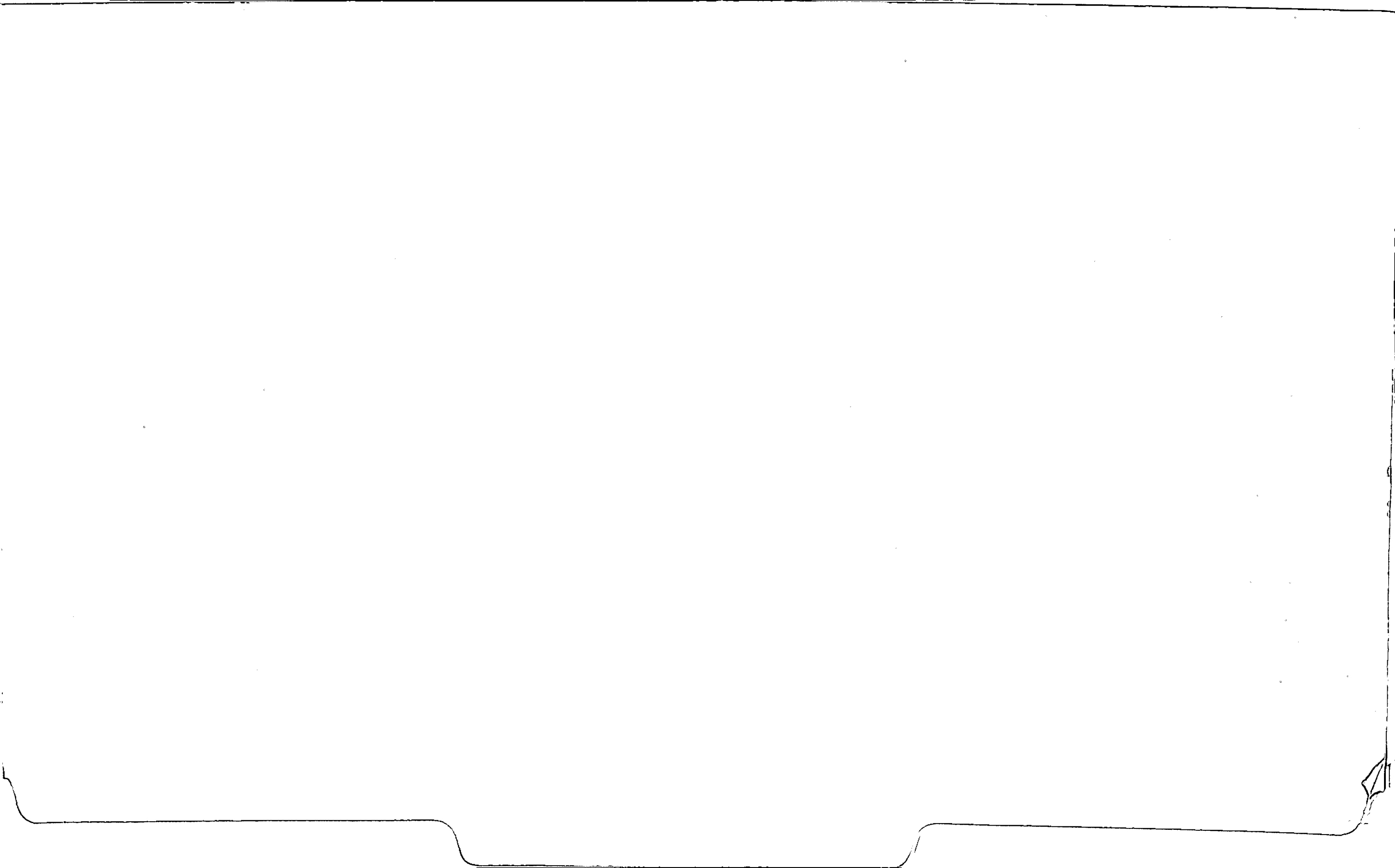


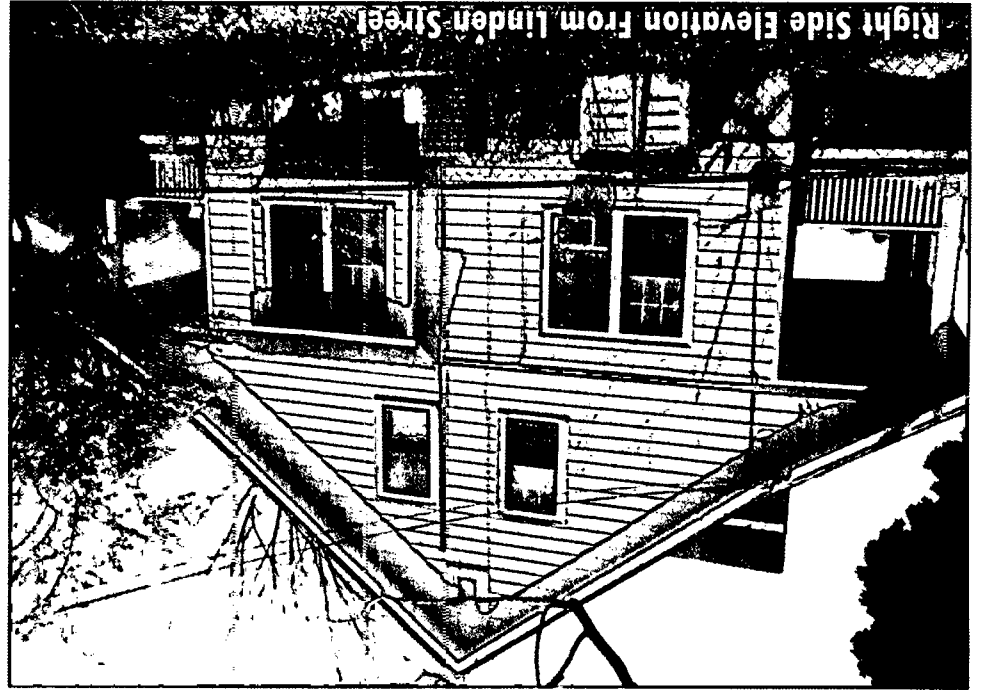
9403 Warren Street
Linden H.I.D.

2011 HAWP





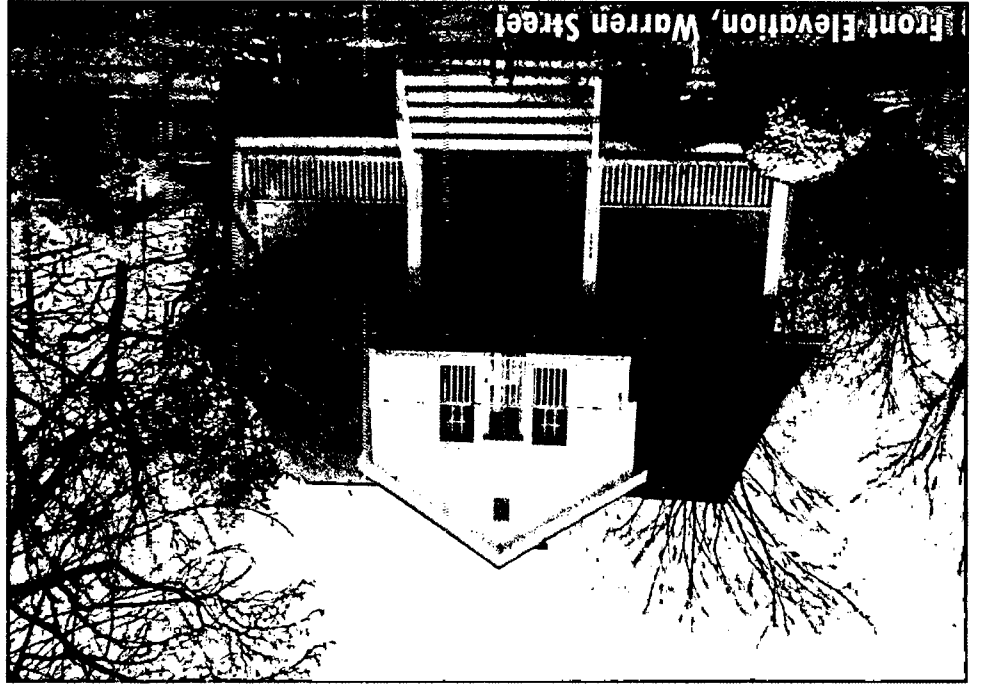
Left Side Elevation



Right Side Elevation from Linden Street



Rear Elevation



Front Elevation, Warren Street



(c) Copyright 2006, Pictometry International

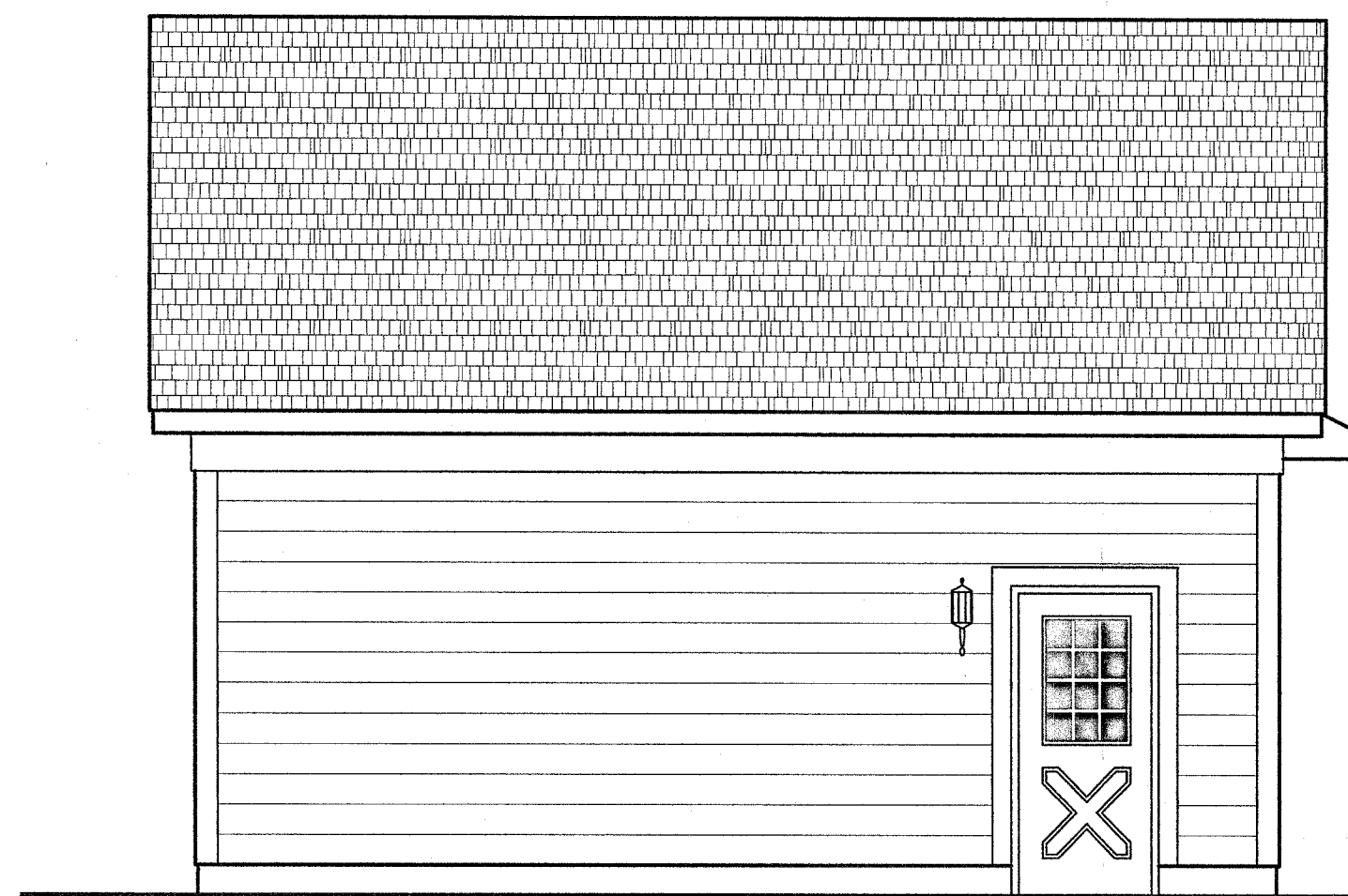
9403 Warren



Front Elevation

Scale 1/4" = 1'- 0"

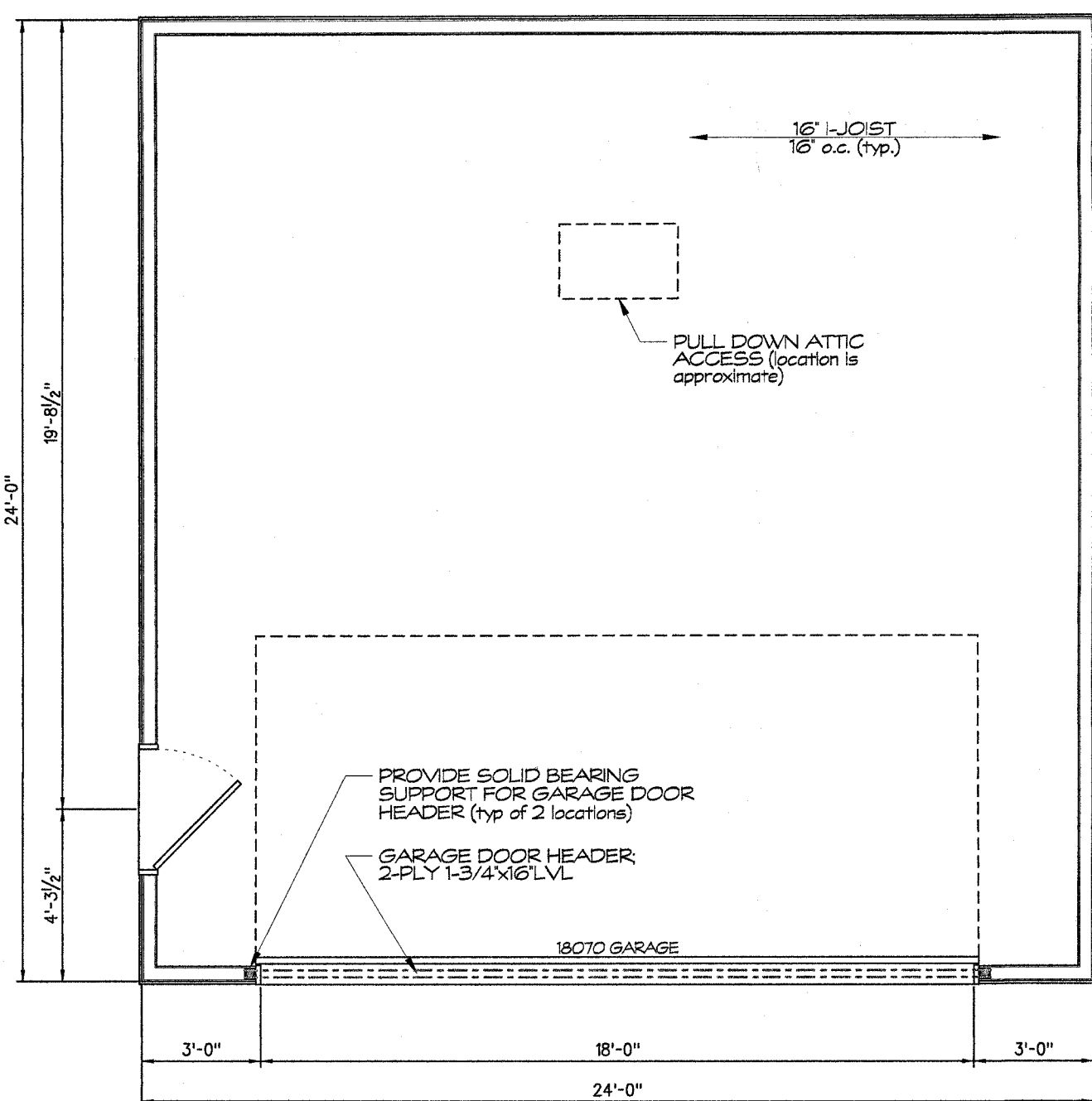
1
A1



Left Elevation

Scale 1/4" = 1'- 0"

2
A1

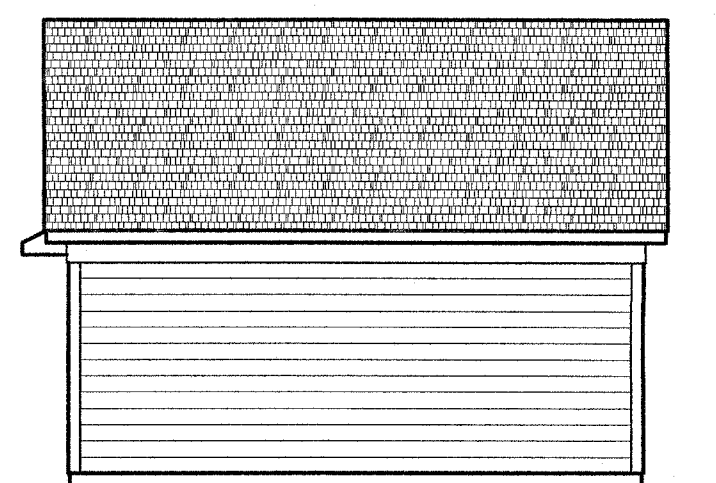


Main Level Floor Plan

Scale 1/4" = 1'- 0"

576 sq/ft Floor Space

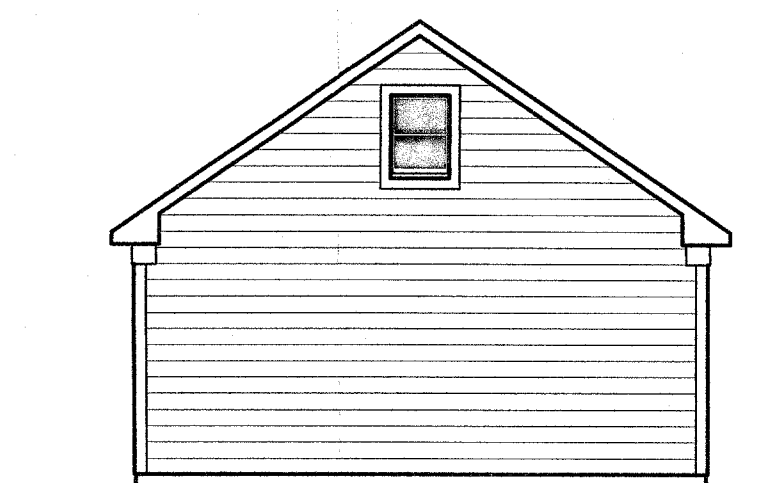
3
A1



Right Elevation

Scale 1/8" = 1'- 0"

4
A1



Rear Elevation

Scale 1/8" = 1'- 0"

5
A1

ATTENTION COUNTY REVIEWER

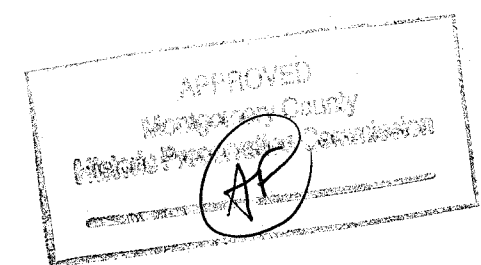
EXISTING STRUCTURE FOOTPRINT: 1219.25
PROPOSED GARAGE FOOTPRINT: 576.00 sqft
EXISTING REAR YARD AREA: 4421.2809 sqft (13.02% coverage)

576 sqft is < 600 sqft LIMIT

Siding Material: Hardplank Siding

NOTE:
ALL INTERIOR PARTITIONS ARE TO BE 3 1/2" IN DIMENSION C2x4 WALL UNLESS OTHERWISE NOTED.
ALL EXTERIOR PARTITIONS ARE TO BE 3 1/2" IN DIMENSION C2x4 WALL W/ 7/16" SHING UNLESS OTHERWISE NOTED.

Notice of Copyright Interest
This unique design is based on an exclusive, non-transferable, one-time license agreement between Design Build Group, Inc. and Mary & Margaret Merchant, Owners.



REVISIONS	
26-Feb-11	Issued for Initial Review
22-Mar-11	Incorporated County Comments
22-Mar-11	Incorporated Additional Comments

Site Plan
Merchant Residence Garage
9403 Warren Street
Silver Spring, MD
Montgomery County

PROJECT NO:	11-038-SM
DRAWN:	WMM
CHECKED:	KRN
DATE:	26-Feb-11

SHEET
A1

576 sq/ft Floor Space

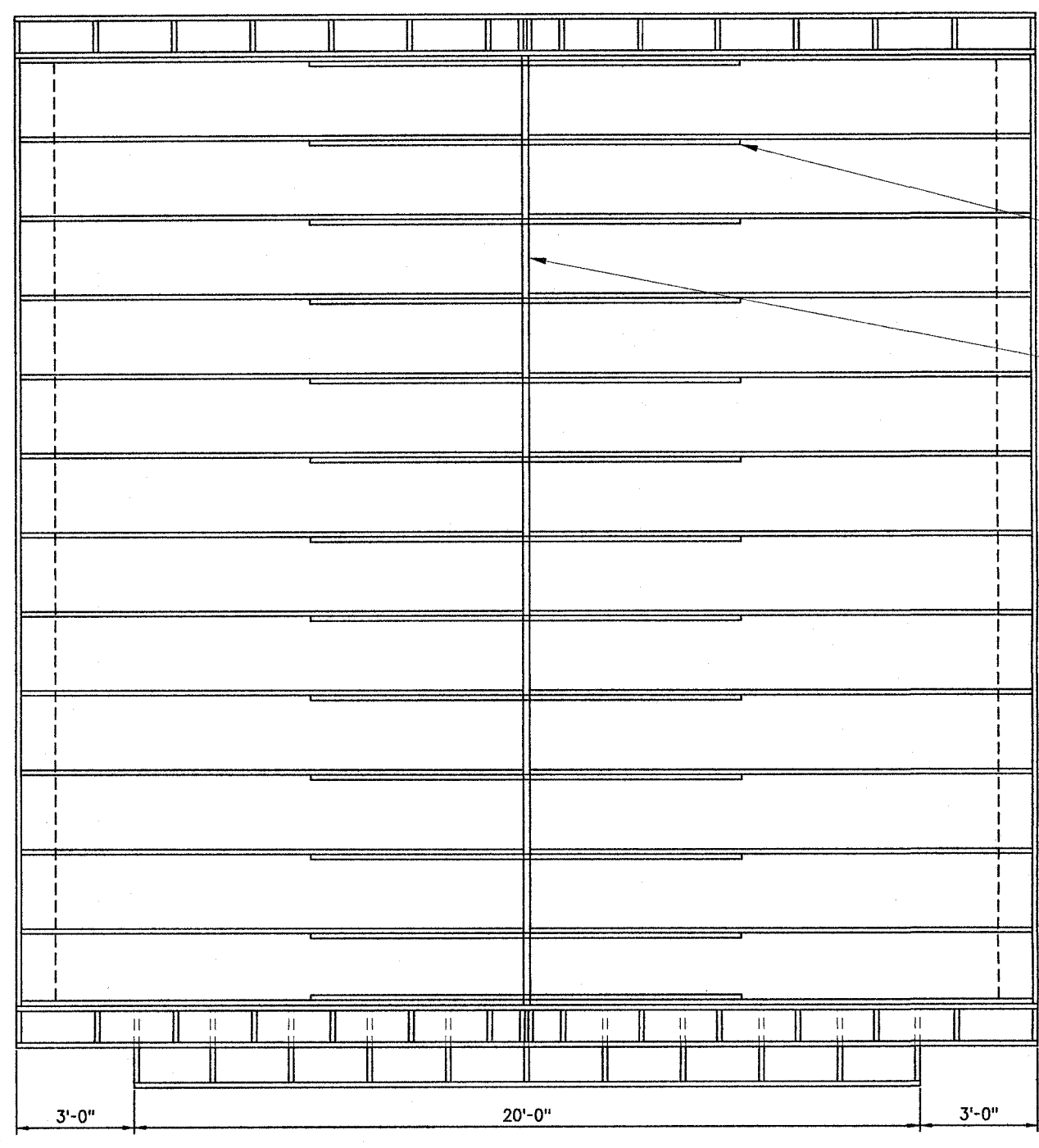
Siding Material: Hardplank Siding

NOTE:
ALL INTERIOR PARTITIONS ARE TO BE 3 1/2" IN DIMENSION C2x4 WALL UNLESS OTHERWISE NOTED.
ALL EXTERIOR PARTITIONS ARE TO BE 3 1/2" IN DIMENSION C2x4 WALL W/ 7/16" SHING UNLESS OTHERWISE NOTED.

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SHEET
A1

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Roof Framing Plan

Scale 1/4" = 1'- 0"

1
A2

PROVIDE 2x6 COLLAR TIES @ 6'-4" A.F.F.
LINE OF RIDGE BEAM SINGLE 1 3/4"x14" LVL
LINE OF 2x6 SUB-FASCIA

1 3/4"x14" LVL RIDGE BEAM
2x6 COLLAR TIES
TYPICAL ROOF CONSTRUCTION:
2x12 RAFTERS 24" o.c.; 1/2" OSB SHEATHING w/1" CLIPS; DRIP EDGE; #15 ROOF PAPER; ARCH. SHINGLES; RIDGE CAP w/VENT

TYPICAL FLOOR CONSTRUCTION:
16" JOISTS 16" o.c. (typ); SINGLE LAYER 3/4" T&G OSB GLUED

2x6 SUB FASCIA ALUMINUM WRAPPED W/ GUTTER & DOWNSPOUT; VENTED SOFFIT

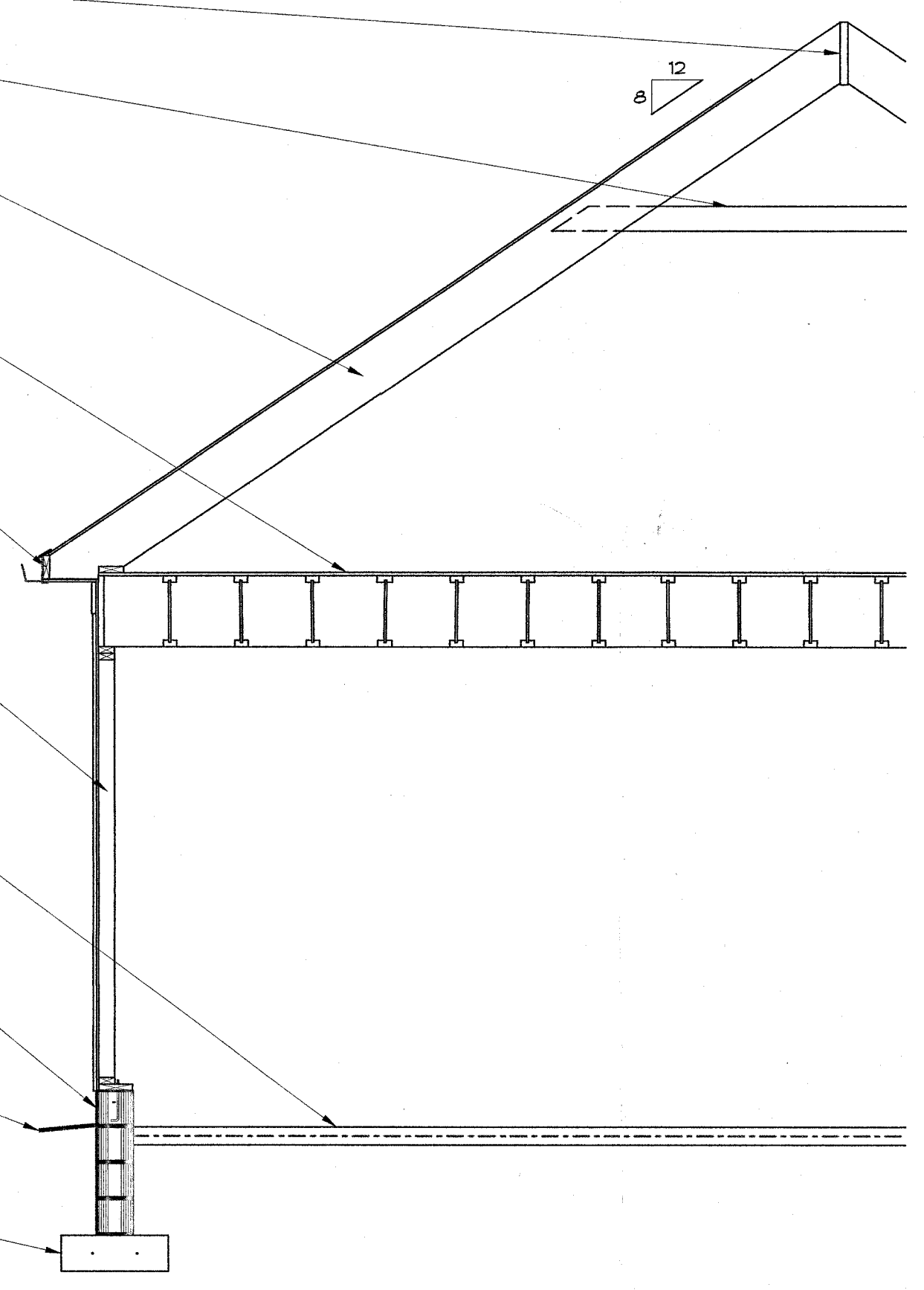
TYPICAL WALL CONSTRUCTION:
2x8 SILL PLATE (pt) OVER SILL SEAL; 2x4 BOTTOM PLATE W/DBL TOP PLATE; 2x4 STUDS 16" o.c.; 7/16" OSB SHEATHING; BUILDING WRAP; VINYL SIDING FINISH

Hardie plank
4" MIN. CONC. REINFORCED WITH WWM 6x6-10; 6 MIL VAPOR BARRIER OVER 4" MIN GRAVEL BED

TYPICAL 8" CMU BLOCK STEMWALL:

GRADE (varies)

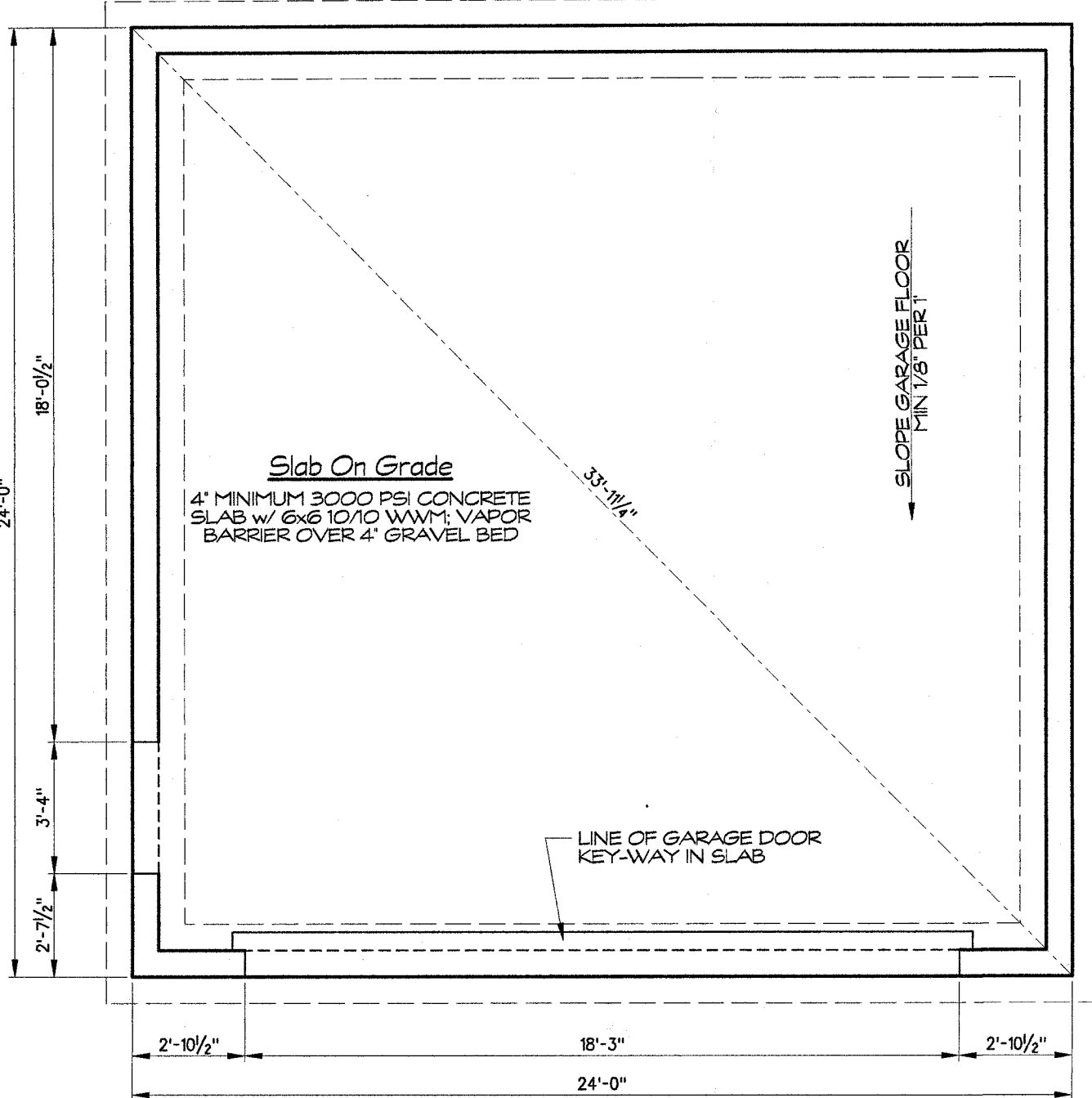
24x8 CONCRETE FOOTING; #5 CONT. MAINTAIN FROST DEPTH



Typ. Section

Scale 3/8" = 1'- 0"

3
A2



Foundation Plan

Scale 1/4" = 1'- 0"

2
A2

REVISIONS	
26-Feb-11	Issued for Final Review
22-Mar-11	Incorporated County Comments

Site Plan
Merchant Residence Garage
9403 Warren Street
Silver Spring, MD
Montgomery County

PROJECT NO:	11-038-SM
DRAWN:	WMM
CHECKED:	KRN
DATE:	26-Feb-11

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SHEET
A2

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Foundation Plan

Scale 1/4" = 1'- 0"

2
A2

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SHEET
A2

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Fothergill, Anne

From: Fothergill, Anne
Sent: Thursday, May 12, 2011 11:34 AM
To: 'Joe Zdrojewski'; Kevin Nau
Subject: RE: 9403 Warren (Merchant 11-038-SM)

Update: The HPC reviewed your proposed changes last night and they approved the Clopay single door that you submitted. They did not change their condition of approval that vinyl siding is not allowed so that condition stands.

thanks,
Anne

From: Joe Zdrojewski [<mailto:joe@DesignBuildGroup.net>]
Sent: Thursday, April 28, 2011 12:59 PM
To: Fothergill, Anne; Kevin Nau
Subject: RE: 9403 Warren (Merchant 11-038-SM)

Anne,

As discussed last evening I am enclosing a few pictures of a garage we completed that has a very attractive door with nice architectural features. Would you be open to approving a garage with these finishes? Siding is vinyl but a better quality (Certainteed cedar impressions) and would hopefully appeal to the look the Historic committee is requiring as well as meet the homeowners needs of maintenance free finishes. The garage door is a Clopay, Coachmen series single door. Please review and let me know your comments at your earliest convenience.

Thank you,

Joe Zdrojewski
Project Manager

Design Build Group, Inc.
PO Box 539
Odenton, Maryland 21113
410.674.2646 [office] | 410.674.0278 [fax] | 240.388.7406 [cell]

joe@designbuildgroup.net | www.designbuildgroup.net
[facebook.com/designbuildgroup](https://www.facebook.com/designbuildgroup) | twitter.com/dbuildgroup

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Fothergill, Anne

From: Fothergill, Anne
Sent: Wednesday, May 04, 2011 3:20 PM
Subject: FW: 9403 Warren (Merchant 11-038-SM)
Attachments: 100_9626.JPG; 100_9605.JPG; 100_9603.JPG; 100_9592.JPG

At the last meeting the HPC conditionally approved construction of a new two-car garage in the Linden Historic District. The conditions of approval were: no vinyl siding; two carriage style doors; people door to be in keeping with the style and material of the garage doors.

The applicants is now requesting approval of the following changes:

- 1.) one single garage door with the appearance of two doors (photo attached) **note:** the HPC has recently approved single doors of this type/style for new two-car garages
- NO* 2.) vinyl siding
- maybe* 3.) vertical siding (appearance of board and batten shown in these photos) - or horizontal siding as shown in original plans
- 4.) shingles in the gable ends
- 5.) details of the steel or fiberglass people door

I told the applicant I would forward this to you today and we can discuss all the proposed changes as a staff item on May 11.

thanks,
Anne

From: Joe Zdrojewski [<mailto:joe@DesignBuildGroup.net>]
Sent: Thursday, April 28, 2011 12:59 PM
To: Fothergill; Anne; Kevin Nau
Subject: RE: 9403 Warren (Merchant 11-038-SM)

Anne,

As discussed last evening I am enclosing a few pictures of a garage we completed that has a very attractive door with nice architectural features. Would you be open to approving a garage with these finishes? Siding is vinyl but a better quality (Certainteed cedar impressions) and would hopefully appeal to the look the Historic committee is requiring as well as meet the homeowners needs of maintenance free finishes. The garage door is a Clopay, Coachmen series single door. Please review and let me know your comments at your earliest convenience.

Thank you,

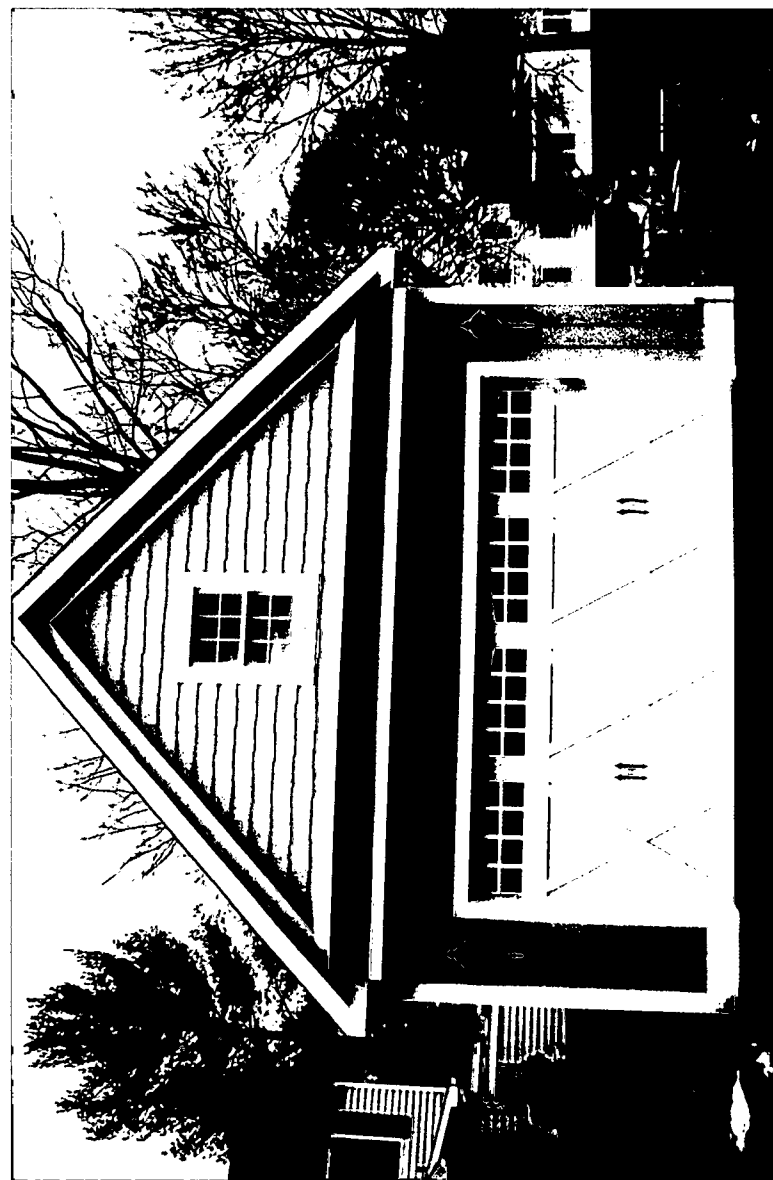
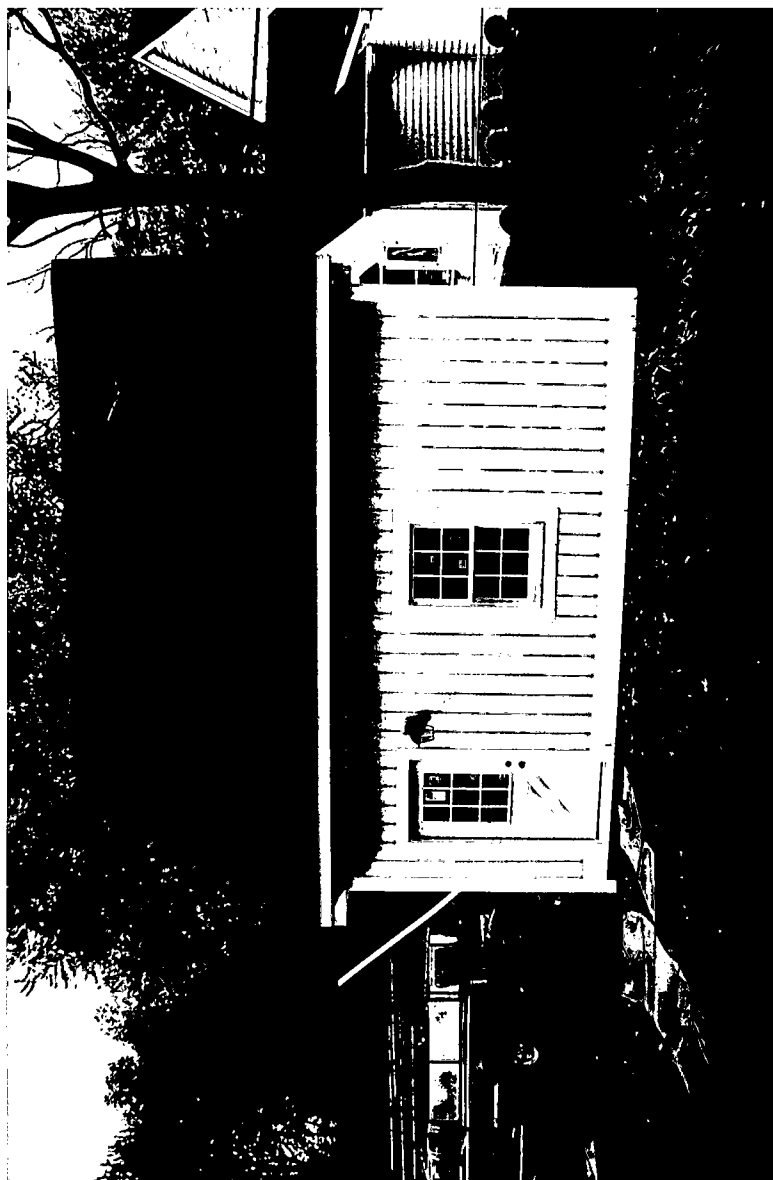
Joe Zdrojewski
Project Manager

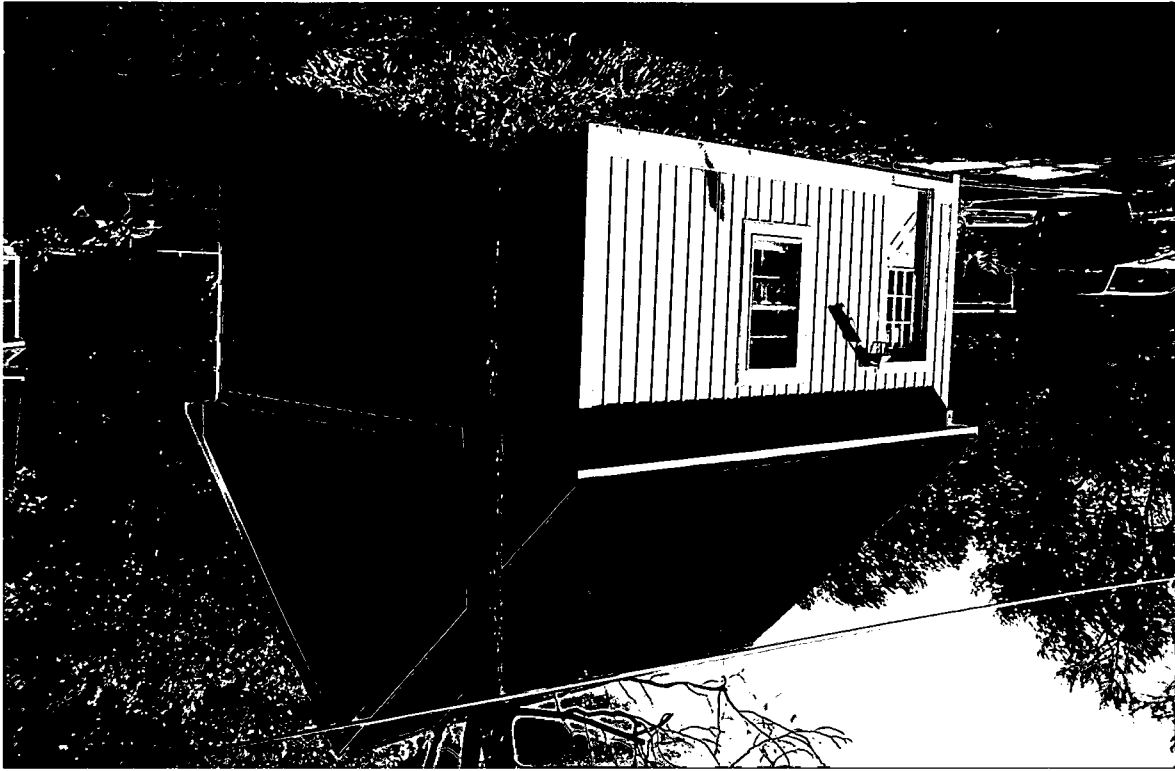
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joe@designbuildgroup.net | www.designbuildgroup.net
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HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: 5/27/11

MEMORANDUM

TO: Jennifer Hughes, Acting Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #565105—new garage construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved with four conditions** by the HPC on April 27, 2011. The conditions of approval are:

1. The garage doors are to be carriage-style doors; final design to be reviewed and approved at the staff level.
2. The entry door into the garage will be of a material and glazing style consistent with the carriage style door; final design to be reviewed and approved at the staff level.
3. Vinyl siding is not approved - fiber cement or wood siding is approved; final material to be reviewed and approved at the staff level.
4. Tree protection measures will be in place prior to construction.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Mary and Margaret Merchant
Address: 9403 Warren Street, Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240-777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: JOE ZDROJENSKI
Daytime Phone No.: 240-388-7406

Tax Account No.: 00970478

Name of Property Owner: MARY & MARGARET MERCHANT Daytime Phone No.: 202-401-2781

Address: 9403 WARREN STREET SILVER SPRING MARYLAND 20910
Street Number City State Zip Code

Contractor: DESIGN BUILD GROUP Phone No.: 410-674-2646

Contractor Registration No.: AC1116943

Agent for Owner: JOE ZDROJENSKI Daytime Phone No.: 240-388-7406

LOCATION OF BUILDING/PREMISE

House Number: 9403 Street: WARREN STREET
Town/City: SILVER SPRING Nearest Cross Street: LINDEN LANE
Lot: 2 Block: 2 Subdivision: 0501
Liber: JP11 Folio: 0000 Parcel: 0006

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable
CHECK ALL APPLICABLE: A/C Slab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Fence/Wall (complete Section 4) Other: GARAGE

1B. Construction cost estimate: \$ 40,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent 4/5/2011 Date

Approved: with 4 conditions For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: [Signature] Date: 5/27/11
Application/Permit No.: 565105 Date Filed: _____ Date Issued: _____

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	9403 Warren Street, Silver Spring	Meeting Date:	4/27/11
Applicant:	Mary and Margaret Merchant	Report Date:	4/20/11
Resource:	Contributing Resource Linden Historic District	Public Notice:	4/13/11
Review:	HAWP	Tax Credit:	None
Case Number:	36/02-11B	Staff:	Anne Fothergill
PROPOSAL:	Construction of new garage		

STAFF RECOMMENDATION

Staff recommends that the HPC approve this HAWP application with three conditions:

1. The garage footprint is reduced to 450SF maximum; final design to be reviewed and approved at the staff level.
2. The garage doors are to be carriage-style doors; final design to be reviewed and approved at the staff level.
3. Vinyl siding is not approved - fiber cement or wood siding is approved; final material to be reviewed and approved at the staff level.
4. Tree protection measures will be in place prior to construction.

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Linden Historic District
STYLE: Craftsman Bungalow
DATE: 1906

Excerpt from Places in the Past:

36/2 LINDEN HISTORIC DISTRICT (1873)

As the first railroad suburb in Montgomery County, Linden represents an early step in the county's transition from a rural, agrarian region to a commuter suburb. In 1873, the same year that the Metropolitan Branch of the Baltimore & Ohio Railroad was completed, Charles M. Keys subdivided thirty-two acres of his 185-acre farm and platted Linden. Keys was the founder of a District coal and wood company, E. C. Keys and Sons.

Linden had its own railroad station, located at the end of Montgomery Street. Early houses were built on Salisbury Road, which was originally a walkway known as Maple Drive. The houses faced the walkway with vehicular access from Linden Lane and Montgomery Street. This arrangement is found in Washington Grove, a religious retreat also platted in 1873. Early dwellings in both communities were

designed in the Gothic Revival style. Among Linden's earliest houses are a pair of Gothic Revival houses built on Salisbury Road, probably in the 1870s: the *Baxter House*, 2201 Salisbury Road, and the *Doolittle House*, 2209 Salisbury Road. One of the earliest residences in the community is the **Lawrence House** of 1874 (see individual site description in the following section).

By 1889, the Washington Star reported that a number of "beautiful homes" had already been constructed in Linden by "well known Washingtonians." Curtis and Elizabeth Holcomb built the Second Empire style *Holcomb House* in 1887, at 2200 Salisbury Road. Queen Anne style houses dating from the 1890s are the *Wolfe House*, 9310 Brookeville Road, and the *William Simpson House*, 2303 Linden Lane. By the turn of the century, there were about a dozen houses in Linden. In the early 1900s, citizens built Craftsman influenced residences on Warren Street. The historic district of 17 houses was designated in 1993.

PROPOSAL

The applicants are proposing to construct a new 24' x 24' two-car garage on a concrete slab. The garage will be 19' 3" tall to the roof ridge and will have vinyl siding and an asphalt shingle roof. There will be windows in each gable end and there will be a steel or fiberglass door on the left side and a paneled garage door across the front. There will be a new concrete walkway from the garage to the house.

The applicants do not propose to expand the existing driveway with the turnaround area as shown on the site plan. There are a 24" cherry tree, an 18" oak tree, and a 10" oak tree within a few feet of the proposed garage.

APPLICABLE GUIDELINES

When reviewing alterations within the Linden Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard # 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland state:

14.0 ACCESSORY STRUCTURES & OUTBUILDINGS

Historically, accessory structures and outbuildings were divided into two types, domestic and agricultural. Domestic structures were generally smaller in scale and included building types such as: spring houses, smoke houses, wash houses, ice houses, and slave quarters. Other examples include garages, carriage houses, and sheds. Agricultural structures include English and German bank barns, corn cribs, granaries, loafing sheds, and others. Because accessory structures and outbuildings help interpret how an entire property was used and evolved, their preservation is strongly encouraged.

Many of the materials and building forms used traditionally in accessory and outbuildings were employed in the construction of the primary building. In preserving or rehabilitating accessory and outbuildings, it is important that the character-defining materials and building form be preserved. Most accessory and outbuildings had rectangular plans and gabled or shed roofs. Bank and dairy barns often had a gambrel roof form.

When a new accessory building is required it should be built in the rear yard and follow regulations set out by Montgomery County and in some cases, the municipality. The new structure should have a smaller mass and scale than the primary structure and be constructed of compatible materials. Additionally, it should be seen as new, meaning that it should be recognizably modern and not replicate a historic precedent.

New accessory structures and outbuildings should be compatible with the primary structure on a property.

14.2 New accessory structures and outbuildings should be compatible with the primary structure.

- New construction should be similar in style but recognizable as new.
- Architectural details, materials, and style should be compatible to the primary structure.
- The mass and scale should be in proportion to the primary structure.
- New accessory structures and outbuildings should be located in the rear yard and conform to Montgomery County and municipality zoning and building regulations.

The Secretary of the Interior recommends against:

Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color, and texture; which destroys historic relationships on the site; or which damages or destroys important landscape features.

Overall staff supports the construction of a new garage behind the house at the end of the existing asphalt driveway where previously there were multiple sheds. [The sheds were damaged by a storm and removed without HPC approval.]

While only a small one-car garage is appropriate for some historic districts, staff supports a garage that can fit two cars in this location because of the sheds in that location and because there are a few other two-car garages located nearby in this historic district. However, staff has a number of concerns about the garage as proposed, specifically the size and materials, and whether the garage meets the applicable criteria and is approvable.

The proposed size of 24' x 24' (576 SF) is a large footprint that will be built on a not very large lot (approximately 6000SF). As seen from the photos, this new garage will be visible from two streets and is located at the entrance to the historic district. The HPC recently approved a 480 SF garage on a larger property and that garage was sited down a hill from the street and further behind the house so there would be much less visibility. There is another new carriage house in the Linden Historic District that is larger but the outbuilding is proportional to both the larger house and the larger lot. Staff recommends that the garage be reduced to a footprint of 450 SF maximum to be more consistent with the scale of the house and overall property.

The garage will be visible and staff recommends that the garage doors have a more traditional appearance to be more in keeping with the historic district. Staff forwarded to the applicants a number of examples of styles of doors that the HPC has approved that function as overhead doors but have the appearance of hinged doors. Also, the HPC does not support vinyl siding on a new building behind a contributing resource (even if the historic house has the same material) and visible from the street. The synthetic material is incompatible with the house and the historic district and is not appropriate for new construction. Staff recommends that the new garage have fiber cement or wood siding.

There are a number of trees next to the proposed garage and staff recommends that the applicants ensure that tree protection measures be in place prior to construction.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with four conditions** as being consistent with Chapter 24A-8(b)(2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: JOE ZDROJENSKI
Daytime Phone No.: 240-388-7406

Tax Account No.: 00970478
Name of Property Owner: MARY & MARGARET MERCHANT Daytime Phone No.: 202-401-2781
Address: 9403 WARREN STREET SILVER SPRING MARYLAND 20910
Street Number City State Zip Code
Contractor: DESIGN BUILD GROUP Phone No.: 410-674-2646
Contractor Registration No.: AC1116943
Agent for Owner: JOE ZDROJENSKI Daytime Phone No.: 240-388-7406

LOCATION OF BUILDING/PREMISE

House Number: 9403 Street: WARREN STREET
Town/City: SILVER SPRING Nearest Cross Street: LINDEN LANE
Lot: 2 Block: 2 Subdivision: 0501
Liber: JP11 Folio: 0000 Parcel: 0000

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct [checked] Extend [] Alter/Renovate []
Move [] Install [] Wreck/Raze []
Revision [] Repair [] Revocable []

CHECK ALL APPLICABLE:

- A/C [] Slab [] Room Addition [] Porch [] Deck [] Shed []
Solar [] Fireplace [] Woodburning Stove [] Single Family []
Fence/Wall (complete Section 4) [] Other: GARAGE [checked]

1B. Construction cost estimate: \$ 40,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [checked] WSSC 02 [] Septic 03 [] Other:
2B. Type of water supply: 01 [checked] WSSC 02 [] Well 03 [] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[] On party line/property line [] Entirely on land of owner [] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 4/5/2011

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 565105 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING STRUCTURE IS A 1920'S BUNGALOW WITH FRONT AND
REAR COVERED PORCHES, LOCATED IN AN URBAN LANDSCAPE W/
FRONT AND SIDE ROAD ACCESS W/ STREET TREES AND COMMON
WALKS.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

CONSTRUCT A 2 CAR DETACHED GARAGE WITH ATTIC STORAGE.
EXTERIOR FINISHES TO MATCH ADJACENT STRUCTURE.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Homes Adjacent to 9403 Warren St

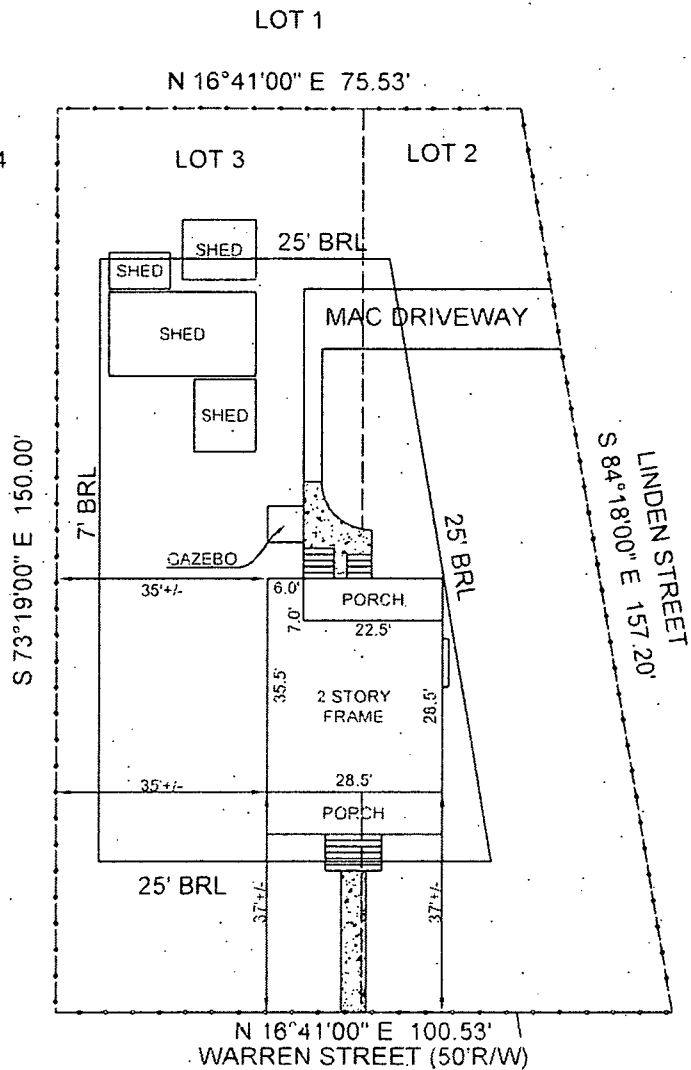
Margaret Merchant, 9403 Warren St., Silver Spring, MD 20910

Account Number 00970478

Next door: 9405 Warren St., 20910, Perros, AP & KK 00975527
9321 Warren St., 20910, Hale, Robert & TL 01400110


Across Street: 9402 Warren St., 20910, Wendling, Brett and Dickson, Lisa
00975380

Behind: 2205 Linden Ln., 20910, Ghenene Feyissa 00956307



THIS PLAT IS NOT INTENDED TO BE USED FOR THE PURPOSE OF ESTABLISHING BOUNDARY LINES!!!

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.

 = CONCRETE

- GENERAL NOTES**
- 1). THIS PLAT IS OF BENEFIT TO THE CONSUMER ONLY INSOFAR AS IT IS REQUIRED BY A LENDER OF A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH A CONTEMPLATED TRANSFER, FINANCING, OR RE-FINANCING.
 - 2). THIS PLAT IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR ANY OTHER FUTURE IMPROVEMENTS.
 - 3). THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES. BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THIS TRANSFER OF TITLE OR SECURING FINANCING OR RE-FINANCING.

LOCATION DRAWING:
 I HEREBY CERTIFY THAT THE IMPROVEMENTS ARE LOCATED AS SHOWN HEREON, AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN HEREON. AND THAT THE IMPROVEMENTS APPEAR TO BE IN FLOOD ZONE C. THIS SURVEY IS TO ESTABLISH THESE ABOVE GROUND IMPROVEMENTS ONLY AND NOT INTENDED TO FIND UNDERGROUND UTILITIES OR OTHER INSTALLATIONS. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1' +/-.

 Waller T. Tydings
 Property Line Surveyor # 150

 Date

 Date

Schulte & Assoc. Inc.
 4399 MOUNTAIN ROAD
 PASADENA, MD 21122
 PHONE: 410-360-9464
 FAX: 410-360-0247

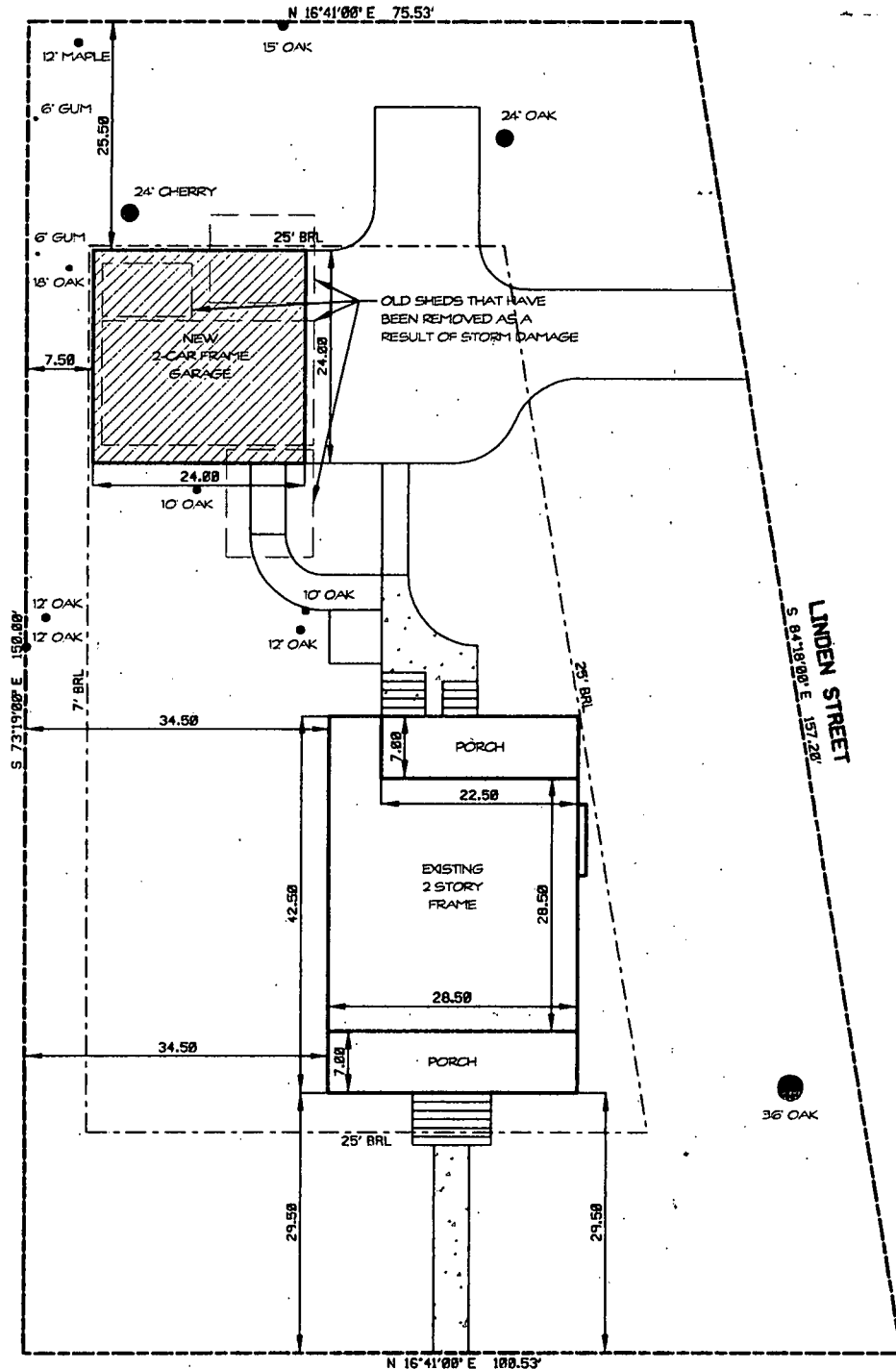
Address: 9403 WARREN ST. SILVER SPRING, MD 20910		Property Description: LOCATION DRAWING OF LOTS 2 & 3 PLAT REF.# 41 ALONZO O. BLISS ADDITION TO FOREST GLEN MONT. CO. MD DEED REF.# 14811/310 DEED REF.# 9800/544
Date: 02/07/11	Job #: 10144	
Scale: 1"=30'		

LINDEN STREET
S 84°18'00" E 157.20'

25' BRL

28.5'

10



WARREN STREET (50' R/W)

Scale 1"=10.0"



It is the responsibility of the CONTRACTOR/OWNER/ARCHITECT to verify all dimensions and record prior to the use of these documents, copies or specifications for construction. DESIGN BUILD GROUP, Inc. shall not be responsible for any dimensions from these drawings obtained by any other party to or during construction. Dimensions, plans, specifications and design approvals are the property of DESIGN BUILD GROUP, Inc. Any unauthorized use or publication is void and in part is STRICTLY PROHIBITED.

Site Plan
Merchant Residence Garage
 9403 Warren Street
 Silver Spring, MD

PROJECT NO:	11-038-S-1
DRAWN BY:	W-T-M
CHECKED BY:	K-G-N
DATE:	26-Feb-11

REVISIONS	
28-Feb-11	Issued for PHD Review
24-Apr-11	Interim/Construction Comments
26-Apr-11	Interim/Construction Comments

Design Build Group, Inc.
 PO BOX 539
 ODENTON, MARYLAND 21113
 (410) 674-2646 OFC
 (410) 674-0278 FAX

SHEET

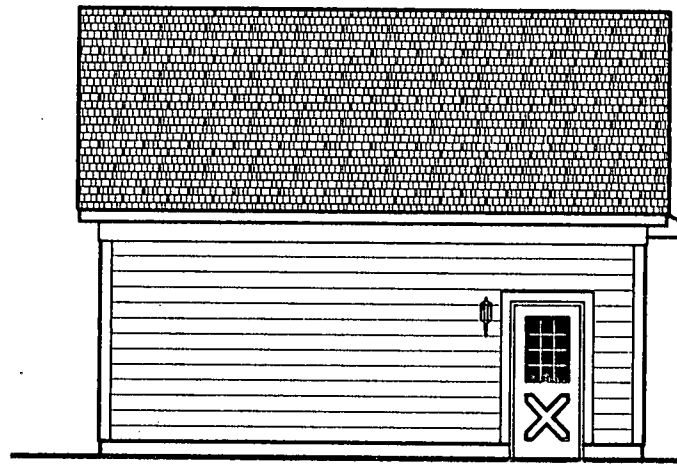
C1



Front Elevation

Scale 1/4" = 1'- 0"

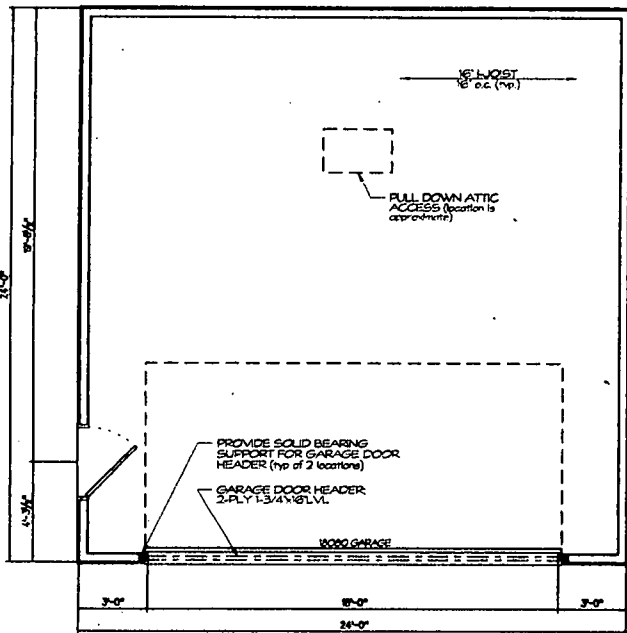
1
A1



Left Elevation

Scale 1/4" = 1'- 0"

2
A1

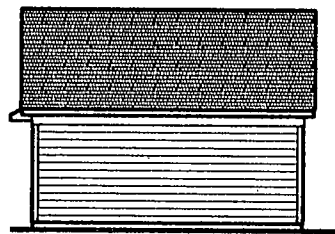


Main Level Floor Plan

Scale 1/4" = 1'- 0"

3
A1

576 sq/ft Floor Space



Right Elevation

Scale 1/8" = 1'- 0"

4
A1



Rear Elevation

Scale 1/8" = 1'- 0"

5
A1

ATTENTION COUNTY REVIEWER

EXISTING STRUCTURE FOOTPRINT: 1210.25
 PROPOSED GARAGE FOOTPRINT: 576.00 sqft
 EXISTING REAR YARD AREA: 4421.2809 sqft (13.02% coverage)

576 sqft is < 600 sqft LIMIT

NOTE:
 ALL INTERIOR PARTITIONS ARE TO BE 5 1/2" IN THICKNESS (LOW WALL) UNLESS OTHERWISE NOTED.
 ALL EXTERIOR PARTITIONS ARE TO BE

Notice of Copyright Interest
 This unique design is based on an exclusive, non-transferable, one-time license agreement between Design Build Group, Inc. and

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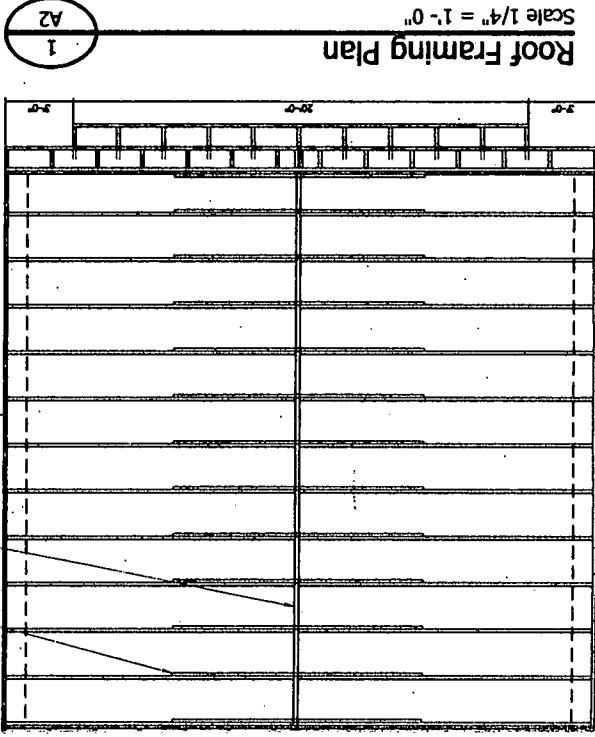
REVISIONS	
26-Feb-11	Issued for final review
22-Apr-11	Incorporated County Comments
22-Apr-11	Incorporated Additional Comments

Site Plan
Merchant Residence Garage
 9403 Warren Street
 Silver Spring, MD

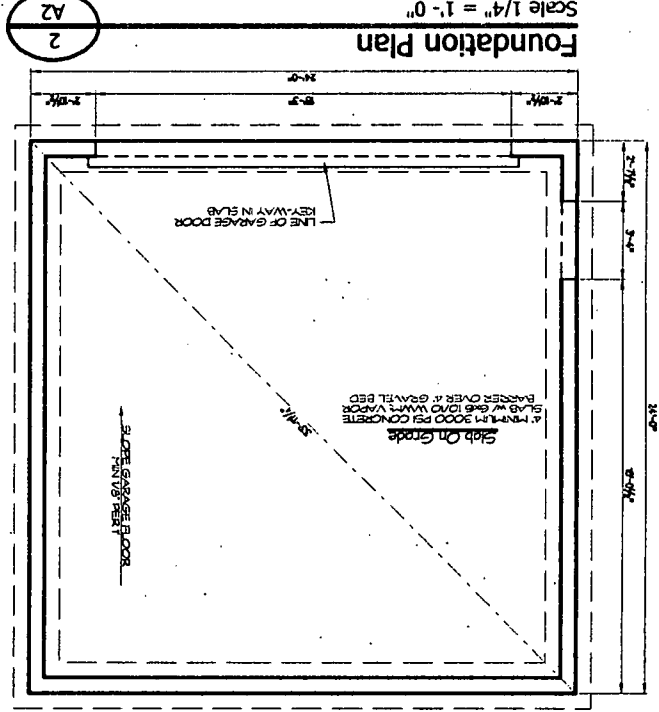
11-038-SH	PROJECT
WMM	DRAWN BY
KEN	CHECKED BY
26-Feb-11	DATE

SHEET
A1

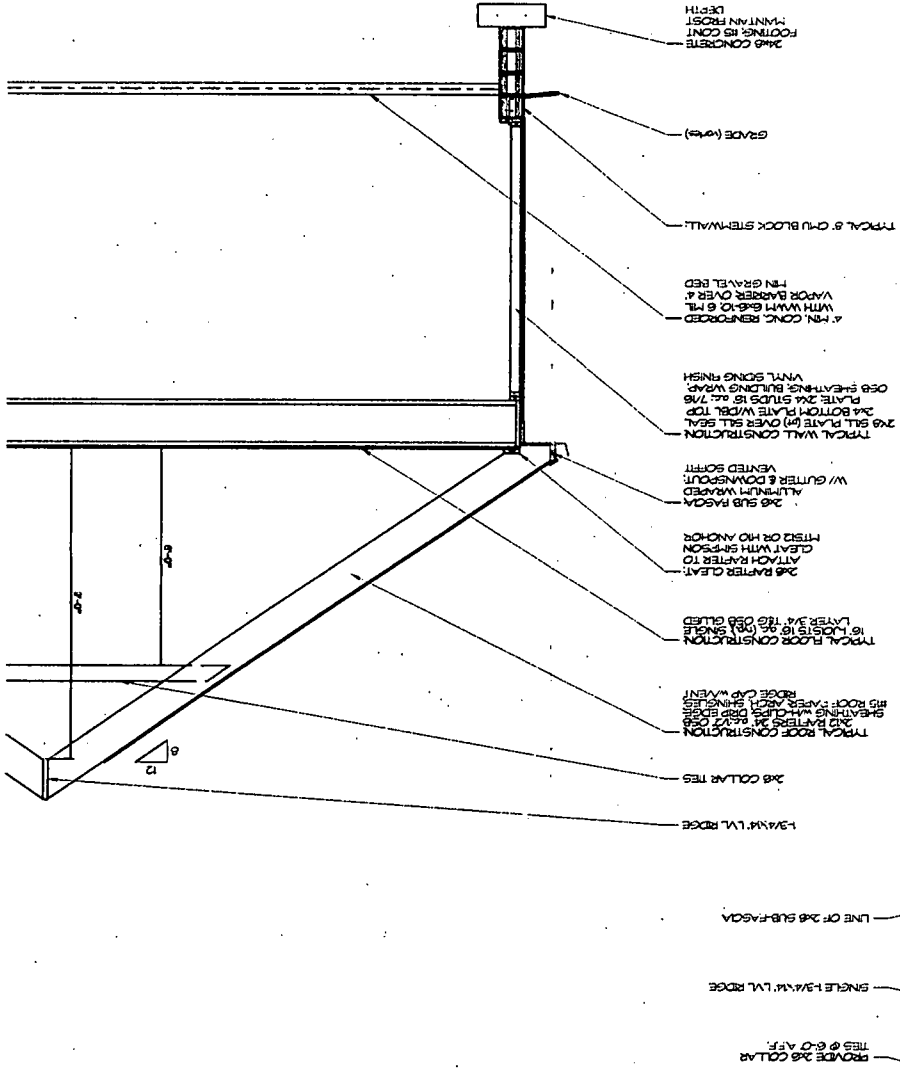
11



Roof Framing Plan
Scale 1/4" = 1'-0"



Foundation Plan
Scale 1/4" = 1'-0"



Typ. Section
Scale 3/8" = 1'-0"

AZ 3

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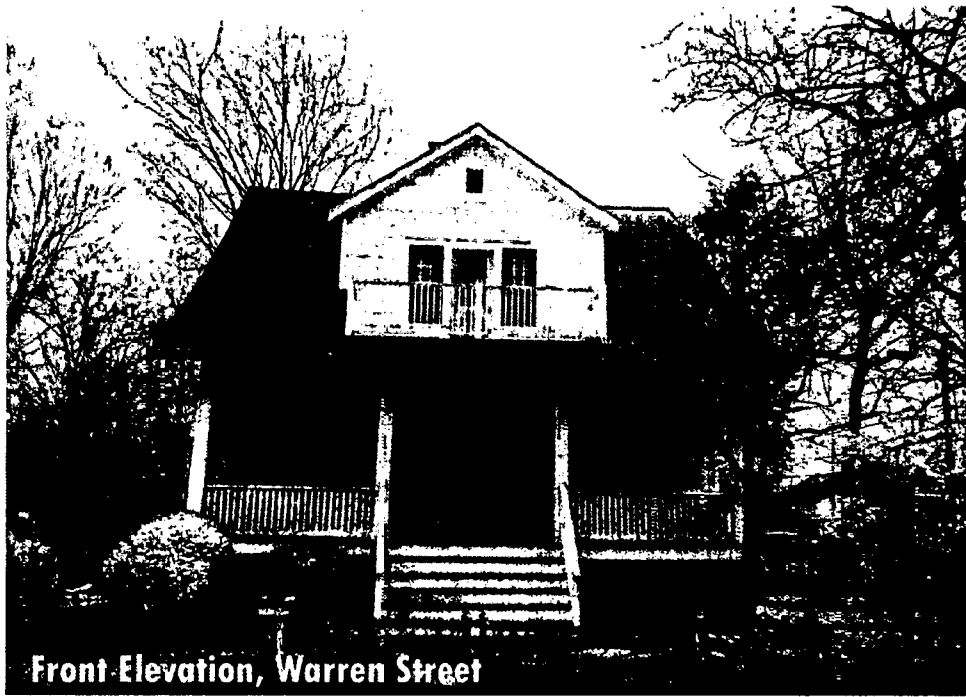
Site Plan

Merchant Residence Garage
9403 Warren Street
Silver Spring, MD

REVISIONS

NO.	DATE	DESCRIPTION
22	12-14-11	Horizontal Collar Trusses
21	12-14-11	Horizontal Collar Trusses
20	12-14-11	Horizontal Collar Trusses

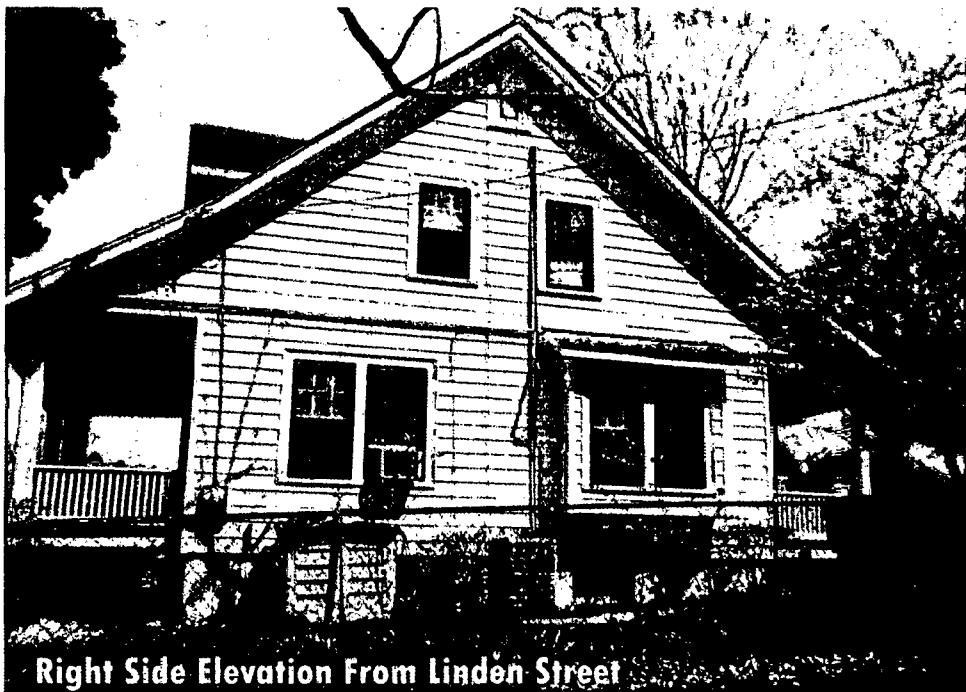
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(410) 674-0278 FAX



Front Elevation, Warren Street



Rear Elevation



Right Side Elevation From Linden Street



Left Side Elevation

hl





BIRCH DR

LINDEN LA LINDEN LA

WARREN CT WARREN CT

MONTGOMERY ST

WARREN ST WARREN ST

LINDEN GROVE CT

MONTGOMERY ST

SALISBURY RD

SALISBURY RD

SEMINARY RD

SEMINARY RD

MONROE ST

MONROE ST

BROOKVILLE RD

BROOKVILLE RD

LINDEN
H.D.
15

new carriage house

2303 outstanding

9402 contributing

9403 contributing

sheds demolished

LINDEN LA LINDEN LA

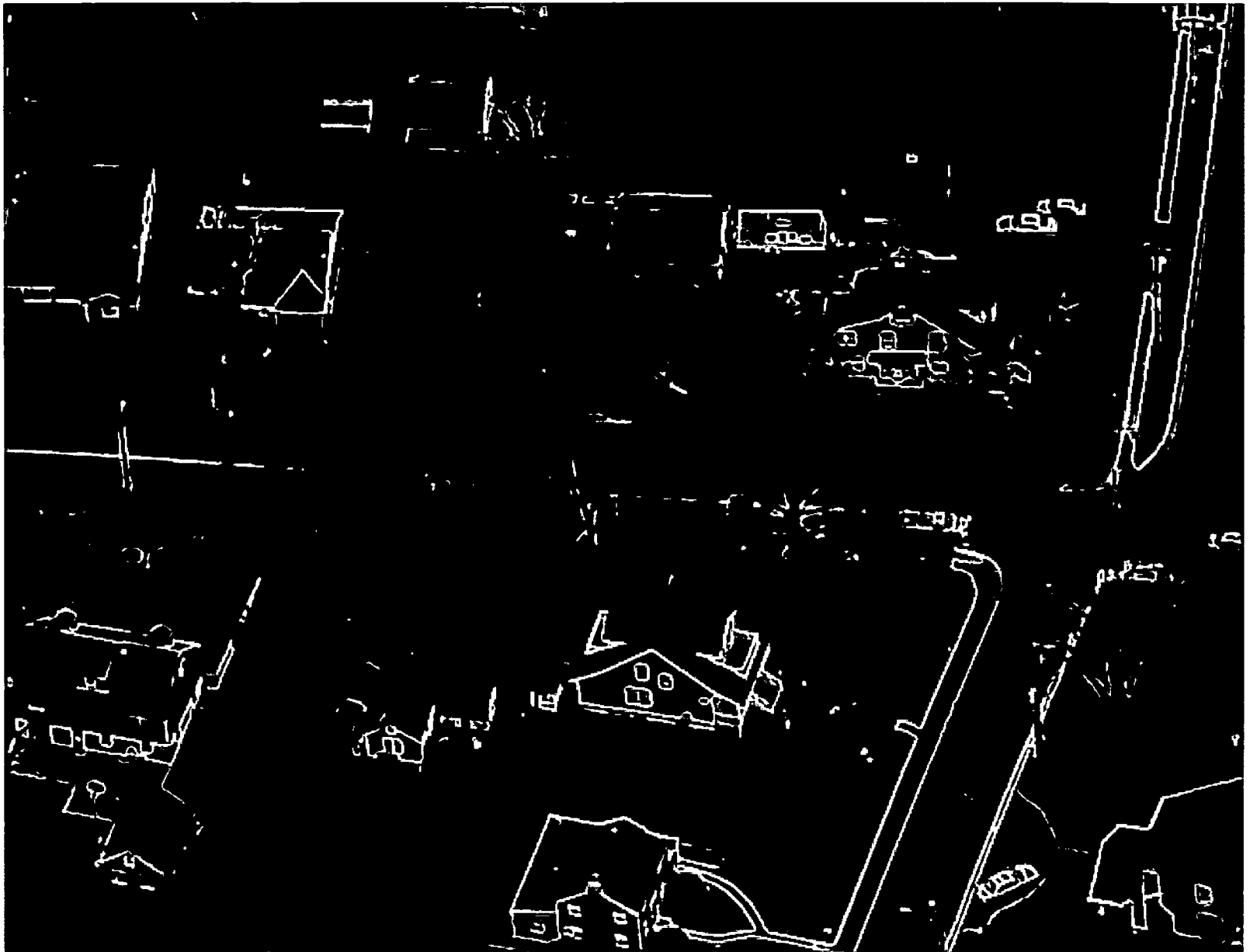
LINDEN LANE

9321 contributing

9321 garage

9315 contributing carriage house

16



(c) Copyright 2006, Pictometry International

9403 warren

17



(c) Copyright 2006, Pictometry International

9403 Warren

18

garage
-P
location



9403 WARREN



(19)



9103 Warren garage location



back of house

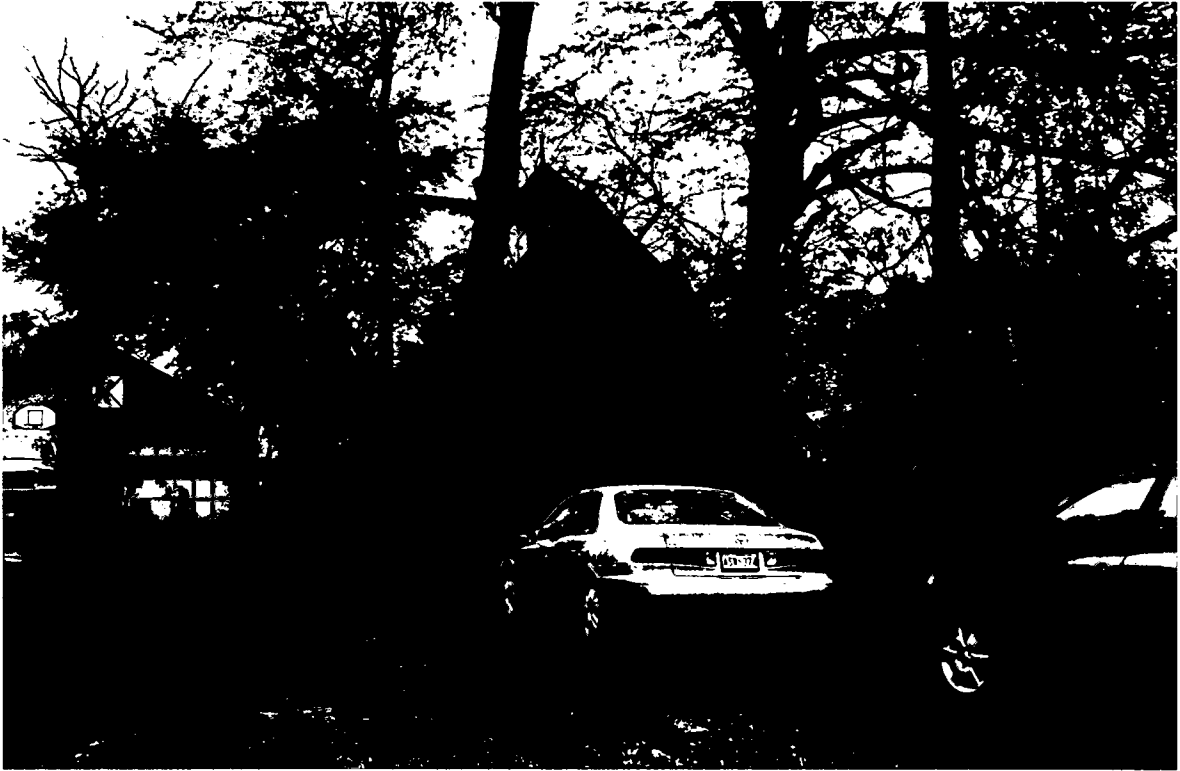


back of 9403 warren



across Linden

9321



9315

9321 WALTER





9315 WALTER

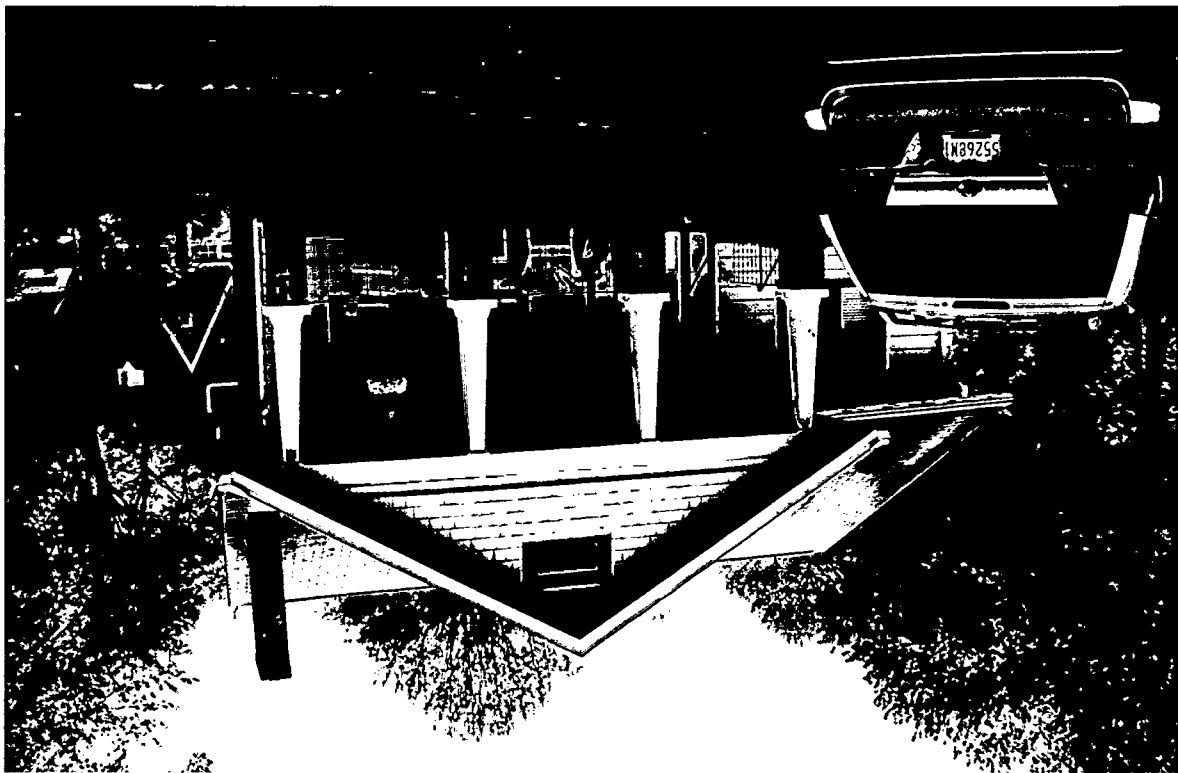




2303 Linden with new carriage house



52



warren 2016



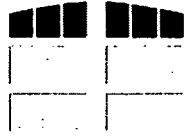
new ramp age house - seen from warren



Model 7101



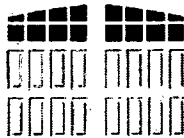
Model 7102



Model 7103



Model 7104



Model 7105

Paint grade finish doors can be painted to match your home for an exact custom look.

Note: Doors are not primed. The 7101 Model is not available in all areas. Check with your Wayne-Dalton dealer for details.

step 2. Choose a window style

Windows are standard with 7000 models. They are true divided windows with individual glass separated by one inch muntins.



6 Window Arched



6 Window Square



12 Window Arched



12 Window Square



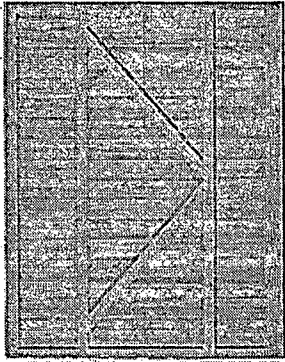
16 Window Arched



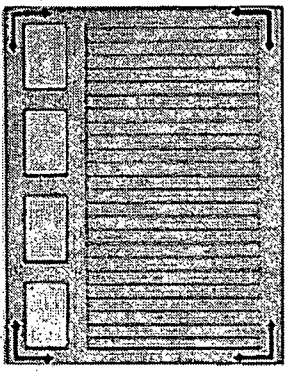
16 Window Square

26

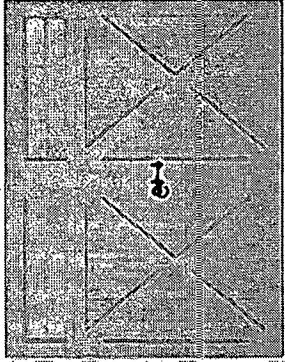
OUR MOST POPULAR DESIGNS



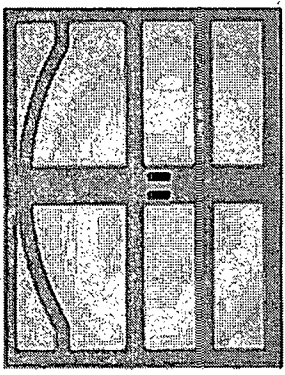
by Sutcliffe



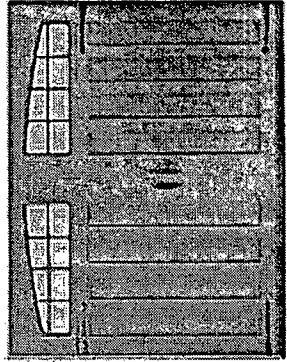
by Preston



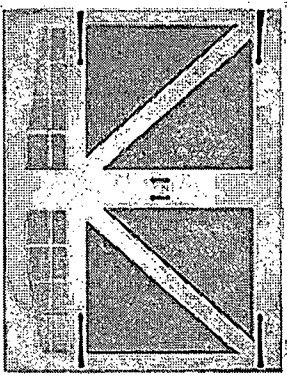
by Roberts Design



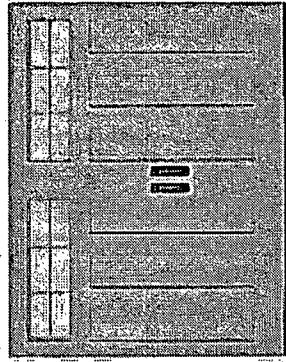
by Hudson



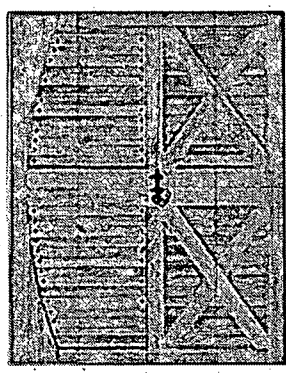
by Curtis



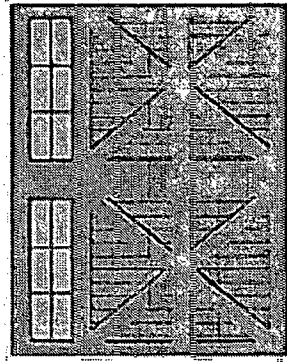
by T.C. Lowry



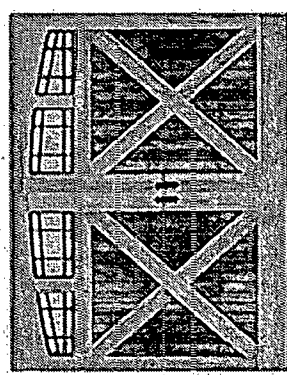
by Runion



by Terry Constuction



by Easton Builders



by Williams

Overview

Construction

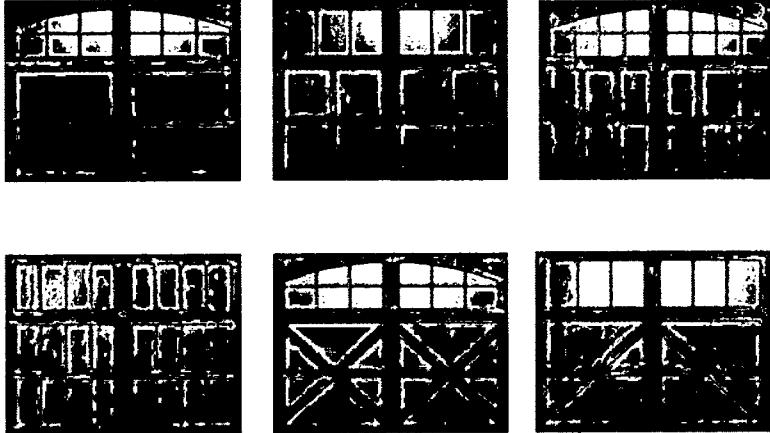
Design Options

Image Gallery

SEMI-CUSTOM | LIMITED EDITION | CUSTOM

Reserve Collection Semi-Custom Wood Carriage-House Garage Doors:

Six historically accurate carriage-house designs in three wood species (hemlock, cedar or redwood) and ten top section/window panel designs can be mixed and matched, painted or stained, to complement any architectural style and color scheme. A center groove and optional decorative wrought iron hardware enhance the door's historic charm.





Premium insulated steel garage doors.

**View Thermacore®
Signature™ Carriage**



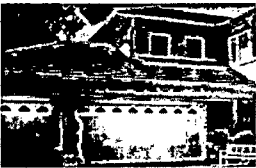
Transform the look of your home with a beautiful, Amish crafted wood door.

**View Signature™ Carriage
Ribbon® V12**



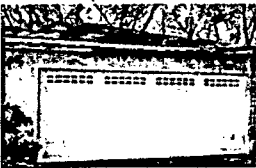
A combination of distinctive, embossed look with smooth, quiet engineering and enhanced safety features.

**View Ribbon® V12
Banner Collection®**



Smooth, quiet operation with enhanced safety features.

**View Banner Collection®
Traditional Steel**



Combination of Overhead Door's legendary performance and durability and value.

**View Traditional Steel
Durafirm Collection™**



The Durafirm Collection™ features a vinyl skin, which minimizes maintenance, dents and rust.

**View Durafirm Collection™
Impression Collection™**

29



Search

RESIDENTIAL GARAGE DOORS

Garage Doors

Residential garage doors from Overhead Door are among the most dependable in the industry, so you can feel good knowing that we'll be there — day or night, winter or summer. For added peace of mind, our home garage doors have also been proven to be durable and long lasting. The reliability of your door will help you stay on schedule in the morning. Its beauty will greet you at the end of a busy workday, opening convenient, comfortable passage to your home. And through the night, the security of your door will help you rest assured that your family is safe.

By choosing a residential garage door from Overhead Door, you are doing more than making an investment. You are making us a part of your daily life and relying on us for safety, security and dependable operation. In return, we'll open the door for you — a door to attractive design options and enhanced safety features that complete your home. So go ahead. Indulge your sense of design with a garage door that sets your home apart with style, appearance, safety and comfort.

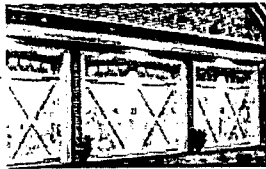
The following information will guide you in choosing the best residential garage door that meets your needs.

Modern Aluminum



Sleek, sophisticated garage doors. View the modern aluminum garage doors available for residential homes.

[View Modern Aluminum Courtyard Collection®](#)



Insulated steel construction, fashioned to resemble the elegant wood designs of traditional carriage house doors.

[View Courtyard Collection® Verde Collection™](#)



Striking designs developed to enhance the look of your home and preserve nature.

[View Verde Collection™ Traditional Panel™](#)



Eco-friendly collection brings a fresh perspective with its distinctive raised panel and flush door designs.

[View Traditional Panel Thermacore®](#)