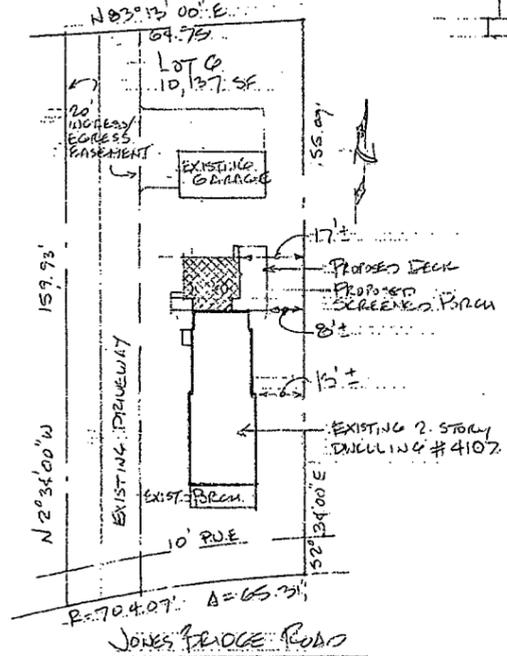
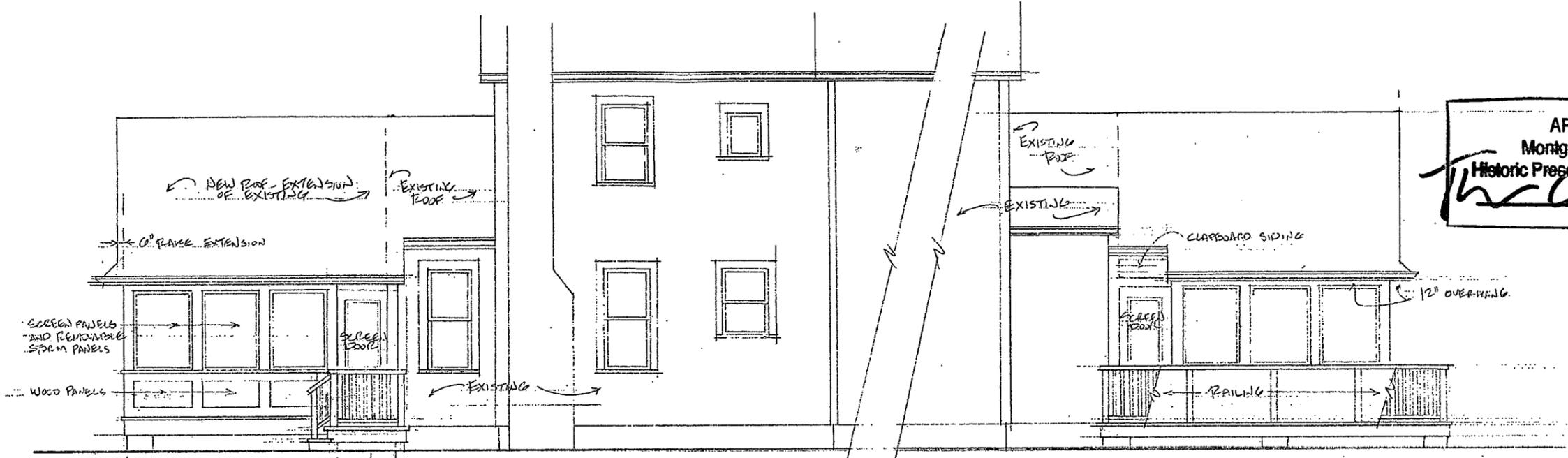
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



Proposed

APPROVED  
Montgomery County  
Historic Preservation Commission

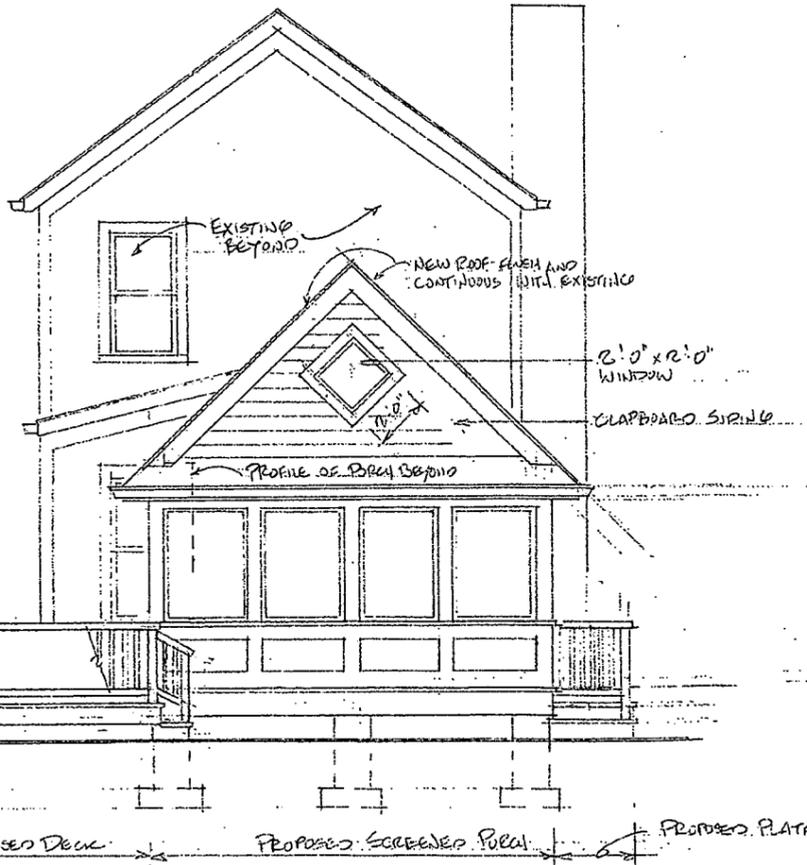
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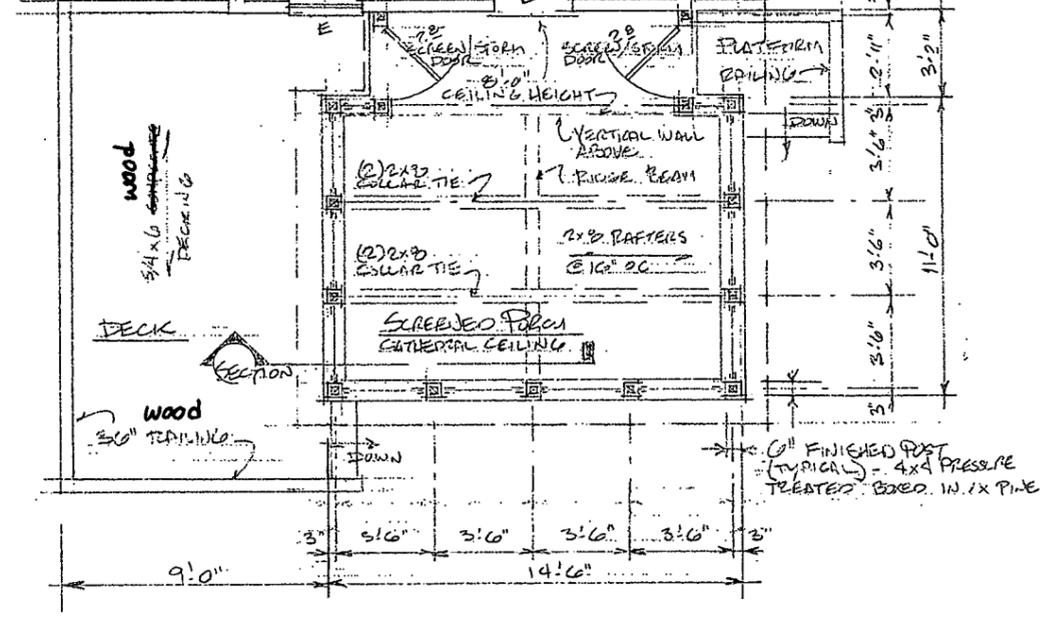
LOT PLAN 1"=30'  
BASED ON A SURVEY BY  
SWINDELL & ASSOCIATES  
10-1-93

PROPOSED SCREENED PORCH  
EXISTING HOUSE  
WEST ELEVATION  
1/4" = 1'-0"

EAST ELEVATION  
EXISTING HOUSE  
1/4" = 1'-0"



PROPOSED DECK  
PROPOSED SCREENED PORCH  
PROPOSED PLATFORM  
NORTH ELEVATION  
1/4" = 1'-0"



ALL CONSTRUCTION DETAILING SHALL BE IN COMPLIANCE WITH ALL MONTGOMERY COUNTY CODES AND REGULATIONS.

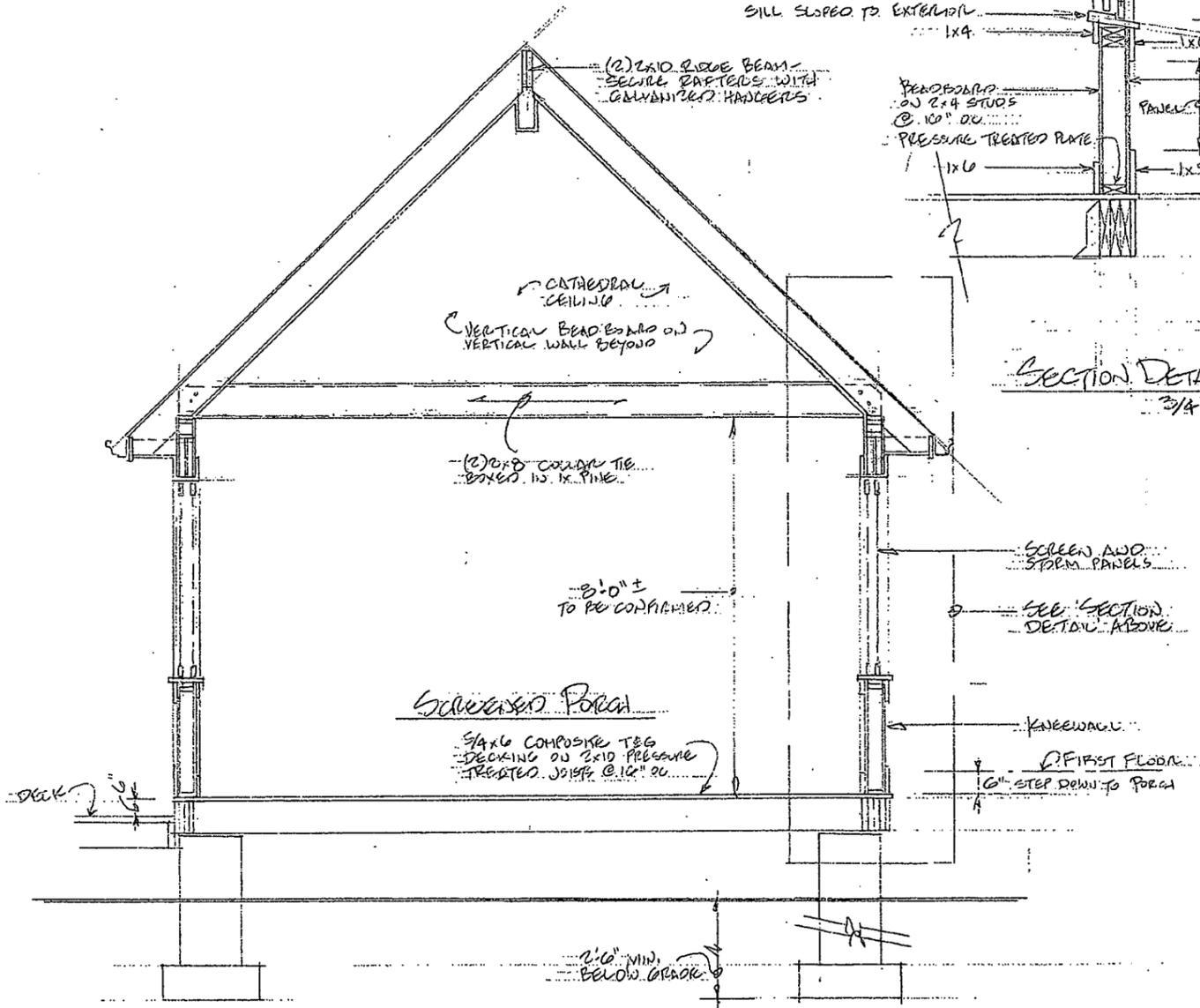
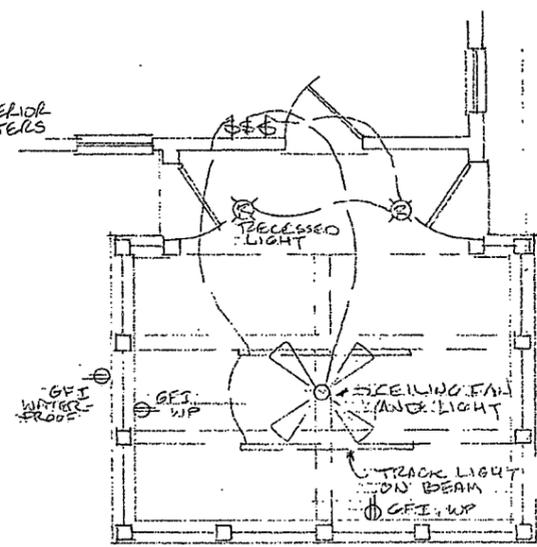
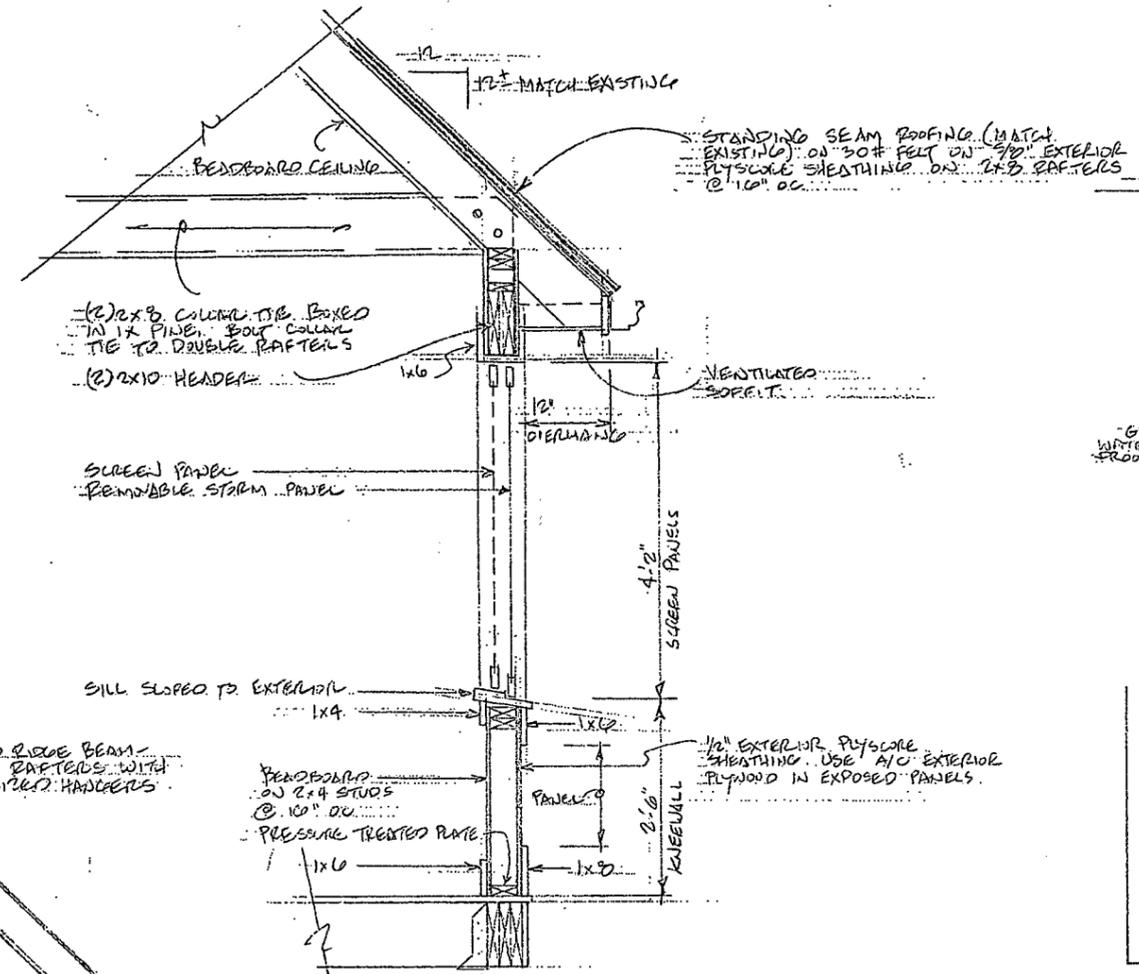
FIRST FLOOR PLAN  
1/4" = 1'-0"

PROPOSED SCREENED PORCH AND DECK ADDITION  
4107 JONES BRIDGE ROAD  
BETHESDA MD  
STEVEN BRESLIN, DESIGNER  
5112 ELSMERE AVENUE  
BETHESDA MD 301-897-9463  
DATE: 5.28.10

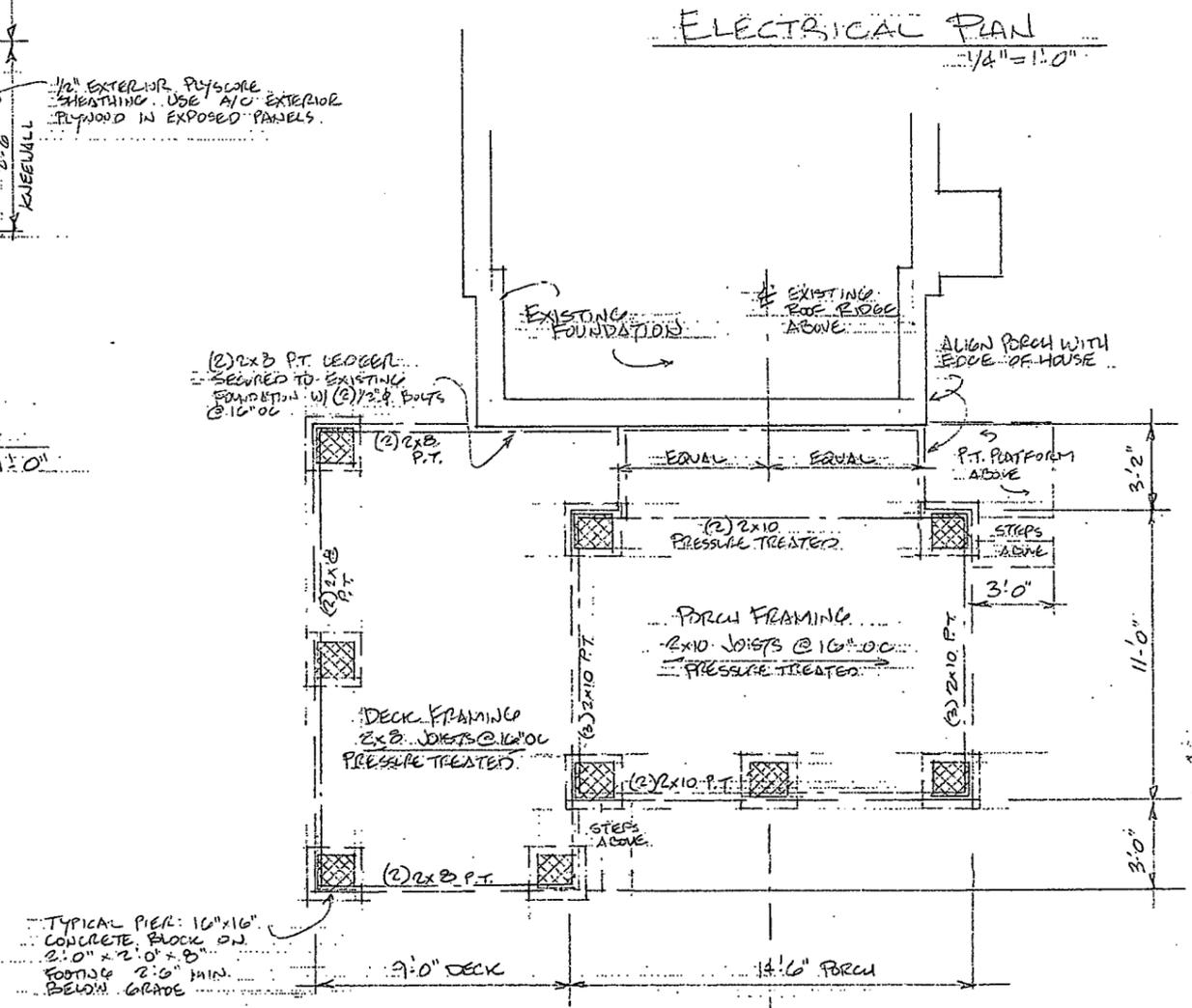
Proposed

APPROVED  
Montgomery County  
Historic Preservation Commission

6/24/10



SECTION DETAIL  
3/4" = 1'-0"



ELECTRICAL PLAN  
1/4" = 1'-0"

FOUNDATION PLAN  
1/2" = 1'-0"

SECTION  
1/2" = 1'-0"

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	4107 Jones Bridge Road, Chevy Chase	<b>Meeting Date:</b>	6/23/10
<b>Applicant:</b>	Carolyn Pilling and Victoria Van Roden (Stephen Breslin, Architect)	<b>Report Date:</b>	6/16/10
<b>Resource:</b>	Contributing Resource Hawkins Lane Historic District	<b>Public Notice:</b>	6/09/10
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/54-10A	<b>Staff:</b>	Anne Fothergill
<b>PROPOSAL:</b> Rear screened porch and deck			

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**STAFF RECOMMENDATION**

Staff recommends that the HPC approve the HAWP application.

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Hawkins Lane Historic District  
**STYLE:** Folk Victorian  
**DATE:** c. 1910

**HISTORIC CONTEXT**

Excerpted from the *The Hawkins Lane Historic District Development Guidelines Handbook*:

The History of Hawkins Lane

County land records indicate that the site of the Hawkins Lane Historic District was once part of a 700 acre tract called "Clean Drinking", granted to Colonel John Courts in 1700 by Charles, Lord Baron of Baltimore. The tract was purchased by Charles Jones in 1750, and the association of Clean Drinking (which at one point included some 1400 acres) with the Jones family continued well into the twentieth century; it is memorialized in the names of two area streets, Jones Mill Road and Jones Bridge Road.

The first Hawkins to be associated with the property was a prosperous white farmer from Prince George's County named James Hawkins, who, in 1825, bought for \$10,000 "all that part of a tract of land called Clean Drinking, a total of 400 acres" from Clement Smith, who had acquired the property from a descendant of Charles Jones [Montgomery County Land Records, Y/80]. In 1867 Hawkins' relatives sold approximately 93 acres of the tract to the Reverend John Hamilton Chew of Washington, D.C., a prominent Episcopalian minister. It was the Reverend Chew's widow, Sophia, who, in February of 1893, sold three acres of Clean Drinking for \$300 to James H. Hawkins, an ex-slave who had been employed (as a freedman) by her husband; the sale set the stage for the development of a small black community on the site.

Although a relationship has not been definitely established between the "white" and the "black" James Hawkins, the 1853 Montgomery County Slave Census lists a white farmer, James Hawkins, Jr. (probably the son of the James Hawkins who acquired the property in 1825) as owning two slaves named James. It is conceivable that the younger of the two was the James H. Hawkins who bought three acres of Clean Drinking in 1893. (See page 4 of the Hawkins Lane Historic District Inventory Form for additional information).

By 1897, Hawkins had erected a two-story frame house for himself at the southwest corner of what later became Hawkins Lane and Jones Bridge Road. The first residence built on the Lane, it was destroyed by fire in the early 1920's.

After James H. Hawkins' death in 1928, his property was (in accordance with his will) divided equally among his twelve children; the Lane and the adjoining section of Jones Bridge Road were soon populated with homes built by members of the Hawkins family for themselves or for relatives and friends.

It is clear that James H. Hawkins (a truck farmer and part-time Methodist preacher) was determined that his children would be property owners. As a recent study of black communities in Montgomery County observes:

"The ability to own land was one of the most valued privileges among blacks in Maryland. Land ownership represented status, opportunity for prosperity, and potential stability for future generations." (Model Resource Preservation Plan for Historic Black Communities: Haiti-Martin's Lane, Rockville, MD, Draft, Peerless Rockville Preservation, Ltd., July, 1988, p.19.)

The history of the district's association with the Hawkins' family is a lengthy one, continuing to the present. All but six of the houses on the Lane were built by the children of James H. Hawkins for their own use, and they remained in the family for many years. Two of the Hawkins Lane properties are still owned by members of the Hawkins family, and James Hawkins' granddaughter, octogenarian Ella Hawkins, occupies one of them. On Jones Bridge Road, several properties still remain in the Hawkins family, while others were not sold to "outsiders" until the mid-1970's.

Established by a black, with the majority of dwellings built by --and for -- blacks, the Hawkins Lane Historic District remained a black residential enclave and "kinship community" for well over half a century, with the houses owned and occupied primarily by one family. Although the community is now racially mixed, a number of the properties are still black-owned and the Hawkins family is still represented in the district. And, in spite of changes in the racial composition of the district, it has retained the strong sense of community cohesiveness which was originally based on ties of kinship.

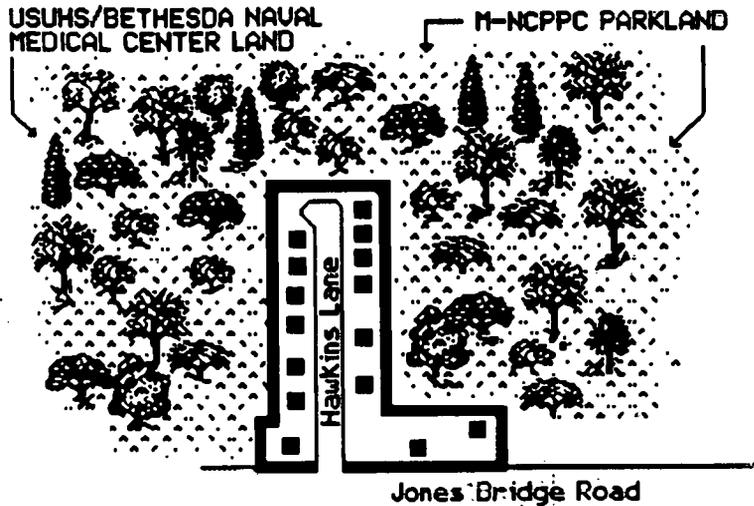
The district continues to be an important link to an earlier period in the county's history, and a tangible record of the efforts of the county's black citizens to establish themselves economically and socially.

#### Setting: The Surrounding Area

The historic district is bounded on the north, east, and west by heavily- wooded, largely undeveloped, publicly-owned properties which provide a park-like setting and contribute to its quiet, rural character. The setting helps to mitigate, to some extent, the impact of heavily-trafficked Jones Bridge Road, which forms its southern boundary.

The district is located on the north side of Jones Bridge Road near the intersection of Jones Bridge and Connecticut Avenue in North Chevy Chase, Maryland. To the west and northwest are approximately 180 acres of federally-owned property occupied by the U.S. Naval Medical Center (NMC) and the Uniformed Services University of the Health Sciences (USUHS). A chainlink

fence physically (but not visually) separates the rear yards of the residences on the west side of Hawkins Lane from the scenic USUHS campus.



Adjoining the federal property on the north and surrounding the district to the east are approximately 36 acres of wooded property belonging to the Maryland-National Capital Park and Planning Commission (M-NCPPC). The property is undeveloped except for a recreation center which, in the summer, is screened by vegetation.

#### Setting: The Historic District

The character of the district is the result of a combination of factors, some natural and some man-made. As noted above, one of the most important is the pleasant setting provided by adjoining publicly-owned properties. In addition, within the district, such factors as vegetation, topography, open space, and the appearance of Hawkins Lane itself all contribute to the district's visual character.

#### Vegetation and Topography

The district's rural character is enhanced by an abundance of vegetation, particularly on Hawkins Lane, where, in the summer, trees and bushes screen residences from busy Jones Bridge Road and provide a park-like setting. On Jones Bridge Road, where there is less vegetation, heavily-treed rear lots provide a thick green canopy in the summer.

A survey of the vegetation in the district found that the principal hard wood trees are tulip poplars, white oaks, red oaks, box elders, and sugar maples. Ornamental trees include dogwoods, Japanese red maples, and red buds. In addition, a number of evergreens, such as cedars, hemlock, and southern pine, are used to delineate boundaries and to serve as hedges,

Many of these trees, particularly the hard woods, are in excess of 10 inches in diameter and are mature, stately trees that significantly contribute to the rural appearance of the lane and its sense of separateness from the surrounding urban landscape. In addition, these trees serve as a major source of food and shelter for the over 35 species of birds that may be observed in the confines of the historic district. Their preservation is a sine qua non of the district's ambience.

The naturally uneven topography of the district has been retained, particularly on Hawkins Lane, further adding to its rural character.

## Establishment of the Historic District

The request for the establishment of a Hawkins Lane Historic District was based on the fact that (as the amendment recommending the district's placement on the county's Master Plan for Historic Preservation notes), the district is

"a unique and important historical resource in Montgomery County -an outstanding example of a black 'kinship' community which reflects the heritage and lifestyle of black citizens at the turn of the century and in the early 20th century . There are few intact, early black communities left in the county and even fewer which so clearly demonstrate the determination and legacy of one family, the Hawkins. Although the structures in the district are modest, they clearly reflect a sense of historic time and place. The district, as a whole, is an essential part of the county's history to be preserved, remembered, and appreciated."

The Hawkins Lane Historic District includes several properties on nearby Jones Bridge Road as well as all of Hawkins Lane, for a total of 3.81 acres; it does not include the Gilliland/ Bloom House at 4025 Jones Bridge Road, or the Hurley/Sutton House at 4023 Jones Bridge Road, each of which has been separately designated as an historic site. The district consists of most of the original three acres acquired late in the nineteenth century by James H. Hawkins, the ex-slave who founded the community, plus several tracts of land acquired by Hawkins' sons in the early decades of the twentieth century.

## PROPOSAL

The applicants are proposing to construct an approximately 200 SF screened porch at the rear of the house, connecting to an existing rear addition. The screened porch has wood panels, wood clapboard siding in the gable end, removable storm panels, and a standing seam metal roof to match the existing roof. They also propose to install a 17' x 9' wood deck off the right side of the screened porch.

Existing plans which show the recent addition are in Circles 10-12. The proposed plans are in Circles 13 + 14. Photos of existing conditions are in Circles 15-21.

## APPLICABLE GUIDELINES

When reviewing alterations within the Hawkins Lane Historic District, *The Hawkins Lane Historic District Development Guidelines Handbook (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)* are to be utilized as guidelines to assist the Commission in developing their decision. The pertinent information in these documents is outlined below.

The following are relevant excerpts from the *Hawkins Lane Historic District Development Guidelines Handbook*:

### Existing Buildings

Exterior alterations and additions should be compatible in scale and massing and materials with existing buildings.

The massing of a new addition should defer to and complement the massing of the existing structure, not obliterate or overwhelm it.

Architectural elements which contribute to a building's character, including front porches, should be retained.

Additions should be placed to the rear of existing buildings, whenever possible, to make them less obtrusive.

Additions or alterations to existing outbuildings should follow the same guidelines as additions or alterations to residential structures, that is, they should be compatible with the existing structures in terms of scale, massing and materials.

Where an outbuilding has particular historic significance because of its date of erection or other factors (as with the shed at the rear of 4113 Jones Bridge Road) every effort should be made to maintain and preserve it.

**Montgomery County Code; Chapter 24A-8:**

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard # 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The proposed screened porch is at the rear of the house and connects to an existing non-historic rear addition. The design, materials, and massing are all compatible with the house. The proposed deck is also at the rear of the house. Neither of these additions will have an adverse impact the historic house or historic district and staff recommends approval.

**STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [anne.fothergill@mncppc-mc.org](mailto:anne.fothergill@mncppc-mc.org) to schedule a follow-up site visit.



RETURN TO DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850  
246 777-1271

DPS - #8

539339<sup>A</sup>

**HISTORIC PRESERVATION COMMISSION  
301/563-3400**

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Person: Carolyn A. Pilling  
Daytime Phone No.: 202 274-3285

Tax Account No.: 165-58-4107  
Name of Property Owner: Carolyn A. Pilling/Victoria van Roden  
Address: 4107 Jones Bridge Road Chevy Chase, MD 20815  
Street Number City State Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 4107 Street: Jones Bridge Road  
Town/City: Chevy Chase Nearest Cross Street: Connecticut Avenue  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: Hawkins Lane Historic District  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- |   |  |
|---|--|
| <b>1A. CHECK ALL APPLICABLE:</b>              | <b>CHECK ALL APPLICABLE:</b>                             |
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> A/C                             |
| <input type="checkbox"/> Extend               | <input type="checkbox"/> Slab                            |
| <input type="checkbox"/> Alter/Renovate       | <input type="checkbox"/> Room Addition                   |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Fireplace                       |
| <input type="checkbox"/> Install              | <input type="checkbox"/> Woodburning Stove               |
| <input type="checkbox"/> Wreck/Raze           | <input type="checkbox"/> Single Family                   |
| <input type="checkbox"/> Revision             | <input type="checkbox"/> Fence/Wall (complete Section 4) |
| <input type="checkbox"/> Repair               | <input type="checkbox"/> Other: _____                    |
| <input type="checkbox"/> Revocable            |  |

1B. Construction cost estimate: \$ \_\_\_\_\_  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3D. Indicate whether the fence or retaining wall is to be constructed on one of the following locations.  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Carolyn A. Pilling  
Signature of owner or authorized agent

6/1/10  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

\* on existing plans, says 4113 but property address was changed to 4107 when house was renovated in 1990's

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1913 (?) Farmhouse next to North Chevy Chase Park.  
Two new homes (1990's) share the driveway and are  
located behind the house. Adjacent to North  
Chevy Chase Park  
Garage built in 1990's when house was  
renovated.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

Screened in porch on existing patio slab  
off back of house. Cannot be seen from  
Jones Bridge Road.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, windows and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

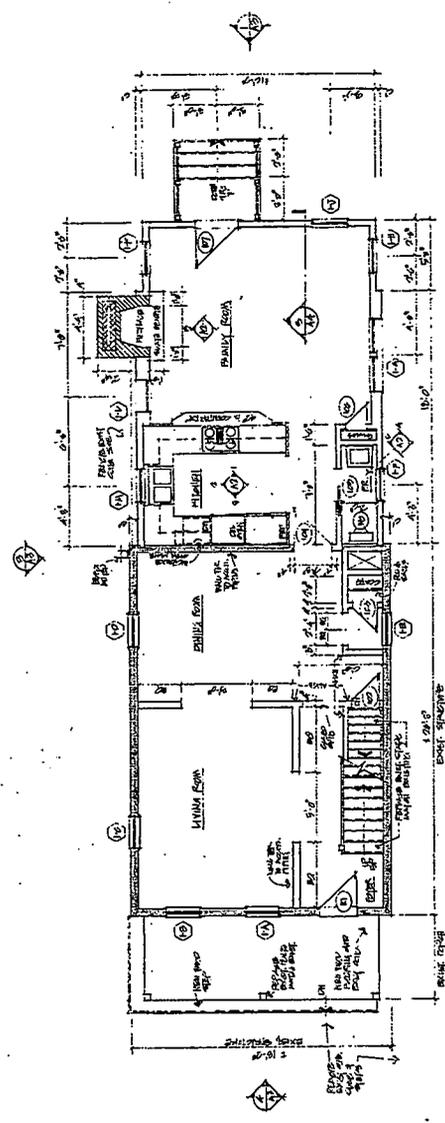
For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

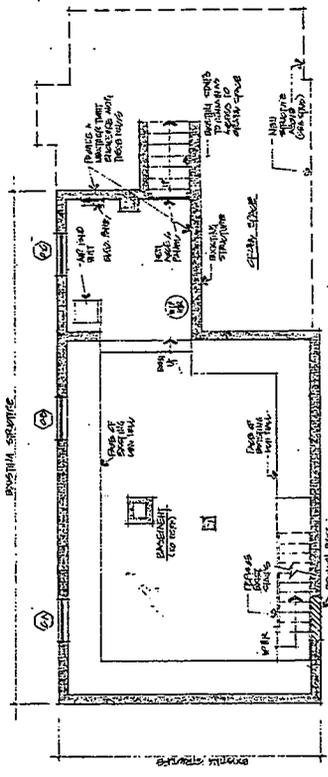
**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b>          Carolyn A. Pilling, Victoria van Roden          4107 Jones Bridge Road          Chevy Chase, MD 20815</p>	<p><b>Owner's Agent's mailing address</b></p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>North Chevy Chase Park          Montgomery County</p>	<p>* Mark Heffernan &amp; Ana Heffernan          4109 Jones Bridge Road          Chevy Chase, MD 20815          * But currently living at:          9539 Ament St.          Silver Spring, MD 20910</p>
<p>Joe Marguecho, Peter Morris          4111 Jones Bridge Road          Chevy Chase, MD 20815</p>	<p>* Helen Fairfax - <u>Empty Lot</u>          4113 Jones Bridge Road          Chevy Chase, MD 20815          * Last address known:          34 Deerfield Blvd.          Hampton, VA 23666</p>

Existing



Floor Plan / Level One  
 Scale: 1/4" = 1'-0"



Floor Plan / Basement  
 Scale: 1/4" = 1'-0"

**General Notes:**

1. All work shall be performed in accordance with the existing conditions unless otherwise noted.
2. All work shall be performed in accordance with the existing conditions unless otherwise noted.
3. All work shall be performed in accordance with the existing conditions unless otherwise noted.
4. All work shall be performed in accordance with the existing conditions unless otherwise noted.
5. All work shall be performed in accordance with the existing conditions unless otherwise noted.
6. All work shall be performed in accordance with the existing conditions unless otherwise noted.
7. All work shall be performed in accordance with the existing conditions unless otherwise noted.
8. All work shall be performed in accordance with the existing conditions unless otherwise noted.
9. All work shall be performed in accordance with the existing conditions unless otherwise noted.
10. All work shall be performed in accordance with the existing conditions unless otherwise noted.

**Demolition Notes:**

1. Existing building to be demolished in accordance with the existing conditions unless otherwise noted.
2. All work shall be performed in accordance with the existing conditions unless otherwise noted.
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4. All work shall be performed in accordance with the existing conditions unless otherwise noted.
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9. All work shall be performed in accordance with the existing conditions unless otherwise noted.
10. All work shall be performed in accordance with the existing conditions unless otherwise noted.

**Scope of Demolition:**

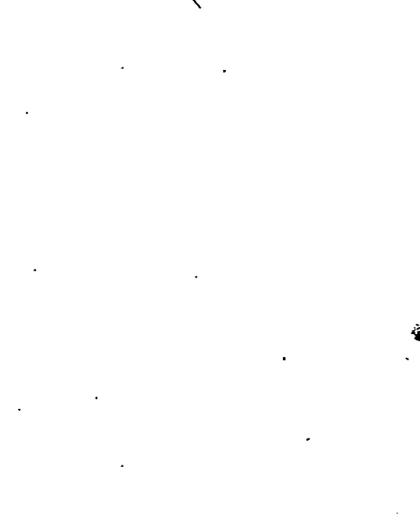
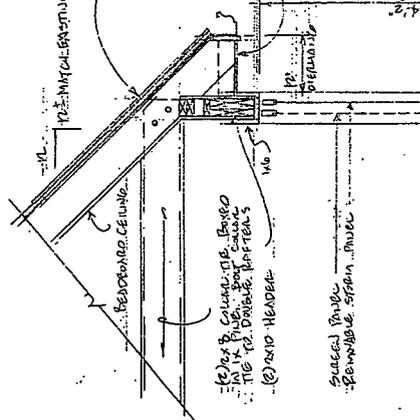
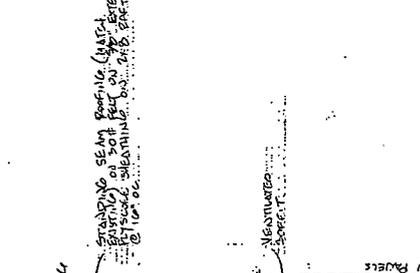
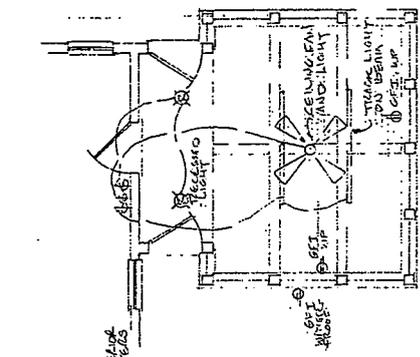
1. Demolition of existing building in accordance with the existing conditions unless otherwise noted.
2. All work shall be performed in accordance with the existing conditions unless otherwise noted.
3. All work shall be performed in accordance with the existing conditions unless otherwise noted.
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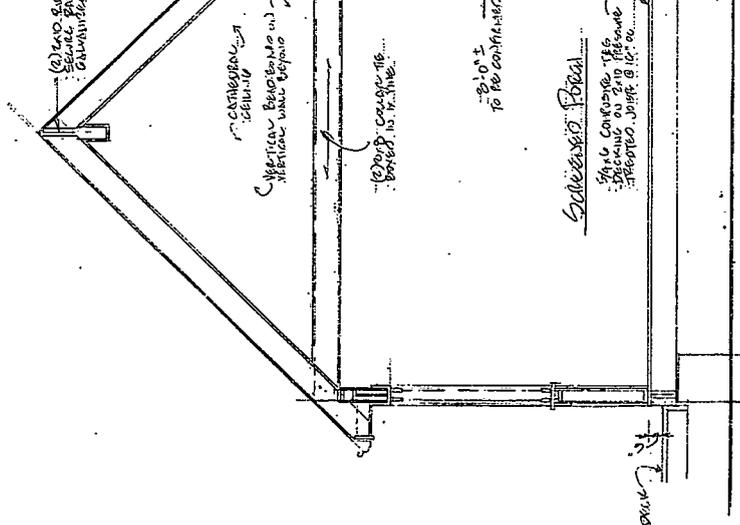
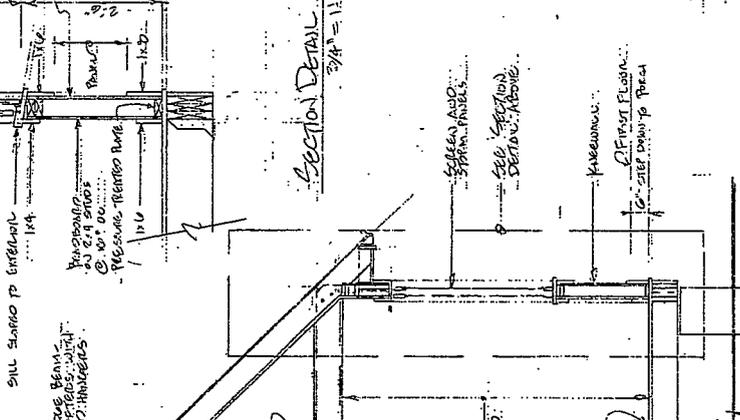
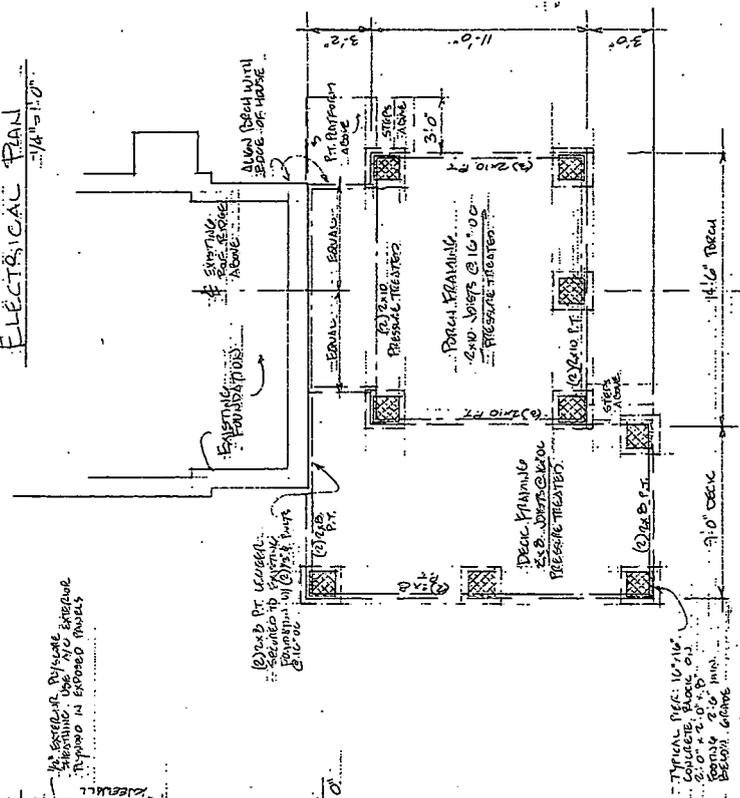




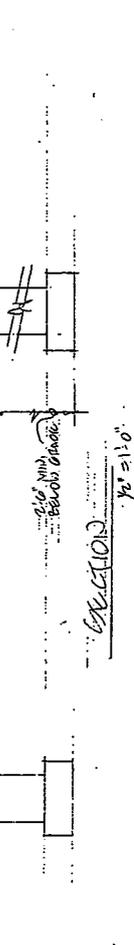
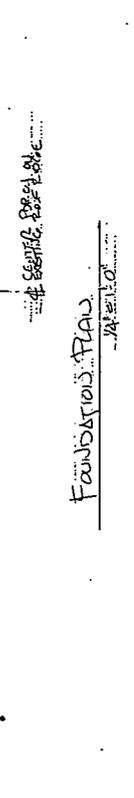
Proposed



**ELECTRICAL PLAN**  
1/4" = 1'-0"



**FOUNDATION PLAN**  
1/4" = 1'-0"



Existing Property Condition Photographs



View from 4113 (Empty Lot)



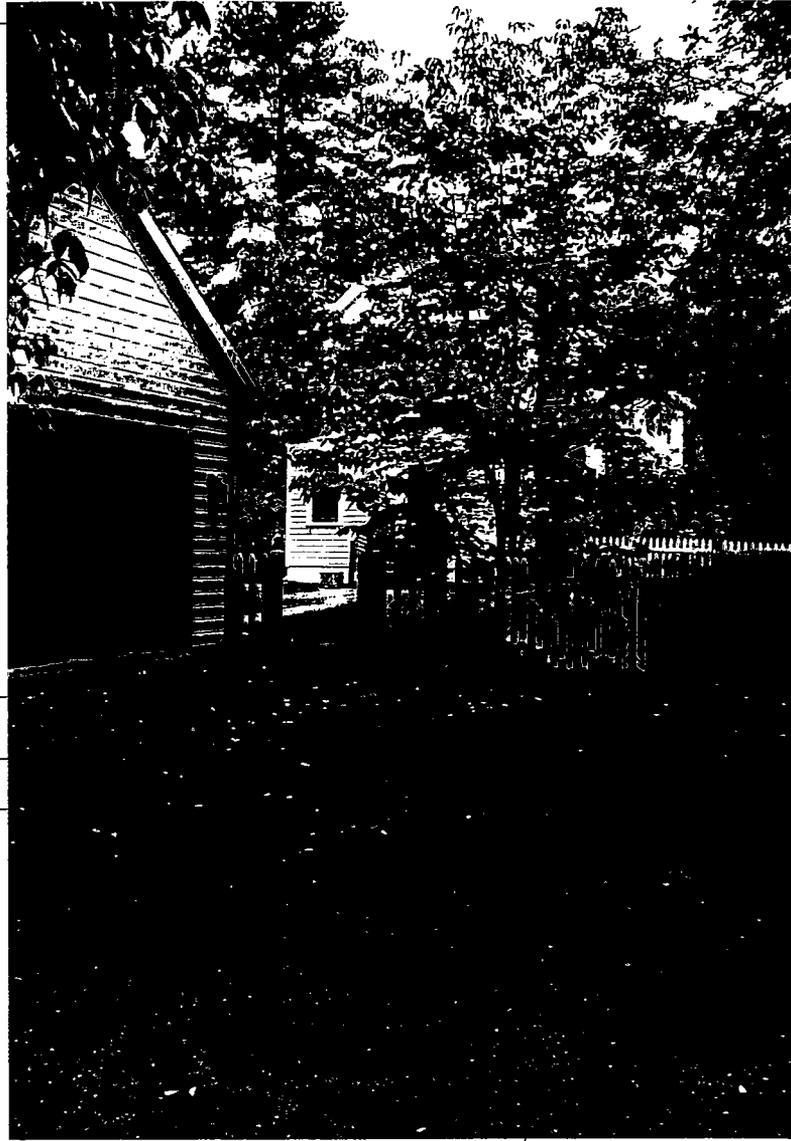
ate North

View from North Chevy Chase Park

Applicant: Carolyn A. Pilling/Victoria van Roden

Page: 3

Existing Property Condition Photographs (duplicate as needed)



Area to be built ↗

View from 4111 ↗

Detail: \_\_\_\_\_

Applicant: Carolyn A. Pilling, Victoria van Roden

Page: 1

Existing Property Condition Photographs (duplicate as needed)



Detail: View from 4109 (can't see patio area due to garage)



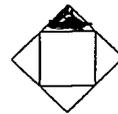
Detail: View from North Chevy Chase Park

Applicant: Carolyn A. Pilling/Victoria van Roden

Existing Property Conditions Photographs



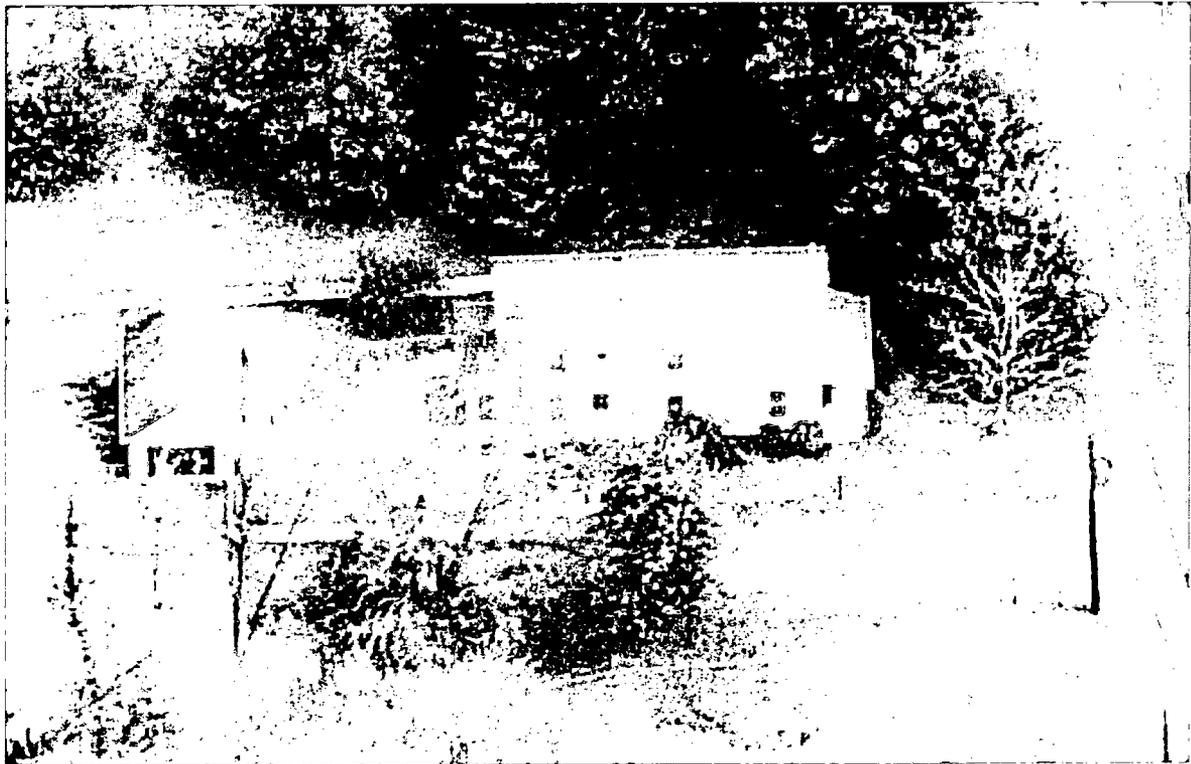
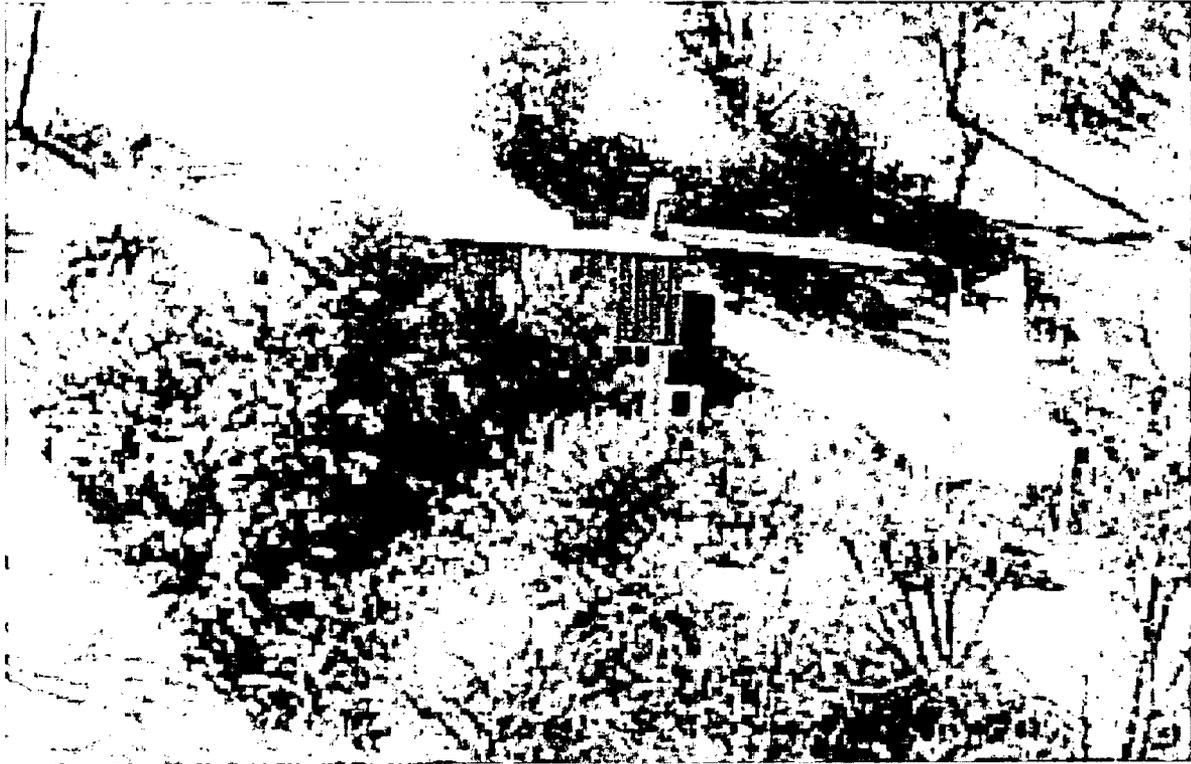
View from right-of-way



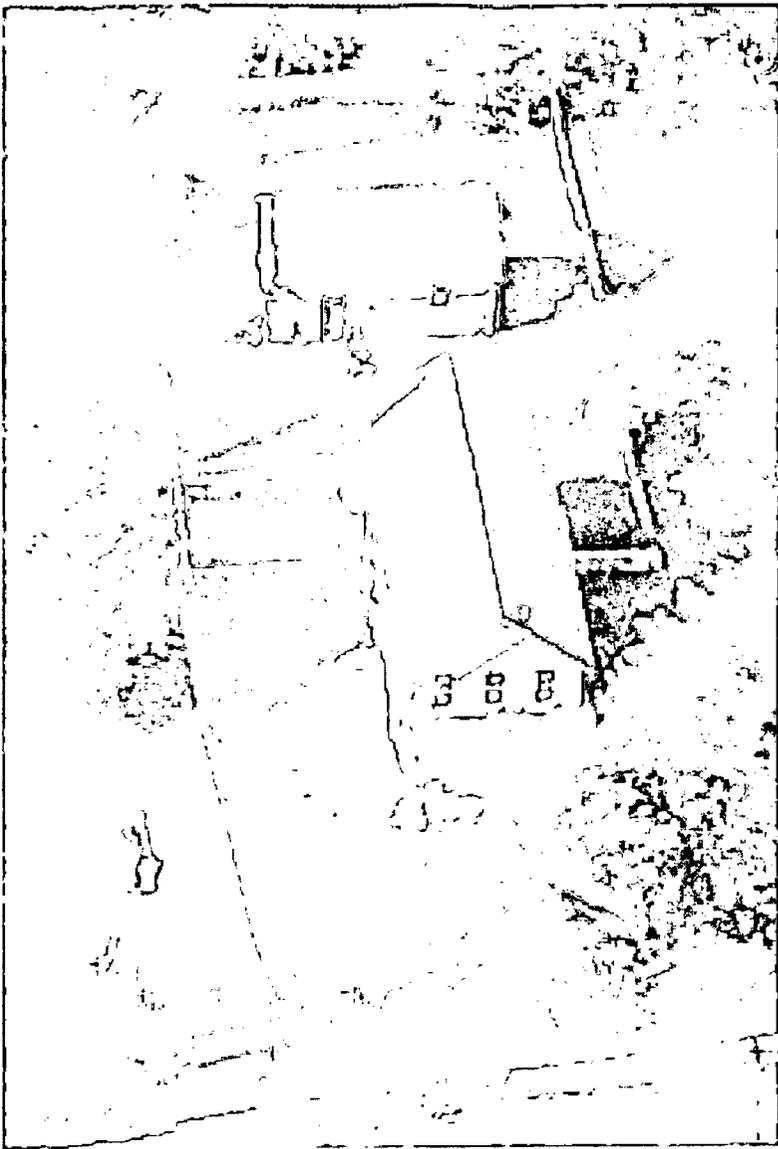
Shade portion to indicate North

Applicant: Cardyn A. Pilling/Victoria van Roder

Page: 4







Existing Property Condition Photographs (duplicate as needed)



Area to be built ↗

View from 4111 ↗

Detail: \_\_\_\_\_

Applicant: Carolyn A. Pilling, Victoria van Rode

Page: 1

Existing Property Condition Photographs (duplicate as needed)



Detail: View from 4109 (can't see patio area due to garage)



Detail: View from North Chevy Chase Park

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Existing Property Condition Photographs



View from 4113 (Empty Lot)



ate North

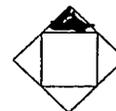
View from North Chevy Chase Park

Applicant: Carolyn A. Pilling / Victoria van Roden

Existing Property Conditions Photographs



View from right-of-way



Shade portion to indicate North

Applicant: Cardyn A. Pilling/Victoria van Roder

Page: 4