

17715 Meeting House Road, Sandy Spring  
PRELIMINARY CONSULTATION  
Sandy Spring Historic District

New Plans approved

12.19.12.

SN

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	17715 Meetinghouse Road, Sandy Spring	<b>Meeting Date:</b>	4/28/2010
<b>Resource:</b>	Outstanding Resource Sandy Spring Historic District	<b>Report Date:</b>	4/21/2010
<b>Applicant:</b>	Sandy Spring Monthly Meeting (Miche Booz, Architect)	<b>Public Notice:</b>	4/14/2010
<b>Review:</b>	Preliminary Consultation	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	N/A	<b>Staff:</b>	Josh Silver
<b>PROPOSAL:</b>	Relocation of building and alterations to building		

**STAFF RECOMMENDATION**

Staff recommends that the applicant make revisions to the plans based on comments and feedback from the HPC and submit a Historic Area Work Permit (HAWP) application after all applicable county code, development and environmental review standards for the proposal have been satisfied.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource within the Sandy Spring Historic District  
**STYLE:** Vernacular  
**DATE:** 1859 (with later additions)

**PROPOSAL**

The HPC's review of this proposal is limited to changes that are within the Sandy Spring Historic District. The proposed project is part of larger development plan that includes changes to areas that are adjacent to the boundary of the historic district. The applicant is requesting conceptual approval from the HPC for the following items:

**Item #1: Lyceum (Community House), constructed 1859**

The applicant proposes to construct a new one-story addition on the side (east) elevation of the subject resource. The design program proposes to remove a portion of an addition constructed in 1958 and the entire section of a later addition constructed in 1985. The proposed design maintains an existing section of the 1958 addition, which will be integrated into the new design.

The project will remove the existing aluminum siding on the historic massing and attempt to restore the original narrow-width wood lap siding if present. The new addition will be clad in fiber-cement siding of matching exposure. The proposed window and door treatments will be fabricated from all wood and contain a simulated divided light (SDL) muntin profile. The new addition will be sheathed with a standing seam metal roof similar in style to the roof of the historic massing. The removal of an existing non-historic furnace chimney is also proposed.

**Item #2: Schoolhouse (constructed 1897, relocated in 1926)**

The subject building contains evidence of having been significantly altered. The proposed undertaking includes relocation of the building from its current location outside the historic district to its approximate original location east of the Lyceum within the historic district, construction of a new basement level classroom underneath the building, and minor fenestration changes to non-original casement windows currently located on the north elevation wing. No additional changes to the building are proposed at this time.

**Item #3: Environmental Setting**

Minor modifications to the existing gravel pathways and the installation of new brick pathways for circulation throughout the campus are proposed. The removal of one Tulip Poplar located between the Lyceum and cemetery is proposed due to its location within the construction zone of the proposed Lyceum addition. A new brick access path between Meeting House Road and the relocated schoolhouse will require minor modifications to the stone fence posts of the cemetery located to the south. No impact to the existing cemetery is proposed.

**APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Sandy Spring Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

***Montgomery County Code; Chapter 24A***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

Staff supports the proposed project concept for new construction, building relocation and modifications to the environmental setting. The applicant has worked closely with HPC staff throughout the design process to develop a context sensitive plan for the development of the property.

**Item #1: Lyceum (Community House)**

The proposed modifications to the Lyceum and new addition are generally consistent with the HPC review criteria for the design of new additions. Staff supports the removal of the non-historic additions and construction of a new addition. The proposed addition does not affect the perceived character of the building and is in keeping with the design of the historic massing. The addition relates to the historic structure in mass, scale and form and is designed to remain subordinate to the historic massing.

Staff supports the removal of the aluminum siding on the historic massing and rehabilitation of the original siding. Staff recommends the installation of wooden siding to match the exposure and texture and dimensions of the original wooden siding if rehabilitation is determined unfeasible. The installation of fiber cement siding with the same reveal on the new addition is an appropriate siding treatment for new construction.

The applicant has requested to discuss different window and roofing options with the HPC to determine appropriate building material treatments. A strict interpretation of the *Design Guidelines for Historic Sites and District in Montgomery County, Maryland*, recommends the installation of wood true divided light (TDL) windows appropriate for the resource type and style on new additions to Outstanding Resource properties when visible from the public right-of-way (PROW), and SDL wooden windows on sections not visible from the PROW. Staff supports the installation of SDL windows on all elevations of the addition for compatibility with the profile of the existing single pane TDL windows on the historic massing. Staff recognizes the difference between the appearances of these muntin profiles and finds that a SDL muntin profile is more in keeping with the character of the TDL profile.

The installation of a standing seam roof for the addition is consistent with the existing turned metal standing seam roof on the historic massing. The applicant is considering two standing seam metal roofing

options for the addition: (1) traditional turned standing seam metal; and (2) a prefinished standing seam metal roof. The applicant is requesting guidance from the HPC on which option would be appropriate for the proposed addition.

Further, these alterations are consistent with guidance for existing and new additions found in *Design Guidelines for Historic Sites and District in Montgomery County, Maryland*, which recommends:

### 17.0 Existing Additions

17.2 A more recent addition that is not historically significant may be removed.

### 18.0 Design of New Additions

- 18.1 Place an addition at the rear of a building to minimize its visual impact
- 18.2 Do not obscure, damage, destroy, or remove original architectural details and materials of the primary structure
- 18.3 An addition should be compatible in scale with primary structure.
- 18.4 Use building materials that are compatible with those of the primary structure.
- 18.5 An addition should be compatible in character with the primary structure.
- 18.6 Use windows that are similar in character to those of the main structure.
- 18.7 The roof form and slope of a new addition should be in character with and subordinate to that of the primary building.

### Item #2: Schoolhouse

Staff supports the proposed relocation of the schoolhouse building to within the historic district. The applicant has determined through written historical documentation the schoolhouse was originally located within what is now the historic district, and directly east of the Lyceum, and then later relocated to outside the historic district in 1926. Although the exact location of the schoolhouse has not been determined, and no original foundations have been located, the proposed relocation of the building east of the Lyceum would return the building to within the historic district and its approximate original location. Staff supports the building relocation finding that it would have no adverse affect on the historic district or setting of the property.

### Item #3: Environmental Setting

Staff supports the proposed changes to the environmental setting. The removal of one Tulip Poplar, minor changes to the fence posts and installation of new brick pathways throughout the campus will have no adverse affect on the historic district or historic resource.

Staff recommends that the HPC provide the applicant with feedback on the following items:

1. **Material treatments for the proposed addition to the Lyceum (*specifically window and roofing materials should be discussed*)**
2. **Relocation of the existing schoolhouse to within the historic district.**

### STAFF RECOMMENDATION

Staff recommends that the applicant make revisions to the plans based on comments and feedback from the HPC and submit a Historic Area Work Permit (HAWP) application after all applicable county code, development and environmental review standards for the proposal have been satisfied.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Miche Booz or Catherine Stratton Treadway  
Daytime Phone No.: 301-774-6911

Tax Account No.: ~~111~~: 00718340  
Name of Property Owner: Sandy Spring Monthly Meeting Daytime Phone No.: 301-774-9792  
Address: 17715 Meetinghouse Rd Sandy Spring MD 208160  
Street Number City State Zip Code

Contractor: NA Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: Miche Booz Architect Daytime Phone No.: 301-774-6911

**LOCATION OF BUILDING/PREMISE**  
House Number: 17715 Street: Meeting House Rd  
Town/City: Sandy Spring Nearest Cross Street: Rt. 108  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: 1  
Map Folio: JT32 Parcel: P553

**PART ONE: TYPE OF PERMIT ACTION AND USE**  
I.A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
I.B. Construction cost estimate: \$ 550,000  
I.C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**  
A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**  
A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/ easement

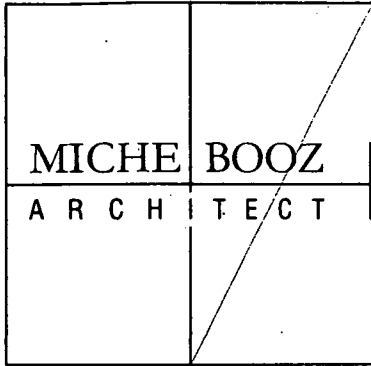
herby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

\_\_\_\_\_  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

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## Sandy Spring Monthly Meeting Conceptual HAWP Review April 7, 2010

### **General description of existing structures and environmental setting, including historical features and significance.**

The present brick Meetinghouse, the third on this site, was built in 1817 on land which was conveyed in 1753 by James Brooke to Roger, Richard, and Basil Brooke in trust for the Society of Friends. The adjacent historic cemetery contains past generations of Friends, and others from the Sandy Spring community. Friends from the earliest years are buried in unmarked graves close to the Meetinghouse.

On the north side of the cemetery stands the Community House, used for the First Day School and committee and fellowship activities. Built in 1859, it was the Lyceum for the neighborhood until 1927. It was remodeled as the Community House in 1928; the front door was relocated to the south side of the building, a chimney added on the west side, and the building was expanded to the east.

The low east wing of the Community House was added in 1958 to house First Day School classrooms. A larger kitchen and low-sloping addition was also made at this time to the north side of the Lyceum. (See photos of the historic Lyceum and the current Community House.) An additional large classroom was added on the east wing in 1985.

A schoolhouse is currently located to the northeast of the classroom wing of the Community House. This building was originally built in 1897, replacing a log structure which was destroyed by a falling tree in the Great Hurricane of 1896. The schoolhouse was originally located directly east of the Lyceum building although original foundations have not been located. It was moved to its new location and converted to a house in 1926.

The entire site retains its historic rural character and contains many large trees. The Sandy Spring Monthly Meeting property from the Lyceum building, graveyard and south to the Meeting House are part of the Sandy Spring Historic District.



**General description of the project and its effect on the historic resources, the environmental setting, and the historic district.**

Since 2001, members of the Sandy Spring Monthly Meeting have been involved in a careful assessment and design process to meet the needs of a growing school-age population. The meeting has held a number of internal design charrettes and threshing sessions and has closely consulted with Historic Preservation Commission staff at critical stages in this evolving process.

**Community House:** The project proposes to remove portions of the 1958 classroom addition and the entire 1985 classroom addition to the Community House. It proposes an addition to the east which is more in keeping with the size and character of the original Lyceum. Some non-historic interior walls would be removed and the kitchen would be moved into the new addition to make the lyceum into one large gathering space. The 1958 addition to the back of the Community House would remain as part of the new gathering space.

The project will remove the aluminum siding on the Community House building and attempt to restore the original narrow-width wood lap siding. The new addition will be clad in fiber-cement lap siding of matching exposure. Window and corner trim will be made to match the dimensions of the historic trim. (See historic photo.)

**Schoolhouse:** The project proposes to move the schoolhouse from its current location back to its approximate original location east of the Community House within the boundary of the Sandy Spring Historic District. Creating a modern basement classroom underneath the schoolhouse will help to preserve the building since it now sits on top of a substandard and leaky basement. The schoolhouse building will not be altered on the inside or the outside.

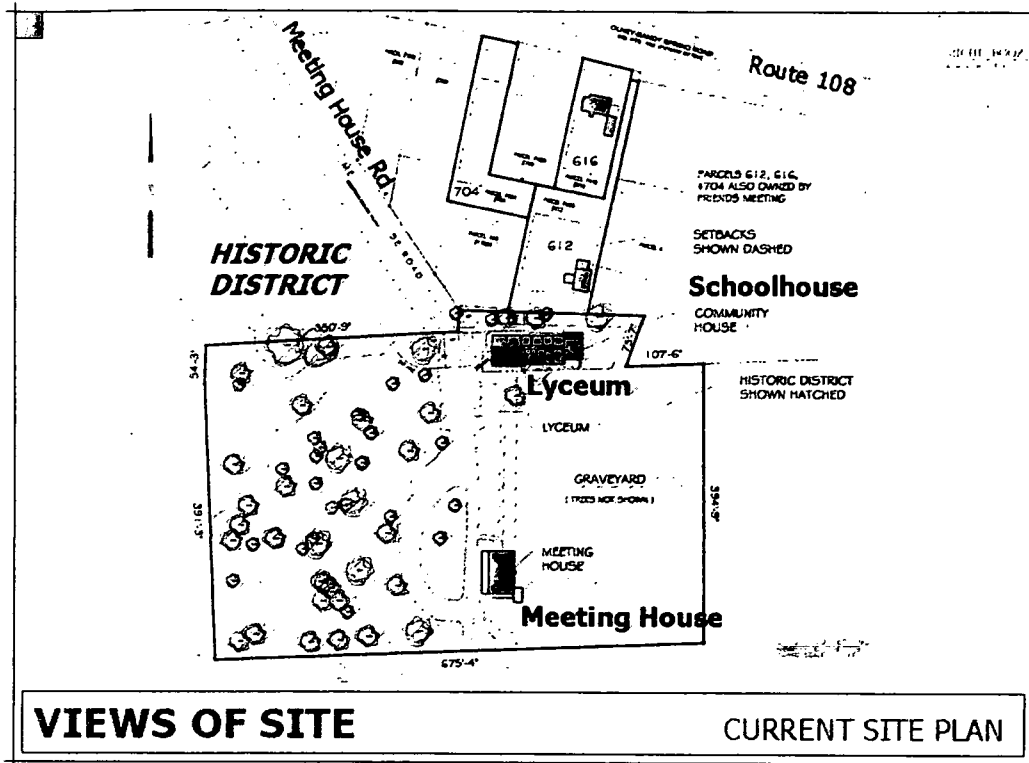
**Trees and Graveyard Fence:** A tulip poplar just north of the graveyard will need to be removed. It is currently disturbing the foundation of the 1958 addition to the Community House and its roots are located the new construction zone. It is too close the building and represents a danger to the new structure.

The fence of the graveyard will be chamfered at the northwest corner to allow for accessible access to the new Community House wing and the relocated schoolhouse. One stone fencepost will be replaced by two. No graves or headstones will be disturbed.

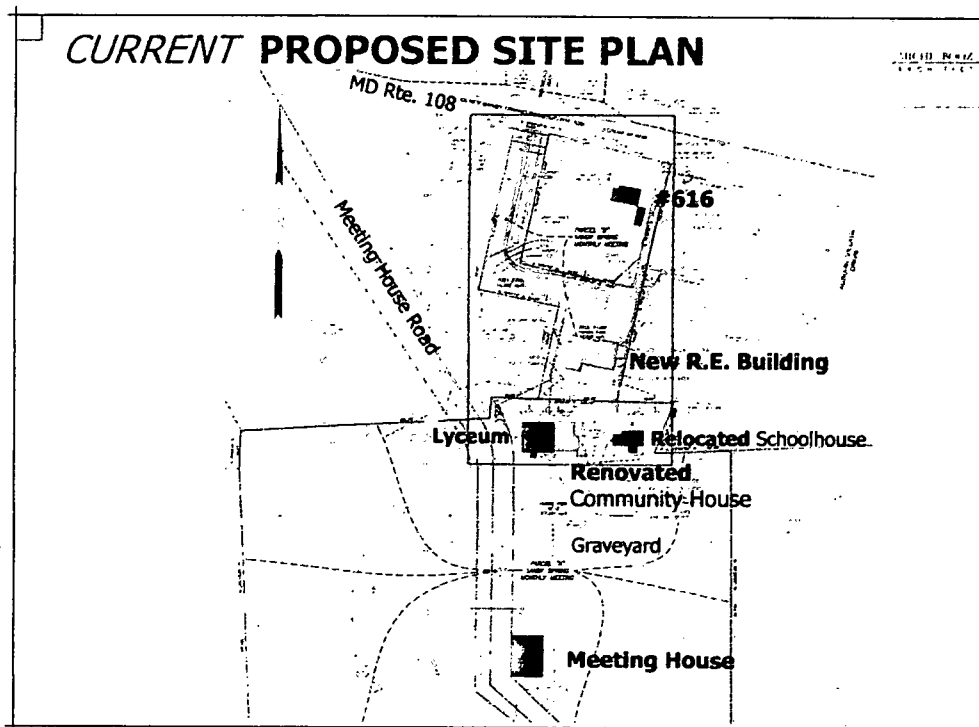
**New Education Building (Not in Historic District):** A new two-story gabled classroom building of approximately 2500sf (footprint) is proposed for a location approximately 80 feet north of the Community House. A south-facing porch will open to a new outdoor community space between the new Education Building, the Community House, and the relocated Schoolhouse. The new building will be clad in a combination of fiber-cement

lap siding and shingles and will have a standing seam metal roof. The new building is not in the historic district.

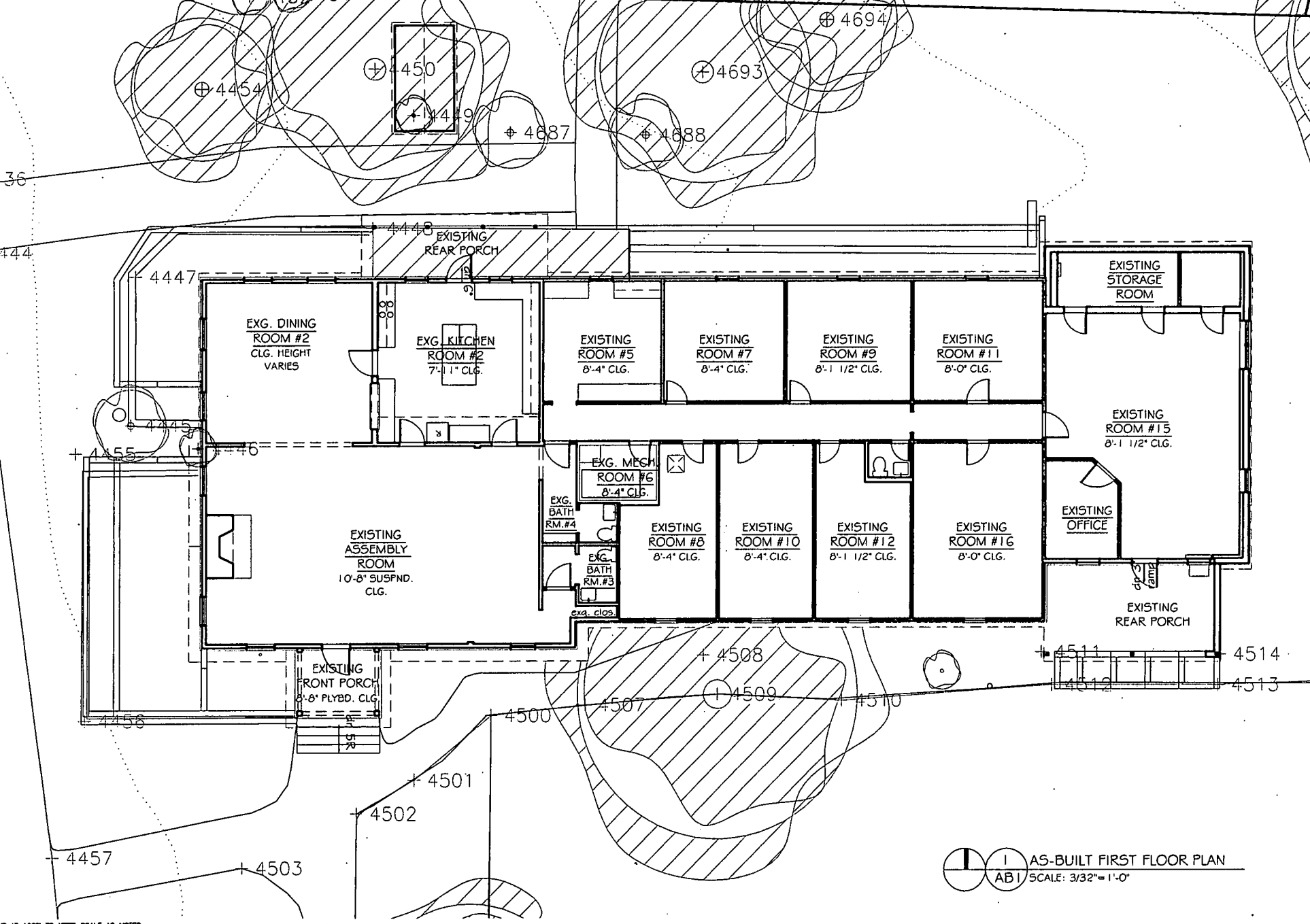
The meeting anticipates that this project will enhance the historic character of the site by removing the substandard and out-of-character additions to the Community House and moving the schoolhouse back to its approximate original location. The new building is of an appropriate scale and appropriate character for the historic nature of the site even though it is not located in the historic district.



Current site plan showing location of historic Lyceum (dark blue in plan), current Community House and the current location of the schoolhouse.

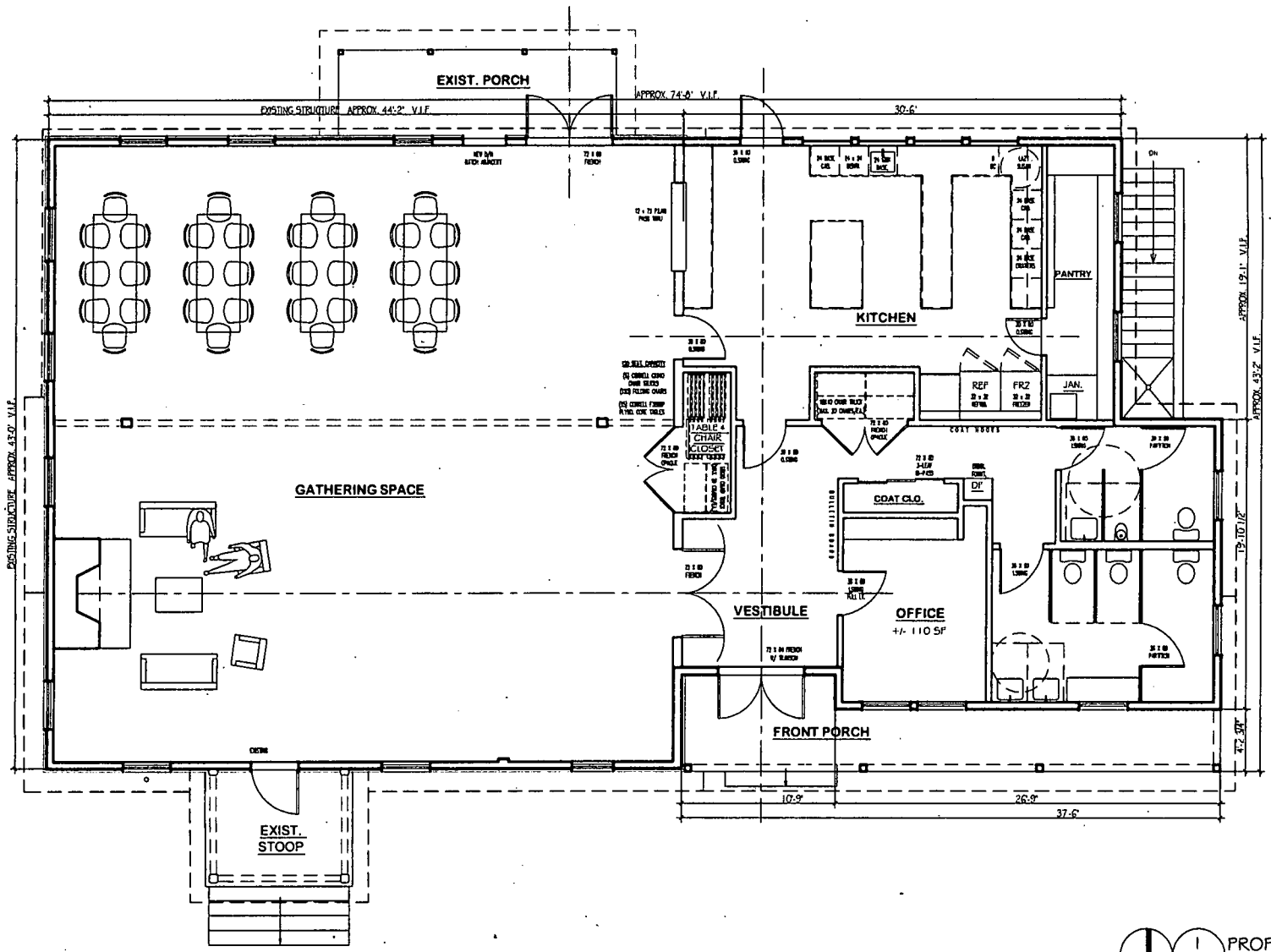


Proposed site plan showing the historic Lyceum/renovated Community House, the relocated Schoolhouse and the New Education (R.E.) Building.



AS-BUILT FIRST FLOOR PLAN  
SCALE: 3/32" = 1'-0"





1 PROPOSED FIRST FLOOR PLAN  
 A2 SCALE: 3/16" = 1'-0"

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Project:

Lyceum / Community House

SANDY SPRING  
MONTHLY MEETING

17715 Meeting House  
Sandy Spring, MD 208  
Montgomery County

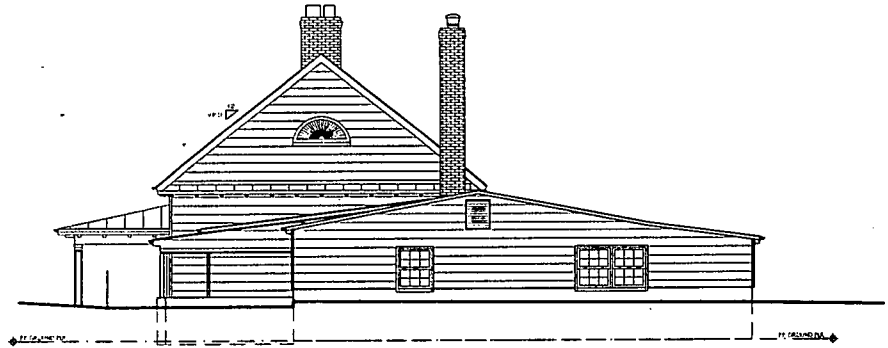
Dates:

APRIL 7, 2010  
DESIGN DEVELOPMENT  
HAWP CONCEPT SUBMITTAL

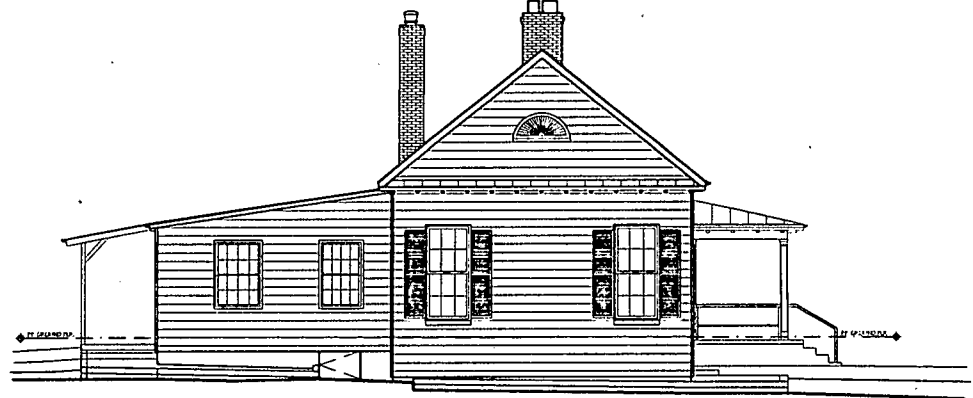
Drawings:

AS-BUILT ELEVATIONS

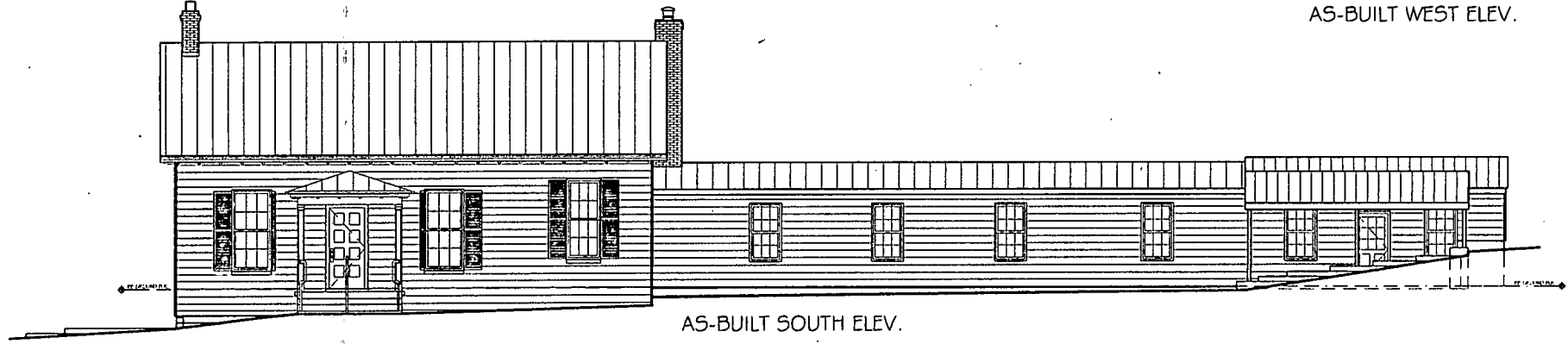
Notes:



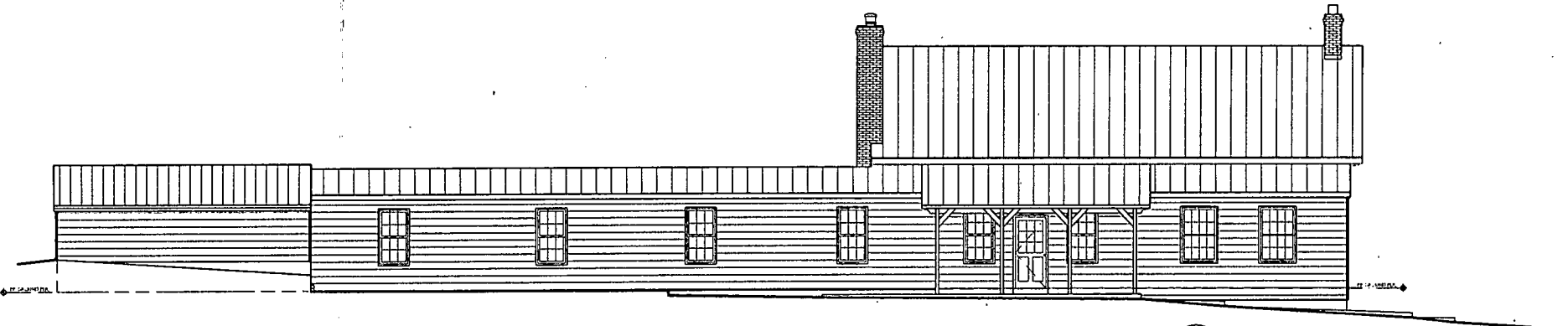
AS-BUILT EAST ELEV.



AS-BUILT WEST ELEV.



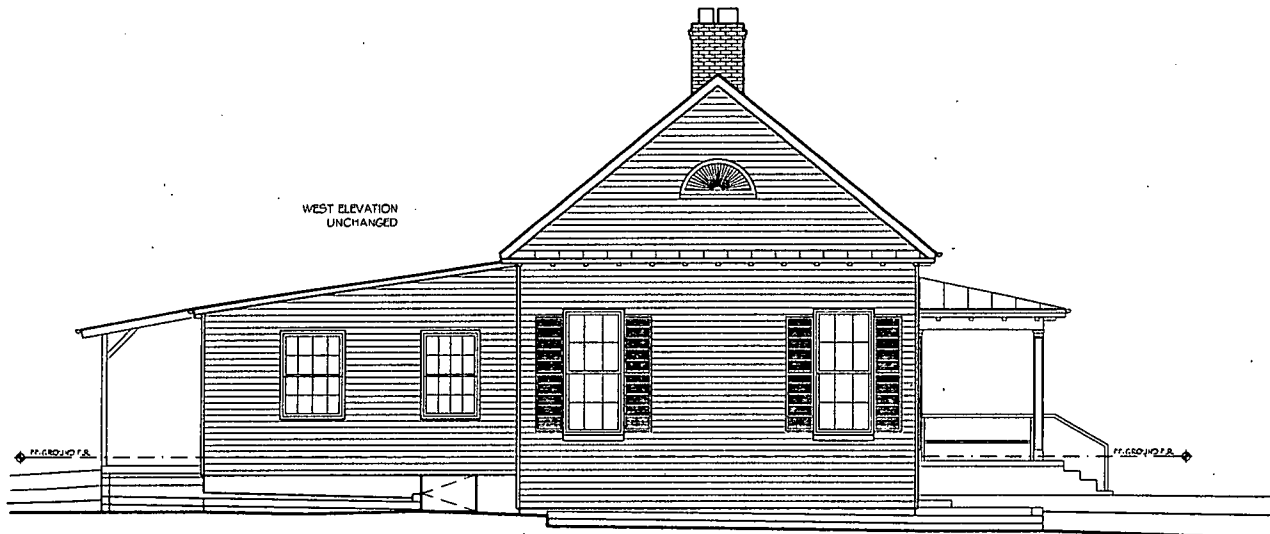
AS-BUILT SOUTH ELEV.



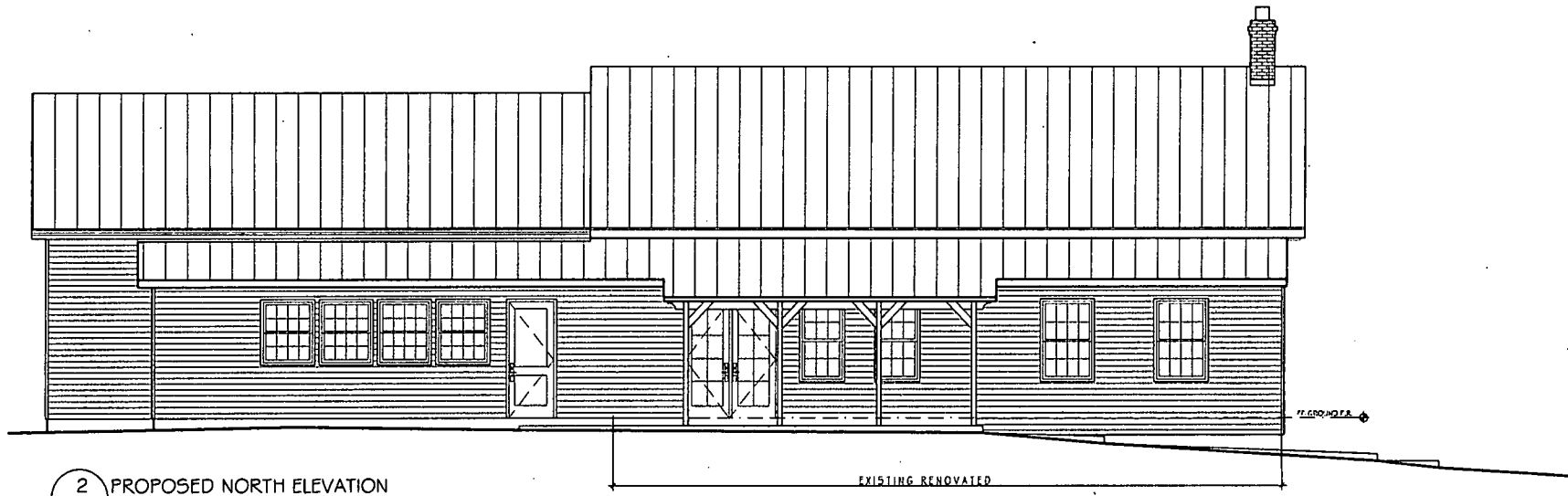
AS-BUILT NORTH ELEV.

1-4 AS-BUILT ELEVATIONS  
AB2 SCALE: 3/32" = 1'-0"

12



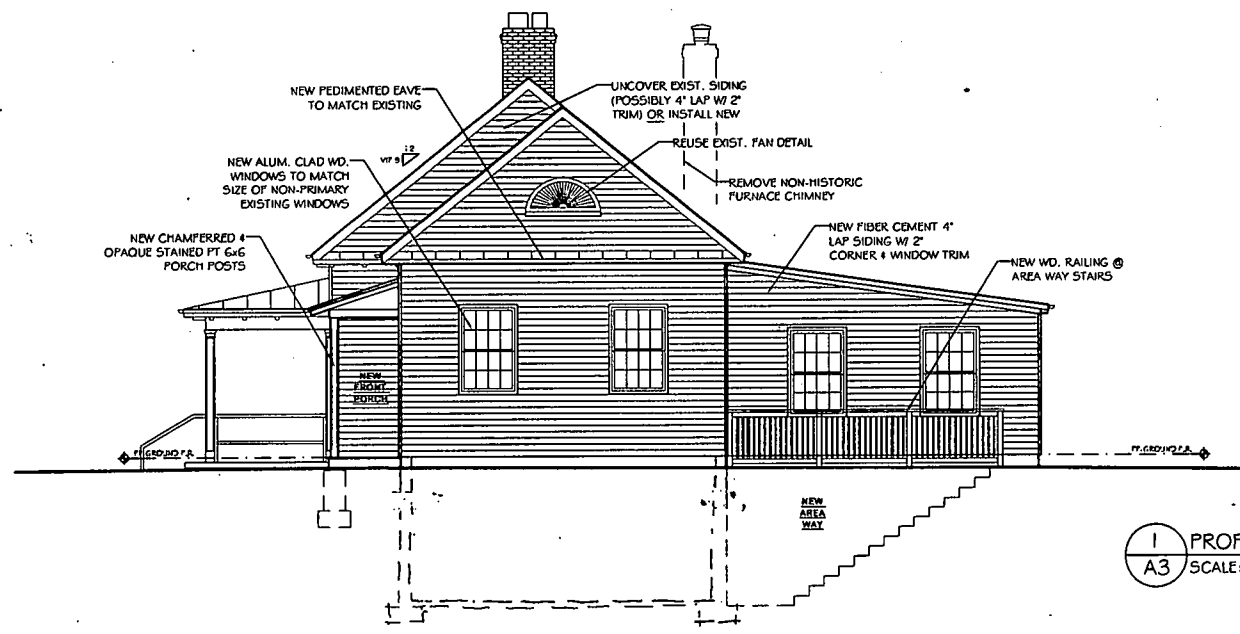
1 PROPOSED WEST ELEVATION  
 A4 SCALE: 1/8" = 1'-0"



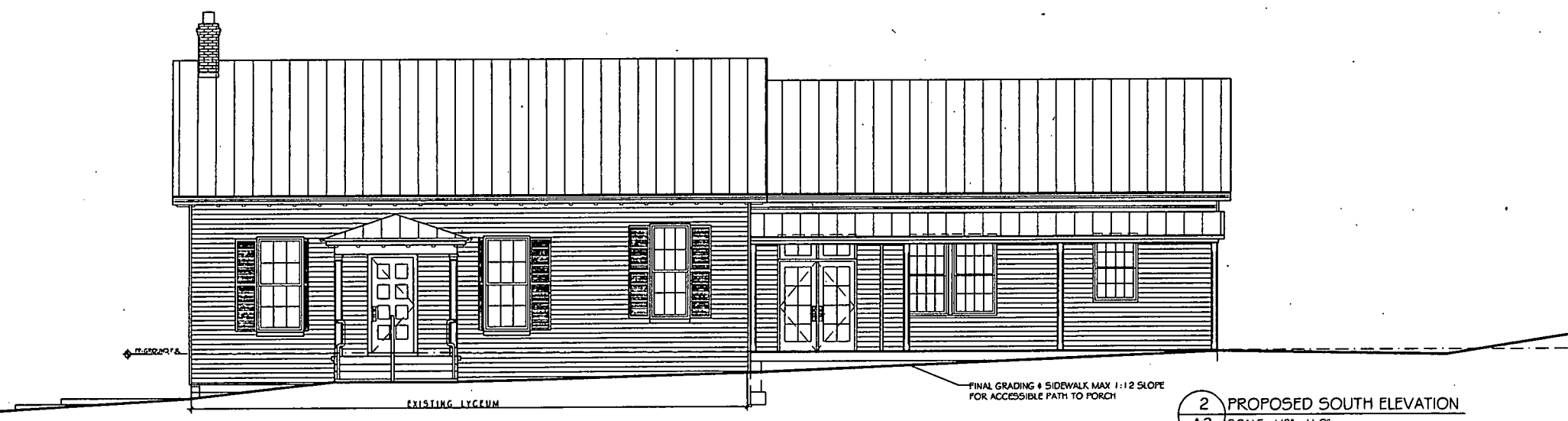
2 PROPOSED NORTH ELEVATION  
 A4 SCALE: 1/8" = 1'-0"

13

Project:  
Lyceum Community House  
SANDY SPRING  
MONTHLY MEETING  
17715 Meeting House Rd  
Sandy Spring, MD 20880  
Montgomery County  
Date:  
APRIL 7, 2010  
DESIGN DEVELOPMENT  
HAWP CONCEPT SUBMITTA  
Drawings:  
ELEVATIONS  
Notes:



1 PROPOSED EAST ELEVATION  
A3 SCALE: 1/8"=1'-0"



2 PROPOSED SOUTH ELEVATION  
A3 SCALE: 1/8"=1'-0"

AT 100% TO KEEP SCALE AS NOTED

14





Project:  
RELOCATED SCHOOLHO

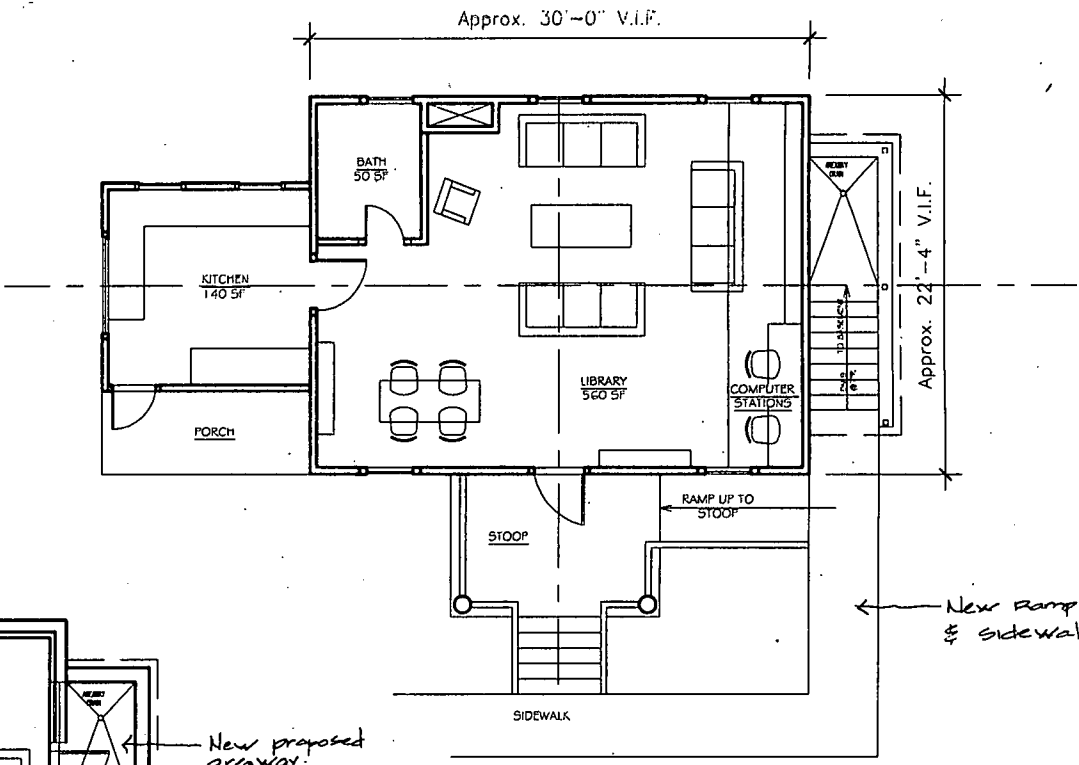
SANDY SPRING  
MONTHLY MEETING

17715 Meeting House  
Sandy Spring, MD 208  
Montgomery County

Date:  
FEBRUARY 7, 2010  
DESIGN DEVELOPMENT

Drawings:  
SCHOOLHOUSE  
FLOOR PLANS

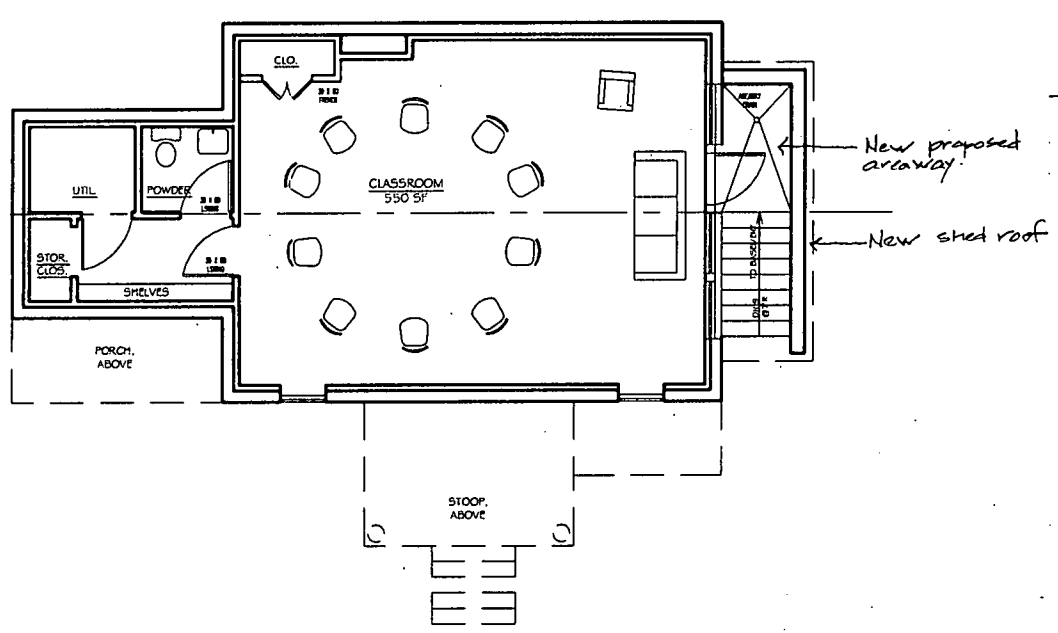
Notes:



← New Ramp  
& Sidewalks

1 1 FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

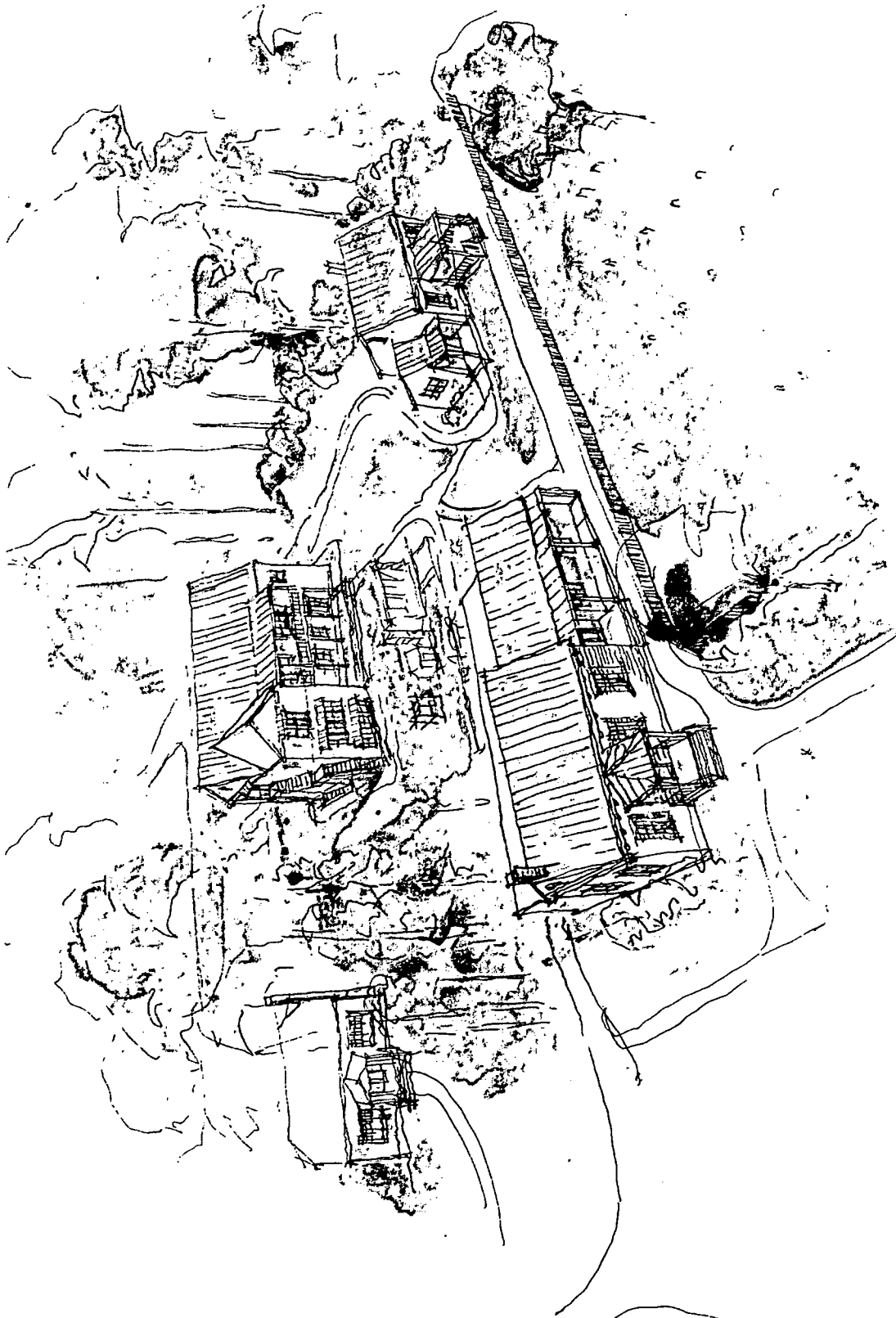
PLAN  
ALTERNATIVE  
WITH SIDE  
ACCESS STAIR



← New proposed  
arway

← New shed roof

1 1 BASEMENT PLAN  
SCALE: 1/8" = 1'-0"



Conceptual sketch of proposed plan showing the restored Lyceum, the new Community House addition, the relocated schoolhouse, and the new Education Building.



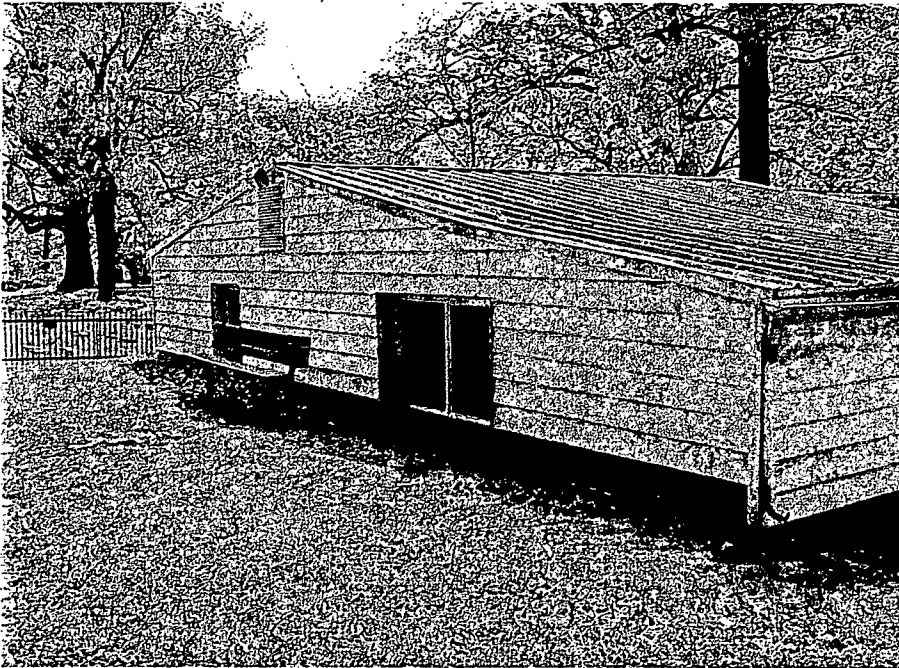
Historic photo of the Lyceum taken from the northwest. The meeting house is visible to the south. If the original lap siding is intact, it will be restored.



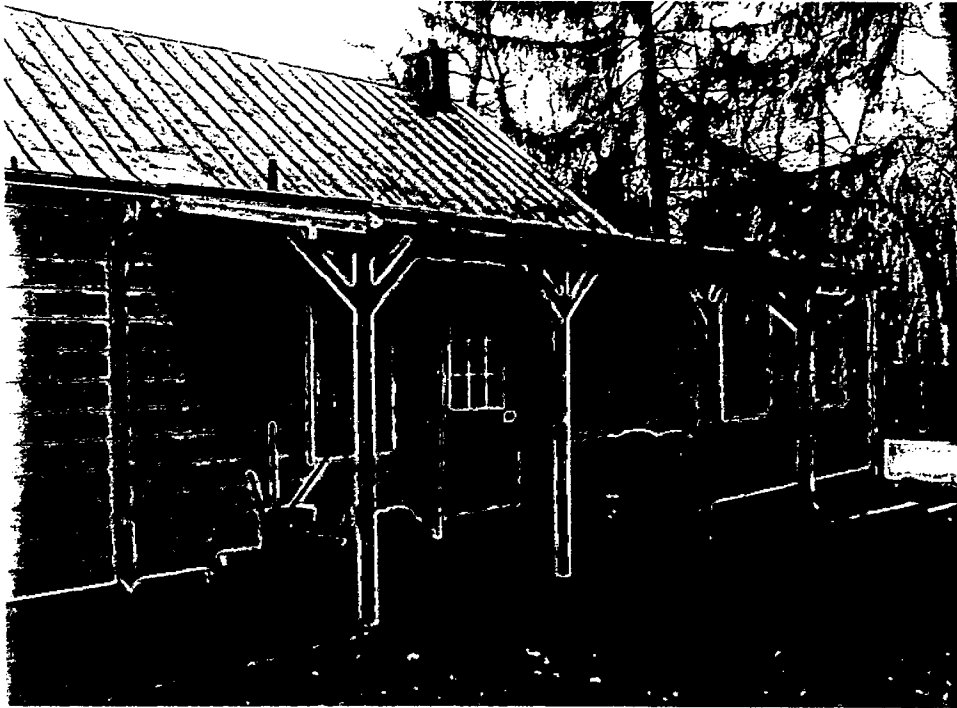
The historic Meeting House and rural road viewed from the northeast. The Meeting House will be untouched by the proposed project.



Current view of the Community House from the southwest parking lot showing south and west facades. The recessed east wing of the building visible in the photo will be demolished (built 1978 and 1985). The back low-slope addition on the north side will remain. The visible corner of the graveyard fence will be chamfered (Two stone fence posts will replace the one.) The tulip poplar will be removed.



Current east façade of the Community House showing the 1985 classroom addition. This portion will be demolished.



Existing porch on the north side of the Community House added in 1958. This porch will be kept.



Schoolhouse building in its current location. The exterior of the building will remain unchanged but the ramping will be changed in the new location.



The front of the schoolhouse in its current location.



The rear of the schoolhouse.

2<sup>nd</sup> Preliminary Consultation  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	17715 Meetinghouse Road, Sandy Spring	<b>Meeting Date:</b>	12/21/2011
<b>Resource:</b>	Outstanding Resource <b>Sandy Spring Historic District</b>	<b>Report Date:</b>	12/14/2011
<b>Applicant:</b>	Sandy Spring Monthly Meeting (Miche Booz, Architect)	<b>Public Notice:</b>	12/7/2011
<b>Review:</b>	2 <sup>nd</sup> Preliminary Consultation	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	N/A	<b>Staff:</b>	Josh Silver

**PROPOSAL:** Relocation of and alterations to schoolhouse and alterations to Lyceum

**STAFF RECOMMENDATION**

Staff recommends that the applicant make revisions to the plans based on comments and feedback from the Historic Preservation Commission (HPC) and submit a Historic Area Work Permit (HAWP) application.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource within the Sandy Spring Historic District  
**STYLE:** Vernacular  
**DATE:** 1859 (with later additions)

**BACKGROUND**

The HPC held a Preliminary Consultation hearing in April 2010 for the subject property. The proposed work considered the relocation of the schoolhouse building from its current location outside the historic district to a location inside the historic district, total and partial demolition of two non-historic addition sections of the Lyceum (Community House) building and construction of a new one-story addition on the east side elevation of the resource. Also considered were minor modifications to the existing hardscape surfaces on the grounds and tree removal. (See attached transcript PAGE 30).

The applicant is returning for a 2<sup>nd</sup> Preliminary Consultation to seek further guidance from the HPC on the feasibility of their proposal, which now includes a phased approach to the development of the site due to the economics of the total project. Phase 1 described below consists of relocation of the schoolhouse and demolition of a non-historic (1985) section of the Lyceum and alterations to both buildings.

The proposal described below is largely consistent with the plans the HPC reviewed and supported at the 1<sup>st</sup> Preliminary Consultation hearing in 2010.

**PROPOSAL**

The applicant is requesting conceptual approval from the HPC for the following items:

**Item #1: Lyceum (Community House), main block constructed in 1859**



The applicant proposes to demolish a portion of the addition constructed in 1985 to accommodate the space requirements needed for placement of the schoolhouse inside the historic district and to create a staging area for the relocation work. The exposed wall of the existing addition that will result from the demolition will be insulated and either clad with salvaged aluminum siding from the 1985 addition or new aluminum siding to match. A new concrete patio area with dimensions roughly the size of the 1985 addition building footprint and a 16-20" high, dry-stack fieldstone retaining wall will be installed in the area where the addition will be removed. The concrete patio and retaining wall will provide an accessible route between the Lyceum and relocated schoolhouse building. The proposed work is viewed as temporary in nature, as future phases of the project will include a more substantial demolition of the non-historic sections of the building, a new addition and development of a permanent circulation network.

As part of the work a new areaway with below-grade stair and associated wooden guardrails will be added to the north elevation of the 1958 addition section for access to a new cellar vault per the requirements of WSSC for fire department access to an onsite sprinkler system. The proposed location was selected because of the minimum proximity requirement to an existing fire hydrant. The existing porch roof of the 1958 addition section will be extended to the west to provide a protective cover over the below-grade areaway.

**Item #2: Schoolhouse (constructed 1897, relocated in 1926)**

The subject building contains evidence of having been significantly altered. The proposed undertaking includes relocation of the building from its current location outside the historic district to its approximate original location east of the Lyceum within the historic district, construction of a new basement level classroom underneath the building, and minor fenestration changes to non-original casement windows currently located on the north elevation wing.

The proposed work also includes the removal and replacement of exterior asbestos siding and metal roof with new cementitious lap siding and field-seamed Terne metal roof. An existing non-original brick furnace exhaust chimney will be removed and non-historic windows located in the addition section of the house will be replaced with all wood SDL windows. Two new below-grade window wells will be installed in the foundation to provide light into the new basement space.

A new areaway stair with a metal roof and wooden railings will be added to the relocated east side and new stained pressure-treated wood accessible ramp will be added to the relocated west side of the existing front porch entry. The ramp handrails will be fabricated from metal and do not require a standard picket detail because the ramp does not exceed 30" in height from grade. A new wooden stair will be added off the non-historic porch (adjacent to the kitchen) to meet the new grades. The new stairs and railings will be fabricated from a color stained pressure-treated wood and replace an existing concrete access in the current building location.

An asphalt or tar -and- chip walkway will be added in front of the relocated schoolhouse to provide an accessible route to the building.

**APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Sandy Spring Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

*Montgomery County Code; Chapter 24A*

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION****Item #1: Lyceum (Community House)**

The proposed removal of the 1985 addition is consistent with the proposal reviewed by the HPC at the 1<sup>st</sup>

Preliminary Consultation, which staff and the HPC supported. The proposed demolition of the 1985 addition section will not impact any character-defining features of the building.

Staff supports cladding the exposed wall with either salvaged or new aluminum siding. The installation of aluminum siding is an appropriate treatment given the temporary nature of the work and future rehabilitation of the historic block and construction of a new addition that would begin at this section of the building.

Staff supports the proposed installation of a temporary concrete patio and stone retaining wall. These installations will have negligible impact on the streetscape of the historic district and environmental setting of the property due to their location behind the building and proximity to grade. Furthermore, these installations will be removed as part of the future development of the property.

Staff supports the proposed installation of a below-grade areaway on the north side elevation of the 1958 section of the building. Although the proposed areaway will be visible from the public right-of-way, its impact will be negligible on the streetscape of the historic district and will not impact any character-defining features of the building.

#### **Item #2: Schoolhouse**

Staff supports the proposed relocation of the schoolhouse building to within the historic district. The applicant has determined through written historical documentation the schoolhouse was originally located within what is now the historic district, and directly east of the Lyceum, and then later relocated to outside the historic district in 1926. Although the exact location of the schoolhouse has not been determined, and no original foundations have been located, the proposed relocation of the building east of the Lyceum would return the building to within the historic district and its approximate original location. Staff supports the building relocation finding that it would have no adverse affect on the historic district or setting of the property.

The applicant is requesting feedback from the HPC on the proposed location and material treatments of the areaway and ADA ramp. Although locating ADA ramps at the rear elevation of a building is generally preferred, the applicant has selected the front elevation for several reasons. First, the front porch will provide principal access to the building for members of the facility, including elderly and those with limited mobility; second, it provides a more direct route between the Lyceum/Community House and the relocated schoolhouse; third, the current kitchen door is dimensionally inadequate and access through the kitchen entrance presents some difficulties due to the interior arrangements of the space; and fourth the existing grade change is favorable for adding a ramp without needing to construct a more traditional picket railing system. Because the grade change is less than 30" high, a simple and more transparent metal pipe rail can be used and still meet code. Furthermore, using the existing front door would not require creating a new opening or modification to an existing one.

Staff supports the proposed removal and replacement of the existing non-historic windows with wooden SDL windows in the addition section of the building. Staff also supports the proposed removal and replacement of the metal roof with a field-seamed metal Terne roof. The proposed material and installation method is compatible in character with the period of the resource and will not substantially alter the building. Similarly, the proposed installation of two window wells in the new foundation will not substantially alter the building or impact the historic district.

The applicant is proposing to remove and replace the asbestos siding and with a cementitious siding product. The applicant has indicated the presence of original wood siding underneath the asbestos siding, but contends it is severely deteriorated and would like to remove it. Staff recommends a closer inspection of the original wood siding to determine if it can be repaired versus its wholesale removal and

replacement with a cementitious material. Staff recommends in-kind replacement of the original wooden siding if the applicant demonstrates the existing siding cannot be repaired.

Staff supports the proposed material treatments for the ramp and railing systems for all porches and areaways. The railing design for the front porch and areaways are consistent with a historic porch railing design and will be stained. The installation of a metal pipe railing is more transparent and minimalist to avoid obscuring the front elevation of the building and has less impact on the environmental setting of the immediate context and historic district.

Staff recommends the installation of a tar –and- chip, exposed aggregate or similar material treatment for all pathways and permanent surfaces on the property. Currently the property contains asphalt pathways. Staff would support the installation of asphalt for any pathways categorized as being temporary in nature until a formal circulation network is designed, at which time a more compatible material such as exposed aggregate, tar –and- chip or similar would be required.

Staff supports the proposed removal of the existing non-original brick furnace chimney. Although an exact construction date for the chimney is unknown, it is believed to be associated with a later construction period given its purpose as exhaust for the furnace.

The applicant is seeking guidance and feedback from the HPC on the following items:

1. **Construction of a new areaway and associated alterations to the north elevation of the Lyceum/Community House**
2. **Installation of a concrete patio and stone retaining wall on the east side elevation of the Lyceum/Community House**
3. **Relocation of the existing schoolhouse to within the historic district**
4. **Removal and replacement of asbestos/wood siding with a cementitious siding product on the schoolhouse building**
5. **Construction of a new areaway on the east side and ADA ramp on the south side of the schoolhouse building**
6. **Approvable material treatments for all permanent walkways and surfaces.**

#### **STAFF RECOMMENDATION**

Staff recommends that the applicant make revisions to the plans based on comments and feedback from the HPC and submit a HAWP application.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Miche Booz

Daytime Phone No.: 301-774-6911

Tax Account No.: ~~111~~ 00718340

Name of Property Owner: Sandy Spring Monthly Meeting Daytime Phone No.: 301-774-9792

Address: 17715 Meetinghouse Rd Sandy Spring MD 20860  
Street Number City State Zip Code

Contractor: NA Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: Miche Booz Architect Daytime Phone No.: 301-774-6911

**LOCATION OF BUILDING/PREMISE**

House Number: 17715 Street: Meeting House Rd

Town/City: Sandy Spring Nearest Cross Street: Rt. 108

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: 1

Map Folio: JT32 Parcel: P553

**ANY ONE: TYPE OF PERMIT ACTION AND USE**

**I. A. CHECK ALL APPLICABLE:**

**CHECK ALL APPLICABLE:**

- |  |  |  |  |                                    |   |  |                               |                               |
|--|--|--|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct       | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Slab      | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input checked="" type="checkbox"/> Move | <input type="checkbox"/> Install           | <input checked="" type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove        | <input type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision        | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) |                                    | <input checked="" type="checkbox"/> Other: _____  |  |                               |                               |

B. Construction cost estimate: \$ 550,000

C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**ANY TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**ANY THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line     Entirely on land of owner     On public right of way/easement

hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

M. Booz  
Signature of owner or authorized agent

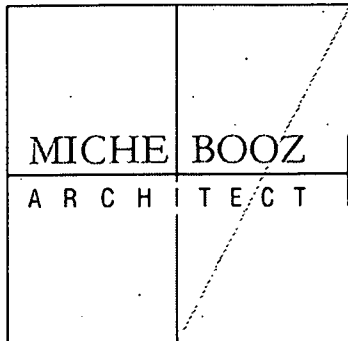
11.16.2011  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 584821 Date Filed: 11/16/2011 Date Issued: \_\_\_\_\_





## Sandy Spring Monthly Meeting HAWP Application

### Phase 1: Historic School House

November 16, 2011

(Revised 12/07/11)

#### **General description of existing structures and environmental setting, including historical features and significance.**

The present brick Meetinghouse, the third on this site, was built in 1817 on land which was conveyed in 1753 by James Brooke to Roger, Richard, and Basil Brooke in trust for the Society of Friends. The adjacent historic cemetery contains past generations of Friends, and others from the Sandy Spring community. Friends from the earliest years are buried in unmarked graves close to the Meetinghouse.

On the north side of the cemetery stands the Community House, used for the First Day School and committee and fellowship activities. Built in 1859, it was the Lyceum for the neighborhood until 1927. It was remodeled as the Community House in 1928; the front door was relocated to the south side of the building, a chimney added on the west side, and the building was expanded to the east.

The low east wing of the Community House was added in 1958 to house First Day School classrooms. A larger kitchen and low-sloping addition was also made at this time to the north side of the Lyceum. (See photos of the historic Lyceum and the current Community House.) An additional large classroom was added on the east wing in 1985.

A school house is currently located to the northeast of the classroom wing of the Community House. This building was originally built in 1897, replacing a log structure which was destroyed by a falling tree in the Great Hurricane of 1896. The school house was originally located directly east of the Lyceum building although original foundations have not been located. It was moved to its new location and converted to a house in 1926.

The entire site retains its historic rural character and contains many large trees. The Sandy Spring Monthly Meeting property from the Lyceum building, graveyard and south to the Meeting House are part of the Sandy Spring Historic District.

**General description of the project and its effect on the historic resources, the environmental setting, and the historic district.**

Since 2001, members of the Sandy Spring Monthly Meeting have been involved in a careful assessment and design process to meet the needs of a growing school-age population. The meeting has held a number of internal design charrettes and threshing sessions and has closely consulted with Historic Preservation Commission staff at critical stages in this evolving process.

School House: This HAWP application is for "Phase 1" work, which entails the relocation of the 1897 school house from its current location back to its approximate original location east of the Community House within the boundary of the Sandy Spring Historic District. Site features impacted as a part of this relocation will be minimal. There are two methods being considered for this work: 1) rolling on ground; or 2) crane lifting and placing. The rolling method will only impact scrub trees (under 6" caliper), whereas the crane method will require the removal of one large limb of an adjacent white oak. In either case, root matting will be installed as part of general protections for this tree.

Other scope of work includes:

1. Creating a modern basement classroom underneath the school house, which will help to preserve the building since it now sits on top of a substandard and leaky basement.
2. The exterior asbestos siding and aging metal roofing will be removed; improvements include new cementitious lap siding and new field-seamed Terne II metal roofing.
3. The existing brick furnace exhaust chimney will be removed.
4. Non-historic windows in the kitchen addition will be removed and replaced with more traditional wood SDL windows. Existing historic wood windows will be refinished and repainted.
5. A new area way stair with a metal roof and railings will be added to the relocated east side.
6. A new stained PT wood accessible ramp will be added to the relocated west side of the existing front porch entry. The porch will be sited low to the ground (under 30") so the ramp will not be required to include picketed guard rails. Required hand & curb rails, and associated posts will be minimal 1-1/2" square painted steel; so it will be fairly transparent.

Alternatives considered for the ramp location included the east side of the front porch, and the non-historic porch adjacent to the kitchen. There are no other

existing entry doors. Since the historic front porch will provide principal access to the building for all Meeting members, including the elderly and those with limited mobility, this more direct route from the west is highly preferable and provides equal access per ADA guidelines. The kitchen route is substandard in these terms, as well as dimensionally inadequate.

7. Asphalt or tar/chip walks will be added to provide required accessible routes.
8. Two below-grade window wells will be added to help bring light into the new basement space.
9. A new wood stair will be added off the non-historic porch (adjacent to the kitchen) to meet the new grades. These will replace existing concrete access in the current building location. All new guard rails will be color stained PT wood with pickets inset into top and bottom rails, to match the existing traditional railings. Required hand rails will be 1-1/2" square painted steel.

Interior alterations to the school house, in addition to the new basement, will include a renovated accessible restroom, as well as an upgraded HVAC system and some finish wall and ceiling renovations.

Community House: As part of this HAWP, the eastern-most wing of the Community House structure, dating from 1985, will be demolished. It will be replaced with a concrete patio and 16"-20" high dry-stack fieldstone retaining wall to provide an accessible route to the new school house location, as well as provide a staging area for the school house relocation work. Existing landscape steps and graveyard fence will remain. The new exterior wall will be insulated and sheathed, and sided to match existing aluminum siding exposure. This work is viewed as temporary in nature, as future phases will include a more substantial demolition of these non-historic wings of the Community House.



Sandy Spring Monthly Meeting  
Preliminary HAWP: Phase 1 School House

November, 2011 - 12

**Neighboring property addresses:**

MERNICK GEORGE H &  
THENE MARTIN MERNICK  
17617 MEETING HOUSE RD  
SANDY SPRING MD 20860-1017

WRIGHT ALAN M & K V  
17710 MEETING HOUSE RD  
SANDY SPRING MD 20860

STEDMAN BRUCE J &  
ELEANOR M DORSEY  
17714 MEETING HOUSE RD  
SANDY SPRING MD 20860

SANDY SPRING MONTHLY MEETING  
OF THE REL SOCIETY OF FRIENDS  
17715 MEETING HOUSE RD  
SANDY SPRING MD 20860-1024

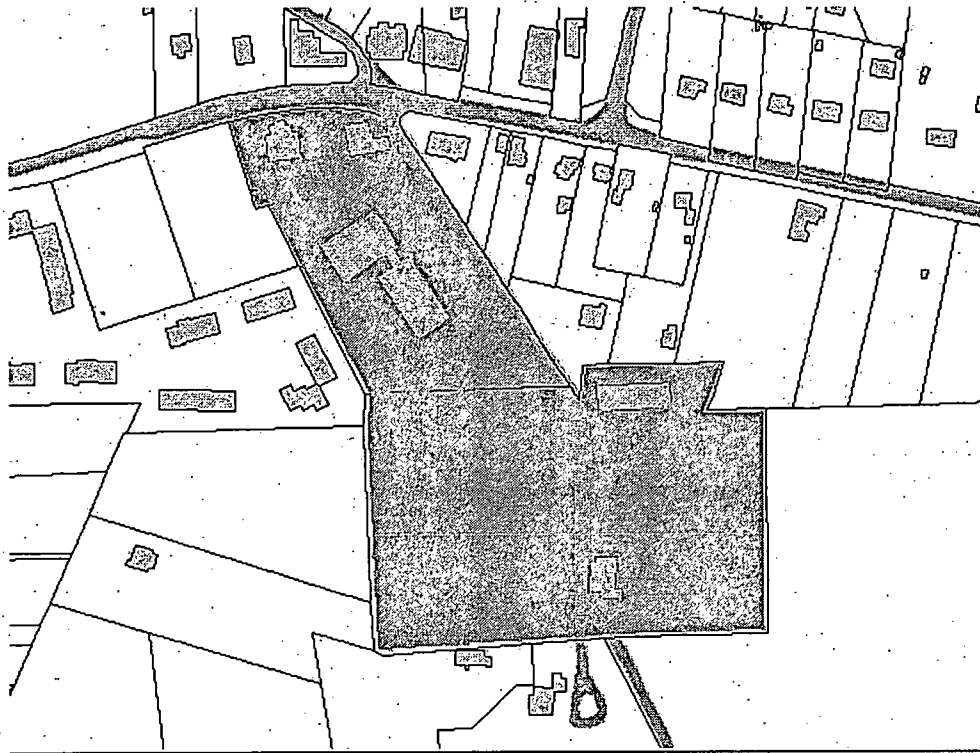
SIDELL JANE L  
17809 MEETING HOUSE RD  
SANDY SPRING MD 20860-1022

STABLER 1848 LLC  
C/O NICHOLS DEV LLC  
18623 BROOKE RD  
SANDY SPRING MD 20860

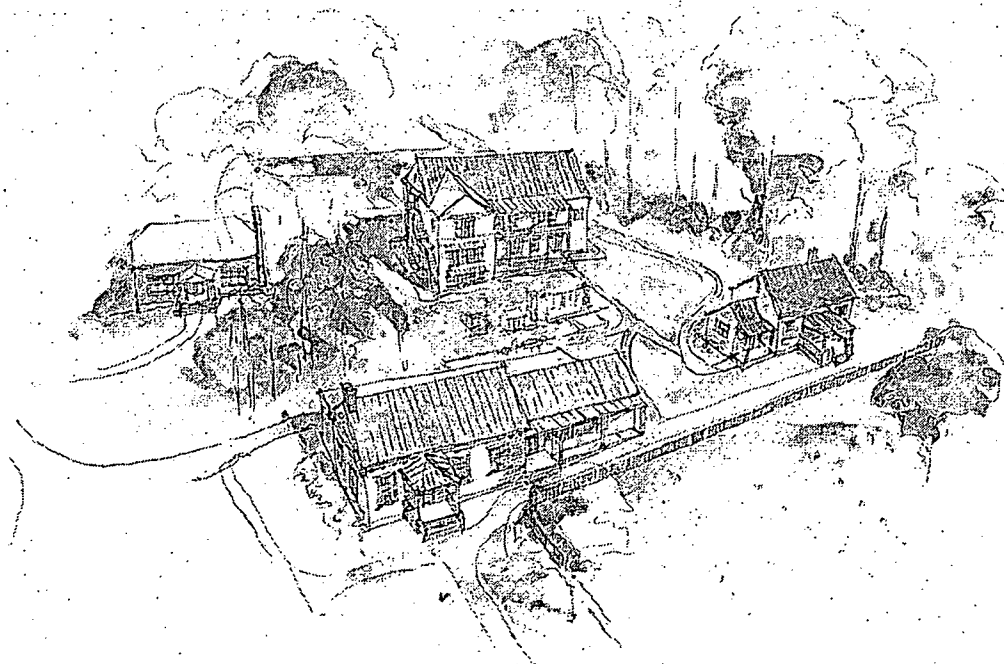
AUBURN VILLAGE HOMEOWNERS ASSOC  
C/O WINCHESTER HOMES INC  
6905 ROCKLEDGE DR STE 800  
BETHESDA MD 20817-1873

BODDY TROY  
140 NORWOOD RD  
SILVER SPRING MD 20905-3878

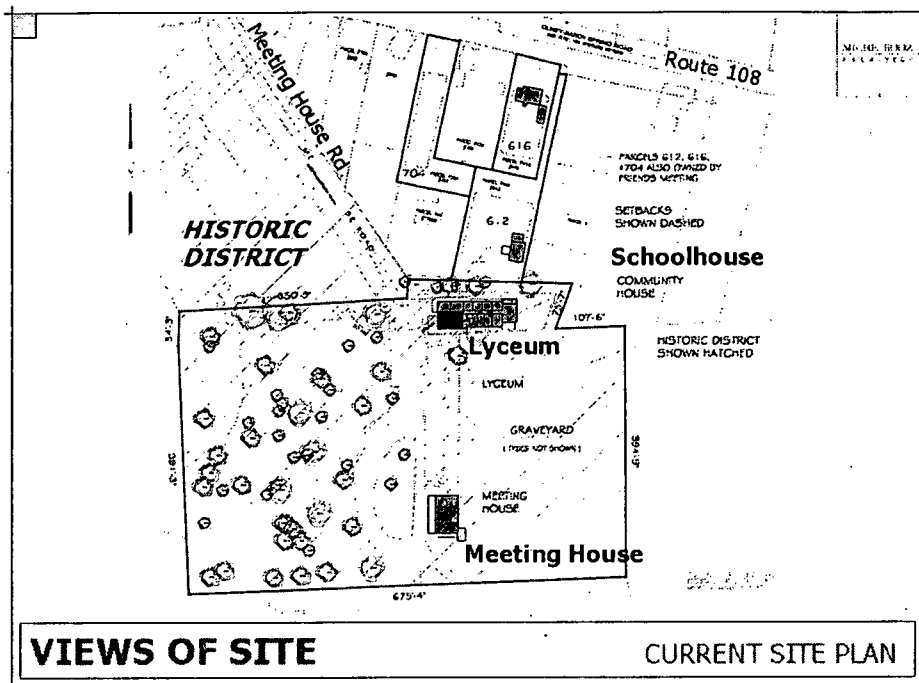
SANDY SPRING VILLAGE  
CONDOMINIUM ASSOC  
WINDRUSH LANE  
SANDY SPRING MD 20860



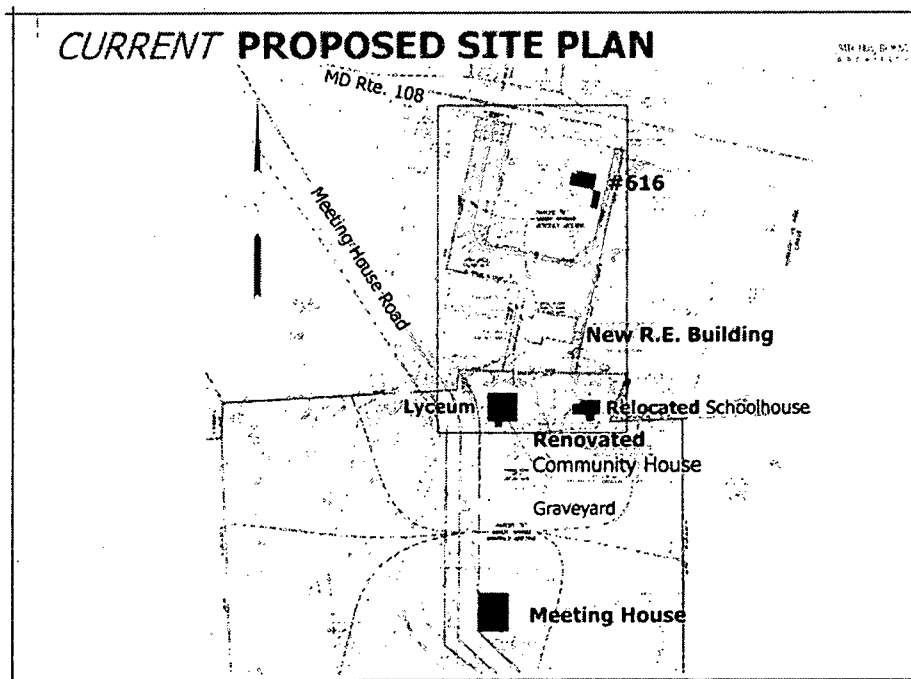
Green portions describe the Sandy Spring Historic District. The Schoolhouse is currently outside of the Historic District, but will be relocated into it as part of this scope of work.



Conceptual sketch of proposed master plan showing the restored Lyceum, the new Community House addition, the relocated school house, and the new Education Building. Only the Schoolhouse relocation, and demolition of the Community House's 1985 east wing are to be considered for this "Phase 1" HAWP.



Current site plan showing location of historic Lyceum (dark blue in plan), current Community House and the current location of the school house.



Proposed master plan showing the historic Lyceum/renovated Community House, the relocated Schoolhouse and the New Education (R.E.) Building. Only the Schoolhouse relocation, and demolition of the Community House's 1985 east wing are to be considered for this "Phase 1" HAWP.

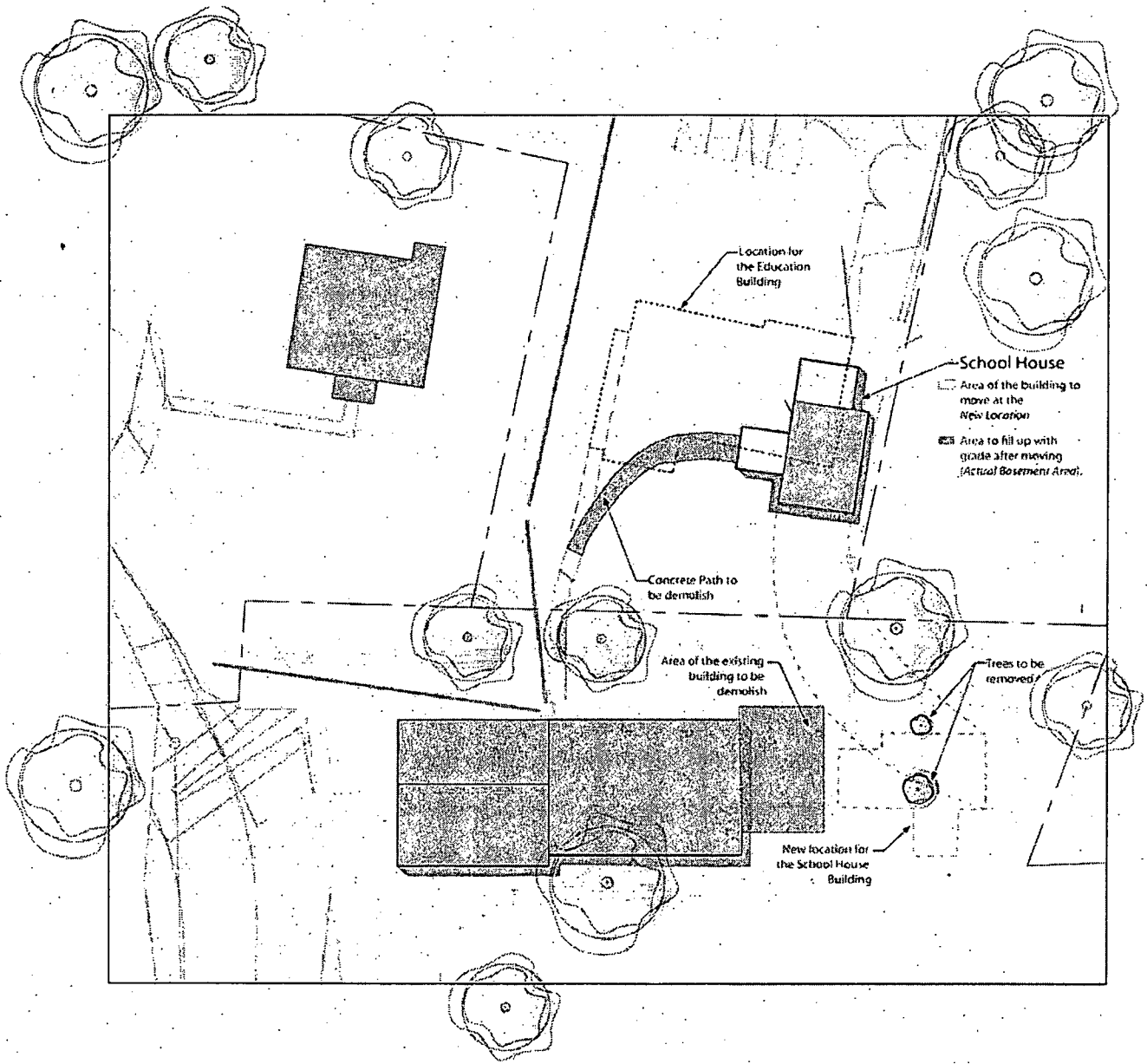
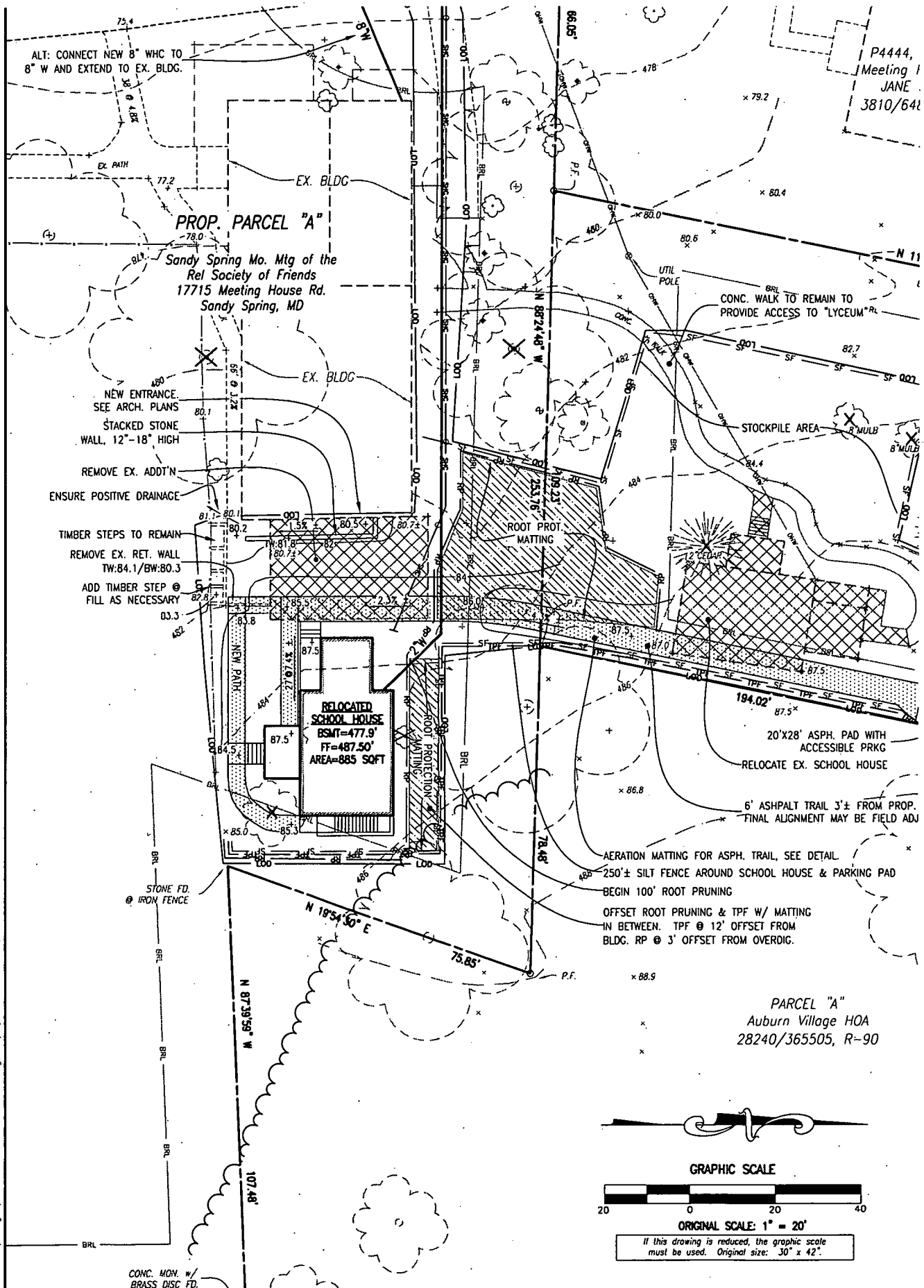
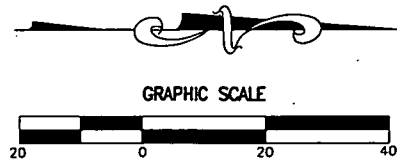


Diagram describing the scope of work for this Historic Area Work Permit.

P4444,  
Meeting 1  
JANE  
3810/641



PARCEL "A"  
Auburn Village HOA  
28240/365505, R-90



If this drawing is reduced, the graphic scale  
must be used. Original size: 30" x 42"

SS Mtg House\Design\Phase1 Site-SWM-Plan.dwg, 12/2/2011 3:38 PM, Owner

Date:	Revision:	Date:	Revision:
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14

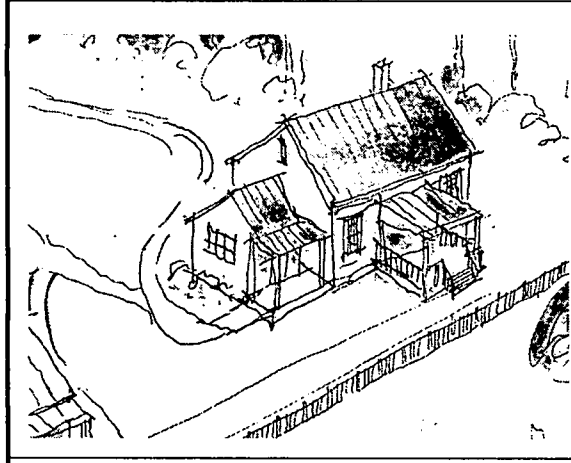
CODES
MD, REHAB CODE & BY REFERENCE: ICC INTERNATIONAL EXISTING BUILDING CODE, 2009 (IEBC) IN ADDITION TO THE IEBC THE FOLLOWING CODES AND STANDARDS SHALL APPLY: -ICC INTERNATIONAL BUILDING CODE, 2009 (WITH LOCAL AMENDMENTS) (IBC) -ICC INTERNATIONAL MECHANICAL CODE, 2009 (WITH LOCAL AMENDMENTS) (IMC) -ICC INTERNATIONAL ENERGY CONSERVATION CODE, 2009 (WITH LOCAL AMENDMENTS) (IECC) -WSSC PLUMBING CODE -NFPA 70 - NATIONAL ELECTRICAL CODE, 2008 (WITH LOCAL AMENDMENTS) (NEC) -NFPA 101 - LIFE SAFETY CODE, 2003 (WITH LOCAL AMENDMENTS) (LSC)

CODE ANALYSIS
OCCUPANCY GROUP: A-3 USE: CLASSROOM (RELIGIOUS FACILITY) FLOOR AREA: 1470 SF CONSTRUCTION TYPE: V-B HEIGHT: 20' (ALLOWABLE: 40') NO. OF STORIES: 1 (ALLOWABLE: 1) AREAS PER FLOOR: BASEMENT: 698; FIRST: 772 (ALLOWABLE: 6,000 SF); DESIGN LIVE LOADS/FLOOR: 30psf ROOF: 100psf FLOOR, 30psf GROUND SNOW SPECIAL USE & OCCUPANCY CONDITIONS: N/A OCCUPANCY CALCULATIONS: USE GROUP "A-3" = 15 NET SF/OCCUPANT, AT 1302 NET SF (656 SF UPPER FLOOR + 545 SF LOWER FLOOR), OCCUPANCY = 81 PERSONS TOTAL (44 FIRST FL. + 37 SECOND FL.)

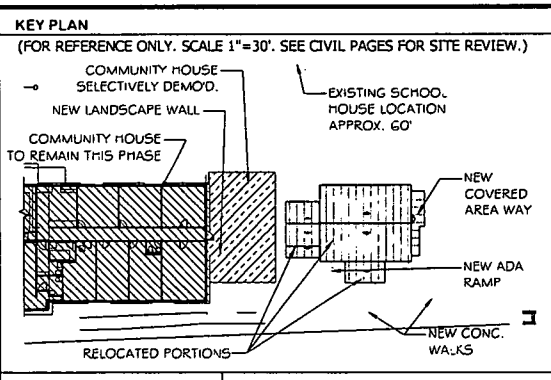
TABULATION OF REQ'D. FIRE-RESISTANCE RATINGS: (SEE IEBC CHAP. 6 ANALYSIS BELOW FOR EXISTING SPACES) THE FOLLOWING REFERS TO THE BASEMENT ADDITION ONLY:
FIRE WALLS: N/A (2 HRS. REQUIRED) BEARING WALLS: (0 HRS. REQUIRED) NONBEARING WALLS: (0 HR. REQUIRED) ROOF CONSTRUCTION: (0 HR. REQUIRED) ROOF COVERING: CLASS C ROOF ASSEMBLY (REQUIRED) INTERIOR BEARING WALLS: (0 HR. REQUIRED) INTERIOR PRIMARY STRUCTURAL FRAME: (0 HR. REQUIRED) INTERIOR FLOOR CONSTRUCTION: (0 HR. REQUIRED) SHAFT ENCLOSURES: < 4 STORIES = 1 HR. (1 HR. REQUIRED) INTERIOR FINISHES: MIN. FLAME SPREAD CLASSIFICATIONS (SPRINKLERED): EXIT ENCLOSURES/PASSAGEWAYS: CLASS B CORRIDORS: CLASS B ROOMS & ENCLOSED SPACES: CLASS C SEPARATED OCCUPANCIES: NONE FIRE SEPARATION DISTANCE: 25' MAX AREA OF EXT. WALL OPENINGS (UNPROTECTED, SPRINKLERED) = UNLIMITED EXIT ANALYSIS: All landings discharge to walks to public way. FIRST FL.: Two egress doors to landings w/ stair + 1 ramp. BASEMENT: Egress door to area way.
FIRE PROTECTION: SPRINKLER PROTECTION: The building will be protected throughout with an automatic sprinkler system. FIRE ALARM & DETECTION: The building will be protected throughout with a fire alarm & detection system.

SEE NEXT SHEET FOR IEBC CODE COMPLIANCE ANALYSIS

**SCHEMATIC VIEW, NOT TO SCALE**



ABBREVIATIONS	
ABV ABOVE	MAS MASONRY
AC AIR CONDITIONING	MAT MATERIAL
ADJ ADJACENT, ADJUSTABLE	MAX MAXIMUM
AFB ABOVE FINISHED FLOOR	MECH MECHANICAL
ALT ALTERNATE	MFR MANUFACTURER
ALUM ALUMINUM	MIN MINIMUM
APC ACOUSTICAL PANEL	MIR MIRROR
AR ARCHITECTURAL	MISC MISCELLANEOUS
ATC ACOUSTICAL TILE	MLDG MOLDING
APPROX. APPROXIMATE	MNT MASONRY OPENING
AT AT	MTL METAL
AVERAGE	N NORTH
NO, # NOT IN CONTRACT	NO, # NOT TO SCALE
NO, # NOMINAL	NTS NOT TO SCALE
ACCOUSTICAL WALL PANEL	OC ON CENTER
BTW BETWEEN	OD OUTSIDE DIAMETER
BD BOARD	OPG OPERING
BLDG BUILDING	OPP OPPOSITE
BLKG BLOCKING	OWS OPEN WEB STEEL
BM BEAM	PERF PERFORATE, (ED)
BRK BRICK	PL PLATE
BOT BOTTOM	PLAM PLASTER LAMINATE
BULK BULKHEAD	PLAS PLASTIC
CAB CABINET	PLYW PLYWOOD
CEM CEMENT	PNL PANEL
CIP CAST IN PLACE	PNT PAINT(ED)
CI CONTROL JOINT	PSF POUNDS / SQUARE FOOT
CL CENTER LINE	PSI POUNDS / SQUARE INCH
CLG CEILING	PT PRESSURE TREATED
CLO CLOSET	PTH PARTITION
CT CERAMIC TILE	PVCH POLYVINYL CHLORIDE
CO CASED OPENING	RB RUBBER BASE
COL COLUMN	RD ROOF DRAIN
CONC CONCRETE	RE REFER TO
CONT CONTINUOUS	REFR REFRIGERANT, (TOR)
CORR CORRIDOR	REFR REFRIGERATE, (ED), (ING)
CORRIGATED CONCRETE MASONRY UNIT	REQD REQUIRED
CMU CONCRETE MASONRY UNIT	RES RESILIENT
CPT CARPET(ED)	REV REVISION
CT CERAMIC TILE	RM ROOM
CU FT CUBIC FEET	ROU ROUGH OPENING
DEMO DEMOLISH	R RISER
DET DETAIL	R ROOF
DIA DIAMETER	RT RUBBER TILE
DIAG DIAGONAL	S SOUTH
DIM DIMENSION	SCHED SCHEDULE, (ED)
DN DOWN	SD STORM DRAIN
DR DOOR	SEC SECTION
DS DOWN SPOUT	SHT SHEET
DWG(S) DRAWING(S)	SH SIMILAR
E EAST	SIF STRUCT. INSUL. PANEL
EA EACH	SPEC SPECIAL
EJ EXPANSION JOINT	SQ SQUARE
EL ELEVATION	SS STAINLESS STEEL
ELEC ELECTRICAL	STD STANDARD
ELEV ELEVATOR	STL STEEL
EMER EMERGENCY	STN STAINED
EPDM ETHYLENE PROPYLENE DIENE MONOMER	STRU STRUCTURAL
EQUIP EQUIPMENT	SUSP SUSPENDED
EQV EQUAL	T & G TONGUE AND GROOVE
EXG EXISTING	TBD TO BE DETERMINED
EXT EXTERIOR	TBS TO BE SPECIFIED
FT FEET	TEL TELEPHONE
FF FINISHED FLOOR	TERR TERRAZZO
FLR FLOOR	THK THICKNESS
FRND FOUNDATION	TME TO MATCH EXISTING
GALV GALVANIZED	TOP TOP OF
GR GRADE	TOP OF MASONRY
GWB GYPSUM WALL BOARD	TOP OF STEEL
HT HEIGHT	TOW TOP OF WALL
ID INSIDE DIAMETER	T TREAD
IN INCH	TV TELEVISION
INCL INCLUDE(E), (ED), (ING)	TYP TYPICAL
INSUL INSULATE(E), (ED)	UNO UNLESS NOTED OTHERWISE
INT INTERIOR	VCT VINYL COMPOSITION TILE
JAN JANITOR	VERT VERTICAL
JT JOINT	VERT VERTIP IN FIELD
KIT KITCHEN	VIN VINYL
KO KNOCK OUT	W WEST, WIDE, WIDTH
LD LENGTH	W/ WITH
LAB LABORATORY	WC WALLCOVERING
LAM LAMINATE(E), (ED), (ION)	WC WATERCLOSET
LAV LAVATORY	WD WOOD
LNO LINOLEUM	W/O WITHOUT
LT LIGHT	WP WATER PROOF
	WT WEIGHT



SYMBOLS & MATERIALS	GENERAL NOTES
(A) DETAIL INDICATOR	AS-BUILT DIMENSIONS ARE APPROXIMATE, VERIFY IN FIELD UNLESS NOTED OTHERWISE.
(S) SECTION INDICATOR	DISCREPANCIES SHOULD BE BROUGHT TO ATTENTION OF ARCHITECT BEFORE CONSTRUCTION BEGINS.
(2) DOOR #	CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, LAWS, COUNTY STANDARDS AND ORDINANCES INCLUDING THE CURRENT MONTGOMERY COUNTY BUILDING CODE AND AMENDMENTS.
(A) WINDOW INDICATOR	CONTRACTOR TO PROVIDE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS AND TO COMPLY WITH DIRECTIONS WHICH MAY BE ISSUED BY COUNTY OFFICIALS.
(E) ELEVATION DATUM	CONTRACTOR SHALL COMPLY WITH CURRENT MONTGOMERY COUNTY REGULATIONS AND REQUIREMENTS FOR RADON MITIGATION.
(W) WOOD FRAMING	
(M) MASONRY (PLAN)	
(C) CONCRETE	
(S) STONE (PLAN)	
(E) STONE (ELEV.)	
(SH) WOOD SHINGLES	
(P) PLYWOOD	
(B) BLOCKING	
(E) EARTH	
(I) BATT INSUL.	
(F) FOAM INSUL.	
(R) RIGID INSUL.	

PROJECT DESCRIPTION	CONTACTS
This project relocates the existing 1-story Historic Schoolhouse building onto new foundations containing a new classroom & support space. Two existing porches will also be moved. The project includes demolition of existing foundations, as well as selective demolition/repair to the east end of adjacent 1-story Community House. The building will contain a new central A/C system and gas-fired furnace. The existing first floor classroom and kitchen spaces will be maintained with upgrades to lighting, HVAC, universal restroom & drinking fountain. A universal unisex restroom will be provided in new basement. Accessible route will be via new ramps/walks to first floor spaces. Means of egress from basement will be via a new covered area way stair.	<p><b>Owner's Rep</b> Ned Stowe, Clerk of Trustees nedstowe@erbs.com</p> <p><b>Civil Engineer</b> Oyster, Imus, Petzold, and Associates, LLC 11230B Grandview Ave T: (301) 949-2011 Contact: Peter Noursl, P.E., peter.noursl@oipengineering.com</p> <p><b>Fire Protection Sys.</b> Hughes Associates Inc. 3610 Commerce Drive Suite 817 Baltimore, MD 21227 T: 410.737.8677 Contact: Scott Golly, P.E., sgolly@haifire.com</p> <p><b>Mechanical/Electrical-Plumbing Engineers</b> SRBR Engineers, Inc. 757 Frederick Road, Suite 300 Catonsville, Md. 21228 T: 410.869.7282 Contact: Don Gray, P.E., dgray@srbr.com</p> <p><b>Structural Engineer</b> Soil &amp; Structure Consulting, Inc. 2339 Archdale Rd. Reston, VA 20191 T: (703) 391-8911 Contact: Andy Fukumbarker, PE andy@soilandstructure.com</p>

DRAWING INDEX		
CS-CS2 COVER SHEETS	<p>205 Mount St Brykewick Maryland 20833 (301) 774 6911 (101) 774 1908</p>	
CIVIL		
C1 CIVIL		
ARCHITECTURAL		
D1 AS-BUILT & DEMOLITION PLANS	<p>Project:</p> <p><b>SANDY SPRING MONTHLY MEETING</b></p> <p>17715 Meetinghouse Rd Sandy Spring, MD 20860 Montgomery County</p> <p>Building:</p> <p><b>HISTORIC SCHOOL HOUSE</b></p> <p>Drawings:</p> <p><b>COVER SHEET</b></p> <p>Date:</p> <p><b>PROGRESS SET 12/05/11</b></p> <p>Revisions:</p> <p>Architect's Seal:</p> <p>Professional Certification:</p> <p>"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number 10084. Expiration Date: 9/9/12."</p>	
D2 COMMUNITY HOUSE DEMO.		
A1-2 FLOOR PLANS		
A3 ROOF PLAN		
A4 REFL. CLG. PLANS		
A5-6 ELEVATIONS		
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E12 FIRST FLOOR PLAN- ELECTRICAL		
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# RELOCATION OF THE HISTORIC SCHOOLHOUSE AT SANDY SPRING MONTHLY MEETING

17715 Meetinghouse Rd Sandy Spring, MD 20860

15

PROGRESS SET - DEC 05, 2011



Project:  
**SANDY SPRING MONTHLY MEETING**  
17715 Meetinghouse Rd  
Sandy Spring, MD 20860  
Montgomery County

Building:  
**HISTORIC SCHOOL HOUSE**

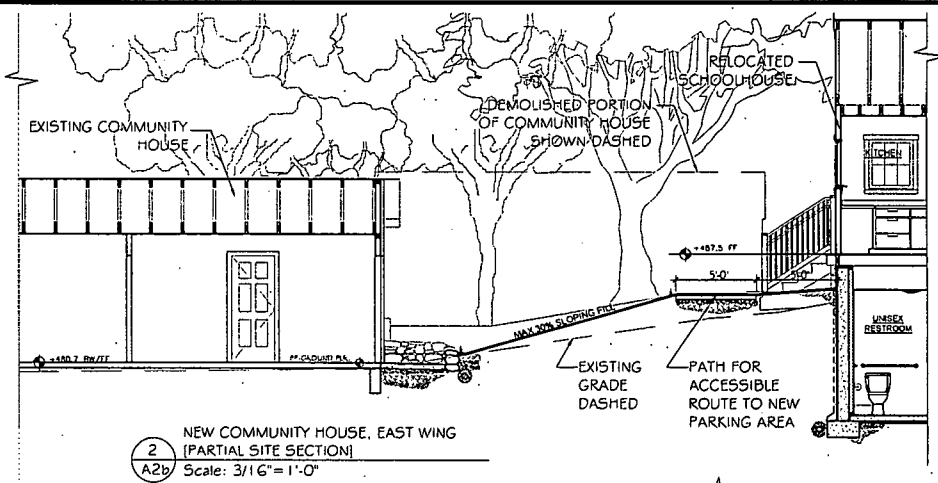
Drawings:  
**NEW COMMUNITY HOUSE PARTIAL PLAN (EAST)**

Dates:  
PROGRESS SET 12/05/11

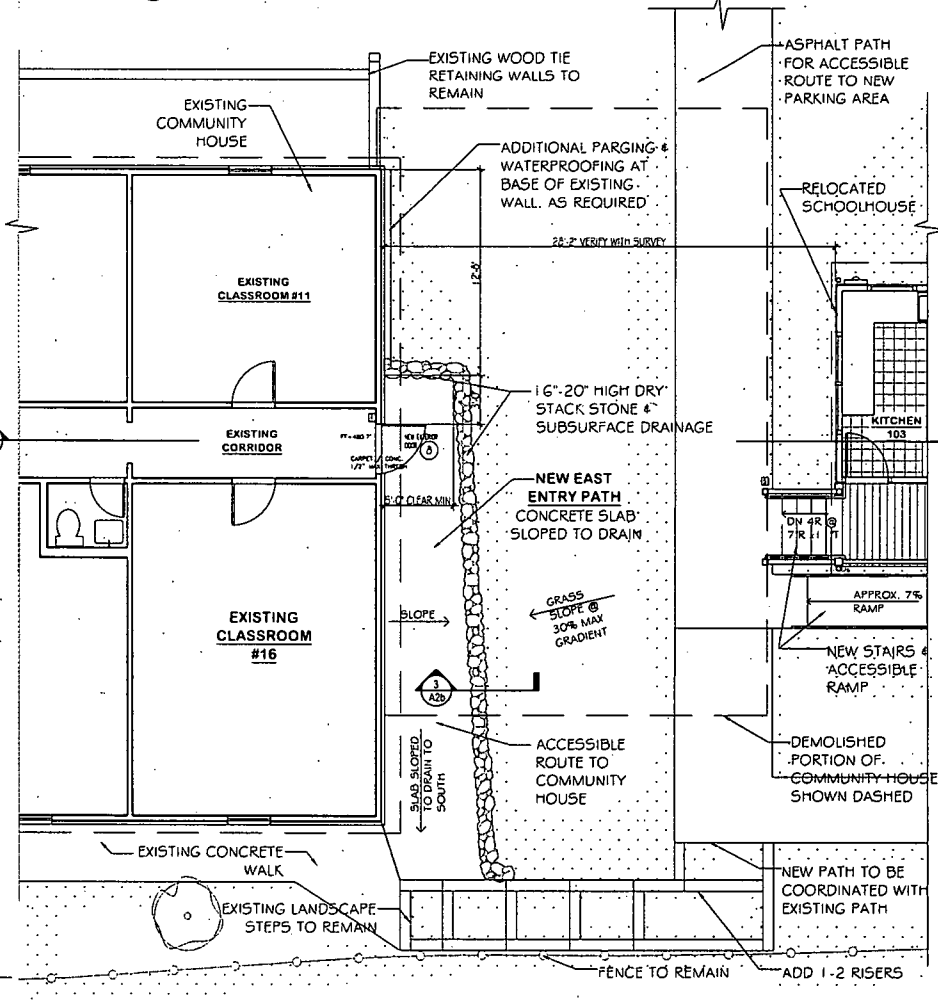
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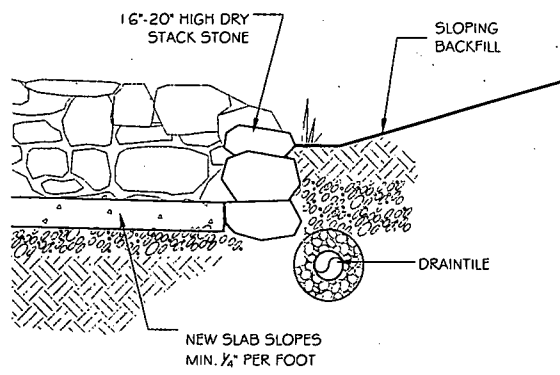
Professional Certification:  
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2 NEW COMMUNITY HOUSE, EAST WING  
(PARTIAL SITE SECTION)  
A2b Scale: 3/16" = 1'-0"



1 NEW COMMUNITY HOUSE, EAST WING  
(PARTIAL FIRST FLOOR PLAN)  
A2b Scale: 3/16" = 1'-0"



3 TYP. RETAINING WALL SECTION  
A2b Scale: 1" = 1'-0"



MICHE BOOZ

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Project:

**SANDY SPRING  
MONTHLY  
MEETING**  
17715 Meetinghouse Rd  
Sandy Spring, MD 20860  
Montgomery County

Building:

**PHASE 1: HISTORIC  
SCHOOL HOUSE**  
(A RELATED WORK)

Drawings:

**NEW COMMUNITY  
HOUSE (ELEVATIONS)**

Dates:

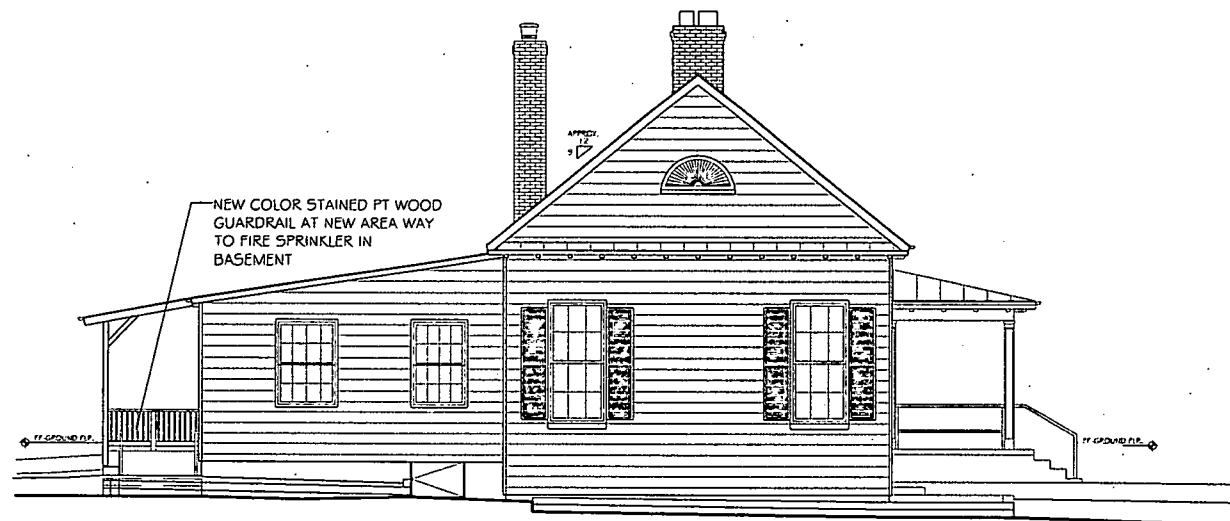
PROGRESS SET 12/12/11

Revisions:

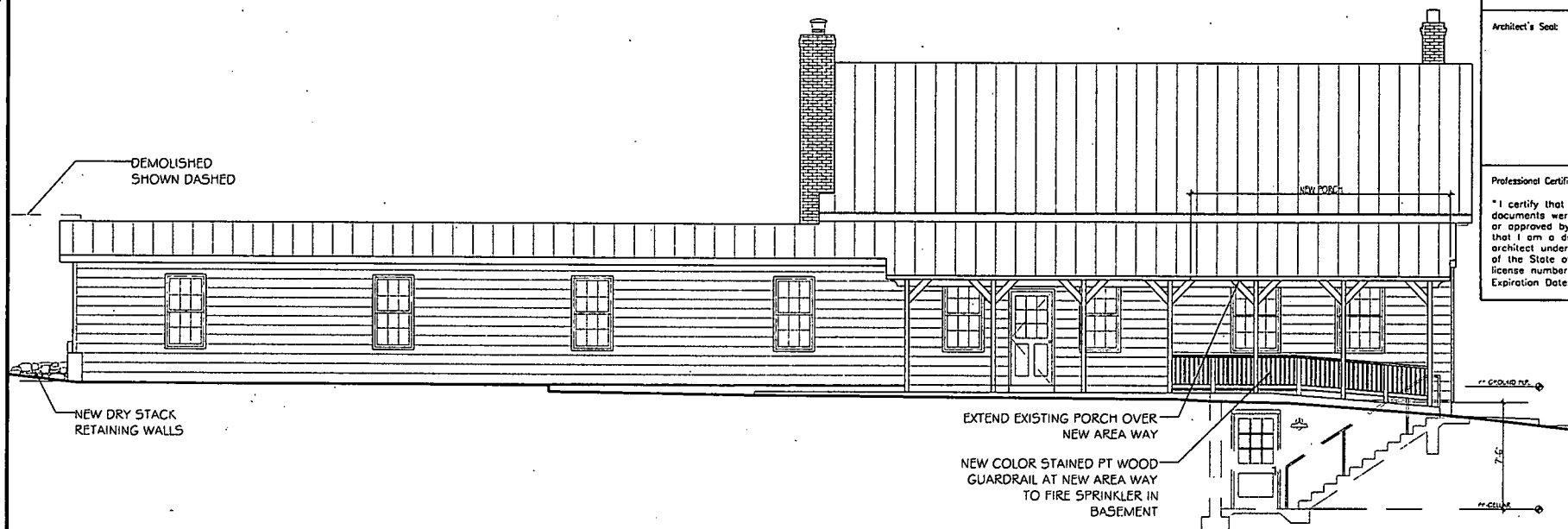
Architect's Seal:

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1 COMMUNITY HOUSE (WEST ELEVATION)  
A2d Scale: 3/16" = 1'-0"



2 NEW COMMUNITY HOUSE (NORTH ELEVATION)  
A2d Scale: 3/16" = 1'-0"

81

PRINT PLOT'S AT 100% TO KEEP SCALE

PROGRESS SET - DEC 12, 2011

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Project:  
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 17715 Meetinghouse Rd  
 Sandy Spring, MD 20860  
 Montgomery County

Building:  
**PHASE 1: HISTORIC SCHOOL HOUSE**  
 (A RELATED WORK)

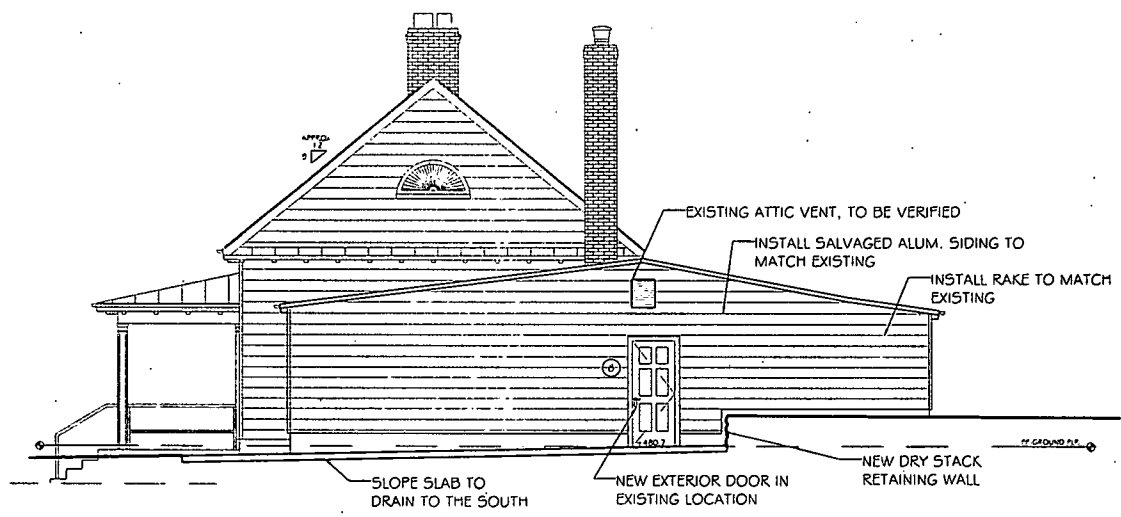
Drawings:  
**COMMUNITY HOUSE (ELEVATIONS)**

Dates:  
 PROGRESS SET 12/12/11

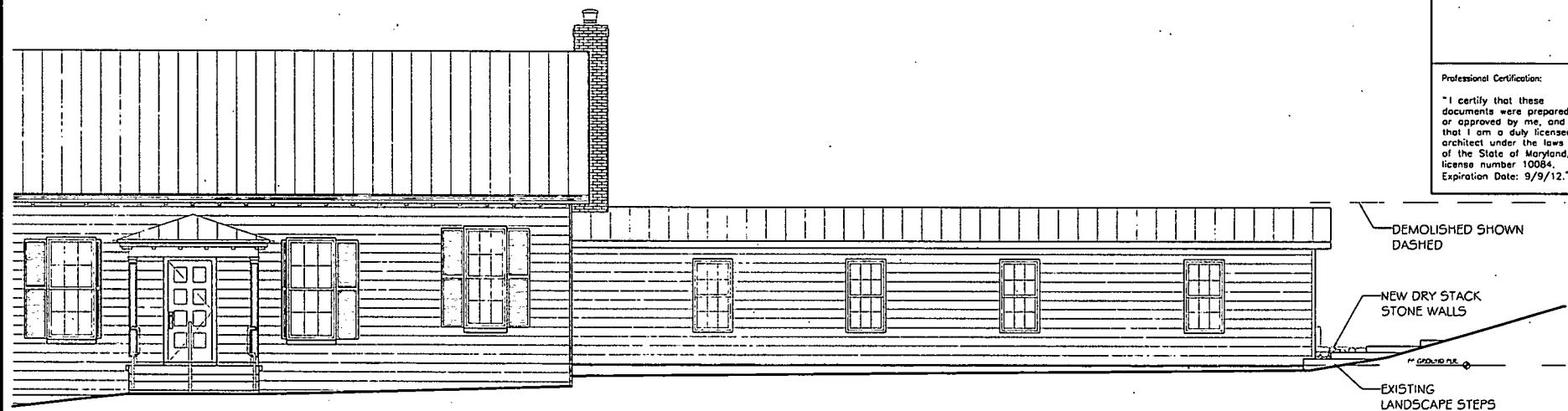
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1  
 A2c  
 COMMUNITY HOUSE, EAST WING  
 (NEW EAST ELEVATION)  
 Scale: 3/16" = 1'-0"

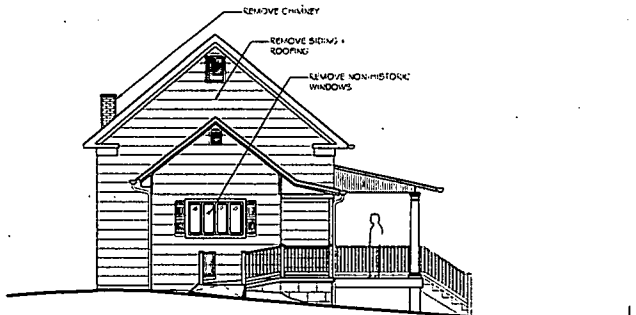


2  
 A2c  
 COMMUNITY HOUSE, EAST WING  
 (PARTIAL SOUTH ELEVATION)  
 Scale: 3/16" = 1'-0"

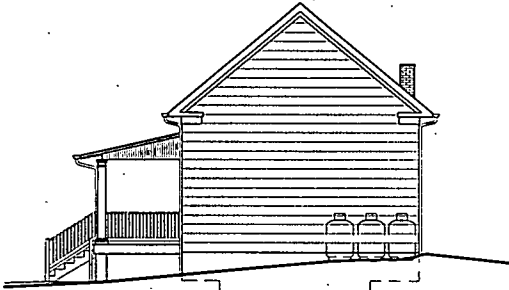
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PRINT PLOT'S AT 100% TO KEEP SCALE

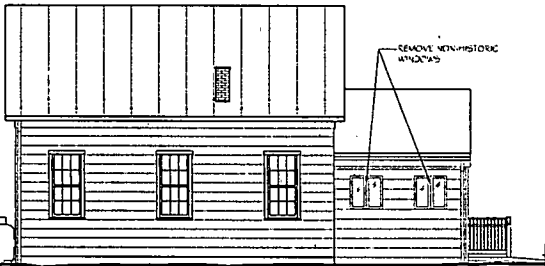
PROGRESS SET - DEC 12, 2011



SIDE (NORTH)



SIDE (SOUTH)

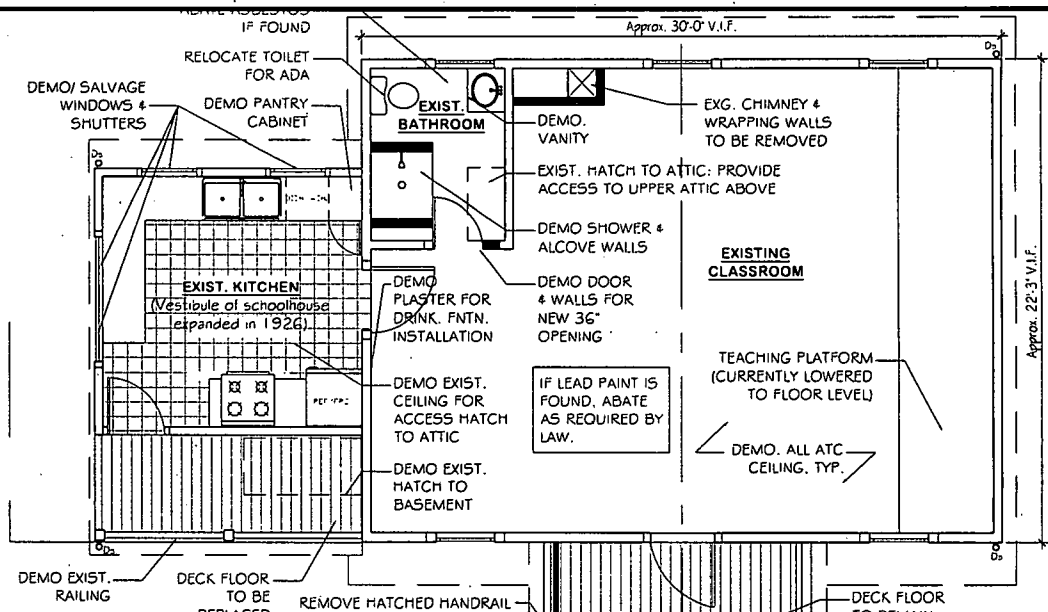


REAR (EAST)

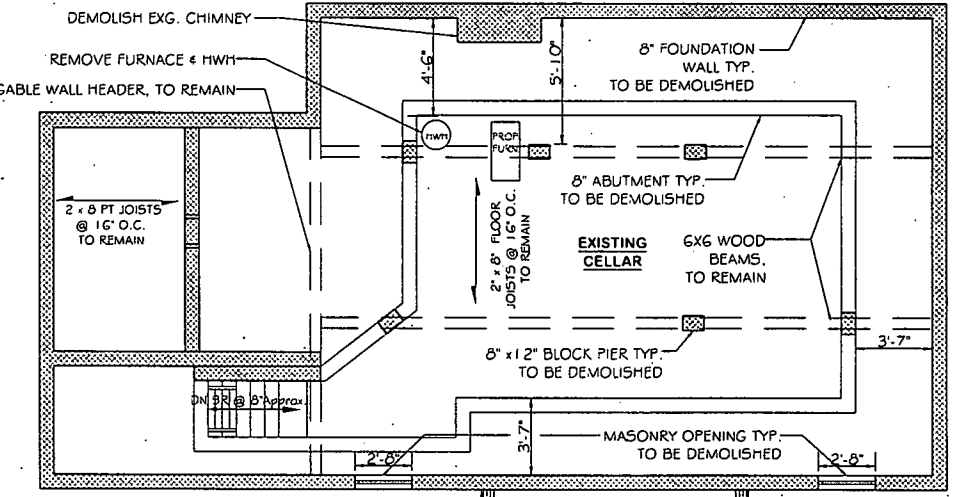


FRONT (WEST)

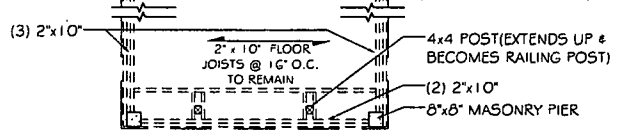
3-6 AS-BUILT ELEVATIONS  
w/ DEMOLITION NOTES  
Scale: 1/8" = 1'-0"



**DEMOLITION NOTES**  
 PATCH AND REPAIR EXISTING CONDITIONS THAT ARE TO REMAIN. COORDINATE WITH ARCHITECT. DEMOLITION TO BE CARRIED OUT IN SUCH A MANNER THAT THE REMAINING STRUCTURE IS SAFE AND IN ACCORDANCE WITH ALL APPLICABLE CODES.  
 MATCH EXISTING MATERIALS WITH NEW MATERIALS SO THAT PATCHING WORK IS AS UNDETECTABLE AS POSSIBLE, UNLESS OTHERWISE DIRECTED BY ARCHITECT.  
 PROVIDE SHUT-OFFS AND CONNECTIONS, INCLUDING NEW BULKHEADS TO RELOCATE EXISTING SYSTEMS TO NEW LOCATIONS, WHERE APPLICABLE, COORDINATE W/ ARCHITECT.  
 COORDINATE HVAC DEMO NOTES.



1 AS-BUILT BASEMENT PLAN  
w/ DEMOLITION NOTES  
Scale: 1/4" = 1'-0"



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 fax: 774 1908

Project:  
**SANDY SPRING MONTHLY MEETING**  
 17715 Meetinghouse Rd  
 Sandy Spring, MD 20860  
 Montgomery County

Building:  
**HISTORIC SCHOOL HOUSE**

Drawings:  
**AS-BUILT & DEMOLITION PLANS**

Dates:  
 PROGRESS SET 12/05/11

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**AS-BUILT AND DEMO PLANS**

20

FRONT PORCH AT 100% TO KEEP SCALE

**BASEMENT WALL LEGEND**

EXISTING WALLS TO REMAIN:

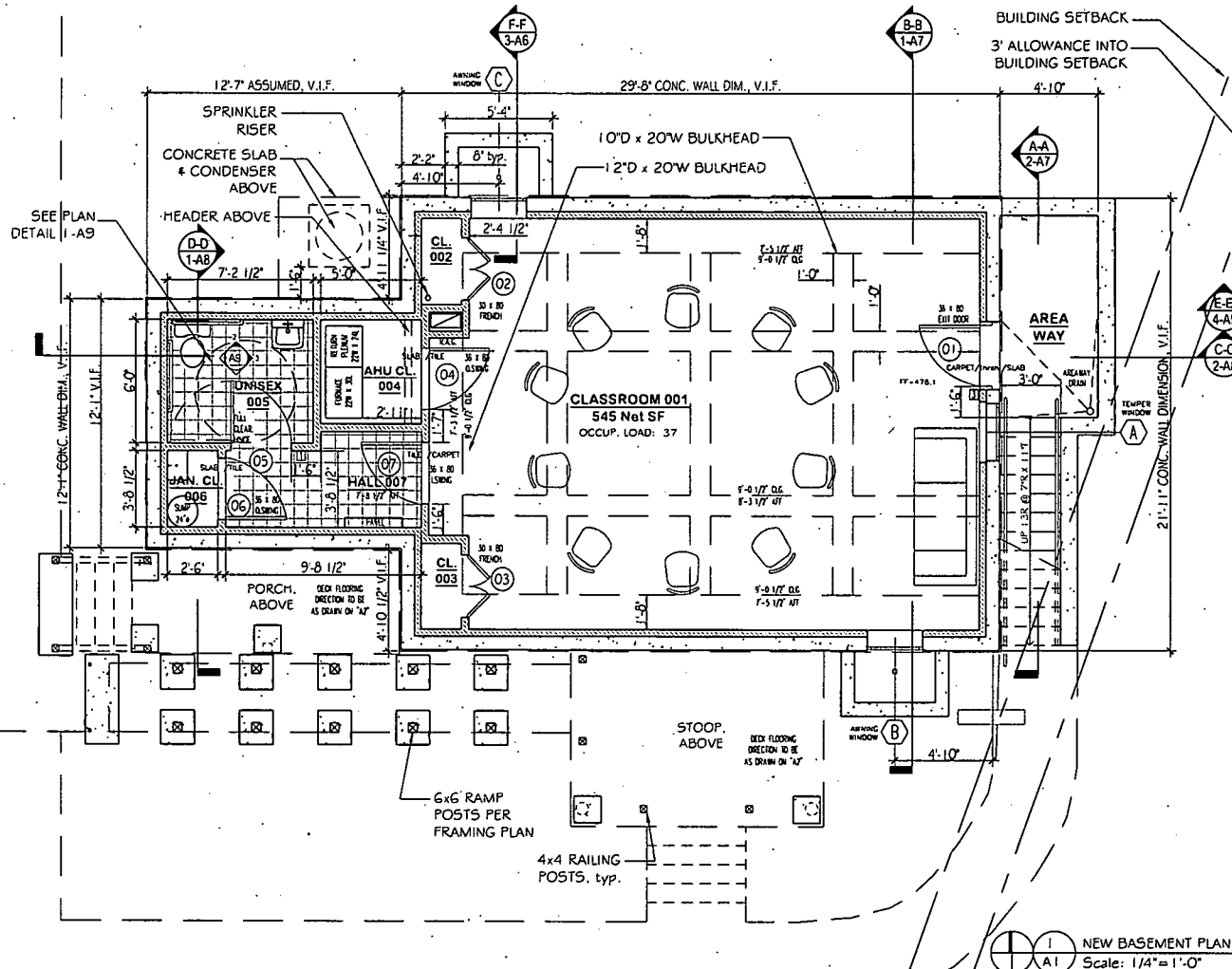
NONE

**NEW EXTERIOR WALLS:**

FIRE WALLS: NONE

BEARING WALLS: C.I.P. CONC.  
DIM. AS NOTED. (STC/FR=NOT  
REQ'D.)

NON-BEARING: NONE

**NEW INTERIOR WALLS:**STC WALLS: 2X4 WD. STUDS,  
16" O.C. W/ 1/2" GWB EA. SIDE  
(STC=53, FR=0 HRS.)OTHER WALLS: 2X4 WD. STUDS,  
16" O.C. W/ 1/2" GWB EA. SIDE  
(STC=0, FR=0 HRS.)INTERIOR DIMENSIONS ARE TO FINISH  
SURFACES U.N.O., EXTERIOR DIMENSIONS  
ARE TO ROUGH FRAMING OR MASONRY  
U.N.O. ELEVATION DIMENSIONS TO FINISH  
FLOOR, U.N.O.**BASEMENT CODE NOTES**IN ADDITION TO THOSE MENTIONED ON THE  
COVERSHEET, THE FOLLOWING BUILDING  
CODES SPECIFICALLY APPLY TO THIS WORK  
AREA:  
APPLICABLE SECTIONS OF IBC CHAPTER  
10 "ADDITIONS" AND ADDITIONAL IBC  
SECTIONS, BY REFERENCE THEREIN.**BASEMENT EGRESS NOTES**OCCUPANCY LOADS: 15SF NET PER OCCUPANT  
EXC. 0 NEW: 37 TOTAL: 37 OCCUPANTS  
PER ROOM: SEE ROOM NAME NOTES  
MEANS OF EGRESS: EXTERIOR DOOR TO AREA  
WAY STAIRS TO PATH TO PUBLIC WAY.**GENERAL FIRE PROTECTION NOTES**SHOP DRAWINGS FOR THE FIRE PROTECTION SYSTEM (SUPERVISED AUTOMATIC  
SPRINKLER SYSTEM) SHALL BE SUBMITTED TO INDICATE CONFORMANCE TO  
THE CODE AND ALL CONSTRUCTION DOCUMENTS AND SHALL BE APPROVED  
PRIOR TO THE START OF SYSTEM INSTALLATION. SHOP DRAWINGS SHALL  
CONTAIN A PERFORMANCE AS REQUIRED BY THE REFERENCED INSTALLATION  
STANDARDS IN IBC CHAPTER 9. (DEFERRED SUBMITTAL)**TO BE  
REMOVED**NEW BASEMENT PLAN  
Scale: 1/4" = 1'-0"
**MICHE BOOZ**  
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 fax: 774 1908

 Project:  
**SANDY SPRING  
 MONTHLY  
 MEETING**  
 17715 Meetinghouse Rd  
 Sandy Spring, MD 20860  
 Montgomery County

 Building:  
**HISTORIC  
 SCHOOL HOUSE**

 Drawings:  
**NEW BASEMENT PLAN**

 Dates:  
**PROGRESS SET 12/05/11**

Revisions:

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 architect under the laws  
 of the State of Maryland,  
 license number 10084,  
 Expiration Date: 9/9/12."

PROGRESS SET - DEC 05, 2011

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**FIRST FLOOR WALL LEGEND**

**EXISTING WALLS TO REMAIN:**  
 EXTERIOR: 2x4 WD. STUDS 16" O.C. (STC=5, FR=0 HRS.)  
 INTERIOR: 2x4 WD. STUDS 16" O.C. (STC=5, FR=0 HRS.)

**NEW EXTERIOR WALLS:**  
 FIRE WALLS: N/A  
 BEARING WALLS: N/A  
 NON-BEARING: N/A

**NEW INTERIOR WALLS:**  
 STC WALLS: 2x4 WD. STUDS, 16" O.C. W/ 1/2" GWB EA. SIDE (STC=53, FR=0 HRS.)  
 OTHER WALLS: 2x4 WD. STUDS, 16" O.C. W/ 1/2" GWB EA. SIDE (STC=0, FR=0 HRS.)

INTERIOR DIMENSIONS ARE TO FINISH SURFACES U.N.O., EXTERIOR DIMENSIONS ARE TO ROUGH FRAMING OR MASONRY, U.N.O. ELEVATION DIMENSIONS TO FINISH FLOOR, U.N.O.

**FIRST FLOOR CODE NOTES**

IN ADDITION TO THOSE MENTIONED ON THE COVER-SHEET, THE FOLLOWING BUILDING CODES SPECIFICALLY APPLY TO THIS WORK AREA: APPLICABLE SECTIONS OF IBCB CHAPTER 6 "ALTERATIONS - LEVEL 1", CHAPTER 11 "HISTORIC BUILDINGS" & CHAPTER 12 "RELOCATED BUILDINGS" AS WELL AS ADDITIONAL IBC SECTIONS, BY REFERENCE THEREIN.

**FIRE RESISTANCE RATINGS**

BEARING WALLS: 0 HOURS REQUIRED  
 ROOF COVERING: CLASS C ROOF ASSEMBLY REQUIRED  
 SEE SPECIFICATIONS DIVISION 7  
 SHaft ENCLOSURES: 1 HOUR REQUIRED  
 SEE SPECIFICATIONS DIVISION 9

**FIRST FLOOR EGRESS NOTES**

OCCUPANCY LOADS: 155 SF NET PER OCCUPANT  
 EXG: 44 NEW, 0 TOTAL: 44 OCCUPANTS PER ROOM: SEE ROOM NAME NOTES  
 MEANS OF EGRESS: SINGLE EXTERIOR DOOR TO LANDING THAT DISCHARGES TO GRADE VIA RAMP OR STAIRS

**GENERAL FIRE PROTECTION NOTES**

SHOP DRAWINGS FOR THE FIRE PROTECTION (NEW OR REVISED AUTOMATIC SPRINKLER SYSTEM) SHALL BE SUBMITTED FOR REVIEW IN CONFORMANCE TO THE CODE AND THE CONSTRUCTION DOCUMENTS. SHOP DRAWINGS SHALL CONTAIN ALL INFORMATION AS REQUIRED BY THE REFERENCED INSTALLATION STANDARDS IN IBC CHAPTER 9. (DEFER TO SUBMITTAL)

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 Fax: 774-1908

Project:  
**SANDY SPRING MONTHLY MEETING**  
 17715 Meetinghouse Rd  
 Sandy Spring, MD 20860  
 Montgomery County

Building:  
**HISTORIC SCHOOL HOUSE**

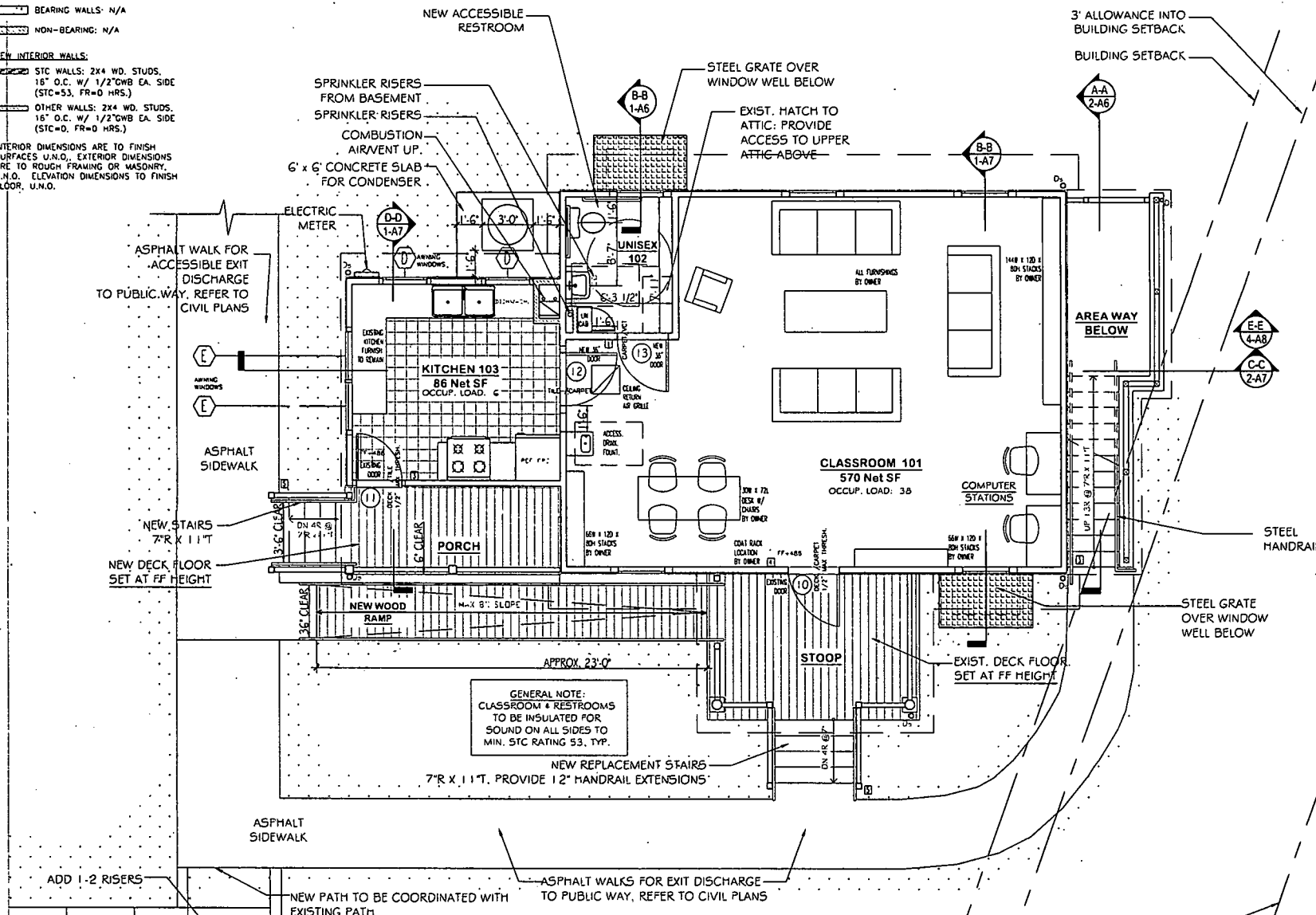
Drawings:  
**NEW FIRST FLOOR PLAN**

Dates:  
 PROGRESS SET 12/05/11

Revisions:

Architect's Seal:

Professional Certification:  
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1 NEW FIRST FLOOR PLAN  
 A2 Scale: 1/4" = 1'-0"

22

POINT PLOT'S AT 10025 TO KEEP SCALE

PROGRESS SET - DEC 05, 2011

MICHE BOOZ

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A5

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Project:

**SANDY SPRING  
MONTHLY  
MEETING**

17715 Meetinghouse Rd  
Sandy Spring, MD 20860  
Montgomery County

Building:

**HISTORIC  
SCHOOL HOUSE**

Drawings:

**ELEVATIONS**

Dates:

PROGRESS SET 12/05/11

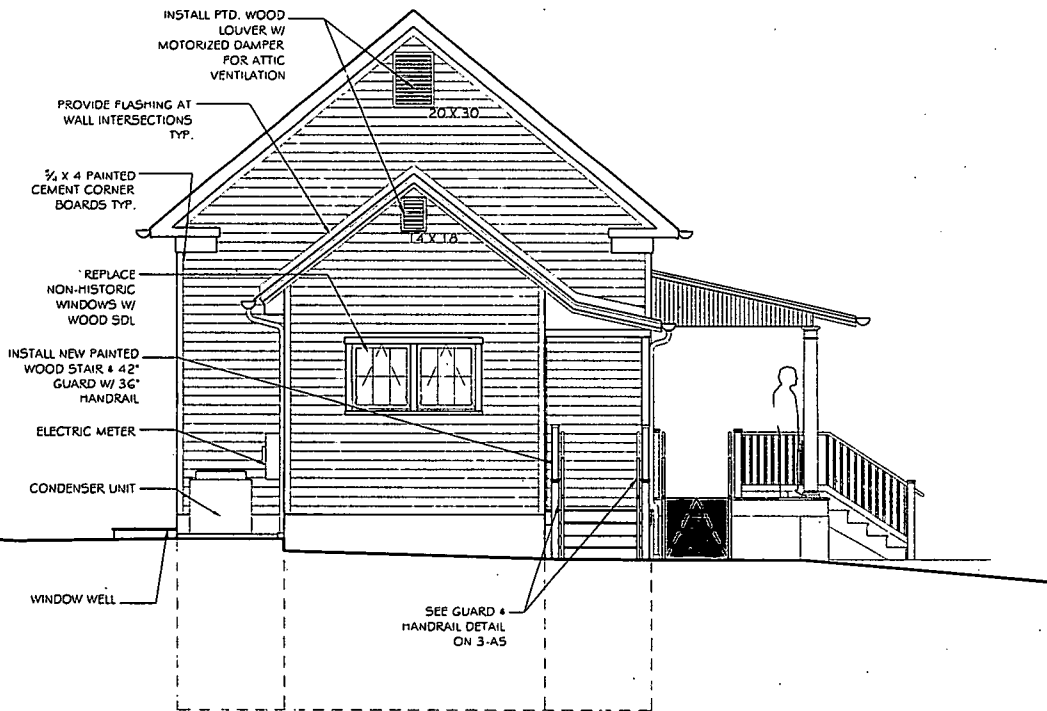
Revisions:

Architect's Seal:

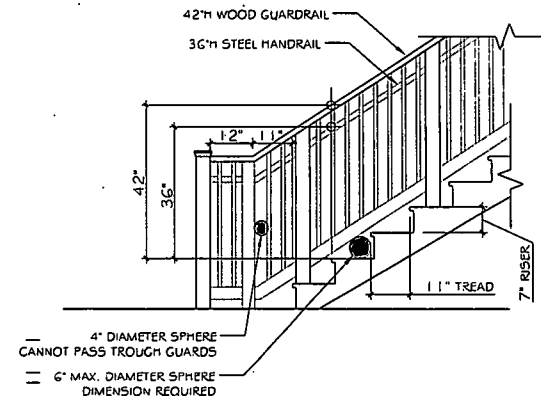
Professional Certification:

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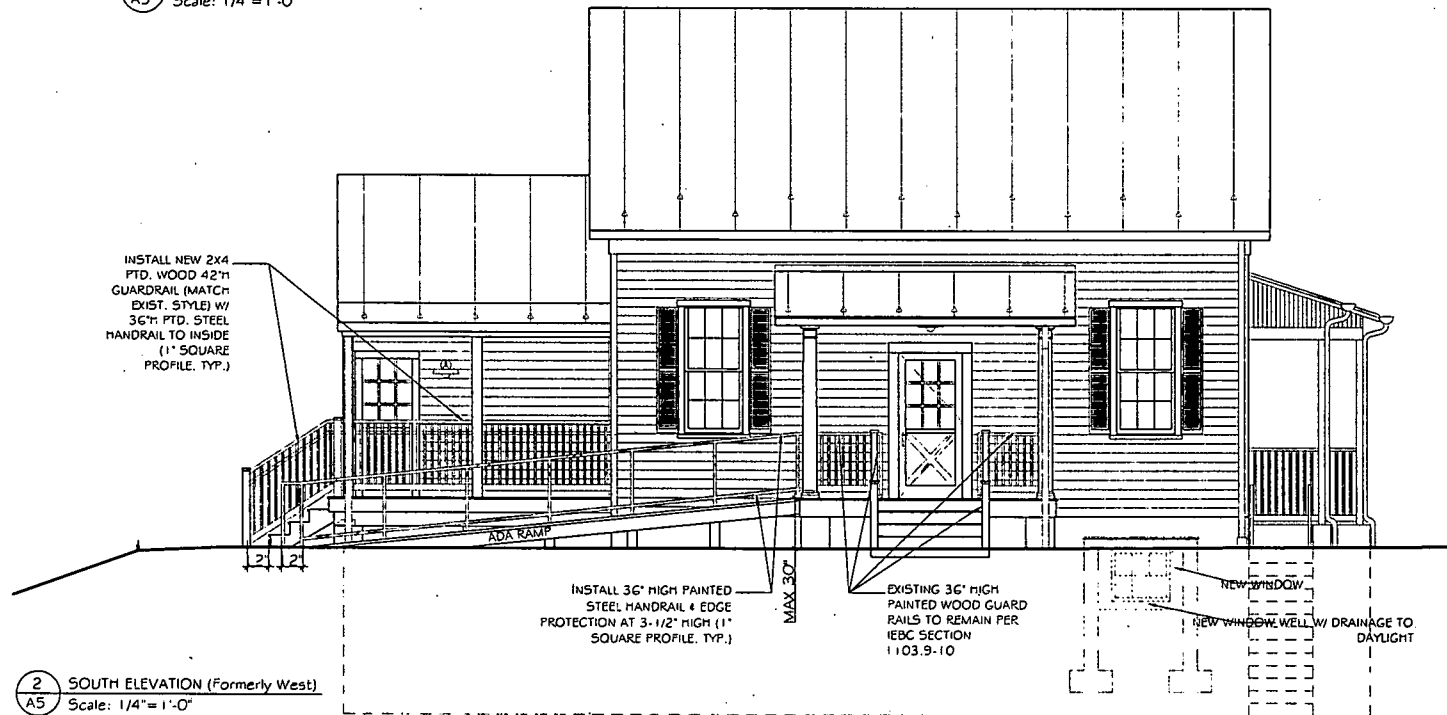
PROGRESS SET - DEC 05, 2011



1 WEST ELEVATION (Formerly North)  
A5 Scale: 1/4" = 1'-0"

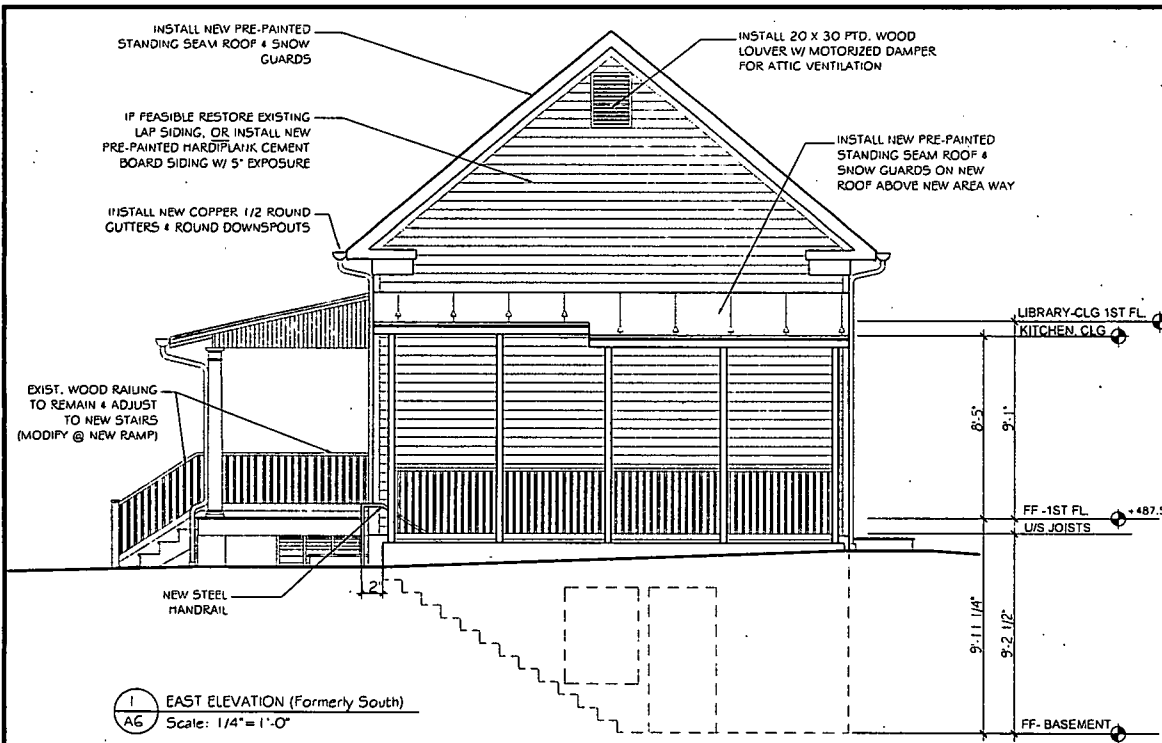


3 TYPICAL WOOD GUARD & HAND RAIL DETAIL  
A5 Scale: 1/2" = 1'-0"

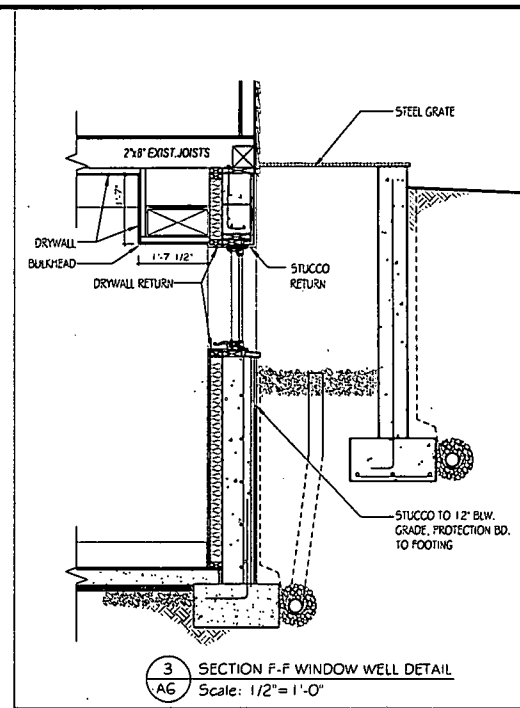


2 SOUTH ELEVATION (Formerly West)  
A5 Scale: 1/4" = 1'-0"

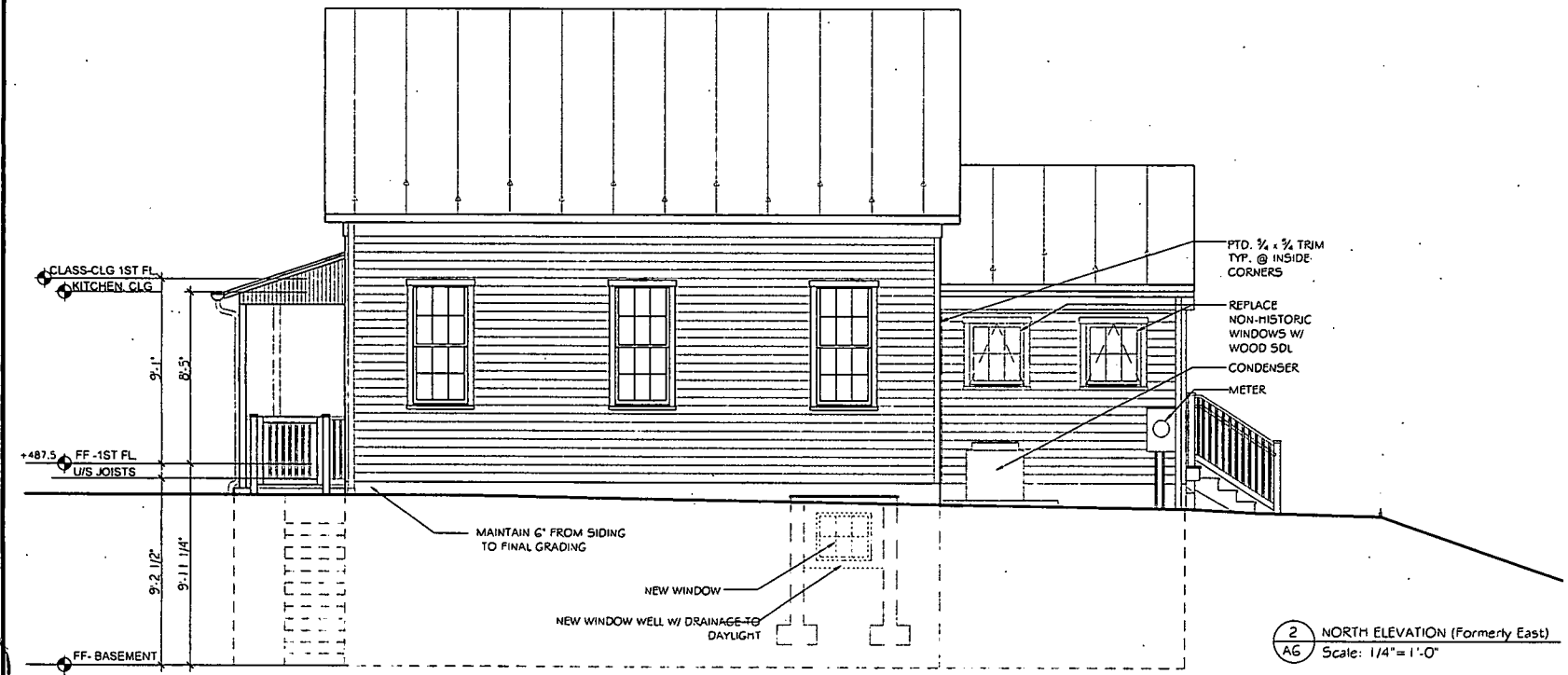
23



1 EAST ELEVATION (Formerly South)  
AG Scale: 1/4" = 1'-0"



3 SECTION F-F WINDOW WELL DETAIL  
AG Scale: 1/2" = 1'-0"



2 NORTH ELEVATION (Formerly East)  
AG Scale: 1/4" = 1'-0"

<b>MICHE BOOZ</b> ARCHITECT A6 208/Market St Brykewille Maryland 20833 (301)774 6911 fax: 774 1908	
Project: <b>SANDY SPRING MONTHLY MEETING</b> 17715 Meetinghouse Rd Sandy Spring, MD 20860 Montgomery County	
Building: <b>HISTORIC SCHOOL HOUSE</b>	
Drawings: <b>ELEVATIONS</b>	
Dates: <b>PROGRESS SET 12/05/11</b>	
Revisions:	
Architect's Seal:	
Professional Certification: "I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 10084, Expiration Date: 9/9/12."	

24

PROGRESS SET - DEC 05, 2011

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Project:

**SANDY SPRING  
MONTHLY  
MEETING**

17715 Meetinghouse Rd  
Sandy Spring, MD 20860  
Montgomery County

Building:

**HISTORIC  
SCHOOL HOUSE**

Drawings:

**ROOF PLAN**

Dates:

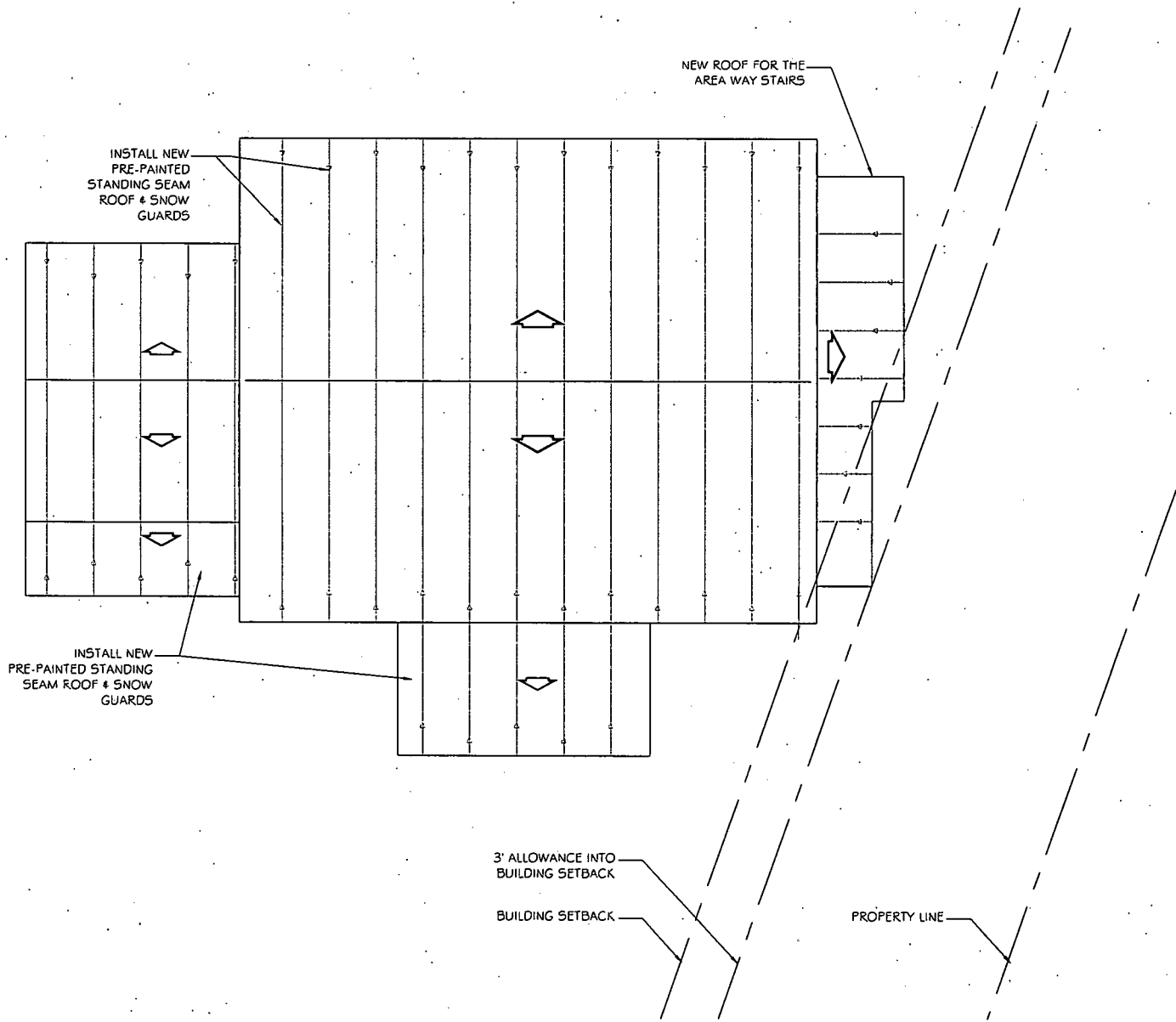
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ROOF PLAN  
Scale: 1/8" = 1'-0"

25

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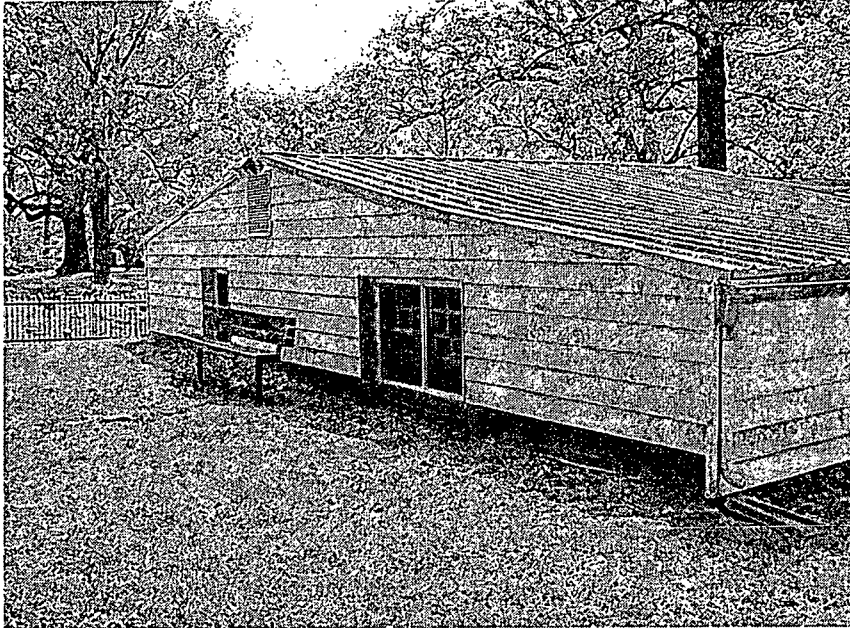




The front of the school house in its current location.



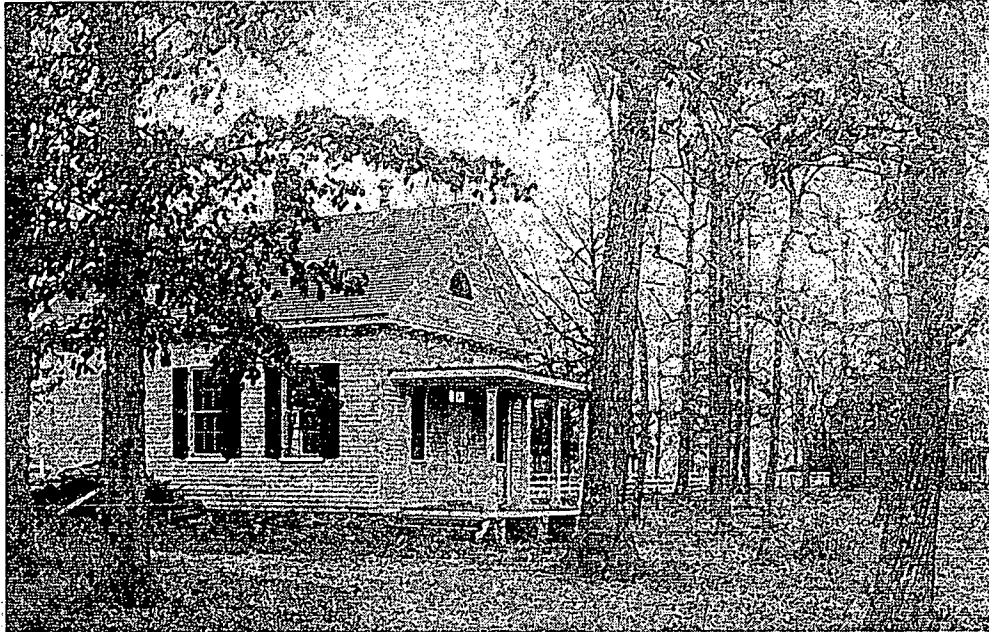
The rear of the school house.



Current east façade of the Community House showing the 1985 classroom addition. This portion will be demolished as part of Phase 1 work.



Schoolhouse building in its current location. There will be only minor improvements to the exterior of the building, but the ramping will be changed in the new location.



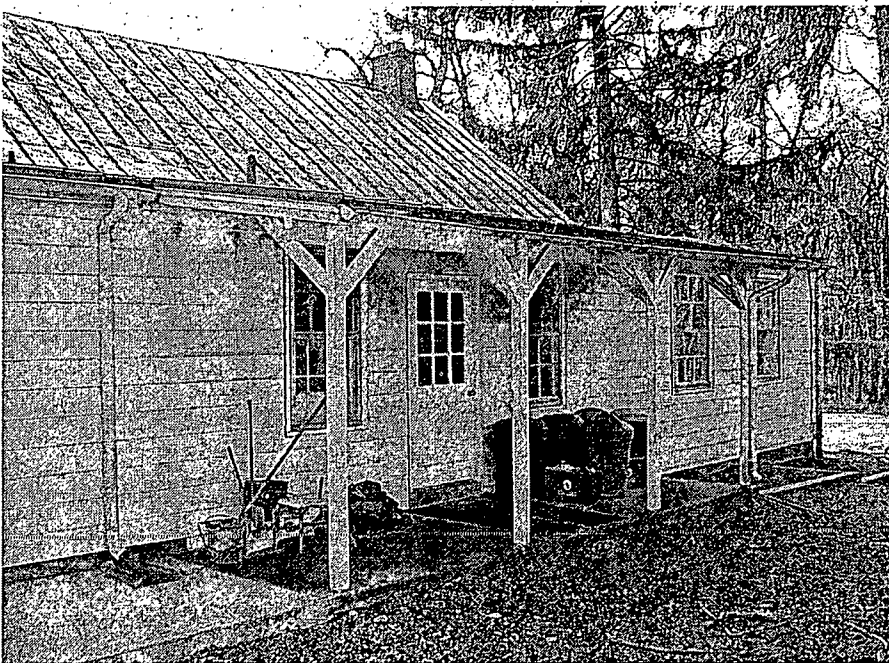
Historic photo of the Lyceum taken from the northwest. The meeting house is visible to the south. If the original lap siding is intact, it will be restored during future phase work.



The historic Meeting House and rural road viewed from the northeast. The Meeting House will be untouched by all phases of the proposed project.



Current view of the Community House from the southwest parking lot showing south and west facades. The recessed east wing of the building visible in the photo will be demolished (built 1978 and 1985). The back low-slope addition on the north side will remain. The visible corner of the graveyard fence will be chamfered (Two stone fence posts will replace the one.) The tulip poplar will be removed.



Existing porch on the north side of the Community House added in 1958. This porch will be kept.

# **HPC Meeting Transcript**

**April 28, 2010**

1 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

2 - - - - - X

3 HISTORIC AREA WORK PERMIT - : Hyattstown  
25814 Frederick Road : Historic District

4 - - - - - X

5 HISTORIC AREA WORK PERMIT - : Capital View  
6 9710 Capital View Avenue : Historic District

7 - - - - - X

8 HISTORIC AREA WORK PERMIT - : Chevy Chase Village  
Brookville Road Sidewalk : Historic District

9 - - - - - X

10 PRELIMINARY CONSULTATION - : Sandy Spring  
11 Sandy Spring Community House : Historic District

12 - - - - - X

13 Evaluation for Master Plan for Historic  
14 Preservation: Upper Patuxent  
Amendment

15

16 A meeting in the above-entitled matter was held  
17 on April 28, 2010, commencing at 7:35 p.m., in the MRO  
18 Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland  
19 20910, before:

20

COMMITTEE CHAIRMAN

21

Thomas Jester

22

COMMITTEE MEMBERS

23

Sandra Heiler

24

Jorge Rodriguez

25

M'Lisa Whitney

William Kirwan

**Deposition Services, Inc.**

6245 Executive Boulevard

Rockville, MD 20852

Tel: (301) 881-3344 Fax: (301) 881-3338

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25

Meg Maher  
Paul Treseder (absent)  
Craig D. Swift

ALSO PRESENT:

Scott Whipple  
Joshua Silver  
Clare Kelly  
Lisa Mroszczyk  
Anne Fothergill  
Sandra Youla

APPEARANCES

STATEMENT OF:

PAGE

Ron Callaghan	44
Shana Davis-Cook	63
Dr. Douglas Kamerow	63
Michael Younes	66
Gail Feldman	71
Rob Nichols	73
Ashley Wiltshire	76
Betsy Stephens	81
Fin Camper	87
Jan Acton	87
Steve Schmal	88
David Kirsch	89
Katherine Triantis	89
Miche Booz	104
Ned Stowe	104



1 measures should be required and be in place prior to  
2 construction.

3 MR. JESTER: Thank you. Is there a second?

4 MR. RODRIGUEZ: Second.

5 MR. JESTER: Any discussion? Okay. All in  
6 favor?

7 (VOTE.)

8 MR. JESTER: Seven, I'm sorry, six -- seven in  
9 favor. Opposed.

10 (VOTE.)

11 MR. JESTER: One opposed. So the motion carries,  
12 and the project is approved per the motion. I thank  
13 everyone.

14 (Discussion off the record.)

15 MR. JESTER: The next item on our agenda are the  
16 preliminary consultations. Is there a staff report?

17 MR. SILVER: Yes, there is.

18 17715 is an outstanding resource located in the Sandy  
19 Spring historic district. The application is part of a  
20 larger development plan that's going to be reviewed by the  
21 Planning Board for the development review process. The  
22 applicant is here today to get a conceptual approval or  
23 support for his project to construct a new addition to the  
24 existing lyceum or community house, as it is described.

25 The proposal includes the removal of one non-

1 original, non-historic, there are two non-historic  
2 additions, one 1950's and one 1980 addition, and the  
3 construction of a new addition. There are some  
4 modifications to the existing resource, which include the  
5 removal of non-original siding. The proposal is to  
6 rehabilitate the original siding, or replace it in kind  
7 where feasible.

8           The second item of the proposal includes  
9 relocation of a house that is currently outside the  
10 historic district. It's just adjacent to within the  
11 historic district. There is historical documentation that  
12 the applicant has uncovered that states that the house was,  
13 at one time, located within what is now the historic  
14 district, and behind the lyceum. There is no evidence of  
15 foundation, however, there is again this documentation that  
16 does support its location with the historic district at one  
17 point.

18           The proposal also includes some minor changes to  
19 the environmental setting. There is a cemetery that's  
20 located, as you can see here, it's described as a  
21 graveyard, just to roughly the south of the lyceum, and it  
22 would require the removal of a tree, which we talked a lot  
23 about tonight. And the, some modifications to the stone  
24 posts for the fencing that's around the graveyard  
25 currently.

1           The tree would be, the roots under the tree would  
2 be impacted by the new construction to the addition of the  
3 lyceum. So those are the three elements of the proposal.

4           Staff supports this proposal, for the addition to  
5 the lyceum, that removes these non-original additions, and  
6 will return the historic massing of this outstanding  
7 resource, or cladding, excuse me, of this historic resource  
8 back to its original style.

9           The relocation of the house from outside the  
10 historic district, to inside the historic district, will  
11 have no effect on the historic district, and staff supports  
12 that proposal. And these changes to the environmental  
13 setting are minor, and such that they will not have changes  
14 or impacts to the site.

15           The things that the applicant has asked for some  
16 guidance on, in addition to this conceptual approval or  
17 support for this proposal, is the treatment of the windows  
18 for the proposed addition to the lyceum. A strict  
19 interpretation of the Montgomery County design guidelines  
20 state that the outstanding resource should have true  
21 divided light windows, where visible, from the public  
22 right-of-way on the primary elevations, and simulated  
23 divided light windows on secondary or elevations that are  
24 not visible from the public right-of-way.

25           Staff supports the installation of simulated

1 divided light windows on this property for consistency with  
2 the historic massing that has single pane true divided  
3 lights. As I think I mentioned upstairs, you know, we've  
4 had numerous conversations about the treatment of simulated  
5 divided lights, and their compatibility with true divided  
6 lights under certain circumstances. And staff finds that  
7 this is one of those situations.

8           The other element that the applicant has  
9 requested some guidance on is that the existing roof of the  
10 lyceum is a traditional turned standing seam metal roof.  
11 And the applicant is proposing two options at this  
12 preliminary stage, one of which would be the prefinished  
13 standing seam roof, or alternatively would like some  
14 guidance from you on whether or not a turned metal standing  
15 seam metal roof would be more appropriate.

16           Those are the two items. I can go through the  
17 slides here very quickly. The red indicates the master  
18 plan historic district boundary. The schoolhouse, again,  
19 is outside the boundary. And that property that you see  
20 that's around the schoolhouse, towards Route 108, is also  
21 owned by the meeting, and part of this development plan  
22 that I referred to.

23           This is the current site plan. The lyceum shows  
24 those additions off the rear that are shown in a different  
25 color there. I think it's a little bit hard to see in your

1 staff packet, and I'm sorry about that.

2           And the removal of the eighties addition and the  
3 partial removal of a portion of the fifties addition, some  
4 of that addition will be incorporated into this new design.  
5 The meeting house is not part of this project in terms of  
6 any impact.

7           This is the proposed site plan. Again, just  
8 where you see the new religious education building, that it  
9 outside the historic district, so that is not under the  
10 purview of the Historic Preservation Commission. So your  
11 focus, again, is on the lyceum as well as on relocated  
12 schoolhouse and environmental setting of the historic  
13 district. Just side by side, the current site plan and the  
14 proposed site plan. And just to give you some context to  
15 the site, the meeting house is in the historic district.  
16 The three photos across the bottom of the screen are  
17 outside the historic district, face Route 108.

18           The schoolhouse, the lyceum, I have some more  
19 photos of those to give you some different perspectives.  
20 The bottom left photo is the left side of the lyceum. The  
21 bottom right is the right side. You'll see the posts and  
22 the trees. Those are the trees proposed for removal in  
23 order to accommodate a brick pathway back to the proposed  
24 relocated schoolhouse, and an alteration to the stone post,  
25 there will be the addition of a second post there to sort

1 of push it back and soften the entry to allow that access.

2           A conceptual view of the lyceum with the proposed  
3 addition. And this is the views of the schoolhouse. The  
4 schoolhouse is, has been significantly altered, and there  
5 is that top left photo shows a series of casement windows.  
6 I believe the applicant is proposing to remove those and  
7 install new simulated divided light windows in those  
8 openings. And a concept drawing of the overall property.  
9 So as you can see, the schoolhouse relocated, the lyceum  
10 with the addition, the religious education building that's  
11 outside the historic district, and the tree is no longer  
12 shown in the photo. And then the minor modifications to  
13 the fence and the posts. And that's all I have. I can  
14 take any questions.

15           MR. JESTER: I'm afraid to ask if there are any  
16 questions for staff. Are there any questions for staff?  
17 Okay. If not, we'd like the applicant to come forward and  
18 you'll have seven minutes to make a presentation. And if  
19 you can -- we apologize for the late hour, and appreciate  
20 your patience waiting your turn.

21           MR. BOOZ: Thank you. I'm Miche Booz, and I'm  
22 the architect.

23           MR. STOWE: And I'm Ned Stowe, clerk of the  
24 trustees.

25           MR. BOOZ: And let me tell you what we are doing.

1 Since about 2001, the meeting has been grappling with how  
2 to improve the community house, which is -- maybe we could  
3 roll, or give me that and I could --

4 (Discussion off the record.)

5 MR. BOOZ: Currently, the lyceum, which is what  
6 we actually call the community house, the lyceum, which is  
7 the taller portion of the building, is the historic portion  
8 of the building. You can't see it, but there is a shed  
9 addition that goes off the rear. It was added in 1958.  
10 And along with it came this long, low addition which was  
11 classroom buildings.

12 And the community house functions in a number of  
13 ways, none of them particularly well. It is a dining room,  
14 has a kitchen. It has classrooms. There's a library.  
15 It's used for functions. And it has difficult circulation  
16 on the inside. The classrooms are dark and somewhat  
17 cramped. And the meeting has simply outgrown the building.

18 So through a fairly protracted planning process  
19 we've been through, going on about nine years now, have  
20 decided that a new religious education building is needed,  
21 which sort of started the whole domino effect, that is, to  
22 create an intimate campus of buildings shown here, for this  
23 building to be close enough to these buildings, it bumps  
24 the schoolhouse this way, which bumps this building this  
25 way, and does several things, I think, to our favor.

1           That is, that the addition and the changes to  
2 this building, the restoration of the lyceum is actually  
3 more compatible, becomes a more compatible building in the  
4 historic setting. It reduces the size of that long,  
5 somewhat awkward addition.

6           The schoolhouse was originally in this location,  
7 and we'd like to move it back. It's going to have a  
8 classroom, it's going to be built with a basement  
9 underneath it, also, to gain one more additional classroom.

10           The religious education building is not actually  
11 in the district, but sort of started the whole domino  
12 effect. And additionally, there's sort of a phasing  
13 formula here which allows the classrooms to exist and  
14 continue operating while this goes on. And I'm happy to  
15 answer any questions about the project as we see it.

16           MS. WHITNEY: When was the schoolhouse relocated,  
17 please?

18           MR. BOOZ: It was relocated, it was moved from  
19 this location in 1928, and became a house at that point.  
20 It was right around the time when the one-room schoolhouses  
21 were being replaced by public high schools.

22           MR. KIRWAN: I have a question.

23           MR. BOOZ: Yes.

24           MR. KIRWAN: On the proposed east elevation, the  
25 addition, the, I guess the north plane of the roof of the



1 addition looks to be in alignment with the existing roof of  
2 the lyceum at the original building.

3 MR. BOOZ: This addition? Is that what you're  
4 talking about?

5 MR. KIRWAN: That addition, but the side of the  
6 roof that we cannot see.

7 MR. BOOZ: Yes.

8 MR. KIRWAN: And the east elevation shows it  
9 being in the same plane as the lyceum roof. On the rear  
10 elevation, or the north elevation, proposed north  
11 elevation, there seems to be some sort of break there, or  
12 something. Is that just a --

13 MR. BOOZ: Are you saying there might be an  
14 inconsistency in the drawings?

15 MR. KIRWAN: No, I'm trying to -- possibly, but  
16 there may be something there that was intended that isn't  
17 coming across.

18 MR. BOOZ: I think the intention was that what  
19 has to happen is that the existing foundation works fine  
20 for us at the rear, because the long low shed elevation  
21 actually serves to -- if we preserve it, and that portion  
22 of the existing building, it would house the kitchen, which  
23 would be in the rear here.

24 The front, the current front of this building is  
25 too close to the fence, the graveyard fence, to actually

1 get an accessible entry to it, which is the other -- I  
2 neglected to mention that one of the other driving forces  
3 is that currently the building has inadequate and  
4 accessible entry. It's sort of, you have to come through  
5 the kitchen in the back, and it really doesn't work at all.

6 And this is to actually give a reasonable  
7 entrance to the front for people who may be, who may need  
8 to use a wheelchair or just can't make it up these steps,  
9 which, you know, there's a fairly aging percentage of the  
10 meeting population, which this is going to help. But to  
11 answer your question, this is moving back, and I think what  
12 that does is it aligns that roof. That is the idea, is to  
13 do that.

14 MR. KIRWAN: Would it be possible to have a break  
15 in the roof there? It is feasible?

16 MR. BOOZ: No, I think it's possible, actually.  
17 Yes.

18 MR. KIRWAN: All right.

19 MR. BOOZ: I think that the -- I see the line.  
20 It probably represents a material change, since one roof is  
21 going to be new. And that's one of the points of  
22 discussion. And I recognize the, how that might be an  
23 awkward situation if it were a pre-painted roof butting up  
24 to a turned metal roof, a painted turned metal roof, which  
25 if there were that separation.

1 I personally, and I don't think the meeting would  
2 have a problem with just doing a traditional turned metal  
3 roof on the building because of those problems. I mean,  
4 the other is that this, the current low shed roof on the  
5 back does have a turned metal roof on it that's painted.  
6 It's not in fantastic shape because it's a very low, it's a  
7 three and 12 roof, and it's had its time out there. I  
8 mean, it might be, in fact, problematic to clad this in a  
9 pre-painted roof. And I'm glad that the Commission  
10 actually sees the difference between the two now, because  
11 it didn't used to.

12 MR. JESTER: I think it's highlighting the -- I  
13 think you're coming to the conclusion that it's going to be  
14 more compatible and work better to do it with a traditional  
15 standing seam roof than something prefinished. And it may  
16 be a slight cost implication there, but it seems like --

17 MR. BOOZ: More maintenance.

18 MR. JESTER: Yes. I don't want to give you -- if  
19 there are any other points you want to make about the  
20 application or the project, I'm happy -- you can do that  
21 now. Otherwise, we'll ask, do you have any other questions  
22 of the applicant?

23 MR. RODRIGUEZ: I have a question. Can you  
24 explain a little bit the treatment of the windows in the  
25 kitchen? It seems to be a series of very close windows,

1 how that relates to the rest of the project.

2 MR. BOOZ: I think the windows are really to  
3 maximize light in the kitchen. It's a kitchen that gets  
4 used a lot during the day, and by various groups, sometimes  
5 kids, usually volunteers, sometimes caterers. But really,  
6 that would be probably the smallest use would be them. But  
7 because it's actually a space that gets used a fair amount,  
8 that we are maximizing light.

9 (Discussion off the record.)

10 MR. BOOZ: Good point. And parents have also  
11 requested as much visibility as they can to the rear of the  
12 property for kids playing on the playground.

13 MR. JESTER: Other questions for the applicant?  
14 So the new religious education building is a future phase?

15 MR. BOOZ: It is, actually, as soon as the  
16 schoolhouse moves, it will follow shortly. And then the  
17 final phase will be the restoration of the lyceum.

18 MR. JESTER: And you said it's going to be  
19 located outside the boundary of the district?

20 MR. BOOZ: Yes.

21 MR. JESTER: So it won't be coming before us.

22 MR. BOOZ: No. It won't be coming before you.  
23 It is in the Sandy Spring/Ashton overlay district, however,  
24 and will go to site plan review.

25 MR. JESTER: Okay. If there aren't any other

1 questions, I guess we can move onto some deliberations and  
2 discussion and hopefully provide the applicant with some  
3 guidance on the specific issues that they asked about.

4 I think the two main ones we want to focus on are  
5 the material for the windows, and I think we started to  
6 talk about the roofing material, but why don't we take them  
7 one at a time and talk first, continue discussion about the  
8 roofing material. Does anyone else want to add anything to  
9 what's already been said?

10 MR. KIRWAN: I mean, I must really be in favor of  
11 the painted turned roof on the new construction. I think  
12 there are possibly alternatives out there that are  
13 prefinished that can have the same look, but there's a lot  
14 that don't have the same look. So I think we would have to  
15 very carefully look at an alternative to a painted  
16 traditional turned roof with soldered seams. My, I mean, I  
17 think this is a very well conceived and very well executed  
18 proposal. And I don't have any major reservations about  
19 anything that you've brought before us tonight.

20 I think the only thing that sort of my lead in  
21 question was about, breaking the plane of those two roofs.  
22 I think given the outstanding resource category that the  
23 lyceum is in, I think it would be appropriate, and also  
24 possibly help with the new versus old roof juxtaposition to  
25 have a -- some offset between the roof of the addition with

1 the existing roof of the lyceum, you know, a foot,  
2 something in that range, just to make that gesture of an  
3 offset, because I think it works very successfully on the  
4 opposite side where there is a much more significant  
5 offset. But I think it works well to set the resource  
6 apart.

7 MR. JESTER: Commissioner Heiler.

8 MS. HEILER: Yes, I have one comment about the  
9 roofs. I've recently become very familiar with other  
10 alternatives, and the biggest difficulty with the  
11 prefinished roofs is matching color, if you have some  
12 existing paint, and also there is the sheen. They all have  
13 some sheen that traditional painted turned roof does not  
14 have.

15 An alternative is to use the new material, which  
16 is steel and zinc, so it has a much, much better guarantee,  
17 given that it seems impossible to get paint with lead in it  
18 now. So to reverse it so that the primer side is up, the  
19 prefinished side is down, and to paint it.

20 MR. BOOZ: Interesting.

21 MS. HEILER: So you can match the paint that you  
22 would use on your turned roof. They look the same, but the  
23 material itself is substantially sturdier, and it's a  
24 rolled material that can be cut to the same size.

25 MR. JESTER: That's correct. We actually used

1 TCS-II, a product on the Eastern Market and did exactly  
2 that. It was standing metal seam roofing, and can be  
3 worked in the field and takes paint. It can also be left  
4 unfinished and will weather to a kind of a dull gray if you  
5 want a lower maintenance finish.

6 MR. RODRIGUEZ: I agree with the roof material.  
7 I would suggest you go with a material that can be painted  
8 to match as close as possible.

9 I think it's a great project. My only concerns  
10 really are those windows on the kitchen. I feel like there  
11 is a little bit from the -- be careful, it comes a little  
12 bit too close to a more modern gesture that the project is  
13 not following anywhere else. So I would recommend that you  
14 look at that and see how those windows come closer to the  
15 rest of the volume, and that would be the only comment I  
16 would make.

17 MR. SWIFT: I don't think I have anything to add  
18 to those two comments.

19 MR. JESTER: Okay. Let's move onto the windows.  
20 I think the real question is whether we're going to,  
21 whether it would be necessary to follow the strict current  
22 guidelines about the replacement windows for an addition.  
23 And I personally think that we should revisit those  
24 guidelines. And I welcome the comments of the other  
25 Commissioners, but I would not be uncomfortable with the

1 use of single divided -- not using true divided light in  
2 those locations for the addition.

3 MR. RODRIGUEZ: Yes. I would support the use of  
4 simulated divided light windows there. I don't see the  
5 problem with that as much as I think trying to keep the  
6 values of what you are expressing in the drawings.

7 MR. KIRWAN: I would agree as well with  
8 Commissioner Rodriguez. I think being relegated to the  
9 addition, it's very appropriate that they be, or that they  
10 can be something different than the true historic -- true  
11 divided light, and be simulated divided light.

12 MS. MILES: I agree. I think we should be  
13 striving for the appearance of similarity in the button  
14 profile, rather than following sort of a strict, if this  
15 then that.

16 MS. HEILER: I do have one question. Can you not  
17 match the muntin profile with true divided light?

18 MR. BOOZ: There are actually window  
19 manufacturers that will do a seven-eighths muntin bar with  
20 a true divided light window. But they're such a big step  
21 above sort of your basic, I mean, given a really good  
22 window like Marvin, or the Pella architect series, which  
23 have a nice profile, which is similar to but does not  
24 match. And I think probably historically speaking, we  
25 wouldn't want to exactly match them anyway.



1 MS. HEILER: Yes. And are we talking about the  
2 windows that will be under this, the roof of the porch?

3 MR. BOOZ: Yes, we're talking about all the new  
4 windows in the addition. Yes.

5 MS. HEILER: Because I, you're probably familiar  
6 with the windows up North Street, which, they almost look  
7 like plastic. And it's because the panes, it's so very  
8 obvious that there's one pane there, and there are just  
9 some muntins attached. I don't know how to avoid that, and  
10 maybe windows under a roof or, you know, and the windows  
11 I'm talking about, I only mention North Street because I  
12 know these windows.

13 MR. BOOZ: Yes.

14 MS. HEILER: But the, you know, the very clearly  
15 simulated divided lights.

16 MR. BOOZ: Right.

17 MS. HEILER: And maybe that won't be so obvious  
18 with a roof overhang.

19 MR. BOOZ: I think it really does depend on the  
20 manufacturer. Yes.

21 MS. MILES: If I can defend, I am a real stickler  
22 for real stuff, but there is a wide variety of SDL's from  
23 the little pieces of plastic that you can pull off with  
24 your finger --

25 MR. BOOZ: Right.

1 MS. MILES: -- all the way to ones that look like  
2 they really are -- I mean, I actually have simulated  
3 divided lights in my house. No one in the world would know  
4 that in a million years. They look like true divided  
5 lights.

6 MR. KIRWAN: I agree. And the two manufacturers  
7 that Miche suggested as a possibility, I'm familiar with  
8 those windows. It's the simulated divided light windows.  
9 And they do, I mean, they are almost indiscernible from a  
10 true divided light, unless you really get close and examine  
11 the air space in between. So they are not as you describe,  
12 the other house or the other property, Commissioner Heiler.  
13 They're a much better simulation of a true divided light  
14 window.

15 MS. HEILER: I guess what I'm talking about is  
16 not the muntins themselves, but the fact that the windows  
17 aren't on slightly different planes, so the larger the  
18 window, the worse it looks.

19 MR. JESTER: Yes. Yes. It depends on the  
20 configuration. I agree that site lights can be different.  
21 I think we've covered the window issue. I'd like to move  
22 on and we covered the roofing issue. I want to just move  
23 onto the last item that was identified in the staff report,  
24 and that is the environmental setting, and in particular,  
25 the tulip poplar that would need to be removed, and some

1 minor hardscape changes. I don't personally have an issue  
2 with either of those, but if anyone else wants to chime in,  
3 now's the time.

4 MR. RODRIGUEZ: Well, I will be very sympathetic  
5 to what I see in the concept drawing. There is a flaw. My  
6 concerns will be that when the project comes for a HAWP, we  
7 have detailed drawings indicating what amount of paving you  
8 are proposing between the two buildings, because it's very  
9 hard for us to evaluate something when we cannot see it.

10 So I would say that from what I see, I am  
11 sympathetic to it, I will support it, but I want to see the  
12 details when it comes to, for approval. And I will support  
13 the removal of the tree. I think that will help a lot to  
14 address also the issues with the addition, and bringing  
15 back the old building, the significant building back.

16 MR. JESTER: Okay. If I could just take a minute  
17 and just quickly summarize what I think I heard from the  
18 majority of the Commissioners and make sure you're leaving  
19 with clear guidance.

20 I don't think there is any opposition to the  
21 removal of the tree. We would like to see more detailed  
22 landscape plans, and the extent of any new hardscape, and  
23 hardscape being altered in the final HAWP application.

24 As far as the roofing is concerned, I think you  
25 heard that the majority of the Commissioners would prefer

1 to see a traditional standing metal seamed roof, whether  
2 it's turned or some other material that can be formed in  
3 the field with soldered joints. It doesn't say that there  
4 isn't a product out there that's prefinished that we  
5 wouldn't consider, but I think you maybe have even come to  
6 the conclusion, that may be the better solution for this  
7 particular small scale project.

8           And as far as the windows are concerned, I think  
9 you heard pretty much unanimous support for single divided  
10 light STL windows on the addition. And I just want to also  
11 point out that Commissioner Kirwan did suggest that we look  
12 a little bit more at the roof lines on the addition to see  
13 if we can create more of a distinction between the addition  
14 and the original massing. And that's something I think  
15 that can probably be resolved relatively easily.

16           MR. ~~SILVER~~: Commissioner Jester, did you want to  
17 say anything about the relocation of the schoolhouse, or  
18 anybody on the Commission, rather?

19           MS. MILES: Good idea.

20           MR. JESTER: Yes. I think we do need to address  
21 that. It's, I think from my perspective, it's been  
22 relocated once, and even though we're not 100 percent  
23 positive where it was historically, the impression I'm  
24 getting is that we're being told it's generally in the same  
25 vicinity and we're not creating another setting that never

1 existed. I mean, I think it's also an altered building, so  
2 I don't personally have any objection to the relation. But  
3 I'll let others give their thoughts.

4 MR. RODRIGUEZ: I would be supportive of the  
5 relocation. I think again, a lot depends on the details of  
6 how it comes to us, and that we can create it clearly in  
7 your proposed drawings.

8 MR. JESTER: Okay. I hope that gives you some  
9 guidance to move forward.

10 MR. BOOZ: It certainly does and thank you very  
11 much.

12 MR. JESTER: All right. Thanks. The next item  
13 on the agenda was postponed for the Silver Spring Baptist  
14 Church. So the next item on the agenda are the minutes.  
15 Have the minutes from February 24th been reviewed?

16 MR. RODRIGUEZ: Yes, they were submitted on --  
17 this week, early this week.

18 MR. JESTER: Okay. Does someone want to move  
19 that we approve those minutes?

20 MR. RODRIGUEZ: So I would like to propose that  
21 we approve the minutes from the meeting, February 24, with  
22 edits done by Jorge.

23 MR. JESTER: Okay. Is there a second?

24 MS. WHITNEY: I second the motion.

25 MR. JESTER: All in favor?