

2010 MAWP

Mount Carmel
MP site 12/22

Stamp'd
plans in
box
11/2011

Fothergill, Anne

From: Ali Zahedian [azahedian@msn.com]
Sent: Wednesday, May 11, 2011 4:54 PM
To: Fothergill, Anne
Subject: Mt. Carmel

Dear Mrs. Fothergill,

As mentioned earlier today do to ant and termite infestation it appears that we must remove all existing siding (Between 200-300 square feet) fix and replace the plywood and install new siding. The existing siding is approximately 1" thick and 12" wide, we are proposing to use SMARTSIDE by LP Building products This has the look of cedar and we can get this product 12" wide which matches the existing siding.

We also would like to use the same siding on the garage.

I hope that the commission approves this material since it will provide better protection against termite infestation.

Thank you in advance for all your help and advise.

Ali Zahedian

yes → garage
no → house

must be in-kind replacement
wood to match

Fothergill, Anne

From: Fothergill, Anne
Sent: Wednesday, May 11, 2011 2:36 PM
Subject: 5/11 staff item #3

Attached is a staff item for Mount Carmel (approved HAWP December 2010) as well as the original staff report for background.

The applicants are currently working on the rehabilitation of the house and have found extensive termite damage and rot behind the cedar siding on the small frame section in the middle of the house (see photos). They are proposing to replace the existing wood siding with 1" thick and 12" wide Louisiana Purchase SmartSide siding that they state will look just like cedar. In the attachment you will see information about the material from the company's web site. The applicant intends to provide a material sample before tonight's meeting as well as a letter describing in more detail the conditions and the need for this material.

The 2nd part of this staff item is for the new garage that was approved to be constructed behind the house. The applicants are proposing to use this same siding material instead of wood siding on the new garage.

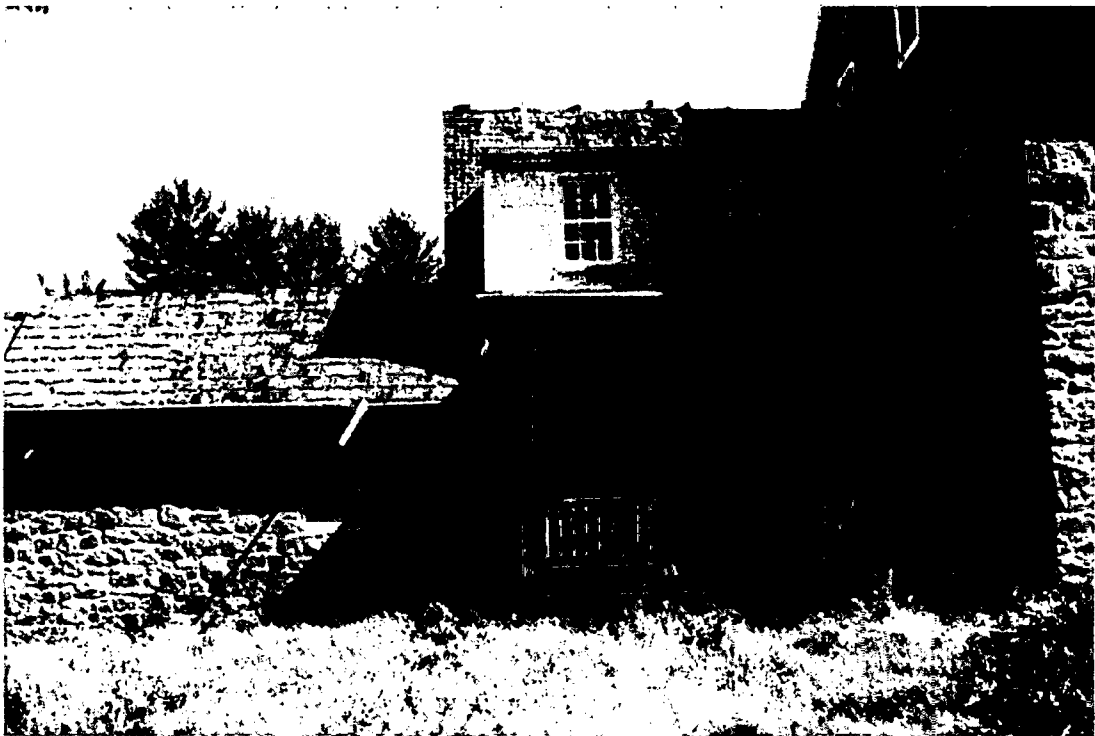
We can discuss this request at the worksession tonight. See you this evening!

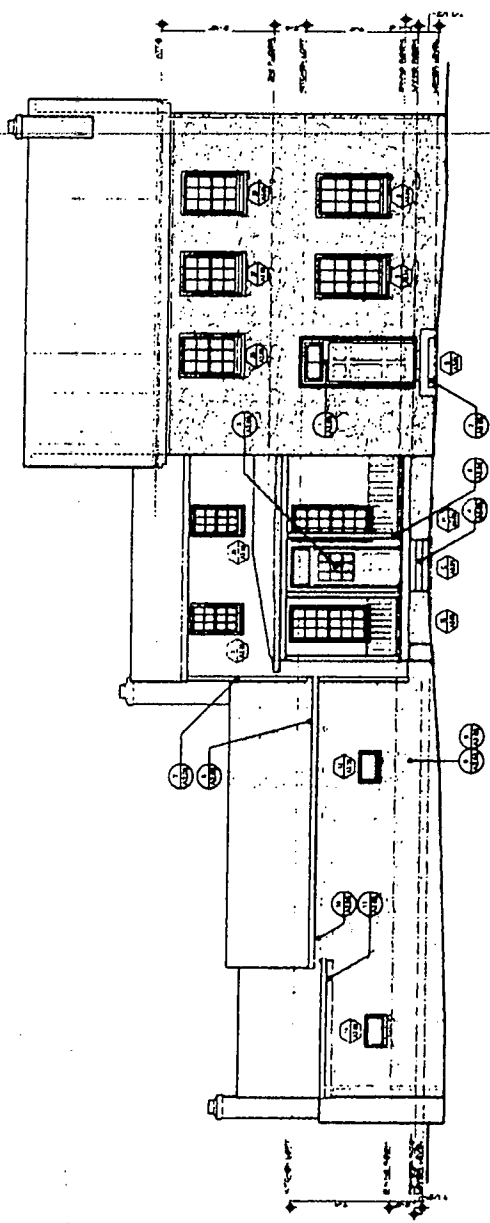
thanks, Anne



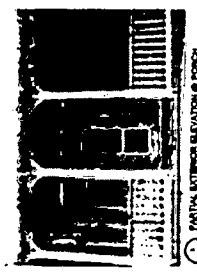
I.F - 21515 May 11 staff item
Dickerson Road, Di.. Mount Carmel...

Anne Fothergill
Planner Coordinator
Functional Planning and Policy Division | Historic Preservation Section
Maryland-National Capital Park and Planning Commission
301-563-3400 phone | 301-563-3412 fax
<http://www.montgomeryplanning.org/historic>
1400 Spring Street, Suite 500 W
Silver Spring, MD 20910





1 WINDOW
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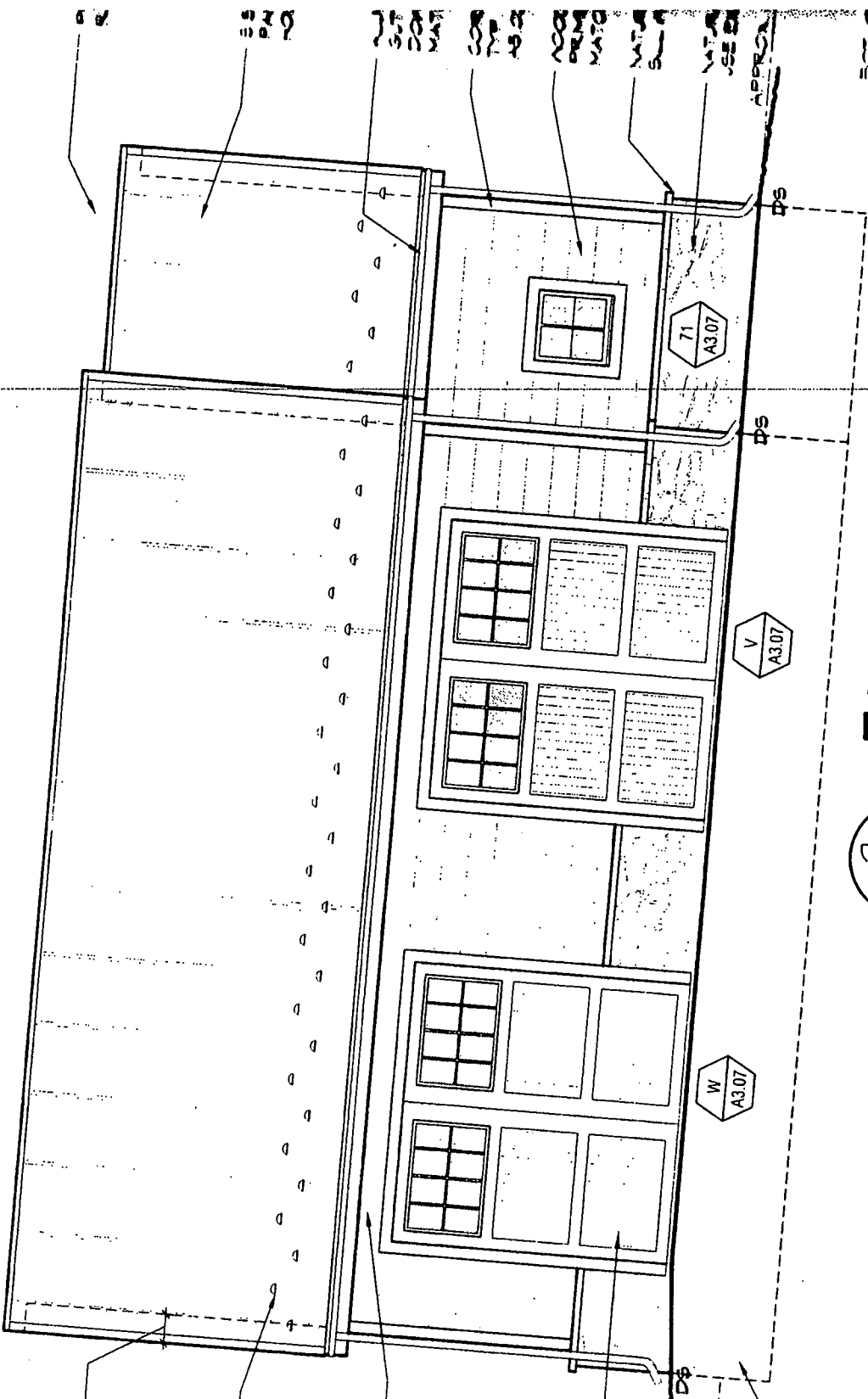


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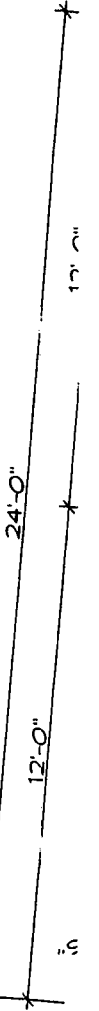
NEW GARAGE



2 EAST ELEVATION

A5.01

SCALE: 1/4" = 1'-0"





FLOORS | WALLS | ROOFS | SPECIALTY PRODUCTS | DESIGN SOFTWARE

LITERATURE

[LSL](#) | [LVL](#) | [OSB Sheathing](#) | [FlameBlock Fire-Rated OSB](#) | [LongLength OSB](#) | [SmartSide Trim & Siding](#) | [CanExcel Siding](#) | [CarraraStucco™ Built On LP SmartSide](#)

[LP SmartSide Warranty](#)

LP SmartSide Trim & Siding Family

English

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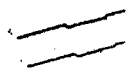
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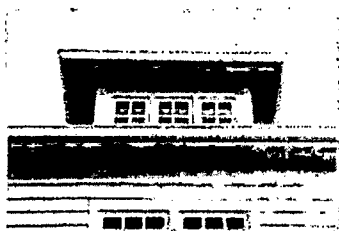


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LP® SmartSide® products deliver all the warmth and beauty of traditional wood, plus the durability and workability of engineered wood. Our SmartGuard® manufacturing process actually improves upon nature, creating products that are engineered for strength, performance and protection against fungal decay and termites. The LP SmartSide family features four distinct product collections, all backed by an industry-leading 5/50 Year Transferable Limited Warranty.



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Why Choose LP SmartSide Instead Of Traditional Wood?



[LP SmartSide Photo Gallery](#)

[See How SmartGuard® Works](#)

LP® SmartSide® Trim & Siding products deliver the beautiful, authentic look of real wood. But they offer multiple advantages over traditional wood trim and siding materials. They're free of knots so you don't waste time sorting through flawed pieces. And unlike traditional wood, LP SmartSide Trim & Siding products resist cupping and warping. They're factory pre-primed to take paint well, delivering optimal adhesion and consistent application. And our proprietary SmartGuard® manufacturing process helps protect against termite damage and fungal decay. Here's some more smart protection: our 5/50 Year Transferable Limited Warranty provides a 5-year, 100% labor and replacement feature and a 5/50 Year Prorated Limited Warranty on the product. The difference is clear. LP SmartSide products are the smart choice.

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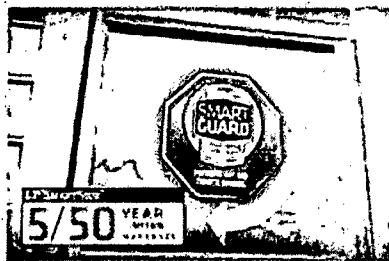


FLOORS | WALLS | ROOFS | SPECIALTY PRODUCTS | DESIGN SOFTWARE

LITERATURE

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How Is It Made?



[See The Process](#)

Our state-of-the-art SmartGuard® manufacturing process ensures that all LP® SmartSide® products deliver outstanding strength and durability. The process begins with either wood strands or wood fiber. A zinc borate compound is applied throughout the substrate to help protect against fungal decay and termites. Superior exterior-grade resins are used to create extremely strong bonds within the product. Having been tested in laboratory and real-world conditions for more than a decade, LP SmartSide products are proven to withstand extreme heat, cold, humidity and rainfall.

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HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Thomas Jester
Chairperson

Date: 1/25/10

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #554485—roof replacement, garage construction, barn demolition,
and other alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved with one condition** by the HPC on December 15, 2010. The condition of approval is:

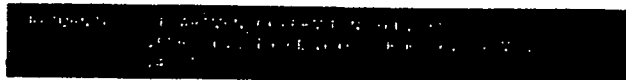
1. The new sunroom doors will be wood and not vinyl-clad.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Mr. and Mrs. Babak Yazdani
Address: 21515 Dickerson Road, Dickerson

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





DPS-#8

A

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Ali Zahedian
Daytime Phone No.: 301-793-2389

Tax Account No.:
Name of Property Owner: Mr. & Mrs. Babak Yazdani
Address: 9108 Marseille Drive Potomac, MD 20854

Contractor:
Contractor Registration No.:
Agent for Owner: Ali Zahedian
Daytime Phone No.: 301-793-2389

LOCATION OF BUILDING/PREMISE

House Number: 21515 Street: Dickerson Road
Town/City: Dickerson Nearest Cross Street: Darnestown Road
Lot: Block: Subdivision:
Liber: 04812 Folio: 0226 Parcel: P913

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
[] Construct [] Extend [x] Alter/Renovate [] A/C [] Slab [] Room Addition [] Porch [] Deck [] Shed
[] Move [] Install [] Wreck/Raze [] Solar [] Fireplace [] Woodburning Stove [] Single Family
[] Revision [] Repair [] Revocable [] Fence/Wall (complete Section 4) [] Other:
18. Construction cost estimate: \$150,000.00
19. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [] WSSC 02 [] Septic 03 [] Other:
2B. Type of water supply: 01 [] WSSC 02 [] Well 03 [] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height: feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[] On party line/property line [] Entirely on land of owner [] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent
Date: 11/16/10

Approved: [Signature] with one condition For Chairperson, Historic Preservation Commission
Disapproved:
Application/Permit No.: 559485 Date Filed: Date Issued: 11/25/11

0 1 0

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

** See Attached Descriptions

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

** See Attached Descriptions

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

1a. Property Description

The property, most commonly known as Mount Carmel whose address is 21515 Dickerson Road, is located along MD 58 where it crosses the Little Monocacy River approximately ½ mile south of Dickerson, MD. This property is listed as M:12/22 in the Montgomery County Historic Register and is also known as Gott's House (Farm/ Mill), Locust Grove, & Ray's (Ad)Venture.

The first portion of the main house was constructed in 1759 and has grown incrementally over the years with subsequent owners. The property was passed down through three families with significant ties to the history of the surrounding area and has many direct associations with the Civil War era.

The one-story portion of the building, the west end, is the original house that was built of stone and plaster in 1759. The story-and-a-half sandstone structure that houses the kitchen on the north side of the building was built around 1800. It was at this time the original house became slave quarters which included a dairy and meat house.

In 1833, a separate one-and-a-half story slave quarter building was built on the property to the northwest of the main house. When originally constructed, the slave quarter building is believed to have contained two separate yet interconnected living units. Each had a main living room with a fireplace on the ground floor and a loft space above accessed by a stair.

Simultaneously, a one-story sandstone three bay structure (east portion of main house) was constructed along with the two-story wood framed portion that connected all three stone buildings. During the Civil War, the east portion of the house was badly damaged and when reconstructed was increased to its current two-and-a-half story height using stone from a grist mill once located on the property.

Also located on the property is a wooden framed bank barn atop of a stone foundation. This structure sits approximately 60 yards to the northeast of the main house.

1b. Project Description

Notes in the historical documentation for the property indicate that when it was purchased in 1968, the house "was only a shell" with "the walls and some of the roof framing remained as original to the house. The window frames, dormers, paneling and hardware were provided as new."

The intent of this work permit is to perform a historical renovation of the exterior of the house, maintaining it as a single family dwelling. The renovation will include the installation of a field formed standing seam metal roof over the entire house. This will replace the existing metal roofing and wooden shakes, which are not original to the house. The new roof will be of a style and color that is appropriate to the period of the house. New pre-finished aluminum gutter and downspouts will be provided in a style that matches the existing. All of the stonework at a minimum will be re-pointed and inspected to verify there are no potential structural issues. All of the existing windows and doors will remain and shall be restored to full functionality and weather tightness.

Sometime over the years the slave quarter building was converted into a single guesthouse. The ground floor was opened up and a kitchen was added along with two windows on the south façade. A full bath was added in the loft upstairs.

The intent of this work permit is performing a historical renovation of the exterior of the slave quarter, maintaining it as a guesthouse unit. The renovation will include the installation of a field formed standing seam metal roof over the entire house. This will replace the existing metal roofing and wooden shakes, which are not original to the house. The new roof will be of a style and color that is appropriate to the period of the house. New pre-finished aluminum gutter and downspouts will be provided in a style that matches the existing. All of the stonework at a minimum will be re-pointed and inspected to verify there are no potential structural issues. All of the existing windows and doors will remain and shall be restored to full functionality and weather tightness.

Due to neglect over the years and the abundant snowfall over this past winter (2009-10), the barn structure collapsed in upon itself. The owner of the property, after consultation with an engineer, believes the structure is beyond repair. It also poses a serious safety issue in its current condition, especially with having small children around.

The intent of this work permit is to remove all of the debris from the fallen structure and restore the site to fit the surrounding landscape. An approved demolition permit has already been obtained from the Montgomery County Department of Permitting Services.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	21515 Dickerson Road, Dickerson	Meeting Date:	12/15/10
Applicant:	Mr. and Mrs. Babak Yazdani (Ali Zahedian, Agent)	Report Date:	12/8/10
Resource:	<i>Master Plan</i> Site #12/22 Mount Carmel	Public Notice:	12/1/10
Review:	HAWP	Tax Credit:	Partial
Case Number:	12/22-10A	Staff:	Anne Fothergill

PROPOSAL: Roof replacement, garage construction, barn demolition and other alterations

STAFF RECOMMENDATION

Staff is recommending that the HPC approve the HAWP application with the following condition:

1. The new sunroom doors will be wood and not vinyl-clad.

PROPERTY DESCRIPTION

SIGNIFICANCE: *Master Plan* Site #12/22— Mount Carmel
STYLE: Vernacular
DATE: early 1800s

Excerpt from the Maryland Inventory of Historic Properties form:

12/22 Mount Carmel (early 1800s main block)
 21515 Dickerson Road-mailing address
 21515 Darnestown Road-premise address

Mount Carmel represents the agricultural development of Montgomery County from the colonial era through the Civil War. The house evolved through the changing needs of successive generations of the Veitch-Trundle-Gott family whose ancestors were early settlers of Maryland. The main two-story block of red sandstone dates from the early 1800s. A one-story stone wing was built before 1800 and is said to have been used for slave quarters, dairy and smokehouse. A frame section dating from c1833 connects the main section and dependency. An additional stone section is the kitchen wing extending behind the central frame section. A 1½-story stone slave quarter bears the date 1833 on one of its two stone and brick chimneys. In 1860 nine slaves worked the Mount Carmel plantation.

Thomas Veitch owned Mount Carmel in the late 1700s. He was a Justice of the second County Court. His daughter Mary married, in 1799, John L. Trundle, member of the Levy Court and County Commissioners, 1833-6. Their youngest daughter, Mary and her husband Richard Gott continued the family tradition by residing at Mount Carmel where they raised their seven children. Four of the Gott daughters married men who fought for the Confederates in the Civil War. The family hosted a visit from Stonewall Jackson in 1862. Mount Carmel was the scene of a series of Civil War skirmishes fought in and around the grounds,

and frequent searches by Union troops looking for Confederate soldiers or supplies. In the mid 1800s, the Gotts built a gristmill, not far from the house, to grind grain into flour. The family acted in concert with the changing agricultural traditions in a shift from tobacco to wheat production. The mill ceased operation in 1910.

PROPOSAL

The applicants plan to renovate the house including the rehabilitation and restoration of existing windows, doors, trim, siding, and stonework with limited in-kind replacement as needed. Proposed plans are in Circles 10-34.

The applicants propose the following changes to the main house:

- Replace the existing non-original metal and wood roof on the house with a field-formed standing seam metal roof; install new gutters
- Install a new window in the east gable to replace non-original window; window to be exact replica of adjacent window (see Circle 20+26)
- Replace existing basement hatch doors with new wood doors (see sheet A.205 and sheet A1.01 in Circles 20+13)
- Replace metal sliding doors in the non-historic sunroom and install new vinyl clad wood French doors with simulated divided lights (See sheet A.205 and A.301 and A3.02 in Circles 20-22)
- Install new wooden screen doors at Door B, C and D, E and J, K, and L (see sheet A3.01 and sheet A.302 in Circles 21+22)
- Install metal storm windows on all windows

The applicants plan to rehabilitate and restore the former slave quarters which was previously converted to a guest house and will replace the non-original existing metal and wood roof a new field-formed standing seam metal roof and install new gutters.

The applicants propose to construct a two-car garage with a storage area that will be located across the driveway from the converted guest house. The gravel driveway will be extended to the new garage. The proposed garage has wood doors, wood windows with simulated divided lights, wood trim, stone veneer (using stone from the bank barn foundation), and a metal roof. See plans in Circles 30-34.

The applicants are requesting retroactive approval for the removal of the collapsed bank barn from the property. The applicants stated that the barn collapsed last winter and they had most of the structure removed from the property because it was determined to be a hazard. They do not have any photos showing the condition of the barn before it was removed from the property. Some of the stone from the foundation remains on site and they propose to use it on the exterior of the garage and remove the rest of the remaining barn debris.

Recent photos of the two buildings are in Circles 35-39. Photos of the bank barn taken in 2007 are in Circles 44+45. A 1936 HABS photo of the house is in Circle 46.

APPLICABLE GUIDELINES

When reviewing alterations and new construction to a *Master Plan* site several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- # 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- # 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland* state:

Preserve primary historic building materials whenever feasible.

2.1 Retain and preserve original wall and siding materials.

- Avoid removing original materials that are in good condition or that can be repaired in place. Avoid replacing a major portion of an exterior wall that could be repaired. Reconstruction may result in a building that has lost its integrity, and may cause maintenance problems in the future.
- In many cases, original building materials may not be damaged beyond repair and do not require replacement. Cleaning, repainting or restaining, ensuring proper drainage and keeping the material clean may be all that is necessary.
- Painting or staining wood surfaces is recommended.

Original materials that have deteriorated over time should be repaired rather than replaced.

2.9 Repair deteriorated, primary building materials by patching, piecing-in, consolidating or otherwise reinforcing them.

- Avoid the removal of damaged materials that can be repaired.
- Use the gentlest means possible to clean a structure. Perform a test patch to determine that the cleaning method will cause no damage to the material's surface. Many procedures, such as sandblasting and pressure washing, can actually result in accelerated deterioration or damage materials beyond repair.
- Use technical procedures for removal of hazardous materials that preserve, clean, refinish or repair historic materials and finishes

Replace original building materials in-kind when repair is not an option.

2.10 When replacement is needed, use materials similar to those employed historically.

- Match the original in composition, scale and finish when replacing exterior siding. If the original material is wood clapboard, for example, then the replacement should be wood as well. It should match the original in size, the amount of exposed lap and surface finish.
- If original material is painted, replacement material should be painted.
- Do not use synthetic materials, such as aluminum, vinyl siding, fiber-cement board, or other synthetic materials, as replacements for primary building materials.

Preserve the size and shape of windows and doors because they significantly affect the character of a structure.

4.1 Preserve the functional and decorative features of original windows and doors.

- Repair frames, sashes, and shutters by patching, splicing or reinforcing.
- Use original windows, doors and their hardware when they can be repaired and reused in place.
- Ornamental and structural details, such as lintels and window hoods, should be preserved and repaired.

4.2 Maintain original window and door proportions.

- Altering the original size and shape is inappropriate.
- Reducing the size of an original opening to accommodate a smaller window is inappropriate.
- Restoring original openings which have been altered is encouraged.

Repair a deteriorated window or door instead of replacing it or enclosing the opening.

4.4 Repair wooden window and door components by patching, piecing-in, consolidating or otherwise reinforcing the wood.

- Avoid the removal of damaged wood that can be repaired.
- Remove built-up paint on both the interior and exterior surfaces.
- Disassemble sash components and repair or stabilize the wood.

- Re-glazing, or replacement of the putty that holds in glazing, may also be necessary.
- Repair and refinish the frame as needed.
- Replace broken sash cords with new cords or chains.
- Repair and repaint window shutters.
- Install weather-stripping.
- Repaint the wooden members of the repaired and reassembled window or door.

Replace a window or door that is damaged beyond repair with one similar to that seen historically.

4.7 When window or door replacement is necessary, match the replacement to the original design as closely as possible.

- In most cases, wood, true-divided light (TDL) windows are recommended. In limited situations, wood, simulated-divided light (SDL) windows, undivided lights windows, or non-wood windows may be appropriate. Reference the table on page 62 for guidance.
- Replacement windows and doors that do not reflect the character of the building are inappropriate.
- If the original window is double-hung, then the replacement should also be double-hung. Match the replacement also in the number, dimension and position of glass panes.
- Match, as closely as possible, the profile of the sash and its components to that of the original window.
- Preserve the original casing.
- Consider using a salvaged historic door or window as a replacement.

Preserve the original form and scale of a roof.

5.1 Preserve the original roof form of a historic structure.

- Most roof forms are pitched, such as gable, hipped, mansard and gambrel roofs.
- Avoid altering the angle of a historic roof. Instead, maintain the perceived line and orientation of the roof as seen from the street.
- Retain and repair roof detailing.

5.3 Preserve the original eave depth of a historic roof.

- The shadows created by traditional overhangs contribute to one's perception of the building's historic character and scale.
- Cutting back roof rafters and soffits or in other ways altering the traditional roof overhang is inappropriate.
- Boxing in exposed roof rafters is inappropriate.

Use roof materials in a manner similar to that seen historically.

5.4 Preserve original roof materials.

- Avoid removing roof material that is in good condition. Replace it with similar material only when necessary.

5.5 Replacement roof materials for a historic house should convey a scale and texture similar to those used traditionally.

- Replacement in-kind is encouraged. A roof replacement material should be in keeping with the original architectural style of the structure.
- New roof materials should match the original in scale, color and texture as closely as possible.

The *Design Guidelines* also state:

New accessory structures and outbuildings should be compatible with the primary structure on a property.

14.2 New accessory structures and outbuildings should be compatible with the primary structure.

- New construction should be similar in style but recognizable as new.
- Architectural details, materials, and style should be compatible to the primary structure.

- The mass and scale should be in proportion to the primary structure.
- New accessory structures and outbuildings should be located in the rear yard and conform to Montgomery County and municipality zoning and building regulations

The applicants are proposing a sensitive rehabilitation of the two historic buildings on this property and much of the work will be eligible for tax credits. The original roofing material for the two buildings is not known and the proposed standing seam metal roof is an appropriate replacement roofing material. The sunroom doors are located in a non-historic, altered section of the house but the replacement doors should be a material that is compatible with the historic house and staff recommends that the wood doors not be clad in vinyl. The new garage will be located across the existing driveway at the rear of the house and will reuse some of the stone from the collapsed bank barn. Overall, the proposed plan is in keeping with the *Standards and Guidelines* and staff recommends approval with one condition.

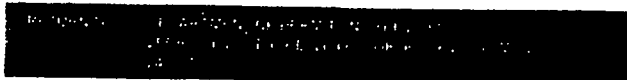
STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with one condition** as being consistent with Chapter 24A-8(b)(1) and (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Ali Zahedian
Daytime Phone No.: 301-793-2389

Tax Account No.: _____
Name of Property Owner: Mr. & Mrs. Babak Yazdani Daytime Phone No.: 301-793-2389
Address: 9108 Marseille Drive Potomac, MD 20854
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: Ali Zahedian Daytime Phone No.: 301-793-2389

LOCATION OF BUILDING/PREMISE

House Number: 21515 Street: Dickerson Road
Town/City: Dickerson Nearest Cross Street: Darnestown Road
Lot: _____ Block: _____ Subdivision: _____
Liber: 04812 Folio: 0226 Parcel: P913

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: Historic Preservation \$150,000.00
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height: _____ foot _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 11/6/10
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 559485 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

7

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>Mr. & Mrs. Babak Yazdani C/O Zahedian and Associates 9108 Marseille Drive Potomac, MD 20854</p>	<p>Owner's Agent's mailing address</p> <p>Ali Zahedian Zahedian and Associates 9108 Marseille Drive Potomac, MD 20854</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Mount Carmel Co. C/O William J Armstrong 3rd 1804 Briggs Chaney Road Silver Spring, MD 20905-5530</p>	<p>Douglas H and C C Boucher 20507 Darnestown Road Dickerson, MD 20842-9285</p>
<p>Malcolm W Warfield 291 Transco Road Scottsville, VA 24590-4917</p>	<p>Potomac Electric Power Co C/O Corp Tax Dept Ste 5617 701 9th Street NW Washington DC 20068-0001</p>
<p>Michael B McMorris & Julia E D Speck 21420 Dickerson Road Dickerson, MD 20842</p>	<p>William P Anderson Et Al 9120 Edgewood Drive Gaithersburg, MD 20877</p>

1a. Property Description

The property, most commonly known as Mount Carmel whose address is 21515 Dickerson Road, is located along MD 58 where it crosses the Little Monocacy River approximately ½ mile south of Dickerson, MD. This property is listed as M:12/22 in the Montgomery County Historic Register and is also known as Gott's House (Farm/ Mill), Locust Grove, & Ray's (Ad)Venture.

The first portion of the main house was constructed in 1759 and has grown incrementally over the years with subsequent owners. The property was passed down through three families with significant ties to the history of the surrounding area and has many direct associations with the Civil War era.

The one-story portion of the building, the west end, is the original house that was built of stone and plaster in 1759. The story-and-a-half sandstone structure that houses the kitchen on the north side of the building was built around 1800. It was at this time the original house became slave quarters which included a dairy and meat house.

In 1833, a separate one-and-a-half story slave quarter building was built on the property to the northwest of the main house. When originally constructed, the slave quarter building is believed to have contained two separate yet interconnected living units. Each had a main living room with a fireplace on the ground floor and a loft space above accessed by a stair.

Simultaneously, a one-story sandstone three bay structure (east portion of main house) was constructed along with the two-story wood framed portion that connected all three stone buildings. During the Civil War, the east portion of the house was badly damaged and when reconstructed was increased to its current two-and-a-half story height using stone from a grist mill once located on the property.

Also located on the property is a wooden framed bank barn atop of a stone foundation. This structure sits approximately 60 yards to the northeast of the main house.

1b. Project Description

Notes in the historical documentation for the property indicate that when it was purchased in 1968, the house "was only a shell" with "the walls and some of the roof framing remained as original to the house. The window frames, dormers, paneling and hardware were provided as new."

The intent of this work permit is to perform a historical renovation of the exterior of the house, maintaining it as a single family dwelling. The renovation will include the installation of a field formed standing seam metal roof over the entire house. This will replace the existing metal roofing and wooden shakes, which are not original to the house. The new roof will be of a style and color that is appropriate to the period of the house. New pre-finished aluminum gutter and downspouts will be provided in a style that matches the existing. All of the stonework at a minimum will be re-pointed and inspected to verify there are no potential structural issues. All of the existing windows and doors will remain and shall be restored to full functionality and weather tightness.

Sometime over the years the slave quarter building was converted into a single guesthouse. The ground floor was opened up and a kitchen was added along with two windows on the south façade. A full bath was added in the loft upstairs.

The intent of this work permit is performing a historical renovation of the exterior of the slave quarter, maintaining it as a guesthouse unit. The renovation will include the installation of a field formed standing seam metal roof over the entire house. This will replace the existing metal roofing and wooden shakes, which are not original to the house. The new roof will be of a style and color that is appropriate to the period of the house. New pre-finished aluminum gutter and downspouts will be provided in a style that matches the existing. All of the stonework at a minimum will be re-pointed and inspected to verify there are no potential structural issues. All of the existing windows and doors will remain and shall be restored to full functionality and weather tightness.

Due to neglect over the years and the abundant snowfall over this past winter (2009-10), the barn structure collapsed in upon itself. The owner of the property, after consultation with an engineer, believes the structure is beyond repair. It also poses a serious safety issue in its current condition, especially with having small children around.

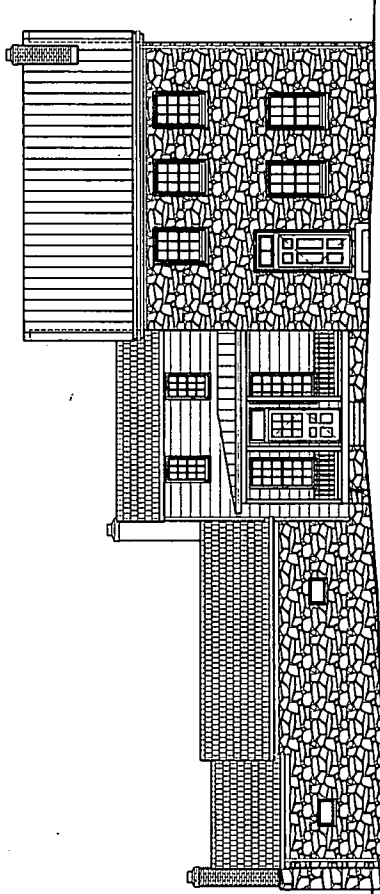
The intent of this work permit is to remove all of the debris from the fallen structure and restore the site to fit the surrounding landscape. An approved demolition permit has already been obtained from the Montgomery County Department of Permitting Services.

HISTORIC PRESERVATION FOR:

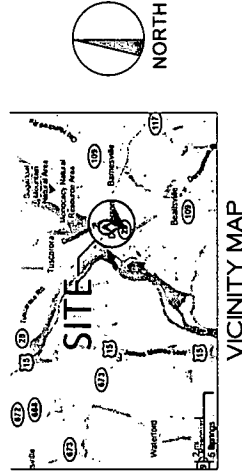
MOUNT CARMEL

SITE M:12/22

21515 DICKERSON ROAD, DICKERSON, MD 20842
 OWNER: YAZDANI FAMILY



DRAWING SHEET INDEX	
SHEET #	SHEET NAME
CS	COVER SHEET
AL01	EXISTING WINDOW ANALYSIS
AL02	EXISTING WINDOW ANALYSIS
AL03	EXISTING WINDOW ANALYSIS
AL04	EXISTING WINDOW ANALYSIS
AL05	EXISTING WINDOW ANALYSIS
AL06	EXISTING WINDOW ANALYSIS
AL07	EXISTING WINDOW ANALYSIS
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AL100	EXISTING WINDOW ANALYSIS



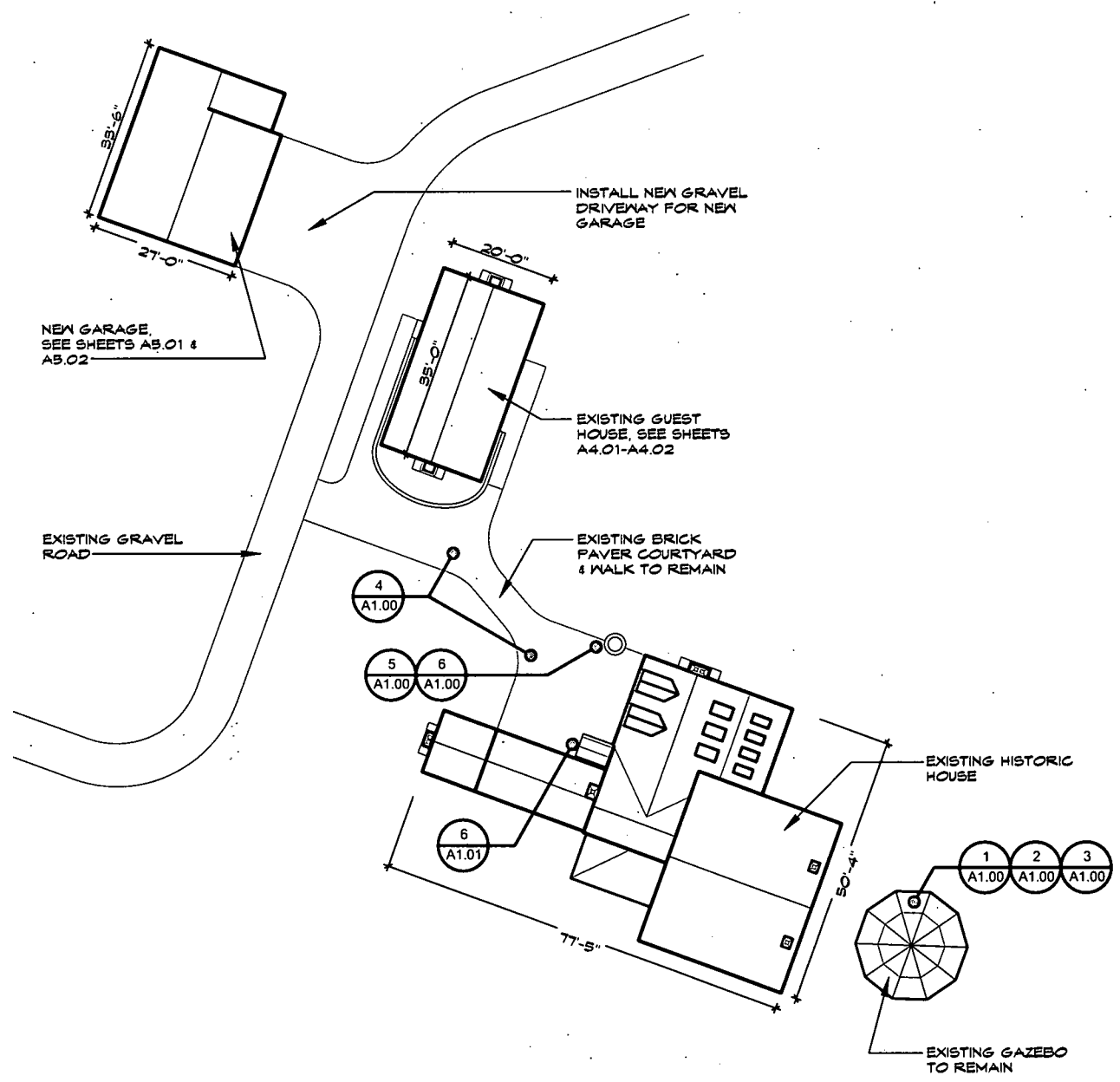
VICINITY MAP

BMG ARCHITECTS p.c.
 18129 Oak Ridge Drive
 Hagerstown, Maryland 21740
 Phone - 301.797.9520
 Fax - 301.797.9521

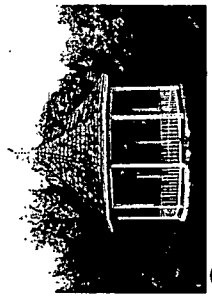
HISTORIC PRESERVATION FOR:
MOUNT CARMEL
 DICKERSON, MD 20842

COVER SHEET

DATE: 12/22/2010
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]
 SHEET NO.: [Number]



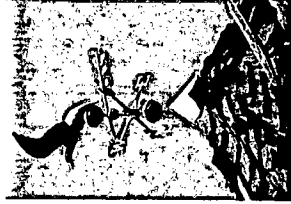
SITE PLAN



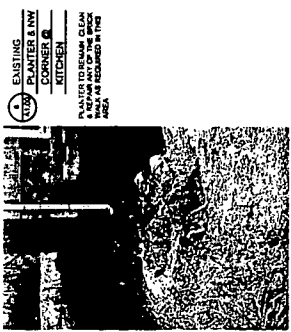
EXISTING GAZEBO ELEVATION
 NO WORK THIS PHASE OF THE PROJECT



EXISTING GAZEBO CEILING STRUCTURE
 NO WORK THIS PHASE OF THE PROJECT

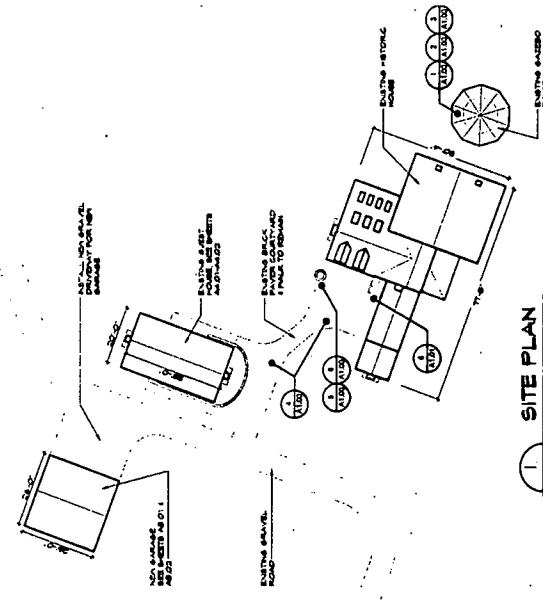


EXISTING BRICK PLANTER
 EXISTING BRICK PLANTERS TO REMAIN. APPLY BRASS NIPPLE VALVES & POWERWASH BEFORE REFINISHING.



EXISTING BRICK WALK
 EXISTING BRICK PAVEMENT TO REMAIN. APPLY BRASS NIPPLE VALVES & POWERWASH BEFORE REFINISHING.

- GENERAL CONSTRUCTION NOTES**
- CONTRACTOR SHALL BE RESPONSIBLE TO MEET ALL STATE AND LOCAL CODES REQUIRED FOR THIS PROJECT. NO ADDITIONAL WORK OUTSIDE OF THE SCOPE OF THESE DRAWINGS & PERMIT SHALL BE COMPLETED WITHOUT THE APPROVAL OF THE HISTORIC COMMISSION.
 - CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS PRIOR TO FABRICATING ANY TYPE OF WORK OR CONSTRUCTION.
 - ANY COLOR OR MATERIAL SELECTIONS SHOULD MATCH THE EXISTING CONDITION. COLOR SELECTIONS AND SCHEMES SHOULD BE IN ACCORDANCE WITH THE PERIOD OF THE HOUSE. OWNER AND THE HISTORIC COMMISSION SHALL APPROVE ALL FINAL COLORS / FINISHES.
 - ALL SQUARES SHOWN ON ELEVATIONS ARE APPROXIMATE. FIELD VERIFY ELEVATIONS PRIOR TO ANY CONSTRUCTION. ALL SIZES & SQUARE FOOTAGES PROVIDED IN RELATION TO THE HISTORICAL PRESERVATION OF THE EXISTING STRUCTURES ARE APPROXIMATE AND HAVE BEEN PROVIDED AS A BASIS FOR PRELIMINARY ESTIMATES. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO ANY WORK.
 - THE SCOPE OF THESE DRAWINGS INCLUDES PRESERVATION WORK TO BE DONE TO THE EXTERIOR OF THE EXISTING STRUCTURES AND THE CONSTRUCTION OF A NEW GARAGE. THE ONLY INTERIOR WORK INCLUDED IN THIS CONTRACT WOULD BE THAT WHICH IS NECESSARY TO SUPPORT THE EXTERIOR WORK. ANY INTERIOR WORK NOT REGULATED BY THE HISTORIC COMMISSION, HOWEVER THESE CHANGES WOULD REQUIRE ADDITIONAL DOCUMENTATION AND APPROVAL BY THE AUTHORITY HAVING JURISDICTION.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE TO EMPLOY TRADESMEN WITH EXPERIENCE WORKING ON HISTORIC RENOVATION PROJECTS. THE MATERIALS AND CONSTRUCTION PRACTICES ASSOCIATED WITH HISTORIC STRUCTURES MAY DIFFER WITH CURRENT STANDARD CONSTRUCTION PRACTICES AND REQUIRE A CERTAIN KNOWLEDGE TO BE COMPLETED ACCURATELY & WITHOUT JEOPARDIZING THE INTEGRITY OF THE STRUCTURE.
 - IF ANY UNFORESEEN CONDITIONS ARE UNCOVERED AS A RESULT OF WORK INCLUDED IN THIS PERMIT, TAKE ONLY WHAT STEPS ARE REQUIRED TO CREATE A STABLE SITUATION AND SUBMIT A PROPOSED PLAN OF ACTION TO THE HISTORICAL COMMISSION FOR APPROVAL.
 - GENERAL CONTRACTOR IS RESPONSIBLE TO PROTECT THE EXISTING STRUCTURES, INSIDE AND OUT, DURING THE CONSTRUCTION PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES. ANY DAMAGES MAY ALSO REQUIRE APPROVAL AND/OR DIRECTION FROM THE HISTORICAL COMMISSION.



100 SITE PLAN
 SCALE: 1/8" = 1'-0"

see revised site plan
 in circle 11

DATE: 23 OCTOBER 2010
 SCALE: 1/4" = 1'-0"
 SHEET: A1.01
 NUMBER: 1000

PROJECT NORTH

HISTORIC PRESERVATION FOR:
MOUNT CARMEL
 DICKERSON, MD 20842

FIRST FLOOR PLAN - EXISTING

CONSTRUCTION DOCUMENTS
 2010 BMGM ARCHITECTS, P.C.

ELEVATION 101
 INSIDE
 SUNROOM



ELEVATION 102
 INSIDE
 SUNROOM



ELEVATION 103
 INSIDE
 SUNROOM



ELEVATION 104
 INSIDE
 SUNROOM



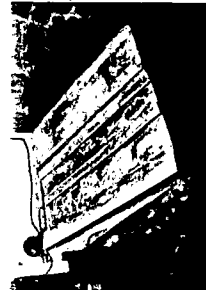
REMOVE EXISTING MASONRY IN PLACE TO MATCH EXISTING SURFACE.
 RECONSTRUCT WITH NEW MASONRY IN PLACE TO MATCH EXISTING SURFACE.

ELEVATION 105
 INSIDE
 SUNROOM

REMOVE EXISTING MASONRY IN PLACE TO MATCH EXISTING SURFACE.
 RECONSTRUCT WITH NEW MASONRY IN PLACE TO MATCH EXISTING SURFACE.

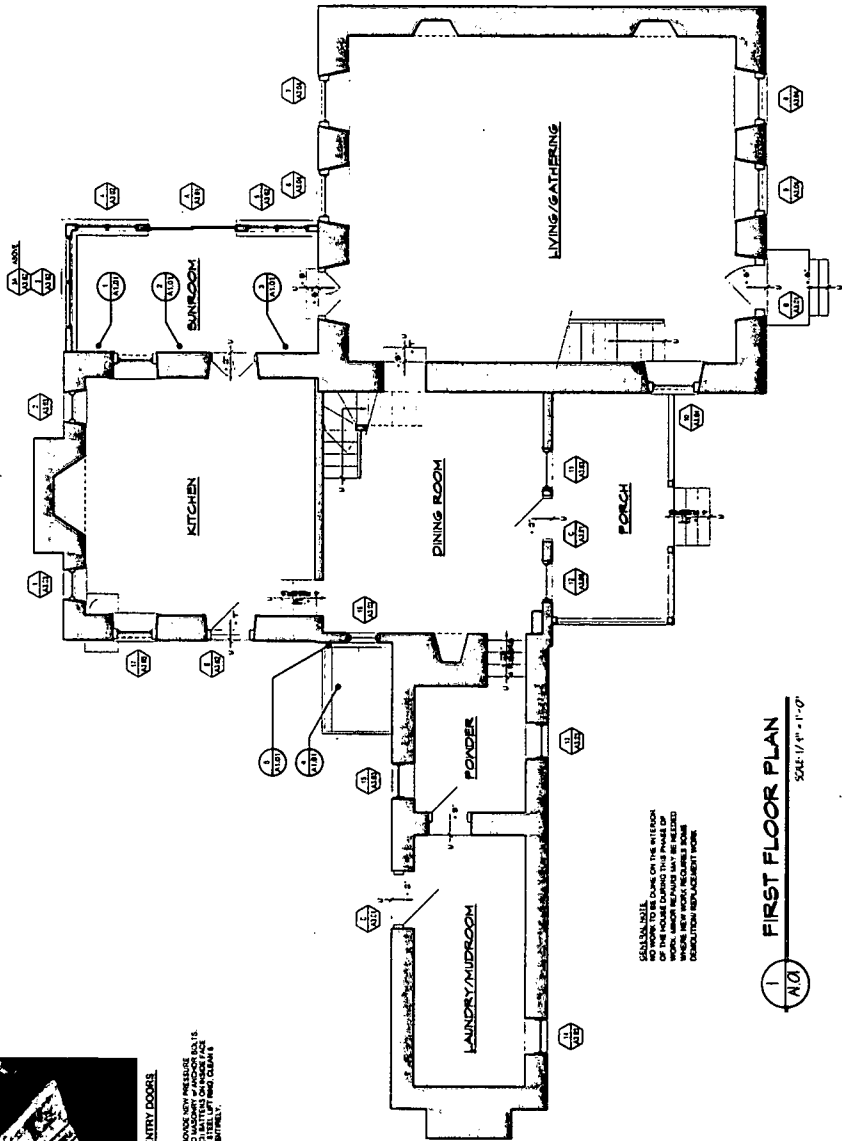
ELEVATION 106
 INSIDE
 SUNROOM

REMOVE EXISTING MASONRY IN PLACE TO MATCH EXISTING SURFACE.
 RECONSTRUCT WITH NEW MASONRY IN PLACE TO MATCH EXISTING SURFACE.



ELEVATION 107
 INSIDE
 SUNROOM

REMOVE EXISTING WOOD BARN DOOR ENTRY DOORS. PROVIDE NEW PRELIMINARY CONSTRUCTION WITH NEW SECTION OF BARN DOOR TO MATCH EXISTING. PROVIDE ANY WOOD DOORS ON WALLS IF NEEDED. PAINT CHALK & PAINT.

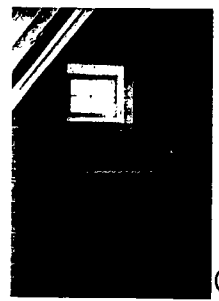


GENERAL NOTE:
 ALL WORK SHALL BE DONE ON THE INTERIOR OF THE HOUSE DURING THE PHASE OF CONSTRUCTION. ALL EXTERIOR WORK SHALL BE COMPLETED BEFORE INTERIOR WORK IS BEGUN. DISCUSS WITH ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

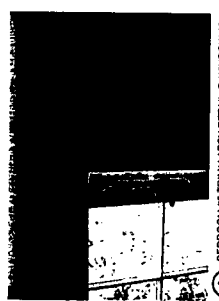
FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



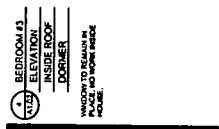
1 BEDROOM #3 CEILING & SKYLIGHTS
 UNLESS OTHERWISE NOTED, ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK, WITH THE LATEST AMENDMENTS.



1 BEDROOM #3 NORTH ELEVATION & EGRESS
 UNLESS OTHERWISE NOTED, ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK, WITH THE LATEST AMENDMENTS.



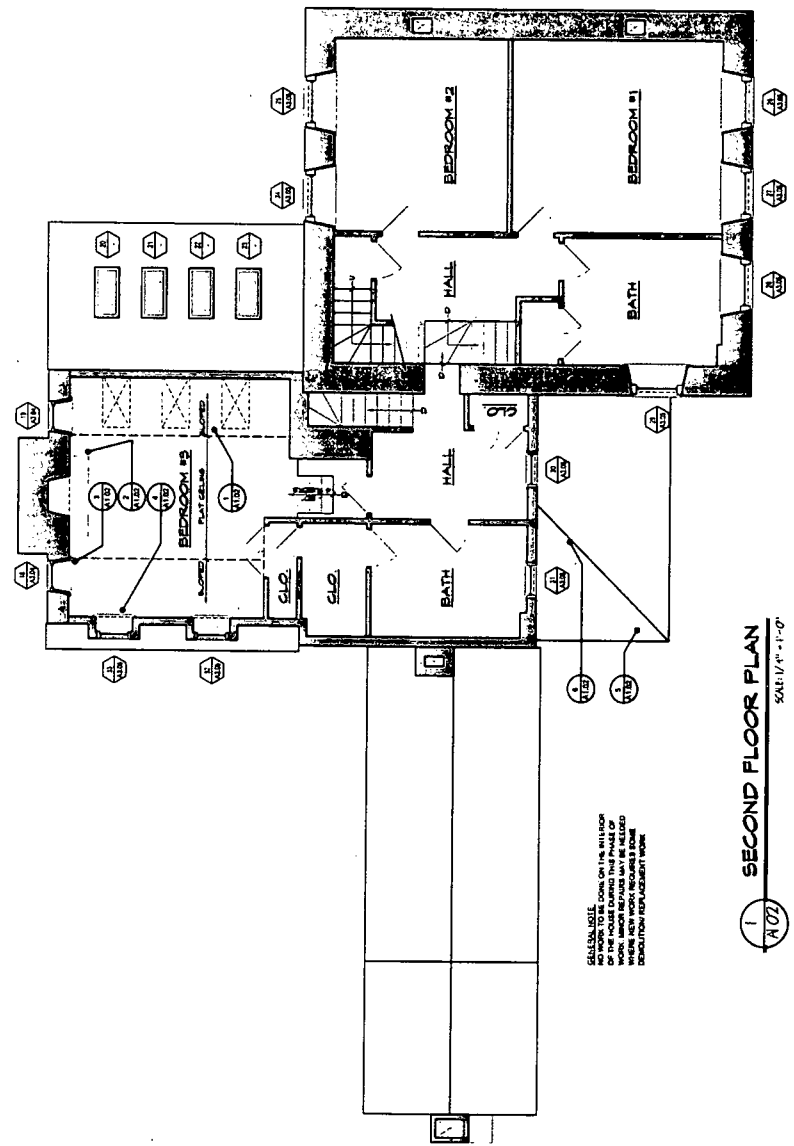
1 BEDROOM #3 TRIM, LATCH DETAIL & WINDOW
 UNLESS OTHERWISE NOTED, ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK, WITH THE LATEST AMENDMENTS.



1 BEDROOM #3 ELEVATION INSIDE ROOF DORMER
 UNLESS OTHERWISE NOTED, ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK, WITH THE LATEST AMENDMENTS.



1 WINDOW TO REMAIN IN PLACE, NO WORK INSIDE HOUSE.
 UNLESS OTHERWISE NOTED, ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK, WITH THE LATEST AMENDMENTS.



GENERAL NOTE: ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK, WITH THE LATEST AMENDMENTS. UNLESS OTHERWISE NOTED, ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK, WITH THE LATEST AMENDMENTS.

1 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
A1.02



1 EXISTING HIP ROOF CONDITION OVER FRONT PORCH
 UNLESS OTHERWISE NOTED, ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK, WITH THE LATEST AMENDMENTS.



1 EXISTING HIP ROOF CONDITION OVER FRONT PORCH
 UNLESS OTHERWISE NOTED, ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK, WITH THE LATEST AMENDMENTS.

BMGM ARCHITECTS P.C.

10000 W. 10th Street, Suite 100
 Golden, CO 80401
 Phone: 303.733.8800
 Fax: 303.733.8801
 Email: info@bmgm.com

**HISTORIC PRESERVATION FOR:
 MOUNT CARMEL
 DICKERSON, MD 20842**

THIRD FLOOR PLAN - EXISTING & ROOF PLAN - NEW

PROJECT NORTH

A1.03

DATE: 12 OCTOBER 2010
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 AS NOTED

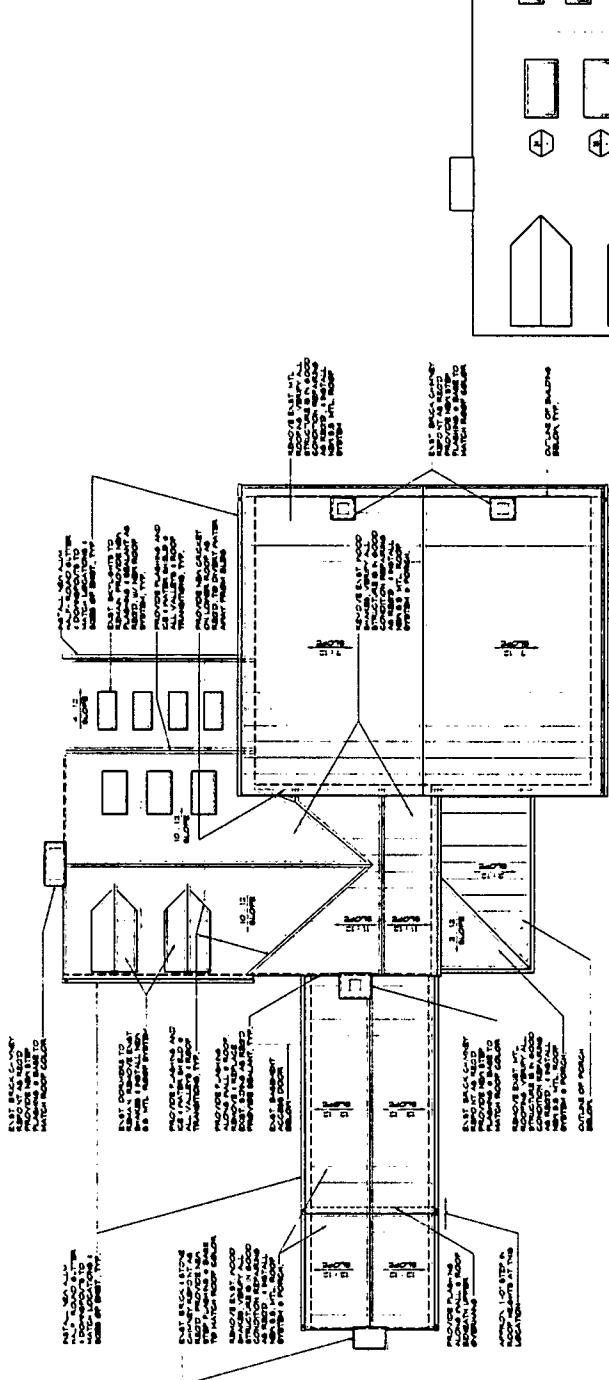
CONSTRUCTION DOCUMENTS

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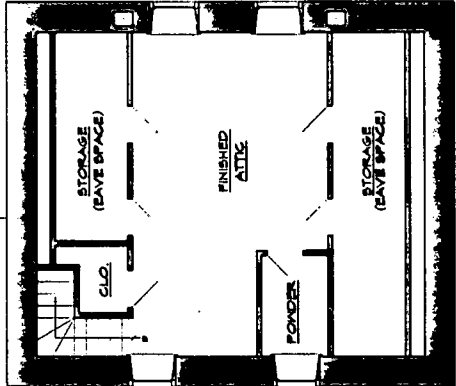


1.03 ROOF EDGE & WINDOW ADDITION

EXISTING CEDAR WOOD FRAME WINDOW TO BE REPLACED BY FRAME OF PALACE WINDOW WITH NEW EXTERIOR AND INTERIOR FINISHES. WINDOW TO BE SET INTO EXISTING WALL WITH NEW FINISHES. WINDOW TO BE SET INTO EXISTING WALL WITH NEW FINISHES.



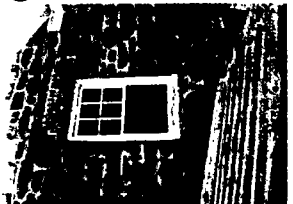
2. ROOF PLAN - NEW WORK
 SCALE 3/8" = 1'-0"



1. THIRD FLOOR PLAN
 SCALE 1/4" = 1'-0"

3. PORCH ROOF & WINDOW

REPLACE EXISTING ROOF TO BE REPLACED WITH NEW ROOF. WINDOW TO BE REPLACED WITH NEW WINDOW. WINDOW TO BE SET INTO EXISTING WALL WITH NEW FINISHES.



DATE: 10/23/10
 DRAWN BY: [Name]
 CHECKED BY: [Name]

HISTORIC PRESERVATION FOR:
MOUNT CARMEL
 DICKERSON, MD 20842
 NORTH ELEVATION - EXISTING CONDITIONS

PROJECT NORTH
 SHEET
A2.01
 NUMBER

DATE: 23 OCTOBER 2010
 SCALE: AS NOTED
 PROJECT NO.: 1001-23
 DRAWING NO.: 001

CONSTRUCTION DOCUMENTS
 CONTRACT NO.: BMG ARCHITECTS P.C.



1.1 EXTERIOR NORTH ELEVATION & NORTH CHIMNEY
 NO WORK REQUIRED - AS SHOWN IN PHOTO TO MATCH EXISTING COLOR OF SURFACES



1.2 STONE DETAIL NORTH CHIMNEY
 NO WORK REQUIRED - AS SHOWN IN PHOTO TO MATCH EXISTING COLOR OF SURFACES



1.3 PARTIAL EXTERIOR NORTH ELEVATION
 EXISTING METAL ROOFING TO BE REMOVED. REPLACE WITH DAWGWOOD SHINGLES. MATCH EXISTING COLOR AND GRAIN. REMOVE EXISTING METAL ROOFING. REMOVE EXISTING OUTSILLITE ONE. REPLACE WITH GOOD TRIM AS NOTED



1.4 EXTERIOR ELEVATION OF LAUNDRY WING
 EXISTING LIGHT WOOD SHINGLED ROOF TO BE REMOVED. REPLACE WITH DAWGWOOD SHINGLES. MATCH EXISTING COLOR AND GRAIN. REMOVE EXISTING METAL ROOFING. REMOVE EXISTING OUTSILLITE ONE. REPLACE WITH GOOD TRIM AS NOTED



1.5 DETAIL CORNER OF SUNROOM
 REPLACE EXISTING BRICK WALL & CORNER AS NOTED IN PHOTO TO MATCH EXISTING COLOR & GRAIN



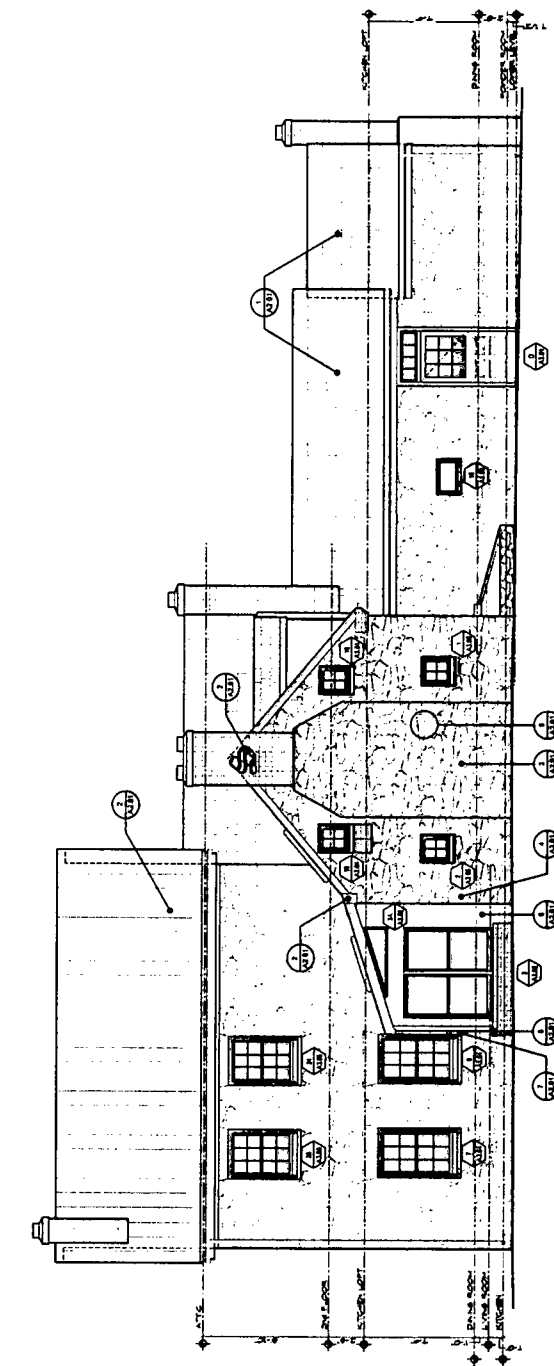
1.6 NORTH WALL & SUNROOM CONNECTION
 NO WORK REQUIRED - AS SHOWN IN PHOTO TO MATCH EXISTING COLOR OF SURFACES



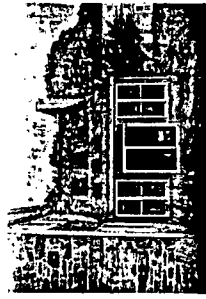
1.7 EAST CABLE DISTRIBUTION BOX
 NO WORK REQUIRED - AS SHOWN IN PHOTO TO MATCH EXISTING COLOR OF SURFACES



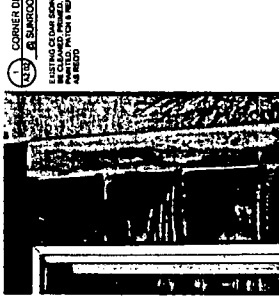
1.8 SUNROOM CONNECTION MAIN HOUSE
 NO WORK REQUIRED - AS NOTED IN PHOTO TO MATCH EXISTING COLOR & GRAIN



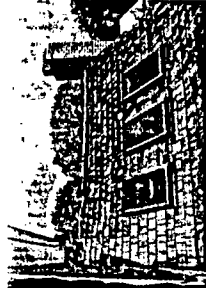
1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



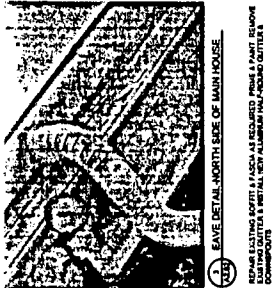
1002 PARTIAL EXTERIOR ELEVATION @ CLASSROOM ADDITION
 REPAIR CRACKS TO BE CLEANED, PRIMED, & PAINTED. REPAIR & REPLACE EXISTING WINDOW AS REQUIRED. PRIME & PAINT SURROUNDING MASONRY TO MATCH EXISTING. REPAIR & REPLACE EXISTING TRIM TO MATCH EXISTING. REPAIR & REPLACE EXISTING TRIM TO MATCH EXISTING. REPAIR & REPLACE EXISTING TRIM TO MATCH EXISTING.



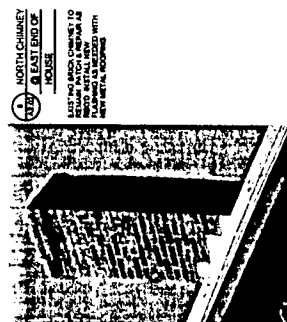
1003 CORNER DETAIL @ CLASSROOM
 REPAIR EXISTING SOFFIT & FASCIA AS REQUIRED. PRIME & PAINT SURROUNDING MASONRY TO MATCH EXISTING. REPAIR & REPLACE EXISTING TRIM TO MATCH EXISTING.



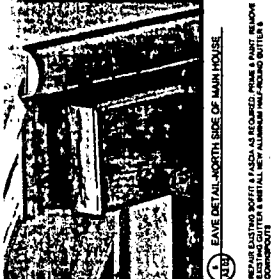
1004 EXISTING EXTERIORS
 REPAIR CRACKS TO BE CLEANED, PRIMED, & PAINTED. REPAIR & REPLACE EXISTING WINDOW AS REQUIRED. PRIME & PAINT SURROUNDING MASONRY TO MATCH EXISTING. REPAIR & REPLACE EXISTING TRIM TO MATCH EXISTING. REPAIR & REPLACE EXISTING TRIM TO MATCH EXISTING.



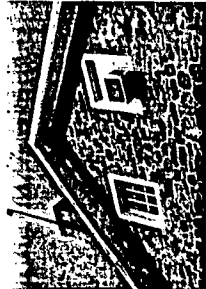
1005 EAVE DETAIL-NORTH SIDE OF MAIN HOUSE
 REPAIR EXISTING SOFFIT & FASCIA AS REQUIRED. PRIME & PAINT SURROUNDING MASONRY TO MATCH EXISTING. REPAIR & REPLACE EXISTING TRIM TO MATCH EXISTING.



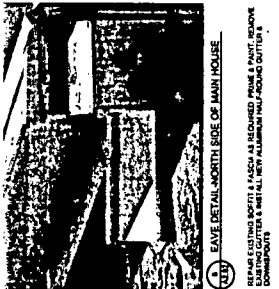
1006 NORTH CHIMNEY @ EAST END OF HOUSE
 REPAIR CRACKS TO BE CLEANED, PRIMED, & PAINTED. REPAIR & REPLACE EXISTING WINDOW AS REQUIRED. PRIME & PAINT SURROUNDING MASONRY TO MATCH EXISTING. REPAIR & REPLACE EXISTING TRIM TO MATCH EXISTING.



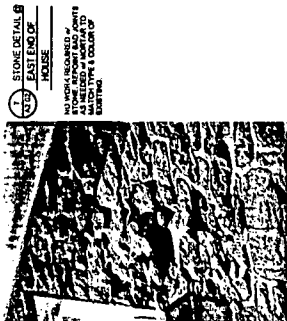
1007 EAVE DETAIL-NORTH SIDE OF MAIN HOUSE
 REPAIR EXISTING SOFFIT & FASCIA AS REQUIRED. PRIME & PAINT SURROUNDING MASONRY TO MATCH EXISTING. REPAIR & REPLACE EXISTING TRIM TO MATCH EXISTING.



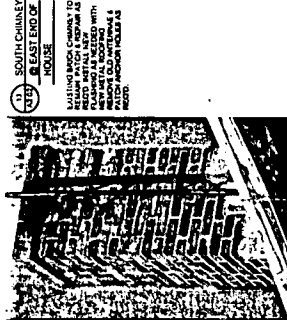
1008 EAST GABLE ELEVATION @ MAIN HOUSE
 REPAIR CRACKS TO BE CLEANED, PRIMED, & PAINTED. REPAIR & REPLACE EXISTING WINDOW AS REQUIRED. PRIME & PAINT SURROUNDING MASONRY TO MATCH EXISTING. REPAIR & REPLACE EXISTING TRIM TO MATCH EXISTING.



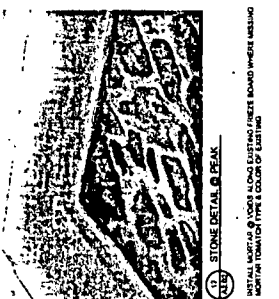
1009 EAVE DETAIL-NORTH SIDE OF MAIN HOUSE
 REPAIR EXISTING SOFFIT & FASCIA AS REQUIRED. PRIME & PAINT SURROUNDING MASONRY TO MATCH EXISTING. REPAIR & REPLACE EXISTING TRIM TO MATCH EXISTING.



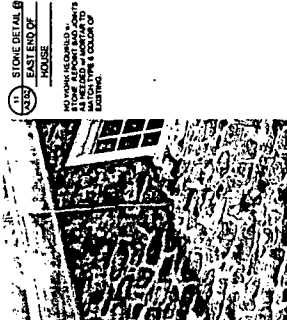
1010 STONE DETAIL @ EAST END OF HOUSE
 REPAIR CRACKS TO BE CLEANED, PRIMED, & PAINTED. REPAIR & REPLACE EXISTING WINDOW AS REQUIRED. PRIME & PAINT SURROUNDING MASONRY TO MATCH EXISTING. REPAIR & REPLACE EXISTING TRIM TO MATCH EXISTING.



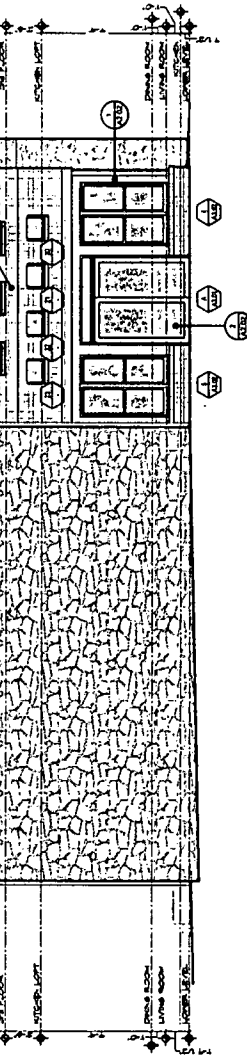
1011 SOUTH CHIMNEY @ EAST END OF HOUSE
 REPAIR CRACKS TO BE CLEANED, PRIMED, & PAINTED. REPAIR & REPLACE EXISTING WINDOW AS REQUIRED. PRIME & PAINT SURROUNDING MASONRY TO MATCH EXISTING. REPAIR & REPLACE EXISTING TRIM TO MATCH EXISTING.



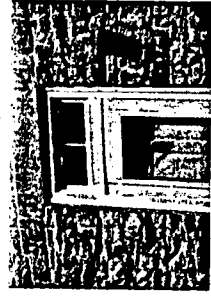
1012 STONE DETAIL @ EAST END OF HOUSE
 REPAIR CRACKS TO BE CLEANED, PRIMED, & PAINTED. REPAIR & REPLACE EXISTING WINDOW AS REQUIRED. PRIME & PAINT SURROUNDING MASONRY TO MATCH EXISTING. REPAIR & REPLACE EXISTING TRIM TO MATCH EXISTING.



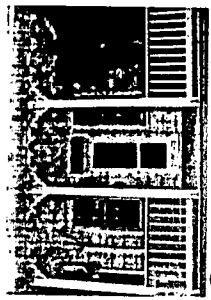
1013 STONE DETAIL @ EAST END OF HOUSE
 REPAIR CRACKS TO BE CLEANED, PRIMED, & PAINTED. REPAIR & REPLACE EXISTING WINDOW AS REQUIRED. PRIME & PAINT SURROUNDING MASONRY TO MATCH EXISTING. REPAIR & REPLACE EXISTING TRIM TO MATCH EXISTING.



1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



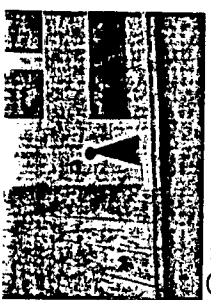
100 PARTIAL ELEVATION @ DOOR 3'
 - EXISTING DAMAGED SIDING, SIDING TO BE REPLACED AND 1/2" X 1/2" SIDING, DOOR & WINDOW CASINGS TO BE INSTALLED OVER EXISTING SIDING AT THE DOOR, SET BACK TO MATCH EXISTING LIGHT FIXTURES & PROVIDE (2) NEW FIXTURES. (1) FOR EACH SIDE OF DOOR, NEW FIXTURES SHALL MATCH THE PROFILE OF THE HOUSE.



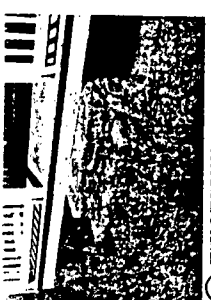
101 PARTIAL EXTERIOR ELEVATION @ PORCH
 - EXISTING PORCH RAILING, POSTS, RAILS, OPENING & DECORATIVE TRIMWORK ARE TO BE RESTORED, FINISHED & PAINTED TO MATCH EXISTING. EXISTING PORCH FLOORING TO BE REPLACED WITH ALUMINUM HALF-ROUND CUTTERS & COMPOSITE.



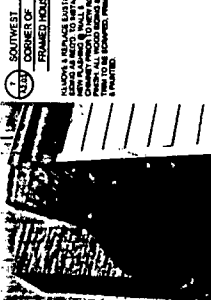
102 STAIRS @ DOOR 3'
 - THE EXISTING STONE STEPS & PORCH @ THE MAIN ENTRY DOOR ARE TO REMAIN, NO WORK.



103 DETAIL @ PORCH POST BASE
 - EXISTING PORCH RAILING, POSTS, RAILS, OPENING & DECORATIVE TRIMWORK ARE TO BE RESTORED, FINISHED & PAINTED.



104 STAIRS @ FRONT PORCH
 - THE EXISTING STONE STEPS & PORCH ARE TO REMAIN, NO WORK.



105 SOUTHWEST CORNER OF FRAMED HOUSE
 - ALWAYS A SPACED EXISTING SIDING & SIDING TO BE REPLACED WITH ALUMINUM HALF-ROUND CUTTERS & COMPOSITE. EXISTING ROOFING TO BE REPLACED WITH ALUMINUM HALF-ROUND CUTTERS & COMPOSITE.



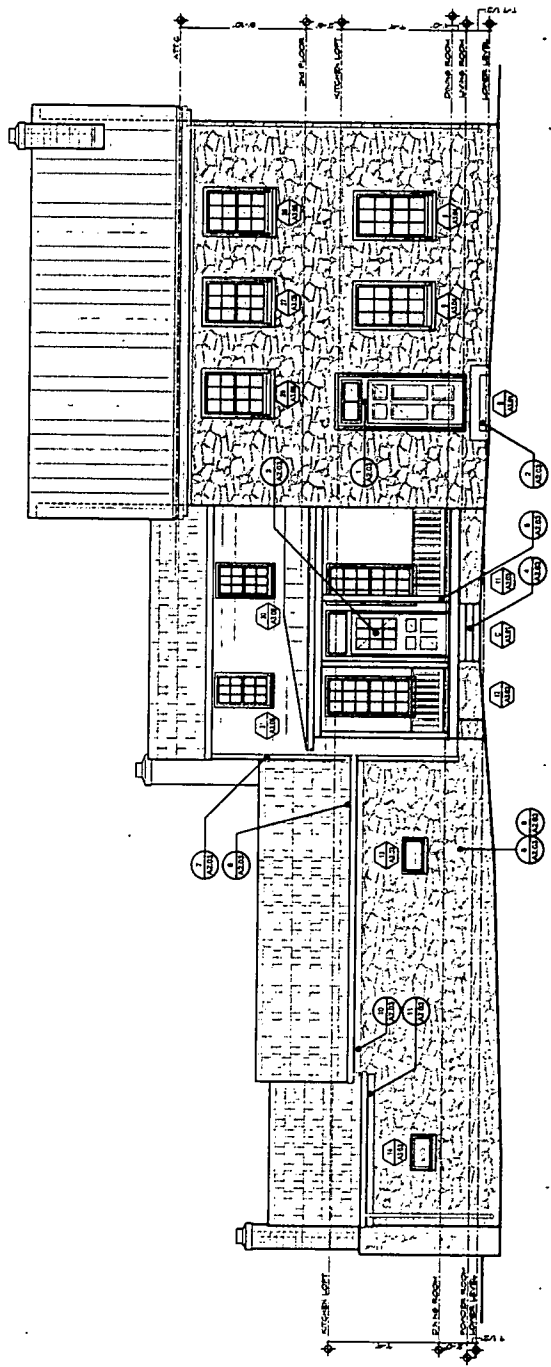
106 ROOF EDGE DETAIL NEAR WINDOW # 11
 - PATON & BEANE LISTING BOARD 1 & 2, AS REFERRED TO IN ARCHITECTURAL SPECIFICATIONS & EXISTING OVERHANG & FINISH BOARDING TO BE RESTORED, FINISHED & PAINTED TO MATCH EXISTING LIGHT FIXTURES & PROVIDE (2) NEW FIXTURES. (1) FOR EACH SIDE OF DOOR, NEW FIXTURES SHALL MATCH THE PROFILE OF THE HOUSE.



107 UPPER LEAVE @ ROOF TRANSITION
 - PATON & BEANE LISTING BOARD 1 & 2, AS REFERRED TO IN ARCHITECTURAL SPECIFICATIONS & EXISTING OVERHANG & FINISH BOARDING TO BE RESTORED, FINISHED & PAINTED TO MATCH EXISTING LIGHT FIXTURES & PROVIDE (2) NEW FIXTURES. (1) FOR EACH SIDE OF DOOR, NEW FIXTURES SHALL MATCH THE PROFILE OF THE HOUSE.



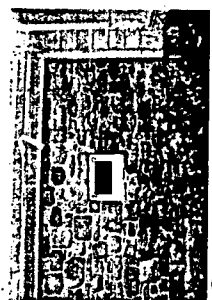
108 LOWER LEAVE @ ROOF TRANSITION
 - PATON & BEANE LISTING BOARD 1 & 2, AS REFERRED TO IN ARCHITECTURAL SPECIFICATIONS & EXISTING OVERHANG & FINISH BOARDING TO BE RESTORED, FINISHED & PAINTED TO MATCH EXISTING LIGHT FIXTURES & PROVIDE (2) NEW FIXTURES. (1) FOR EACH SIDE OF DOOR, NEW FIXTURES SHALL MATCH THE PROFILE OF THE HOUSE.



1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



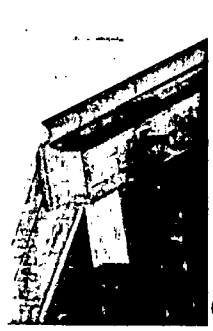
109 STONE DETAIL @ WINDOW # 11
 - NO WORK REQUIRED AT STONE, REPOINT AND JOINTS AS NEEDED - WORK IS TO MATCH TYPE & COLOR OF EXISTING.



110 PARTIAL EXTERIOR ELEVATION @ WINDOW # 13
 - NO WORK REQUIRED AT STONE, REPOINT AND JOINTS AS NEEDED - WORK IS TO MATCH TYPE & COLOR OF EXISTING.



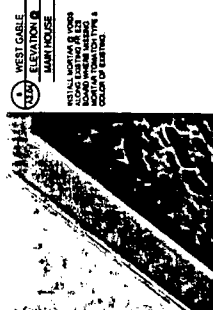
111 STONE DETAIL @ WINDOW # 11
 - NO WORK REQUIRED AT STONE, REPOINT AND JOINTS AS NEEDED - WORK IS TO MATCH TYPE & COLOR OF EXISTING.



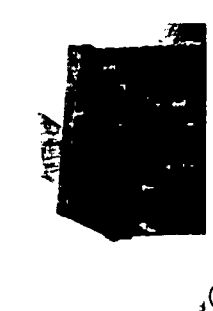
101 EAVE DETAIL @ SOUTHWEST CORNER OF MAIN HOUSE
 * REMOVE EXISTING STONE EAVE DETAIL AND REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING.



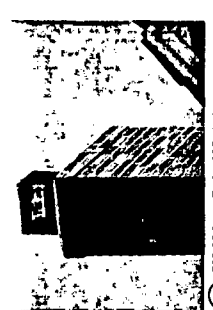
102 PARTIAL ELEVATION @ EAST END OF PORCH
 * REMOVE EXISTING STONE PORCH AND REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING.



103 WEST GABLE ELEVATION @ MAIN HOUSE
 * REMOVE EXISTING STONE GABLE AND REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING.



104 TOP OF CHIMNEY @ WEST END OF FRAMED PORTION
 * REMOVE EXISTING STONE CHIMNEY TO REMAIN. PATCH & REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING.



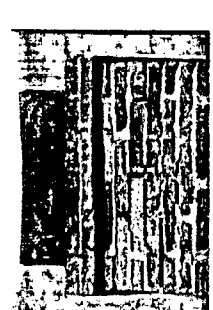
105 TOP OF CHIMNEY @ NORTH END OF KITCHEN
 * REMOVE EXISTING STONE CHIMNEY TO REMAIN. PATCH & REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING.



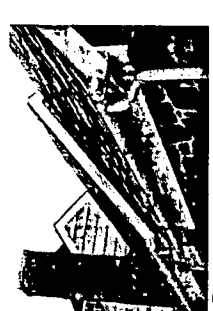
106 EXISTING PORCH SUPPORT
 * NO WORK REQUIRED - STONE SUPPORT AND JOINTS AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING.



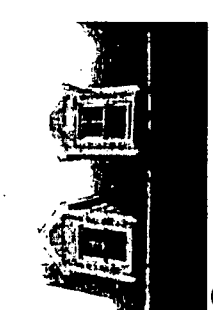
107 STONE DETAIL @ WEST END CHIMNEY
 * NO WORK REQUIRED - STONE SUPPORT AND JOINTS AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING.



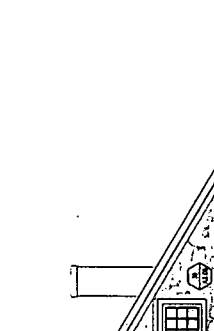
108 TOP OF CHIMNEY @ WEST END OF WEST WING
 * REMOVE EXISTING STONE CHIMNEY TO REMAIN. PATCH & REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING.



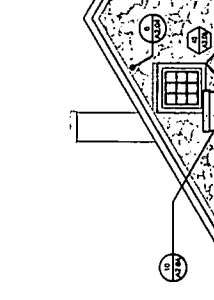
109 PARTIAL ELEVATION @ WEST WING ROOF TRANSITION
 * REMOVE EXISTING CEDAR WOOD SHINGLE ROOF. REPAIR, REPLACE ANY EXISTING STONE WORK IN PLACE. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING.



110 PARTIAL ELEVATION @ KITCHEN LOFT DORMERS
 * REMOVE, PRIME & PAINT EXISTING WOOD SHINGLES & 1" x 4" BRACKETS. REMOVE EXISTING CEDAR WOOD SHINGLES & BRACKETS. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING.



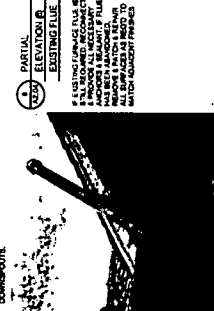
111 STONE DETAIL @ NORTHWEST CORNER OF KITCHEN
 * REMOVE EXISTING STONE SUPPORT AND JOINTS AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING.



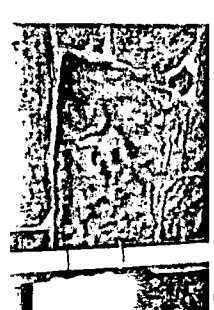
112 STONE DETAIL @ DOOR T
 * NO WORK REQUIRED - STONE SUPPORT AND JOINTS AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING.



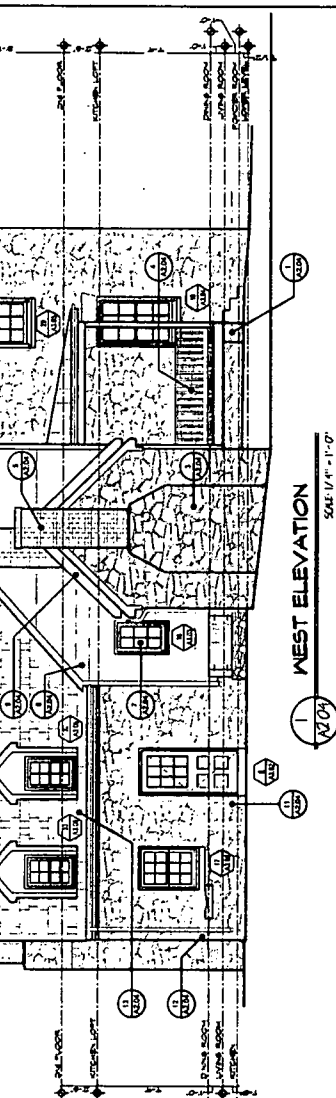
113 PARTIAL ELEVATION @ WINDOW
 * REMOVE EXISTING STONE WINDOW AND REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING.



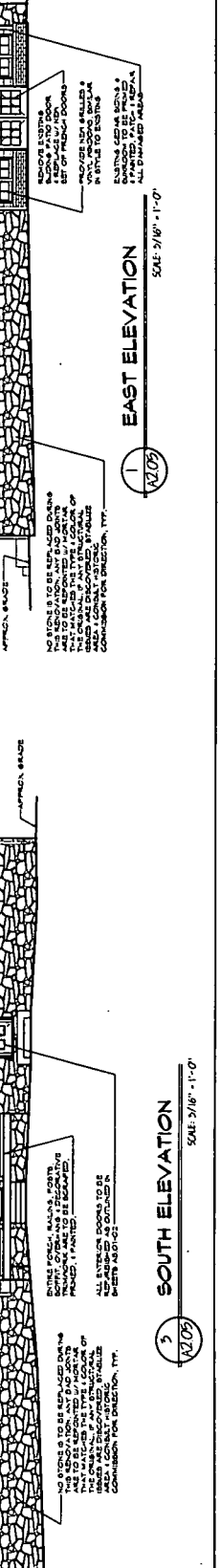
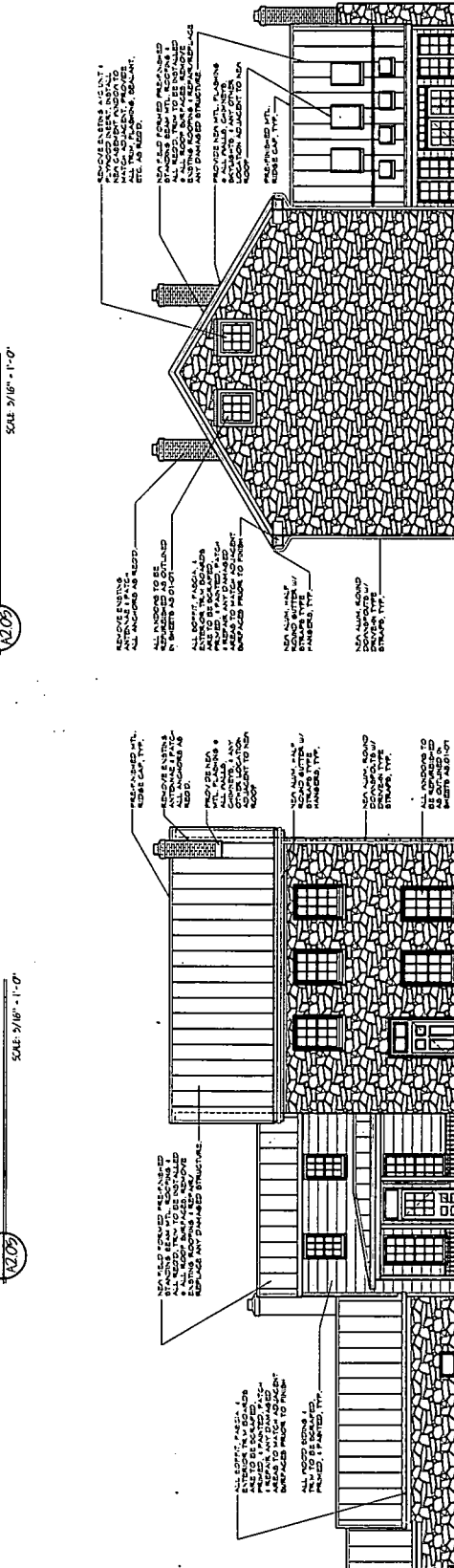
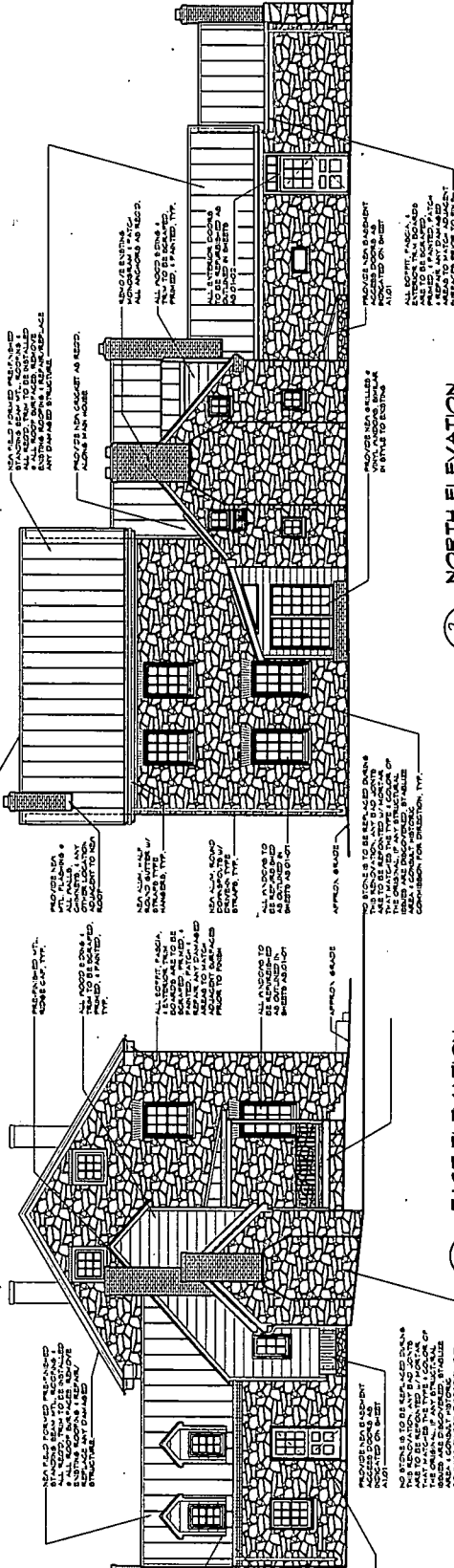
114 PARTIAL ELEVATION @ WINDOW
 * REMOVE EXISTING STONE WINDOW AND REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING.



115 STONE DETAIL @ DOOR T
 * NO WORK REQUIRED - STONE SUPPORT AND JOINTS AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING. REPAIR AS NECESSARY TO MATCH TYPE & COLOR OF EXISTING.



WEST ELEVATION
 SCALE: 1/4" = 1'-0"



HISTORIC PRESERVATION FOR:
MOUNT CARMEL
 DICKERSON, MD 20842
 BGM ARCHITECTS P.C.
 500 GOLF LINKS DRIVE
 ROBERTSON, MARYLAND 21122
 410-571-7112
 104-571-7112

EXISTING WINDOW ANALYSIS
 BGM ARCHITECTS P.C.
 500 GOLF LINKS DRIVE
 ROBERTSON, MARYLAND 21122
 410-571-7112
 104-571-7112

HISTORIC PRESERVATION FOR:
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 DICKERSON, MD 20842

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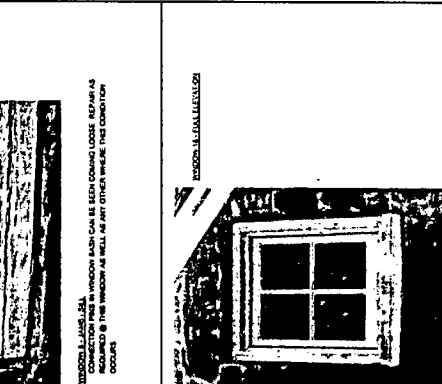
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 DICKERSON, MD 20842

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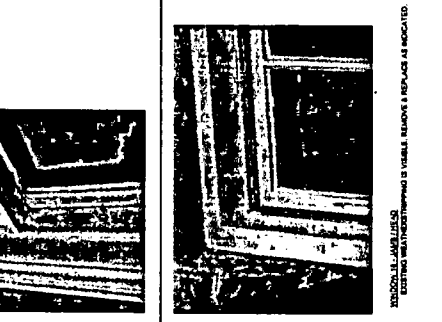
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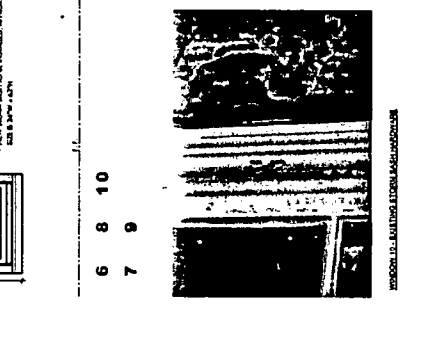
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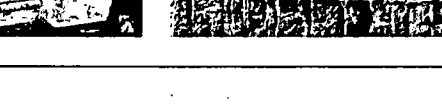
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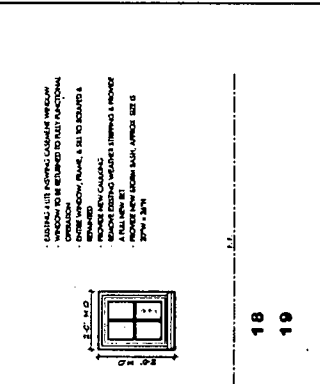
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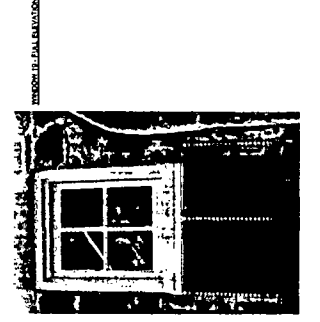
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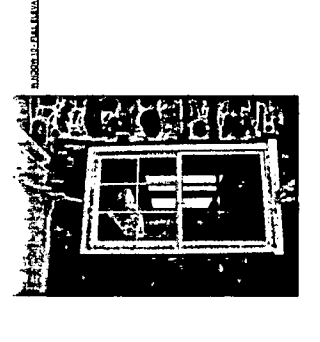
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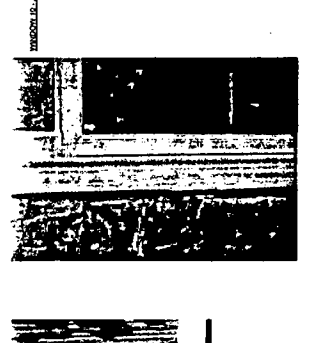
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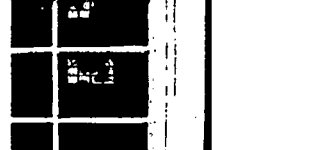
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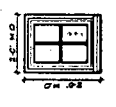


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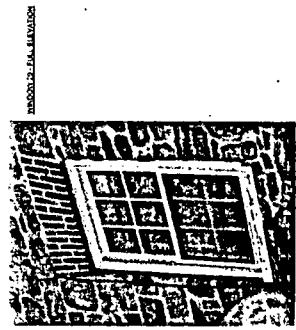
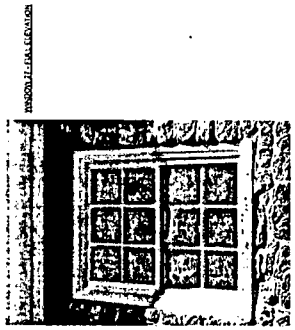
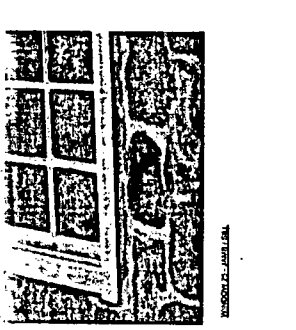
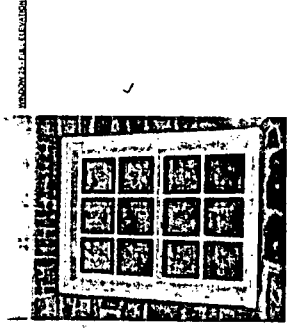
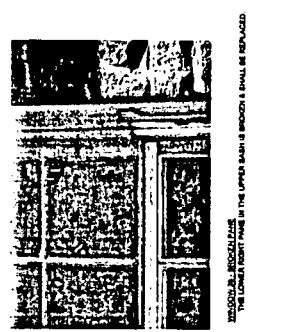
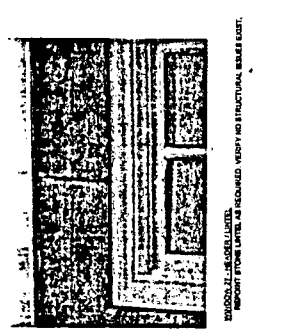
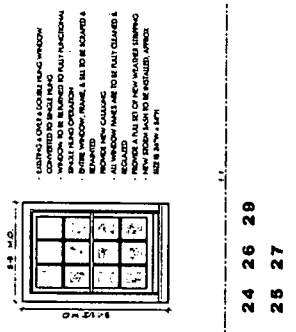
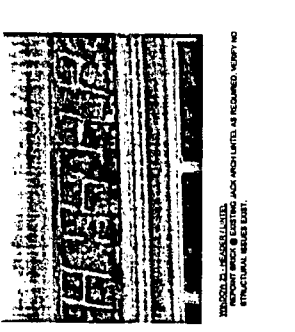
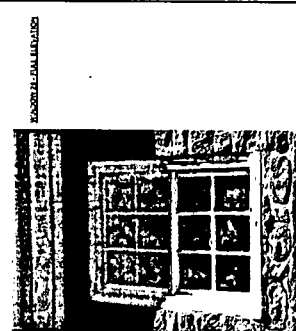
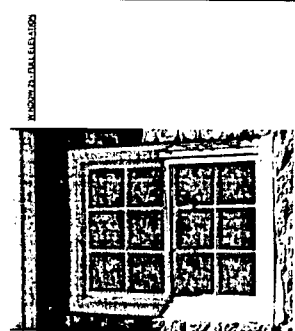
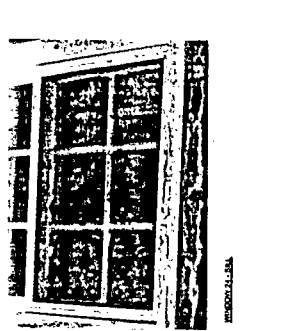
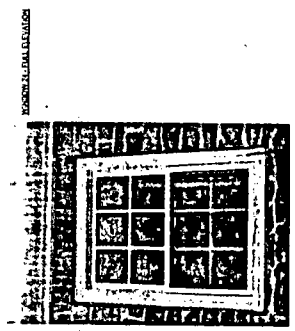
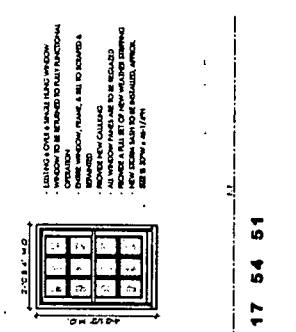
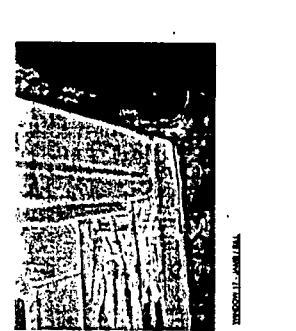
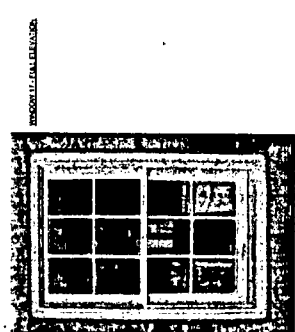
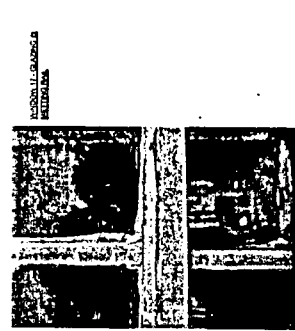
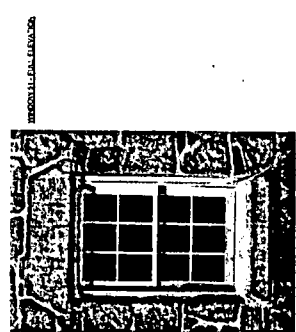
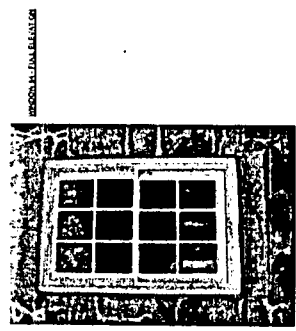
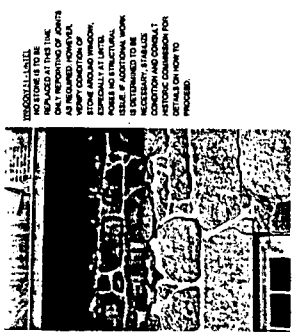
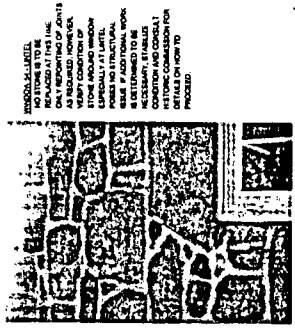


- VERIFY ALL WORK IS ACCORDING TO THE SPECIFICATIONS AND CONTRACT DOCUMENTS.
- VERIFY ALL MATERIALS ARE APPROVED BY THE ARCHITECT AND MEET THE REQUIREMENTS OF THE SPECIFICATIONS AND CONTRACT DOCUMENTS.
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18
 19

24



UNDESIRABLE
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 AS REQUIRED. WORKERS
 MUST BE ADVISED OF
 THE LOCATION OF
 THE WINDOW, ESPECIALLY AT LAPTEL,
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 WORK IS DETERMINED TO BE
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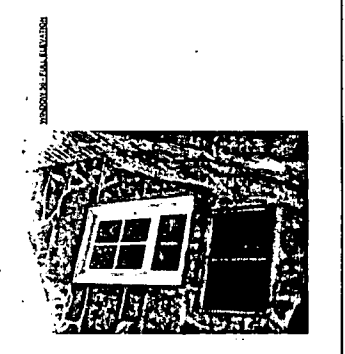
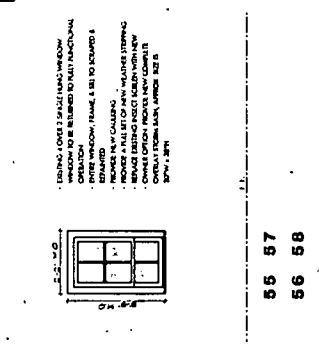
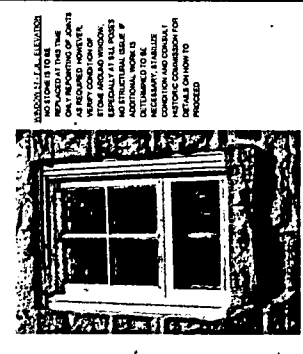
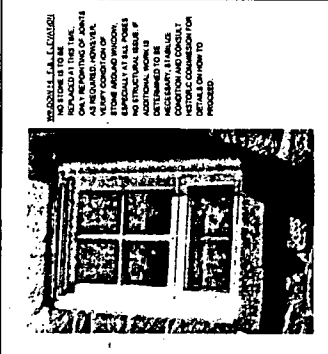
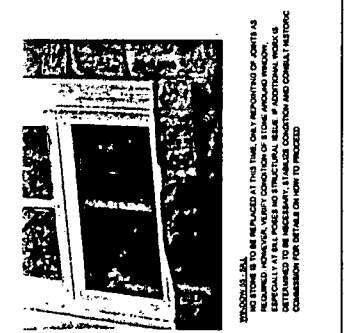
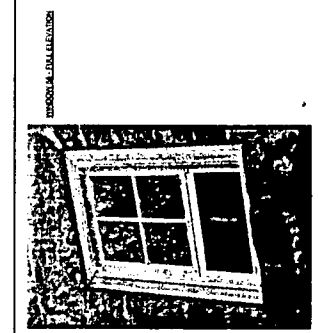
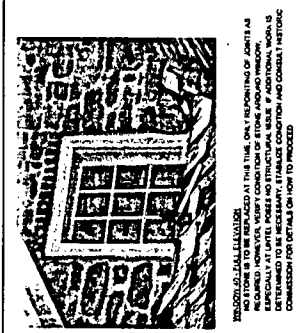
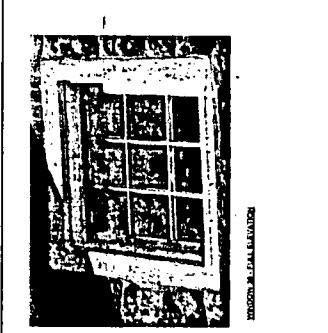
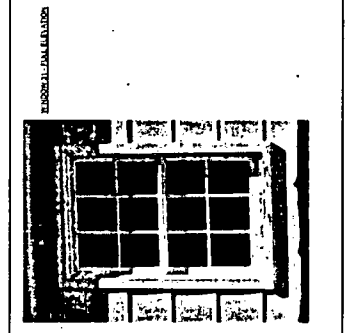
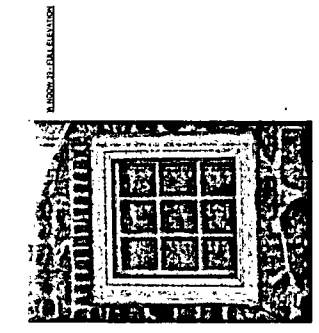
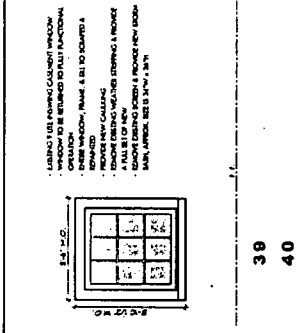
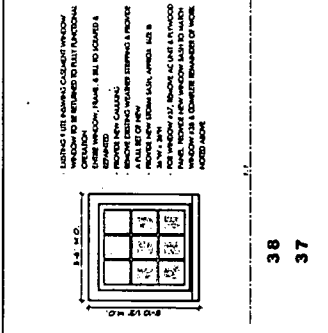
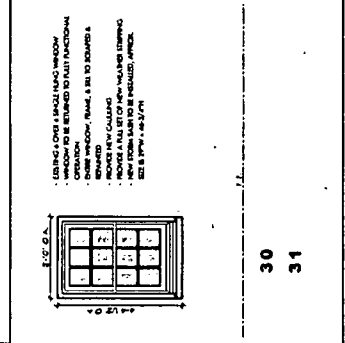
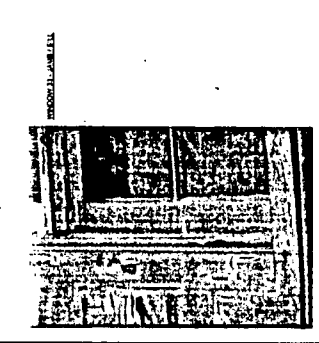
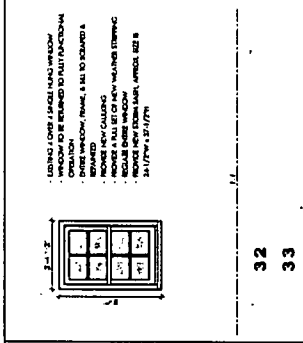
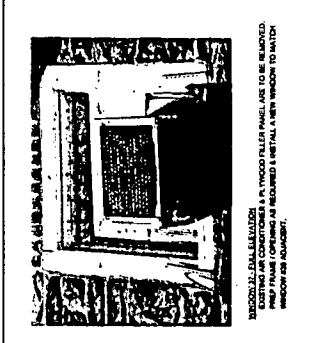
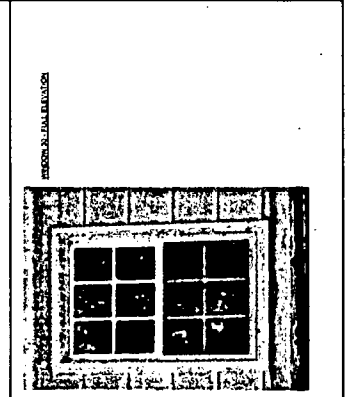
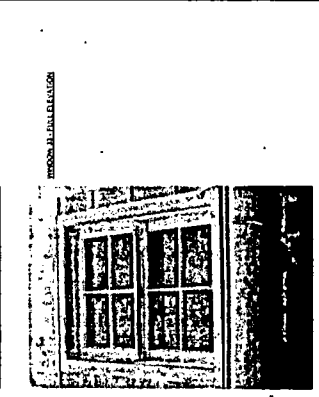
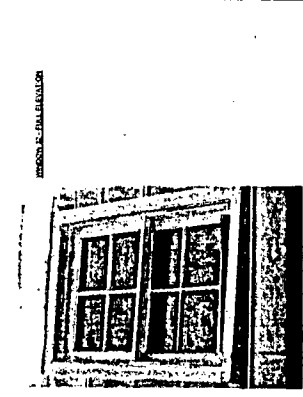
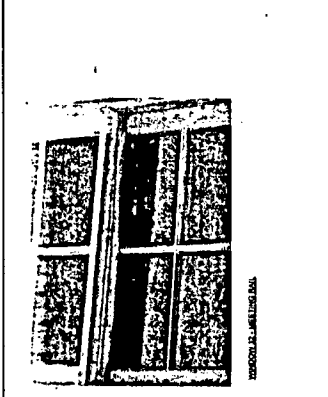
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EXISTING LINTEL FINISHING CALLING WINDOW TO BE REPLACED TO MATCH ORIGINAL WINDOW. FRAME & SILL TO REMAIN. REMOVE EXISTING WINDOW STOPPING & PROVIDE NEW CALLING. PROVIDE NEW STOPPING & SILL TO MATCH ORIGINAL WINDOW. WINDOW SIZES 36" W x 48" H.

38 **37**

EXISTING LINTEL FINISHING CALLING WINDOW TO BE REPLACED TO MATCH ORIGINAL WINDOW. FRAME & SILL TO REMAIN. REMOVE EXISTING WINDOW STOPPING & PROVIDE NEW CALLING. PROVIDE NEW STOPPING & SILL TO MATCH ORIGINAL WINDOW. WINDOW SIZES 36" W x 48" H.

39 **40**

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41 **42**

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43 **44**

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45 **46**

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47 **48**

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49 **50**

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51 **52**

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53 **54**

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55 **56**

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57 **58**

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59 **60**

BY APPROVAL OF THE ARCHITECT AND ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING THE NECESSARY CONSENTS OF THE ADJACENT PROPERTY OWNERS.

**HISTORIC PRESERVATION FOR:
 MOUNT CARMEL**
 DICKERSON, MD 20842
 BGM ARCHITECTS P.C.
 1111 O. ST. N.W. - WASHINGTON, D.C. 20004
 PHONE: 202.775.1111 FAX: 202.775.1112
 WWW.BGMARCHITECTS.COM

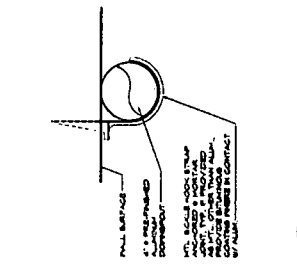
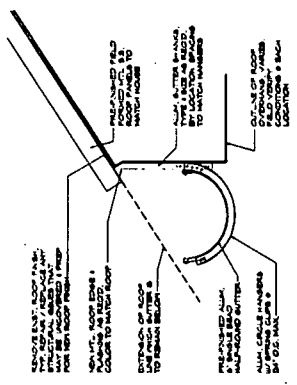
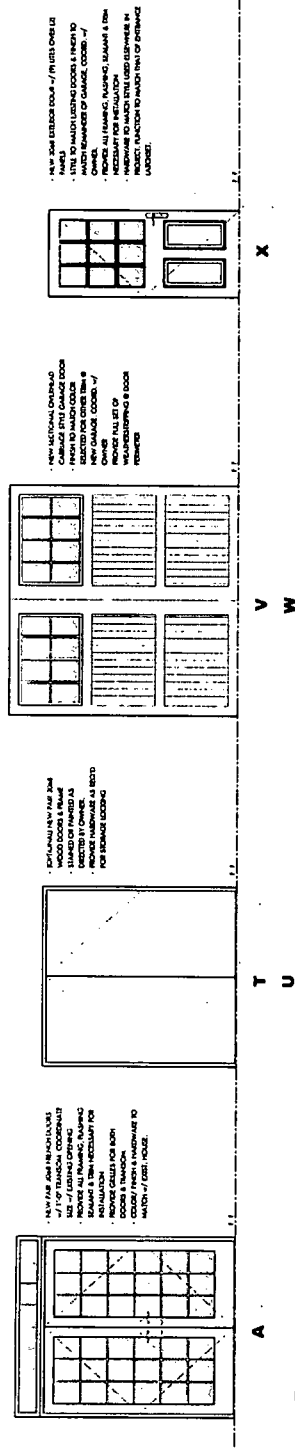
EXIST. WINDOW ANALYSIS & NEW SCHEDULES

PROJECT NORTH

A3.07
 SHEET
 NUMBERS

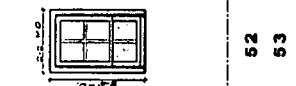
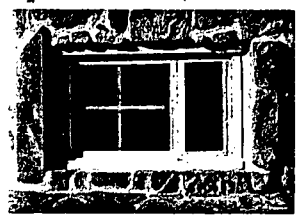
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 SCALE: AS SHOWN
 DRAWN BY: J. J. JAMES
 CHECKED BY: J. J. JAMES
 2010-20

CONSTRUCTION DOCUMENTS
 COPYRIGHT 2010 BGM ARCHITECTS P.C.



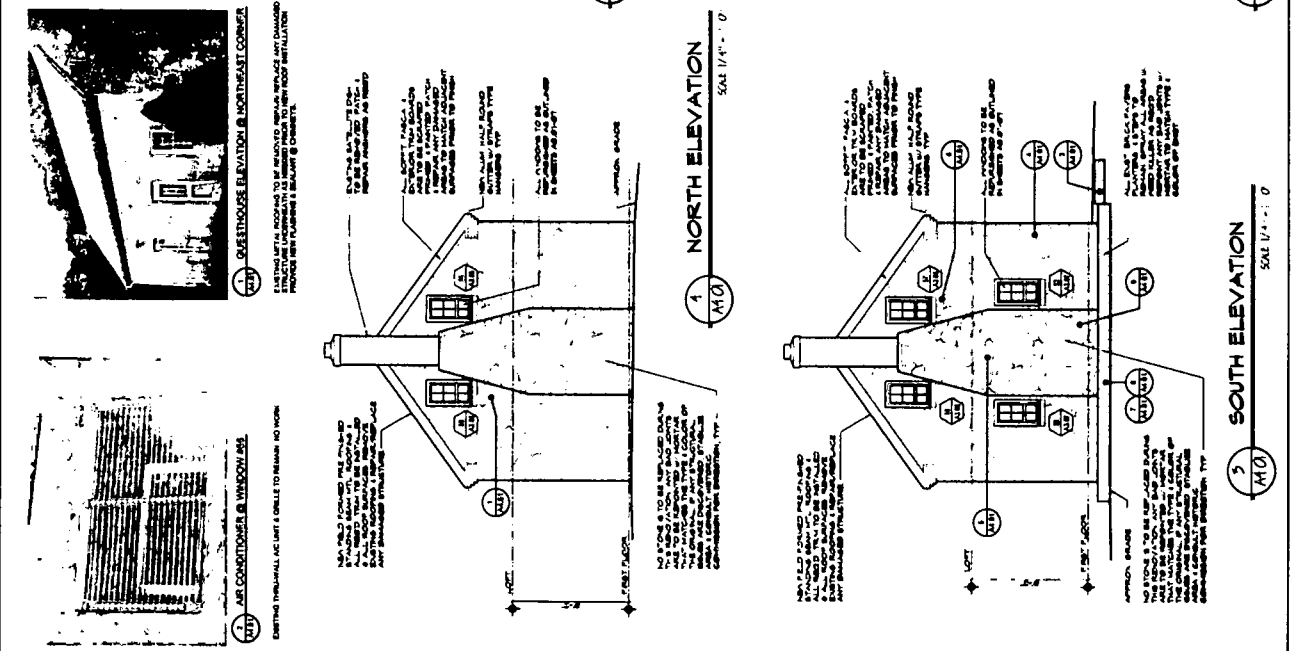
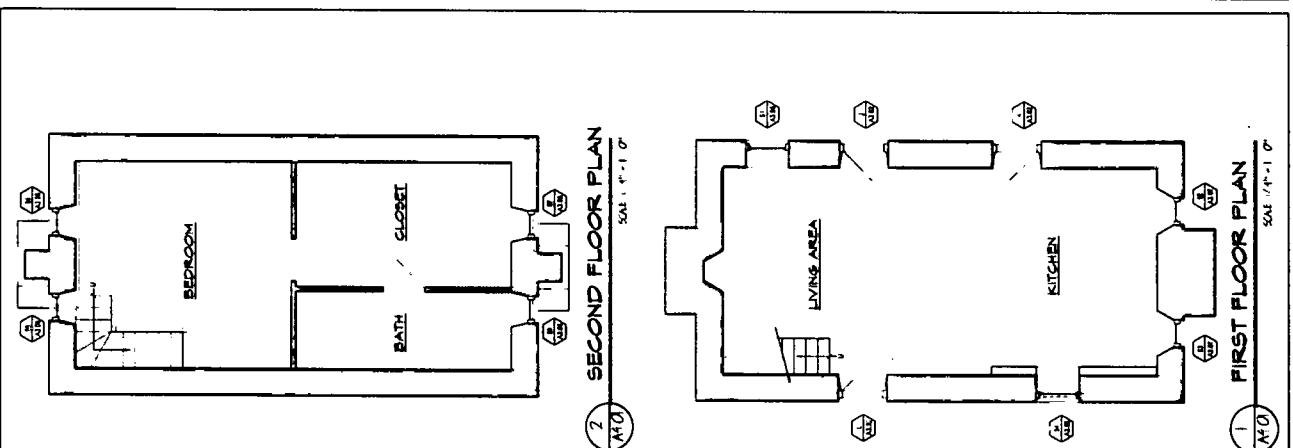
3 NEW WINDOW ELEVATIONS
 SCALE: 1/8" = 1'-0"

4 NEW WINDOW ELEVATIONS
 SCALE: 1/8" = 1'-0"



52
53

62



1 **AIR CONDITIONER & WINDOW AW**
 EXISTING THROUGH AIR UNIT & WINDOW TO REMAIN. NO WORK.

2 **OUTHOUSE ELEVATION @ NORTHEAST CORNER**
 EXISTING MATERIALS TO BE REPAIRED. REPAIRS TO BE MADE IN PLACE AND DAMAGED STRUCTURE UNDERLAINING TO BE REPAIRED TO SUPPORT EXISTING ROOF. REPAIRS TO BE MADE IN PLACE AND DAMAGED STRUCTURE UNDERLAINING TO BE REPAIRED TO SUPPORT EXISTING ROOF.

3 **STONE & BRICK**
 NO WORK REQUIRED. STONE REPORT AND CORNER AS NEEDED - NORTH TO MATCH TYPE & COLOR OF EXISTING.

4 **STONE @ SOUTH ELEVATION @ GUESTHOUSE**
 NO WORK REQUIRED. STONE REPORT AND CORNER AS NEEDED - NORTH TO MATCH TYPE & COLOR OF EXISTING.

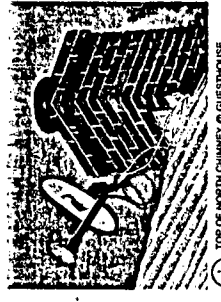
5 **STONE @ SOUTH CORNER OF GUESTHOUSE**
 NO WORK REQUIRED. STONE REPORT AND CORNER AS NEEDED - NORTH TO MATCH TYPE & COLOR OF EXISTING.

6 **EXISTING BRICK STAIR**
 EXISTING BRICK WALL & STAIR TO REMAIN. CLEAN UP & SPRAY - NEED YELLOW.

7 **STONE @ SOUTH CHIMNEY OF GUESTHOUSE**
 NO WORK REQUIRED. STONE REPORT AND CORNER AS NEEDED - NORTH TO MATCH TYPE & COLOR OF EXISTING.

8 **BRICK PLANTER @ SOUTH FACADE**
 EXISTING BRICK WALL & PLANTER TO REMAIN. CLEAN UP & SPRAY - NEED YELLOW. REPORT AND CORNER AS NEEDED - NORTH TO MATCH TYPE & COLOR OF EXISTING.

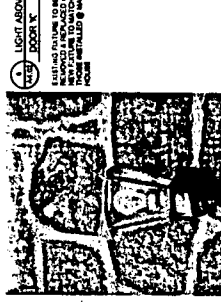
9 **BRICK DETAIL @ PLANTER**
 EXISTING BRICK WALL & PLANTER TO REMAIN. CLEAN UP & SPRAY - NEED YELLOW. REPORT AND CORNER AS NEEDED - NORTH TO MATCH TYPE & COLOR OF EXISTING.



TOP OF NORTH CHIMNEY & GUESTHOUSE
 EXISTING BRICK CHIMNEY TO BE REPAIRED. PATCH AS REPAIRS AS REQUIRED. REMOVE OLD ANTENNA & PATCH INHOMOGENEOUS AS NEEDED.



ELEVATION & GUESTHOUSE SOUTHWEST CORNER
 EXISTING METAL ROOFING TO BE REMOVED. PATCH AS REPAIRS AS REQUIRED. REMOVE OLD ANTENNA & PATCH INHOMOGENEOUS AS NEEDED. REMOVE OLD ANTENNA & PATCH INHOMOGENEOUS AS NEEDED.



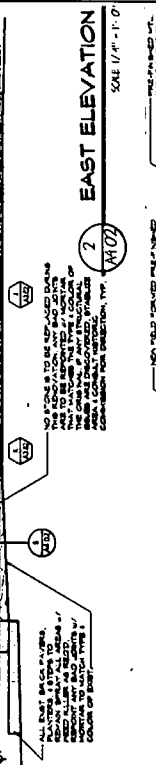
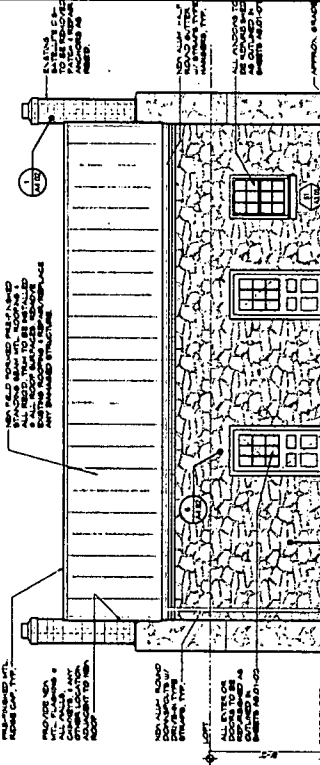
LIGHT ABOVE DOOR
 EXISTING LIGHT FIXTURE TO BE REMOVED. NEW LIGHT FIXTURE TO BE INSTALLED AS NOTED.



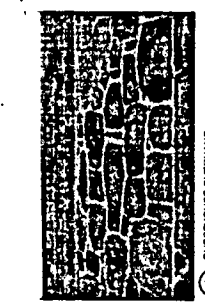
TOP OF SOUTH CHIMNEY & GUESTHOUSE
 EXISTING BRICK CHIMNEY TO BE REPAIRED. PATCH AS REPAIRS AS REQUIRED. REMOVE OLD ANTENNA & PATCH INHOMOGENEOUS AS NEEDED.



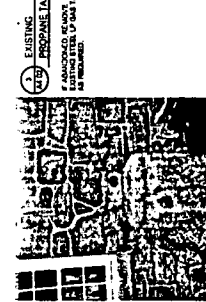
ELEVATION & GUESTHOUSE NORTHWEST CORNER
 EXISTING METAL ROOFING TO BE REMOVED. PATCH AS REPAIRS AS REQUIRED. REMOVE OLD ANTENNA & PATCH INHOMOGENEOUS AS NEEDED. REMOVE OLD ANTENNA & PATCH INHOMOGENEOUS AS NEEDED.



STONE DETAIL
 NO WORK REQUIRED - STONE REPORTING AND JOINTS AS NEEDED - MATCH TYPE & COLOR OF EXISTING.



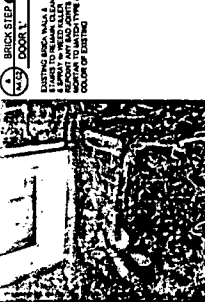
GUESTHOUSE OVERHANG
 EXISTING BRICK OVERHANG TO BE REPAIRED. PATCH AS REPAIRS AS REQUIRED. REMOVE OLD ANTENNA & PATCH INHOMOGENEOUS AS NEEDED.



EXISTING BRICK
 EXISTING BRICK TO BE REPAIRED. PATCH AS REPAIRS AS REQUIRED. REMOVE OLD ANTENNA & PATCH INHOMOGENEOUS AS NEEDED.



LIGHT ABOVE DOOR
 EXISTING LIGHT FIXTURE TO BE REMOVED. NEW LIGHT FIXTURE TO BE INSTALLED AS NOTED.



BRICK STEP & DOOR
 EXISTING BRICK STEP TO BE REPAIRED. PATCH AS REPAIRS AS REQUIRED. REMOVE OLD ANTENNA & PATCH INHOMOGENEOUS AS NEEDED.



STONE DETAIL @ GRADE
 ALL Voids @ BASE OF STONE WALL NEAR GRADE - CONCRETE AS REQUIRED.



STONE DETAIL @ GRADE
 ALL Voids @ BASE OF STONE WALL NEAR GRADE - CONCRETE AS REQUIRED.



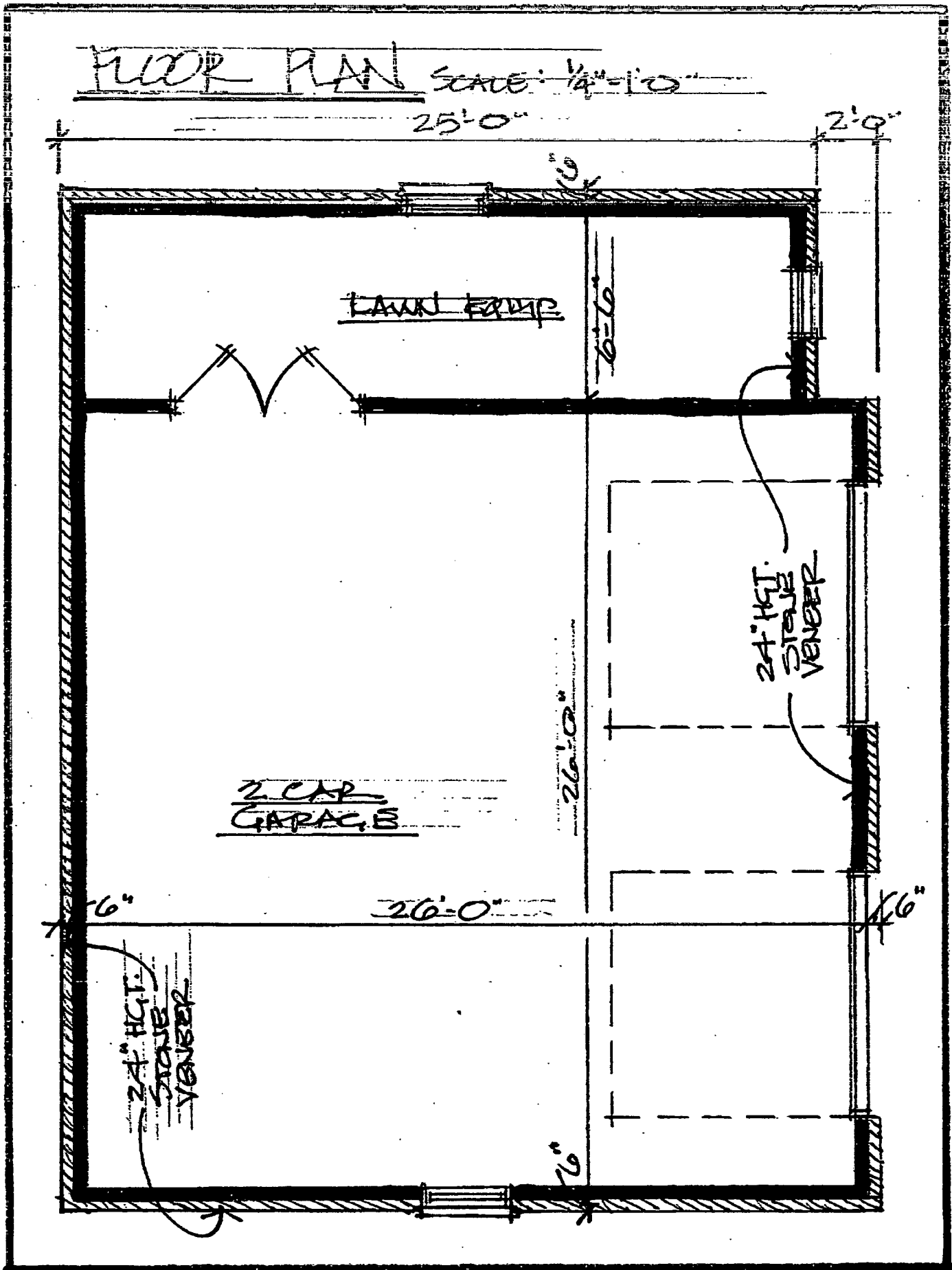
DETAIL @ NORTH CHIMNEY & GUESTHOUSE
 EXISTING BRICK CHIMNEY TO BE REPAIRED. PATCH AS REPAIRS AS REQUIRED. REMOVE OLD ANTENNA & PATCH INHOMOGENEOUS AS NEEDED.



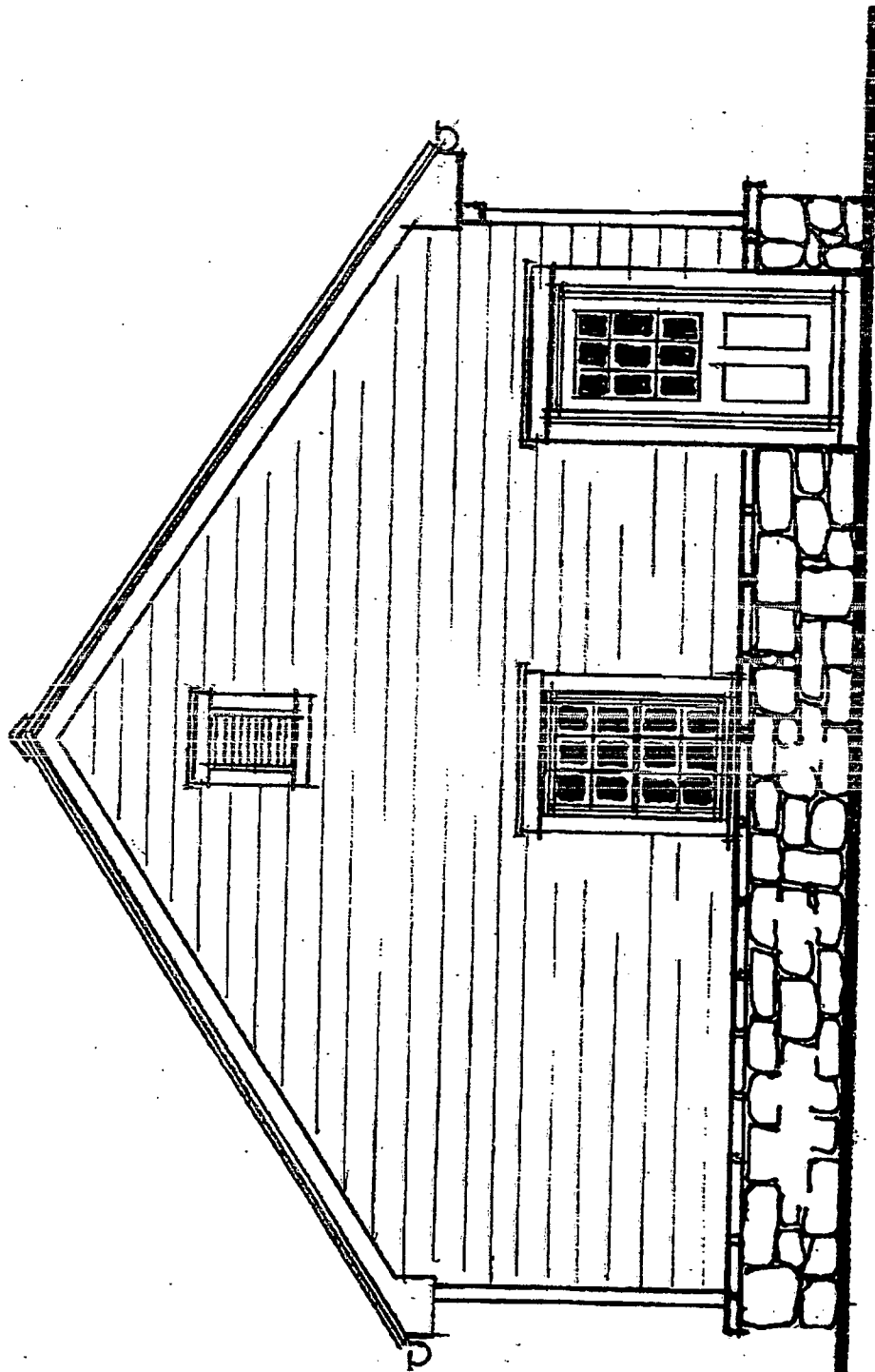
STONE DETAIL @ GRADE
 ALL Voids @ BASE OF STONE WALL NEAR GRADE - CONCRETE AS REQUIRED.

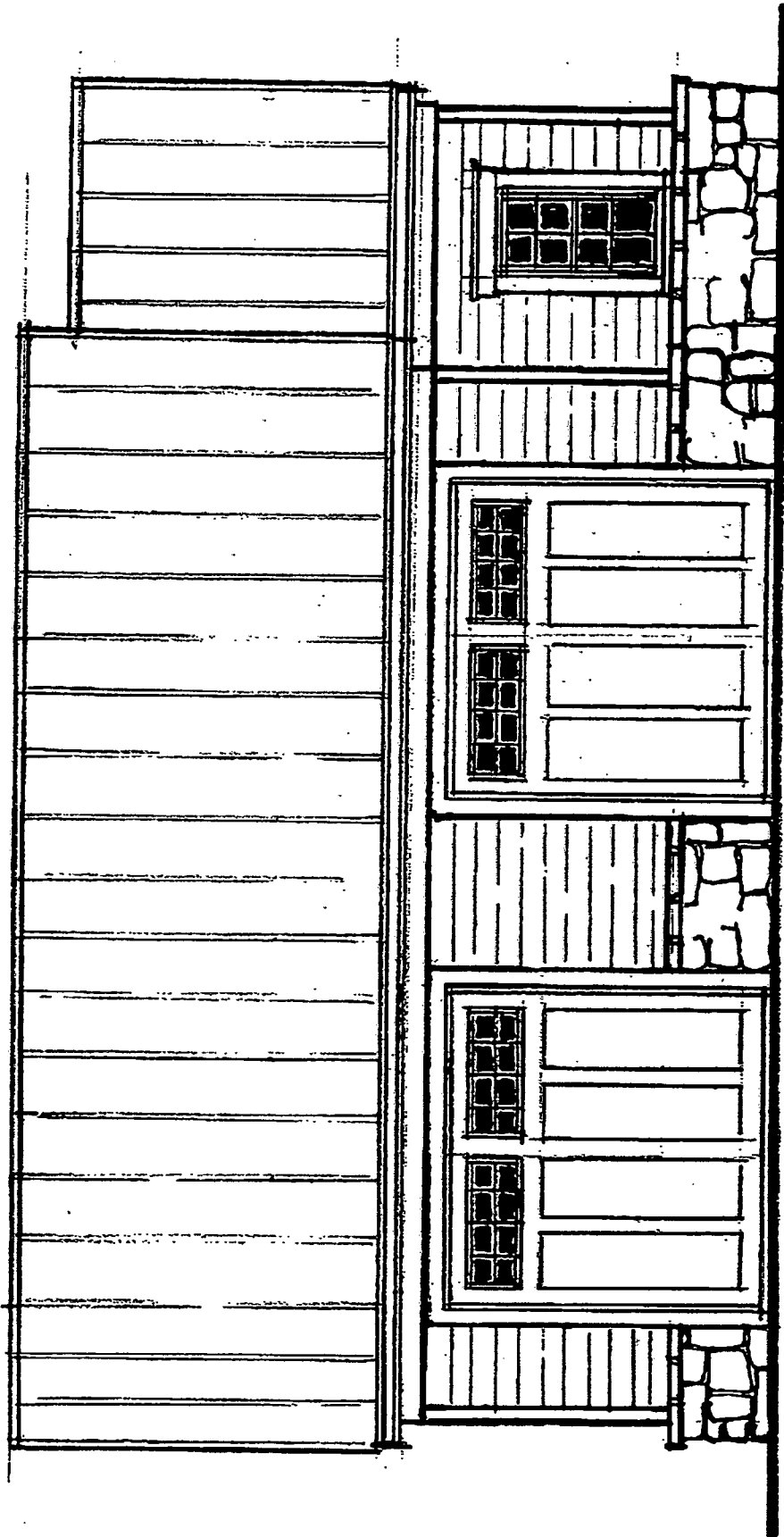
Proposed Garage

FLOOR PLAN SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
DATE: 1/4/10



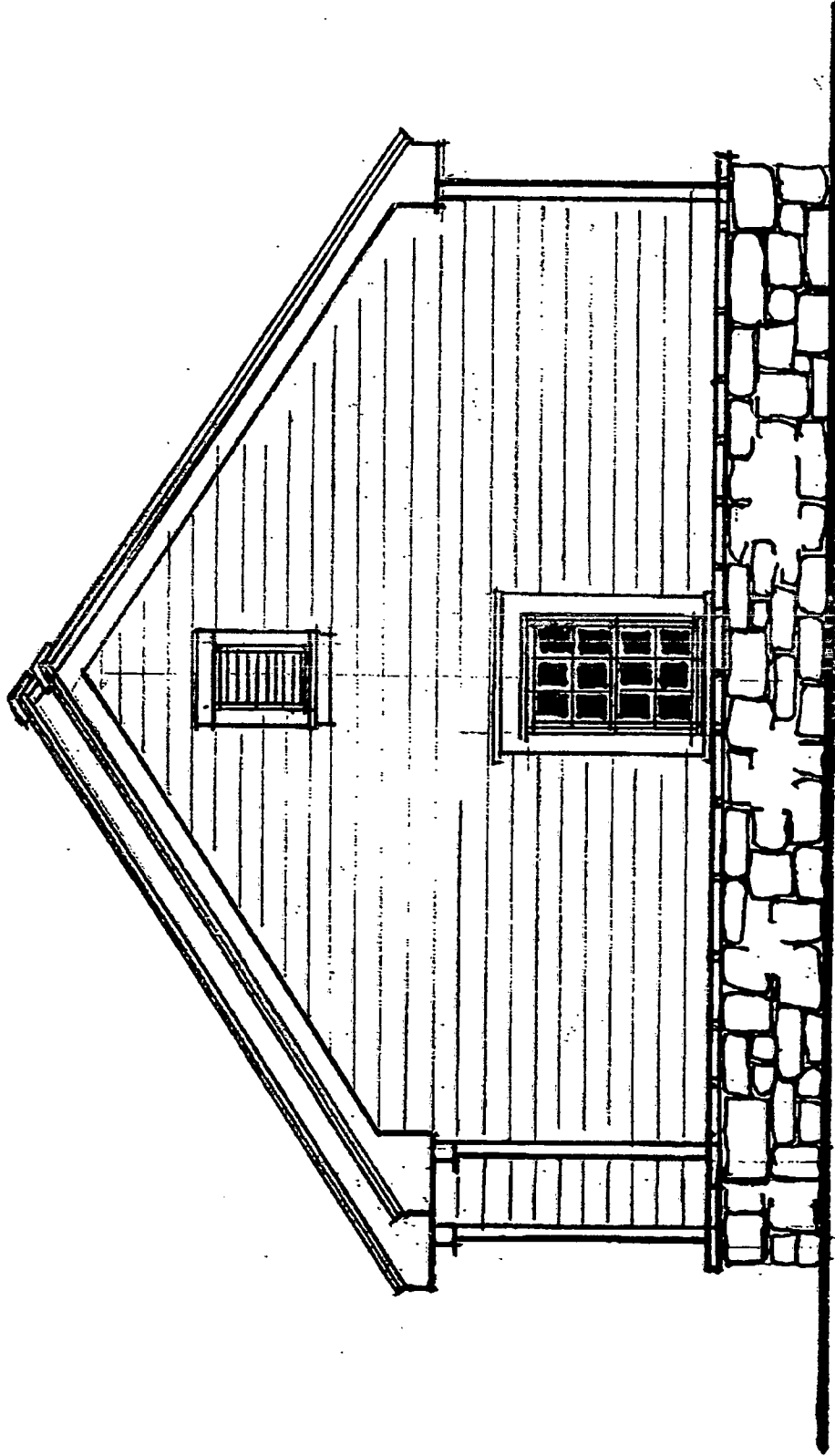


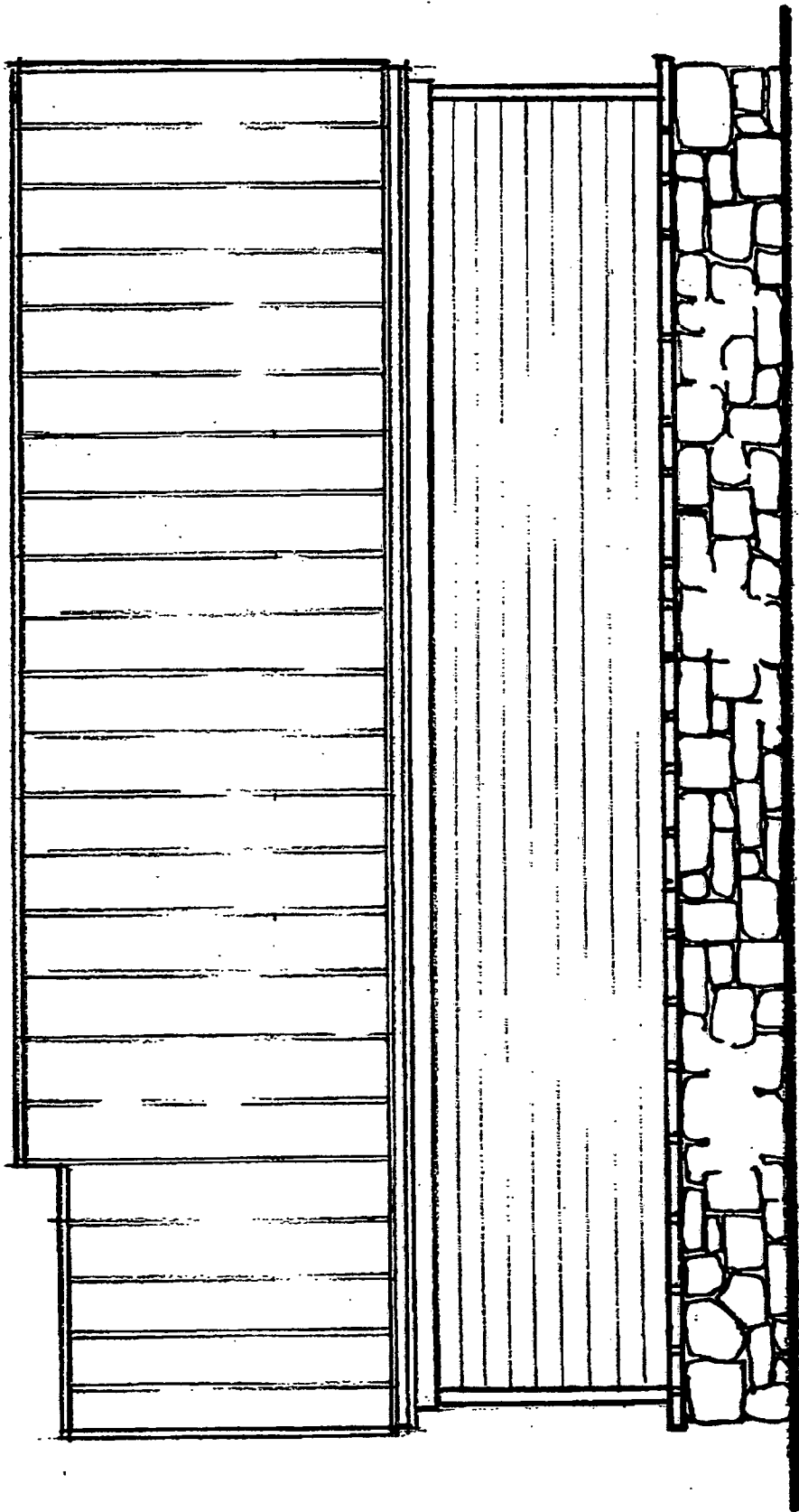
EAST ELEVATION
SCALE: 1/4" = 1'-0"

32

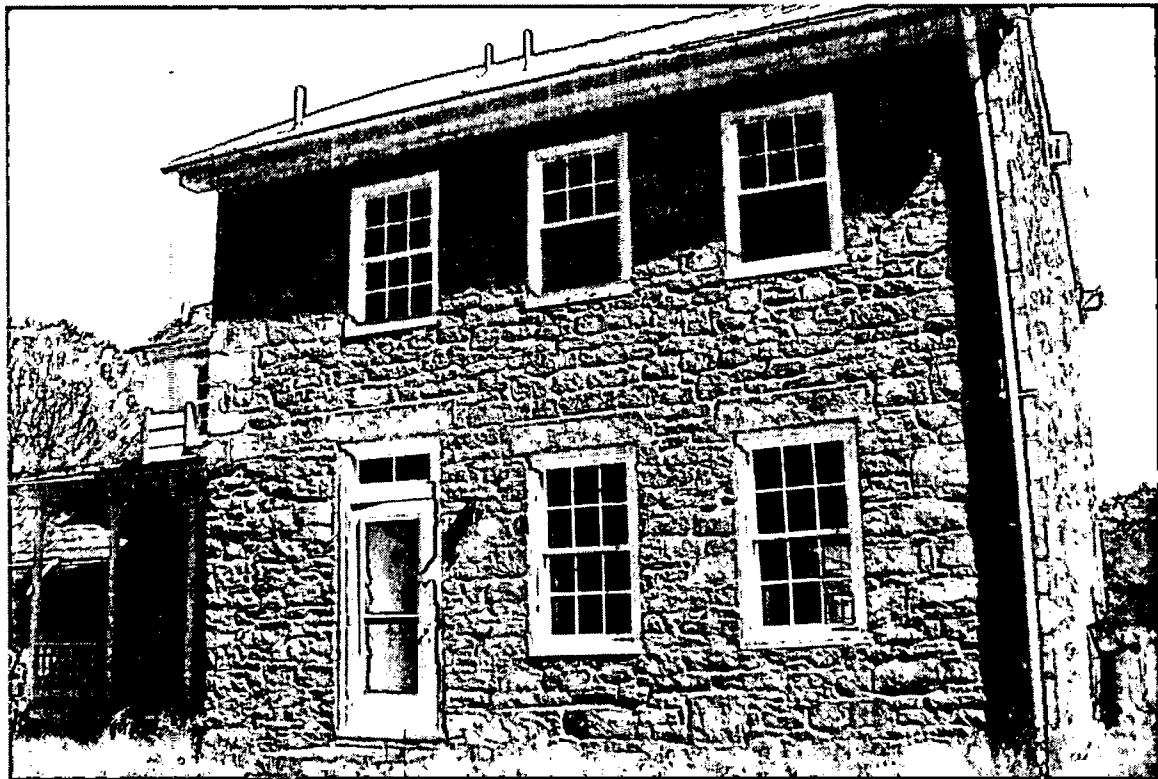
NORTH ELEVATION

SCALE: 1/4" = 1'-0"





WEST ELEVATION
 SCALE: 1/4" = 1'-0"







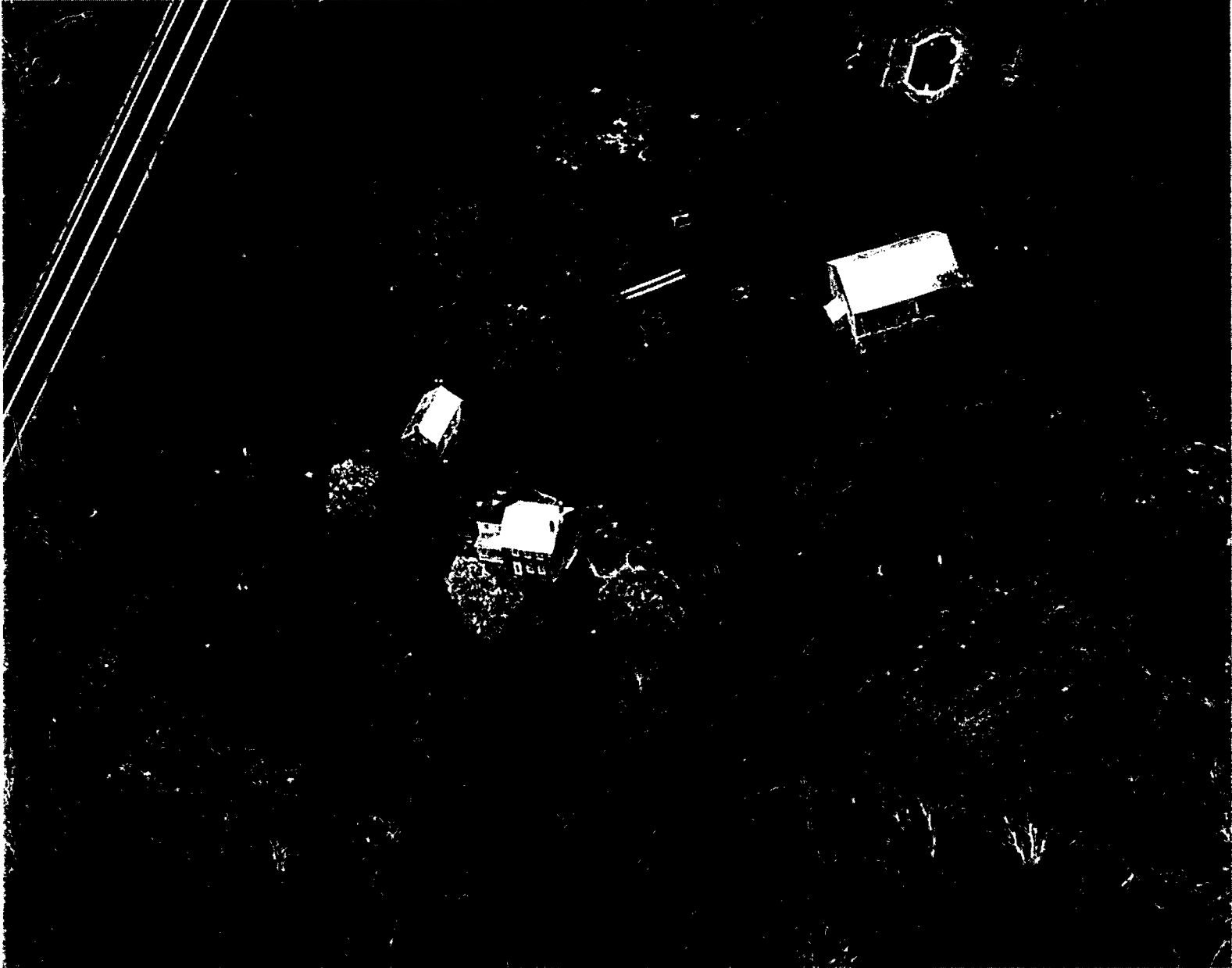




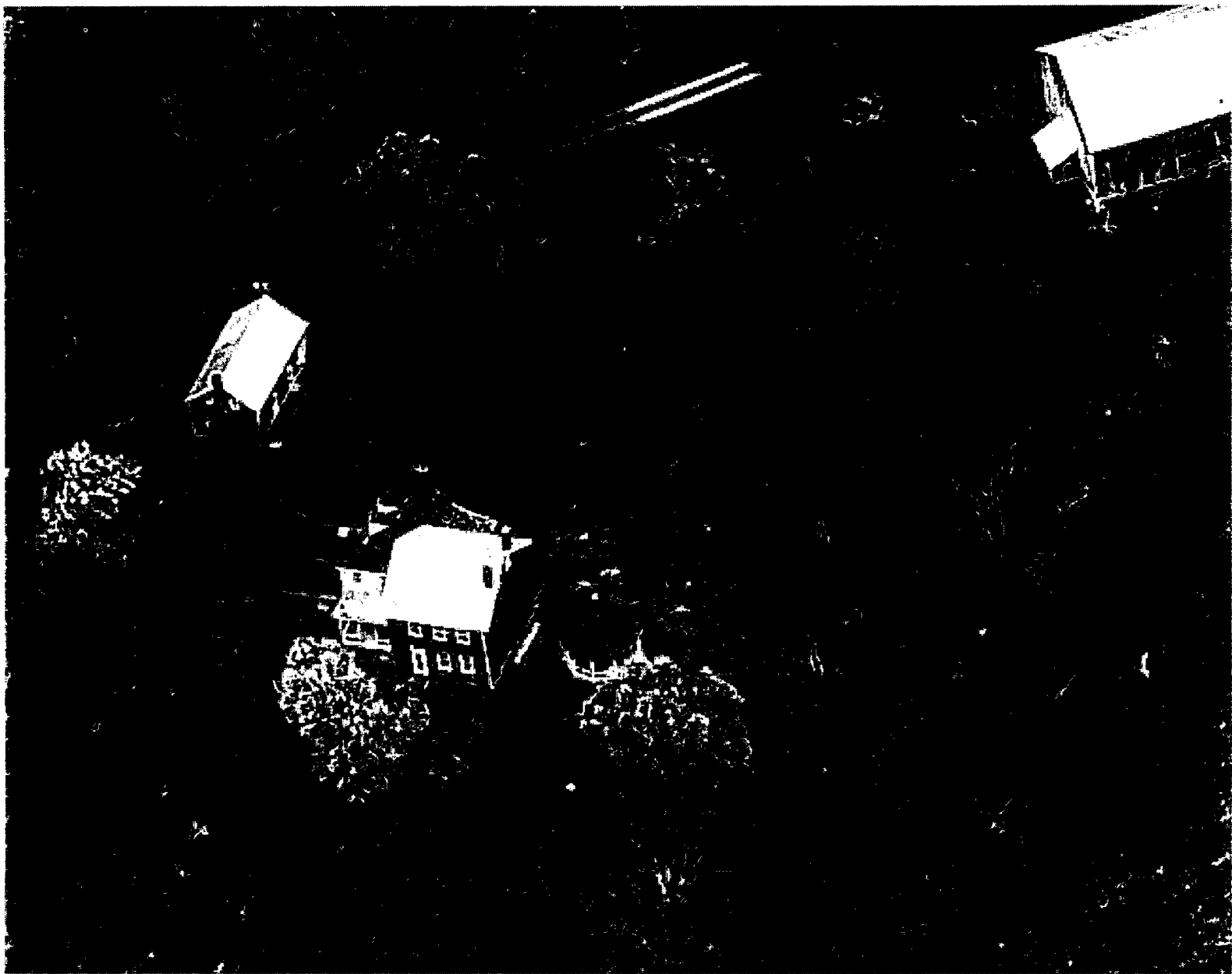
July 2010



2008

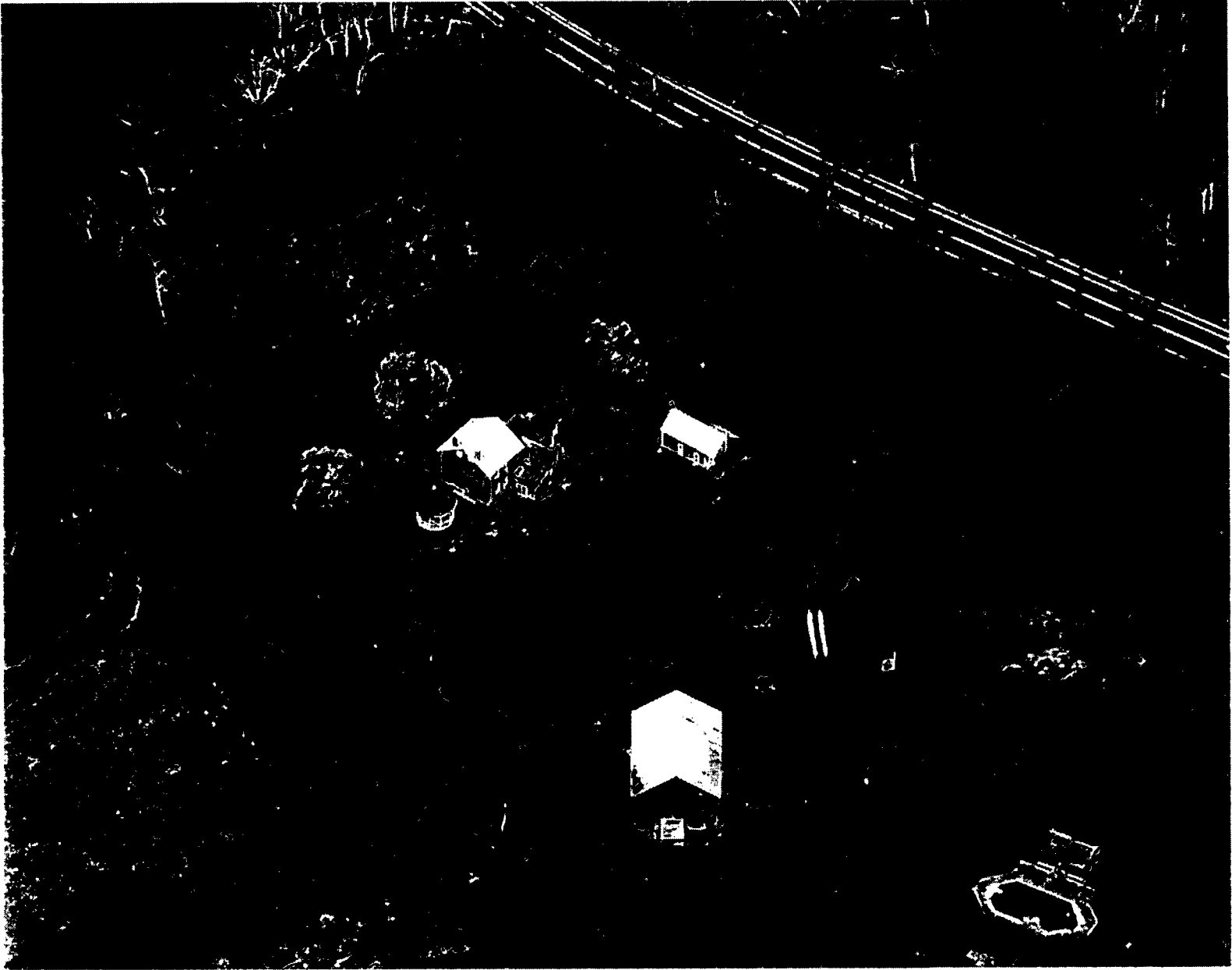


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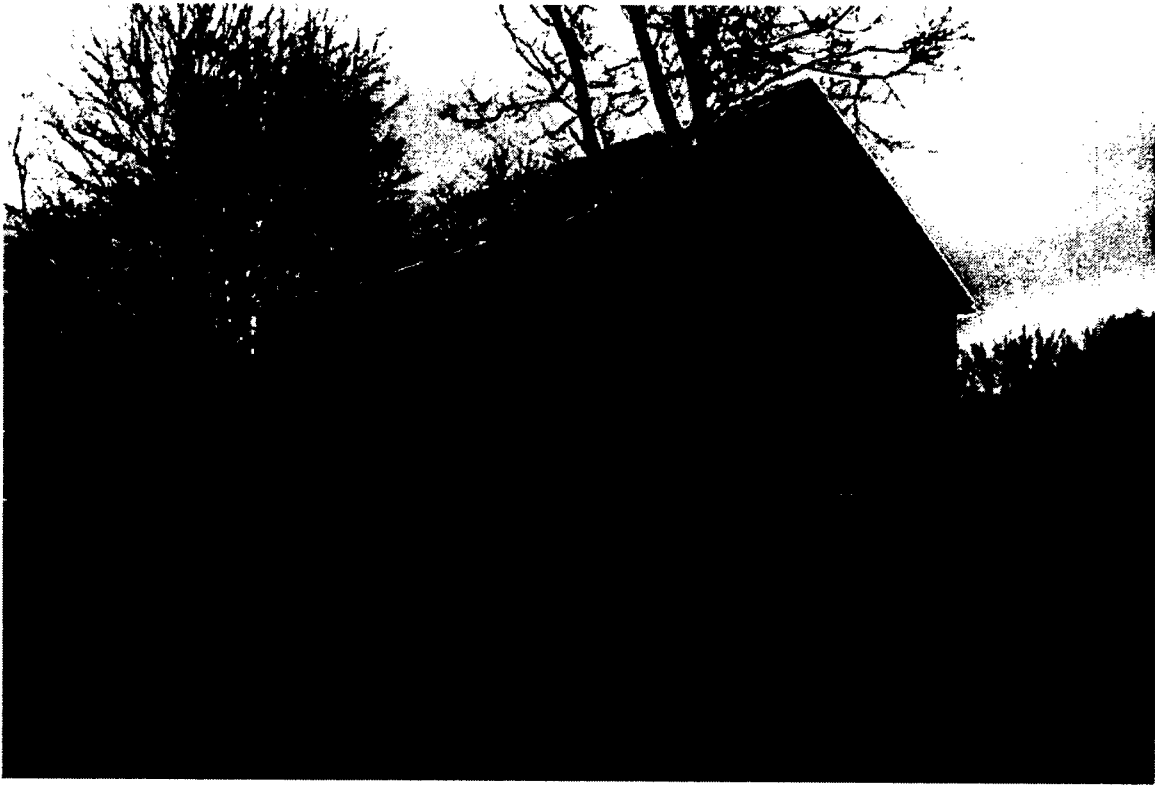
42

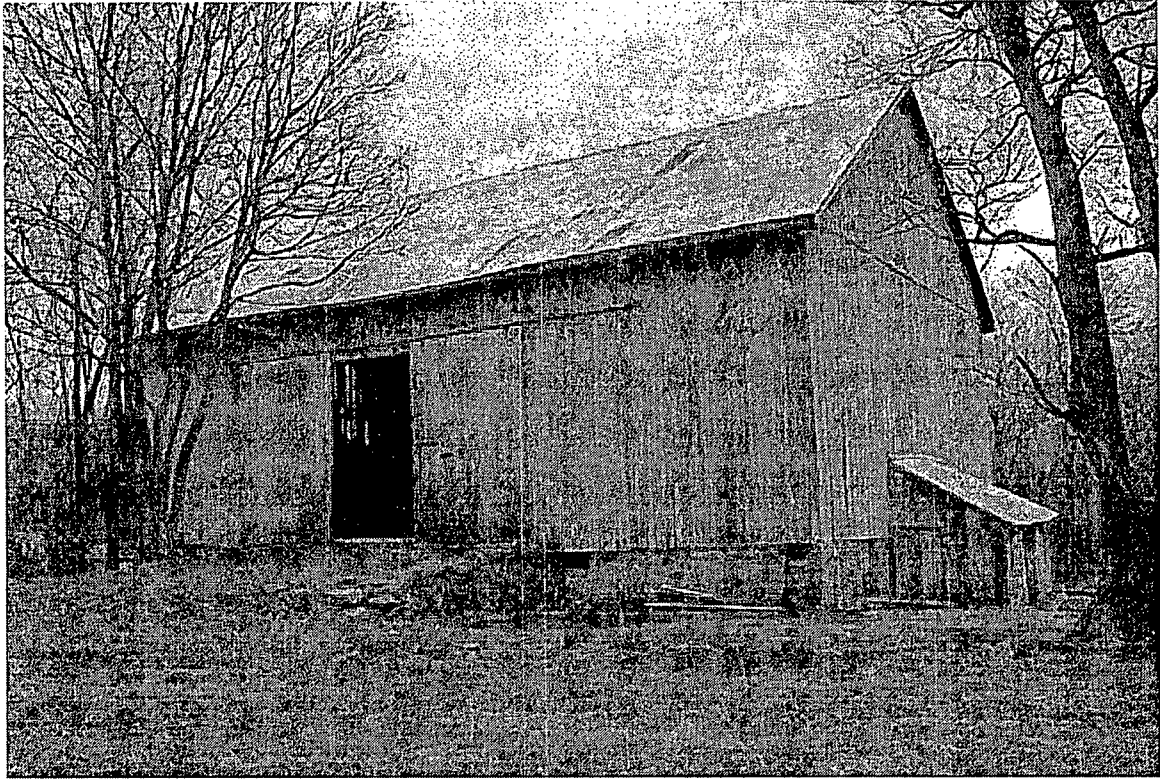


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43

April 2007



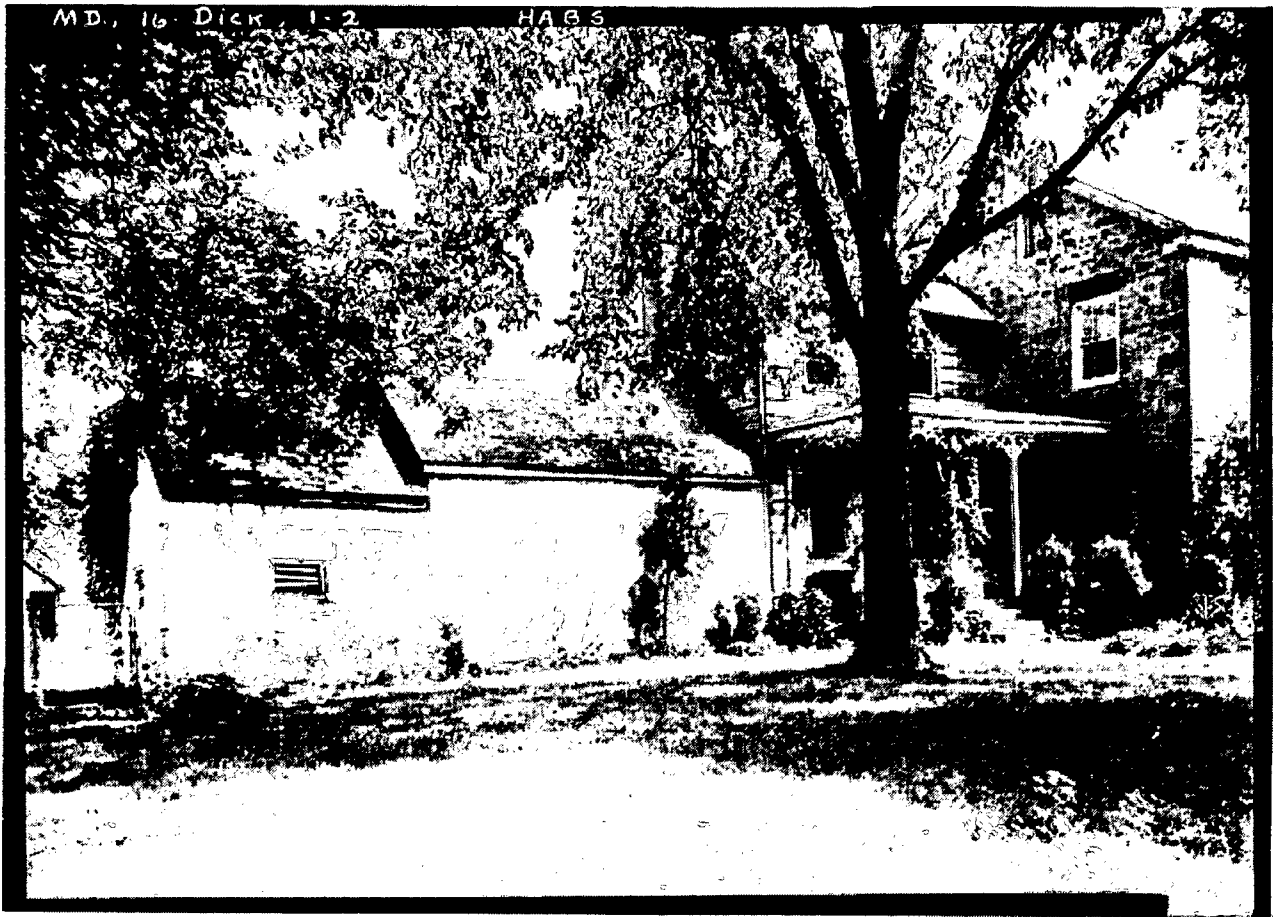


**2. Historic American Buildings Survey John O. Brostrup, Photographer 11:20 A.M.
September 4, 1936 ONE-HALF VIEW FROM SOUTHWEST (front)
HABS MD,16-DICK,1-2**



Larger reference image (JPEG - 205K bytes)
Highest resolution image (TIFF - 17614K bytes)

46



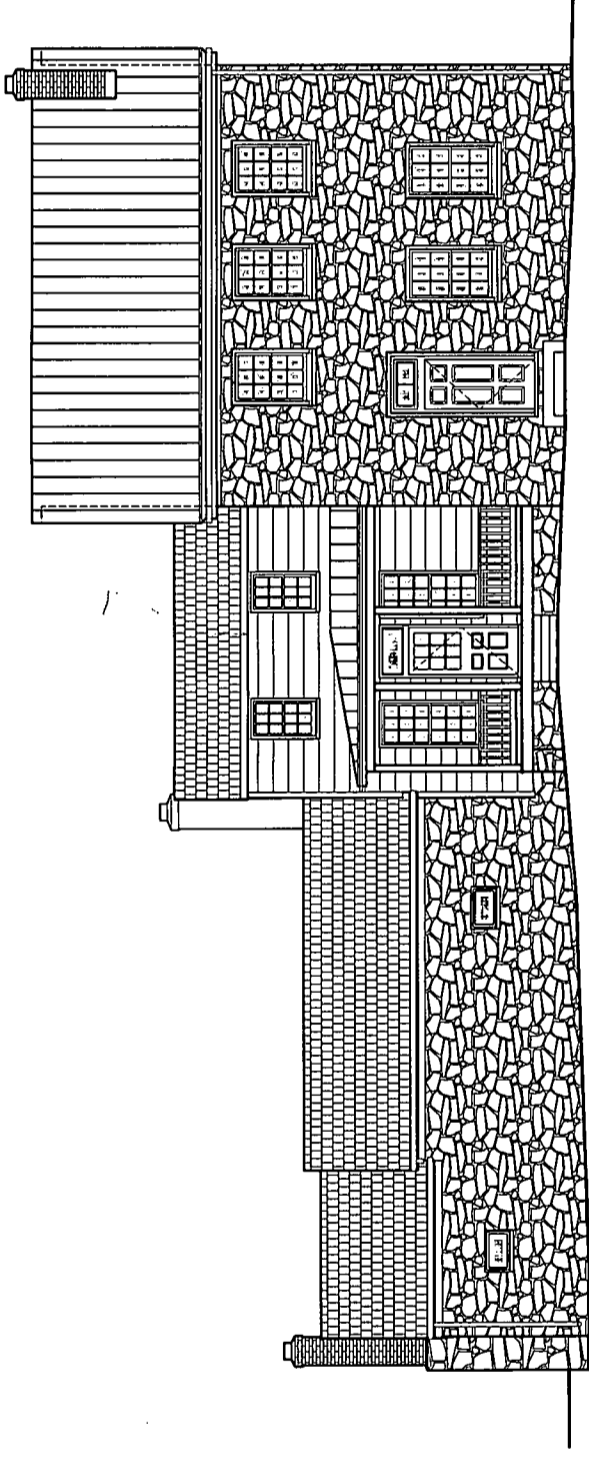
HISTORIC PRESERVATION FOR:

MOUNT CARMEL

SITE M:12/22

21515 DICKERSON ROAD, DICKERSON, MD 20842

OWNER: YAZDANI FAMILY



DRAWING SHEET INDEX	
SHEET #	SHEET NAME
CS	COVER SHEET
A3.05	EXISTING WINDOW ANALYSIS
A0.01	HISTORICAL ANALYSIS & PROJECT INTENT
A1.00	SITE PLAN & GENERAL CONST. NOTES
A1.01	1st FLOOR PLAN - EXISTING
A1.02	2nd FLOOR PLAN - EXISTING
A1.03	3rd FLOOR PLAN - EXIST. & ROOF PLAN - NEW
A2.01	NORTH ELEVATION - EXISTING CONDITIONS
A2.02	EAST ELEVATION - EXISTING CONDITIONS
A2.03	SOUTH ELEVATION - EXISTING CONDITIONS
A2.04	WEST ELEVATION - EXISTING CONDITIONS
A2.05	EXTERIOR ELEVATIONS - NEW WORK
A3.01	EXISTING DOOR & WINDOW ANALYSIS
A3.02	EXISTING WINDOW ANALYSIS
A3.03	EXISTING WINDOW ANALYSIS
A3.04	EXISTING WINDOW ANALYSIS
A3.06	EXIST. WINDOW ANALYSIS & NEW SCHEDULES
A3.07	EXIST. WINDOW ANALYSIS & NEW SCHEDULES
A4.01	GUEST HOUSE PLANS & ELEVATIONS
A4.02	GUEST HOUSE ELEVATIONS
A3.01	NEW GARAGE - PLANS & ELEVATIONS
A3.02	NEW GARAGE - SECTION & DETAILS



VICINITY MAP



NORTH

HISTORIC PRESERVATION FOR:
MOUNT CARMEL
 DICKERSON, MD 20842

COVER SHEET

BMGM ARCHITECTS P.C.
 18129 OAK RIDGE DRIVE HAGERSTOWN, MARYLAND 21740
 (PHONE) 301-797-9520 (FAX) 301-797-9521 - WWW.BMGMARCHITECTS.COM

LICENSE NO. EXPIRATION DATE

PROJECT NORTH
 SHEET
CS
 NUMBER

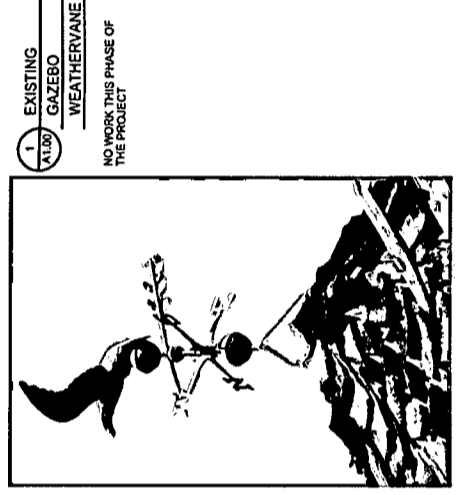
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 SCALE: 1" = 10'-0"
 AS NOTED
 BMGM PROJECT No. DRAWN BY
 2010-20 KJO

CONSTRUCTION
 DOCUMENTS

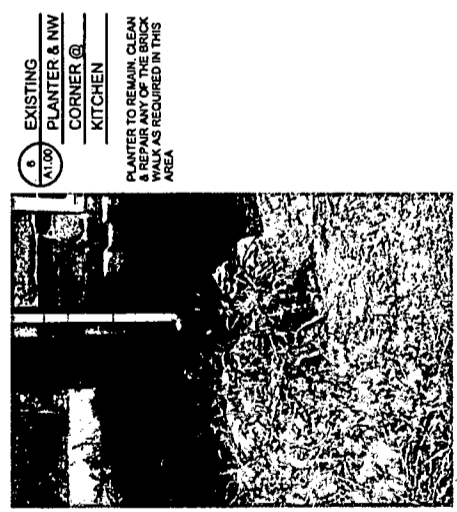
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BMGM ARCHITECTS p.c.
 18129 Oak Ridge Drive
 Hagerstown, Maryland 21740
 Phone: 301.797.9520
 Fax: 301.797.9521
 www.bmgmarchitect.com

UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



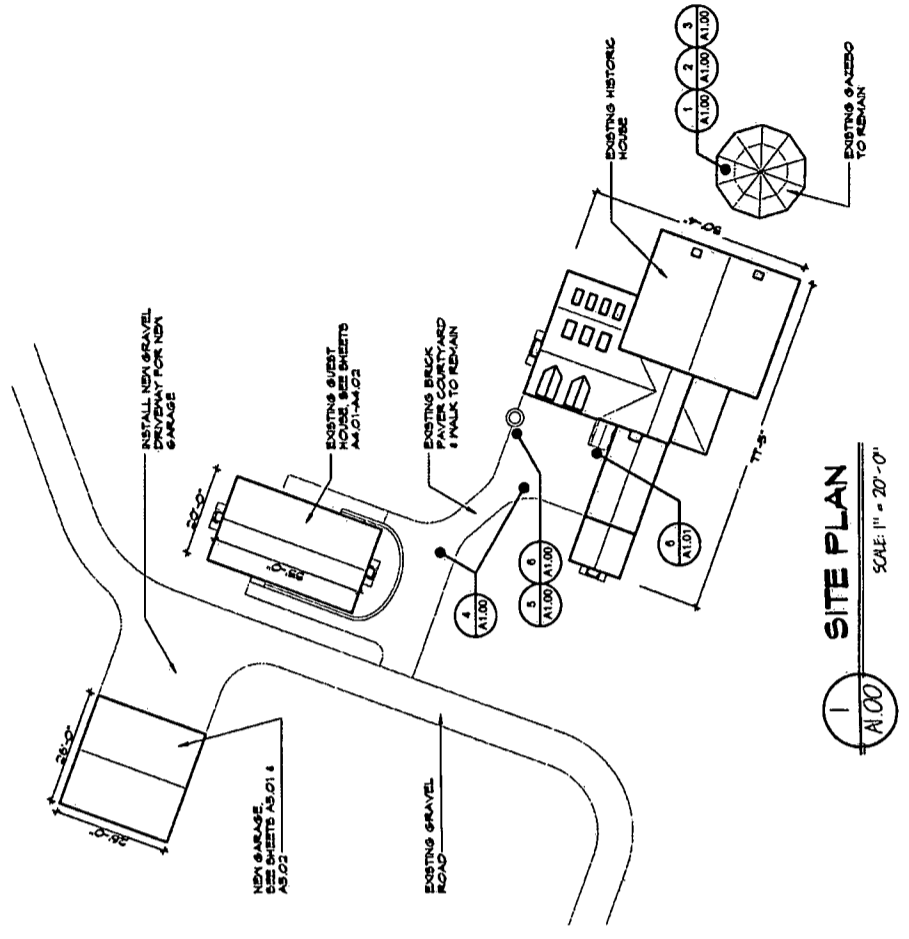
1 EXISTING GAZEBO ELEVATION
 NO WORK THIS PHASE OF THE PROJECT



5 EXISTING BRICK PLANTER
 EXISTING PLANTER TO REMAIN. CLEAN & REPOINT ANY BAD JOINTS AS REQUIRED.



4 EXISTING BRICK WALK
 EXISTING BRICK PAVERS TO REMAIN. APPLY GRASS/WEED KILLER & POWERWASH SURFACE AS REQUIRED.



GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE TO MEET ALL STATE AND LOCAL CODES REQUIRED FOR THIS PROJECT. NO ADDITIONAL WORK OUTSIDE OF THE SCOPE OF THESE DRAWINGS & PERMIT SHALL BE COMPLETED WITHOUT THE APPROVAL OF THE HISTORIC COMMISSION.
- CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS PRIOR TO FABRICATING ANY TYPE OF WORK OR CONSTRUCTION.
- ANY COLOR OR MATERIAL SELECTIONS SHOULD MATCH THE EXISTING CONDITION. COLOR SELECTIONS AND SCHEMES SHOULD BE IN ACCORDANCE WITH THOSE APPROPRIATE TO THE PERIOD OF THE HOUSE. OWNER AND THE HISTORIC COMMISSION SHALL APPROVE ALL FINAL COLORS / FINISHES.
- ALL GRADES SHOWN ON ELEVATIONS ARE APPROXIMATE. FIELD VERIFY CONDITIONS PRIOR TO ANY CONSTRUCTION. ALL SIZES & SQUARE FOOTAGES PROVIDED IN RELATION TO THE HISTORICAL PRESERVATION OF THE EXISTING STRUCTURES ARE APPROXIMATE AND HAVE BEEN PROVIDED AS A BASIS FOR PRELIMINARY ESTIMATES. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO ANY WORK.
- THE SCOPE OF THESE DRAWINGS INCLUDES PRESERVATION WORK TO BE DONE TO THE EXTERIOR OF THE EXISTING STRUCTURES AND THE CONSTRUCTION OF A NEW GARAGE. THE ONLY INTERIOR WORK INCLUDED IN THIS CONTRACT WOULD BE THAT WHICH IS NECESSARY TO COMPLETE THE WORK ON THE EXTERIOR. ANY INTERIOR MODIFICATIONS ARE NOT REGULATED BY THE HISTORIC COMMISSION, HOWEVER THESE CHANGES WOULD REQUIRE ADDITIONAL DOCUMENTATION AND APPROVAL BY THE AUTHORITY HAVING JURISDICTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO EMPLOY TRADESMEN WITH EXPERIENCE WORKING ON HISTORIC RENOVATION PROJECTS. THE MATERIALS AND CONSTRUCTION PRACTICES ASSOCIATED WITH HISTORIC STRUCTURES MAY DIFFER WITH CURRENT STANDARD CONSTRUCTION PRACTICES AND REQUIRE A CERTAIN KNOWLEDGE TO BE COMPLETED ACCURATELY & WITHOUT JEOPARDIZING THE INTEGRITY OF THE STRUCTURE.
- IF ANY UNFORESEEN CONDITIONS ARE UNCOVERED AS A RESULT OF WORK INCLUDED IN THIS PERMIT, TAKE ONLY WHAT STEPS ARE REQUIRED TO CREATE A STABLE SITUATION AND SUBMIT A PROPOSED PLAN OF ACTION TO THE HISTORICAL COMMISSION FOR APPROVAL.
- GENERAL CONTRACTOR IS RESPONSIBLE TO PROTECT THE EXISTING STRUCTURES, INSIDE AND OUT, DURING THE CONSTRUCTION PROCESS. ANY DAMAGES SHALL BE THE RESPONSIBILITY OF THE GC TO REPAIR AND/OR REPLACE AS THE SITUATION REQUIRES. ANY DAMAGES MAY ALSO REQUIRE APPROVAL AND/OR DIRECTION FROM THE HISTORICAL COMMISSION.

VERIFY THAT THESE DOCUMENTS WERE PREPARED BY AN ARCHITECT OR ARCHITECTURAL FIRM LICENSED AND REGISTERED UNDER THE LAWS OF THE STATE OF MARYLAND.

DATE: 25 OCTOBER 2010
 SCALE: AS NOTED
 DRAWN BY: KIO
 BGM PROJECT NO: 2010-20

**HISTORIC PRESERVATION FOR:
 MOUNT CARMEL**
 DICKERSON, MD 20842

FIRST FLOOR PLAN - EXISTING
 BGM ARCHITECTS P.C.
 18129 OAK RIDGE DRIVE, HAGERSTOWN, MARYLAND 21740
 (PHONE) 301-797-9320 (FAX) 301-797-9321 - WWW.BGMARCHITECTS.COM

PROJECT NORTH



DATE: 25 OCTOBER 2010
 SCALE: AS NOTED
 DRAWN BY: KIO
 BGM PROJECT NO: 2010-20

CONSTRUCTION DOCUMENTS

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1 ELEVATION INSIDE SUNROOM



REMOVE EXISTING ERODED STONE AS REQUIRED & REPLACE W/ EXISTING SALVAGED STONE. MORTAR IN PLACE TO MATCH EXISTING SURFACES.

2 ELEVATION INSIDE SUNROOM



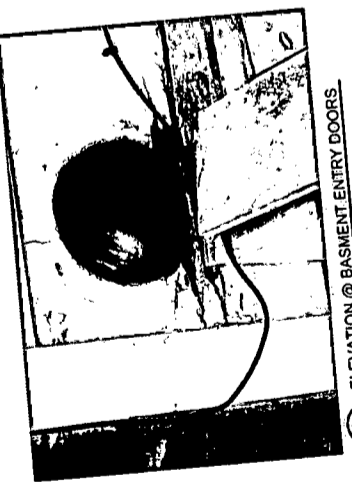
REMOVE EXISTING ERODED STONE AS REQUIRED & REPLACE W/ EXISTING SALVAGED STONE. MORTAR IN PLACE TO MATCH EXISTING SURFACES.

3 ELEVATION INSIDE SUNROOM



REMOVE EXISTING ERODED STONE AS REQUIRED & REPLACE W/ EXISTING SALVAGED STONE. MORTAR IN PLACE TO MATCH EXISTING SURFACES.

4 ELEVATION @ BASMENT ENTRY DOORS

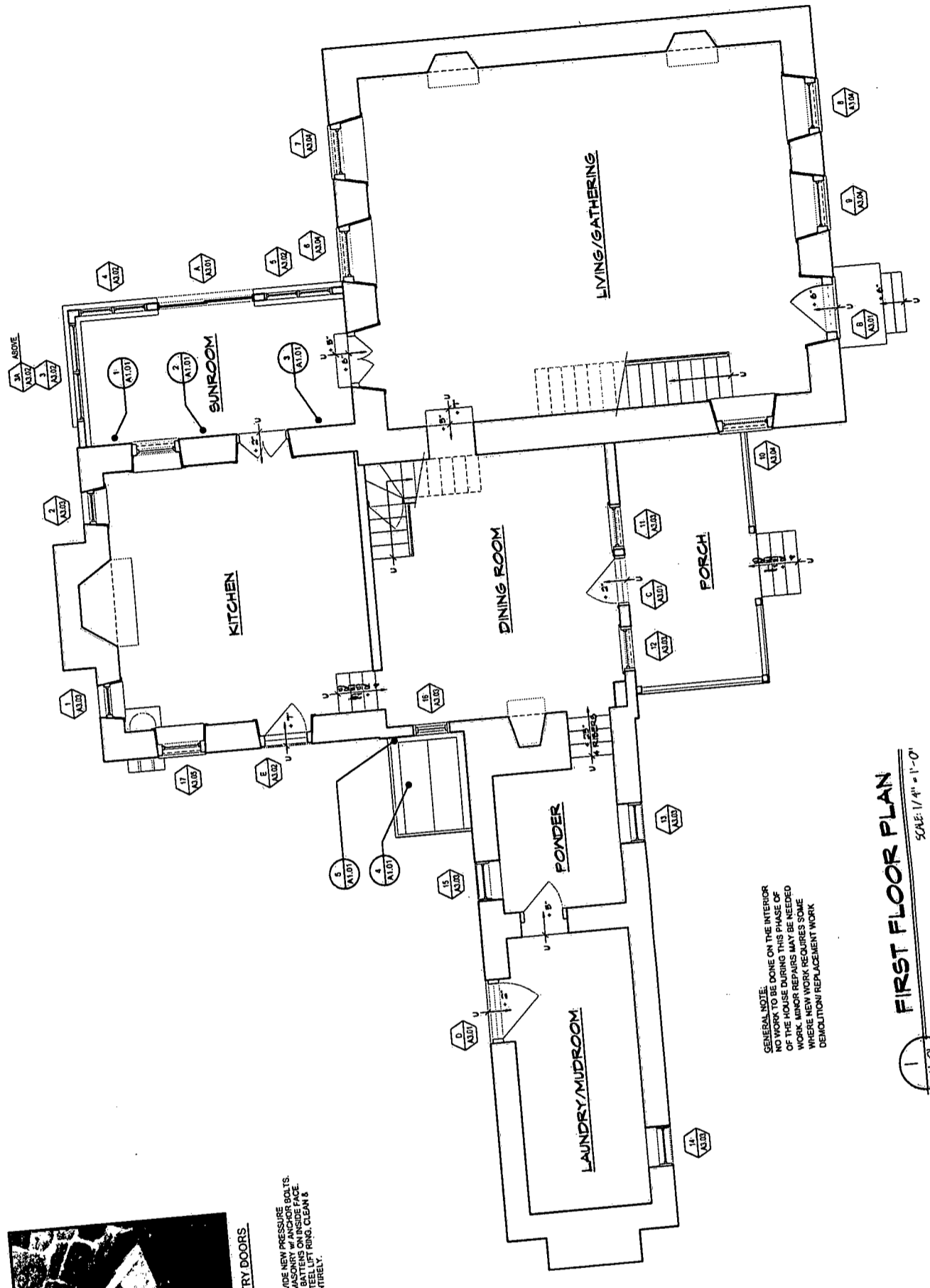


REMOVE EXISTING WOOD BOARD BASEMENT DOORS @ DAMAGED AREA AS REQUIRED. INSERT NEW SIDING TO MATCH EXISTING. PROVIDE ANY WOOD BLOCKING OR WHEELERS IF NEEDED. PRIME, CAULK, & PAINT.

4 ELEVATION / PLAN OF BASEMENT ENTRY DOORS



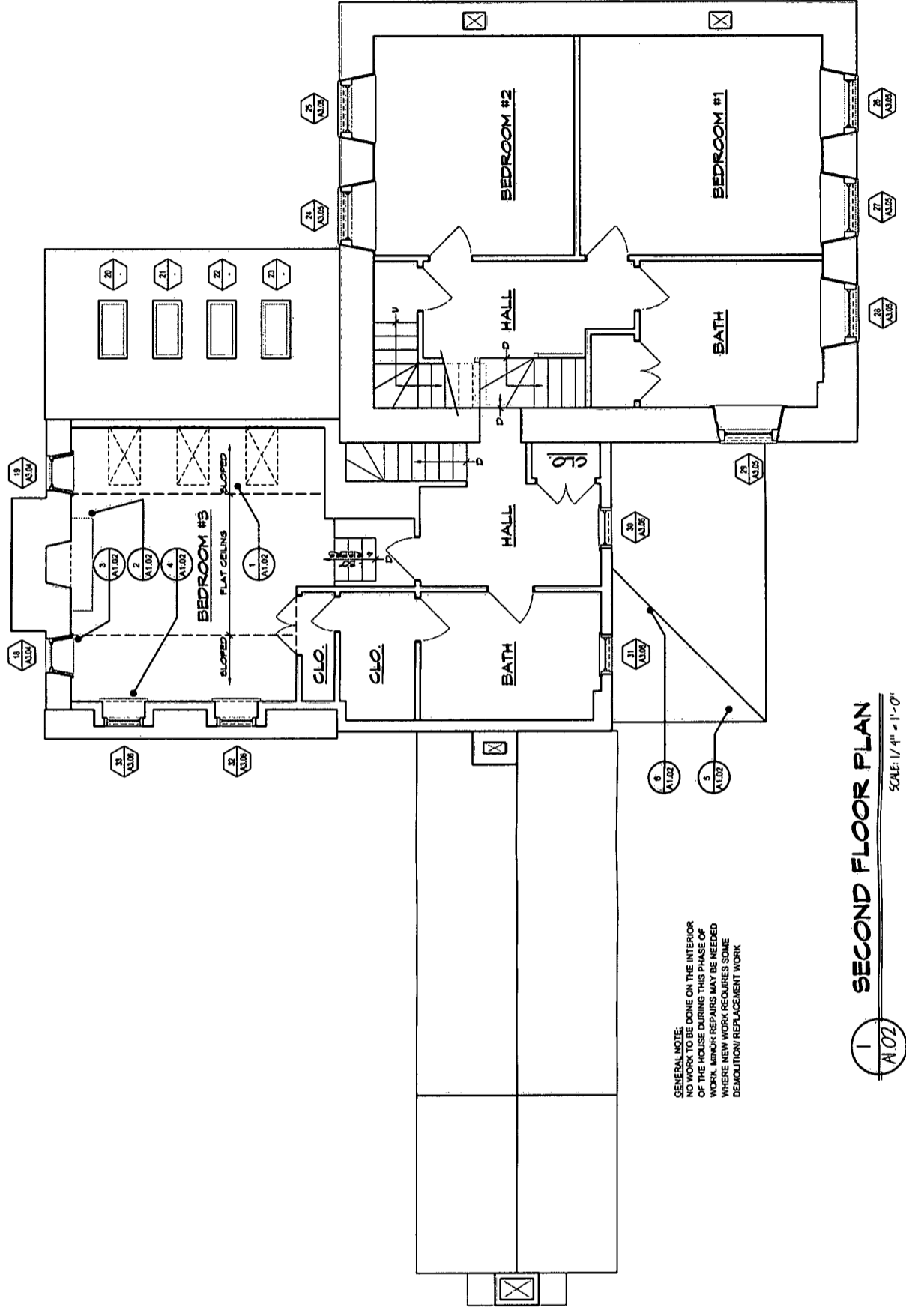
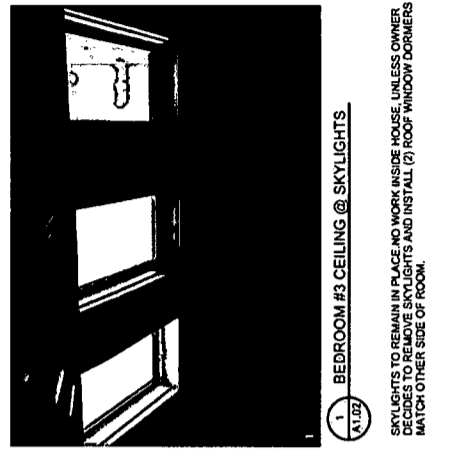
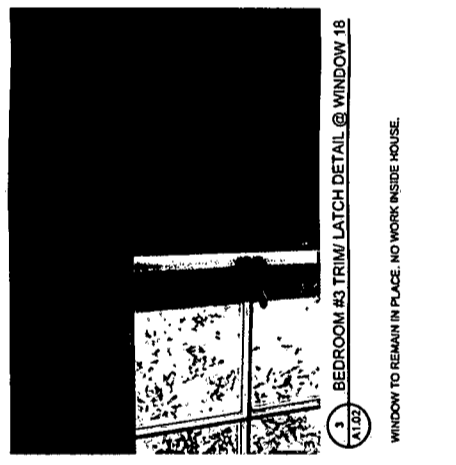
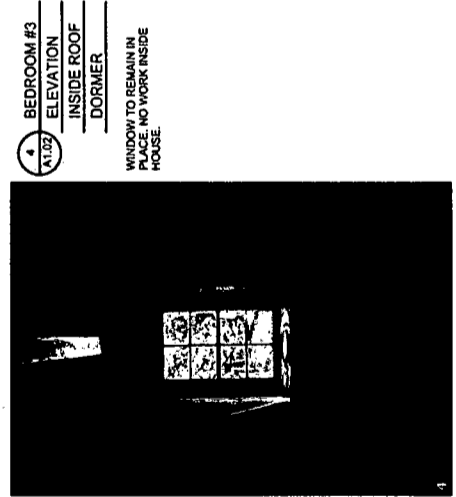
REMOVE EXISTING WOOD BOARD BASEMENT DOORS @ DAMAGED AREA AS REQUIRED. PROVIDE NEW PRESSURE TREATED WOOD FRAMEWORK AS NEEDED. PROVIDE NEW PRESSURE TREATED WOOD BOARD BASEMENT DOORS @ DAMAGED AREA AS REQUIRED. PROVIDE ANY WOOD BLOCKING OR WHEELERS IF NEEDED. PRIME, CAULK, & PAINT. HINGES SHALL BE REUSED IF THEY ARE IN GOOD CONDITION. PAINT BLACK. PRIME & PAINT FRAMEWORK AND DOORS ENTIRELY.



GENERAL NOTE:
 ALL WORK TO BE DONE ON THE INTERIOR OF THE HOUSE DURING THIS PROJECT. MINOR REPAIRS ARE NEEDED WHERE NEW WORK OCCURS SOME DEMOLITION REPLACEMENT WORK

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"





GENERAL NOTE:
 NO WORK TO BE DONE ON THE INTERIOR OF THE HOUSE DURING THIS PHASE OF WORK. MINOR REPAIRS MAY BE NEEDED WHERE NEW WORK REQUIRES SOME DEMOLITION/REPLACEMENT WORK



SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

CONTRACT AND THESE DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE BOARD OF ARCHITECTS UNDER THE LAWS OF THE STATE OF MARYLAND.

**HISTORIC PRESERVATION FOR:
 MOUNT CARMEL**
 DICKERSON, MD 20842

NORTH ELEVATION - EXISTING CONDITIONS

BGM ARCHITECTS P.C.
 18129 OAK RIDGE DRIVE, HAGERSTOWN, MARYLAND 21740
 PHONE 301-797-9520 (FAX) 301-797-9521 - WWW.BGMARCHITECTS.COM

DATE 25 OCTOBER 2010
 SCALE AS NOTED
 BGM PROJECT NO. 2010-20
 DRAWN BY KIO

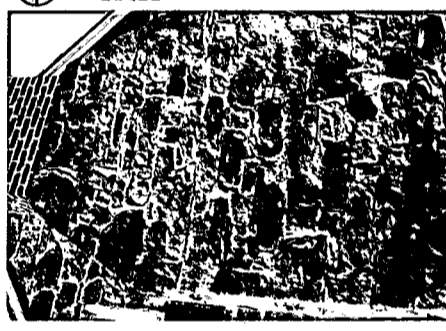
CONSTRUCTION DOCUMENTS
 COPYRIGHT 2010 BGM ARCHITECTS P.C.

PROJECT NORTH

**SHEET
 A2.01
 NUMBER**


5 EXTERIOR ELEVATION @ NORTH CHIMNEY
 (A2.01)

NO WORK REQUIRED W/ STONE. REPOINT BAD JOINTS AS NEEDED W/ MATCHING MATERIAL TYPE & COLOR OF EXISTING.



4 STONE DETAIL @ NORTH CHIMNEY
 (A2.01)

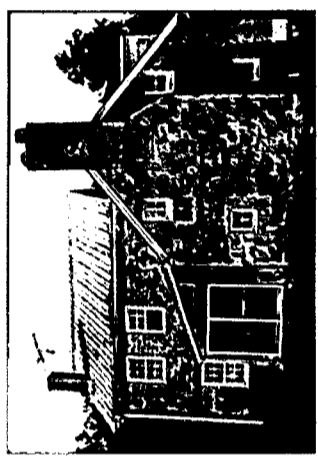
NO WORK REQUIRED W/ STONE. REPOINT BAD JOINTS AS NEEDED W/ MATCHING MATERIAL TYPE & COLOR OF EXISTING.



2 PARTIAL EXTERIOR NORTH ELEVATION
 (A2.01)


EXISTING METAL ROOFING TO BE REMOVED. REPAIR/REPLACE ANY DAMAGED STRUCTURE UNDERNEATH AS NEEDED PRIOR TO NEW ROOF INSTALLATION. AS NOTED.

EXISTING CEDAR WOOD SHINGLE ROOF TO BE REMOVED. REPAIR/REPLACE ANY DAMAGED STRUCTURE UNDERNEATH AS NEEDED PRIOR TO NEW ROOF INSTALLATION. REMOVE & INSTALL NEW ALUMINUM HALF-ROUND GUTTERS & DOWNSPOUTS.




4 NORTH WALL @ SUNROOM CONNECTION
 (A2.01)

NO WORK REQUIRED W/ STONE. REPOINT BAD JOINTS AS NEEDED W/ MATCHING MATERIAL TYPE & COLOR OF EXISTING.




6 EXIST. CABLE DISTRIBUTION BOX
 (A2.01)

NO WORK REQUIRED EXCEPT TO PAINT/ FINISH BACKER TO MATCH SUNROOM SIDING.




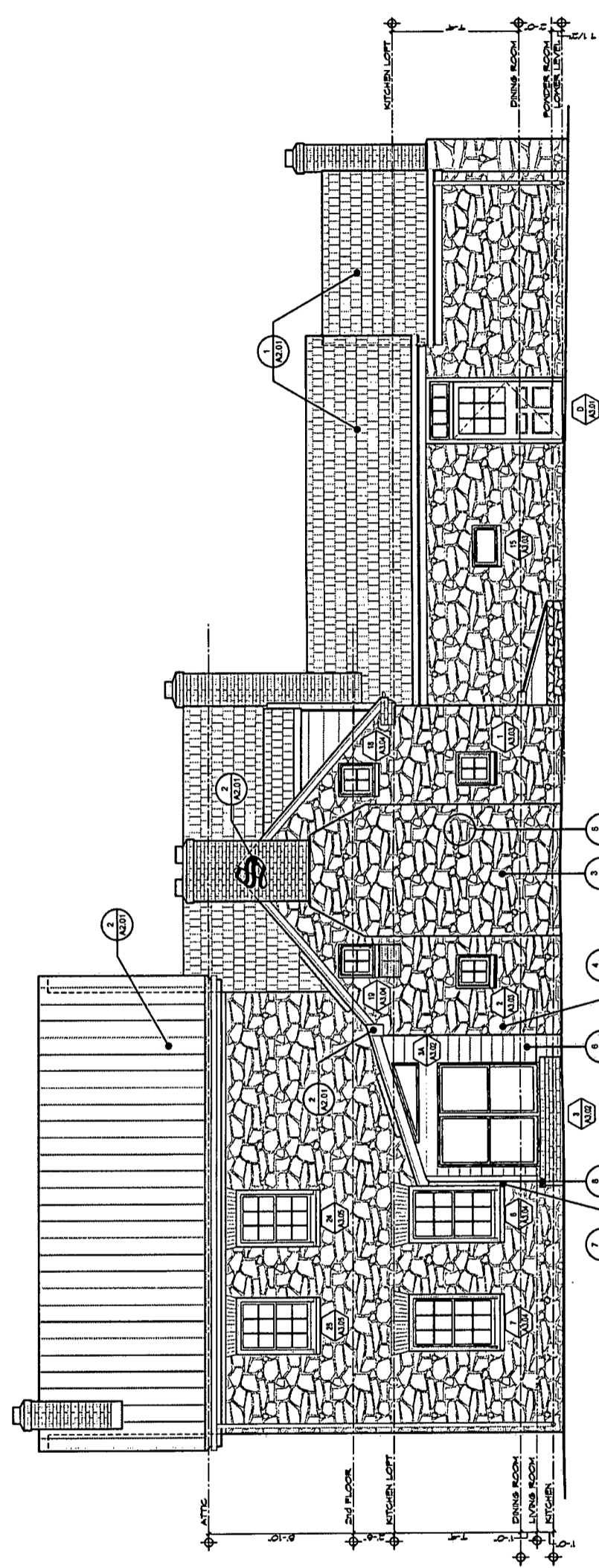
5 DETAIL @ CORNER OF SUNROOM
 (A2.01)

REPLACE MISSING BRICK SILL @ CORNER AS NEEDED. REPOINT STONE TO MATCH EXISTING AND INSTALL ALONG W/ ADJACENT SURFACES.

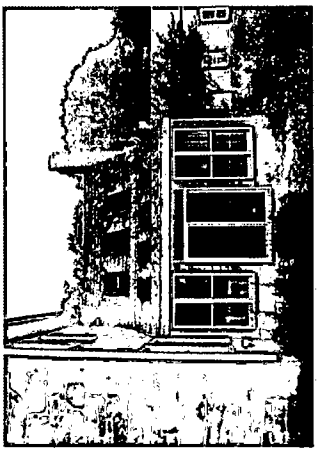


7 SUNROOM CONNECTION @ MAIN HOUSE
 (A2.01)

REFINISH SIDING AS NOTED. REPAIR/REPLACE ANY DAMAGED MATERIAL AS NEEDED. AS NEEDED FOR REQUIRED WORK @ WINDOW.

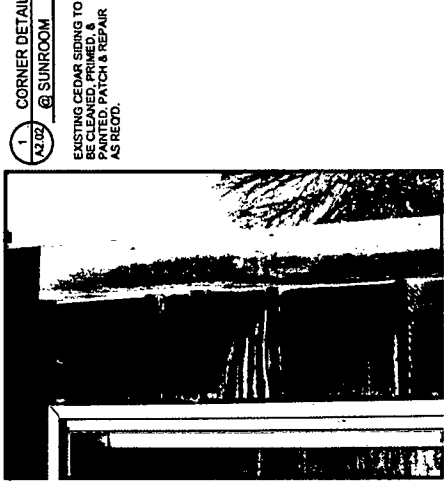



1 NORTH ELEVATION
 (A2.01)
 SCALE: 1/4" = 1'-0"



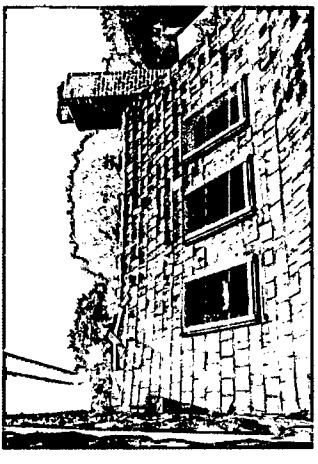
2 PARTIAL EXTERIOR ELEVATION @ SUNROOM ADDITION

EXISTING CEDAR SIDING TO BE CLEANED, PRIMED, & PAINTED. PATCH & REPAIR AS REQD.
 REMOVE EXISTING CEDAR WOOD SHAKE SHINGLE ROOF. REPAIR/REPLACE ANY DAMAGED STRUCTURE UNDERNEATH AS NEEDED PRIOR TO NEW ROOF INSTALLATION.



1 CORNER DETAIL @ SUNROOM

EXISTING CEDAR SIDING TO BE CLEANED, PRIMED, & PAINTED. PATCH & REPAIR AS REQD.



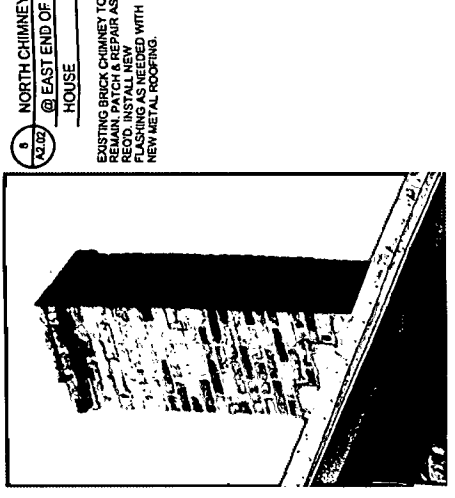
4 EXISTING SKYLIGHTS

EXISTING CEDAR WOOD SHAKE SHINGLE ROOF TO BE REMOVED. REPAIR/REPLACE ANY DAMAGED STRUCTURE UNDERNEATH AS NEEDED PRIOR TO NEW ROOF INSTALLATION. PROVIDE NEW FLASHING & SEALANT @ SKYLIGHTS.



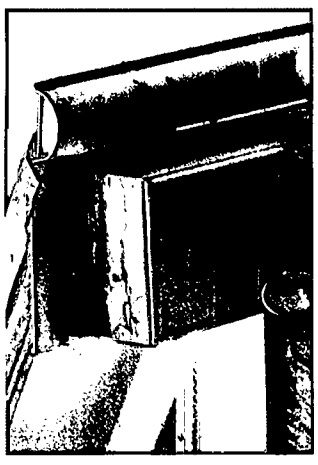
3 EAVE DETAIL-NORTH SIDE OF MAIN HOUSE

REPAIR EXISTING SOFFIT & FASCIA AS REQUIRED. PRIME & PAINT. REMOVE EXISTING GUTTER & INSTALL NEW ALUMINUM HALF-ROUND GUTTER & DOWNSPOUTS



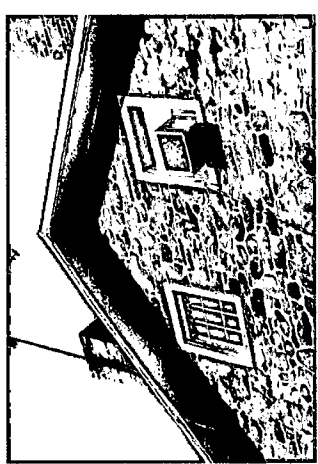
8 NORTH CHIMNEY @ EAST END OF HOUSE

EXISTING BRICK CHIMNEY TO REMAIN. REPAIR AS NEEDED. FLASHING AS NEEDED WITH NEW METAL ROOFING.



5 EAVE DETAIL-NORTH SIDE OF MAIN HOUSE

REPAIR EXISTING SOFFIT & FASCIA AS REQUIRED. PRIME & PAINT. REMOVE EXISTING GUTTER & INSTALL NEW ALUMINUM HALF-ROUND GUTTER & DOWNSPOUTS



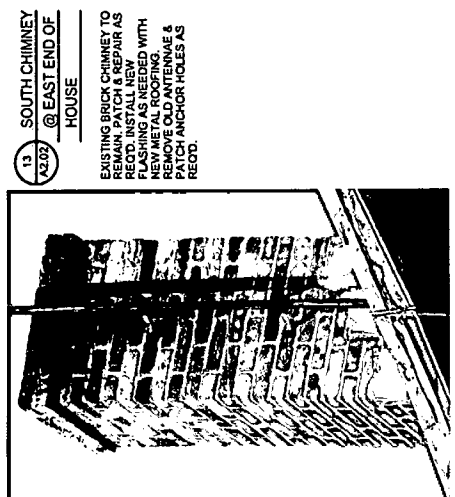
6 EAST GABLE ELEVATION @ MAIN HOUSE

REMOVE EXISTING AC UNIT AND INSTALL A NEW WINDOW TO MATCH ADJACENT WINDOW. NO WORK REQUIRED BY STONE. REPOINT BAD JOINTS AS NEEDED w/ MORTAR TO MATCH TYPE & COLOR OF EXISTING.



9 EAVE DETAIL-NORTH SIDE OF MAIN HOUSE

REPAIR EXISTING SOFFIT & FASCIA AS REQUIRED. PRIME & PAINT. REMOVE EXISTING GUTTER & INSTALL NEW ALUMINUM HALF-ROUND GUTTER & DOWNSPOUTS



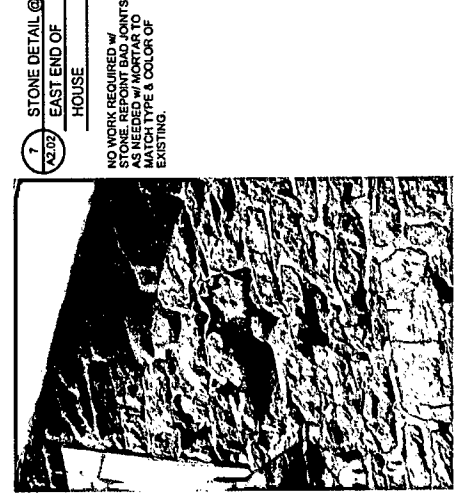
13 SOUTH CHIMNEY @ EAST END OF HOUSE

EXISTING BRICK CHIMNEY TO REMAIN. REPAIR AS NEEDED. FLASHING AS NEEDED WITH NEW METAL ROOFING. PATCH ANCHOR HOLES AS REQD.



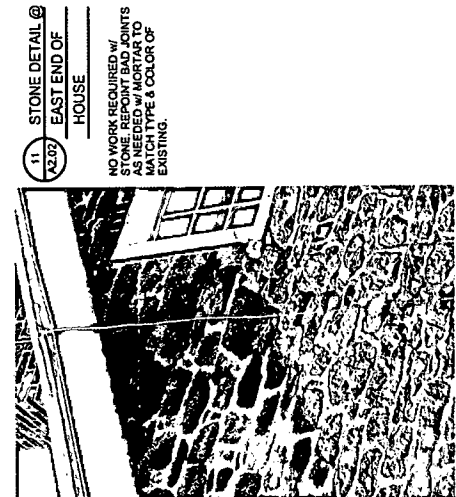
12 STONE DETAIL @ PEAK

INSTALL MORTAR @ VOIDS ALONG EXISTING FREEZE BOARD WHERE MISSING. MORTAR TO MATCH TYPE & COLOR OF EXISTING.



7 STONE DETAIL @ EAST END OF HOUSE

NO WORK REQUIRED BY STONE. REPOINT BAD JOINTS AS NEEDED w/ MORTAR TO MATCH TYPE & COLOR OF EXISTING.



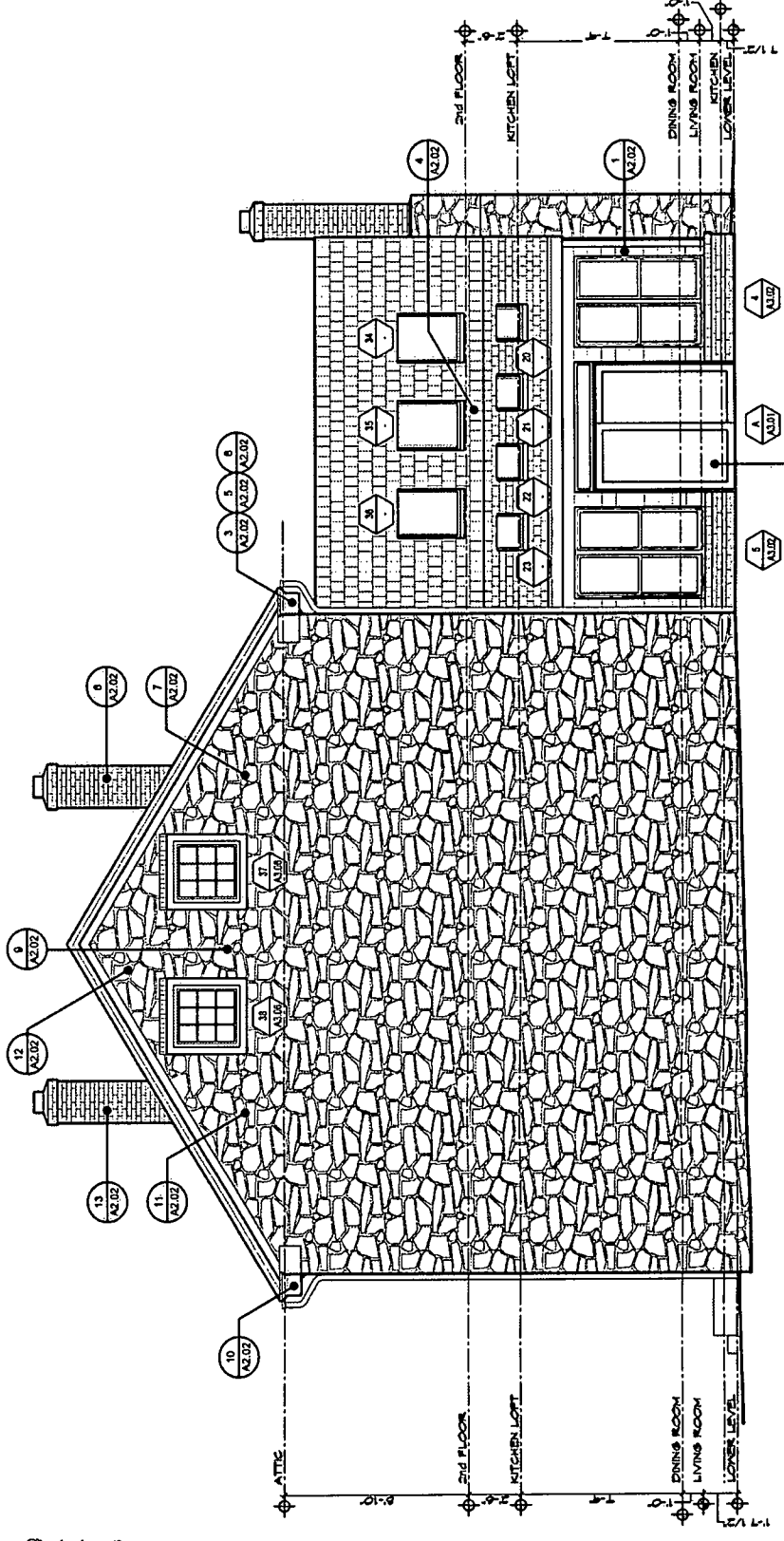
11 STONE DETAIL @ EAST END OF HOUSE

NO WORK REQUIRED BY STONE. REPOINT BAD JOINTS AS NEEDED w/ MORTAR TO MATCH TYPE & COLOR OF EXISTING.



10 EAVE DETAIL-SOUTH SIDE OF MAIN HOUSE

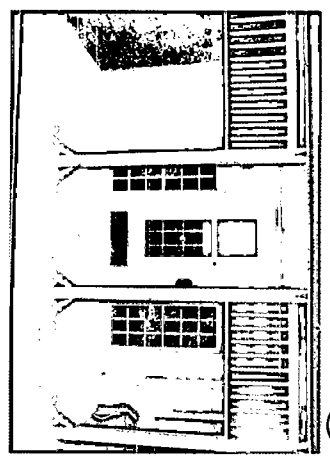
REPAIR EXISTING SOFFIT & FASCIA AS REQUIRED. PRIME & PAINT. REMOVE EXISTING GUTTER & INSTALL NEW ALUMINUM HALF-ROUND GUTTER & DOWNSPOUTS





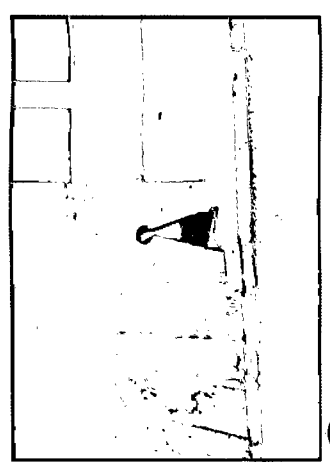
1 PARTIAL ELEVATION @ DOOR 'B'
 A2.03

- EXISTING DAMAGED SCREEN DOOR TO BE REMOVED AND A NEW SCREEN DOOR & HARDWARE IS TO BE INSTALLED. FOR ADDITIONAL WORK AT THIS DOOR, SEE SHEET A2.01
- REPAIR LIGHT FIXTURES & PROVIDE (2) NEW FIXTURES, (1) FOR EACH SIDE OF DOOR. NEW FIXTURES SHALL MATCH THE PERIOD OF THE HOUSE.



2 PARTIAL EXTERIOR ELEVATION @ PORCH
 A2.03

- ENTIRE PORCH, RAILING, POSTS, SOFFIT, OVERHANG & DECORATIVE TRIMWORK ARE TO BE SCRAPPED, PRIMED, & PAINTED.
- REMOVE EXISTING GUTTER & INSTALL NEW ALUMINUM HALF-ROUND GUTTER & DOWNSPOUTS.



5 DETAIL @ PORCH POST BASE
 A2.03

- ENTIRE PORCH, RAILING, POSTS, SOFFIT, OVERHANG & DECORATIVE TRIMWORK ARE TO BE SCRAPPED, PRIMED, & PAINTED.



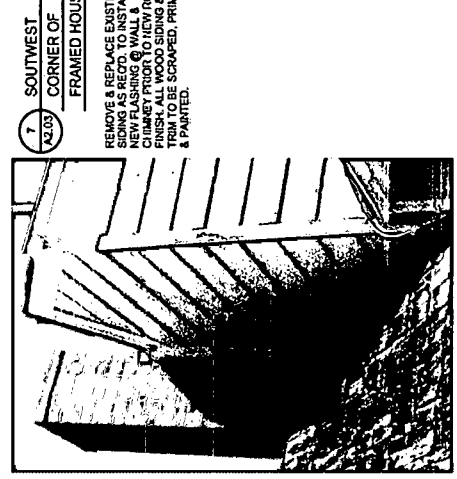
2 STAIRS @ DOOR 'B'
 A2.03

- THE EXISTING STONE STEPS & PORCH @ THE MAIN ENTRY DOOR ARE TO REMAIN. NO WORK.



4 STAIRS @ FRONT PORCH
 A2.03

- THE EXISTING STONE STEPS @ PORCH ARE TO REMAIN. NO WORK.



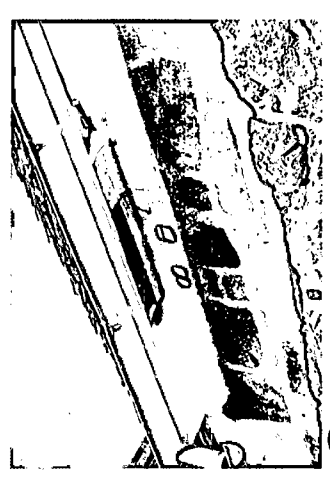
7 SOUTHWEST CORNER OF FRAMED HOUSE
 A2.03

- REMOVE & REPLACE EXISTING SIDING AS REQD. TO INSTALL NEW FLASHING @ GUTTER & ROOF FINISH. ALL WOOD SIDING & TRIM TO BE SCRAPPED, PRIMED & PAINTED.



6 ROOF EDGE DETAIL NEAR WINDOW # 13
 A2.03

- REMOVE EXISTING CEDAR WOOD SHAKE SHINGLE ROOF. REPAIR/REPLACE ANY DAMAGED STRUCTURE UNDERNEATH AS NEEDED PRIOR TO NEW ROOF
- REMOVE EXISTING GUTTER & INSTALL NEW ALUMINUM HALF-ROUND GUTTER & DOWNSPOUTS.



11 UPPER EAVE @ ROOF TRANSITION
 A2.03

- PATCH & REPAIR EXISTING SOFFIT & FASCIA AS REQD. TO MATCH ADJACENT SURFACES. ENTIRE OVERHANG & FRIEZE BOARD ARE TO BE SCRAPPED, PRIMED, & PAINTED.
- REMOVE EXISTING GUTTER & INSTALL NEW ALUMINUM HALF-ROUND GUTTER & DOWNSPOUTS.



10 LOWER EAVE @ ROOF TRANSITION
 A2.03

- PATCH & REPAIR EXISTING SOFFIT & FASCIA AS REQD. TO MATCH ADJACENT SURFACES. ENTIRE OVERHANG & FRIEZE BOARD ARE TO BE SCRAPPED, PRIMED, & PAINTED.
- REMOVE EXISTING GUTTER & INSTALL NEW ALUMINUM HALF-ROUND GUTTER & DOWNSPOUTS.



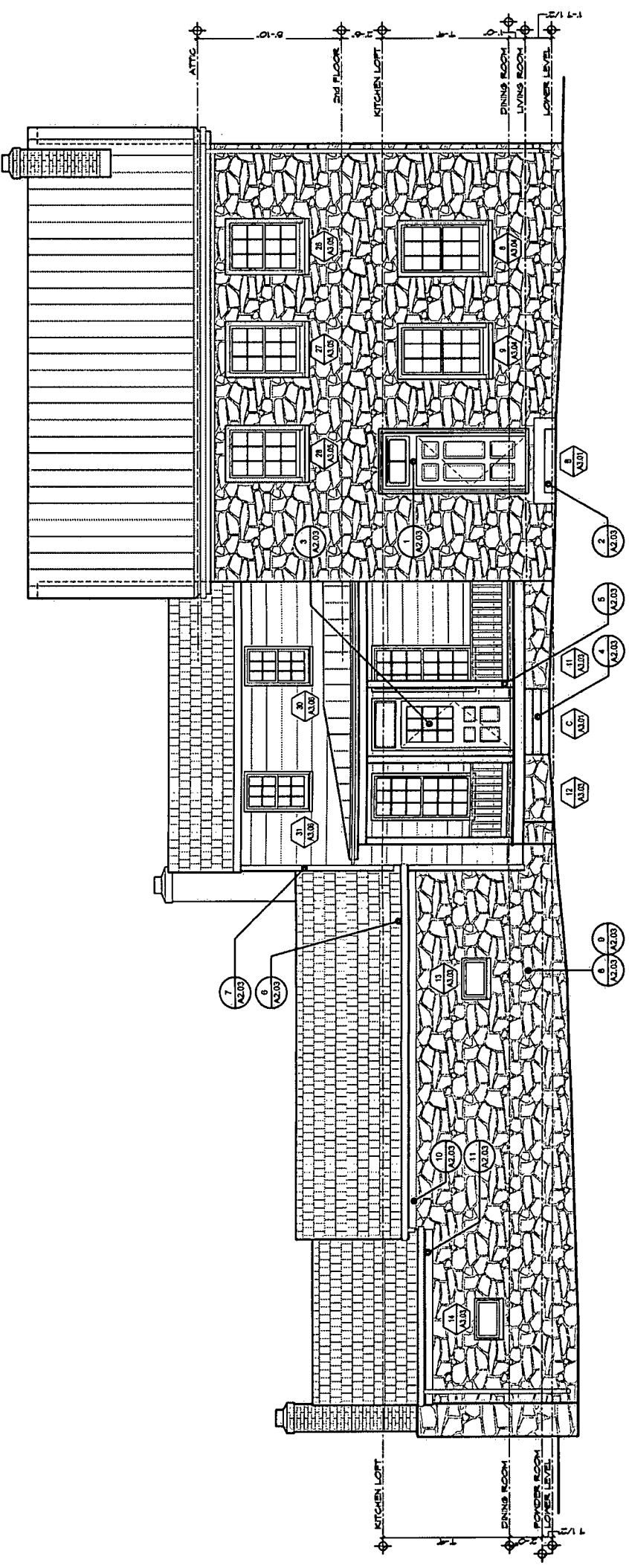
9 PARTIAL EXTERIOR ELEVATION @ WINDOW # 13
 A2.03

- NO WORK REQUIRED w/ STONE. REPOINT BAD JOINTS AS NEEDED w/ MORTAR TO MATCH TYPE & COLOR OF EXISTING.
- REPAIR/REPLACE ANY DAMAGED STRUCTURE UNDERNEATH THIS PHOTO, IF NOT, COORDINATE w/ OWNER & HISTORIC COMMISSION ON HOW TO PROCEED.



8 STONE DETAIL @ WINDOW # 13
 A2.03

- NO WORK REQUIRED w/ STONE. REPOINT BAD JOINTS AS NEEDED w/ MORTAR TO MATCH TYPE & COLOR OF EXISTING.



1 SOUTH ELEVATION
 A2.03
 SCALE: 1/4" = 1'-0"



3 EAVE DETAIL @ SOUTHWEST CORNER OF MAIN HOUSE
 A2.04

REPAIR EXISTING SOFFIT & FASCIA AS REQUIRED. PRIME & PAINT. REMOVE EXISTING GUTTER & INSTALL NEW ALUMINUM HALF-ROUND GUTTER & DOWNSPOUTS.



1 EXISTING PORCH SUPPORT
 A2.04

NO WORK REQUIRED w/ STONE. REPOINT BAD JOINTS AS NEEDED w/ MORTAR TO MATCH TYPE & COLOR OF EXISTING. PAINT. OVERHANG & DECORATIVE TRIMWORK ARE TO BE SCRAPPED, PRIMED, & PAINTED.



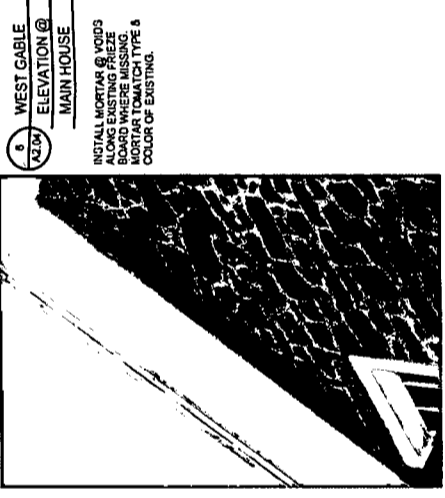
4 PARTIAL ELEVATION @ EAST END OF PORCH
 A2.04

NO WORK REQUIRED w/ STONE. REPOINT BAD JOINTS AS NEEDED w/ MORTAR TO MATCH TYPE & COLOR OF EXISTING. PAINT. OVERHANG & DECORATIVE TRIMWORK ARE TO BE SCRAPPED, PRIMED, & PAINTED. IF NOT, COORDINATE w/ OWNER & HISTORIC COMMISSION ON HOW TO PROCEED. ENTIRE PORCH, PAINTING, POSTS, SOFFIT, OVERHANG & DECORATIVE TRIMWORK ARE TO BE SCRAPPED, PRIMED, & PAINTED.



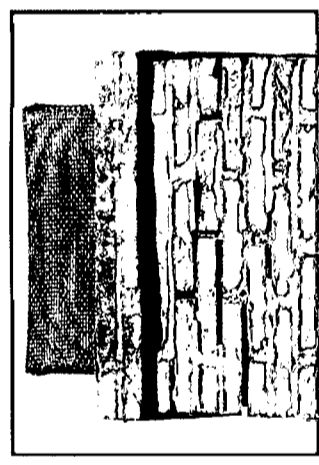
3 STONE DETAIL @ WEST END CHIMNEY
 A2.04

NO WORK REQUIRED w/ STONE. REPOINT BAD JOINTS AS NEEDED w/ MORTAR TO MATCH TYPE & COLOR OF EXISTING.



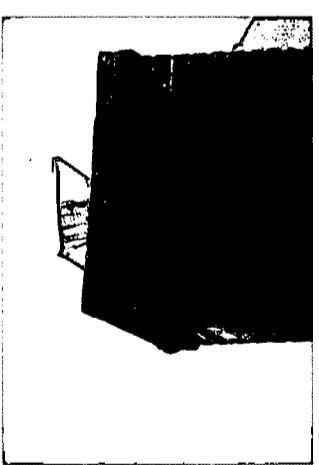
5 WEST GABLE ELEVATION @ MAIN HOUSE
 A2.04

INSTALL MORTAR @ VOIDS ALONG EXISTING FREEZE MORTAR TO MATCH TYPE & COLOR OF EXISTING.



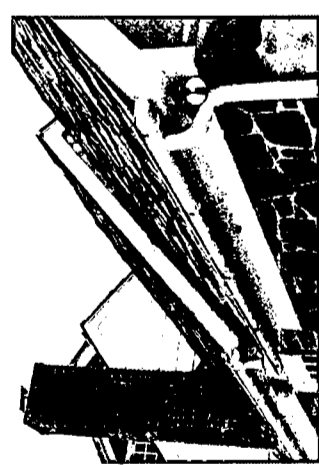
5 TOP OF CHIMNEY @ WEST END OF WEST WING
 A2.04

EXISTING BRICK CHIMNEY TO REMAIN. PATCH & REPAIR AS REQD. INSTALL NEW FLASHING AS NEEDED WITH NEW METAL ROOFING.



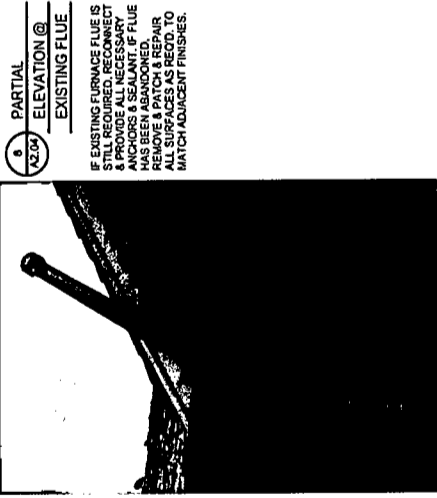
10 TOP OF CHIMNEY @ WEST END OF FRAMED PORTION
 A2.04

EXISTING BRICK CHIMNEY TO REMAIN. PATCH & REPAIR AS REQD. INSTALL NEW FLASHING AS NEEDED WITH NEW METAL ROOFING.



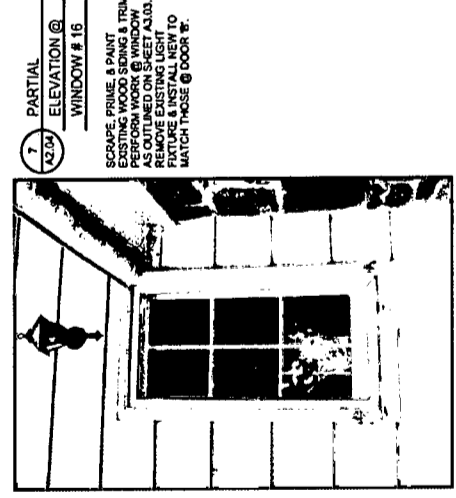
9 PARTIAL ELEVATION @ WEST WING ROOF TRANSITION
 A2.04

REMOVE EXISTING CEDAR WOOD SHINGLE ROOF. REPAIR/REPLACE ANY DAMAGED STRUCTURE UNDERNEATH AS NEEDED PRIOR TO NEW ROOF INSTALLATION. EXISTING SOFFIT & FASCIA AS REQD. TO MATCH ADJACENT SURFACES. ENTIRE OVERHANG & FREEZE BOARD ARE TO BE SCRAPPED, PRIMED, & PAINTED. EXISTING GUTTER & INSTALL NEW ALUMINUM HALF-ROUND GUTTER & DOWNSPOUTS.



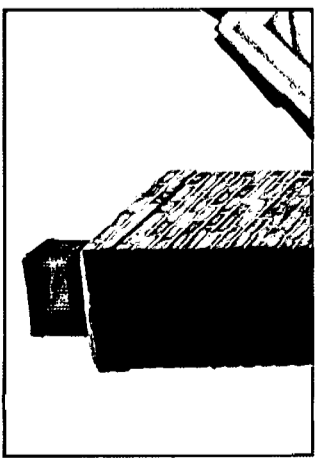
8 PARTIAL ELEVATION @ EXISTING FLUE
 A2.04

IF EXISTING FURANCE FLUE IS TO REMAIN, REPOINT & PROVIDE ALL NECESSARY ANCHORS & SEALANT. IF FLUE HAS BEEN ABANDONED, REPAIR ALL SURFACES AS REQD. TO MATCH ADJACENT FINISHES.



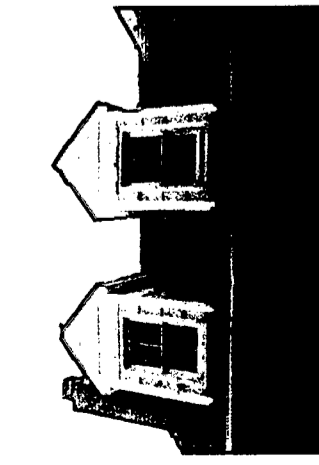
7 PARTIAL ELEVATION @ WINDOW # 16
 A2.04

SCRAPE, PRIME, & PAINT EXISTING WOOD SIDING & TRIM AS OUTLINED ON SHEET A2.03. REMOVE EXISTING LIGHT FIXTURE & INSTALL NEW TO MATCH THOSE @ DOOR #1.



14 TOP OF CHIMNEY @ NORTH END OF KITCHEN
 A2.04

EXISTING BRICK CHIMNEY TO REMAIN. PATCH & REPAIR AS REQD. INSTALL NEW FLASHING AS NEEDED WITH NEW METAL ROOFING.



13 PARTIAL ELEVATION @ KITCHEN LOFT DORMERS
 A2.04

SCRAPE, PRIME & PAINT EXISTING WOOD SIDING & TRIM. PERFORM WORK @ WINDOWS AS OUTLINED ON SHEET A3.08. REMOVE EXISTING CEDAR WOOD SHINGLE ROOF. REPAIR/REPLACE ANY DAMAGED STRUCTURE UNDERNEATH AS NEEDED PRIOR TO NEW ROOF INSTALLATION. EXISTING GUTTER & INSTALL NEW ALUMINUM HALF-ROUND GUTTER & DOWNSPOUTS.



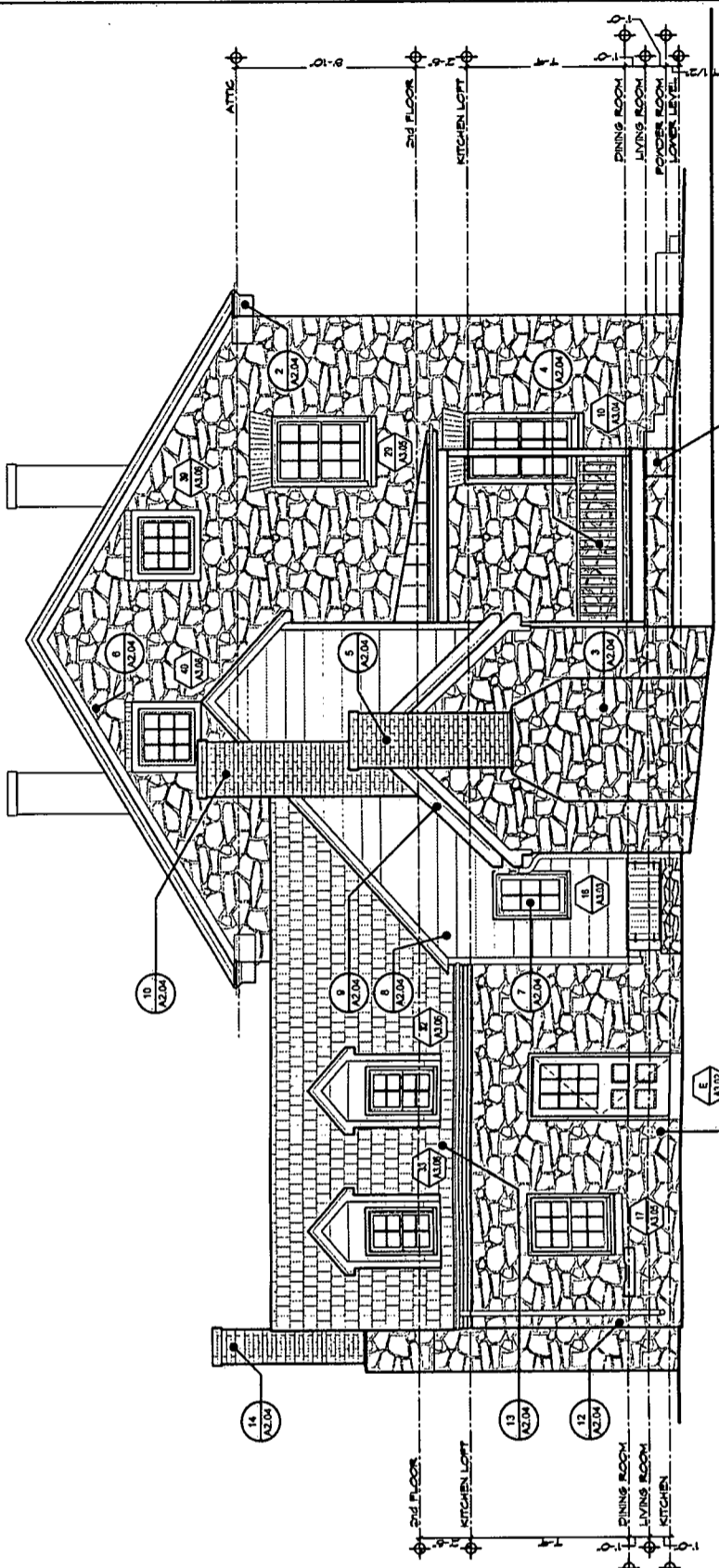
12 STONE DETAIL @ NORTHWEST CORNER OF KITCHEN
 A2.04

NO WORK REQUIRED w/ STONE. REPOINT BAD JOINTS AS NEEDED w/ MORTAR TO MATCH TYPE & COLOR OF EXISTING.



11 STONE DETAIL @ DOOR #1
 A2.04

NO WORK REQUIRED w/ STONE. REPOINT BAD JOINTS AS NEEDED w/ MORTAR TO MATCH TYPE & COLOR OF EXISTING.



1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

VERIFY THAT THESE DOCUMENTS WERE PREPARED BY A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. _____ EXPIRATION DATE _____

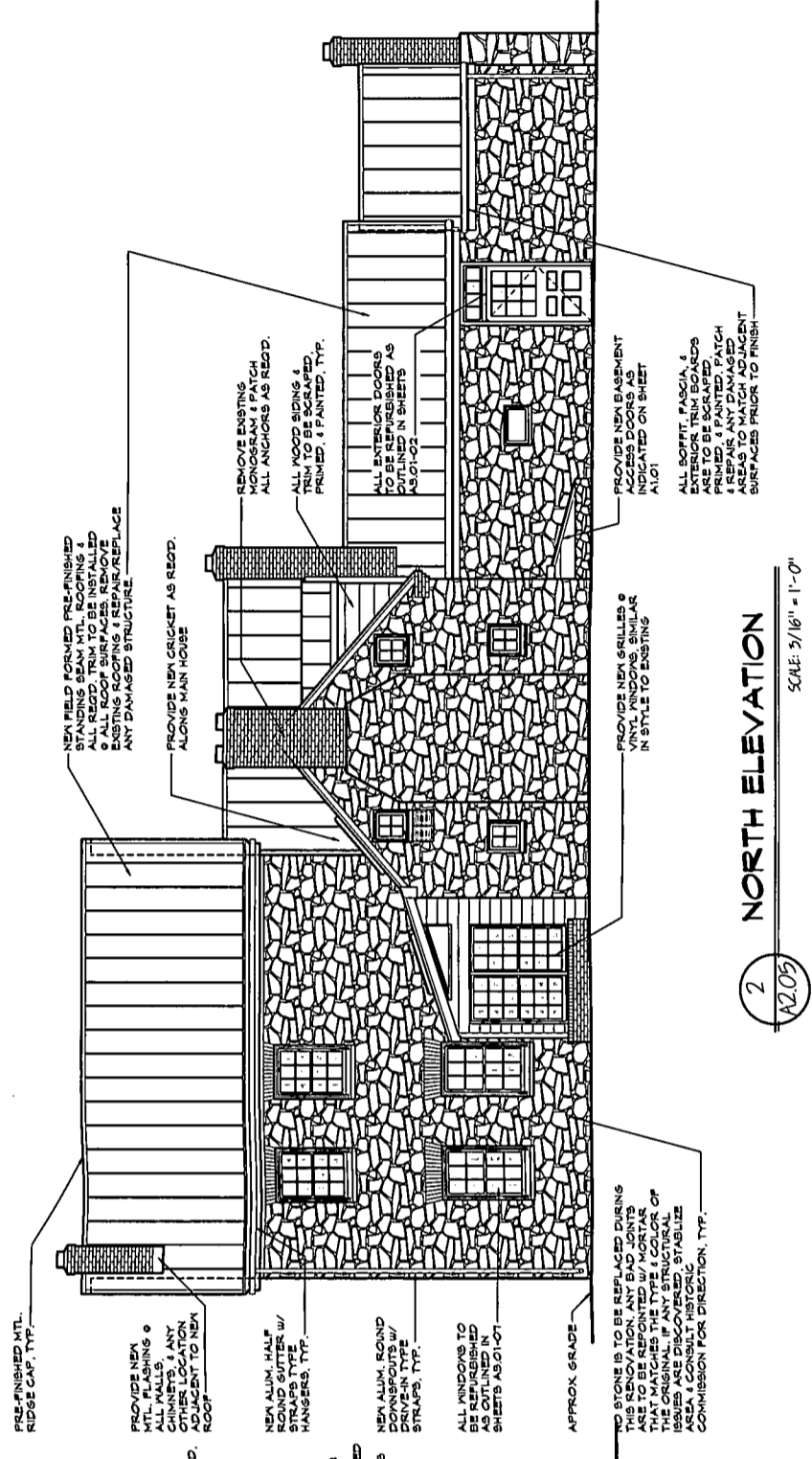
**HISTORIC PRESERVATION FOR:
 MOUNT CARMEL**
 DICKERSON, MD 20842
 EXTERIOR ELEVATIONS - NEW WORK
 BMGM ARCHITECTS P.C.
 18129 OAK RIDGE DRIVE, HAGERSTOWN, MARYLAND 21740
 (PHONE) 301.797.9520 (FAX) 301.797.9521 -- WWW.BMGMARCHITECTS.COM

PROJECT: NORTH

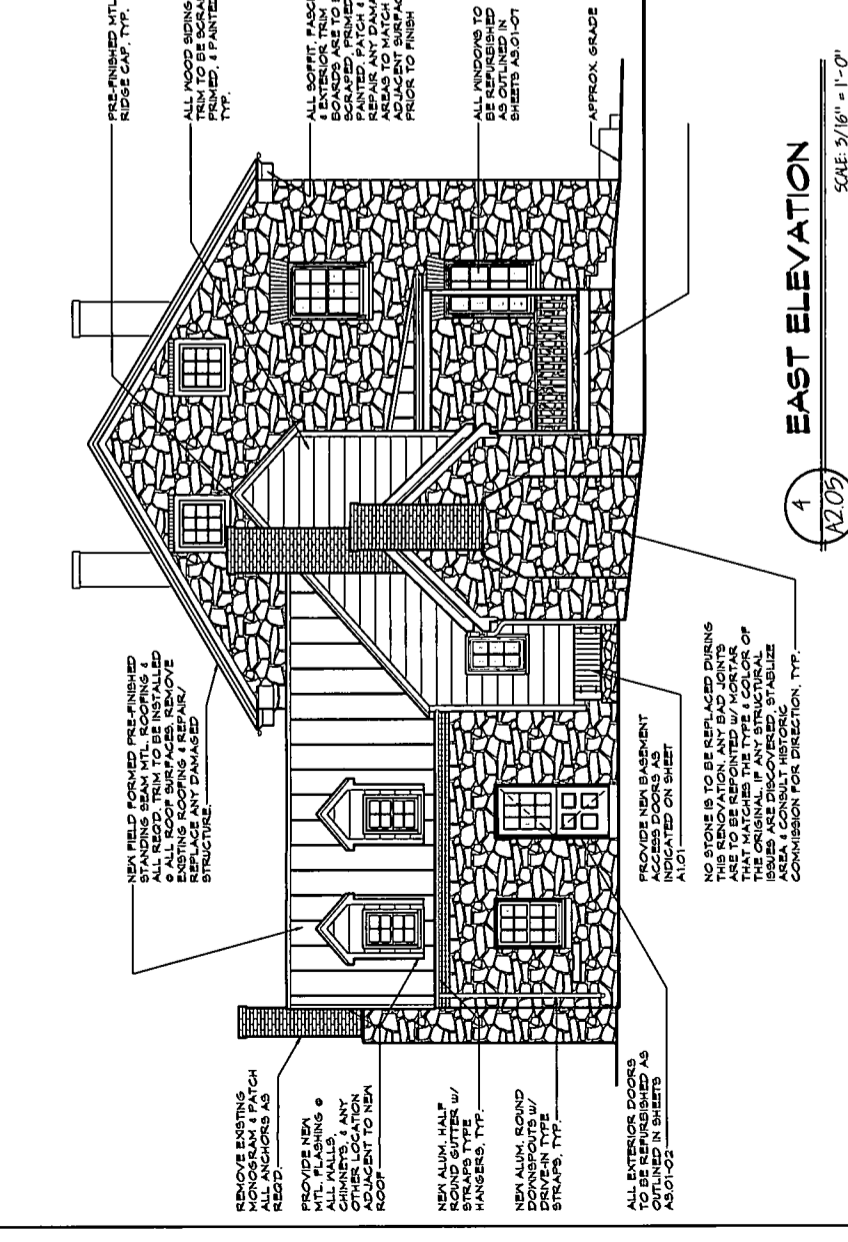
SHEET
A2.05
NUMBER

DATE: 25 OCTOBER, 2010
 SCALE: AS NOTED
 AS NOTED
 BMGM PROJECT No. 08-0000 DRAWN BY: KJO
 2010-20

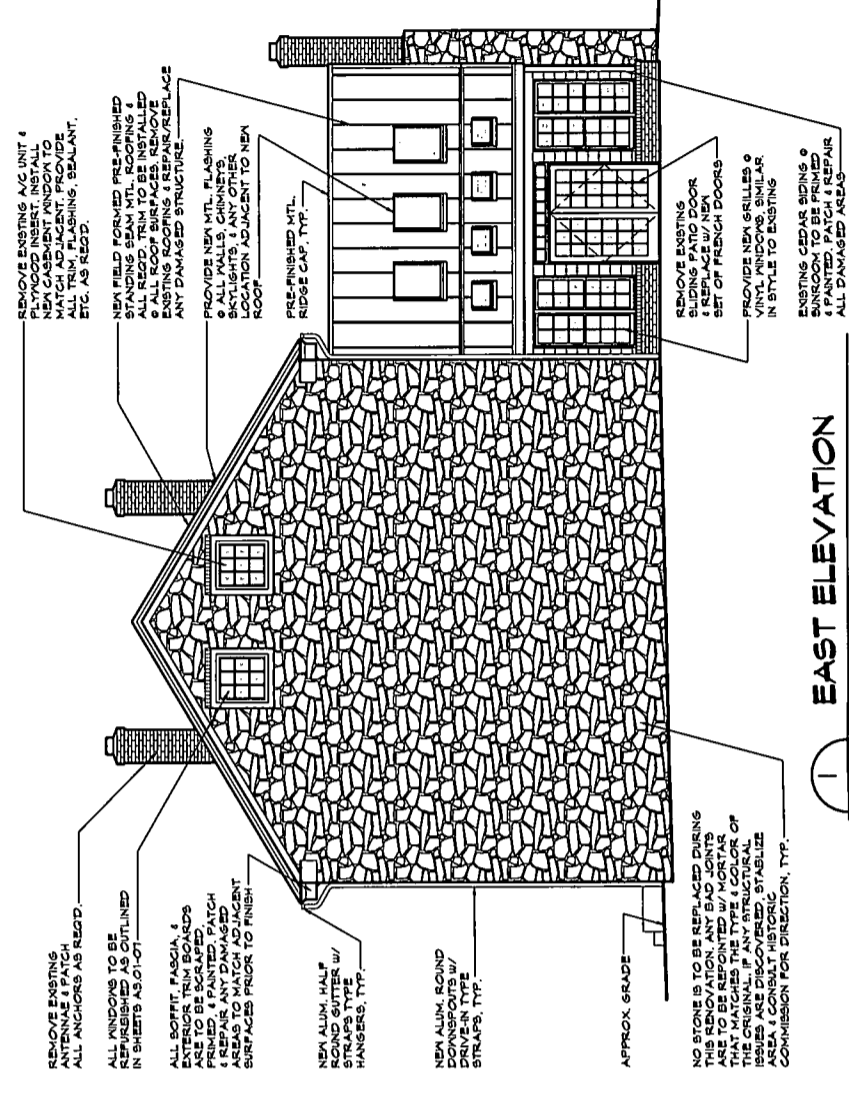
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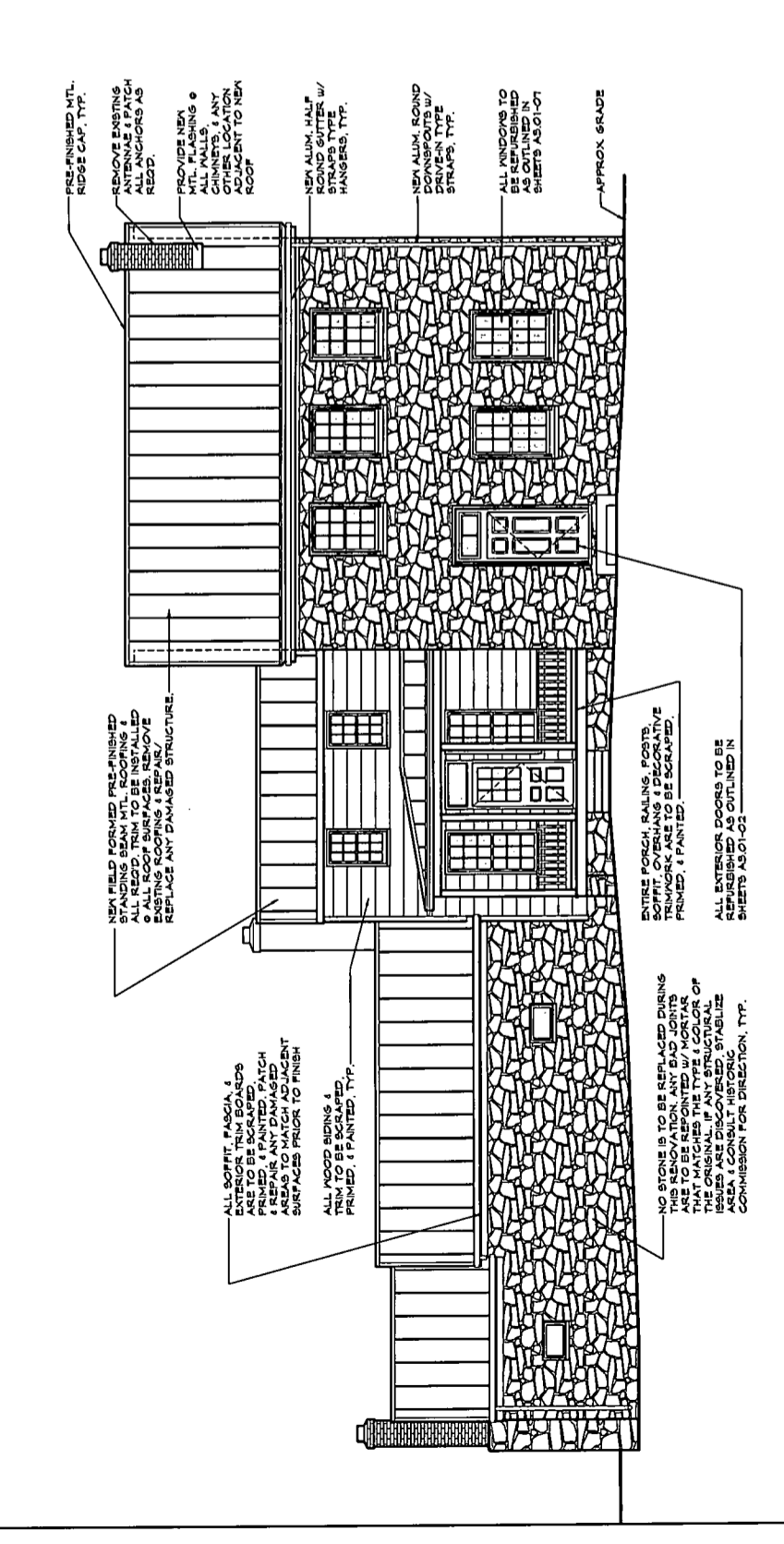
2 NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



4 EAST ELEVATION
 SCALE: 3/16" = 1'-0"

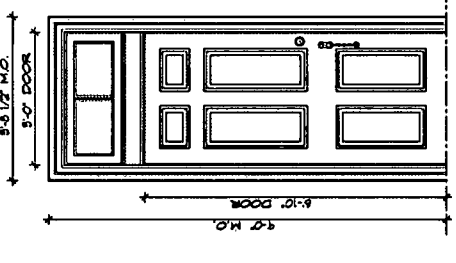


1 EAST ELEVATION
 SCALE: 3/16" = 1'-0"

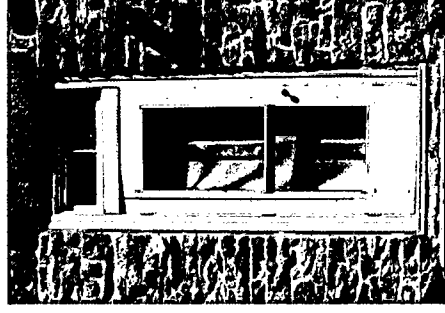


3 SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

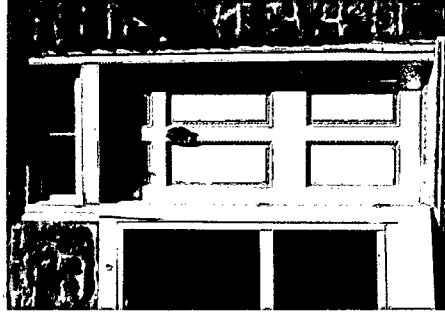
- EXISTING PANEL DOOR w/ A 2 LITE TRANSOM
- ENTIRE DOOR & FRAME TO BE SCRAPED & REPAINTED
- PROVIDE NEW CALLING
- CLEAN ALL EXISTING HARDWARE & RETURN TO FULLY FUNCTIONAL OPERATION
- PROVIDE A FULL SET OF NEW WEATHER STRIPPING
- REMOVE EXISTING SCREEN DOOR & HARDWARE
- PROVIDE NEW, APPROX. SIZE 35-3/4" x 83-1/2" TRANSOM TO BE REGLAZED
- PROVIDE NEW STORM SASH FOR TRANSOM, APPROX. SIZE 15-3/4" x 35-1/2" W



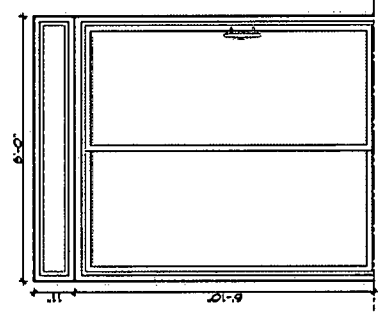
DOOR B - FULL ELEVATION w/ SCREEN DOOR CLOSED



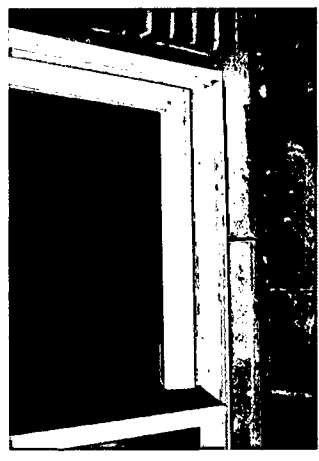
DOOR B - FULL ELEVATION w/ SCREEN DOOR OPEN



- REMOVE EXISTING SIDING PAINT
- DOOR w/ TRANSOM
- REPLACE w/ NEW PAIR OF FRENCH DOORS w/ DIVIDED LITES
- PROVIDE DIVIDED LITE IN TRANSOM
- PROVIDE ALL CALLING, TRIM, FLASHING & ANCHORS AS REQ'D.
- FOR DOOR INSTALLATION
- PROTECT ALL ADJACENT AREAS DURING NEW WORK. CC WILL BE RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGED AREAS



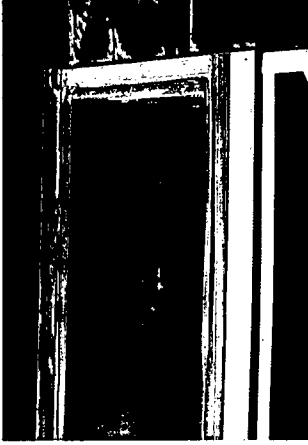
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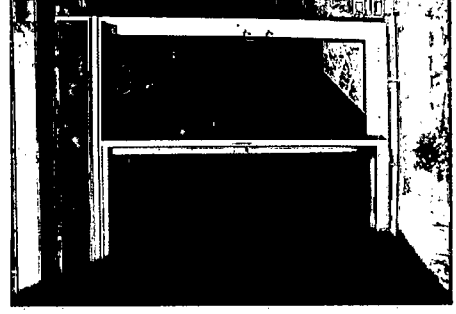
DOOR A - THRESHOLD UPON REMOVING EXISTING DOOR. RESET MASONRY UNITS @ DOOR SILL & REGROUT.



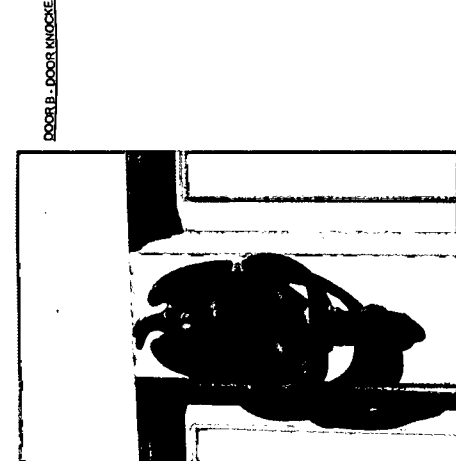
DOOR B - TRANSOM



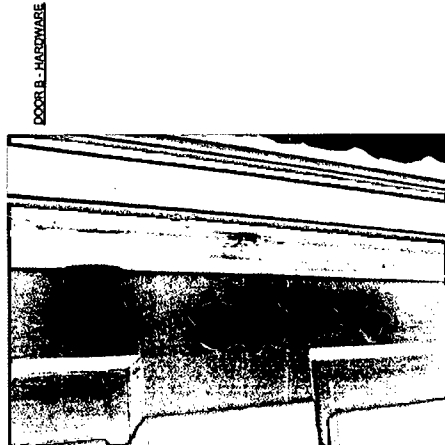
DOOR A - TRANSOM EXISTING TRANSOM TO BE REMOVED w/ DOOR. NEW DOOR TO HAVE INTEGRAL TRANSOM.



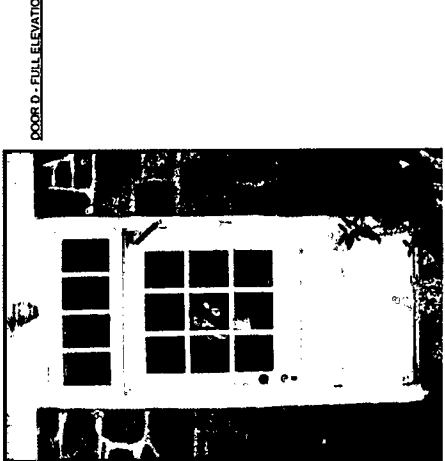
DOOR A - FULL ELEVATION



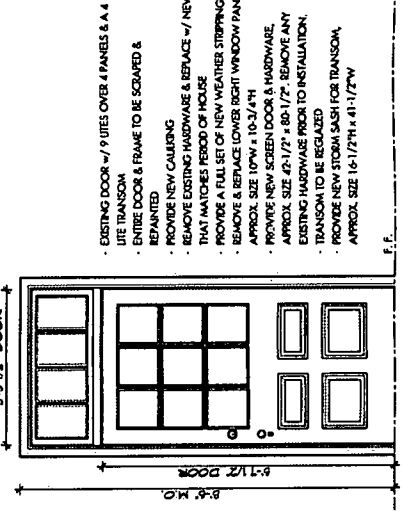
DOOR B - DOOR KNOCKER



DOOR B - HARDWARE

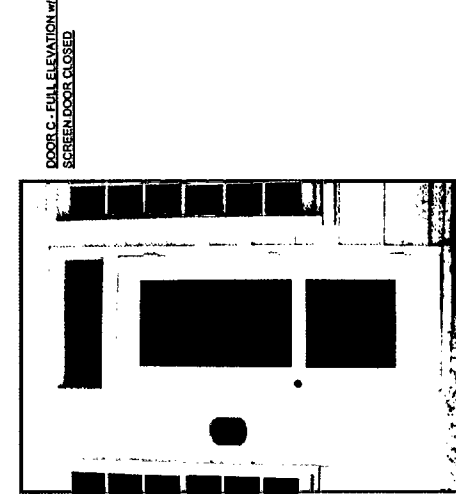


DOOR D - FULL ELEVATION

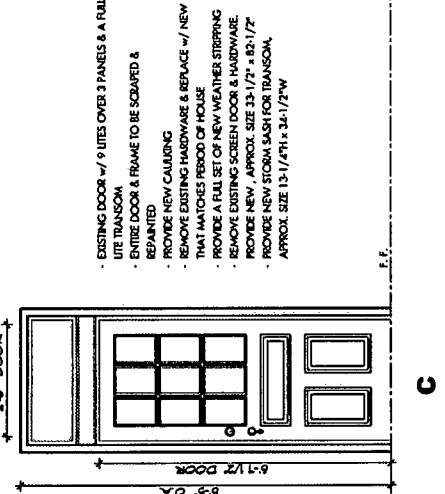


D

- EXISTING DOOR w/ 9 LITES OVER 4 PANELS & A 4 LITE TRANSOM
- ENTIRE DOOR & FRAME TO BE SCRAPED & REPAINTED
- PROVIDE NEW CALLING
- REMOVE EXISTING HARDWARE & REPLACE w/ NEW THAT MATCHES PERIOD OF HOUSE
- PROVIDE A FULL SET OF NEW WEATHER STRIPPING
- REMOVE & REPLACE LOWER RIGHT WINDOW PANE, APPROX. SIZE 10"W x 10-3/4"H
- PROVIDE NEW SCREEN DOOR & HARDWARE, APPROX. SIZE 43-1/2" x 80-1/2"
- REMOVE ANY EXISTING HARDWARE PRIOR TO INSTALLATION, TRANSOM TO BE REGLAZED
- PROVIDE NEW STORM SASH FOR TRANSOM, APPROX. SIZE 16-1/2" x 41-1/2" W

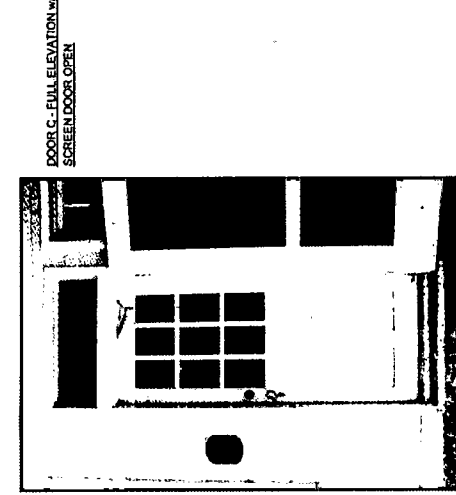


DOOR C - FULL ELEVATION w/ SCREEN DOOR CLOSED

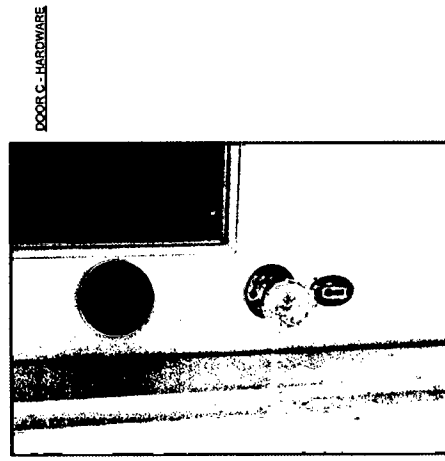


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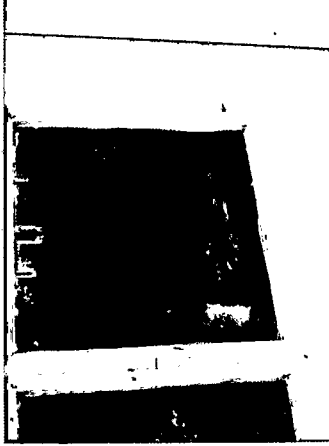
- EXISTING DOOR w/ 9 LITES OVER 3 PANELS & A FULL LITE TRANSOM
- ENTIRE DOOR & FRAME TO BE SCRAPED & REPAINTED
- PROVIDE NEW CALLING
- REMOVE EXISTING HARDWARE & REPLACE w/ NEW THAT MATCHES PERIOD OF HOUSE
- PROVIDE A FULL SET OF NEW WEATHER STRIPPING
- REMOVE EXISTING SCREEN DOOR & HARDWARE
- PROVIDE NEW, APPROX. SIZE 35-1/2" x 83-1/2" TRANSOM TO BE REGLAZED
- PROVIDE NEW STORM SASH FOR TRANSOM, APPROX. SIZE 15-3/4" x 35-1/2" W



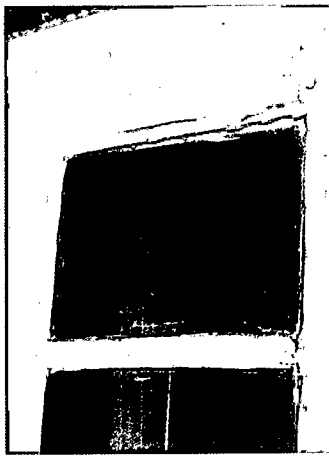
DOOR C - FULL ELEVATION w/ SCREEN DOOR OPEN



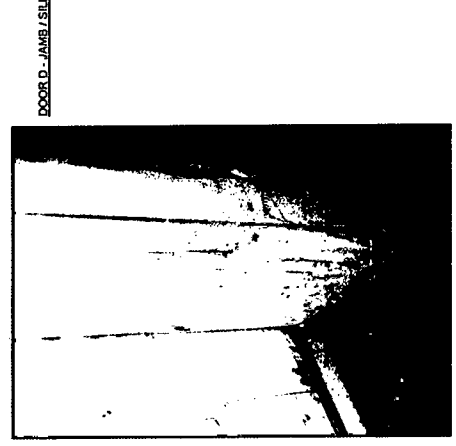
DOOR C - HARDWARE



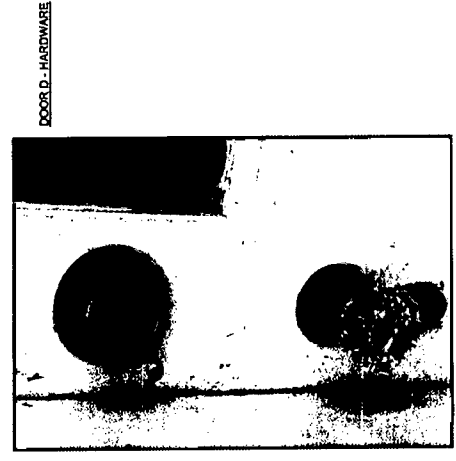
DOOR D - LOWER RIGHT WINDOW PANE



DOOR D - TRANSOM



DOOR D - JAMB/SILL



DOOR D - HARDWARE



BMGM ARCHITECTS P.C.
 18129 Oak Ridge Drive
 Hagerstown, Maryland 21740
 Phone - 301.797.9520
 Fax - 301.797.9521
 www.bmgmarchitects.com

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**HISTORIC PRESERVATION FOR:
 MOUNT CARMEL**
 DICKERSON, MD 20842

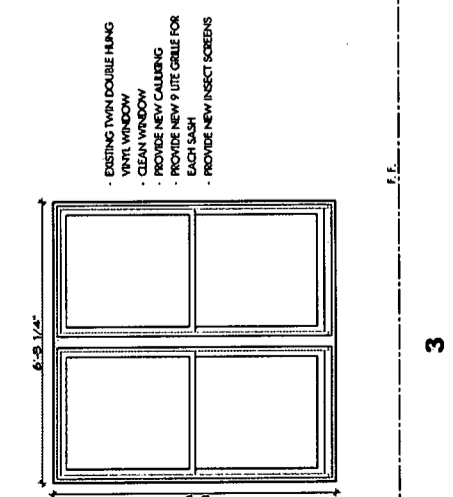
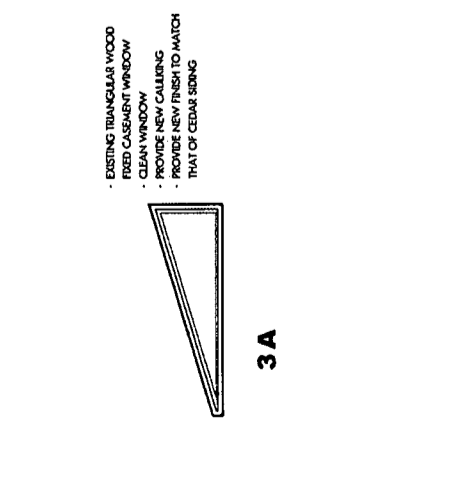
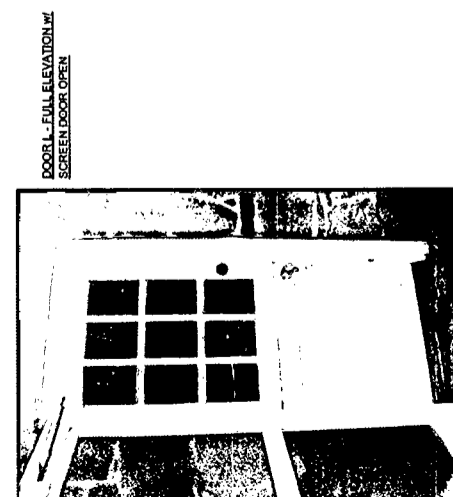
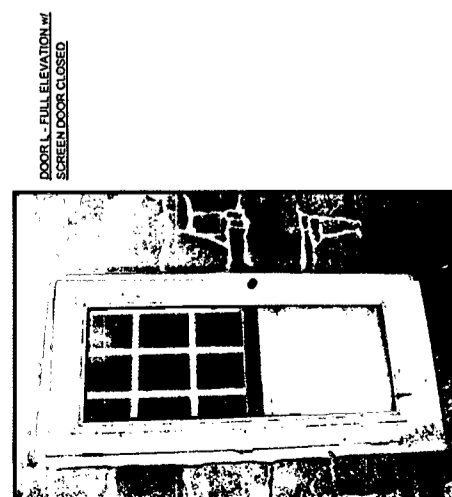
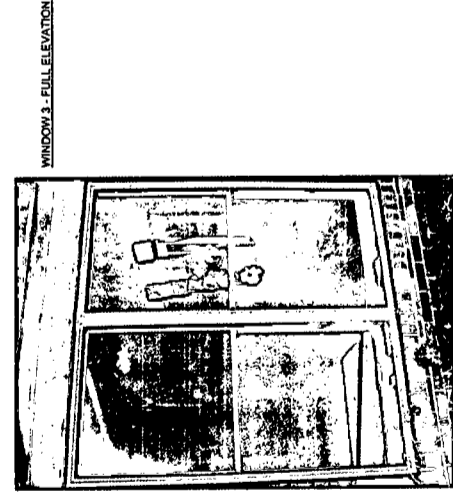
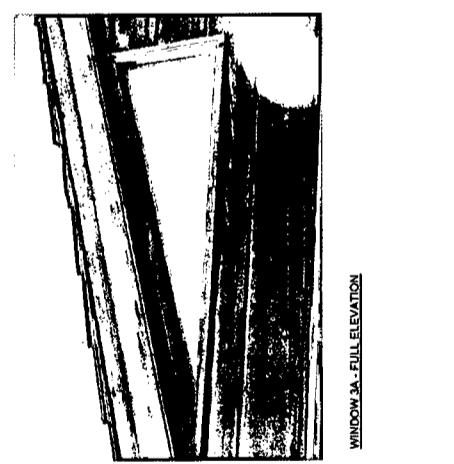
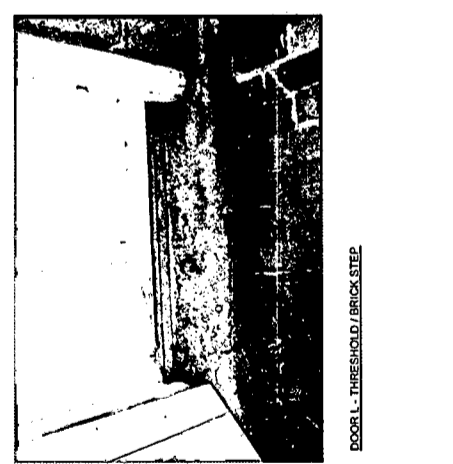
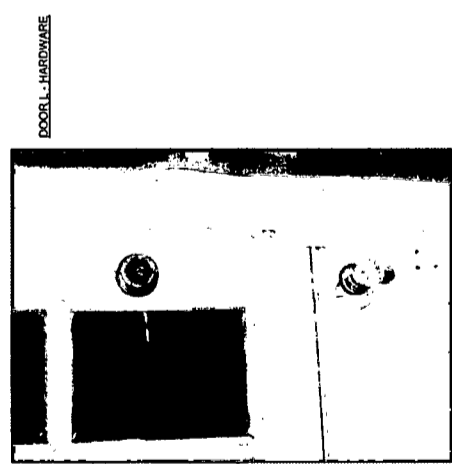
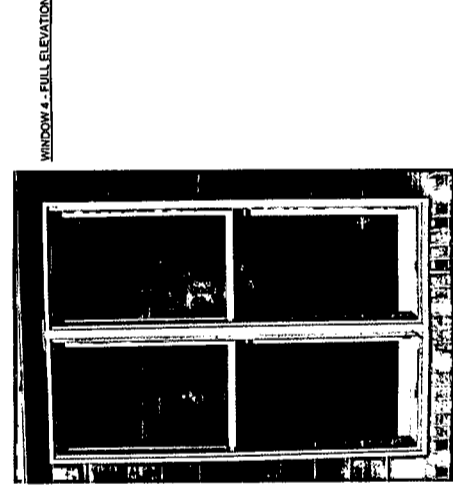
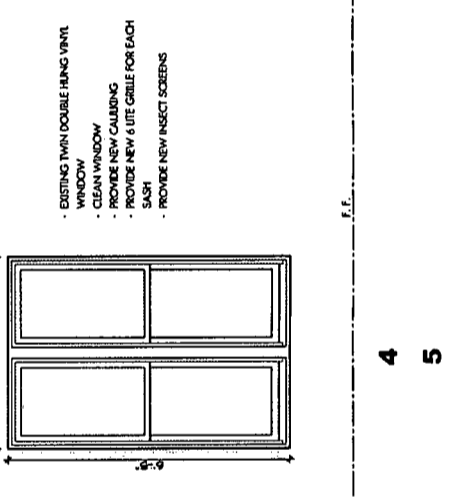
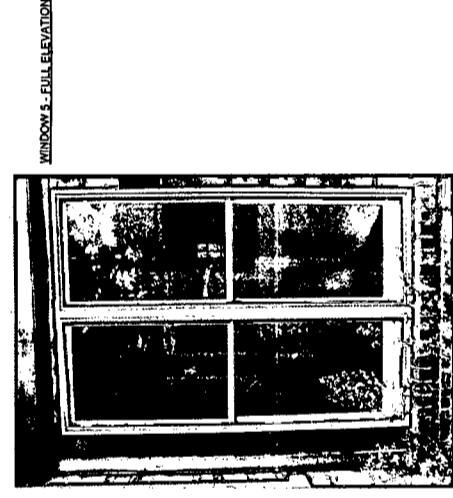
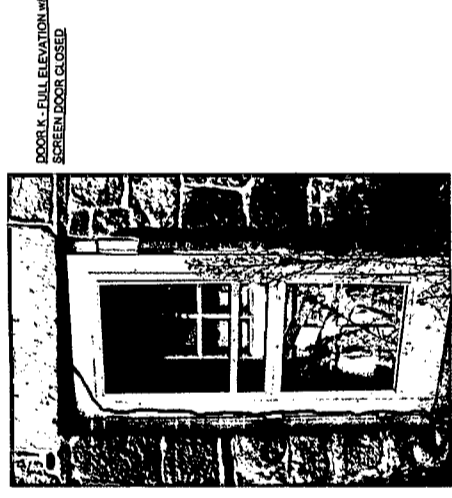
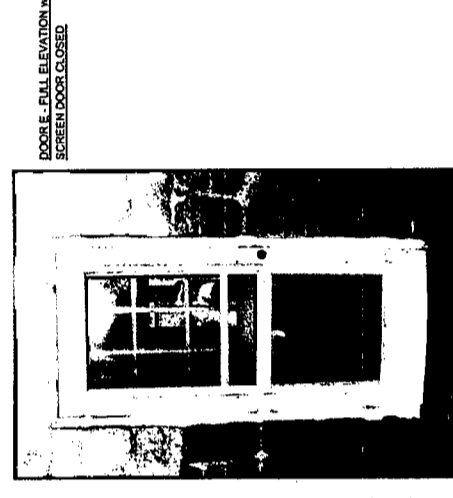
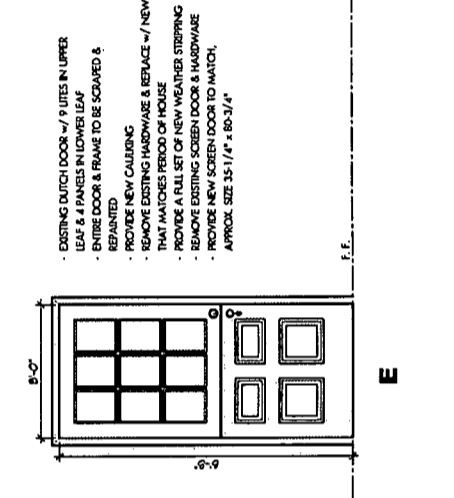
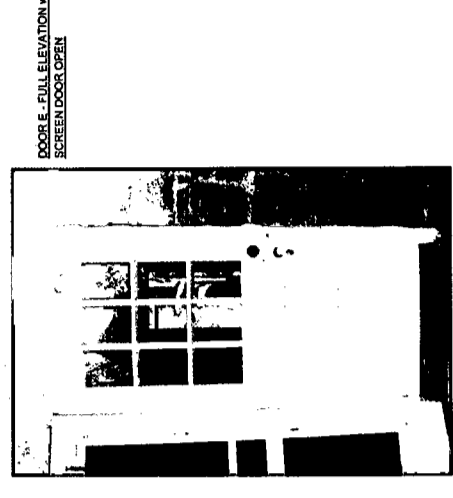
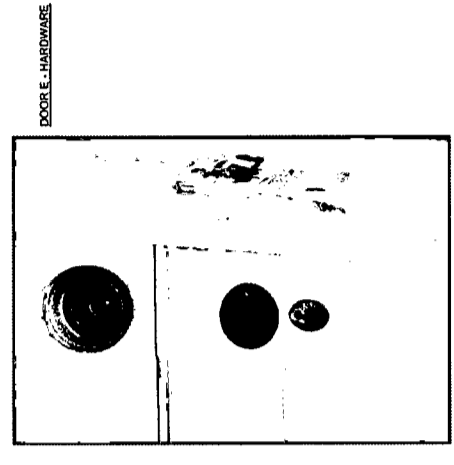
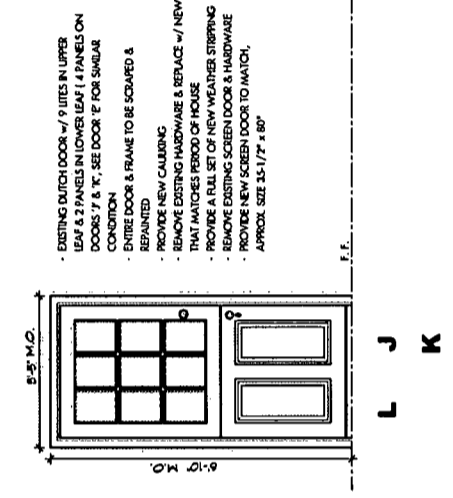
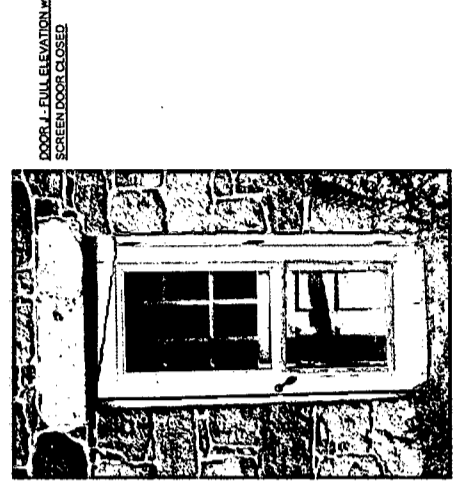
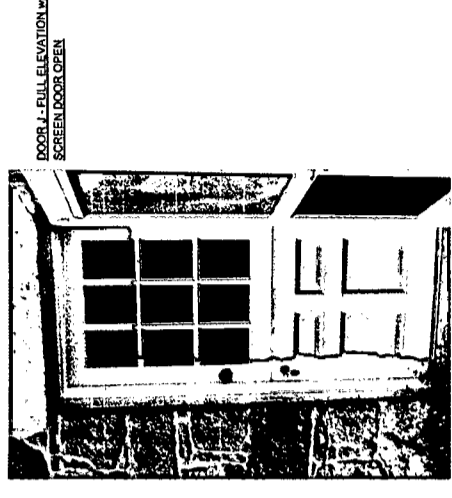
EXISTING DOOR & WINDOW ANALYSIS
 BMGM ARCHITECTS P.C.
 18129 OAK RIDGE DRIVE, HAGERSTOWN, MARYLAND 21740
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PROJECT NORTH

A3.02
 SHEET NUMBER

DATE: 25 OCTOBER 2010
 SCALE: AS NOTED
 DRAWN BY: KIO
 PROJECT NO: 2010-20

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**HISTORIC PRESERVATION FOR:
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 DICKERSON, MD 20842**

EXISTING WINDOW ANALYSIS

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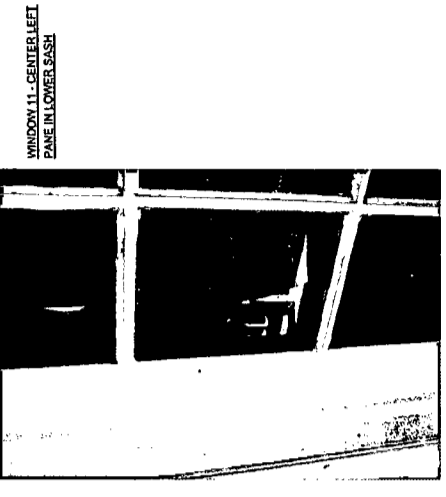
PROJECT NORTH

**SHEET
 A3.03
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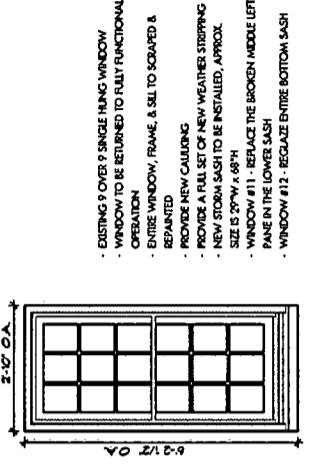
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 DRAWN BY: KJO
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WINDOW 11 - CENTER LEFT PANE IN LOWER SASH



- EXISTING 9 OVER 9 SINGLE HUNG WINDOW
- WINDOW TO BE RETURNED TO FULLY FUNCTIONAL OPERATION
- ENTIRE WINDOW, FRAME, & SILL TO SCRAPED & REPAINTED
- PROVIDE NEW CALLING
- PROVIDE A FULL SET OF NEW WEATHER STRIPPING
- REMOVE EXISTING STORM SASH & PROVIDE NEW, APPROX. SIZE IS 20"W x 15-1/4"H
- WINDOW #11 - REPLACE THE BROKEN MIDDLE LEFT PANE WITH A NEW ONE
- WINDOW #11 - REGLAZE ENTIRE BOTTOM SASH

F.F.

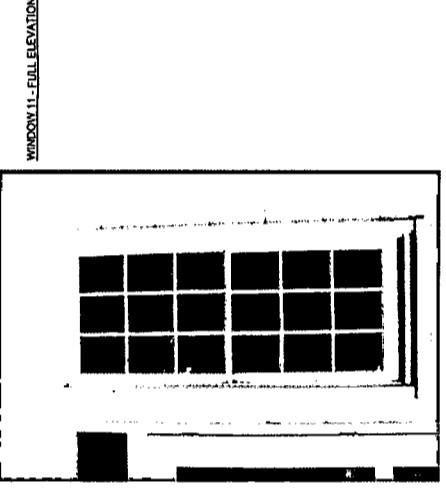
11
12



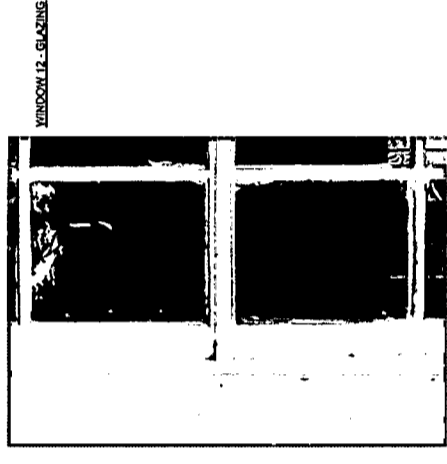
- WINDOW 1 - FULL ELEVATION
- NO STONE IS TO BE REPLACED AT THIS TIME, ONLY REPOINTING OF JOINTS AS REQUIRED. HOWEVER, VERIFY CONDITION OF STONE AROUND WINDOW. ESPECIALLY AT LUNTEL. POSSES NO STRUCTURAL ISSUE. IF ADDITIONAL WORK IS DETERMINED TO BE NECESSARY, STABILIZE CONDITION AND CONSULT HISTORIC COMMISSION FOR DETAILS ON HOW TO PROCEED.



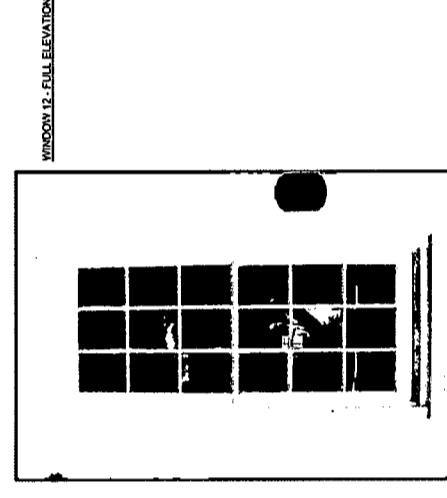
WINDOW 1 - SILL



WINDOW 11 - FULL ELEVATION

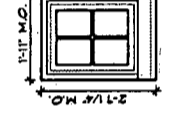


WINDOW 12 - GLAZING



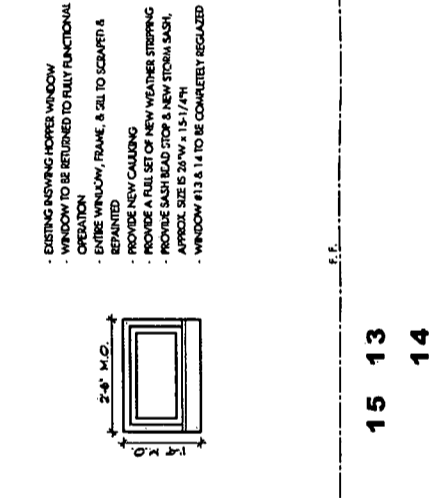
WINDOW 2 - FULL ELEVATION

- EXISTING 4 LITE INSWING CASSEMENT WINDOW
- WINDOW TO BE RETURNED TO FULLY FUNCTIONAL OPERATION
- ENTIRE WINDOW, FRAME, & SILL TO SCRAPED & REPAINTED
- PROVIDE NEW CALLING
- PROVIDE A FULL SET OF NEW WEATHER STRIPPING
- REGLAZE EXISTING WINDOW PANE AS REQUIRED
- PROVIDE NEW STORM SASH, APPROX. SIZE IS 20-1/2"W x 24-1/2"H



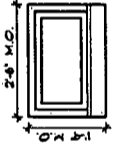
F.F.

1
2



WINDOW 13 - FULL ELEVATION

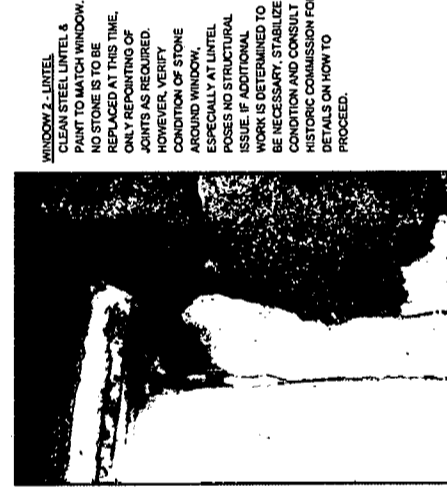
- EXISTING INSWING HORSE WINDOW
- WINDOW TO BE RETURNED TO FULLY FUNCTIONAL OPERATION
- ENTIRE WINDOW, FRAME, & SILL TO SCRAPED & REPAINTED
- PROVIDE NEW CALLING
- PROVIDE A FULL SET OF NEW WEATHER STRIPPING
- PROVIDE SASH BEAD STOP & NEW STORM SASH, APPROX. SIZE IS 20"W x 15-1/4"H
- WINDOW #13 & 14 TO BE COMPLETELY REGLAZED



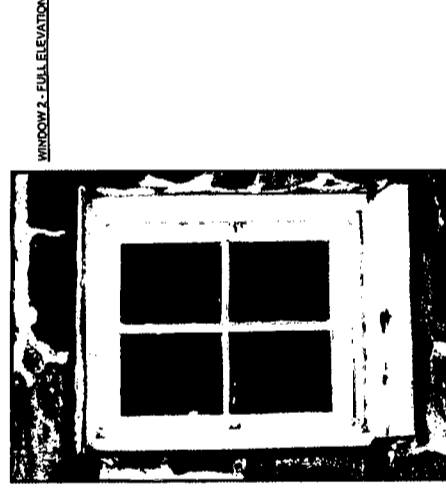
15
13
14



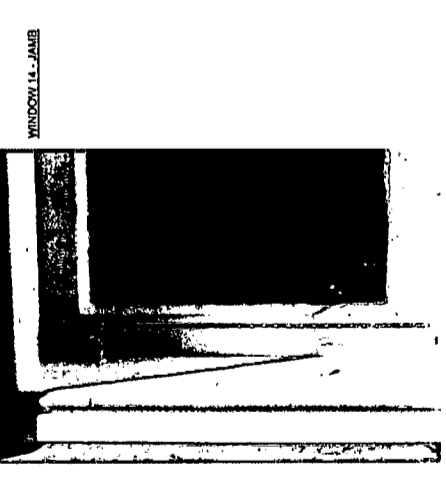
WINDOW 15 - FULL ELEVATION



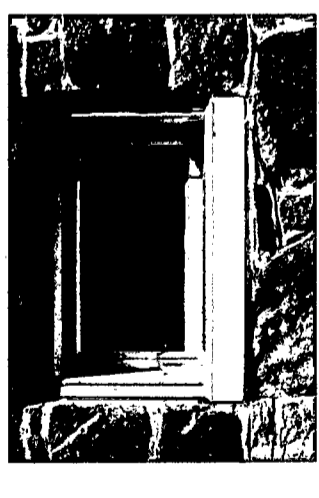
- WINDOW 2 - LUNTEL
- CLEAN STEEL LUNTEL & PAINT TO MATCH WINDOW.
 - NO STONE IS TO BE REPLACED AT THIS TIME, ONLY REPOINTING OF JOINTS AS REQUIRED.
 - PROVIDE A FULL SET OF NEW WEATHER STRIPPING AROUND WINDOW
 - ESPECIALLY AT LUNTEL
 - POSSES NO STRUCTURAL ISSUE. IF ADDITIONAL WORK IS DETERMINED TO BE NECESSARY, STABILIZE CONDITION AND CONSULT HISTORIC COMMISSION FOR DETAILS ON HOW TO PROCEED.



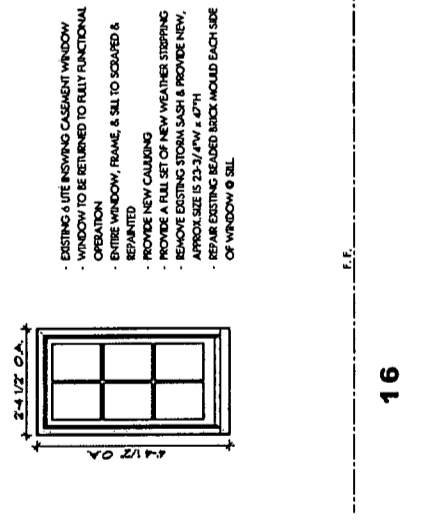
WINDOW 2 - FULL ELEVATION



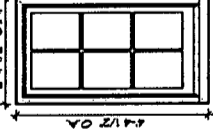
WINDOW 14 - JAMB



WINDOW 14 - FULL ELEVATION

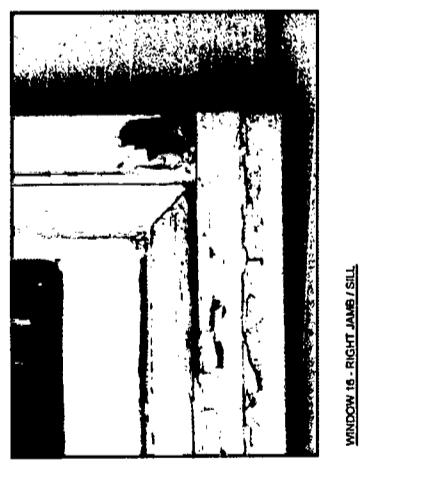


- EXISTING 4 LITE INSWING CASSEMENT WINDOW
- WINDOW TO BE RETURNED TO FULLY FUNCTIONAL OPERATION
- ENTIRE WINDOW, FRAME, & SILL TO SCRAPED & REPAINTED
- PROVIDE NEW CALLING
- REMOVE EXISTING STORM SASH & PROVIDE NEW, APPROX. SIZE IS 23-3/4"W x 40"H
- REPAIR EXISTING REARDED BRICK MOUND EACH SIDE OF WINDOW & SILL

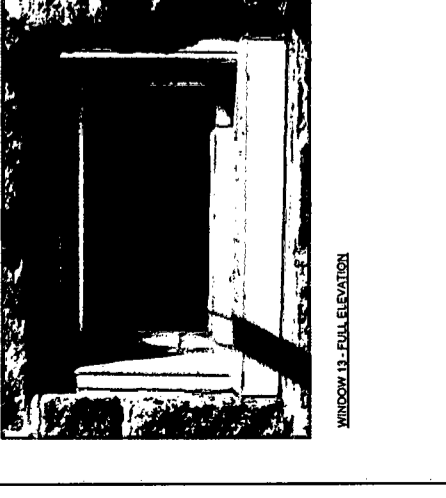


F.F.

16



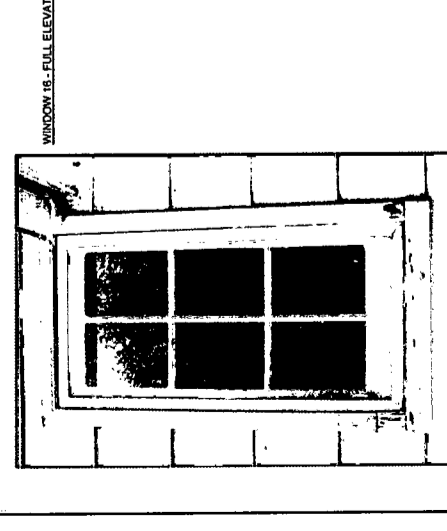
WINDOW 16 - RIGHT JAMB / SILL



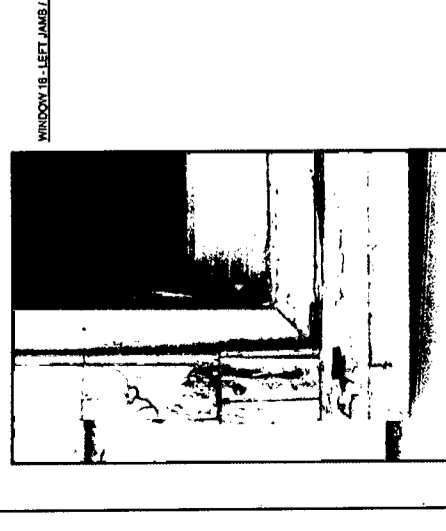
WINDOW 13 - FULL ELEVATION



WINDOW 13 - SILL



WINDOW 16 - FULL ELEVATION



WINDOW 16 - LEFT JAMB / SILL

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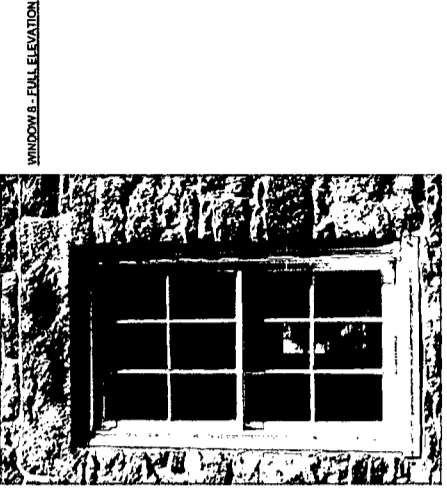
EXISTING WINDOW ANALYSIS
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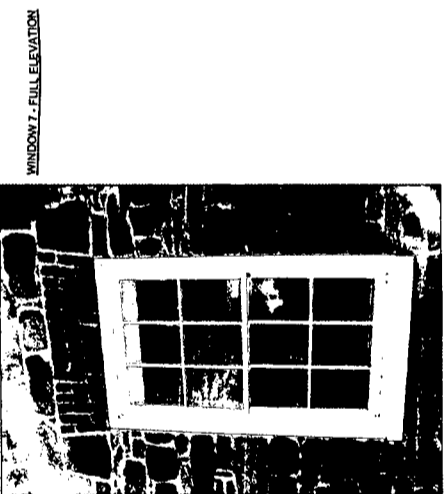
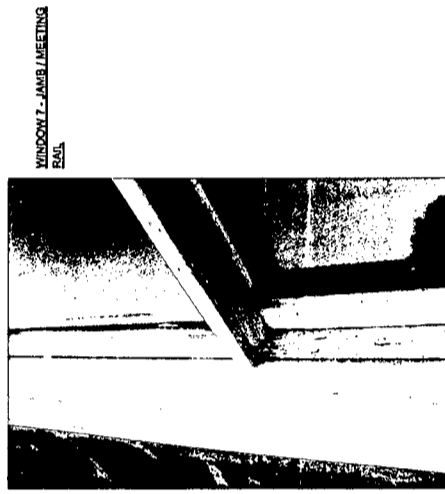
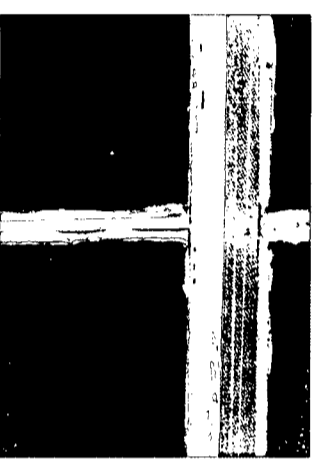
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 NUMBER**

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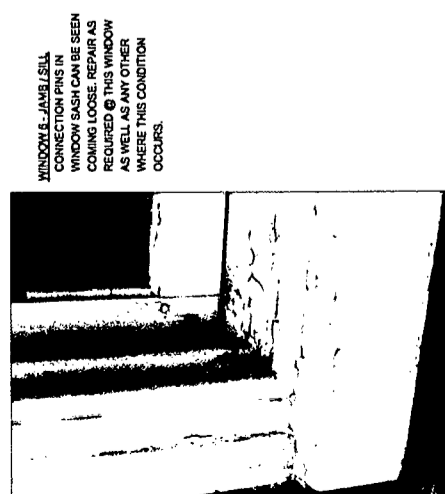
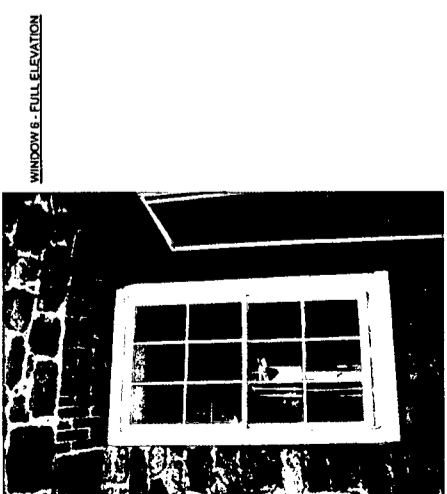
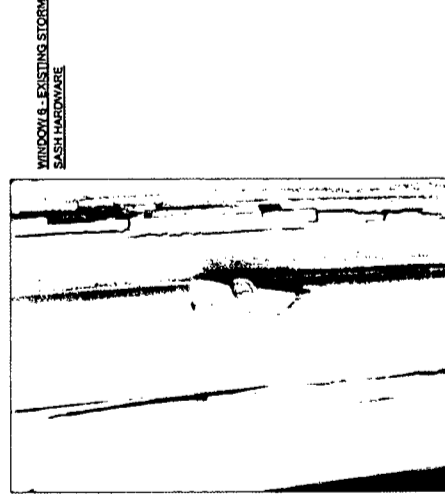
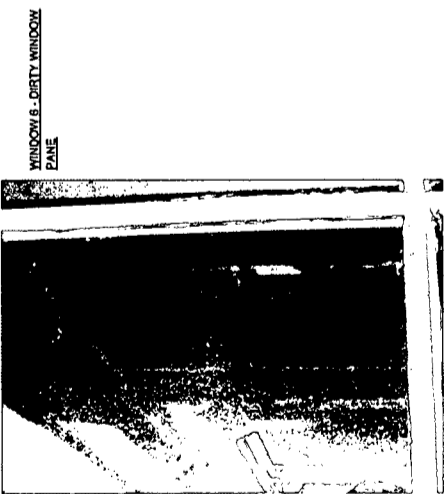
CONNECTION PINS IN WINDOW SASH CAN BE SEEN COMING LOOSE. REPAIR AS REQUIRED @ THIS WINDOW AS WELL AS ANY OTHER WHERE THIS CONDITION OCCURS.



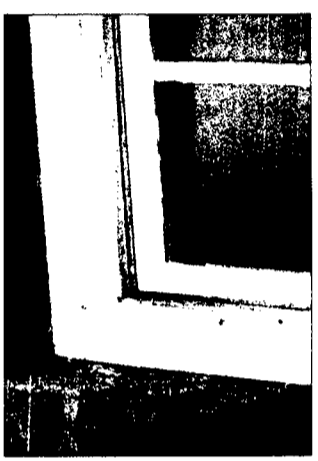
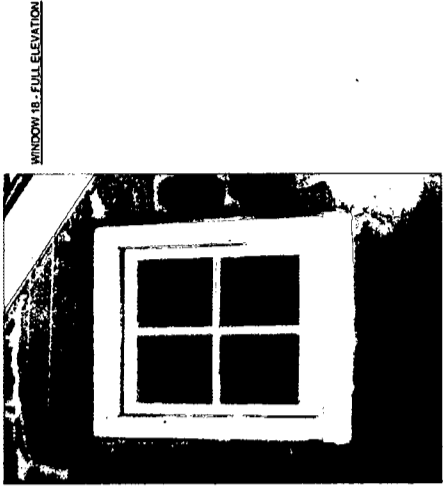
EXISTING 6 OVER 6 DOUBLE HUNG WINDOW CONVERTED TO SINGLE HUNG SINGLE HUNG OPERATION
 ENTIRE WINDOW, FRAME, & SILL TO BE SCRAWLED & REPAINTED
 PROVIDE NEW CALKING
 ALL WINDOW PANES ARE TO BE FULLY CLEANED & REGLAZED
 PROVIDE A FULL SET OF NEW WEATHER STRIPPING
 NEW STORM SASH TO BE INSTALLED, APPROX. SIZE IS 34" W x 62" H

5'-5" M.O.
 5'-1 1/2" M.O.

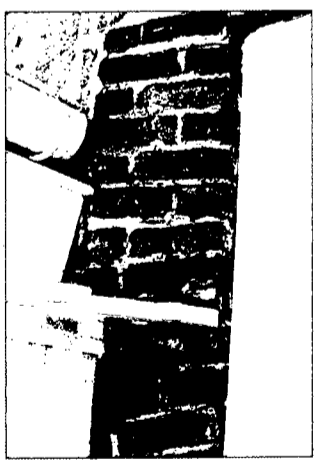
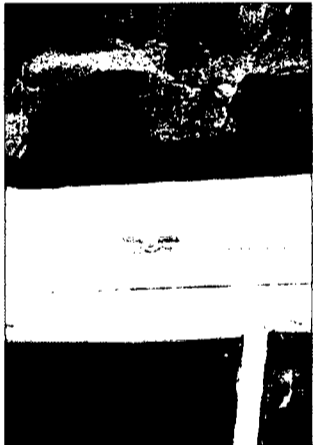
6 8 10
 7 9



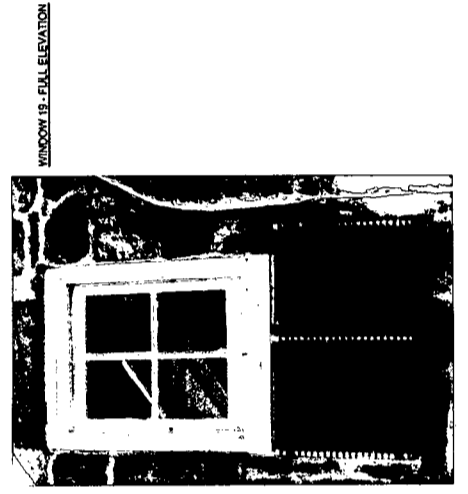
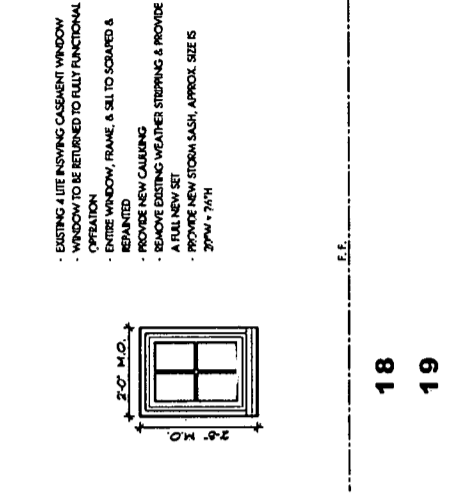
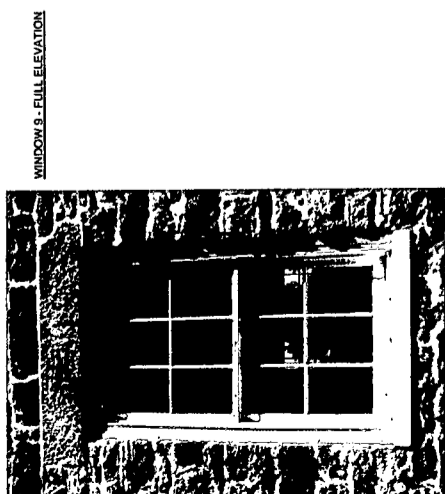
CONNECTION PINS IN WINDOW SASH CAN BE SEEN COMING LOOSE. REPAIR AS REQUIRED @ THIS WINDOW AS WELL AS ANY OTHER WHERE THIS CONDITION OCCURS.



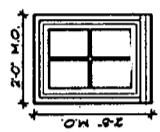
EXISTING WEATHERSTRIPPING IS VISIBLE. REMOVE & REPLACE AS INDICATED.



REPOINT BRICK @ EXISTING JACK ARCH LINTEL AS REQUIRED. VERIFY NO STRUCTURAL ISSUES EXIST.

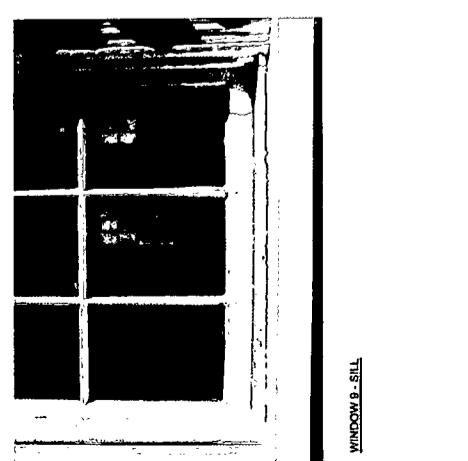
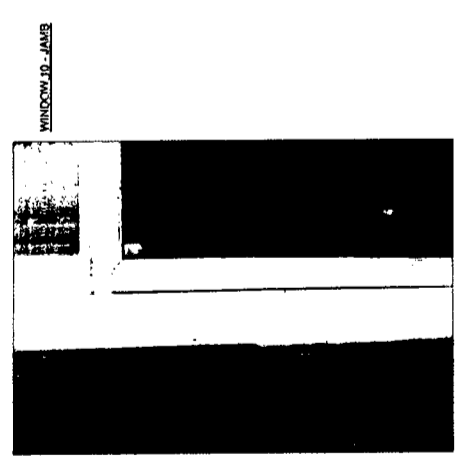


- EXISTING 4 LITE INSURING CASSETT WINDOW
- WINDOW TO BE RETURNED TO FULL FUNCTIONAL OPERATION
- ENTIRE WINDOW, FRAME, & SILL TO BE SCRAWLED & REPAINTED
- REPAIR NEW CALKING
- REMOVE EXISTING WEATHER STRIPPING & PROVIDE A FULL NEW SET
- PROVIDE NEW STORM SASH, APPROX. SIZE IS 30" W x 74" H



F.F.

18
 19



**HISTORIC PRESERVATION FOR:
 MOUNT CARMEL
 DICKERSON, MD 20842**

EXISTING WINDOW ANALYSIS

18129 OAK RIDGE DRIVE, HAGERSTOWN, MARYLAND 21740
 PHONE 301-797-9520 (FAX) 301-797-9521 - WWW.BMGARCHITECTS.COM

BMG ARCHITECTS P.C.

DATE: 25 OCTOBER 2010
 SCALE: AS NOTED
 DRAWN BY: KJO
 BMGM PROJECT NO: 2010-20

PROJECT NORTH

**SHEET
 A3.05
 NUMBER**

CONSTRUCTION DOCUMENTS

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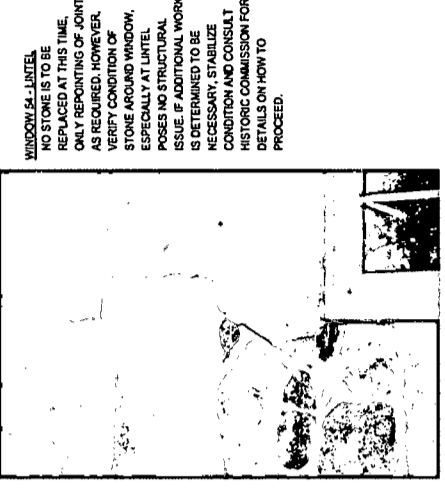
LIBRARY NO: _____
 EXPIRATION DATE: _____

LIBRARY NO: _____
 EXPIRATION DATE: _____

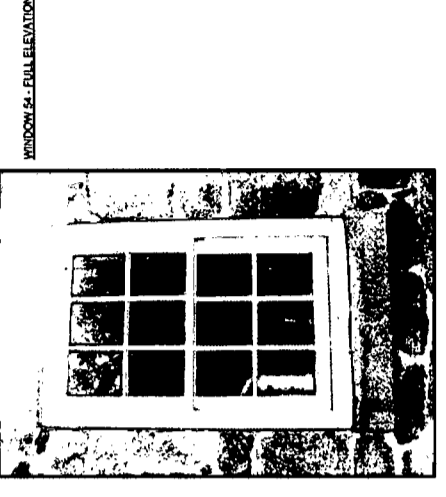
LIBRARY NO: _____
 EXPIRATION DATE: _____

LIBRARY NO: _____
 EXPIRATION DATE: _____

LIBRARY NO: _____
 EXPIRATION DATE: _____



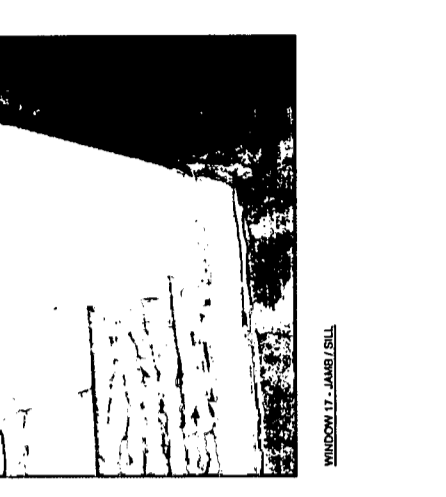
WINDOW 54 - LINTEL
 NO STONE IS TO BE REPLACED AT THIS TIME. ONLY REPOINTING OF JOINTS AS REQUIRED. HOWEVER, VERIFY CONDITION OF STONE AROUND WINDOW, ESPECIALLY AT LINTEL. POSSES NO STRUCTURAL ISSUE. IF ADDITIONAL WORK IS DETERMINED TO BE NECESSARY, STABILIZE CONDITION AND CONSULT HISTORIC COMMISSION FOR DETAILS ON HOW TO PROCEED.



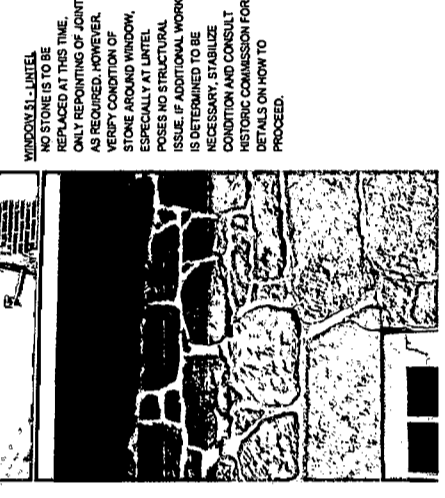
WINDOW 54 - FULL ELEVATION



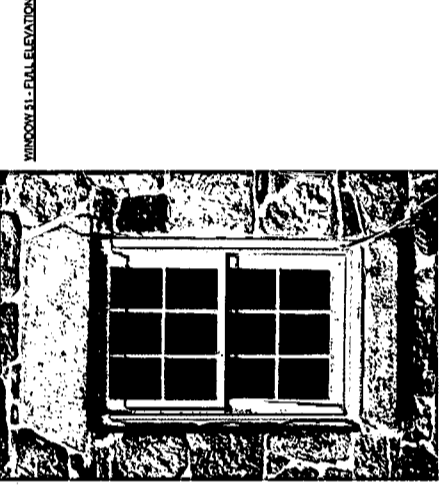
WINDOW 17 - GLAZING IN SETTING RAIL



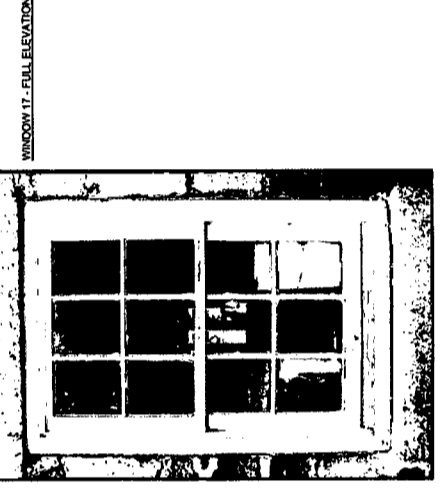
WINDOW 17 - JAMB / SILL



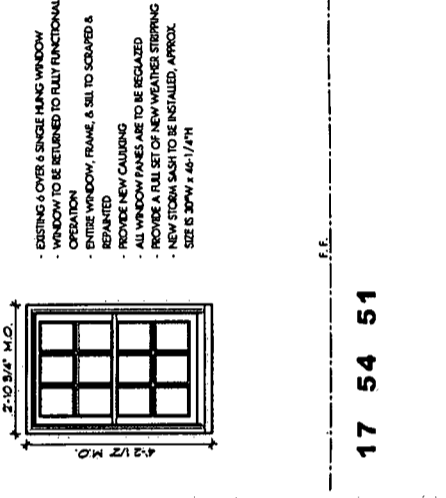
WINDOW 51 - LINTEL
 NO STONE IS TO BE REPLACED AT THIS TIME. ONLY REPOINTING OF JOINTS AS REQUIRED. HOWEVER, VERIFY CONDITION OF STONE AROUND WINDOW, ESPECIALLY AT LINTEL. POSSES NO STRUCTURAL ISSUE. IF ADDITIONAL WORK IS DETERMINED TO BE NECESSARY, STABILIZE CONDITION AND CONSULT HISTORIC COMMISSION FOR DETAILS ON HOW TO PROCEED.



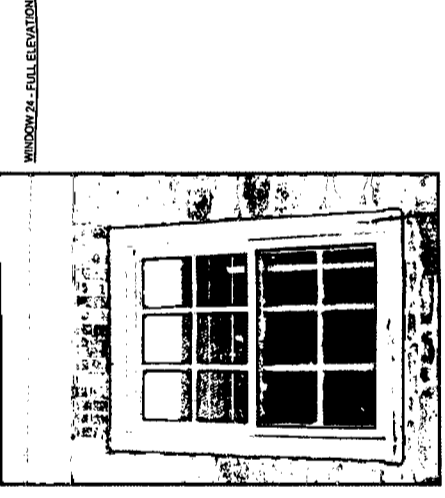
WINDOW 51 - FULL ELEVATION



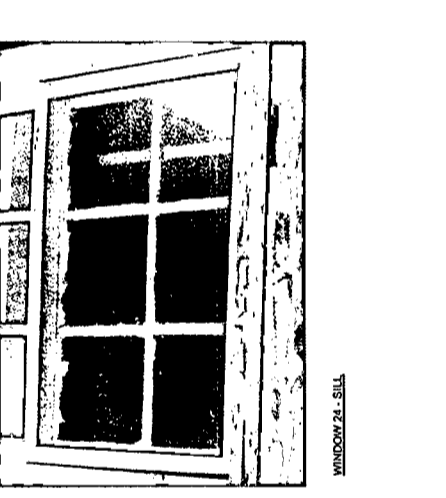
WINDOW 17 - FULL ELEVATION



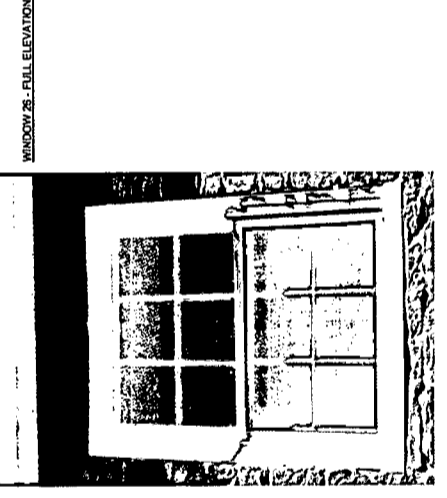
17 54 51



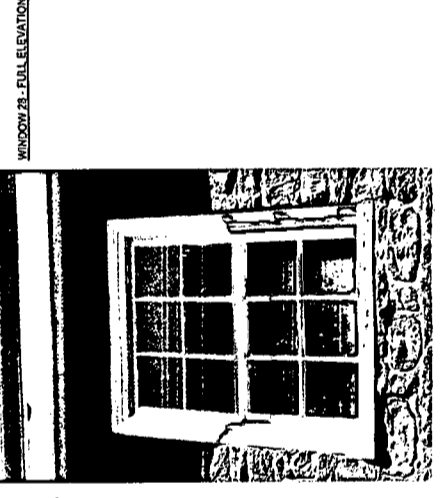
WINDOW 24 - FULL ELEVATION



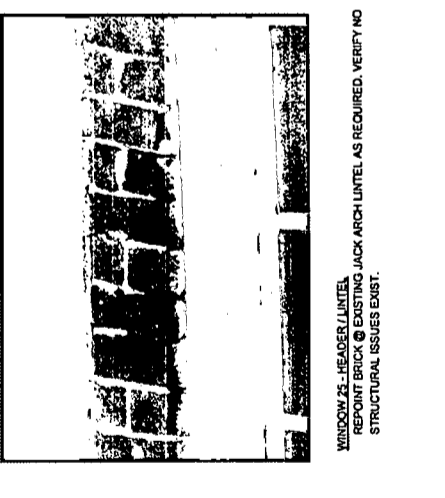
WINDOW 24 - SILL



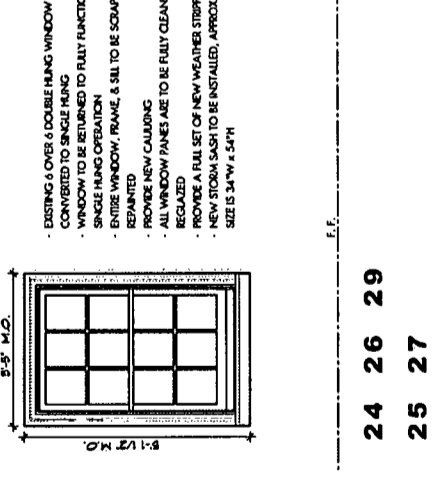
WINDOW 28 - FULL ELEVATION



WINDOW 28 - FULL ELEVATION



WINDOW 25 - HEADER / LINTEL
 REPOINT BRICK @ EXISTING JACK ARCH LINTEL AS REQUIRED. VERIFY NO STRUCTURAL ISSUES EXIST.

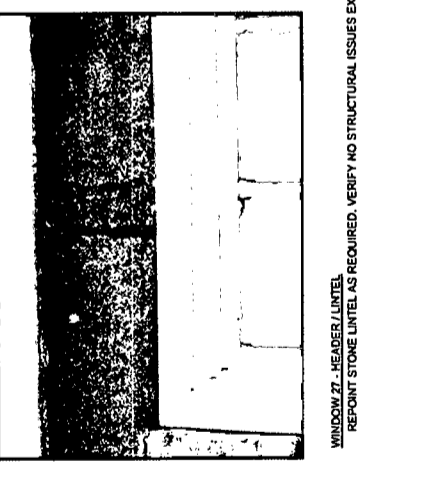


f.f.

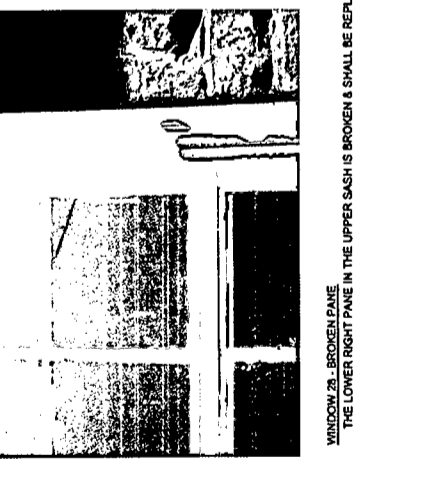
24 26 29

25 27

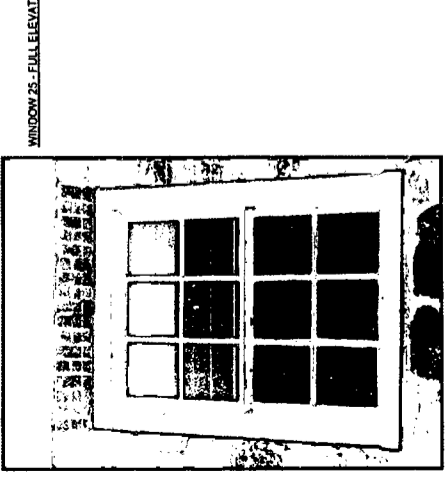
28



WINDOW 27 - HEADER / LINTEL
 REPOINT STONE LINTEL AS REQUIRED. VERIFY NO STRUCTURAL ISSUES EXIST.



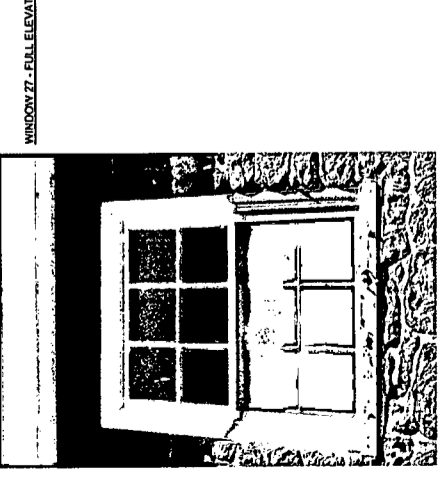
WINDOW 28 - BROKEN PANE
 THE LOWER RIGHT PANE IN THE UPPER SASH IS BROKEN & SHALL BE REPLACED.



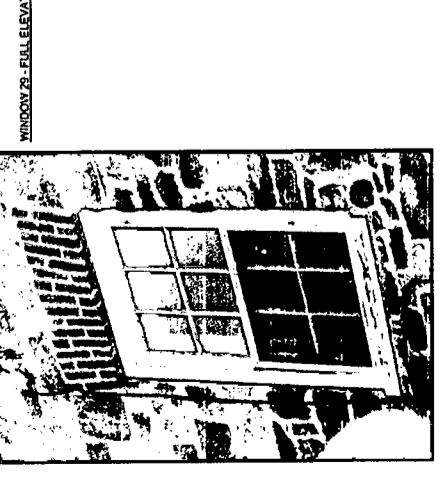
WINDOW 26 - FULL ELEVATION



WINDOW 26 - JAMB / SILL



WINDOW 27 - FULL ELEVATION



WINDOW 29 - FULL ELEVATION

DESIGN AND CONSTRUCTION OF HISTORIC BUILDINGS
 IS A SPECIALTY OF BGM ARCHITECTS P.C.
 LICENSED ARCHITECT UNDER THE LAWS OF THE
 STATE OF MARYLAND

**HISTORIC PRESERVATION FOR:
 MOUNT CARMEL**
 DICKERSON, MD 20842

EXISTING WINDOW ANALYSIS

BGM ARCHITECTS P.C.
 18129 OAK RIDGE DRIVE, HAGERSTOWN, MARYLAND 21740
 (PHONE) 301-797-9520 (FAX) 301-797-9521 - WWW.BGMARCHITECTS.COM

LIBRARY NO. EXPIRATION DATE

PROJECT NORTH

A3.06
 SHEET NUMBER

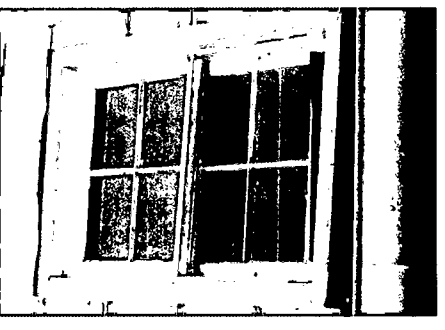
DATE: 25 OCTOBER, 2010
 SCALE: AS NOTED
 DRAWN BY: BGM PROJECT NO. 2010-20
 KJO

CONSTRUCTION DOCUMENTS

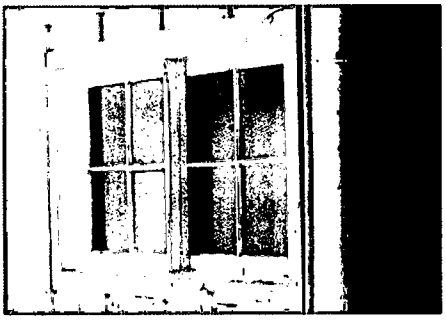
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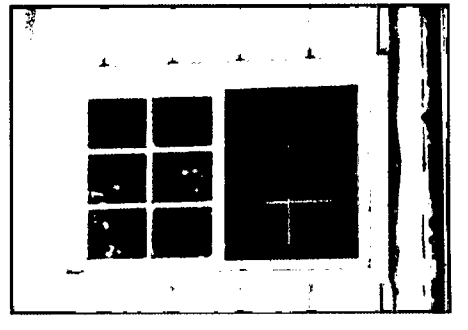
WINDOW 22 - MEETING RAIL



WINDOW 27 - FULL ELEVATION



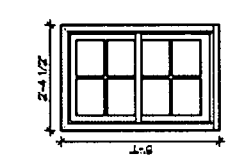
WINDOW 29 - FULL ELEVATION



WINDOW 30 - FULL ELEVATION



WINDOW 32 - FULL ELEVATION
 EXISTING AIR CONDITIONER & PLYWOOD FILLER PANEL ARE TO BE REMOVED. PREP FRAME OPENING AS REQUIRED & INSTALL A NEW WINDOW TO MATCH WINDOW #30 ADJACENT.

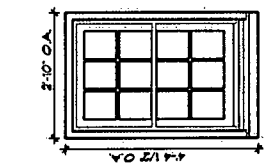


32 33

- EXISTING 4 OVER 4 SINGLE HUNG WINDOW TO BE RETURNED TO FULLY FUNCTIONAL OPERATION
- ENTIRE WINDOW, FRAME, & SILL TO SCRAPE & REPAINTED
- PROVIDE NEW CALLING
- PROVIDE A FULL SET OF NEW WEATHER STRIPPING
- REGLAZE ENTIRE WINDOW
- PROVIDE NEW STORM SASH, APPROX. SIZE IS 24-1/2"W x 37-1/2"H

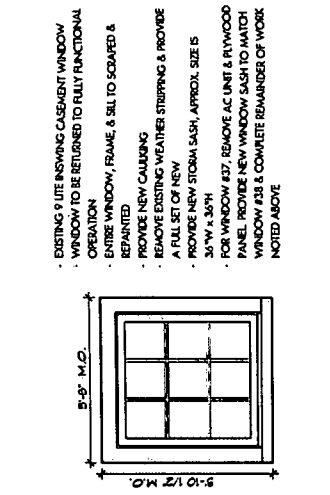


WINDOW 33 - JAMB / SILL

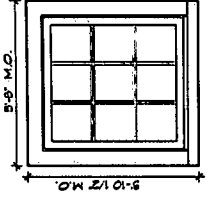


30 31

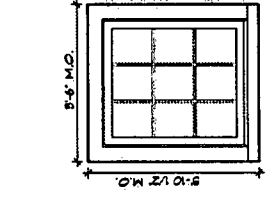
- EXISTING 6 OVER 6 SINGLE HUNG WINDOW TO BE RETURNED TO FULLY FUNCTIONAL OPERATION
- ENTIRE WINDOW, FRAME, & SILL TO SCRAPE & REPAINTED
- PROVIDE NEW CALLING
- PROVIDE A FULL SET OF NEW WEATHER STRIPPING
- NEW STORM SASH TO BE INSTALLED, APPROX. SIZE IS 22"W x 46-3/4"H



38 37

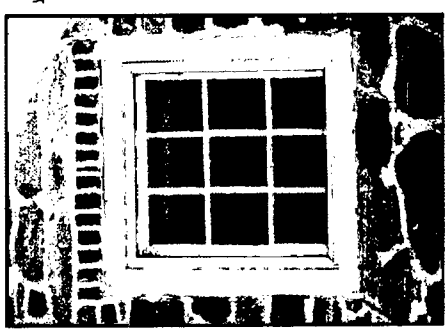


- EXISTING 9 LITE INSWING CASEMENT WINDOW TO BE RETURNED TO FULLY FUNCTIONAL OPERATION
- ENTIRE WINDOW, FRAME, & SILL TO SCRAPE & REPAINTED
- PROVIDE NEW CALLING
- REMOVE EXISTING WEATHER STRIPPING & PROVIDE A FULL SET OF NEW
- PROVIDE NEW STORM SASH, APPROX. SIZE IS 36"W x 36"H
- FOR WINDOW #37, REMOVE AC UNIT & PLYWOOD PANEL. PROVIDE NEW WINDOW SASH TO MATCH WINDOW #38 & COMPLETE REMAINDER OF WORK NOTED ABOVE

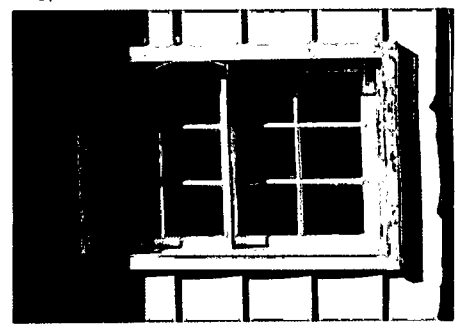


39 40

- EXISTING 9 LITE INSWING CASEMENT WINDOW TO BE RETURNED TO FULLY FUNCTIONAL OPERATION
- ENTIRE WINDOW, FRAME, & SILL TO SCRAPE & REPAINTED
- PROVIDE NEW CALLING
- REMOVE EXISTING WEATHER STRIPPING & PROVIDE A FULL SET OF NEW
- REMOVE EXISTING SCREEN & PROVIDE NEW STORM SASH, APPROX. SIZE IS 34"W x 36"H



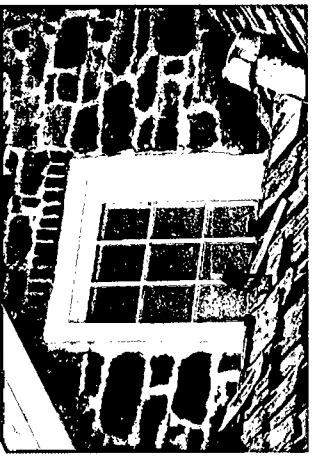
WINDOW 39 - FULL ELEVATION



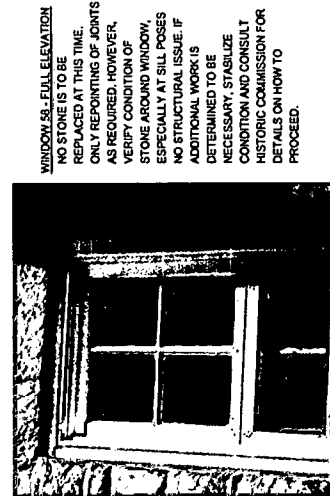
WINDOW 31 - FULL ELEVATION



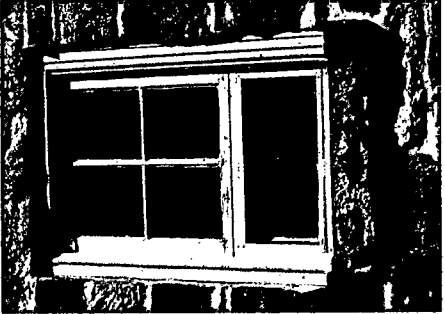
WINDOW 38 - FULL ELEVATION



WINDOW 40 - FULL ELEVATION
 NO STONE IS TO BE REPLACED AT THIS TIME. ONLY REPOINTING OF JOINTS AS REQUIRED. HOWEVER, VERIFY CONDITION OF STONE AND MORTAR ESPECIALLY AT SILL POSSES NO STRUCTURAL ISSUE. IF ADDITIONAL WORK IS DETERMINED TO BE NECESSARY, STABILIZE CONDITION AND CONSULT HISTORIC COMMISSION FOR DETAILS ON HOW TO PROCEED.



WINDOW 57 - FULL ELEVATION

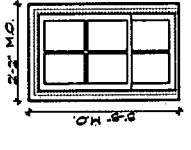


WINDOW 58 - FULL ELEVATION



WINDOW 55 - FULL ELEVATION

- EXISTING 4 OVER 2 SINGLE HUNG WINDOW TO BE RETURNED TO FULLY FUNCTIONAL OPERATION
- ENTIRE WINDOW, FRAME, & SILL TO SCRAPE & REPAINTED
- PROVIDE NEW CALLING
- REPLACE EXISTING INSECT SCREEN WITH NEW
- OWNER OPTION: PROVIDE NEW COMPLETE OVERLAY STORM SASH, APPROX. SIZE IS 20"W x 38"H



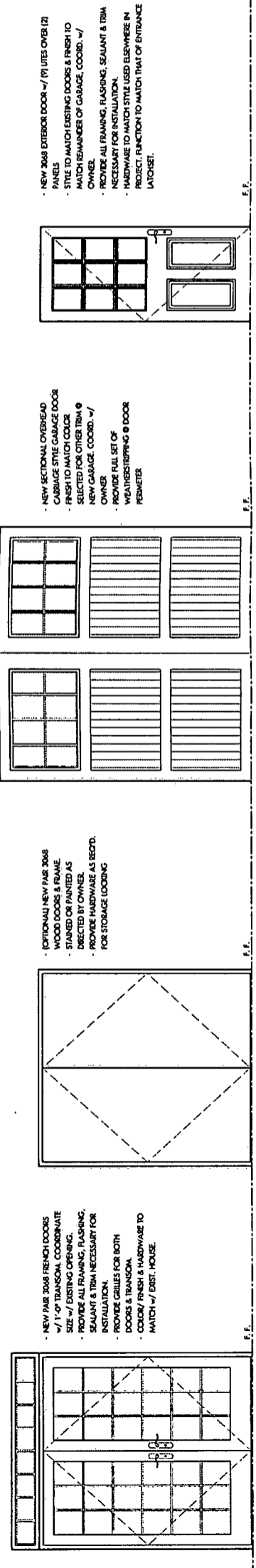
55 57 56 58



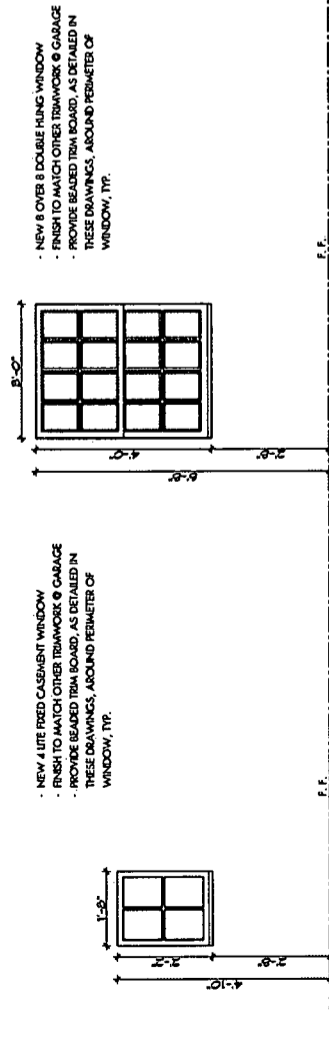
WINDOW 56 - FULL ELEVATION

WINDOW 56 - SILL
 NO STONE IS TO BE REPLACED AT THIS TIME. ONLY REPOINTING OF JOINTS AS REQUIRED. HOWEVER, VERIFY CONDITION OF STONE AROUND WINDOW, ESPECIALLY AT SILL POSSES NO STRUCTURAL ISSUE. IF ADDITIONAL WORK IS DETERMINED TO BE NECESSARY, STABILIZE CONDITION AND CONSULT HISTORIC COMMISSION FOR DETAILS ON HOW TO PROCEED.

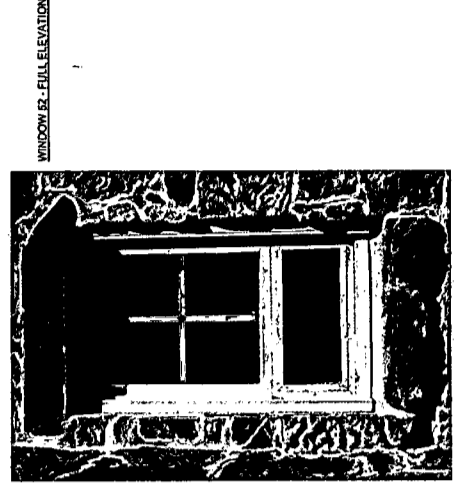
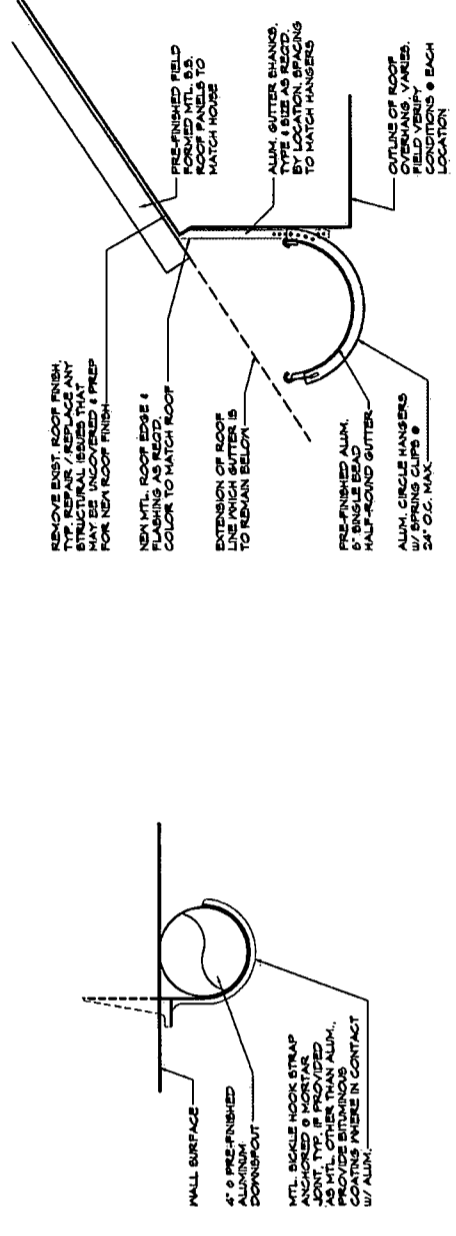




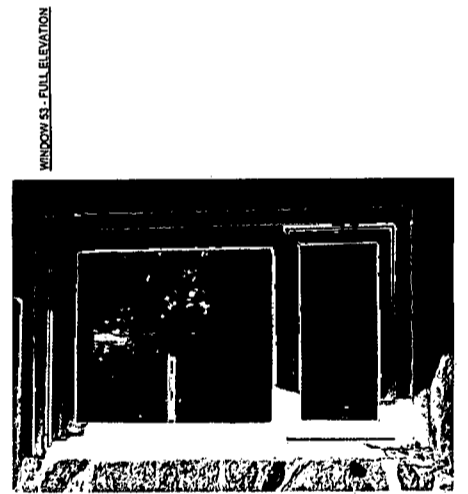
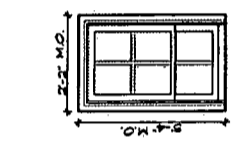
1 NEW DOOR ELEVATIONS
 SCALE: NO SCALE



3 NEW WINDOW ELEVATIONS
 SCALE: NO SCALE



- EXISTING SINGLE HUNG WINDOW, UNEQUAL SIZES w/ SINGLE PANE & INTERIOR GRILES TO MATCH EXISTING WINDOW.
- WINDOW TO BE RETURNED TO FULLY FUNCTIONAL OPERATION.
- ENTIRE WINDOW, FRAME, & SILL TO SCRAPED & REPAINTED.
- PROVIDE NEW CHAIRING.
- PROVIDE A FULL SET OF NEW WEATHER STRIPS.
- REPLACE EXISTING INSET GRILES WITH NEW.
- REPLACE NEW STORM SASH, APPROX. SIZE 5' 2 1/4" W x 3' 5 1/4" H.



HISTORIC PRESERVATION FOR:
MOUNT CARMEL
 DICKERSON, MD 20842

BGM ARCHITECTS P.C.
 18129 OAK RIDGE DRIVE, HAGERSTOWN, MARYLAND 21740
 (PHONE) 301-979-9520 (FAX) 301-979-9521 - WWW.BGMARCHITECTS.COM

GUEST HOUSE PLANS & ELEVATIONS

DATE: 25 OCTOBER 2010
 SCALE: AS NOTED
 BGM PROJECT NO: 2010-20
 DRAWN BY: KJO
 CHECKED BY: KJO

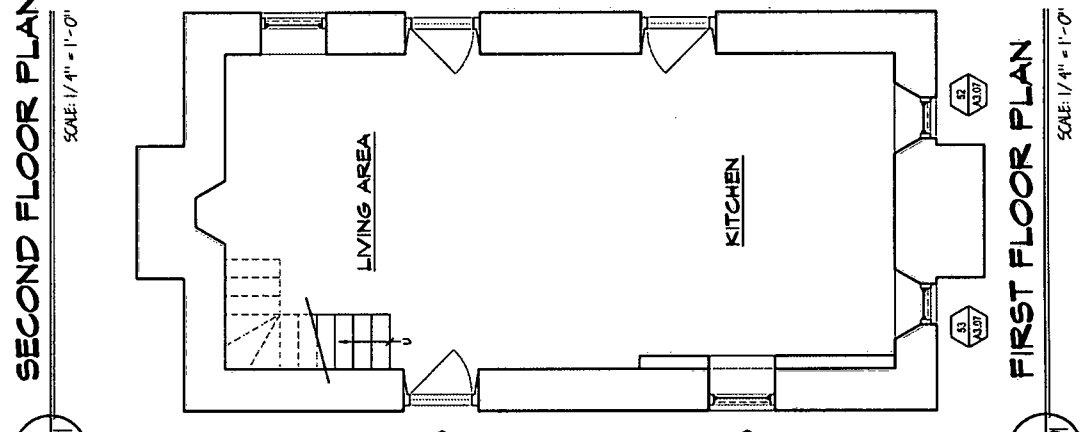
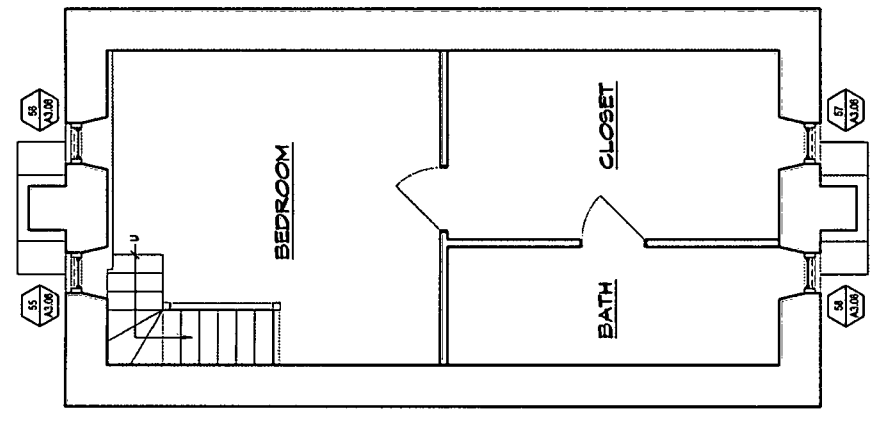
PROJECT NORTH

SHEET
A4.01
NUMBER

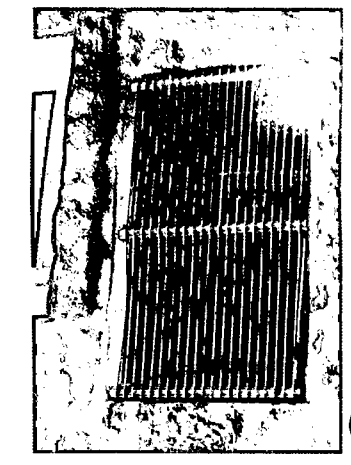
DATE: 25 OCTOBER 2010
 SCALE: AS NOTED
 BGM PROJECT NO: 2010-20
 DRAWN BY: KJO
 CHECKED BY: KJO

CONSTRUCTION DOCUMENTS

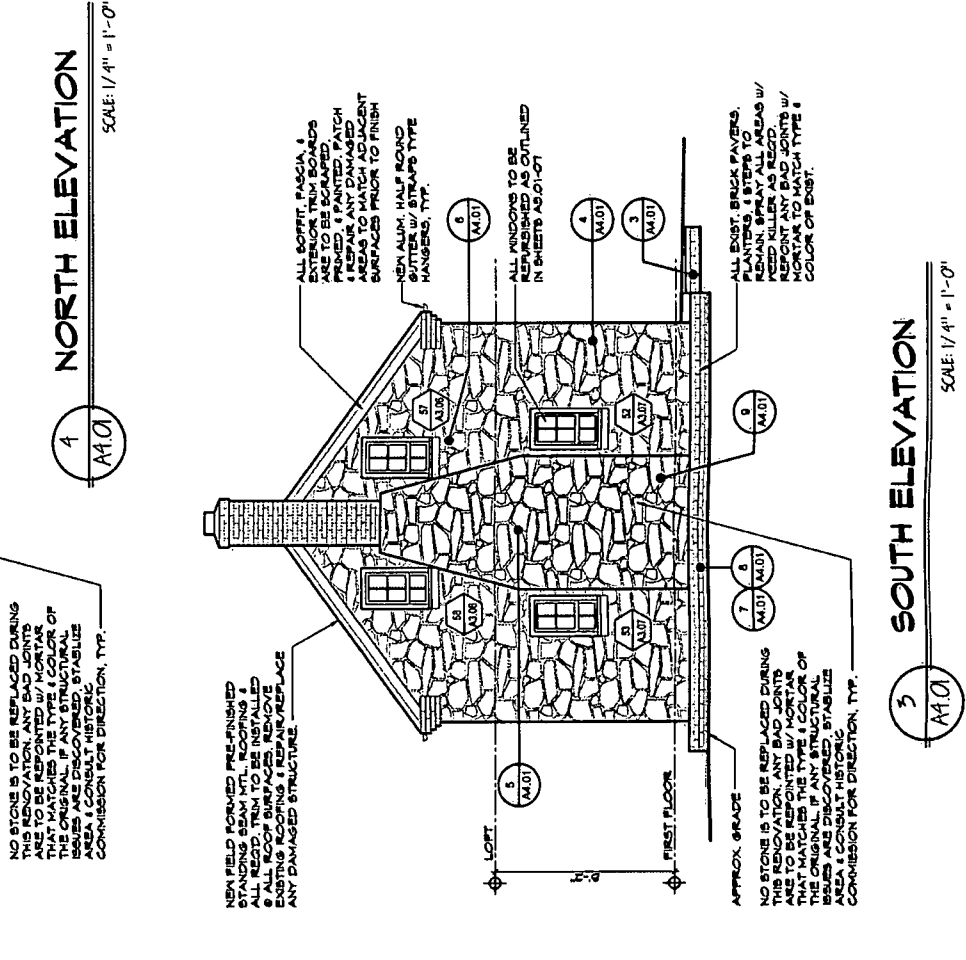
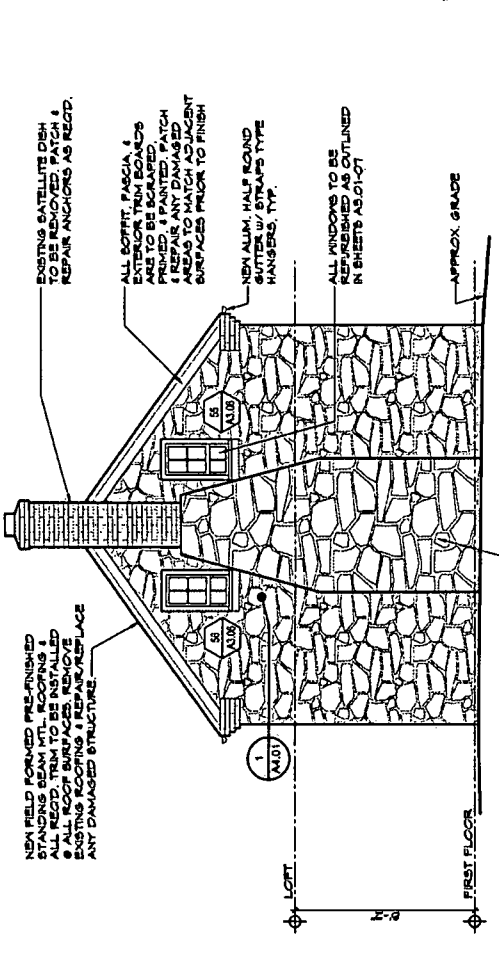
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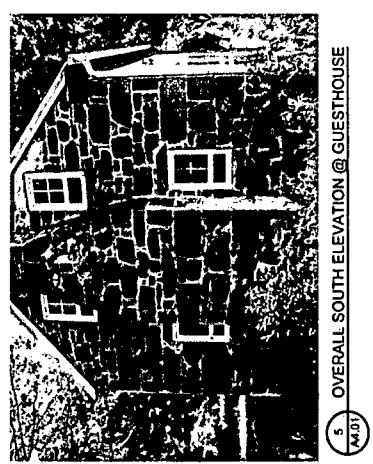
EXISTING METAL ROOFING TO BE REMOVED. REPAIR/REPLACE ANY DAMAGED ROOFING WITH NEW METAL ROOFING. PROVIDE NEW FLASHING & SEALANT @ CHIMNEYS.



EXISTING THRU-WALL A/C UNIT & GRILLE TO REMAIN; NO WORK.



NO WORK REQUIRED w/ STONE. REPAIR/REPLACE ANY DAMAGED MORTAR TO MATCH TYPE & COLOR OF EXISTING. REPAIR DAMAGED WINDOW FRAMING (MORTAR).



NO WORK REQUIRED w/ STONE. REPOINT BAD JOINTS AS NEEDED w/ MORTAR TO MATCH TYPE & COLOR OF EXISTING.



NO WORK REQUIRED w/ STONE. REPOINT BAD JOINTS AS NEEDED w/ MORTAR TO MATCH TYPE & COLOR OF EXISTING.



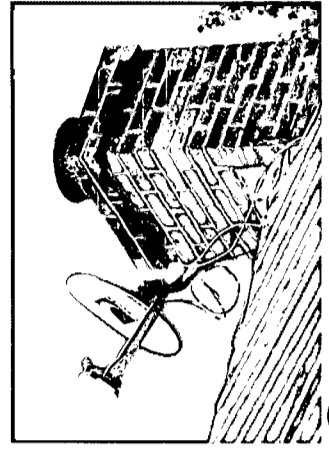
EXISTING BRICK WALK & STAIRS TO REMAIN. CLEAN UP & SPRAY w/ WEED KILLER. REPOINT ANY BAD JOINTS w/ MORTAR TO MATCH TYPE & COLOR OF EXISTING.



EXISTING BRICK WALK & STAIRS TO REMAIN. CLEAN UP & SPRAY w/ WEED KILLER.

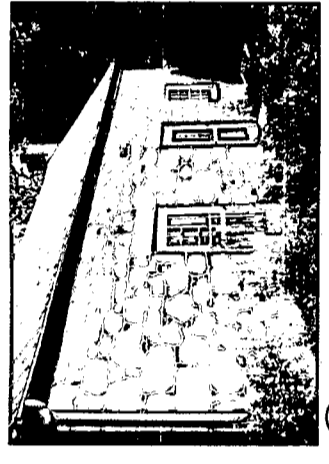


EXISTING BRICK WALK & STAIRS TO REMAIN. CLEAN UP & SPRAY w/ WEED KILLER. REPOINT ANY BAD JOINTS w/ MORTAR TO MATCH TYPE & COLOR OF EXISTING.



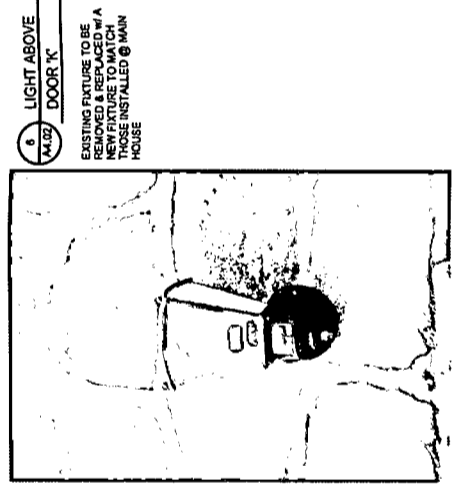
10. TOP OF NORTH CHIMNEY @ GUESTHOUSE

EXISTING BRICK CHIMNEY TO REMAIN. PATCH & REPAIR AS RECD. INSTALL NEW FLASHING AS NEEDED WITH NEW METAL ROOFING. REMOVE OLD ANTENNAE & PATCH ANCHOR HOLES AS RECD.



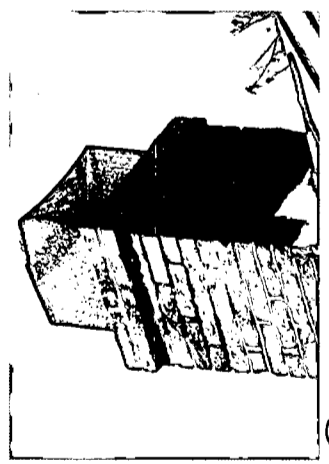
13. ELEVATION @ GUESTHOUSE SOUTHEAST CORNER

EXISTING METAL ROOFING TO BE REMOVED. REPAIR/REPLACE ANY DAMAGED STRUCTURE UNDERNEATH AS NEEDED PRIOR TO NEW ROOF INSTALLATION. PROVIDE NEW FLASHING & SEALANT @ CHIMNEYS.



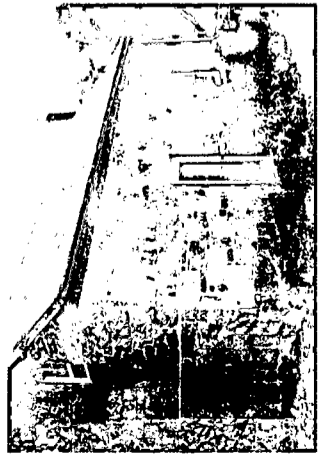
8. LIGHT ABOVE DOOR 'K'

EXISTING FIXTURE TO BE REMOVED. INSTALL NEW FIXTURE TO MATCH THOSE INSTALLED @ MAIN HOUSE.



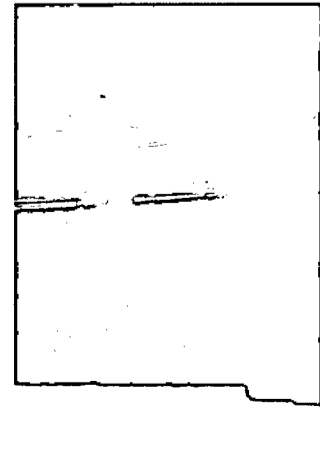
9. TOP OF SOUTH CHIMNEY @ GUESTHOUSE

EXISTING BRICK CHIMNEY TO REMAIN. PATCH & REPAIR AS RECD. INSTALL NEW FLASHING AS NEEDED WITH NEW METAL ROOFING. REMOVE OLD ANTENNAE & PATCH ANCHOR HOLES AS RECD.



13. ELEVATION @ GUESTHOUSE NORTHWEST CORNER

EXISTING METAL ROOFING TO BE REMOVED. REPAIR/REPLACE ANY DAMAGED STRUCTURE UNDERNEATH AS NEEDED PRIOR TO NEW ROOF INSTALLATION. PROVIDE NEW FLASHING & SEALANT @ CHIMNEYS.



12. DETAIL @ NORTH CHIMNEY OF GUESTHOUSE

EXISTING BRICK CHIMNEY TO REMAIN. PATCH & REPAIR AS RECD. INSTALL NEW FLASHING AS NEEDED WITH NEW METAL ROOFING. REMOVE OLD ANTENNAE & PATCH ANCHOR HOLES AS RECD.



5. STONE DETAIL

NO WORK REQUIRED W/ STONE. REPOINT BAD JOINTS AS NEEDED W/ MORTAR TO MATCH TYPE & COLOR OF EXISTING.



4. GUESTHOUSE OVERHANG

EXISTING CORBELLED BRICK OVERHANG TO REMAIN. ALSO, NO WORK REQUIRED W/ STONE. REPOINT BAD JOINTS @ EACH MATERIAL AS NEEDED W/ MORTAR TO MATCH TYPE & COLOR OF EXISTING.



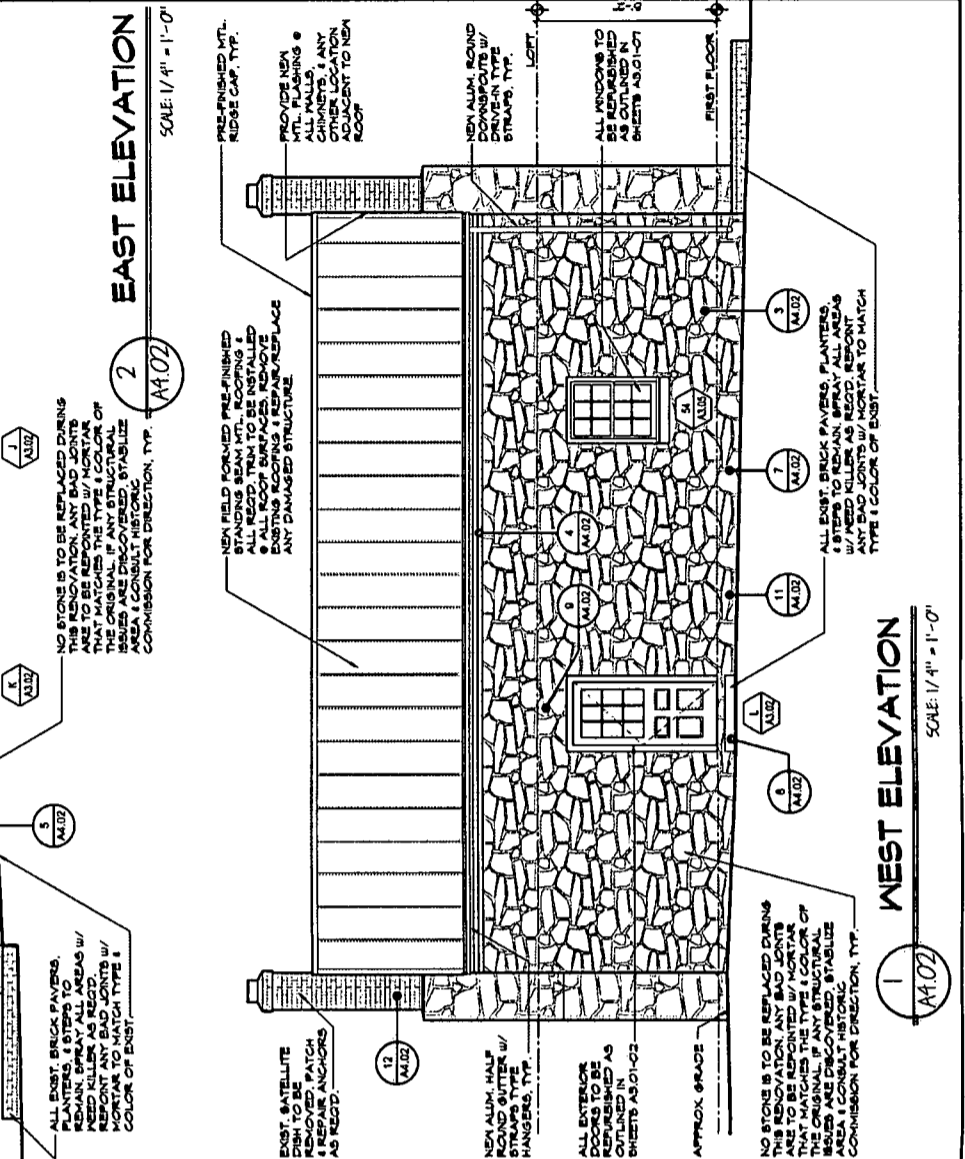
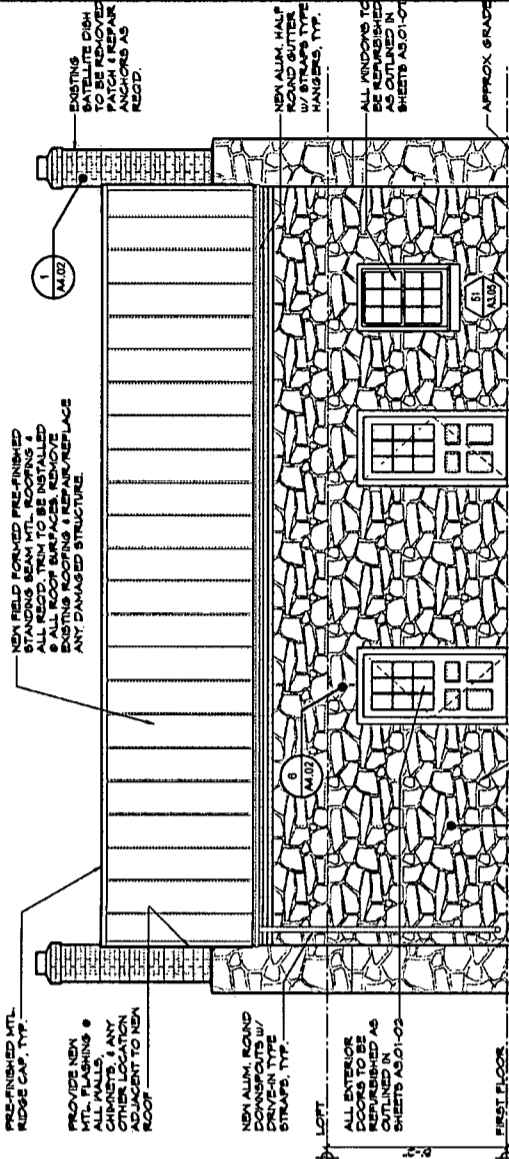
3. EXISTING PROPANE TANK

IF ISSUES/REPAIRS REQUIRED, EXISTING STEEL LP GAS TANK AS REQUIRED.



7. STONE DETAIL @ GRADE

FILL ALL VOIDS @ BASE OF STONE WALL NEAR GRADE W/ CONCRETE AS REQUIRED.



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HISTORIC PRESERVATION FOR:
MOUNT CARMEL
 DICKERSON, MD 20842

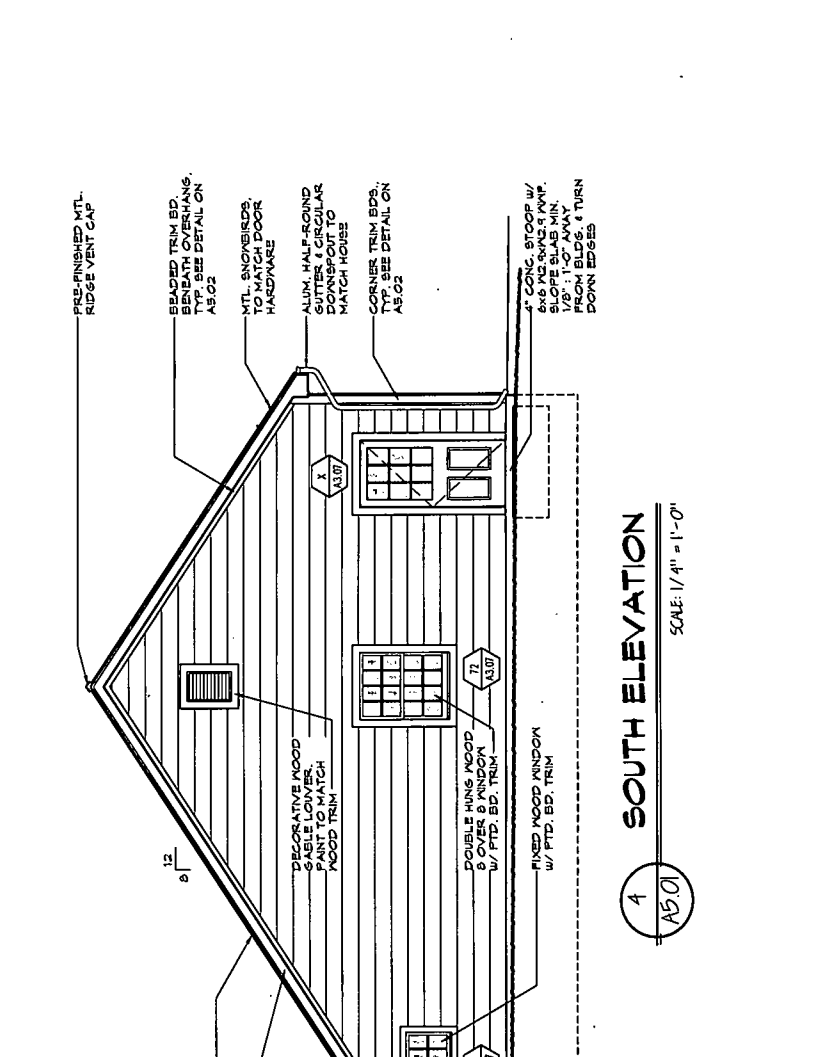
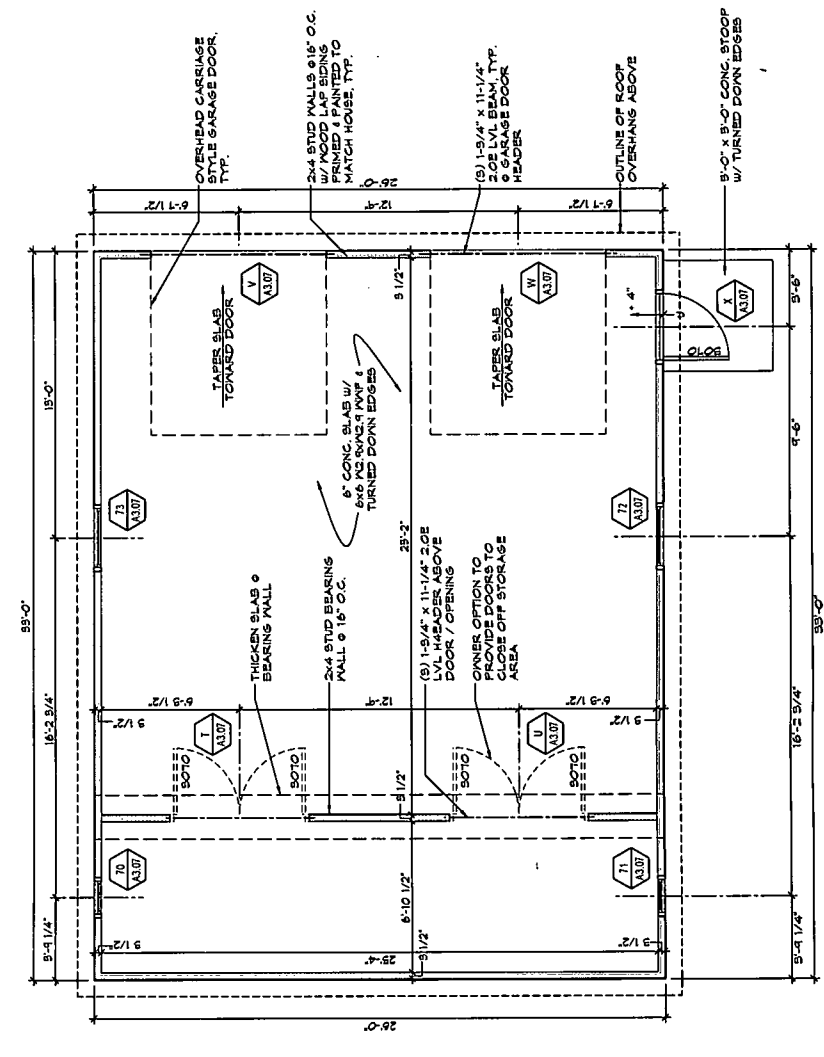
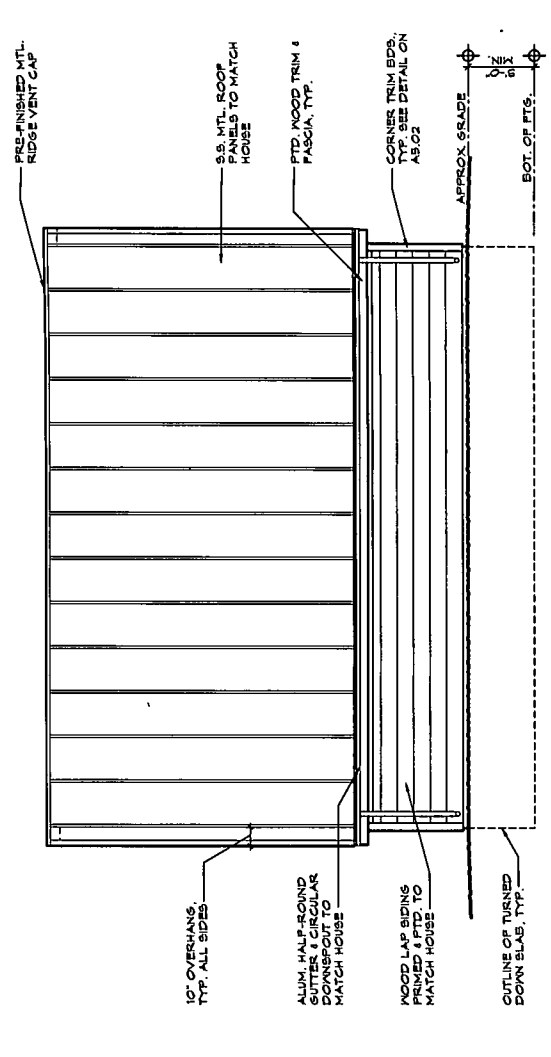
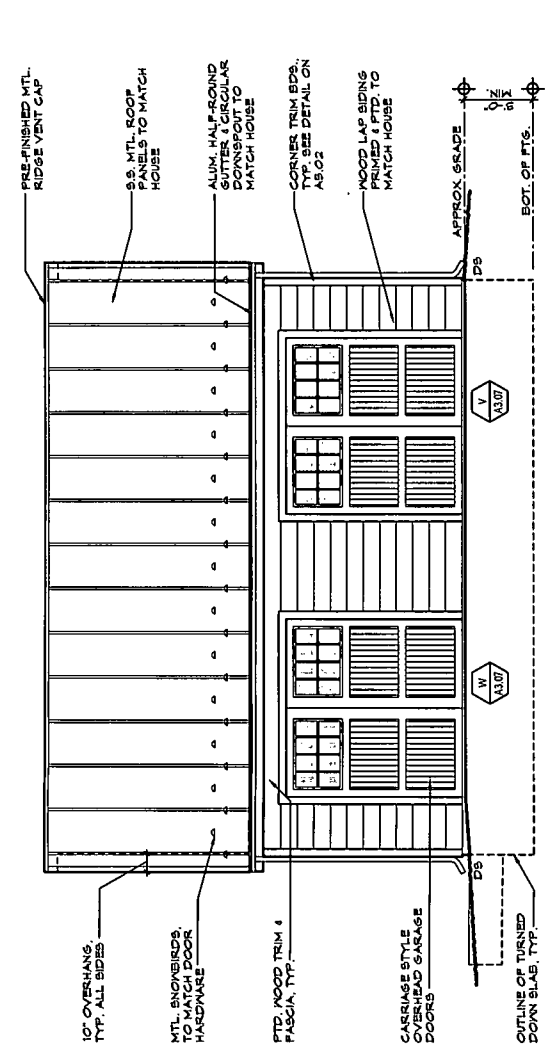
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NEW CARPORT - PLANS & ELEVATIONS

DATE: 25 OCTOBER 2010
 SCALE: AS NOTED
 BMGM PROJECT No.: 2010-20
 DRAWN BY: KJO
 PROJECT NORTH

SHEET
A5.01
 NUMBER

CONSTRUCTION DOCUMENTS
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NOTES: THIS SET OF DRAWINGS WERE PREPARED FOR THE ARCHITECT BY THE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

DATE: 25 OCTOBER 2010

HISTORIC PRESERVATION FOR:
MOUNT CARMEL
DICKERSON, MD 20842

NEW CARPORT - SECTIONS & DETAILS
BMGM ARCHITECTS P.C.
18129 OAK RIDGE DRIVE, HAGERSTOWN, MARYLAND 21740
(PHONE) 301-797-9520 (FAX) 301-797-9521 -- WWW.BMGMARCHITECTS.COM

PROJECT NORTH

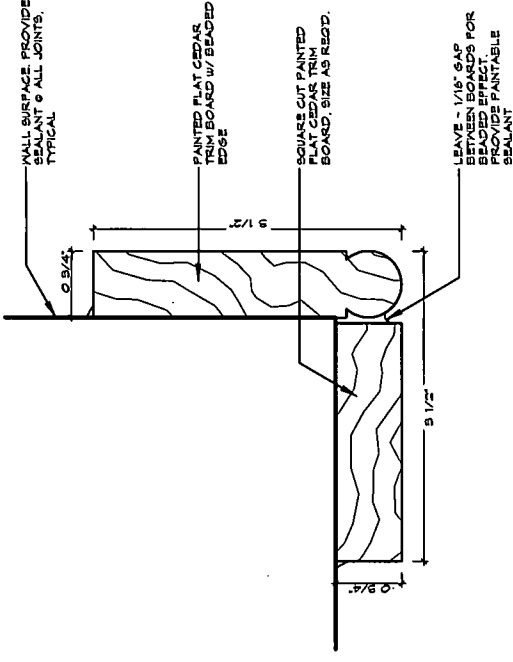


SHEET
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NUMBER

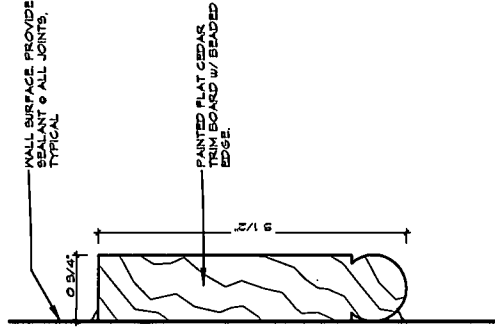
DATE: 25 OCTOBER 2010
SCALE: AS NOTED
AS NOTED
BMGM PROJECT NO: KJO
2010-20
DRAWN BY: KJO

CONSTRUCTION DOCUMENTS

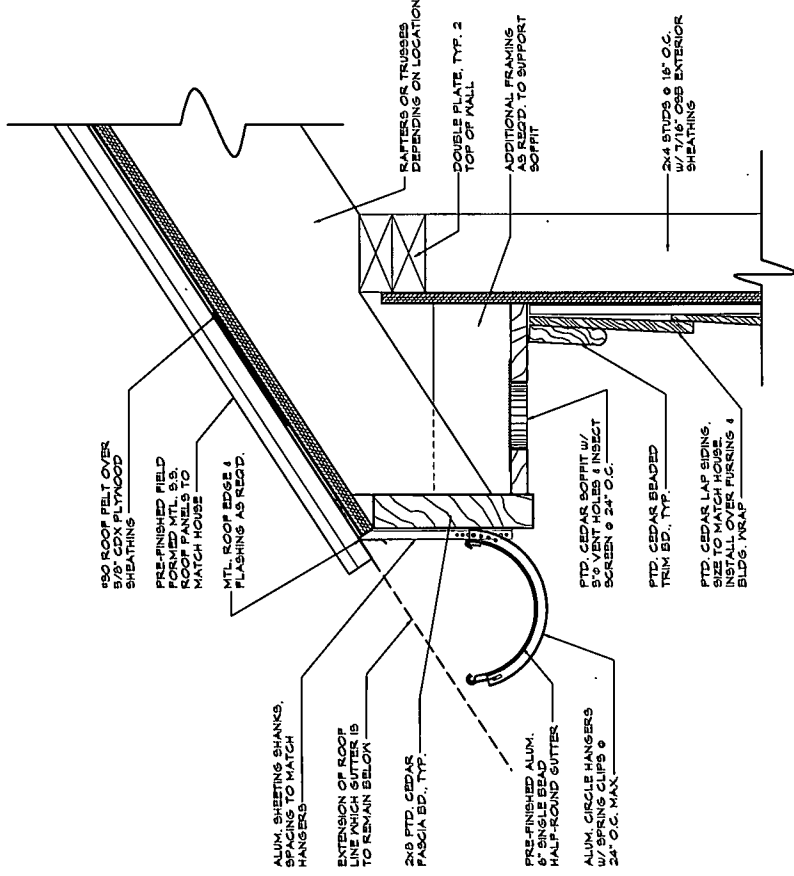
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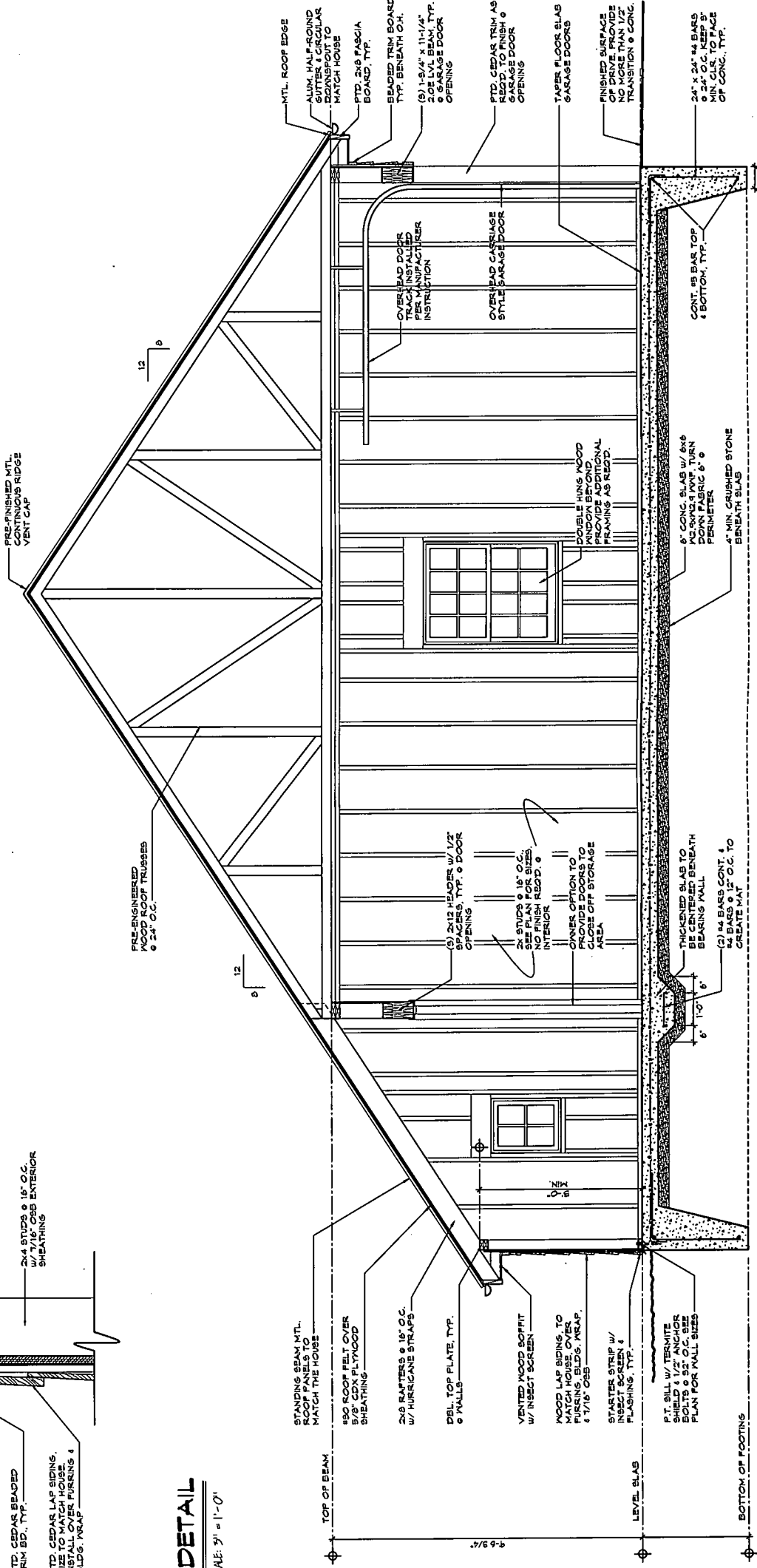
2 CORNER TRIM DETAIL
SCALE: FULL SCALE



3 TRIM BOARD DETAIL
SCALE: FULL SCALE



4 OVERHANG DETAIL
SCALE: 3/4" = 1'-0"



1 BUILDING SECTION
SCALE: 1/2" = 1'-0"

A5.02

**Yazdani Residence
Site Coordination Meeting Minutes**

Date: 09/ 07/ 10

BMGM Project #2010-20

Prepared by: Kyle Onderko

Attendees:	Company	Telephone #	Fax #	Email
Ali Zahedian	Owner Rep	301.983.5820	301.983.5825	azahedian@msn.com
Anne Fothergill	MNCPPC	301.563.3400	301.563.3412	Anne.Fothergill@mncppc-mc.org
Scott Whipple	MNCPPC	301.563.3400	301.563.3412	Scott.Whipple@mncppc-mc.org
Dave Moats	BMGM Architects	301.797.9520	301.797.9521	dmoats@bmgmarchitects.com
Kyle Onderko	BMGM Architects	301.797.9520	301.797.9521	konderko@bmgmarchitects.com

This site coordination meeting is being held with representatives for the Owner, the Architect, and the Maryland-National Capital Park and Planning Commission, who is responsible for the preservation of designated historic sites within Montgomery County of which this property is one. The purpose is to involve all parties from the beginning, to explore and discuss the issues to be addressed, and determine the best course of action for proceeding through the review and rehabilitation process. After the initial introductions, the following items were discussed:

Item #

- SC-1 Dave indicated the first item to be addressed as the roof. The main addition and the detached living quarters have standing seam metal roofing while the remainder of the primary house has cedar shakes that are in extreme disrepair. Dave believes the shakes are not original to the house and were installed during renovations in the 70's. The intent is to provide matching roofing for the entirety of all buildings on the property. Scott states that it will be necessary to state the case for this thru photographic or other evidence.
- SC-2 Before proceeding too far, Scott wanted to explain the available tax credit options. The County provides a 10% tax credit applied to the property tax. The credit applies only to work done on the exterior of the buildings. The State also provides a 20% credit applied to the state income tax. It is important to determine if this would be pursued as approval must be obtained prior to the commencement of any or work or the project would be ineligible. This credit can be applied to both interior and exterior work. The State review process takes approximately 120 days and they use their own criteria, which tends to be more conservative than the County. However if this option is not pursued, then the State need not be involved. The State credit tends not to be a viable option for an income producing property as it would be for an Owner residence.
- SC-3 Dave next began to discuss the condition of the stone exterior, which is severely eroded in several places on both buildings – noted at the south elevation of the detached quarters, the south elevation of the main house next to the porch, and in the sunroom off of the kitchen. Ali intends to rotate existing stone where possible and provide additional from an existing stockpile only as required. Scott asked if water is penetrating the building, to which Ali responded in only a few locations – there were water issues evident at the area next to the porch. Scott indicates that this is the nature of sandstone and that to avoid confusion, do not consider replacing the stone and only plan to repoint. Ali notes that not replacing may cause structural issues for the Owner in the future. In doing this work, Scott also mentions it is important to hire a mason with experience with historical rehabilitation. The existing mortar looks to be Portland and it most likely would be better to use a softer mortar as it is a softer stone.
- SC-4 Intention for the gutter is to provide new aluminum to match the existing style and size, half round gutter with clamp hangers and round downspouts.

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- SC-5 There are several location at the exterior where the wood trim, fascia, and soffit are damaged rotten or missing. These areas will be replaced in kind, most likely with cedar, to match the existing and repainted.
- SC-6 The porch will be stripped and repainted.
- SC-7 The issue of installing replacement windows was raised. Scott feels the commission will not accept replacing the existing windows as they are in good condition. Adding storm windows, caulking, and weatherstripping will be more energy and cost efficient because the type of custom wood windows that would be required is extremely expensive. Ali notes that not all windows are in good condition or working order. Dave and Scott agree that doing an individual inventory and description of each window will be the best approach.
- SC-8 The doors also appear to be in good condition and should be handled in a similar manner as the windows noted in the previous item.
- SC-9 Upon inspection through a hole in the soffit and an access to the attic above the loft, it appears as though the shakes were installed over plywood sheathing. If this is the case, the shakes would not be original to the house and would improve our case for using metal roofing. Anne and Scott cannot provide approval and further investigation should be done to include with permit application. If metal roofing would be approved, pre-finished panels would be allowed but they would need to be true standing seam with the edges field-turned.
- SC-10 Anne mentions a notation she came across within the office file for the property that may indicate that the windows are not original and were installed during the renovation in the 1970's. If this is true it would help the case of installing replacement windows, but further research and documentation would be necessary to validate this claim.
- SC-11 Other issues that could come into question and should probably be addressed pertain to the sunroom addition and the dormers in the loft space that were replaced with skylights. Ali questions how this work managed to be completed; Scott unsure because it never would have been approved. May not be required to restore to original condition, depending on tax credits being sought, however it may become necessary to defend keeping it as is.
- SC-12 Even though it would be new construction, the carport will also need to be included under the Historic Area Work Permit (HAWP). As such it will be required to fit in with the historic fabric of the site. Anne says the commission will review the preliminary drawings BMGM has provided and give feedback.
- SC-13 Scott warns to be aware that the neighbors are keeping tabs on the site and any work will be reported. Ali briefly relates that the former partner of the current Owner has been the one reporting the work in retaliation for past conflicts. Scott understands this may be the case, but he has received notifications from several sources, all of which have been female. If not pursuing state credits, routine maintenance that does not require the HAWP can be completed. However, Anne recommends addressing these items with the commission through email correspondence and the documentation can stand as approvals should any issues arise.
- SC-14 The surveillance issue segues into the discussion of the barn, which is included in the historical documentation of the property. Scott asks Ali for the story of its demolition and removal. The apparently

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barn collapsed due to the heavy snows of the last winter and was deemed beyond repair and a hazardous condition, especially with kids around. This happened before the architect was involved and no information was included in the property information provided on the HPC website pertaining to the barn. Therefore, it was assumed the barn was not part of the historic structures and the County was approached as if this was a clean-up project. The County visited the site and informed them that this would fall under the Historic Commission's jurisdiction, however this occurred after the work had been completed.

- SC-15 Scott informs that the barn was indeed an historic structure in relation to the property and has been documented. The website can only support a limited amount of information. As the Historic Commission should have been involved in determining the fate of the structure, the pending violation against the Owner requires the application for a retroactive HAWP. Essentially, this means the permit application process must be approached as if the work has not been completed and therefore must be justified. Scott suggests that Ali find out if photos were taken of the barn in its collapsed state prior to removal as they would significantly improve the Owner's chances in justifying removal.
- SC-16 Ali questions whether the brick paver courtyard between the primary house and the detached quarters can be replaced with another material. Anne stresses that the HAWP is necessary for additions or alterations to any structures or the site itself. Cleaning and removal of weeds would fall under routine maintenance, but replacing the paver with something like flagstone would require permit approval.
- SC-17 Ali then asks how to approach a situation where an unknown issue is discovered during the construction process; would this require a new permit approval? Scott provides an illustration. If painter is scraping paint from soffit and the putty knife plunges through a water damaged board not apparent during review. It is acceptable to replace the necessary portion in kind following acceptable rehabilitation practices. However, if the mason is repointing an area of wall and a stone falls out, it would be necessary to document the issue, report it to the commission, and have it ruled upon as a staff item for direction.
- SC-18 Anne notes that HPC is required to have its review completed no later than 45 days after the full permit application has been submitted. Typically, the turnaround tends to be closer to 21 days.
- SC-19 As a resource to assist researching, documentation, and case building, Anne suggests stopping by the HPC office and make a copy of the project file. There is much more information available within this than provided on website. She also suggests contacting Historic Medley, a nonprofit located in Poolesville, because they have an extensive archive of historic photos.

There is no scheduled meeting at this time. If an additional meeting is deemed necessary, details will be provided.

These minutes are understood to be accurate and complete unless advised or corrected within ten (10) days of issue.

Kyle Onderko

Kyle Onderko LEED AP
/kjo

Distribution: Attendees

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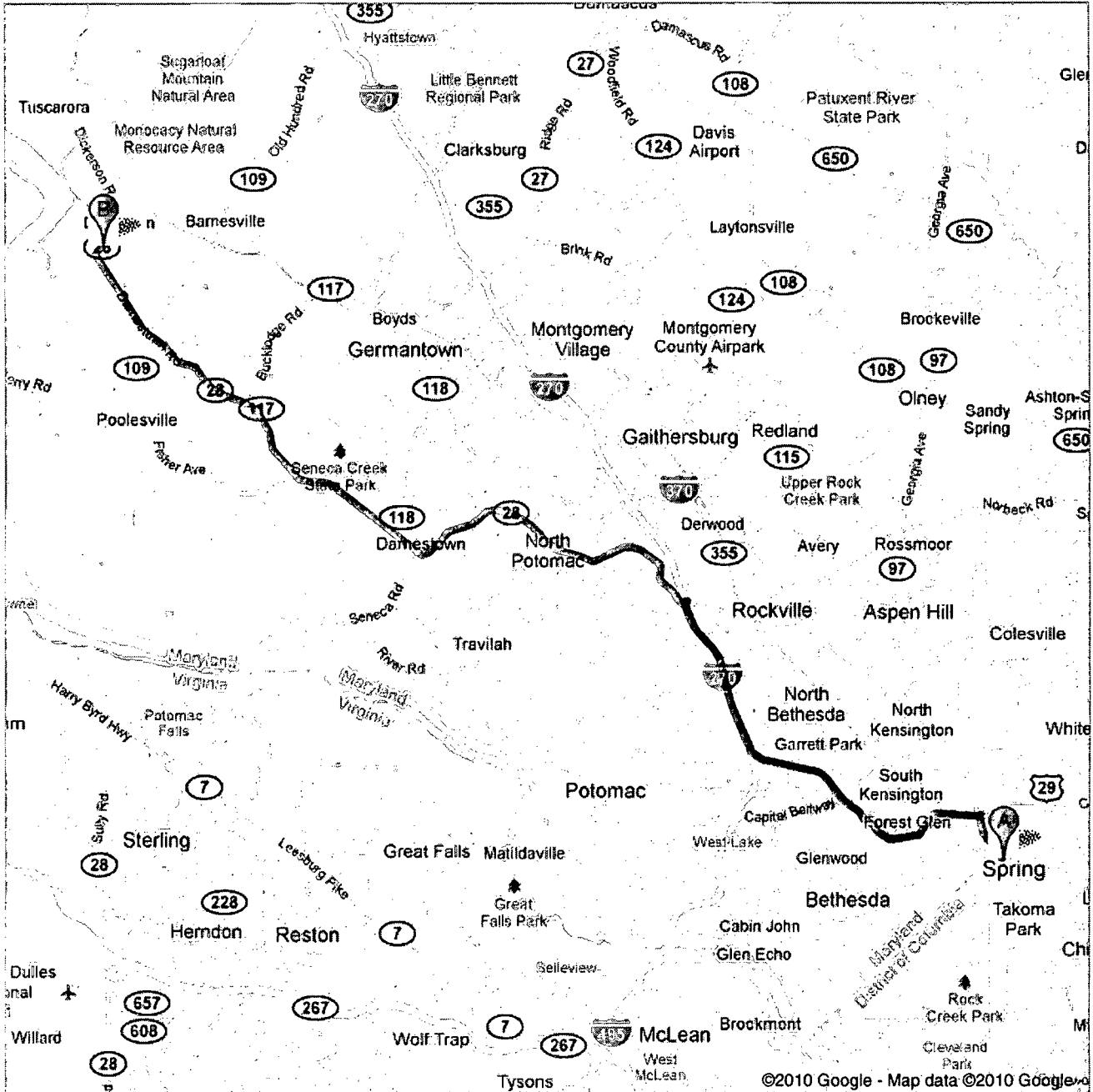
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Directions to 21515 Dickerson Rd, Dickerson, MD 20842


31.1 mi – about 49 mins – up to 1 hour 0 mins in traffic

Save trees. Go green!
Download Google Maps on your phone at google.com/gmm



 8787 Georgia Ave, Silver Spring, MD 20910

-  1. Head **northwest** on **MD-97 N/Georgia Ave** toward **Spring St**
About 3 mins go 1.2 mi
total 1.2 mi
-  2. Turn **right** onto the **I-495 W/Beltway** ramp to **N Virginia** go 436 ft
total 1.3 mi
-  3. Merge onto **I-495 W**
About 5 mins go 4.0 mi
total 5.2 mi
-  4. Slight **right** at **I-270 N** (signs for **Frederick**)
About 6 mins go 5.8 mi
total 11.1 mi
-  5. Take exit **6** for **MD-28/W Montgomery Ave**
About 1 min go 0.6 mi
total 11.7 mi
-  6. Continue toward **MD-28 W/W Montgomery Ave** and merge onto **MD-28 W/W Montgomery Ave**
About 34 mins go 19.2 mi
total 30.9 mi
-  7. Turn **right** at **MD-28 W/Dickerson Rd** go 0.2 mi
total 31.1 mi

 21515 Dickerson Rd, Dickerson, MD 20842

These directions are for planning purposes only. You may find that construction projects, traffic, weather, or other events may cause conditions to differ from the map results, and you should plan your route accordingly. You must obey all signs or notices regarding your route.

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Dave Moats
301-491-4243

Ali Zahedian
301-793-2389

