



**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	5808 Warwick Place, Chevy Chase	<b>Meeting Date:</b>	02/23/05
<b>Applicant:</b>	Bonnie Thomson/Eugene Tillman (Gregory Wiedemann, Architect)	<b>Report Date:</b>	02/15/05
<b>Resource:</b>	Contributing Resource Somerset Historic District	<b>Public Notice:</b>	02/09/05
<b>Review:</b>	Preliminary	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	N/A	<b>Staff:</b>	Tania Tully
<b>PROPOSAL:</b>	Rear addition & landscaping	<b>RECOMMENDATION:</b>	Obtain approval from the Town of Somerset then proceed with HAWP

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Somerset Historic District  
**STYLE:** Queen Anne, Foursquare  
**DATE:** c.1901

This three-bay 2-½ story clapboard house is one of the 31 contributing resources in the Somerset Historic District. Known as the Cooper/Smith House, its cross-gable form with wrap-around porch is quite similar to its neighbor at 5810 Warwick Place. Rear additions were completed in 1987 and 1992.

Somerset was founded as a prosperous trolley suburb of Washington D.C. in the late 19th century and contained 173 residences by 1910. The period of significance for the district is from 1890 to 1915 and the resulting architecture contains a range of Victorian styles. Between 1900 and 1915 Richard and William Ough (pronounced Oh) built standardized houses (including 5808 Warwick Place) for speculators Miles Fuller, Richard Halliday, and others. Many of these are along Cumberland Avenue and Warwick Place. Significant characteristics of the district include the spacing and rhythm of the buildings, the uniform scale of the houses, the relationship of the houses to the street, the large lots and patterns of open space, and the mature trees and landscaping. The district was added to the *Master Plan for Historic Preservation* in 1990.

**PROPOSAL:**

The applicant provides a thorough written description of the combined construction and landscaping project on Circles 6-13.

**CONSTRUCTION**

- Remove 1990s rear porch addition (Circle 32)
- Restore historic windows – *tax credit eligible*
- Add a rear 2-story addition onto the 1980s addition (Circles 15-24)
  - 2<sup>nd</sup> story added to octagonal bay

- Basement level open garage
- 1<sup>st</sup> story screened porch
- 2<sup>nd</sup> story office/studio
- New open porch on 1<sup>st</sup> level
- Redesigned roof
  - The addition increases the footprint by 492 square feet.
  - Siding on the addition will match that of the historic house.
  - The foundation of the new construction will be stucco in contrast to the fieldstone foundation of the historic house.
  - Trim on the new house will be wood and will match the existing house.
  - New windows will be wood single pane true-divided light windows with storms.
  - The new roofing will match the existing.

**LANDSCAPING (Circles 15, 16, 25, & 26)**

- Remove existing concrete paver parking pad
- Add new tar and chip driveway (Circle 47)
- The curbed driveway will be part of a new drainage system
- Regrade side yard with fieldstone retaining walls.
- Install a trench draining system and below-grade storage tank
- Replace existing concrete sidewalk with bluestone pavers
- Replace deteriorating brick front steps and wrought iron handrail with stone steps and wood handrail.
- Add a small flagstone terrace, built-in-barbecue, and storage shed on the north side
- Regrade the north side yard with low steps and retaining walls
- Remove one 6" dogwood tree and replace with another flowering tree in the front yard.

Lot Area: 9,716 sq ft

Maximum Lot Coverage: 35%

Current Lot Coverage: 17% (1,667 sq ft)

Proposed Lot Coverage: 22% (2,159 sq ft – an increase of 492 sq ft)

**APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Somerset Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

***Montgomery County Code; Chapter 24A***

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

***Secretary of the Interior's Standards for Rehabilitation:***

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

Overall staff believes that this project is in keeping with the *Standards* although because the new addition is incorporated into one non-historic addition and replaces another, it at first seems quite monumental. In fact there is only a net footprint increase of 492 square feet. Attached garages are not typical for the neighborhood and generally not approved by the Commission, but given the lot size (this is not one of the larger lots in the district) and the applicant's desire for more livable space, staff believes that the proposed design increases lot coverage minimally.

Because of the concern for maintaining the pattern of open space in the district, staff also has reservations about the proposed driveway. The appearance of the tar and chip surface (Circle 47) is relatively compatible with the district, but it is not permeable. However, it is part of a complete run-off system that includes an underground tank; because of this staff is supportive of the concept. The drive is narrow and arguably relocates the historical drive that was obliterated by the 20th century additions. This drive, in combination with the stone walk and front steps starts to create a rather formal setting for this relatively simple Victorian. To reduce the formality staff recommends that the front steps be constructed of wood rather than stone. In addition, if it can be incorporated into the water management system, staff suggests that the drive start off as a strip driveway (Circle 49) at the street and transition to complete paving near the garage.

In order to more accurately reflect the impact of the addition on the historic house, staff has requested the applicants provide perspective drawings. We believe that these will show the limited visibility of the alterations from the street. The primary visual impact will be the addition of a 2<sup>nd</sup> level to the octagonal room on the south elevation (Circles 17, 18 & 28). The applicant, admirably, will be using all wood materials, including single-pane double hung windows. Because the materials will match the existing so well, the differentiation will be subtle. A different roof form is used to differentiate it from the adjacent historic bay and the new open garage is not an historic feature. No historic fabric will be altered or removed.

**STAFF RECOMMENDATION:**

Overall, staff finds that the project is compatible with the district and should proceed to a Historic Area Work Permit after responding to Commission suggestions.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: GREG WIEDEMANN / ANDREW DAN  
Daytime Phone No.: 301-652-4022

Tax Account No.: 00538502  
Name of Property Owner: BONNIE THOMSON / EUGENE TILLMAN Daytime Phone No.: 301-657-2923  
Address: 5808 CHEVY CHASE WARWICK PLACE 20815  
Street Number City State Zip Code  
Contractor: TBD Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: GREG WIEDEMANN Daytime Phone No.: 301-652-4022

### LOCATION OF BUILDING/PREMISE

House Number: 5808 Street: WARWICK PLACE  
Town/City: CHEVY CHASE Nearest Cross Street: DORSET AVE  
Lot: P-9-P-11 Block: 3 Subdivision: JOMERSET HEIGHTS  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate
- Move  Install  Wreck/Raze
- Revision  Repair  Revocable

#### CHECK ALL APPLICABLE:

- AC  Slab  Room Addition  Porch  Deck  Shed
- Solar  Fireplace  Woodburning Stove  Single Family
- Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ TBD  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 2 feet 6 inches (30" MAX. - VARIES)

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

01.19.05

Date

Approved: 371248 For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

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**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED NARRATIVES BY WIEDEMANN ARCHITECTS  
AND HLA FENDORICK LANDSCAPE ARCHITECTURE

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED NARRATIVES BY WIEDEMANN ARCHITECTS AND  
HLA FENDORICK LANDSCAPE ARCHITECTURE

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

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# WIEDEMANN ARCHITECTS LLC

Gregory Wiedemann, AIA

19 January 2005

## HISTORIC AREA WORK PERMIT APPLICATION

For additions and renovation of 5808 Warwick Place, Chevy Chase, Maryland

The following is information to supplement the Application for Historic Area Work Permit for the renovation and addition to 5808 Warwick Place. We are the architects for the Owner, Bonnie Thomson and Eugene Tillman. Combined in this application are some site improvements designed by Lila Fendrick, the project landscape architect.

### 1. WRITTEN DESCRIPTION OF PROJECT:

#### (a) Brief History of House:

According to information furnished to us in a Town of Somerset publication, we understand that this house was built in 1901 by Edward Halliday. It was a modest L-shaped Victorian house with a two-story octagonal tower at the end of the L, an L-shaped wrap around front porch and a straight rear porch.

The house has changed ownership several times since 1901. Most recently, our clients, Bonnie Thomson and Eugene Tillman purchased the house in 1982. During the 1980's, an addition was constructed at the west side/rear of the original house, removing the original rear porch and significantly modifying the rear façade. The 1980's addition included a new family room with a small rear porch, a new powder room, and modified/expanded the kitchen on the first floor, a new master bedroom suite on the second floor, and a new recreation room on the basement level. The kitchen renovation included a new enclosed stair on the north side of the house down one level to the basement. The shape of the first floor family room is octagonal reflective of the original dining room but was limited to one story.

In the 1990's, a new larger wood rear porch was constructed which expanded on the small porch of the 1980's addition. This porch was supported by masonry piers and the roof structure was supported by turned columns similar to the original front porch, however these columns are not a direct match to the original historic front porch. The guard rail between the columns is similar in style to the historic front porch, but the height and baluster spacing is reflective of current code requirements.

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The front porch, two east facing rooms (the original living room on the first floor and a bedroom on the second floor), stair hall, the second floor hall bath, and the south facing dining room and bedroom above within the original octagon tower remain from the original house. In those areas most of the original woodwork remains. The original stair remains the current stair to the second floor.

On the exterior, the original narrow 2-1/2" exposure beveled wood siding and the original wood shutters remain. The wood siding on the 1980's addition matches the type and exposure of the original as does the decorative trim at the gables, eaves, soffits and fascias. The flat exterior window and door casing on the 1980's addition is 4-1/2" wide as opposed to the 4-3/4" wide casing on the original windows and doors. The original front porch remains as well as the decorative wood moldings at the eaves. The original roof has been replaced with fiberglass shingles.

**(b) Description of proposed project:**

The proposed project represents primarily a replacement and expansion of the additions that were added in the 1980's and 1990's. The 1990's rear porch facing west into the backyard shall be razed so that a new, more sympathetic, rear addition can be built. The addition shall house a new screened porch on the first floor with an open porch on the south side of the addition, a new office/studio on the second floor, and a new open carport/ open garage at the basement level with access to the basement of the 1980's addition. Also, the octagonal footprint of the 1980's family room, which was limited to the first floor and basement only, will be extended up through the second floor thereby expanding the existing second floor master bedroom. The existing second floor office and walk-in closet on the north side of the house will be renovated into a single larger artist studio space with three windows centered over the 1980's stair addition to the basement below. A new gable roof with similar to the existing gables on the east, south and west sides shall be centered over the new second floor windows.

The proposed massing shall emulate the historic front gable, porch and octagonal, while contrasting itself from the historic fabric. The proposed addition to the house, although sympathetic in character and massing, shall be virtually unseen from the street and shall increase the net footprint, including porches, by only 492 square feet.

At the street façade it is the intention of the Owners and Architect to retain the early 20<sup>th</sup> century portion of the house in its original character and no modifications are being proposed. The house will be repainted and the decaying front porch steps will be replaced (see landscape architects' drawings). The block foundation of the 1980's family room addition and the foundation of the new addition shall have a cement stucco finish to contrast with the historic stone foundation, creating a clear demarcation between the historic fabric and the newer additions.

The existing condensing units for the air conditioning system shall remain in their south side yard location.

**2. SITE PLAN/LANDSCAPE PLAN**

- See attached Site Plan and attached landscape drawings depicting the new driveway and other site improvements.

### 3. PLANS AND ELEVATIONS

- See required two (2) copies of the required plans and elevations, depicting the existing conditions and the proposed modifications.
- List of Drawings attached:
  1. C.0.1 - Coversheet
  2. A.1.0 - Basement Floor Plan
  3. A.1.1 - First Floor Plan
  4. A.1.2 - Second Floor Plan
  5. A.2.1 - South Elevation
  6. A.2.2 - West Elevation
  7. A.2.3 - North Elevation
  8. A.2.4 - East Elevation (Warwick Place street elevation)
  9. EX.0 - Existing Basement Floor Plan
  10. EX.1 - Existing First Floor Plan
  11. EX.2 - Existing Second Floor Plan
  12. EX.3 - Existing South Elevation
  13. EX.4 - Existing West Elevation
  14. EX.5 - Existing North Elevation
  15. EX.6 - Existing East Elevation

### 4. MATERIAL SPECIFICATIONS

The following is a description of the proposed materials for the project:

#### Exterior Siding:

The historic siding on the 1901 house, a narrow bevel siding with 2-1/2" exposure, will remain and will be repainted. All siding on the 1980's addition matches the exposure of the original house - this will remain and will be repainted. All new siding, which primarily adjoins the 1980's addition, will match 1980's addition and exposure of the original house.

#### Wood Shutters:

All operable wood shutters are located on the original 1901 house. These shutters will remain and will be repainted.

#### Foundations:

The block foundation of the 1980's family room addition and the foundation of the new proposed addition shall have cement stucco to contrast with the historic stone foundation of the original house.

#### Exterior Trim:

The existing front porch shall remain, as well as all other existing historic trim on the original house. All new exterior trim shall be Western Red Cedar or Redwood, in profiles to match the existing house and as depicted on the elevations.

#### Windows:

The windows in the historic house shall remain and will be restored and all new windows shall be Marvin wood windows, both double hung and casements. The new double-hung windows shall be painted wood single pane true divided lite windows with triple track storm windows to match the existing windows in the 1980's addition. New casement windows shall be painted wood single pane true divided lite windows and removable energy panels. The mullion patterns of the existing and proposed windows are as shown on the attached drawings.

**Roofing:**

The existing fiberglass roof shall remain. The new roof of the proposed addition shall be fiberglass, similar to the existing roof.

**5. PHOTOGRAPHS**

- See attached required photographs, labeled as requested.

**6. TREE SURVEY**

- See attached Existing Conditions Plan for a tree survey and Tree Preservation Plan.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

- See attached Adjacent and Confronting Properties List of Owners.

On behalf of Bonnie Thomson and Eugene Tillman, we respectfully submit these materials for your review and approval. If you have any questions concerning our application, please contact me at 301.652.4022.

Sincerely,

Gregory Wiedemann, AIA  
WIEDEMANN ARCHITECTS LLC  
5272 River Road, Suite 610  
Bethesda, Maryland 20816  
301.652.4022

LILA FENDRICK

landscape architecture & garden design

## LILA FENDRICK LANDSCAPE ARCHITECTURE

Lila Fendrick

19 January 2005

### **HISTORIC WORK AREA PERMIT APPLICATION** For site improvements to 5808 Warwick Place, Chevy Chase, MD

The following is information to supplement the Application for Historic Area Work Permit for the landscape changes to 5808 Warwick Place, Chevy Chase, MD. We are the landscape architects for the Owners, Bonnie Thomson and Eugene Tillman.

#### **1. WRITTEN DESCRIPTION OF PROJECT:**

##### **(a) Brief History of Garden:**

The current garden is bordered by two stone walls to the north, one old and crumbling, as well as a newer wall built by the uphill neighbor. These define the northern edge of the property. Along the southern property line, a neighbor's white fence visually defines an edge along a portion of the property line. A wood tie wall at the rear of the property along the southern property line forms a partial edge to the garden while retaining the owner's garden above the downhill (southern) neighbor's garden. Along the rear property line, a chain link fence and wire mesh fence visually define the property line.

Currently, there is a small parking pad to the north of the front entrance walkway composed of interlocking concrete pavers. On-site parking is desirable as Warwick Place is a narrow (20' wide) street where parking is at a premium.

The existing front walkway is narrow at 3'-6" wide and made of concrete. It leads to deteriorating brick steps at the wooden front porch.

Practical site functions, such as garbage can storage, barbeque placement, steps and paths around the house, have developed in an ad hoc manner. Currently, garbage cans are stored at the bottom of a small porch to the north of the house, visible from the street. A movable barbeque is set on lawn near that same porch. There is a lack of steps in sloping areas on the north side of the house where the owners would like more useable circulation.

Runoff from properties uphill of the owner's property drains across the property. Maddox Engineering has calculated that there is a drainage area of 0.9 acres draining across the Owner's property.

Most of the plantings in this garden were installed by the current owners. A delightful mix of native trees and shrubs, such as southern magnolia, flowering dogwood, fringe tree, witchhazel, and crabapples, as well as flower borders along both sides of the property provide a richness of scale, bloom, and seasonal interest. For a small property, the garden has great charm.

**(b) Description of proposed project:**

The proposed project provides improved site circulation, addresses site drainage issues, and maintains the historic character of the site.

The existing parking pad shall be removed and replaced with a curbed driveway on the south side of the house leading to the below-porch open carport. The curbs act to reduce runoff onto the neighbor's property to the south and help to direct water towards a trench drain at the rear of the proposed driveway. They also act as low walls, from 9" to 14" high, on the south side of the driveway, to maintain existing grade around the southern magnolia and flowering dogwood.

The driveway is narrow and is intended to look like a country lane, or wide garden path.

Retaining walls will be required to maintain the rear garden above the driveway turnaround outside the carport. The wall parallel to the south property line is pulled back from the property line, to allow for runoff from the driveway into the rain garden sited a few feet inside the property line.

New front steps of bluestone treads and stone risers are proposed to replace the crumbling brick front porch steps. The stone is intended to evoke the existing stone walls around the property. The existing metal handrail will be replaced with a wooden handrail, with pickets matching those on the existing front porch.

A new, wider, (4'-6" wide) front walkway of bluestone pavers with grass joints is planned. The grass joints give a more picturesque look to the walkway and make the walkway more part of the surrounding lawn.

To the north of the house, a small flagstone terrace is proposed at the base of the existing side porch. This leads to a built-in barbeque whose stone counter can shelter wood storage below. A series of paired steps, low retaining walls and walks lead along the

north side of the house to the rear garden and address the slope on that side. Garbage cans would be housed behind fencing and gates centered below a triple bay of windows. Flagstone and local stone would be used for this construction.

The project civil engineer, Maddox Engineers, has proposed a storm water system to address specific and general site drainage issues. The driveway has been graded to divert water away from the proposed carport towards a trench drain. A pipe directs water from the trench drain to a below-grade storage tank system. Overflow from either the trench drain and storage tank system can be directed to a "rain garden", or gravel area at the southwest corner of the garden.

Some transplanting and tree removal is necessary to install the driveway. A 6" flowering dogwood would be removed. A replacement flowering tree will be planted in the area of the existing driveway parking pad. Several medium and small sized shrubs will need to be transplanted to other parts of the garden.

A tree preservation plan has been developed with Tim Zastrow of Bartlett Tree. The plan illustrates the area to be root pruned prior to construction as well as identifies where silt fencing and tree preservation fencing needs to be located. As noted earlier, the driveway will be elevated above the roots of the remaining dogwood tree and the large southern magnolia and the maximum area of critical root zone preserved at original grade. Micorrhizae and fertilization treatments are recommended for all trees to be affected by construction.

## **2. MATERIAL SPECIFICATIONS**

The following is a description of the proposed materials for the project:

### **Exterior paving:**

The front walkway will be made of bluestone. The front steps to the existing front porch shall be made of bluestone treads with fieldstone risers. The landing at the base of the side porch to the north side of the house will be made of flagstone. Step treads will be made of flagstone, with risers made of stone.

The driveway will be made of tar and chip with a tan color. Curbing will be made of stone.

### **Walls:**

Retaining walls at the rear of the driveway will be made of local fieldstone. Steps leading into the garden will be made with flagstone treads and fieldstone risers.

**Barbeque surround:**

The barbeque surround will be made of local fieldstone. The counter would be made of bluestone or granite.

**Garbage can enclosure:**

The enclosure will be made of cedar painted white to match the trim color of the house.

**Front step handrails:**

New handrails will be made of cedar, painted white, to match the railing color on the existing porch.

On behalf of Bonnie Thomson and Eugene Tillman, we respectfully submit these materials for your review and approval. If you have any questions concerning our application, please contact me at (301) 907-7700.

Sincerely,

*Lila Fendrick*

Lila Fendrick, ASLA  
Lila Fendrick Landscape Architecture & Garden Design





**WIEDEMANN ARCHITECTS LLC**

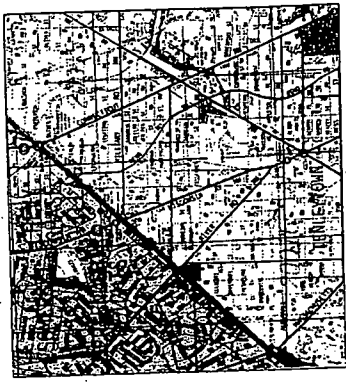
5775 RIVER ROAD SUITE 810  
BETHESDA, MD 20814  
Tel: 301-452-4822  
Fax: 301-452-4894  
www.wiedemannarchitects.com

**PROJECT**  
ROBINSON TILMAN  
ADDITION  
5809 WARWICK PLACE  
CHEVY CHASE, MD 20815  
TOWN OF SOMERSET

**ISSUED**  
FOR HPC STAFF REVIEW  
JANUARY 14, 2005  
APPROVAL FOR  
HISTORIC AREA WORK  
PERMIT  
JANUARY 19, 2005

PRELIMINARY  
NOT FOR CONSTRUCTION  
SHEET

C.O.1



1 LOCATION MAP  
C.O.1 SCALE: N.T.S.

**ZONING SUMMARY**

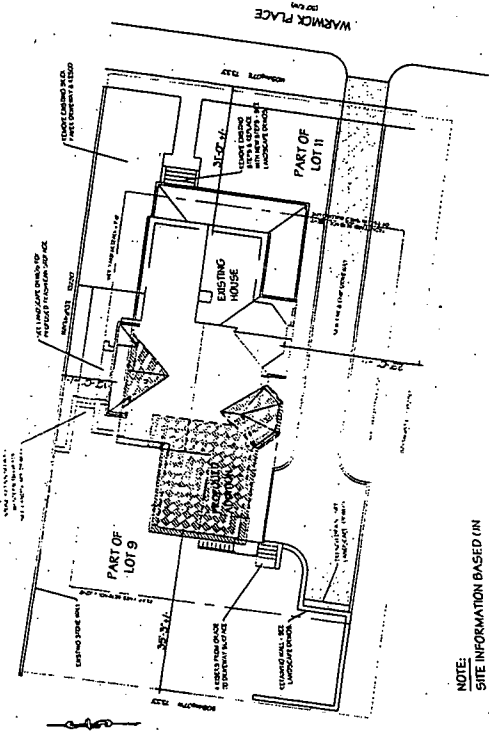
5809 WARWICK PLACE  
CHEVY CHASE, MARYLAND 20815

ZONE: R-60  
LOT AREA: 9,716 SQ.FT.  
LOT 9 & LOT 11  
MAX. LOT COVERAGE: 35% (3,400 SQ.FT. MAX.)  
ACTUAL LOT COVERAGE: 22% - 2,159 SQ.FT. (1,667 SQ.FT. E.H.P.; 492 SQ.FT. NEW ADDITION)

REQUIRED SETBACKS:  
FRONT YARD: 25 OR ESTABLISHED BUILDING LINE  
SIDE YARD: 7'-0"  
REAR YARD: 20'

**INDEX OF DRAWINGS**

- C.O.1 COVER SHEET / PROPOSED SITE PLAN  
RESIDENTIAL CODE NOTES
- D.1.1 FIRST FLOOR DEMOLITION PLAN
- D.1.2 SECOND FLOOR DEMOLITION PLAN
- A.0.1 CONCEPTUAL SITE PLAN
- A.1.0 BASEMENT FLOOR PLAN
- A.1.1 FIRST FLOOR PLAN
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- A.1.3 ATTIC PLAN
- A.1.3a ROOF PLAN
- A.2.1 SOUTH ELEVATION
- A.2.2 WEST ELEVATION
- A.2.3 NORTH ELEVATION
- A.3.1 BUILDING SECTION
- A.3.2 BUILDING SECTION
- A.4.1 WALL SECTIONS
- A.4.2 WALL SECTIONS
- A.6.1 KITCHEN INTERIOR ELEVATIONS
- A.6.2 BASEMENT INTERIOR ELEVATIONS
- A.6.3 SECOND FLOOR INTERIOR ELEVATIONS
- A.6.4 SECOND FLOOR INTERIOR ELEVATIONS
- S.1.0 FOUNDATION PLAN
- S.1.1 FIRST FLOOR FRAMING PLAN
- S.1.2 SECOND FLOOR FRAMING PLAN
- S.1.3 ATTIC FLOOR FRAMING PLAN
- S.1.4 ROOF FRAMING PLAN  
STRUCTURAL NOTES
- M.1.2 SECOND FLOOR MECHANICAL PLAN
- M.1.3 ATTIC MECHANICAL PLAN
- E.1.0 BASEMENT FLOOR ELECTRICAL PLAN
- E.1.1 FIRST FLOOR ELECTRICAL PLAN
- E.1.2 SECOND FLOOR ELECTRICAL PLAN



2 PROPOSED SITE PLAN  
C.O.1 SCALE: 1/16" = 1'-0"

NOTE:  
SITE INFORMATION BASED ON  
HOUSE LOCATION SURVEY  
DATED 3-10-99 PREPARED BY  
METROPOLITAN SURVEYS, INC.

*send Summary to Somerset  
then Johnson would act as advisory to HPC*

Support Heather G

garage 50/50  
to ditch the

Jeff  
Cardno  
Murray  
Lee  
him  
as opposed  
ok w/ garage

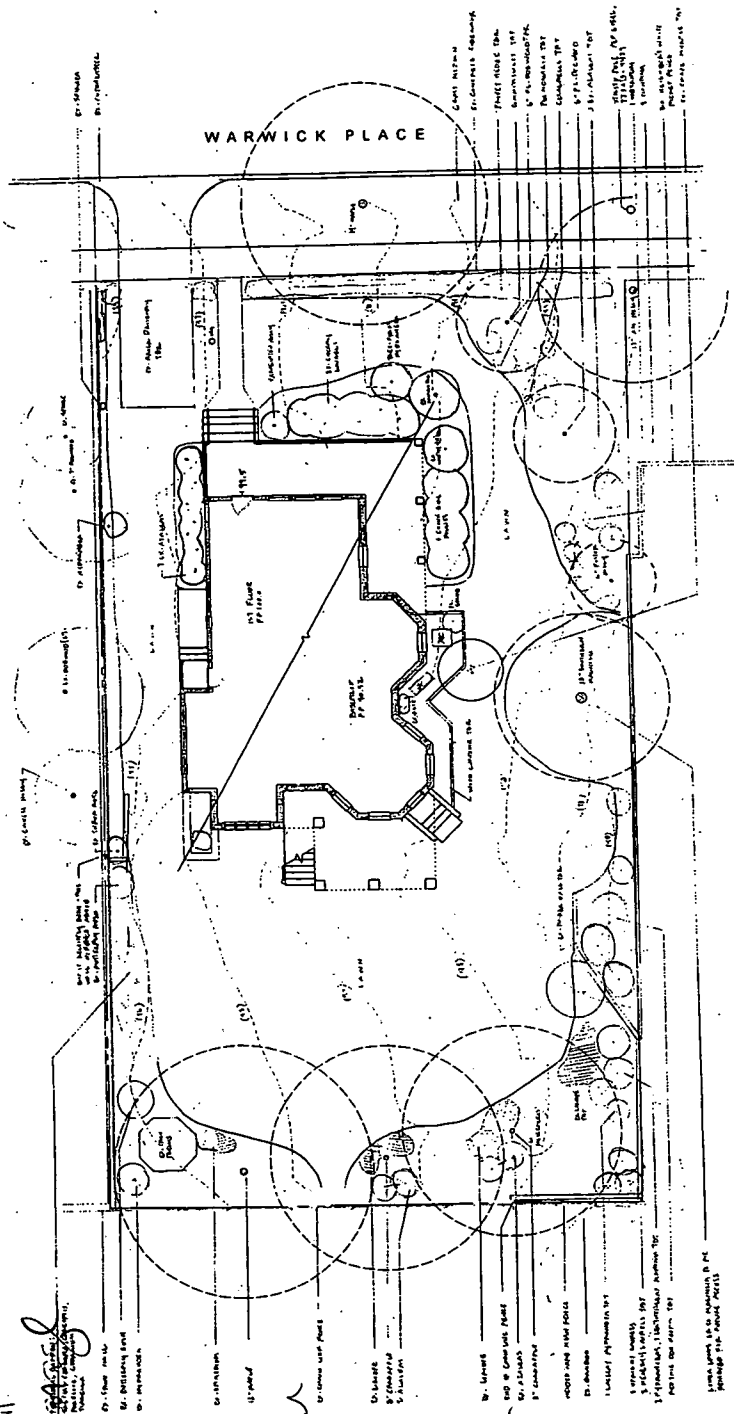
Size Addition OK  
call but off + when

Julia - offer state  
Suggests different  
windows  
I'll talk this  
2/2

(1) small tree  
(2) low paving a combo  
to get to an approval

Natural issue could  
also help

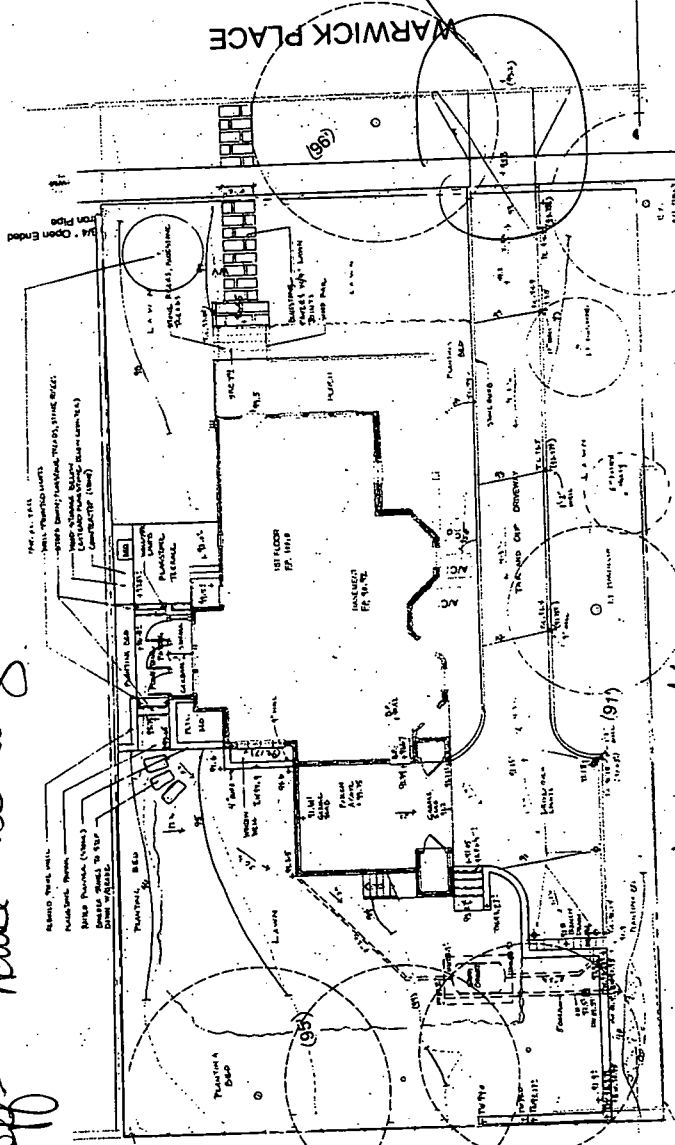
(5)



KEY:  
EXISTING CONTOUR  
EXISTING PROPOSED ELEVATION  
EXISTING TREE  
TO BE REMOVED  
TO BE TRANSPLANTED  
PROPOSED PROPOSED ELEVATION  
PROPOSED CONTOUR

Caroline - ok w/ addition - issue of visible paving - less even  
 Julia - problem w/ paving - brown stone chip  
 Lyne - a lot of paving - Magnolia concern - loss of even pad  
 Kim - curb cut, even pad b/w houses  
 Jeff - house too long? see 5 elev

they have neighbor ok w/ curb cut



Kim - addition ok  
 loc. of garage is the issue, eliminate it + problems describe  
 Jeff - ? of grade well done addition reduce length better driveway concerns some what  
 Bartlett - arboreal  
 Tim Zaztra  
 comparatory paving

KEY:

(dash)	EXISTING CONTOUR
(dash)	EXISTING SPOT ELEVATION
(dash)	TO BE EXISTING
(dash)	TO BE REPLACED
(dash)	PROPOSED SPOT ELEVATION
(dash)	PROPOSED CONTOUR

Site Section 9

passover - ok  
 brownstone chip



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Fax: 201-431-4004

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PROJECT  
THOMPSON TILMANN  
ADDITION

5600 WARWICK PLACE  
CHEVY CHASE, MD 20815  
TOWN OF BETHESDA

ISSUED  
APPLICATION FOR  
HISTORIC AREA  
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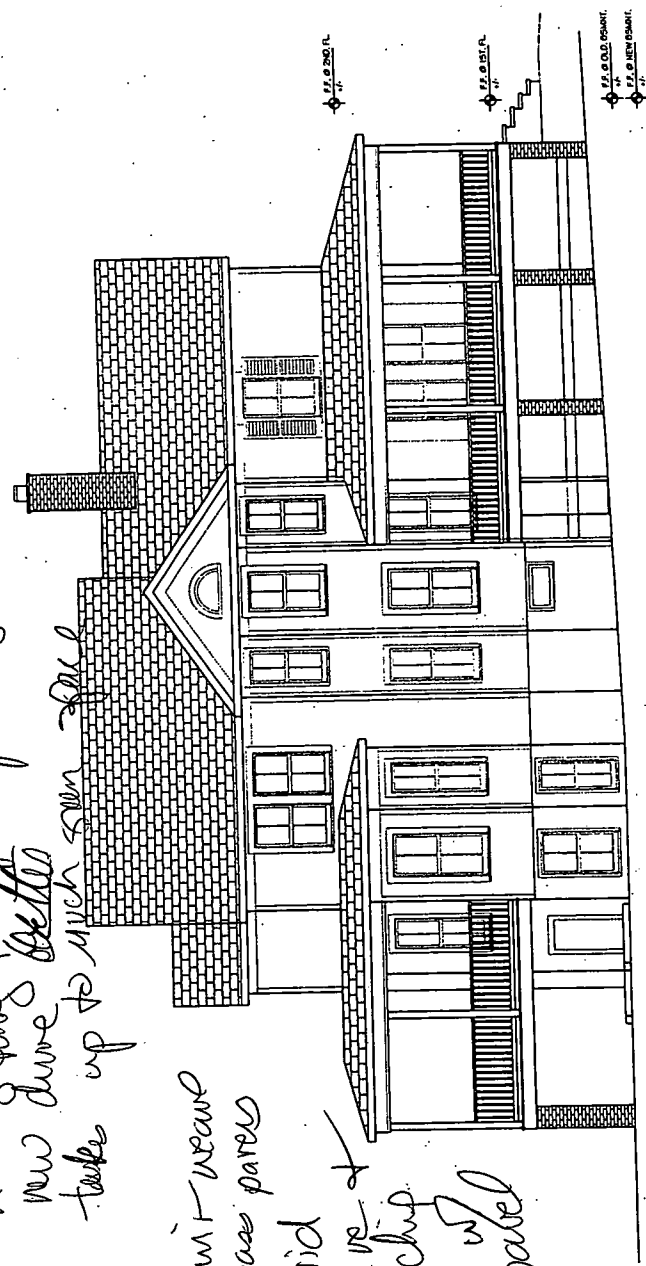
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EX.3

Steve - concern w/ impervious surface  
% before & after  
Combo of addition & drive may be too much

Noray - removing part pad from front yard  
new drive settles  
takes up to much sun fall

Alderson - semi-weave  
grass pavers  
hybrid  
open weave &  
tan + chip  
grass cutte w/  
brown gravel



1  
EX.3  
EXISTING SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

Julie - gravel strips  
Lynne - shed driveway is better  
Carolyn - no color differentiation recommended





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377 RIVER ROAD SUITE 410  
DETHMERSDA, MD 21118  
Voice: 301-432-0422  
Fax: 301-432-0424

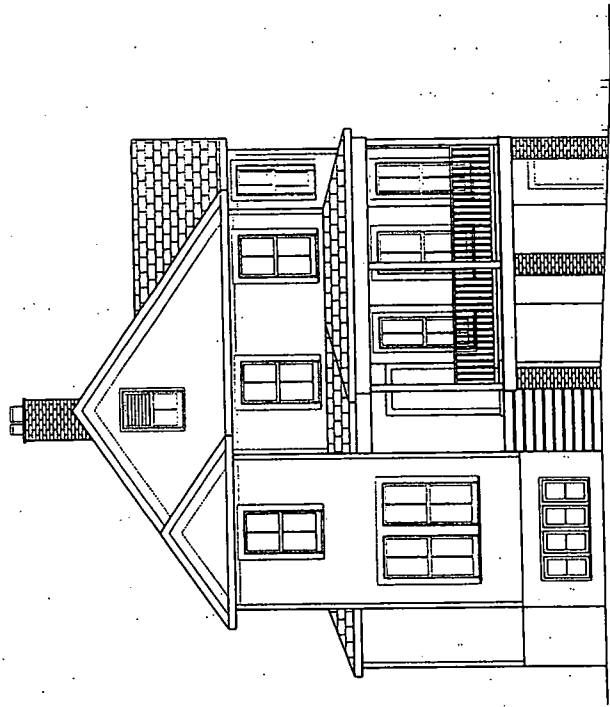
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**PROJECT**  
TOWNSHIP TELLAMAN  
ADDITION  
5005 WINDING PLACE  
CHERRY HILLS, MARYLAND  
TOWN OF SOMERSET

**ISSUED**  
APPLICATION FOR  
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WORK PERMIT

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NOT FOR CONSTRUCTION  
SHEET

**EX.4**



1/2" O.D.S.E.P.  
1/2"

1/2" O.D.S.E.P.  
1/2"

1/2" O.D.S.E.P.  
1/2"  
1/2" O.D.S.E.P.  
1/2"

1  
EX.4  
EXISTING WEST ELEVATION  
SCALE: 1/8" = 1'-0"

119





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3375 RIVER ROAD SUITE 800  
BETHESDA, MD 20814  
PHONE 301-433-4222  
FAX 301-437-4094

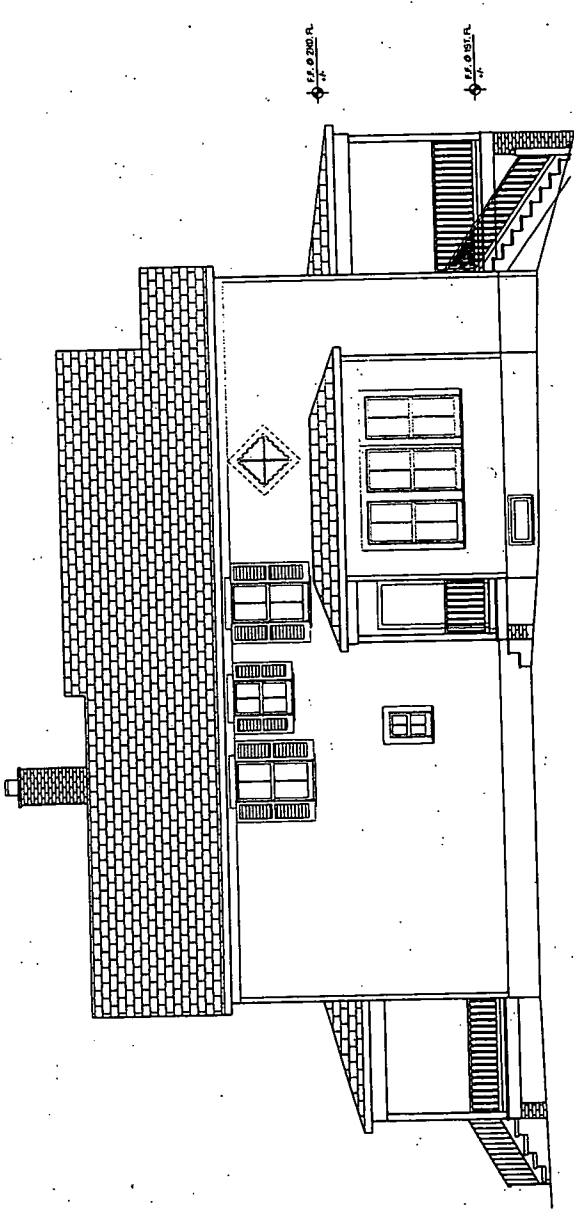
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PROJECT  
THOMPSON TELEVISION  
STATION  
5000 WYANICK PLACE  
CREEK CHASE, MD 20805  
TOWN OF SOMERSET

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APPLICATOR FOR  
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EX.5



1  
EXISTING NORTH ELEVATION  
SCALE: 1/8" = 1'-0"





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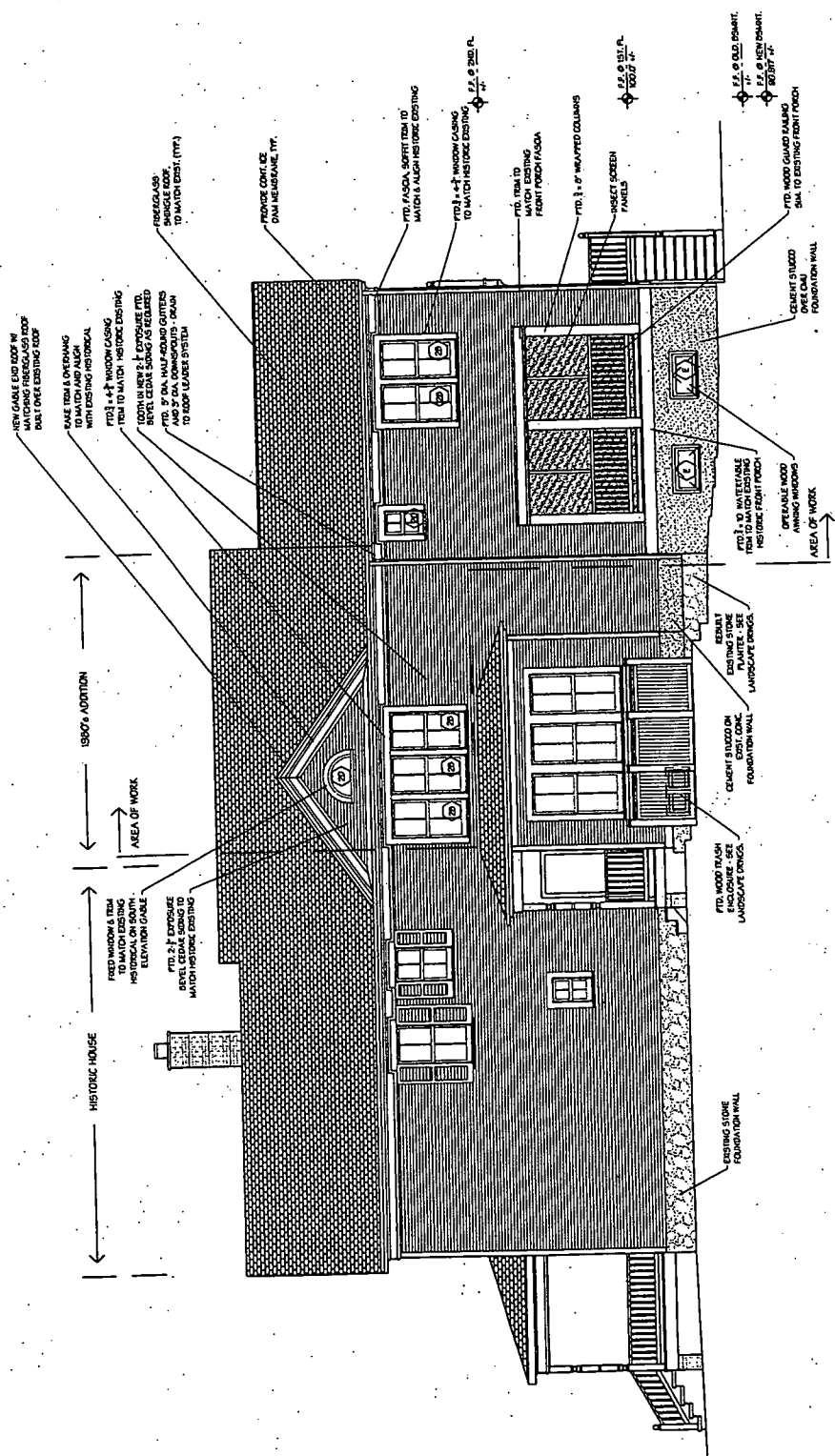
872 BYTER ROAD SUITE 810  
BETHESDA, MD 20814  
301.424.4000  
www.wiedemannarchitects.com

**PROJECT**  
THOMSON TILMAN  
ADDITION  
5808 WARWICK PLACE  
CROFT CHASE, MD 20818  
TOWN OF SOMERSET

**SCALE**  
APPROXIMATION FOR  
HISTORIC AREA  
WORK PERMIT

PRELIMINARY  
NOT FOR CONSTRUCTION  
SHEET

A2.3



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



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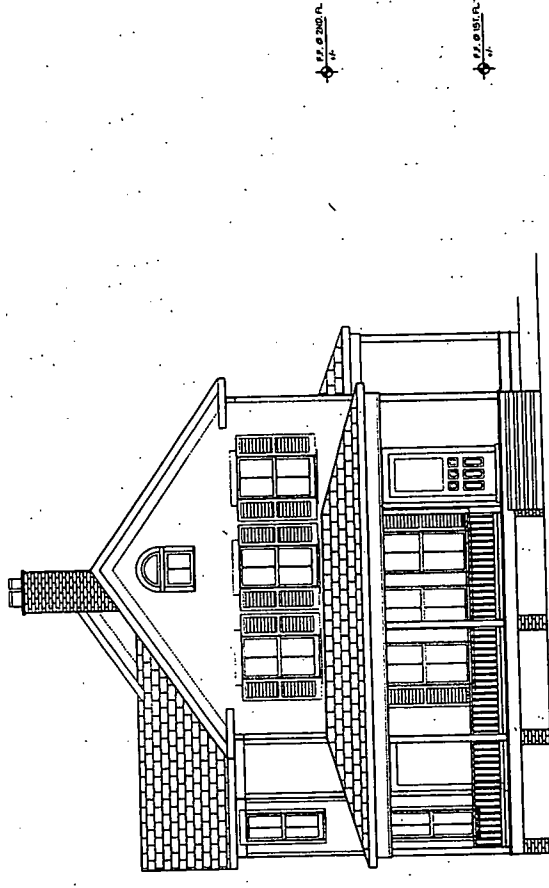
PROJECT  
THOMSON TOWN  
5000 WARWICK PLACE  
CREYCHASE, MD 20815  
TOWN OF BOWNESET

DESIGNED

APPROVED BY THE  
HISTORIC AREA  
WORK PERMIT

PRELIMINARY  
NOT FOR CONSTRUCTION  
SHEET

EX.6



F.F. @ 2ND FL.  
H

F.F. @ 1ST FL.  
H

F.F. @ OLD PORCH.  
H  
F.F. @ NEW PORCH.  
H

1  
EX.6  
EXISTING EAST ELEVATION  
SCALE: 1/8" = 1'-0"



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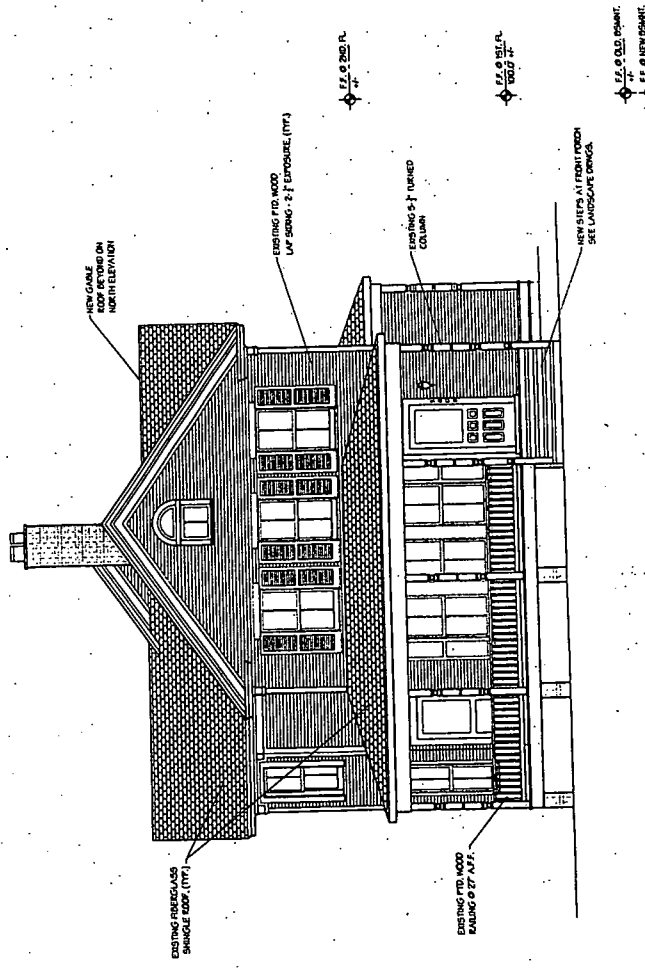
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PROJECT:  
THOMSON TELLMAN  
ARCHITECTS  
3000 WARRICK PLACE  
OVERTON, MD 20845  
TOWN OF SOMERSET

ISSUED:  
APPLICATION FOR  
HISTORIC AREA  
WORK PERMIT

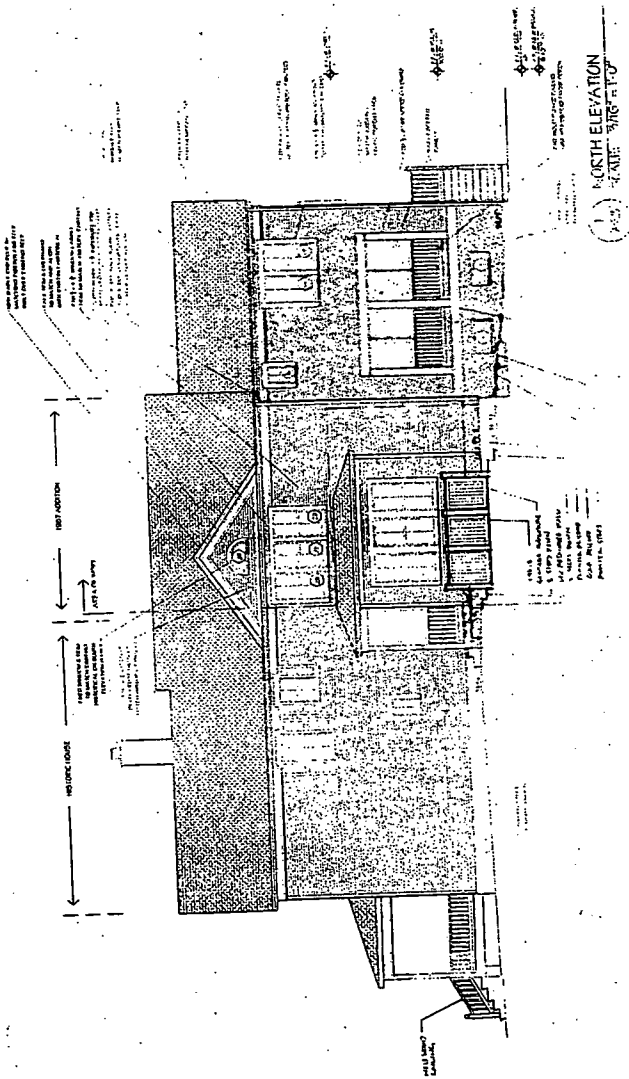
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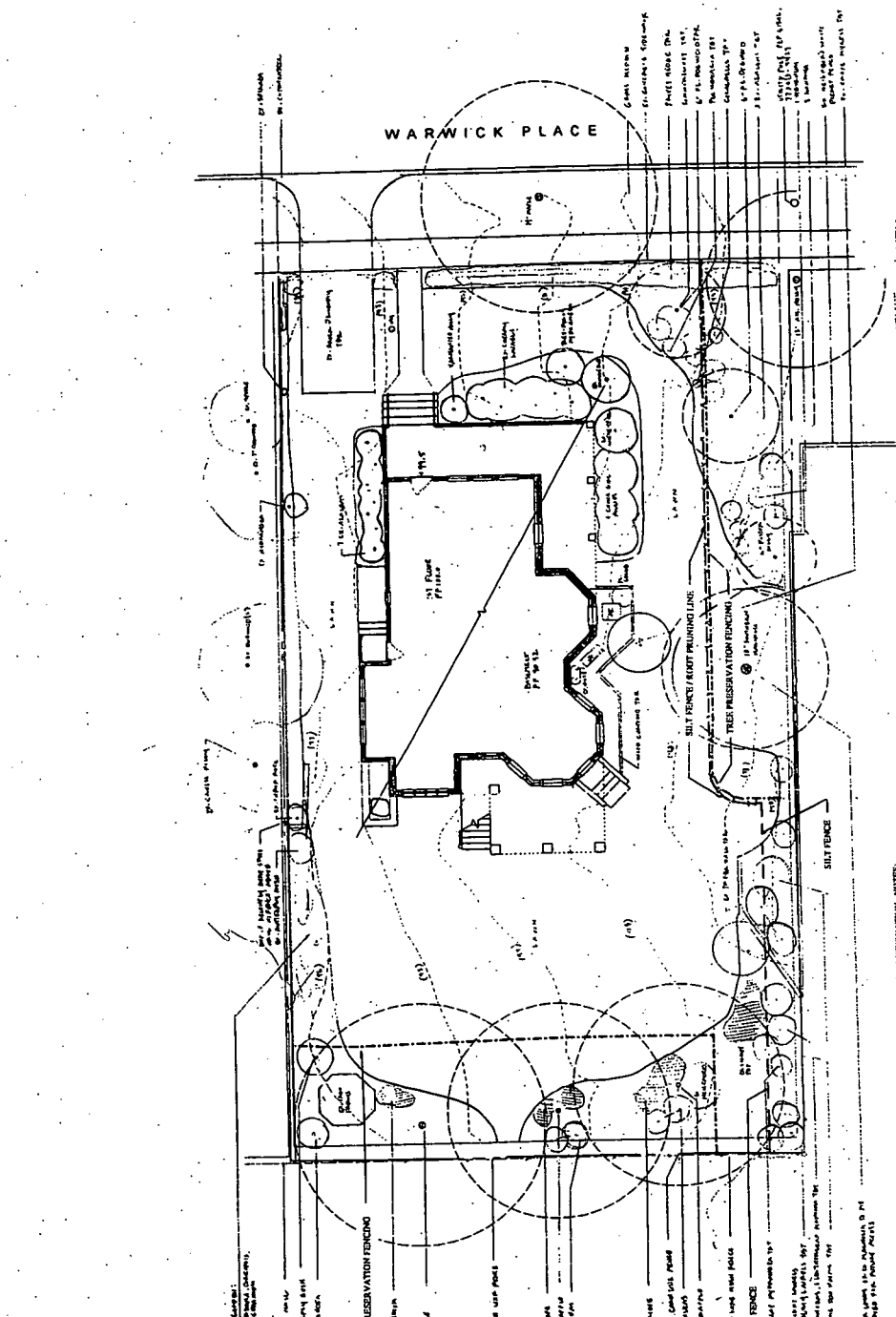
A.2.4



1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

24



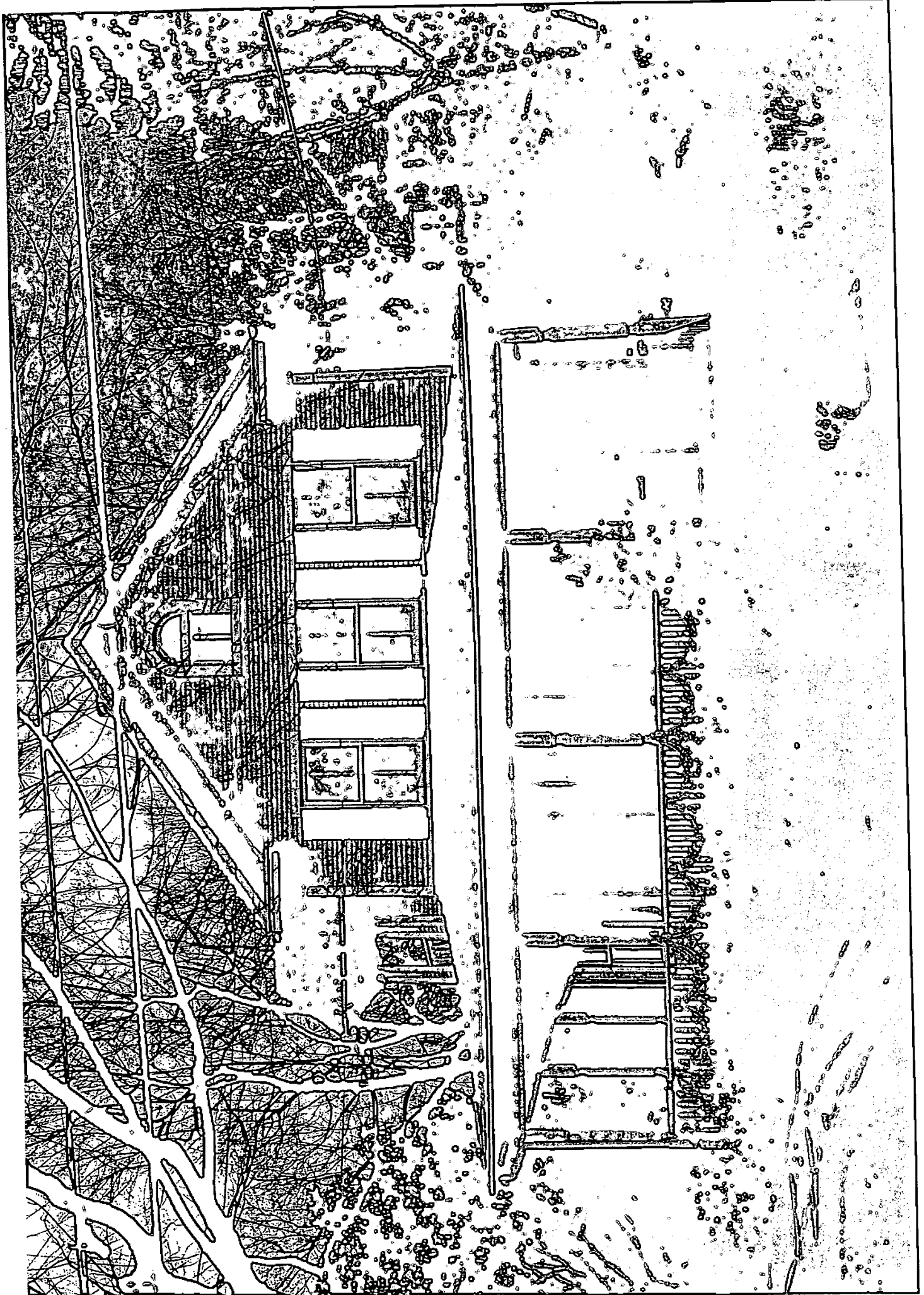


- KEY:**
- DRAINAGE CONTOUR
  - EXISTING SPOT ELEVATION
  - EXISTING TREE
  - TO BE REMOVED
  - TO BE TRANSPLANTED
  - PROPOSED SPOT ELEVATION
  - PROPOSED CONTOUR
  - SILT FENCE AND TREE PRESERVATION FENCE
  - GALT FENCE

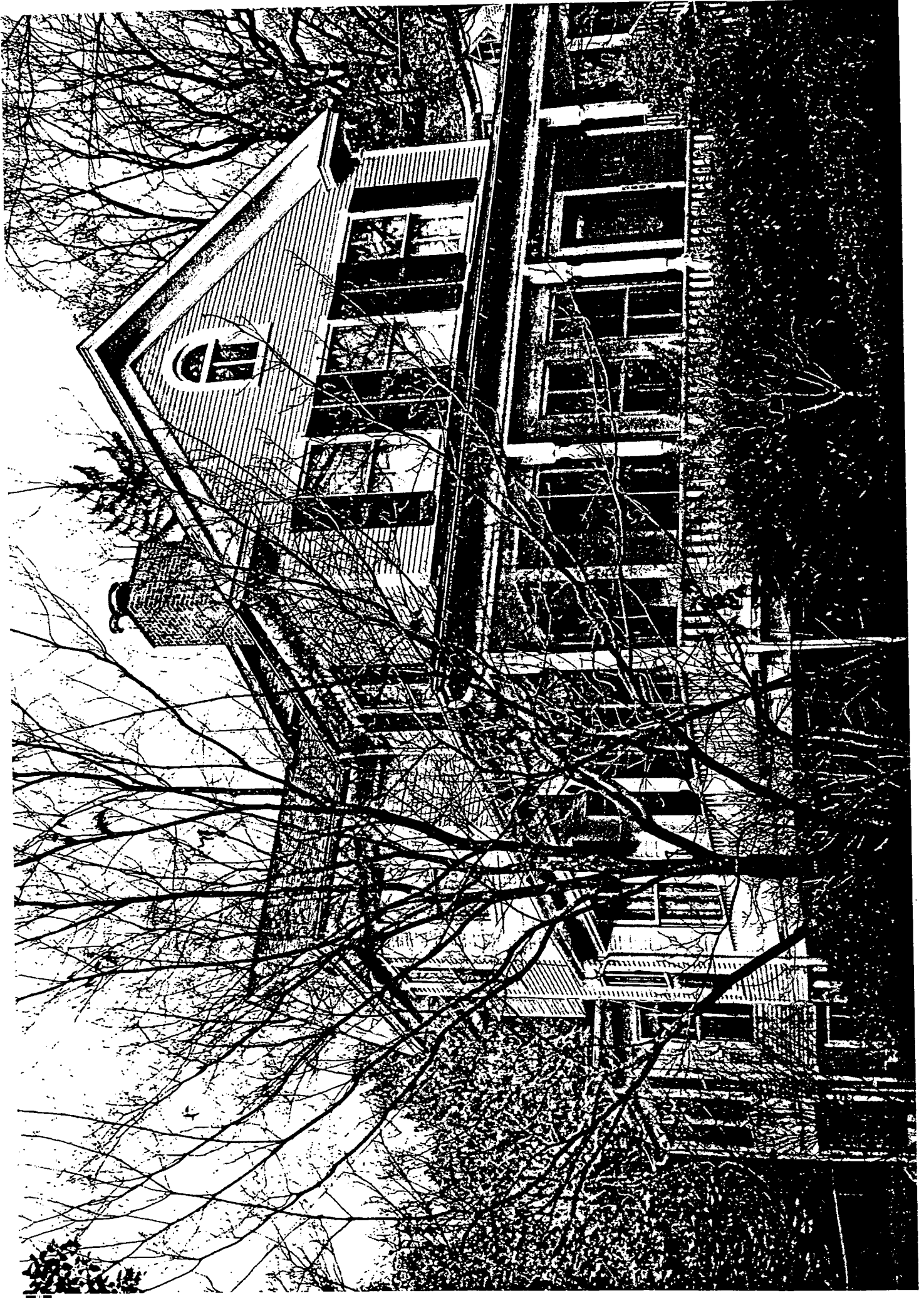
5. Treatments to be applied by Equal Application at 350 gal. three times a.c. for 17' deep over each treatment area.
6. Project Advisor to check site conditions periodically during construction. Follow-up with twice annual inspections by Advisor for three years after construction is complete, once each year thereafter.
7. For questions, contact Project Advisor, Tom Zastrow, Barklett Tree Experts, (811) 343-2362.

- TREE PRESERVATION NOTES:**
1. Tree Preservation Fencing to be 1 1/2" gauge 2" x 4" of high visibility orange plastic with 1/2" high flags, placed 3' off tree.
  2. Section of fence line near from the sidewalk to the north side of the work area to be removed and replaced with a section with address corner (SAC) to prevent settlement from being worked into the critical root zones of the margins and flowering dogwood.
  3. Prior to start of construction, trees which will have roots from excavating competition nearby grade changes should be treated with appropriate fertilization prior to start of construction and in fall of 2020 or early spring of 2021.
  4. Trees designated trees which will require fertilization: (S) 200 gal. per 100 sq. ft. of canopy area; (M) 100 gal. per 100 sq. ft. of canopy area; (L) 50 gal. per 100 sq. ft. of canopy area. Application rate to be 40-50 gallons per 1,000 square feet of treatment area. Post construction treatments are to exceed those listed in notes or 20% in all directions of the surface extent of treated species, with 100% of ground.

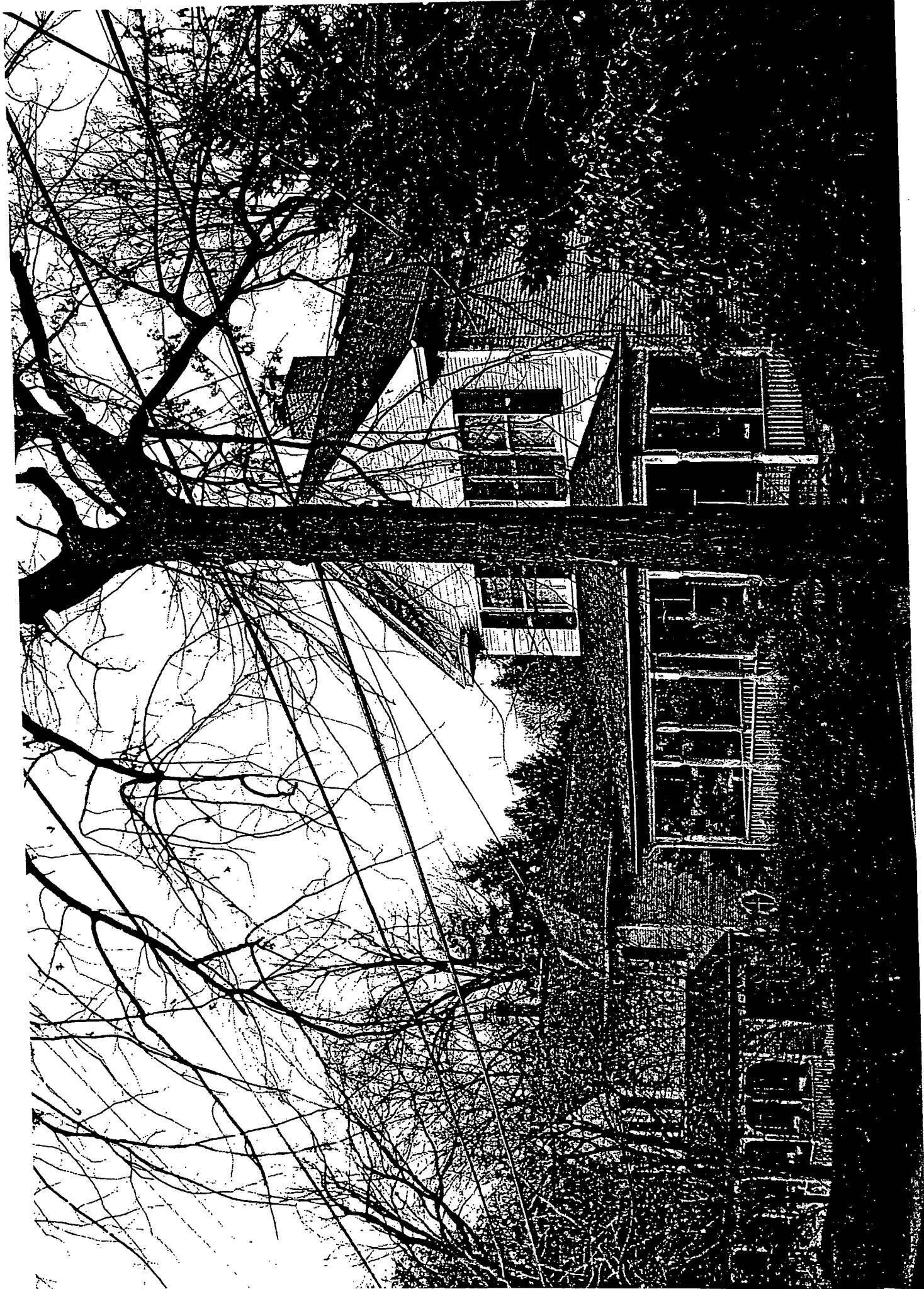
Scale: 1/8" = 1'-0" (As shown on sheet)  
 Prepared by: LILA FENDRICK  
 Date: 10/15/2019



(27) VIEW OF EAST / STREET FACADE FROM WARWICK PLACES

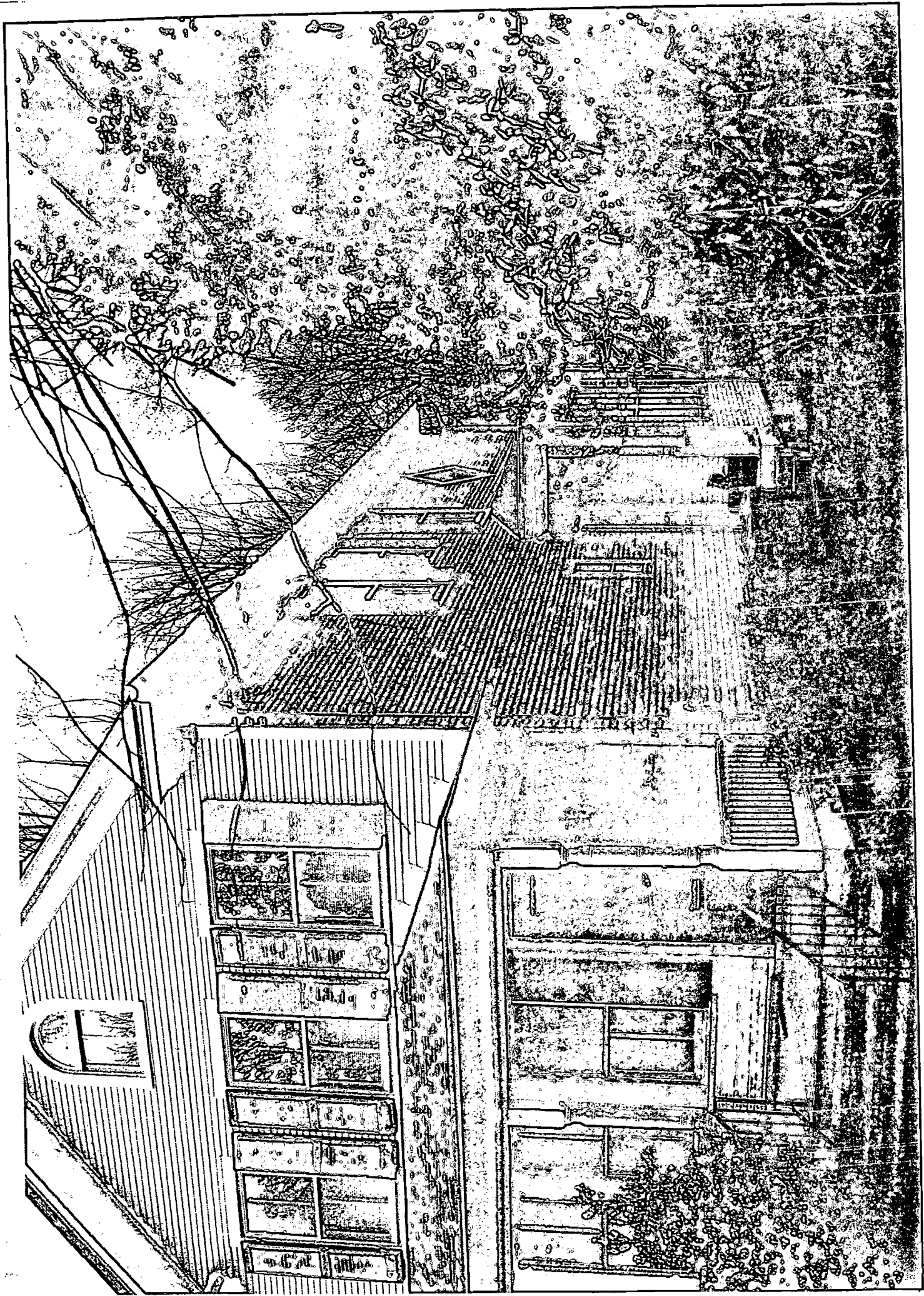


(22) VIEW OF NORTHWEST CORNER FROM WARWICK PLACE

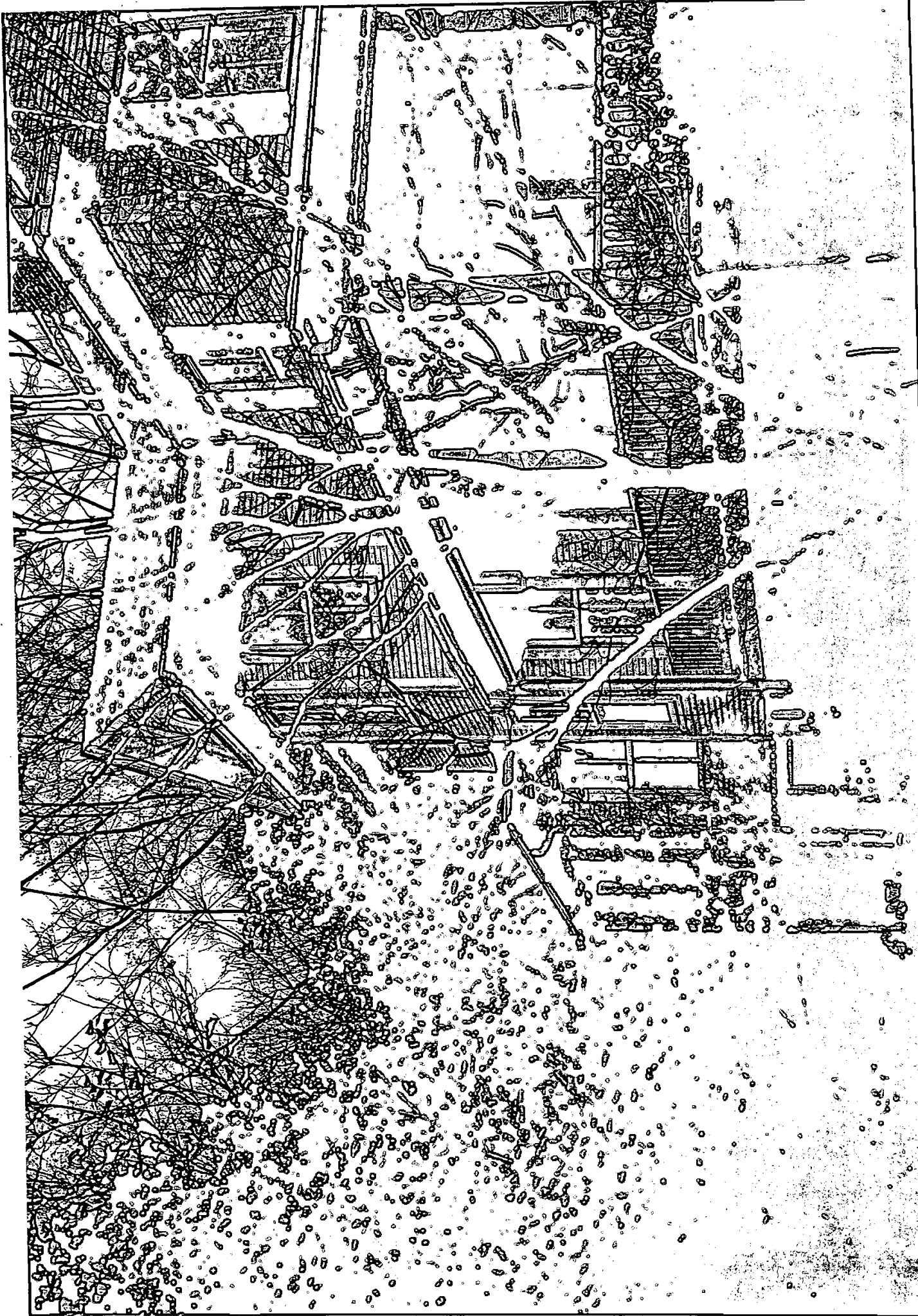


(2) VIEW OF NORTH EAST CORNER FROM WARWICK PLACE





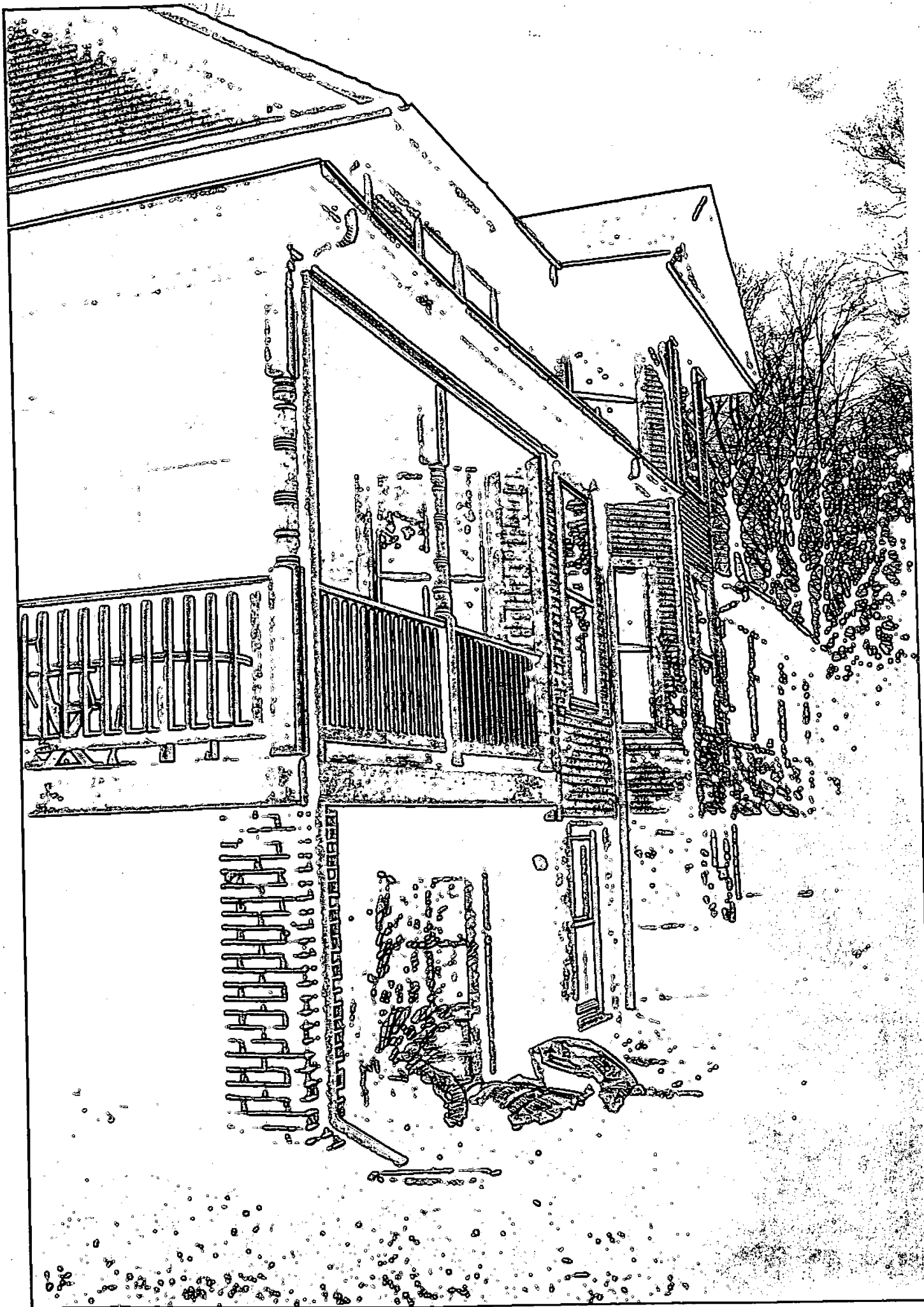
OBLIQUE VIEW OF NORTH FACADE



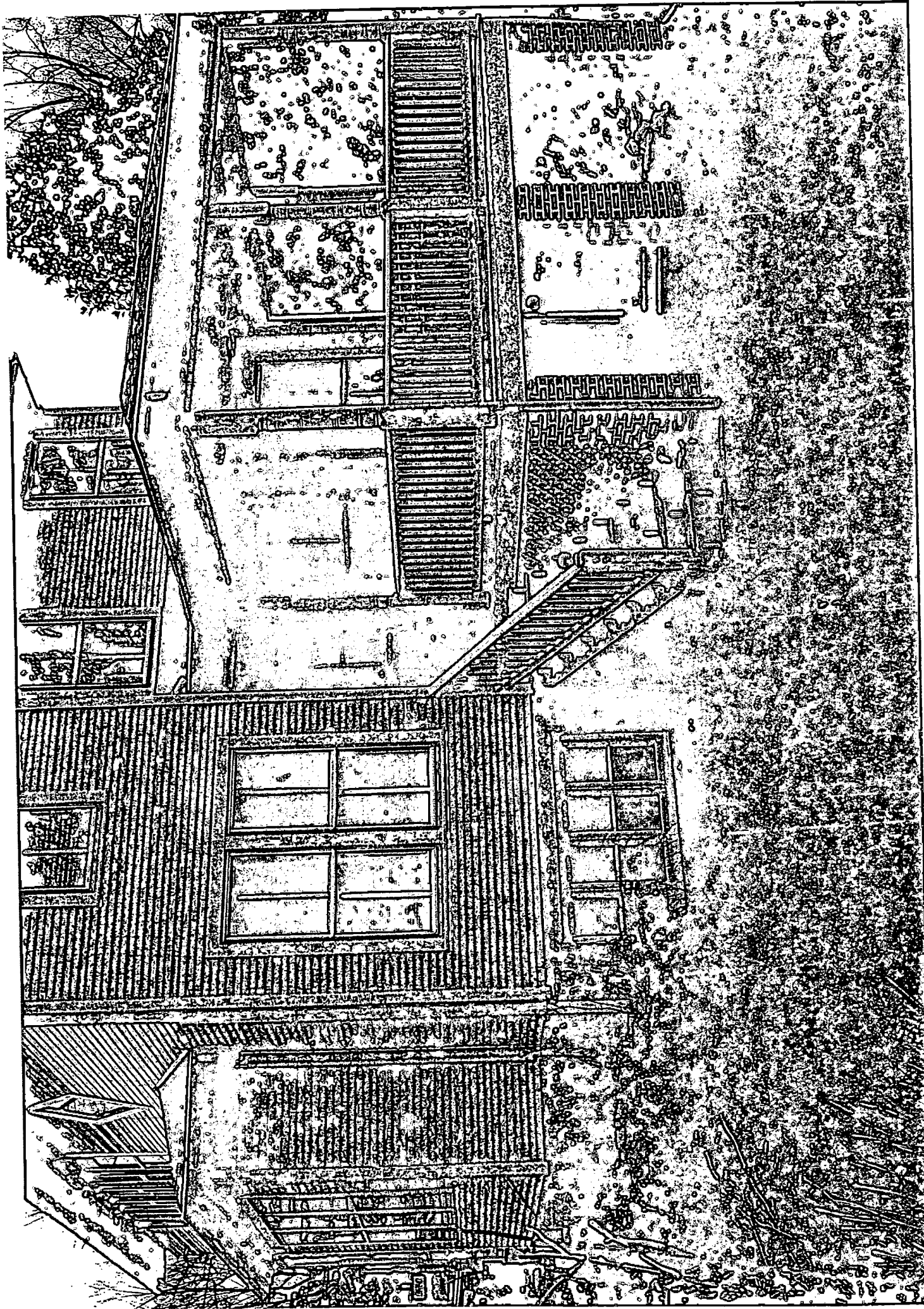
(3) OBLIQUE VIEW OF SOUTH FACADE



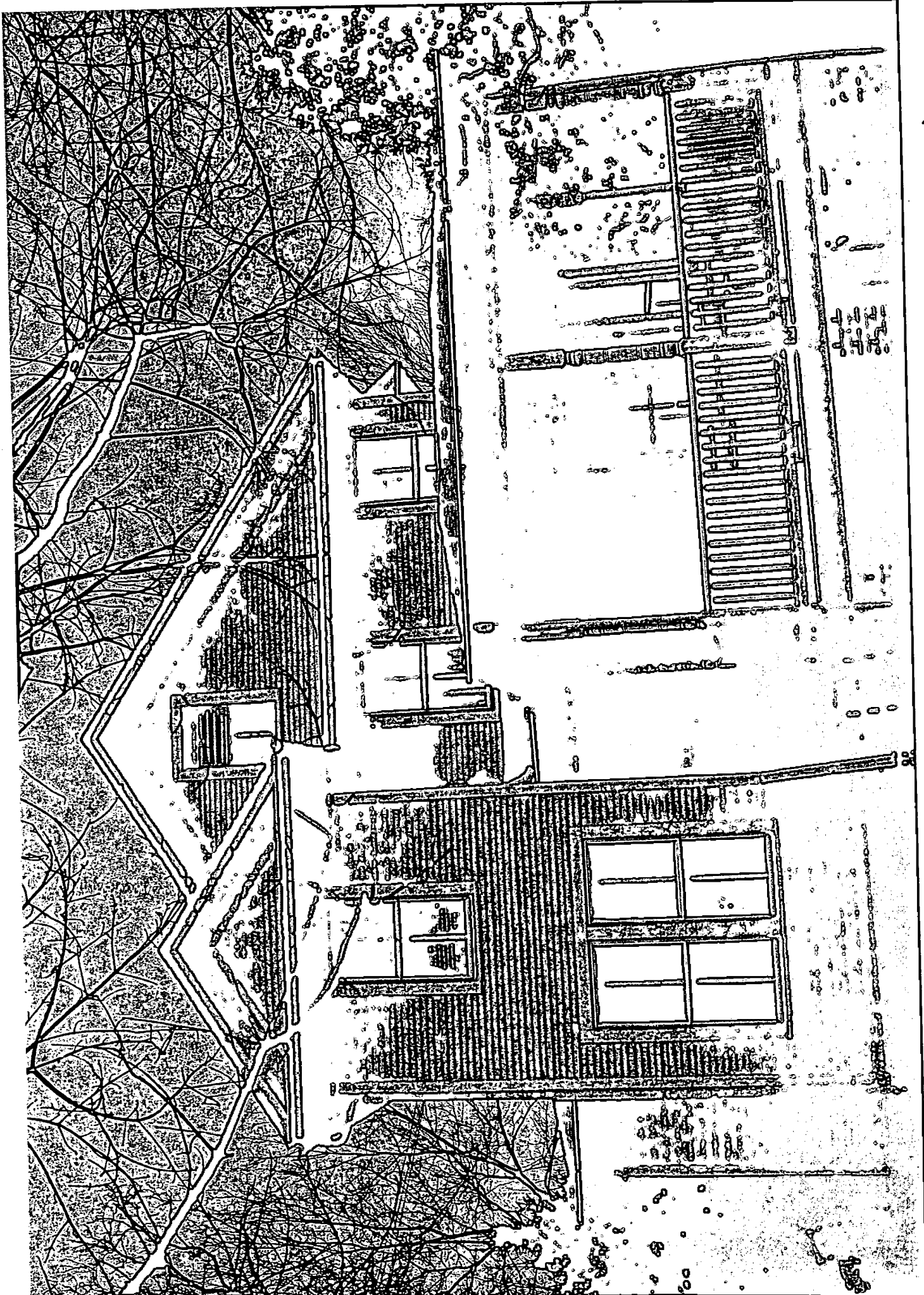
(32) OBLIQUE VIEW OF SOUTHWEST CORNER (1980'S ADDITION + 1990'S PORCH)



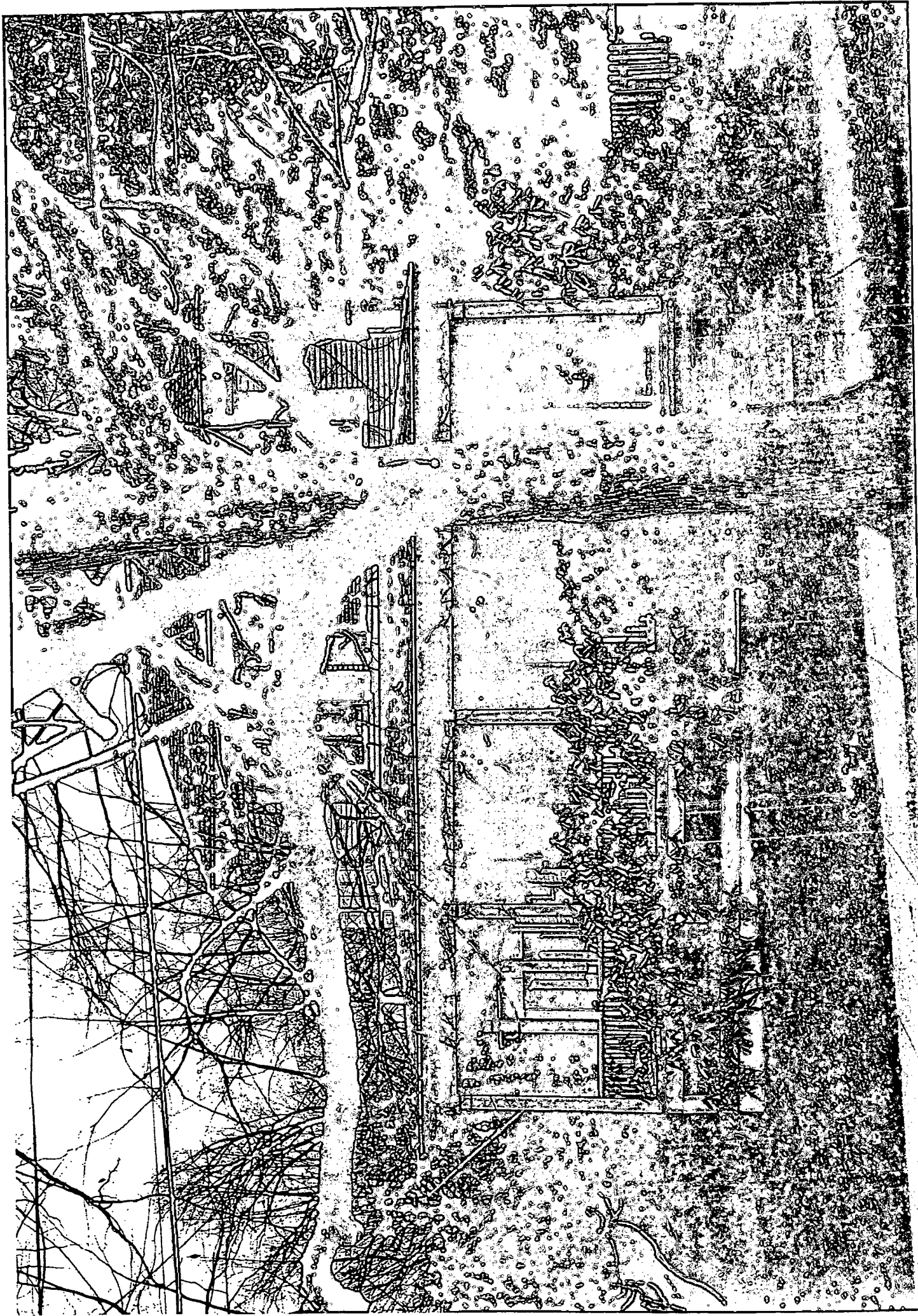
REAR PORCH DETAIL (1990'S PORCH)



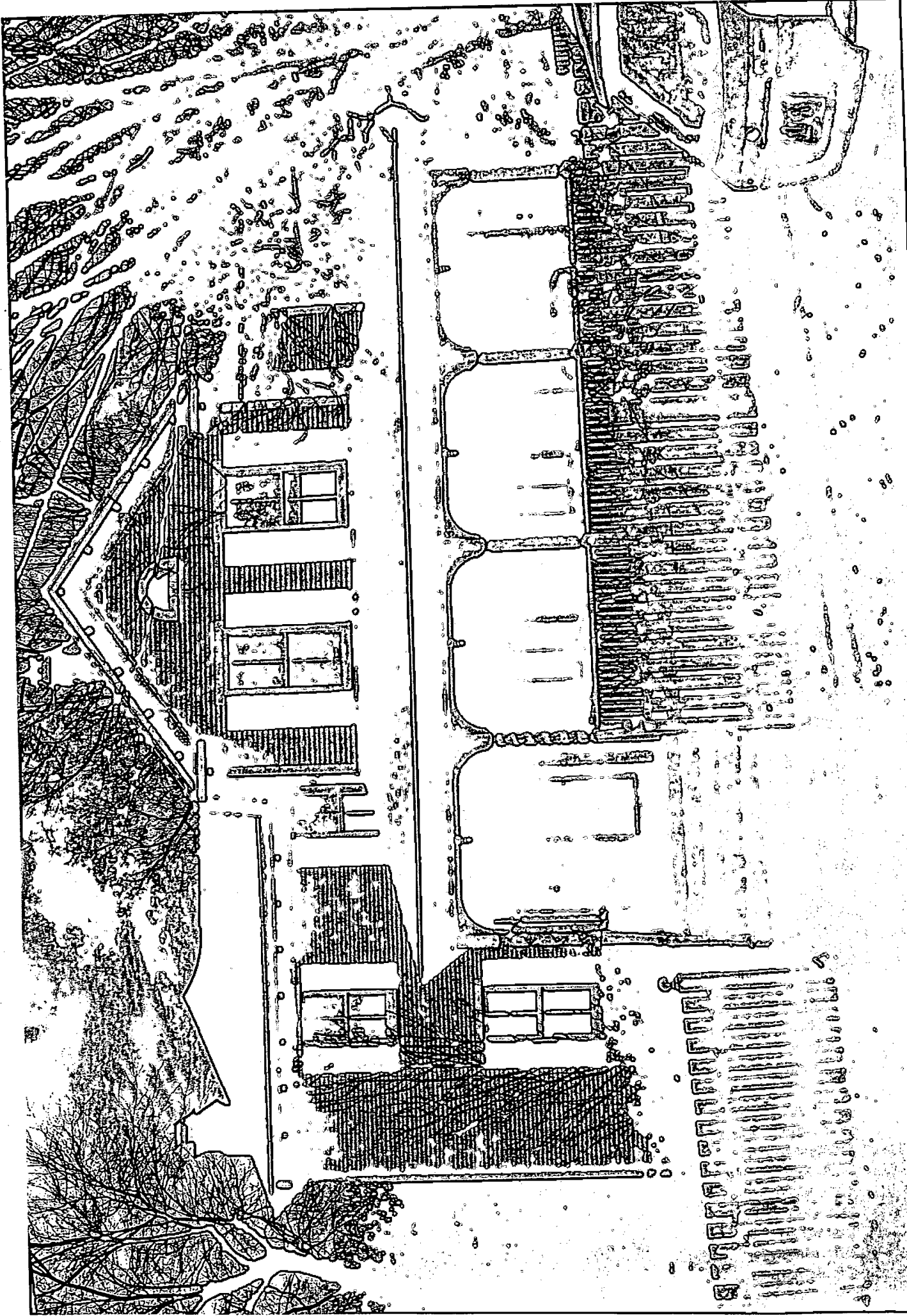
30 PERSPECTIVE VIEW OF NORTHWEST CORNER (1980'S STAR @ NORTH SIDE & 1990'S PORCH)



VIEW OF WEST / REAR ELEVATION (1980'S ADDITION + 1990'S PORCH)



5810 WARWICK PLACE (ADJACENT NORTH PROPERTY)



5806 WARWICK PLACE (ADJACENT SOUTH PROPERTY)





VIEW BETWEEN 5808 & 5810 WARWICK PLACE



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3771 BUCKLE ROAD SUITE 410  
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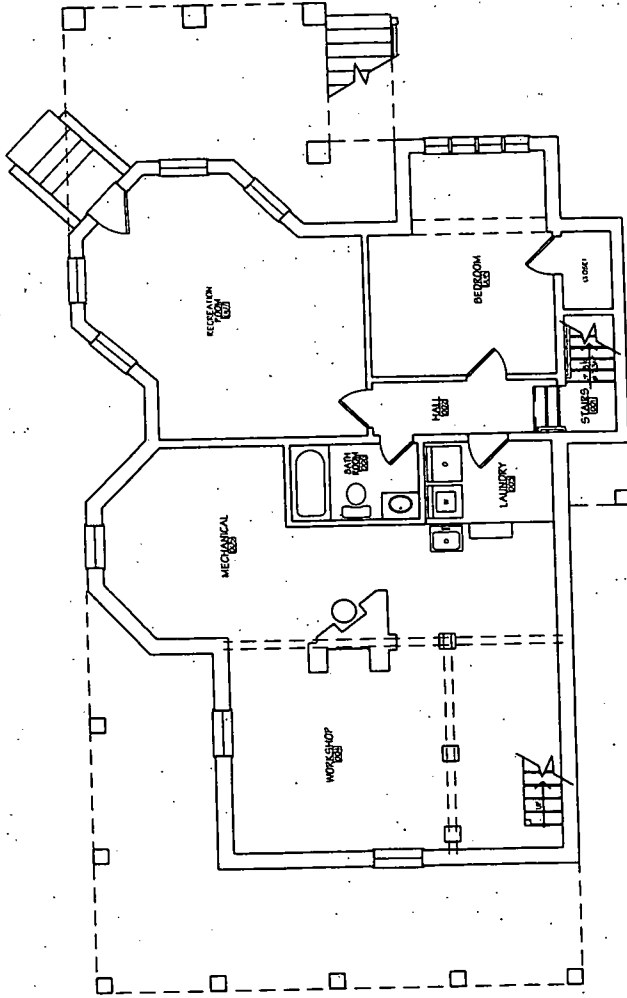
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PROJECT  
ROBINSON TALKER  
ADDITION  
5000 MARINE PLACE  
CHEVY CHASE, MD 20815  
TOWN OF BETHESDA

DESIGNED  
APPLICATION FOR  
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SHEET

EX.0



1 EXISTING BASEMENT FLOOR PLAN  
EX.0 SCALE: 1/8" = 1'-0"

(39)



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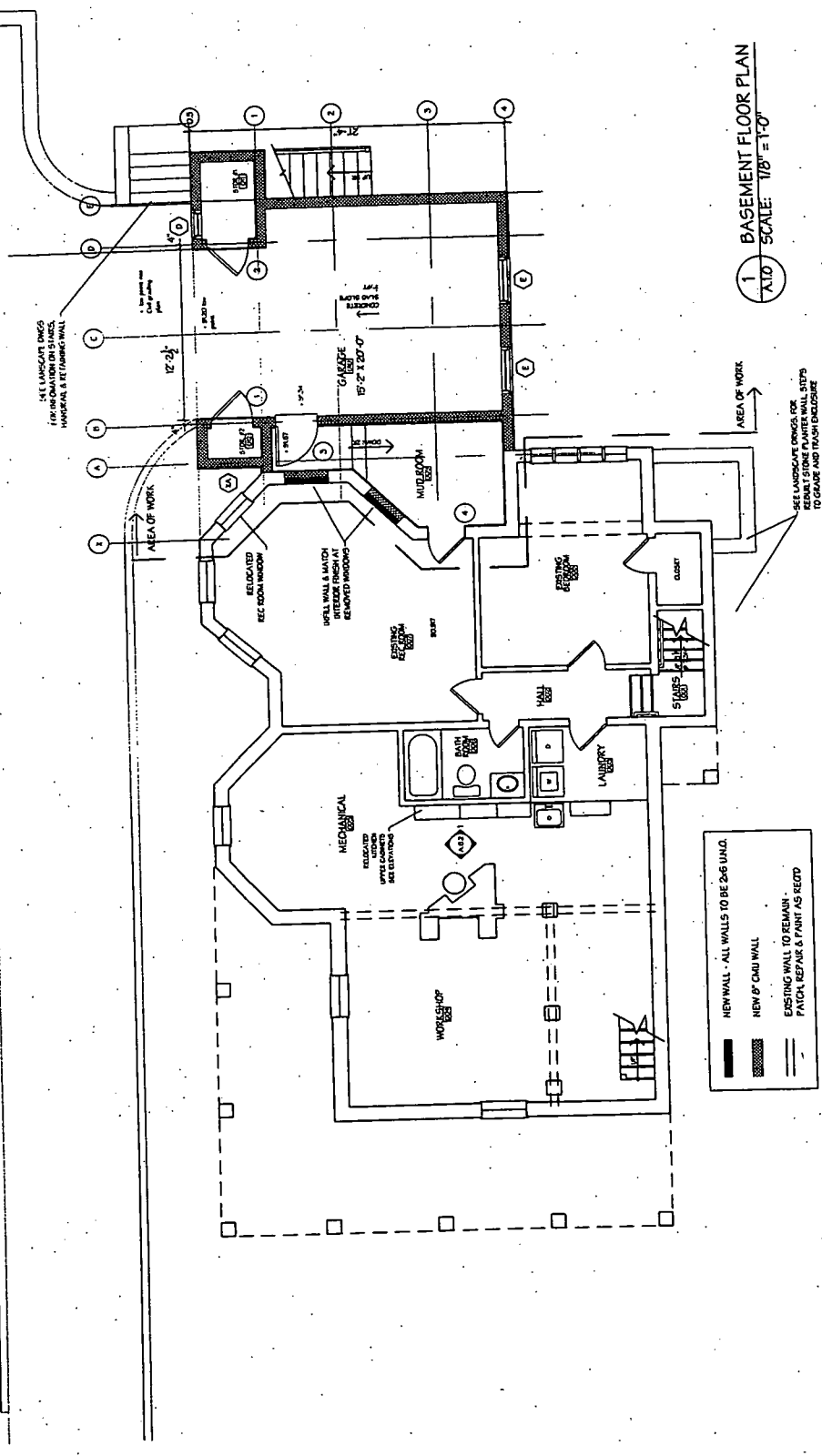
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**PROJECT**  
THOMSON TILMAN  
ADDITON  
5600 WAINWICK PLACE  
CHRYSTON, VA  
TOWN OF SOMERSET

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**A.1.0**



1 BASEMENT FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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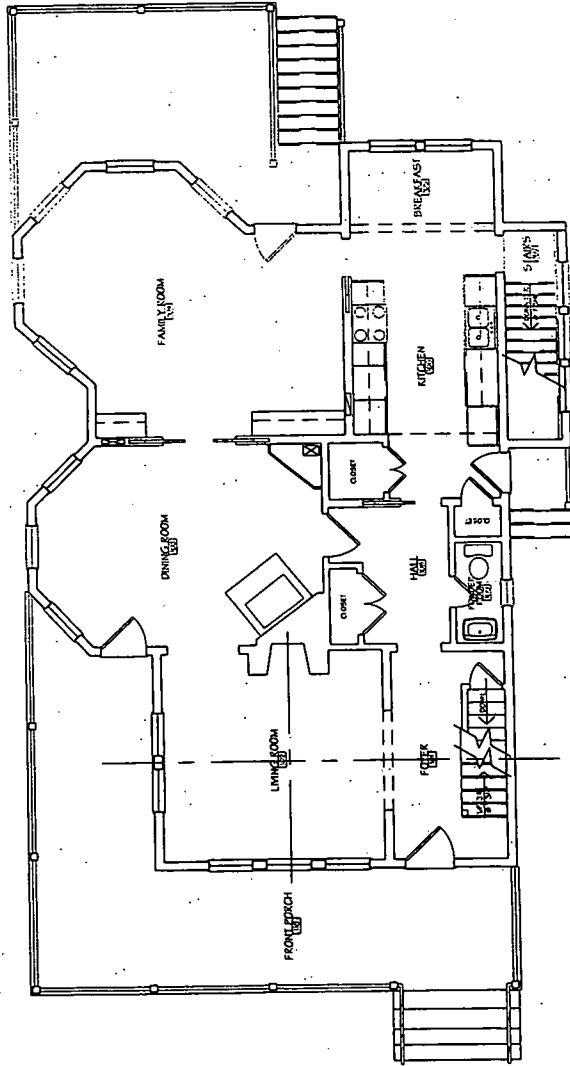
**PROJECT**

THOMPSON BILMAM  
ADDITION  
5803 WARWICK PLACE  
CHEVY CHASE, MD 20815  
TOWN OF BOWLING

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**EX.1**



EXISTING FIRST FLOOR PLAN  
EX.1 SCALE: 1/8" = 1'-0"

(41)



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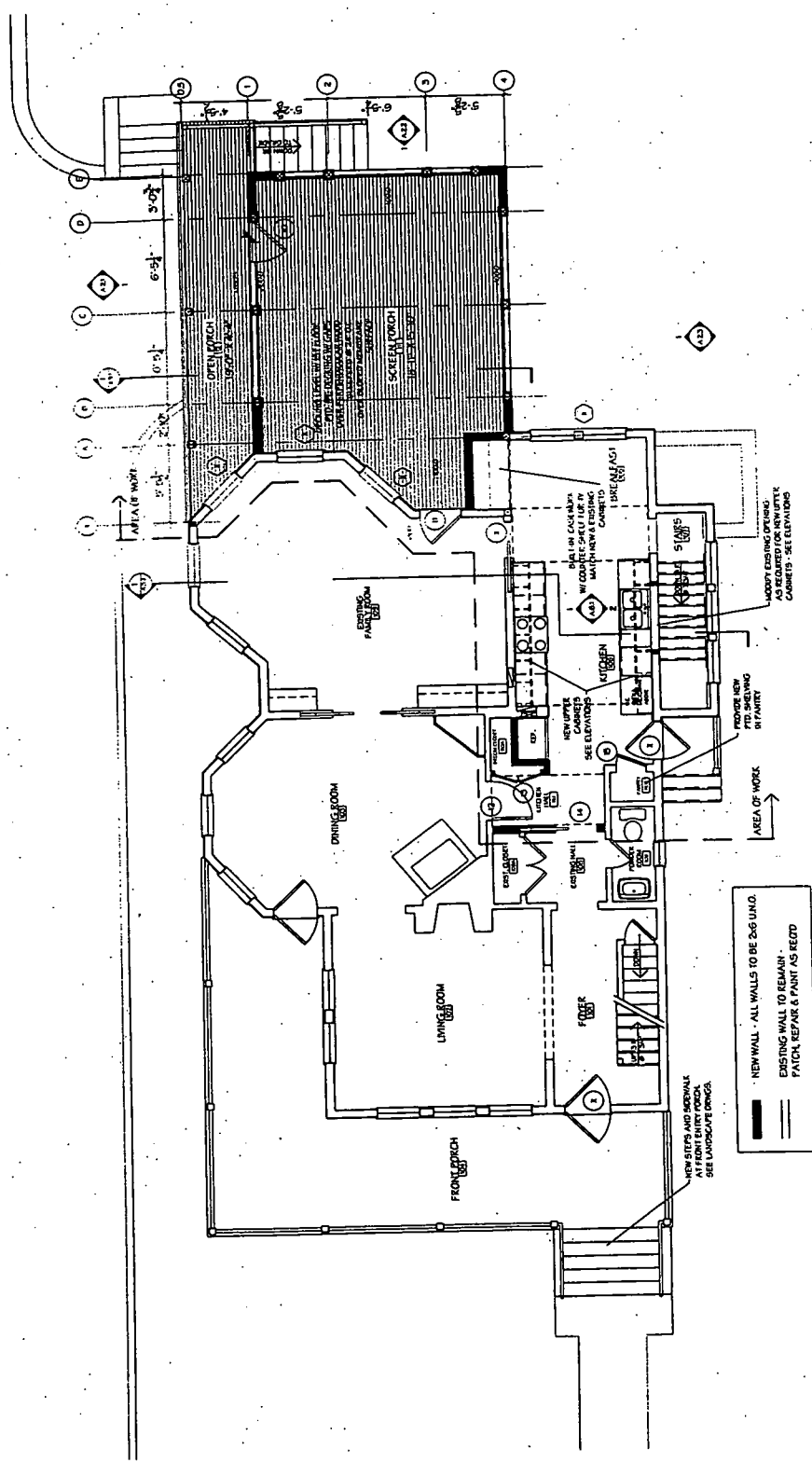
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**PROJECT:**  
THOMSONVILLE MALL  
ADDITON  
5608 WARRICK PLACE  
CHEVY CHASE, MD 20815  
TOWN OF BOWLING GREEN

**SCALE:**  
APPLICATOR'S  
TYPICAL AREA  
WORK PLAN

PRELIMINARY  
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SHEET

A.1.1



1 FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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Fax: 301.452-4004

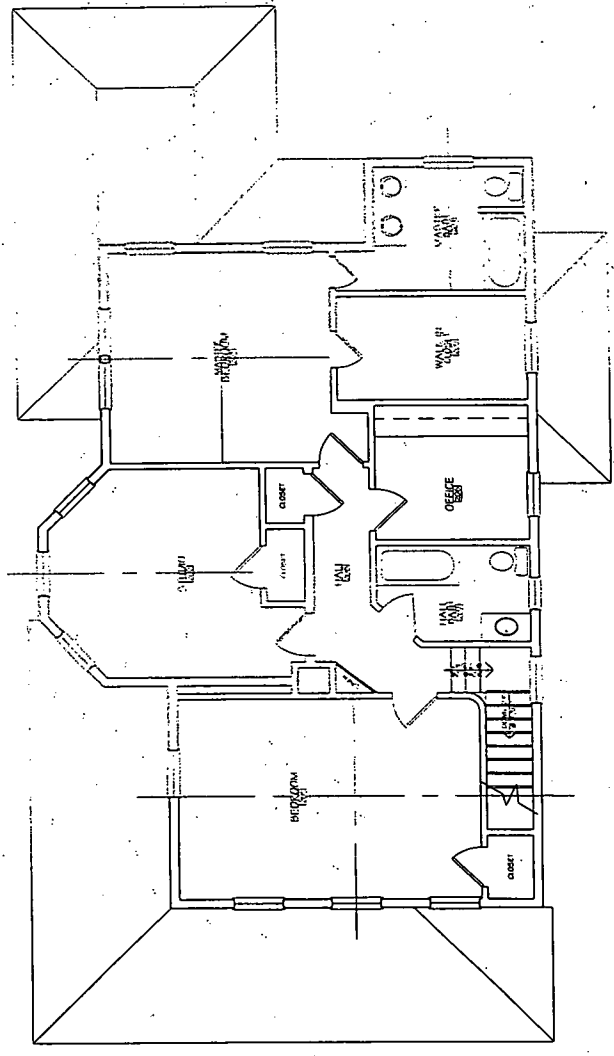
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PROJECT  
THOMSON TULLMAN  
ADDITION  
3605 WYOMING AVE. N.W.  
CROFTON, MD 21114  
TOWN OF SOLERSSET

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EX.2



1.1 EXISTING SECOND FLOOR PLAN  
EX.2 SCALE: 1/8" = 1'-0"

43



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FAX 301-431-4294

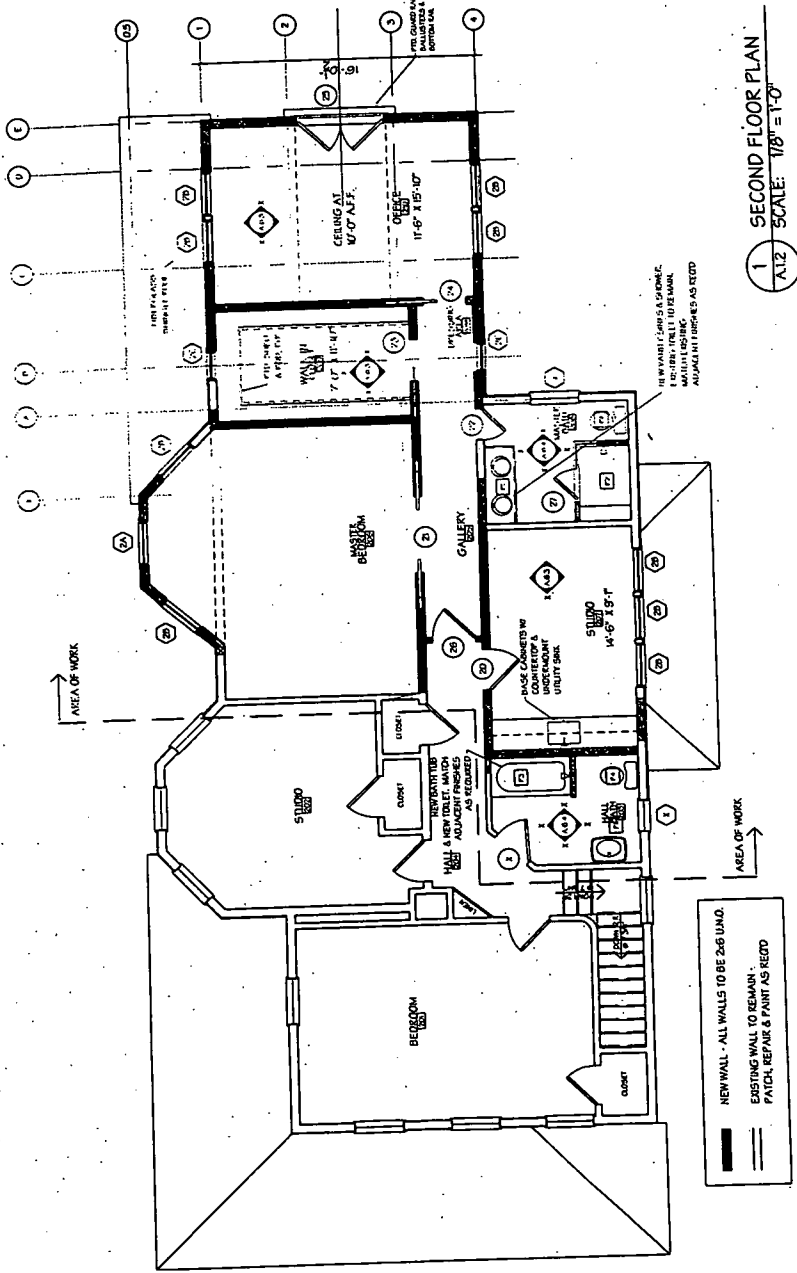
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**PROJECT:**  
THOMPSON TELLOMAN  
3400 WALKERS PLACE  
CROFT CHASE, MD 20885  
TOWN OF SONNENSET

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A.1.2





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PHONE 301-451-4030  
FAX 301-451-4030

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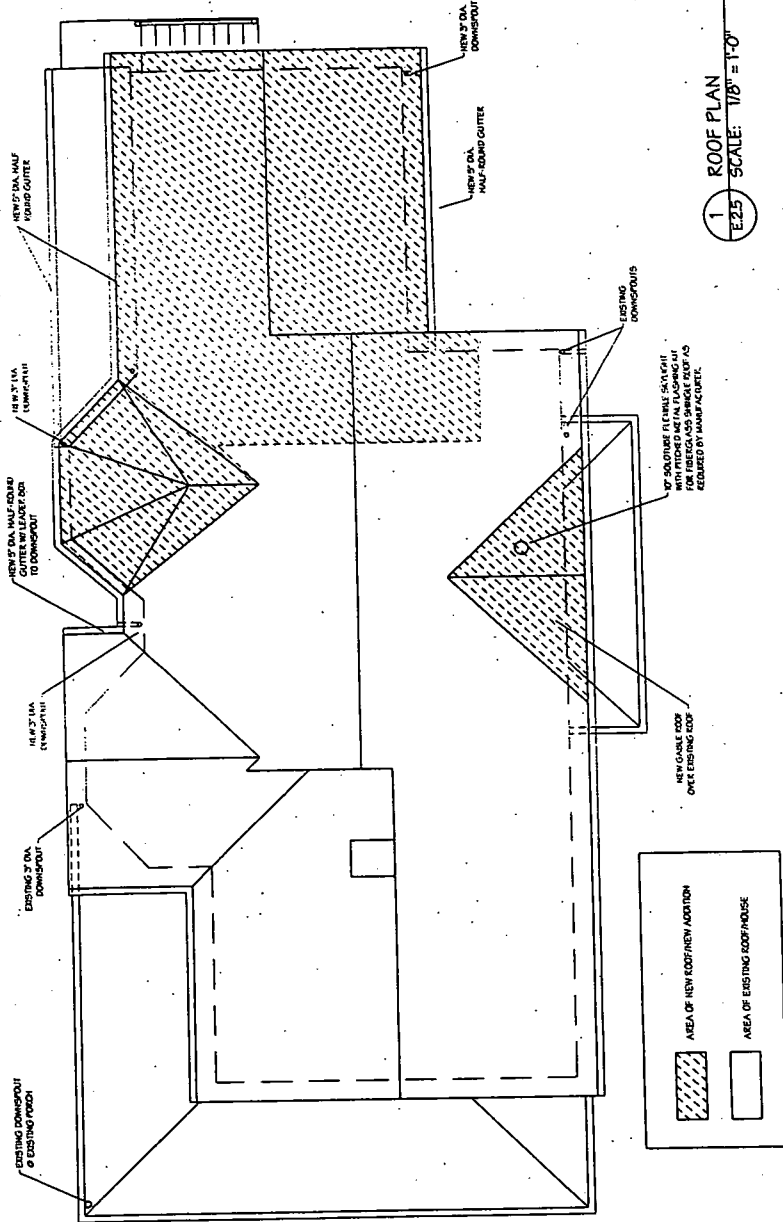
**PROJECT**  
THOMPSON  
RESIDENCE  
5609 WAINWICK PLACE  
CREVIER, MD 20895  
TOWN OF BOWLESVILLE

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HISTORIC AREA  
HIREL PERMIT

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NOT FOR CONSTRUCTION

SHEET

A.1.3



AREA OF NEW ROOF/NEW ADDITION  
AREA OF EXISTING ROOF/HOUSE

BY SOLIDURE FIBERGLASS SKIMMERS  
AND STRIPPERS FOR ROOF CLEANING  
AND FOR THE GLASS SHIMMERS AND  
STRIPPERS REQUIRED BY MANUFACTURER.

1 ROOF PLAN  
SCALE: 1/8" = 1'-0"

(45)



**Owner's Mailing Address:**

Bonnie Thomson & Eugene Tillman  
5808 Warwick Place  
Chevy Chase, MD 20815

**Owner's Agent Mailing Address:**

Wiedemann Architects LLC  
5272 River Road Suite 610  
Bethesda, MD 20816

**Adjacent and Confronting Properties List of Owners:**

David Stern and Tracy Hughes  
5806 Warwick Place  
Chevy Chase, MD 20815

Arne and Ruth Sorenson  
5810 Warwick Place  
Chevy Chase, MD 20815

Ted and Tracy Truman  
5803 Warwick Place  
Chevy Chase, MD 20815

Alexandria DuBois  
4712 Cumberland Ave.  
Chevy Chase, MD 20815

## Tar and Chip Driveways - An Awesome Alternative [Excerpts]

By Tim Carter

© Tim Carter 1993-2005

Tar and chip pavement surfaces are nothing new. In fact, they have been around for well over 100 years. The blacktop you see installed today is a hybrid of traditional tar and chip. Many years ago hot liquid tar or asphalt cement would be sprayed on a gravel surface. Within minutes, small, clean and dry stone chips would be broadcast into the liquid tar. As the tar cooled, it grabbed onto each of the stone chips. The resulting surface was nearly identical to blacktop that you see on many roadways around the nation. In fact, virtually every asphalt roadway or highway built in America prior to 1930 was done in this way. Many secondary county roadways are still paved with tar and chip. It is a time-tested paving method that is affordable and long-lasting.

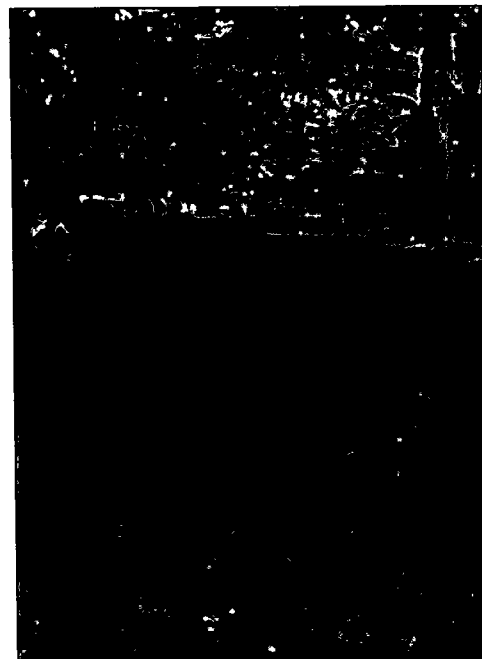
The completed surface differs as well. The tar and chip surface is almost always rougher. This makes for excellent traction. Not only that, the surface is not black. The color of your driveway is the color of the gravel you choose. If you wish to have a unique country look, you can cover the driveway with a thin (1/2 inch) layer of the colored gravel. This works great on level drives. I don't recommend loose stones on sloped driveways.

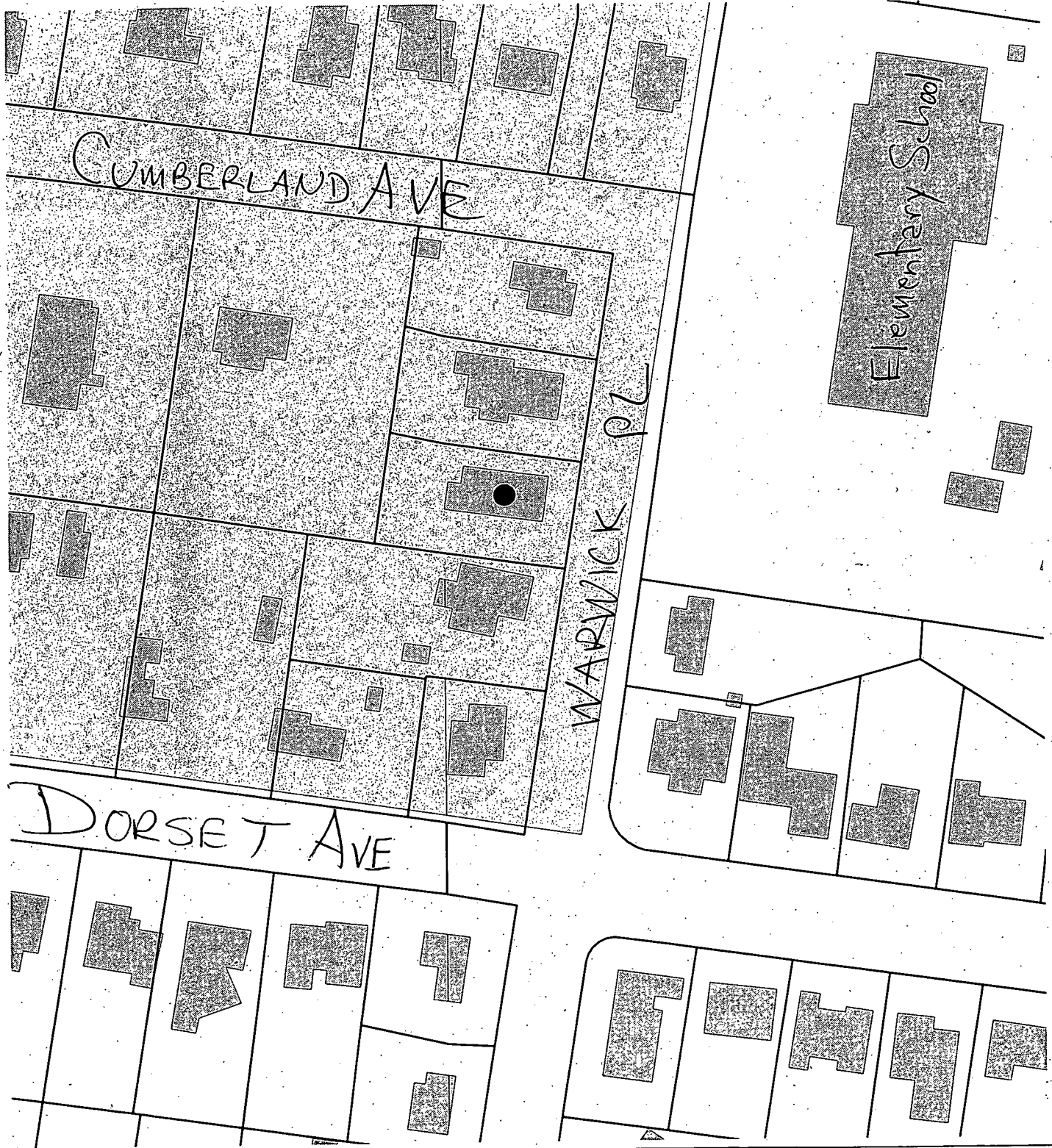
- It is durable
- It provides excellent traction
- **It is virtually maintenance free**
- It can be very affordable
- It is drop-dead gorgeous

These driveways have a unique feature. They can heal themselves if a small crack develops. In hot weather the asphalt cement can flow into the crack. The loose stones work in conjunction to disguise this imperfection. As long as the right asphalt cement and the correct chip size is selected, the asphalt does not get on your shoes.



*The granite cobblestone edging adds a distinctive look and keeps the chips out of the grass.*





Casual User Application

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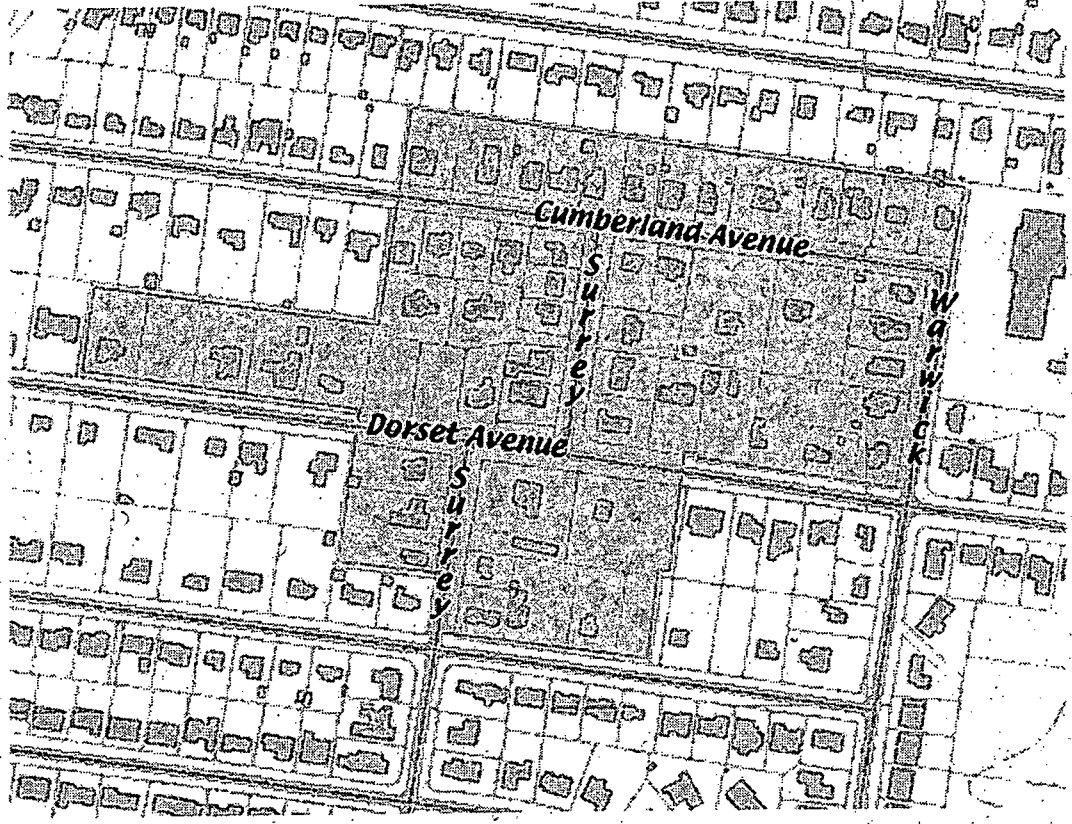


Scale: 1" = 100'

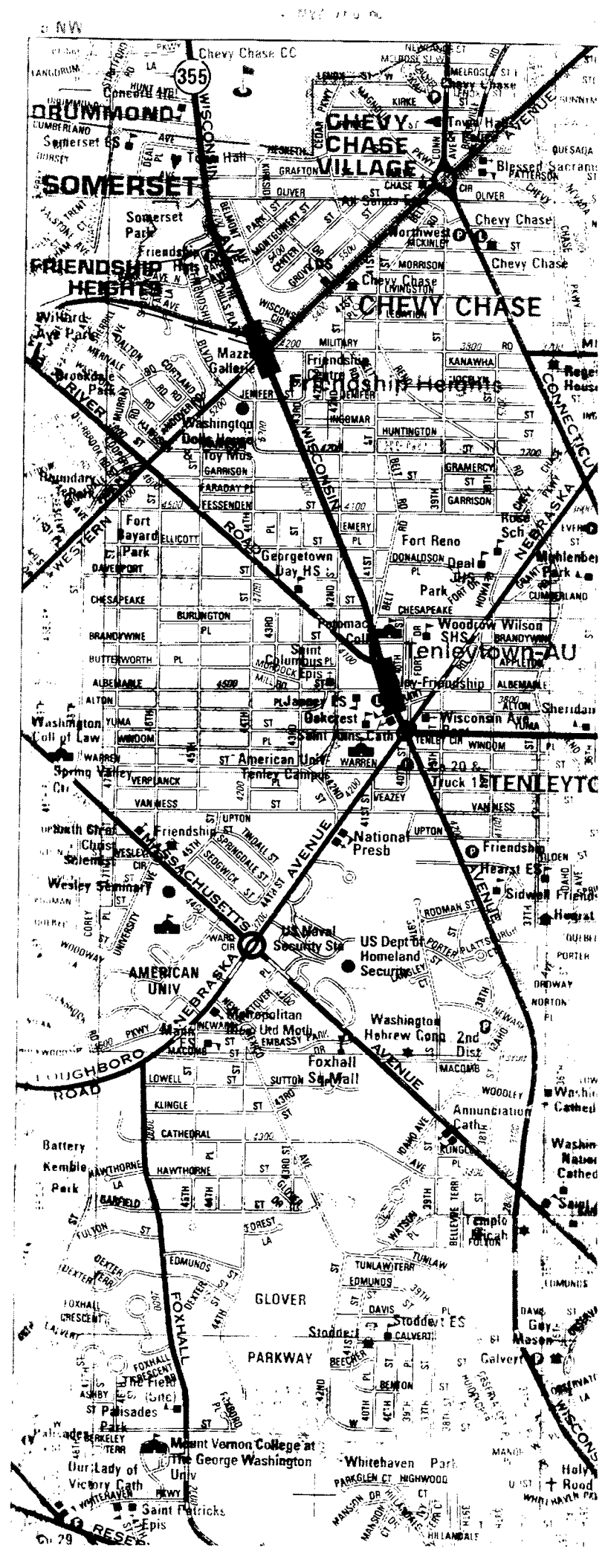
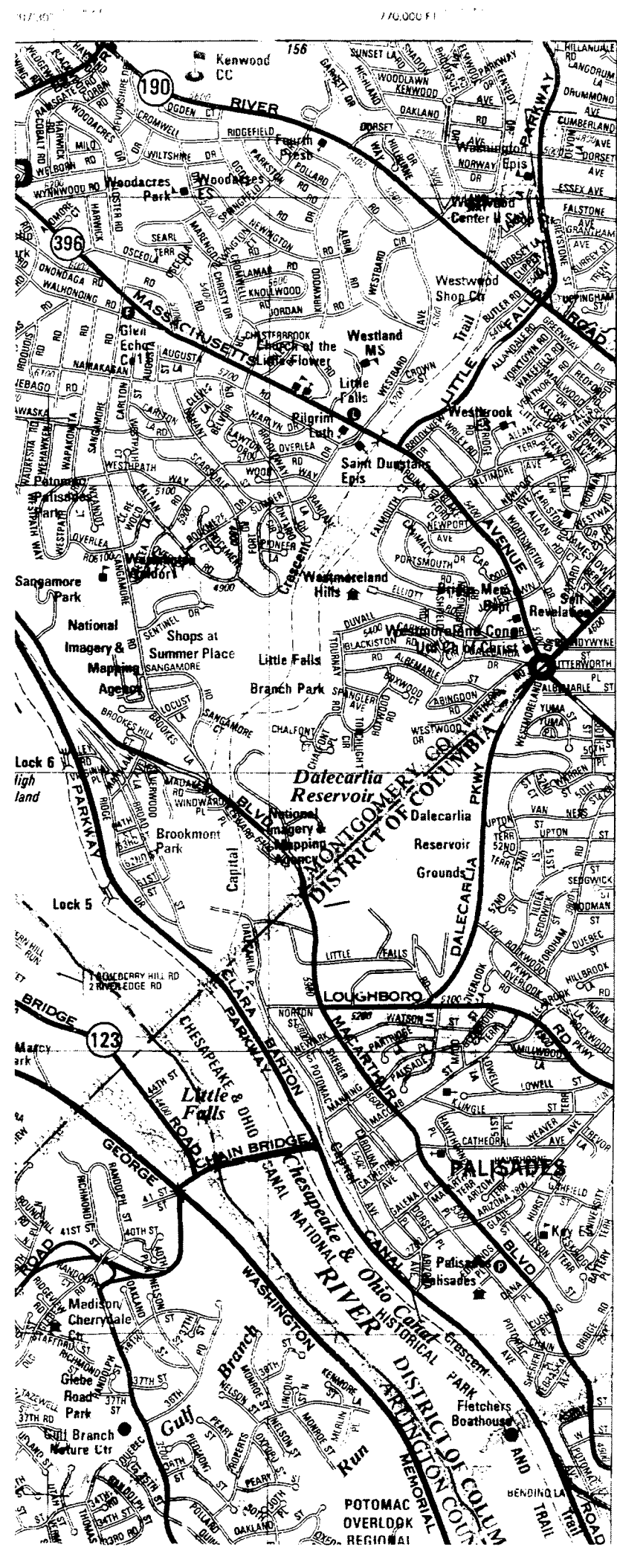
M-NCPPC  
 MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING  
 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
 8787 Georgia Avenue - Silver Spring, Maryland 20910-3760

48





Inside of lower site valence





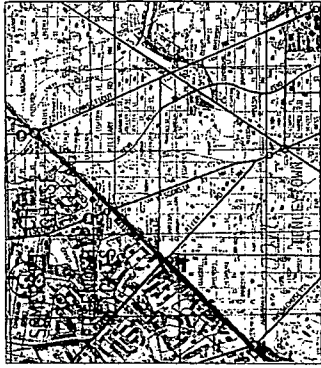
**WIEDENMANN  
ARCHITECTS LLC**  
5772 RIVER ROAD SUITE 810  
BETHESDA, MD 20816  
Voice: 301-452-4022  
Fax: 301-452-4094  
www.wiedemannarchitects.com

**PROJECT**  
THOMSON TULLMAN  
ADDITION  
5808 WARWICK PLACE  
CHEY CHASE, MD 20815  
TOWN OF SOMERSET

**ISSUED**  
FOR IFC STAFF REVIEW  
JANUARY 14, 2005  
APPLICATION FOR  
HISTORIC AREA WORK  
PERMIT  
JANUARY 19, 2005

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**C.0.1**



**1 LOCATION MAP**  
C.O.1 SCALE: N.T.S.

**ZONING SUMMARY**

5808 WARWICK PLACE  
CHEY CHASE, MARYLAND 20815

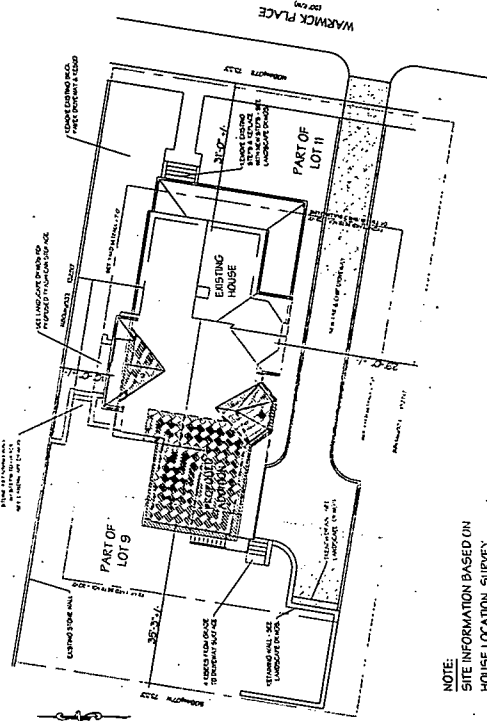
ZONE: R-60  
LOT AREA: 9,716 SQ.FT.  
LOT'S DESCRIPTION: LOT 9 & LOT 11  
MAX. LOT COVERAGE: 35% (3,400 SQ.FT. MAX.)  
ACTUAL LOT COVERAGE: 22% - 2,159 SQ.FT. (1,667 SQ.FT. EXISTING;  
492 SQ.FT. NEW ADDITION)

**REQUIRED SETBACKS:**

FROM YARD: 25' OR ESTABLISHED BUILDING LINE  
SIDE YARD: 7'-0"  
REAR YARD: 20'

**INDEX OF DRAWINGS**

- C.0.1 COVER SHEET / PROPOSED SITE PLAN  
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- STRUCTURAL NOTES
- M.1.2 SECOND FLOOR MECHANICAL PLAN
- M.1.3 ATTIC MECHANICAL PLAN
- E.1.0 BASEMENT FLOOR ELECTRICAL PLAN
- E.1.1 FIRST FLOOR ELECTRICAL PLAN
- E.1.2 SECOND FLOOR ELECTRICAL PLAN



**NOTE:**  
SITE INFORMATION BASED ON  
HOUSE LOCATION SURVEY  
DATED 3-10-93 PREPARED BY  
METROPOLITAN SURVEYS, INC.

**2 PROPOSED SITE PLAN**  
C.O.1 SCALE: 1/16" = 1'-0"

## WIEDEMANN ARCHITECTS LLC

Gregory Wiedemann, AIA

19 January 2005

### HISTORIC AREA WORK PERMIT APPLICATION

For additions and renovation of 5808 Warwick Place, Chevy Chase, Maryland

The following is information to supplement the Application for Historic Area Work Permit for the renovation and addition to 5808 Warwick Place. We are the architects for the Owner, Bonnie Thomson and Eugene Tillman. Combined in this application are some site improvements designed by Lila Fendrick, the project landscape architect.

#### 1. WRITTEN DESCRIPTION OF PROJECT:

##### (a) Brief History of House:

According to information furnished to us in a Town of Somerset publication, we understand that this house was built in 1901 by Edward Halliday. It was a modest L-shaped Victorian house with a two-story octagonal tower at the end of the L, an L-shaped wrap around front porch and a straight rear porch.

The house has changed ownership several times since 1901. Most recently, our clients, Bonnie Thomson and Eugene Tillman purchased the house in 1982. During the 1980's, an addition was constructed at the west side/rear of the original house, removing the original rear porch and significantly modifying the rear façade. The 1980's addition included a new family room with a small rear porch, a new powder room, and modified/expanded the kitchen on the first floor, a new master bedroom suite on the second floor, and a new recreation room on the basement level. The kitchen renovation included a new enclosed stair on the north side of the house down one level to the basement. The shape of the first floor family room is octagonal reflective of the original dining room but was limited to one story.

In the 1990's, a new larger wood rear porch was constructed which expanded on the small porch of the 1980's addition. This porch was supported by masonry piers and the roof structure was supported by turned columns similar to the original front porch, however these columns are not a direct match to the original historic front porch. The guard rail between the columns is similar in style to the historic front porch, but the height and baluster spacing is reflective of current code requirements.



The front porch, two east facing rooms (the original living room on the first floor and a bedroom on the second floor), stair hall, the second floor hall bath, and the south facing dining room and bedroom above within the original octagon tower remain from the original house. In those areas most of the original woodwork remains. The original stair remains the current stair to the second floor.

On the exterior, the original narrow 2-1/2" exposure beveled wood siding and the original wood shutters remain. The wood siding on the 1980's addition matches the type and exposure of the original as does the decorative trim at the gables, eaves, soffits and fascias. The flat exterior window and door casing on the 1980's addition is 4-1/2" wide as opposed to the 4-3/4" wide casing on the original windows and doors. The original front porch remains as well as the decorative wood moldings at the eaves. The original roof has been replaced with fiberglass shingles.

**(b) Description of proposed project:**

The proposed project represents primarily a replacement and expansion of the additions that were added in the 1980's and 1990's. The 1990's rear porch facing west into the backyard shall be razed so that a new, more sympathetic, rear addition can be built. The addition shall house a new screened porch on the first floor with an open porch on the south side of the addition, a new office/studio on the second floor, and a new open carport/ open garage at the basement level with access to the basement of the 1980's addition. Also, the octagonal footprint of the 1980's family room, which was limited to the first floor and basement only, will be extended up through the second floor thereby expanding the existing second floor master bedroom. The existing second floor office and walk-in closet on the north side of the house will be renovated into a single larger artist studio space with three windows centered over the 1980's stair addition to the basement below. A new gable roof with similar to the existing gables on the east, south and west sides shall be centered over the new second floor windows.

The proposed massing shall emulate the historic front gable, porch and octagonal, while contrasting itself from the historic fabric. The proposed addition to the house, although sympathetic in character and massing, shall be virtually unseen from the street and shall increase the net footprint, including porches, by only 492 square feet.

At the street façade it is the intention of the Owners and Architect to retain the early 20<sup>th</sup> century portion of the house in its original character and no modifications are being proposed. The house will be repainted and the decaying front porch steps will be replaced (see landscape architects' drawings). The block foundation of the 1980's family room addition and the foundation of the new addition shall have a cement stucco finish to contrast with the historic stone foundation, creating a clear demarcation between the historic fabric and the newer additions.

The existing condensing units for the air conditioning system shall remain in their south side yard location.

**2. SITE PLAN/LANDSCAPE PLAN**

- See attached Site Plan and attached landscape drawings depicting the new driveway and other site improvements.

### 3. PLANS AND ELEVATIONS

- See required two (2) copies of the required plans and elevations, depicting the existing conditions and the proposed modifications.
- List of Drawings attached:
  1. C.0.1 - Coversheet
  2. A.1.0 - Basement Floor Plan
  3. A.1.1 - First Floor Plan
  4. A.1.2 - Second Floor Plan
  5. A.2.1 - South Elevation
  6. A.2.2 - West Elevation
  7. A.2.3 - North Elevation
  8. A.2.4 - East Elevation (Warwick Place street elevation)
  9. EX.0 - Existing Basement Floor Plan
  10. EX.1 - Existing First Floor Plan
  11. EX.2 - Existing Second Floor Plan
  12. EX.3 - Existing South Elevation
  13. EX.4 - Existing West Elevation
  14. EX.5 - Existing North Elevation
  15. EX.6 - Existing East Elevation

### 4. MATERIAL SPECIFICATIONS

The following is a description of the proposed materials for the project:

#### Exterior Siding:

The historic siding on the 1901 house, a narrow bevel siding with 2-1/2" exposure, will remain and will be repainted. All siding on the 1980's addition matches the exposure of the original house - this will remain and will be repainted. All new siding, which primarily adjoins the 1980's addition, will match 1980's addition and exposure of the original house.

#### Wood Shutters:

All operable wood shutters are located on the original 1901 house. These shutters will remain and will be repainted.

#### Foundations:

The block foundation of the 1980's family room addition and the foundation of the new proposed addition shall have cement stucco to contrast with the historic stone foundation of the original house.

#### Exterior Trim:

The existing front porch shall remain, as well as all other existing historic trim on the original house. All new exterior trim shall be Western Red Cedar or Redwood, in profiles to match the existing house and as depicted on the elevations.

#### Windows:

The windows in the historic house shall remain and will be restored and all new windows shall be Marvin wood windows, both double hung and casements. The new double-hung windows shall be painted wood single pane true divided lite windows with triple track storm windows to match the existing windows in the 1980's addition. New casement windows shall be painted wood single pane true divided lite windows and removable energy panels. The mullion patterns of the existing and proposed windows are as shown on the attached drawings.

**Roofing:**

The existing fiberglass roof shall remain. The new roof of the proposed addition shall be fiberglass, similar to the existing roof.

**5. PHOTOGRAPHS**

- See attached required photographs, labeled as requested.

**6. TREE SURVEY**

- See attached Existing Conditions Plan for a tree survey and Tree Preservation Plan.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

- See attached Adjacent and Confronting Properties List of Owners.

On behalf of Bonnie Thomson and Eugene Tillman, we respectfully submit these materials for your review and approval. If you have any questions concerning our application, please contact me at 301.652.4022.

Sincerely,

Gregory Wiedemann, AIA  
WIEDEMANN ARCHITECTS LLC  
5272 River Road, Suite 610  
Bethesda, Maryland 20816  
301.652.4022

**LILA FENDRICK LANDSCAPE ARCHITECTURE**

Lila Fendrick

19 January 2005

**HISTORIC WORK AREA PERMIT APPLICATION**

For site improvements to 5808 Warwick Place, Chevy Chase, MD

The following is information to supplement the Application for Historic Area Work Permit for the landscape changes to 5808 Warwick Place, Chevy Chase, MD. We are the landscape architects for the Owners, Bonnie Thomson and Eugene Tillman.

**1. WRITTEN DESCRIPTION OF PROJECT:****(a) Brief History of Garden:**

The current garden is bordered by two stone walls to the north, one old and crumbling, as well as a newer wall built by the uphill neighbor. These define the northern edge of the property. Along the southern property line, a neighbor's white fence visually defines an edge along a portion of the property line. A wood tie wall at the rear of the property along the southern property line forms a partial edge to the garden while retaining the owner's garden above the downhill (southern) neighbor's garden. Along the rear property line, a chain link fence and wire mesh fence visually define the property line.

Currently, there is a small parking pad to the north of the front entrance walkway composed of interlocking concrete pavers. On-site parking is desirable as Warwick Place is a narrow (20' wide) street where parking is at a premium.

The existing front walkway is narrow at 3'-6" wide and made of concrete. It leads to deteriorating brick steps at the wooden front porch.

Practical site functions, such as garbage can storage, barbeque placement, steps and paths around the house, have developed in an ad hoc manner. Currently, garbage cans are stored at the bottom of a small porch to the north of the house, visible from the street. A movable barbeque is set on lawn near that same porch. There is a lack of steps in sloping areas on the north side of the house where the owners would like more useable circulation.

Runoff from properties uphill of the owner's property drains across the property. Maddox Engineering has calculated that there is a drainage area of 0.9 acres draining across the Owner's property.

Most of the plantings in this garden were installed by the current owners. A delightful mix of native trees and shrubs, such as southern magnolia, flowering dogwood, fringe tree, witchhazel, and crabapples, as well as flower borders along both sides of the property provide a richness of scale, bloom, and seasonal interest. For a small property, the garden has great charm.

**(b) Description of proposed project:**

The proposed project provides improved site circulation, addresses site drainage issues, and maintains the historic character of the site.

The existing parking pad shall be removed and replaced with a curbed driveway on the south side of the house leading to the below-porch open carport. The curbs act to reduce runoff onto the neighbor's property to the south and help to direct water towards a trench drain at the rear of the proposed driveway. They also act as low walls, from 9" to 14" high, on the south side of the driveway, to maintain existing grade around the southern magnolia and flowering dogwood.

The driveway is narrow and is intended to look like a country lane, or wide garden path.

Retaining walls will be required to maintain the rear garden above the driveway turnaround outside the carport. The wall parallel to the south property line is pulled back from the property line, to allow for runoff from the driveway into the rain garden sited a few feet inside the property line.

New front steps of bluestone treads and stone risers are proposed to replace the crumbling brick front porch steps. The stone is intended to evoke the existing stone walls around the property. The existing metal handrail will be replaced with a wooden handrail, with pickets matching those on the existing front porch.

A new, wider, (4'-6" wide) front walkway of bluestone pavers with grass joints is planned. The grass joints give a more picturesque look to the walkway and make the walkway more part of the surrounding lawn.

To the north of the house, a small flagstone terrace is proposed at the base of the existing side porch. This leads to a built-in barbeque whose stone counter can shelter wood storage below. A series of paired steps, low retaining walls and walks lead along the

north side of the house to the rear garden and address the slope on that side. Garbage cans would be housed behind fencing and gates centered below a triple bay of windows. Flagstone and local stone would be used for this construction.

The project civil engineer, Maddox Engineers, has proposed a storm water system to address specific and general site drainage issues. The driveway has been graded to divert water away from the proposed carport towards a trench drain. A pipe directs water from the trench drain to a below-grade storage tank system. Overflow from either the trench drain and storage tank system can be directed to a "rain garden", or gravel area at the southwest corner of the garden.

Some transplanting and tree removal is necessary to install the driveway. A 6" flowering dogwood would be removed. A replacement flowering tree will be planted in the area of the existing driveway parking pad. Several medium and small sized shrubs will need to be transplanted to other parts of the garden.

A tree preservation plan has been developed with Tim Zastrow of Bartlett Tree. The plan illustrates the area to be root pruned prior to construction as well as identifies where silt fencing and tree preservation fencing needs to be located. As noted earlier, the driveway will be elevated above the roots of the remaining dogwood tree and the large southern magnolia and the maximum area of critical root zone preserved at original grade. Micorrhizae and fertilization treatments are recommended for all trees to be affected by construction.

## **2. MATERIAL SPECIFICATIONS**

The following is a description of the proposed materials for the project:

### **Exterior paving:**

The front walkway will be made of bluestone. The front steps to the existing front porch shall be made of bluestone treads with fieldstone risers. The landing at the base of the side porch to the north side of the house will be made of flagstone. Step treads will be made of flagstone, with risers made of stone.

The driveway will be made of tar and chip with a tan color. Curbing will be made of stone.

### **Walls:**

Retaining walls at the rear of the driveway will be made of local fieldstone. Steps leading into the garden will be made with flagstone treads and fieldstone risers.

**Barbeque surround:**

The barbeque surround will be made of local fieldstone. The counter would be made of bluestone or granite.

**Garbage can enclosure:**

The enclosure will be made of cedar painted white to match the trim color of the house.

**Front step handrails:**

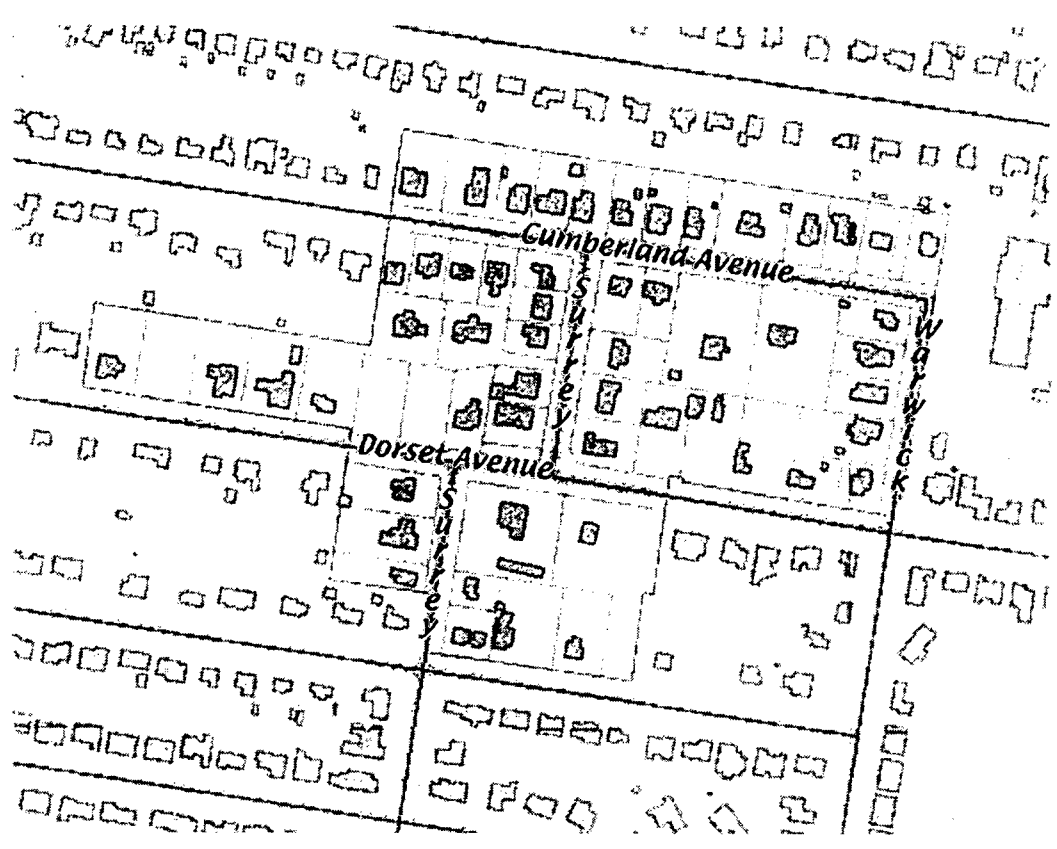
New handrails will be made of cedar, painted white, to match the railing color on the existing porch.

On behalf of Bonnie Thomson and Eugene Tillman, we respectfully submit these materials for your review and approval. If you have any questions concerning our application, please contact me at (301) 907-7700.

Sincerely,



Lila Fendrick, ASLA  
Lila Fendrick Landscape Architecture & Garden Design





INDEX OF DRAWINGS

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S.1.4	ROOF FRAMING PLAN STRUCTURAL NOTES
M.1.2	SECOND FLOOR MECHANICAL PLAN
M.1.3	ATTIC MECHANICAL PLAN
E.1.0	BASEMENT FLOOR ELECTRICAL PLAN
E.1.1	FIRST FLOOR ELECTRICAL PLAN
E.1.2	SECOND FLOOR ELECTRICAL PLAN

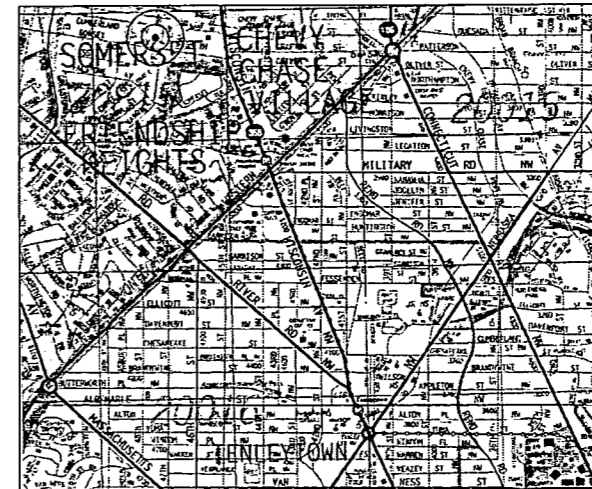
ZONING SUMMARY

5808 WARWICK PLACE  
CHEVY CHASE, MARYLAND 20815

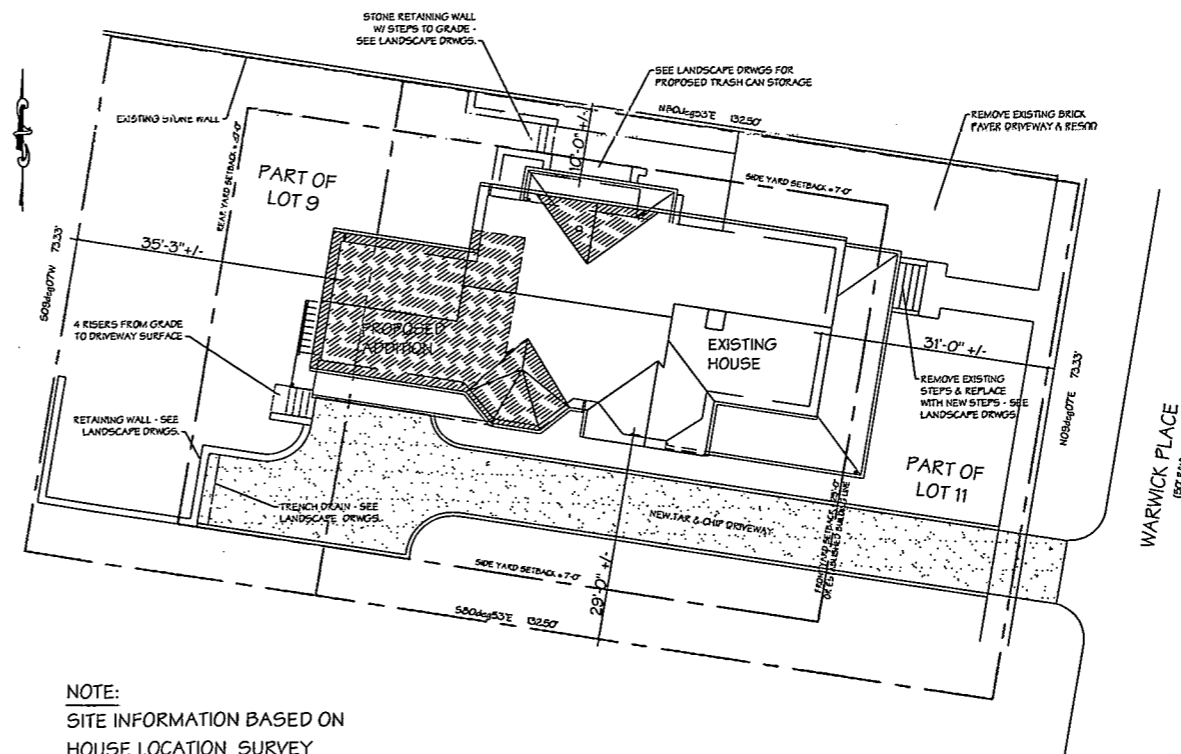
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ACTUAL LOT COVERAGE: 22% - 2,159 SQ.FT. (1,667 SQ.FT. EXISTING;  
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REQUIRED SETBACKS:

FRONT YARD: 25' OR ESTABLISHED BUILDING LINE  
SIDE YARD: 7'-0"  
REAR YARD: 20'

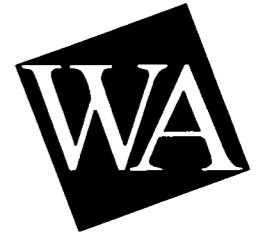


1 LOCATION MAP  
C.O.1 SCALE: NTS



NOTE:  
SITE INFORMATION BASED ON  
HOUSE LOCATION SURVEY  
DATED 3-10-93 PREPARED BY  
METROPOLITAN SURVEYS, INC.

2 PROPOSED SITE PLAN  
C.O.1 SCALE: 1/16" = 1'-0"



WIEDEMANN  
ARCHITECTS LLC  
5272 RIVER ROAD SUITE 610  
BETHESDA, MD 20816  
Voice 301-652-4022  
Fax 301-652-4094

www.wiedemannarchitects.com

PROJECT

THOMSON TILLMAN  
ADDITION  
5808 WARWICK PLACE  
CHEVY CHASE, MD 20815  
TOWN OF SOMERSET

ISSUED

FOR HPC STAFF REVIEW  
JANUARY 14, 2005

APPLICATION FOR  
HISTORIC AREA WORK  
PERMIT  
JANUARY 19, 2005

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET

C.0.1



**WIEDEMANN  
ARCHITECTS  
LLC**

5272 RIVER ROAD SUITE 610  
BETHESDA, MD 20816  
Voice 301-452-4022  
Fax 301-452-4094

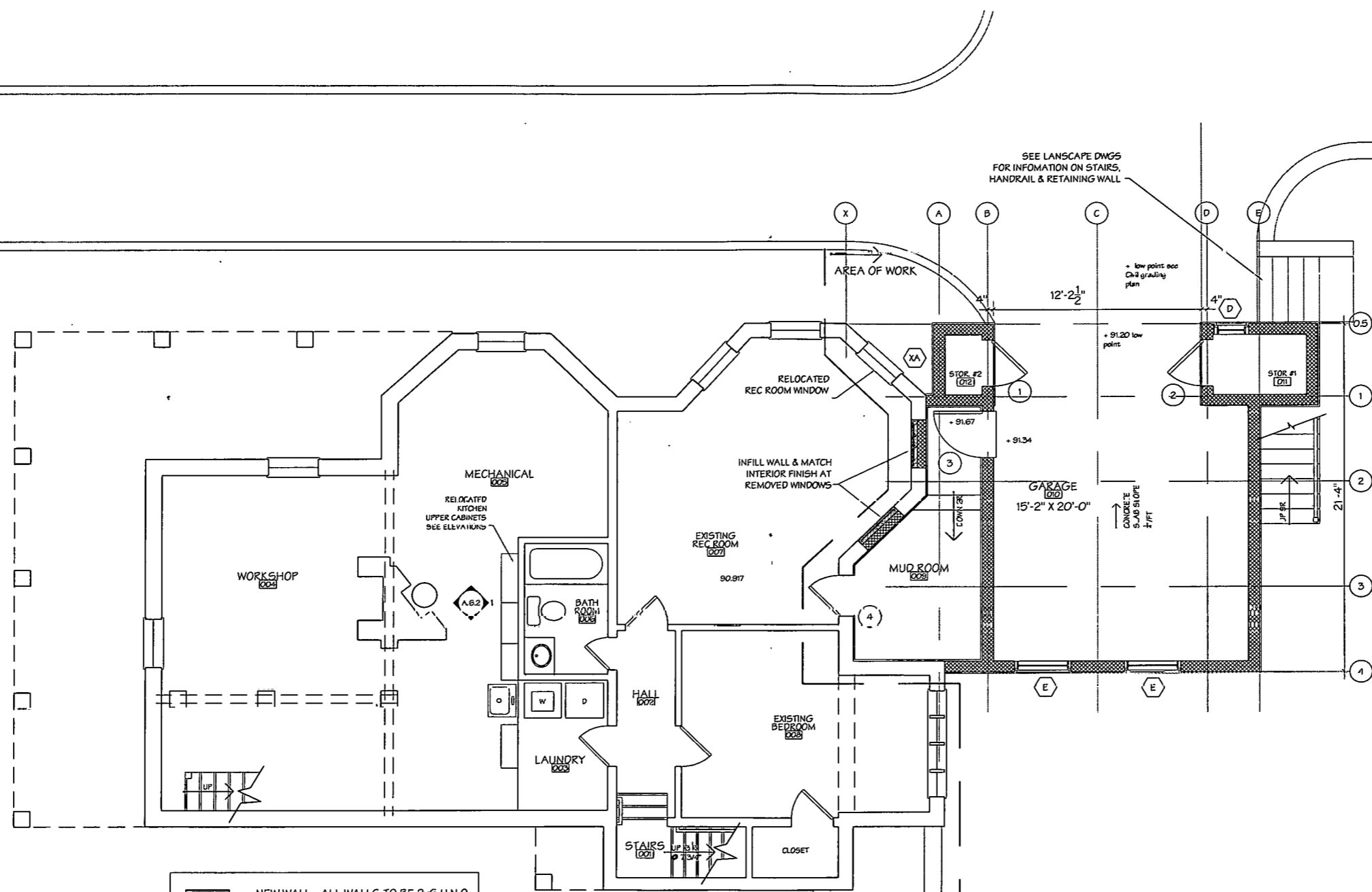
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PROJECT

THUMSON HILLMAN  
ADDITION  
5808 WARWICK PLACE  
CHEVY CHASE, MD 20815  
TOWN OF SOMERSET

ISSUED

APPLICATION FOR  
HISTORIC AREA  
WORK PERMIT



NEW WALL - ALL WALLS TO BE 2x6 U.N.O.  
 NEW 8" CMU WALL  
 EXISTING WALL TO REMAIN -  
 PATCH, REPAIR & PAINT AS REQ'D

**1**  
 A.1.0 **BASEMENT FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

SEE LANDSCAPE DRWGS. FOR  
REBUILT STONE PLANTER WALL, STEPS  
TO GRADE AND TRASH ENCLOSURE  
AT NORTH SIDE

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET

**A.1.0**



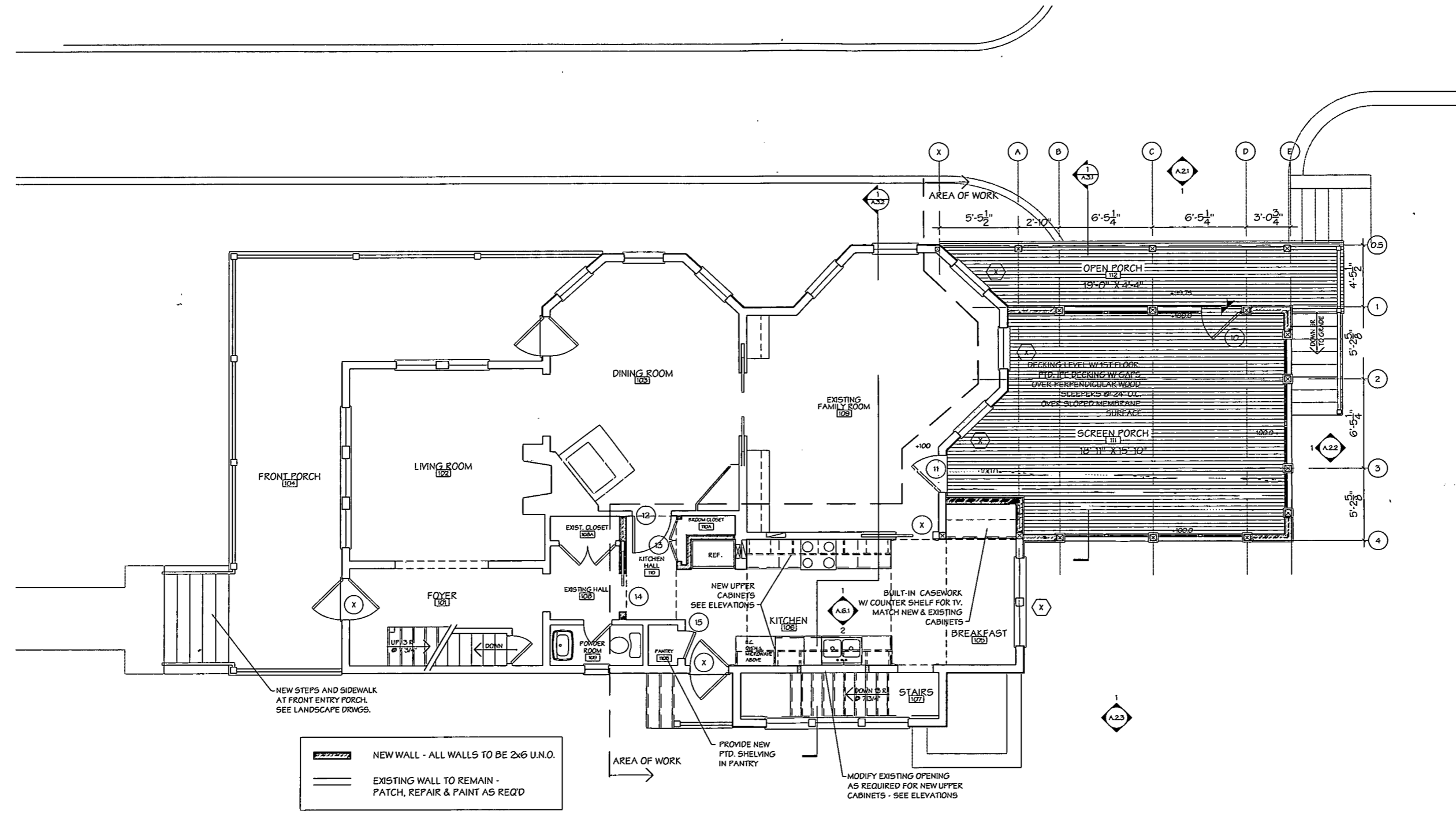
**WIEDEMANN ARCHITECTS LLC**

5272 RIVER ROAD SUITE 610  
BETHESDA, MD 20816  
Voice 301-652-4022  
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www.wiedemannarchitects.com

**PROJECT**  
THOMSON TILLMAN ADDITION  
5808 WARWICK PLACE  
CHEY CHASE, MD 20815  
TOWN OF SOMERSET

**ISSUED**  
APPLICATION FOR HISTORIC AREA WORK PERMIT



1 FIRST FLOOR PLAN  
A.1.1 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION  
SHEET

A.1.1



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BETHESDA, MD 20816  
Voice 301-652-4022  
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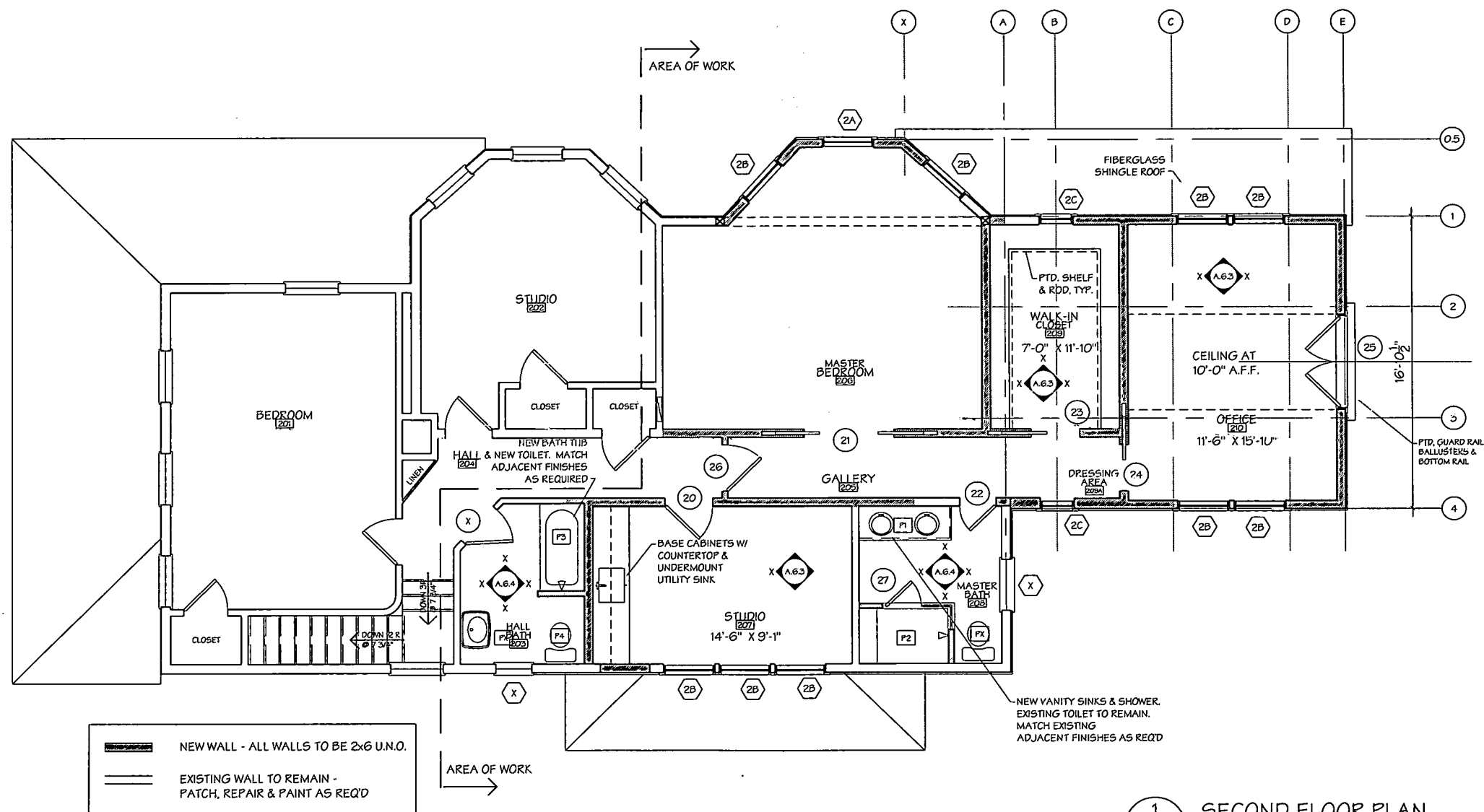
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PROJECT

THOMSON TILLMAN  
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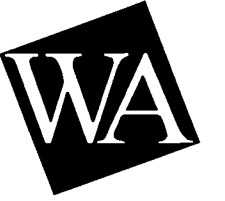
APPLICATION FOR  
HISTORIC AREA  
WORK PERMIT



1 SECOND FLOOR PLAN  
A.1.2 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET



WIEDEMANN  
ARCHITECTS  
LLC

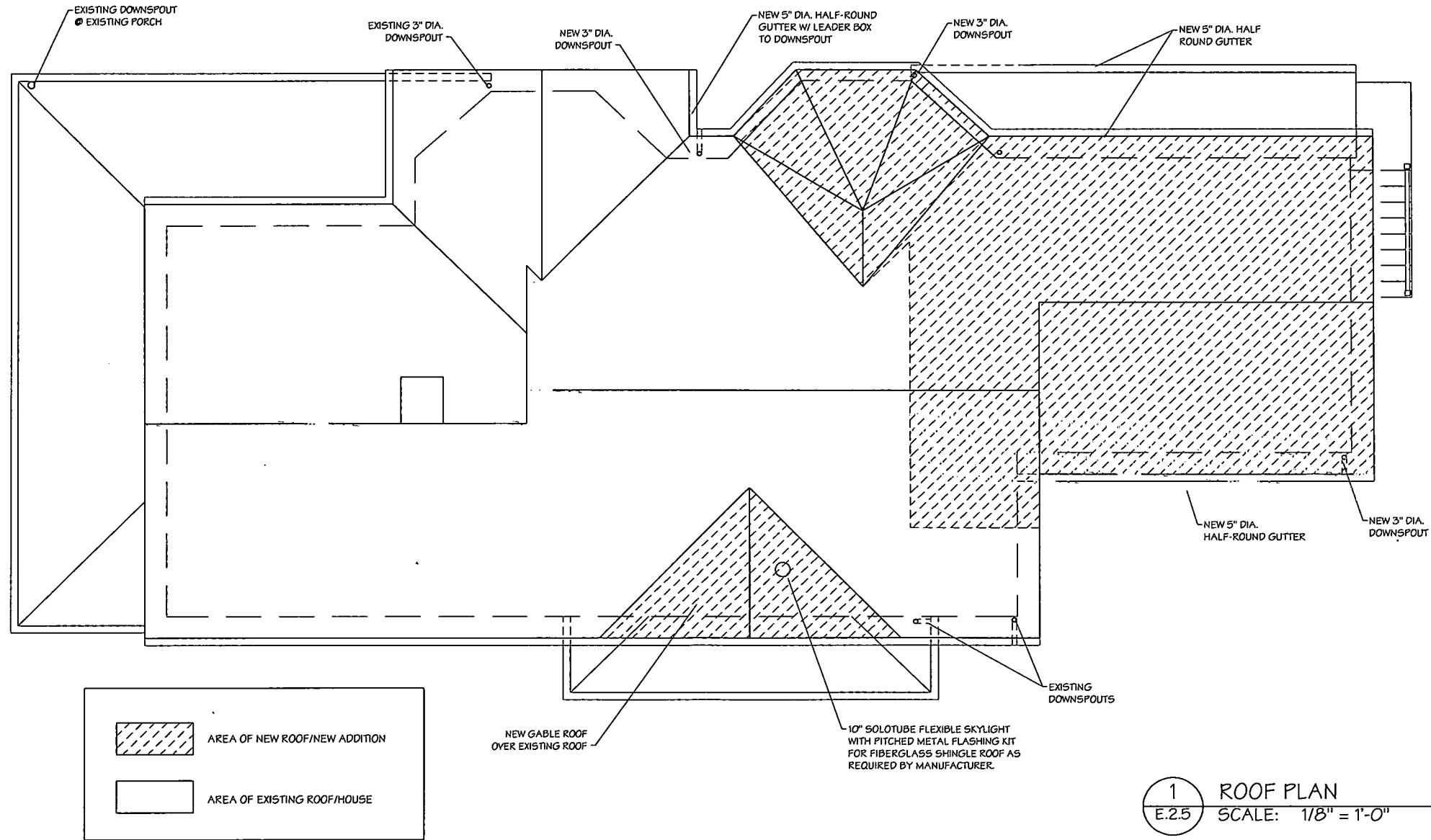
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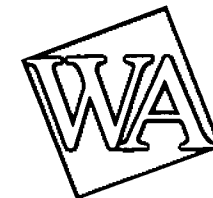


1 ROOF PLAN  
E.2.5 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET

A.1.3



**WIEDEMANN  
ARCHITECTS  
LLC**

5272 RIVER ROAD SUITE 610  
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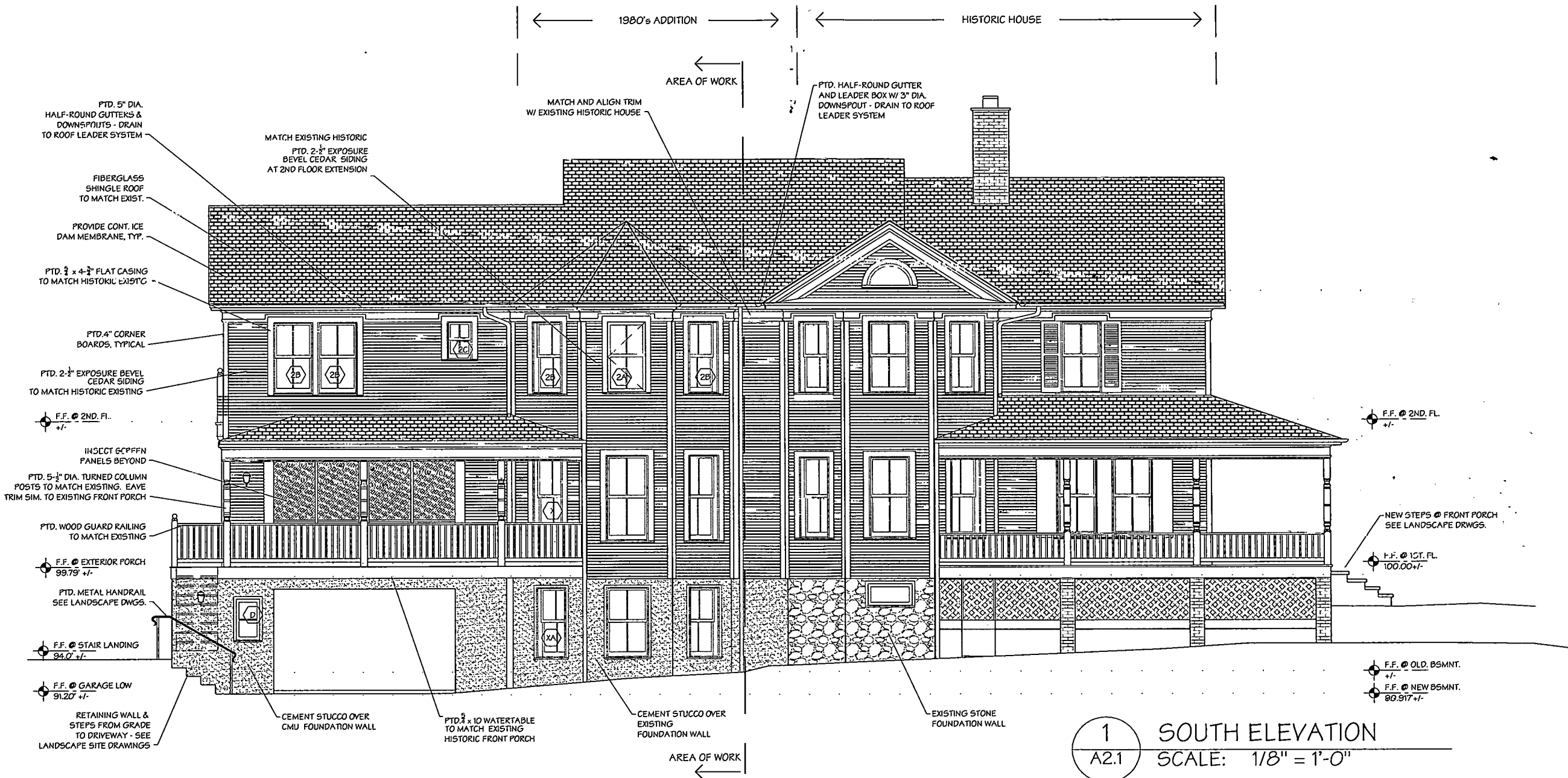
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PRELIMINARY  
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SHEET

A.2.1



WIEDEMANN  
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LLC

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Voice 301-652-4022  
Fax 301-652-4094

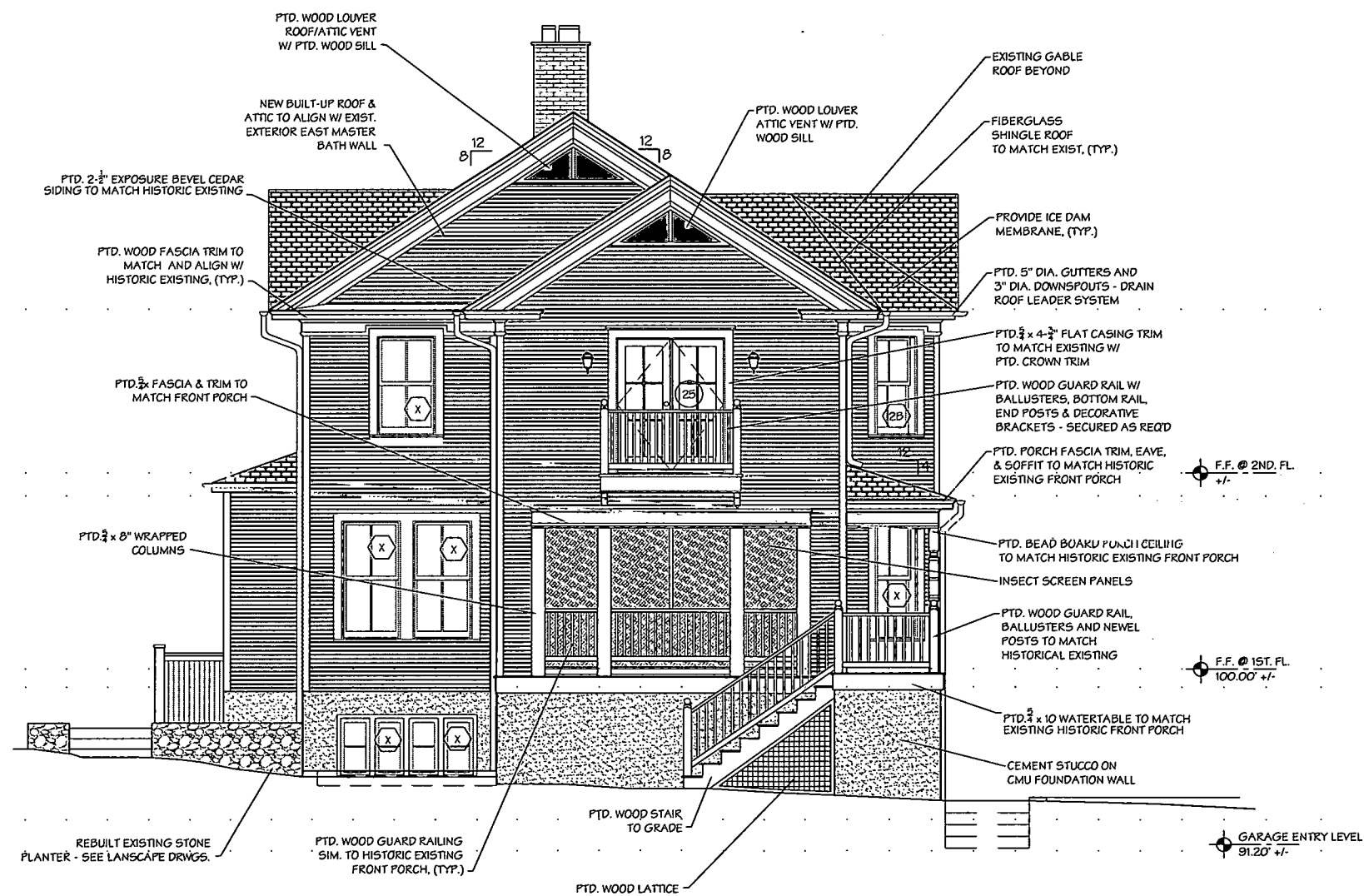
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PROJECT

THOMSON TILLMAN  
ADDITION  
5808 WARWICK PLACE  
CHEVY CHASE, MD 20815  
TOWN OF SOMERSET

ISSUED

APPLICATION FOR  
HISTORIC AREA  
WORK PERMIT



1 WEST ELEVATION  
A2.2 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION  
SHEET

A2.2



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BETHESDA, MD 20816  
Voice 301-652-4022  
Fax 301-652-4094

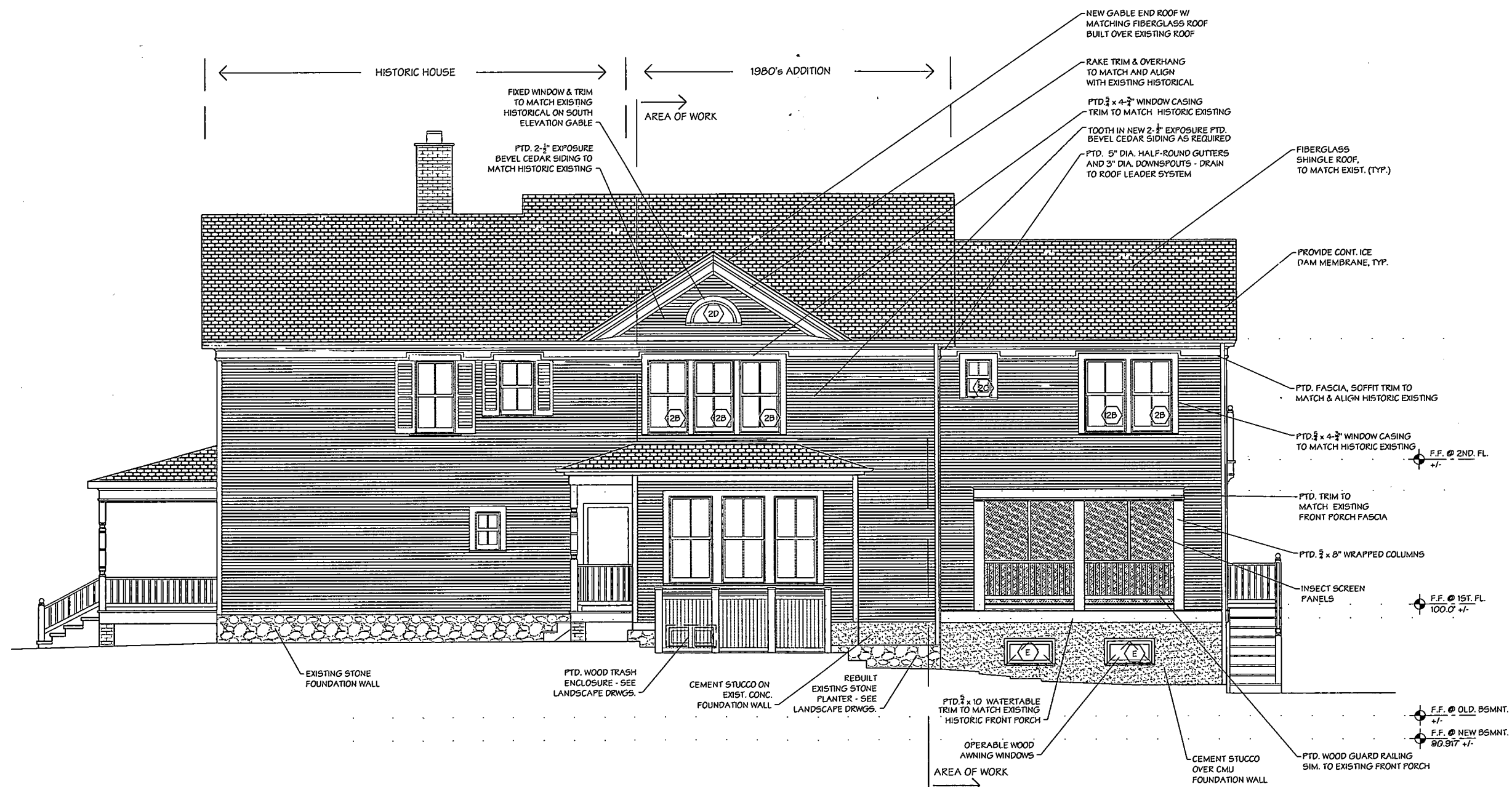
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PROJECT

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TOWN OF SOMERSET

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1 NORTH ELEVATION  
A2.3 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET

A2.3





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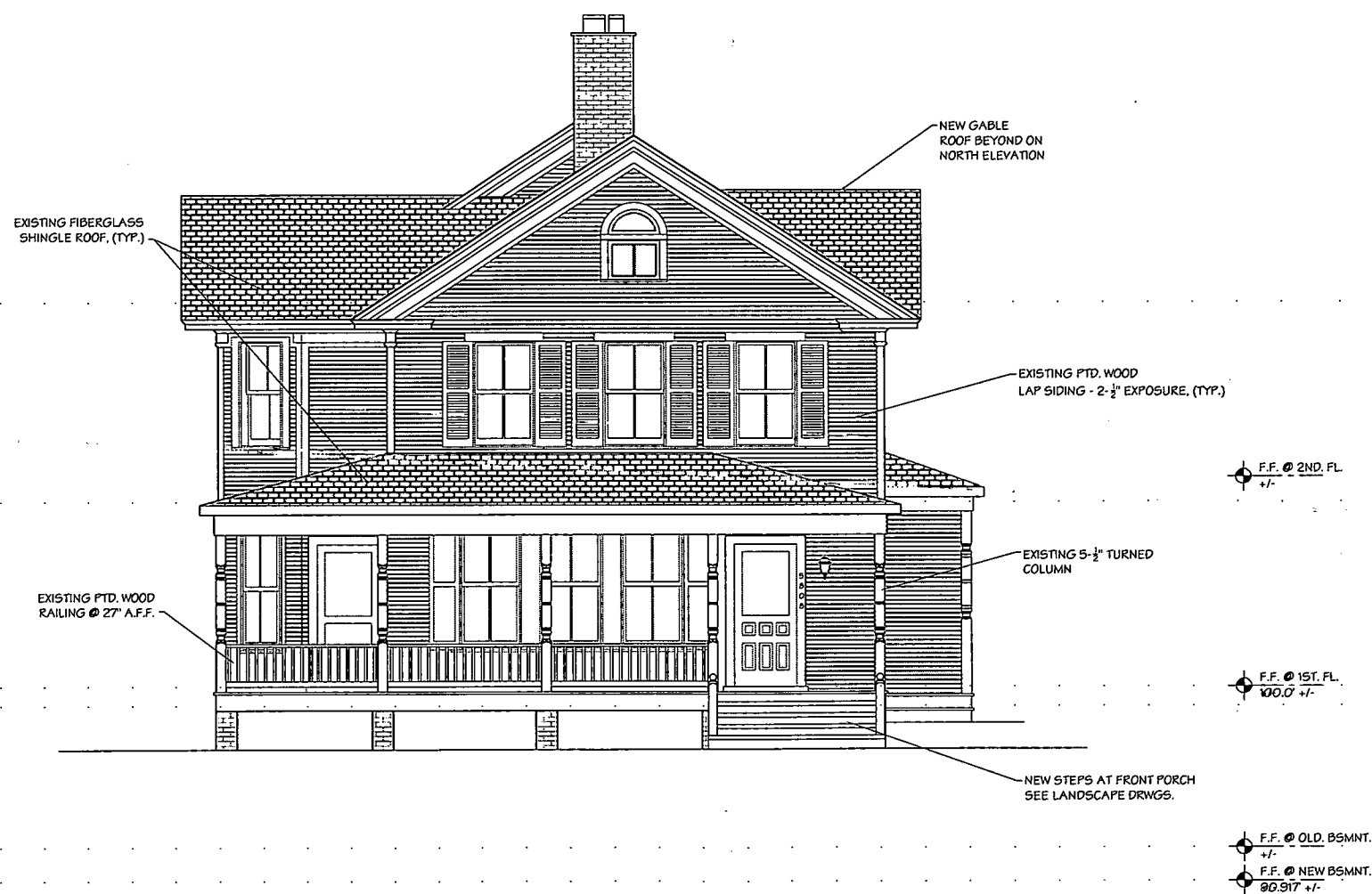
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PROJECT

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ADDITION  
5808 WARWICK PLACE  
CHEVY CHASE, MD 20815  
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ISSUED

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WORK PERMIT

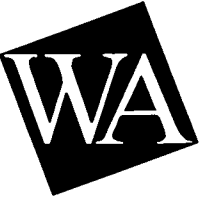


1 EAST ELEVATION  
A2.4 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET

A.2.4



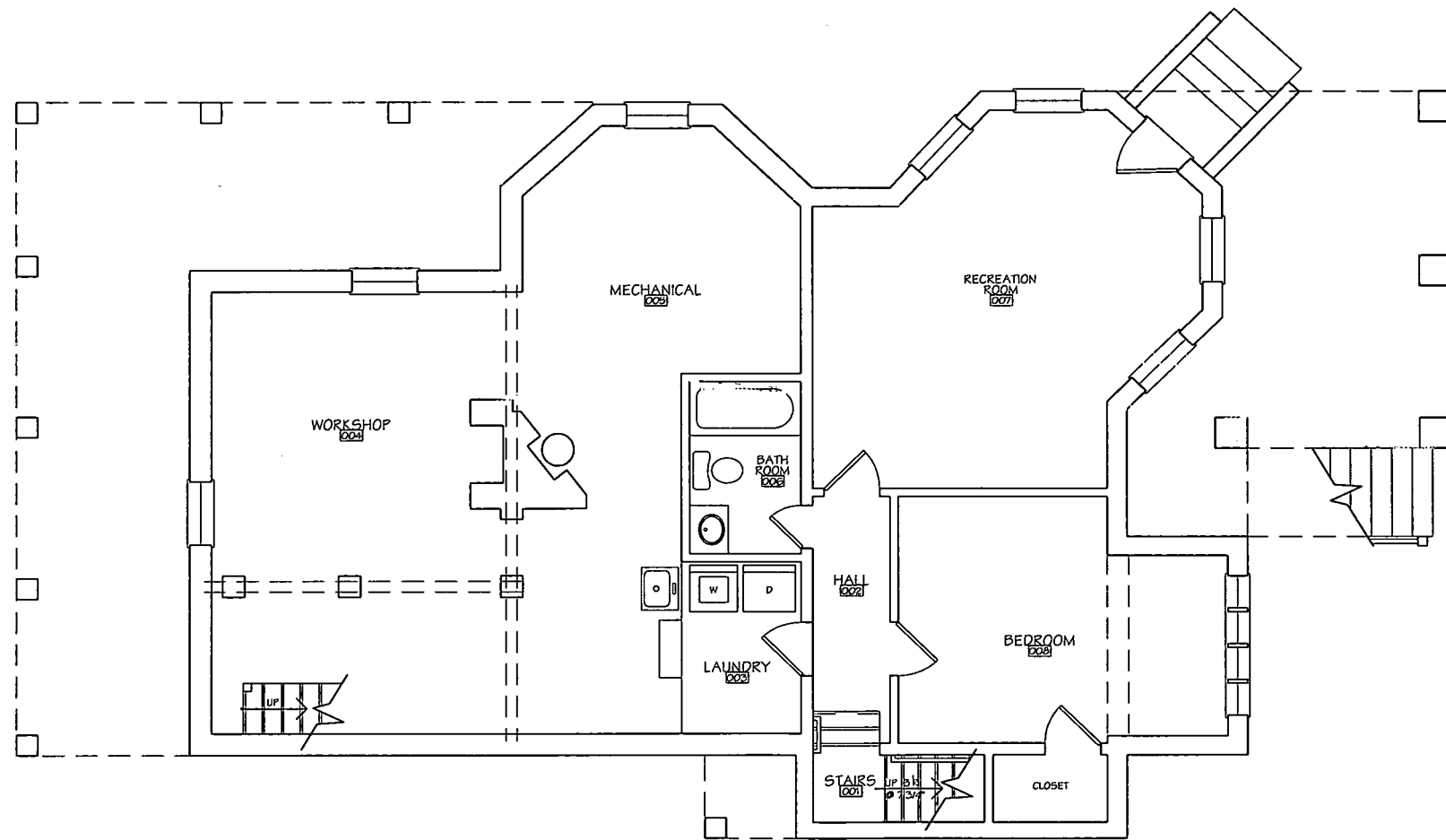
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PROJECT  
THOMSON TILLMAN  
ADDITION  
5808 WARWICK PLACE  
CHEVY CHASE, MD 20815  
TOWN OF SOMERSET

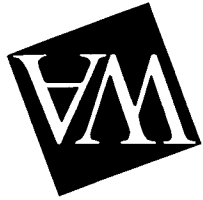
ISSUED  
APPLICATION FOR  
HISTORIC AREA  
WORK PERMIT



1 EXISTING BASEMENT FLOOR PLAN  
EX.0 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION  
SHEET

EX.0



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PROJECT

THOMSON TILLMAN  
ADPTON

5808 WARWICK PLACE  
CHEVY CHASE, MD 20815

TOWN OF SOMERSET

ISSUED

APPLICATION FOR

HISTORIC AREA

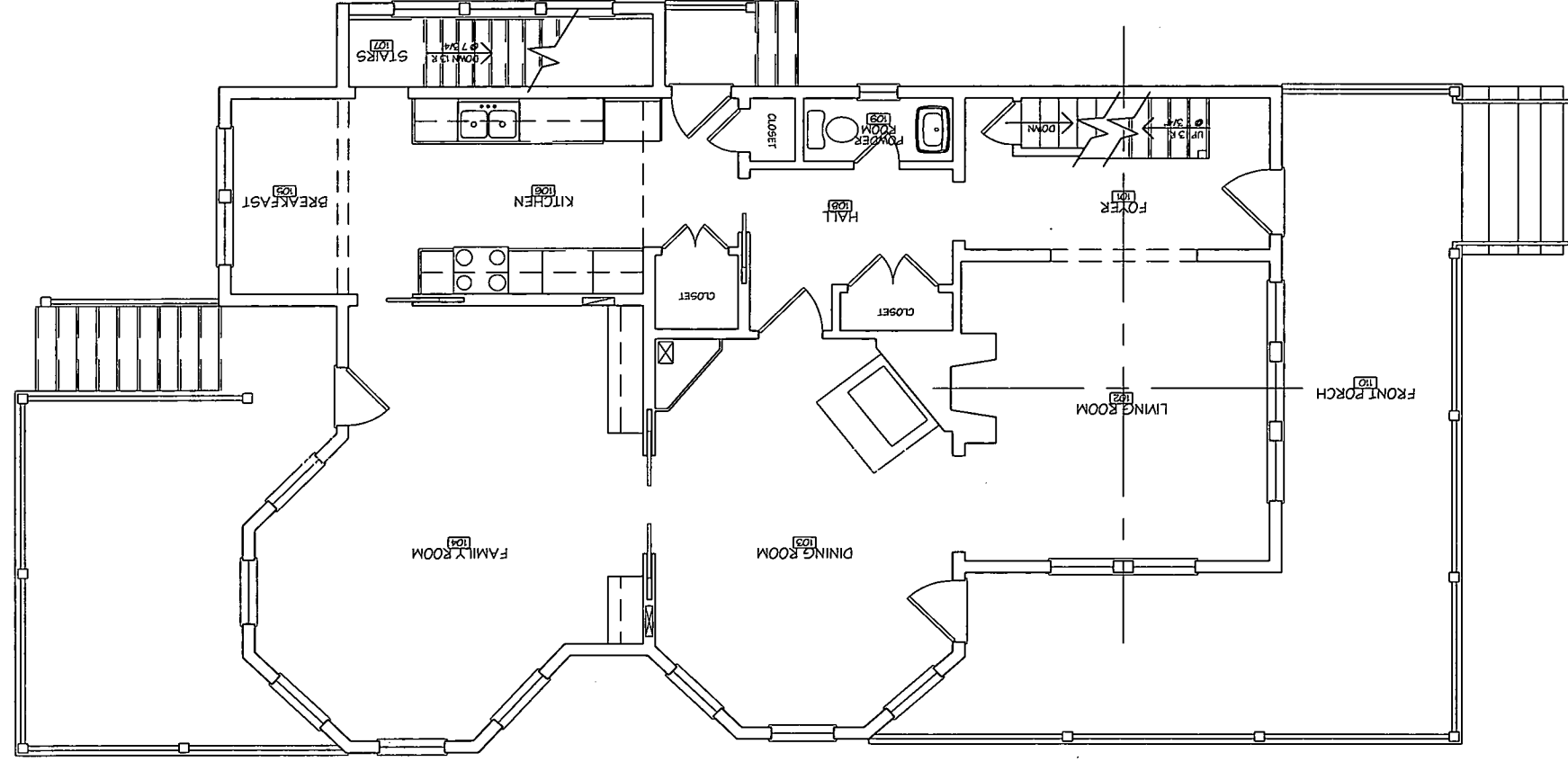
WORK PERMIT

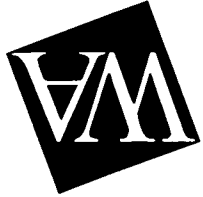
EX.1

SHEET

PRELIMINARY  
NOT FOR CONSTRUCTION

1 EX1 SCALE: 1/8" = 1'-0"  
EXISTING FIRST FLOOR PLAN





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PROJECT

THOMSON TILLMAN

ADDITION

5808 WARMACK PLACE

CHEVY CHASE, MD 20815

TOWN OF SOMERSET

ISSUED

APPLICATION FOR

HISTORIC AREA

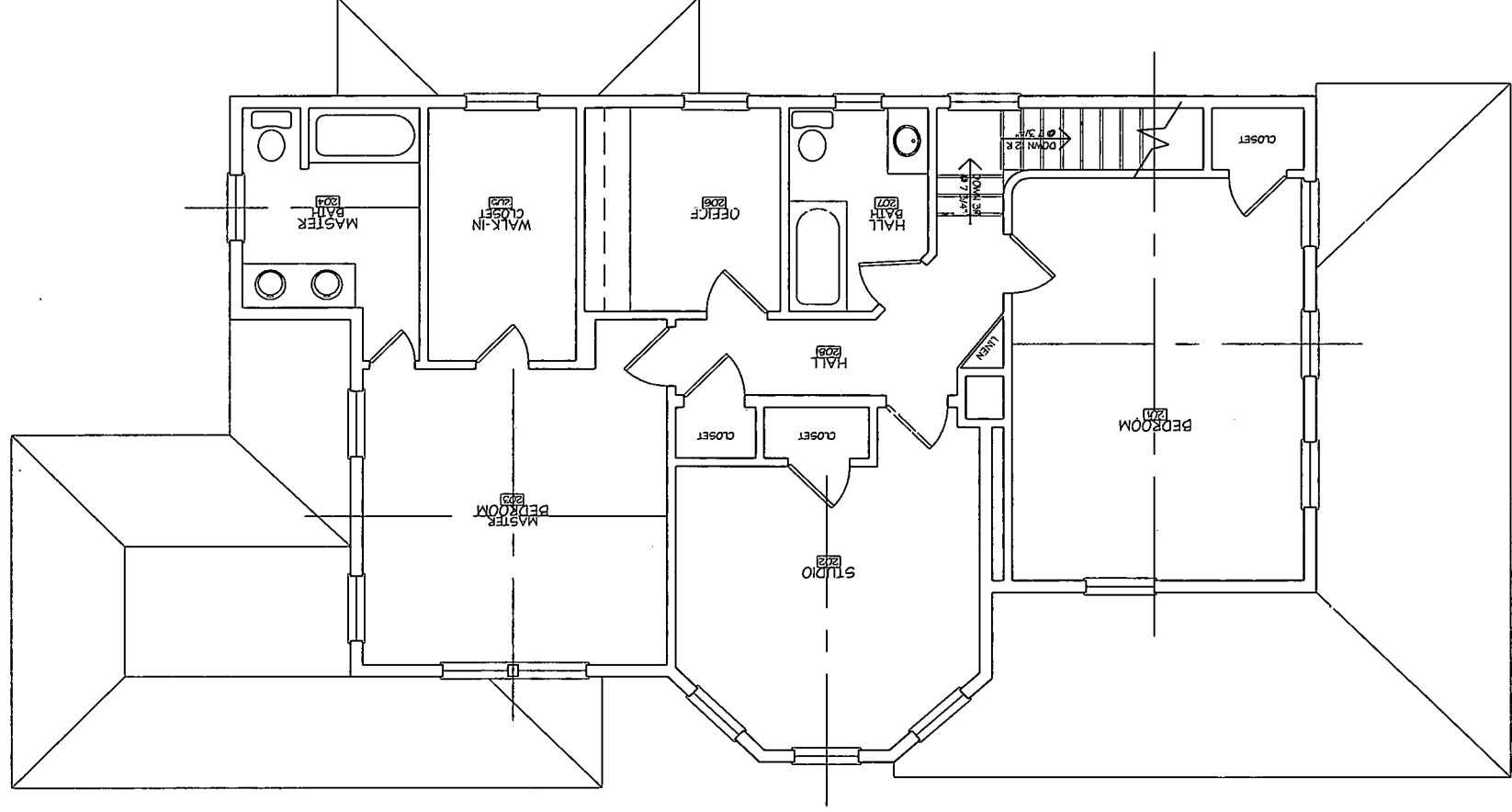
WORK PERMIT

EX.2

SHEET

PRELIMINARY  
NOT FOR CONSTRUCTION

1 EX.2 SCALE: 1/8" = 1'-0"  
EXISTING SECOND FLOOR PLAN





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PROJECT

THOMSON TILLMAN  
ADDITION  
5808 WARWICK PLACE  
CHEVY CHASE, MD 20815  
TOWN OF SOMERSET

ISSUED

APPLICATION FOR  
HISTORIC AREA  
WORK PERMIT



1 EXISTING SOUTH ELEVATION  
EX.3 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION  
SHEET

EX.3



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PROJECT

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ADDITION  
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CHEY CHASE, MD 20815  
TOWN OF SOMERSET

ISSUED

APPLICATION FOR  
HISTORIC AREA  
WORK PERMIT



F.F. @ 2ND. FL.  
+/-

F.F. @ 1ST. FL.  
+/-

F.F. @ OLD. BSMNT.  
+/-

F.F. @ NEW BSMNT.  
+/-

1 EXISTING WEST ELEVATION  
EX.4 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET

EX.4



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PROJECT

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ADDITION  
5808 WARWICK PLACE  
CHEY CHASE, MD 20815  
TOWN OF SOMERSET

ISSUED

APPLICATION FOR  
HISTORIC AREA  
WORK PERMIT



1 EXISTING NORTH ELEVATION  
EX.5 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET

EX.5



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PROJECT

THOMSON TILLMAN  
ADDITION  
5808 WARWICK PLACE  
CHEVY CHASE, MD 20815  
TOWN OF SOMERSET

ISSUED

APPLICATION FOR  
HISTORIC AREA  
WORK PERMIT



F.F. @ 2ND. FL.  
+/-

F.F. @ 1ST. FL.  
+/-

F.F. @ OLD. BSMNT.  
+/-

F.F. @ NEW BSMNT.  
+/-

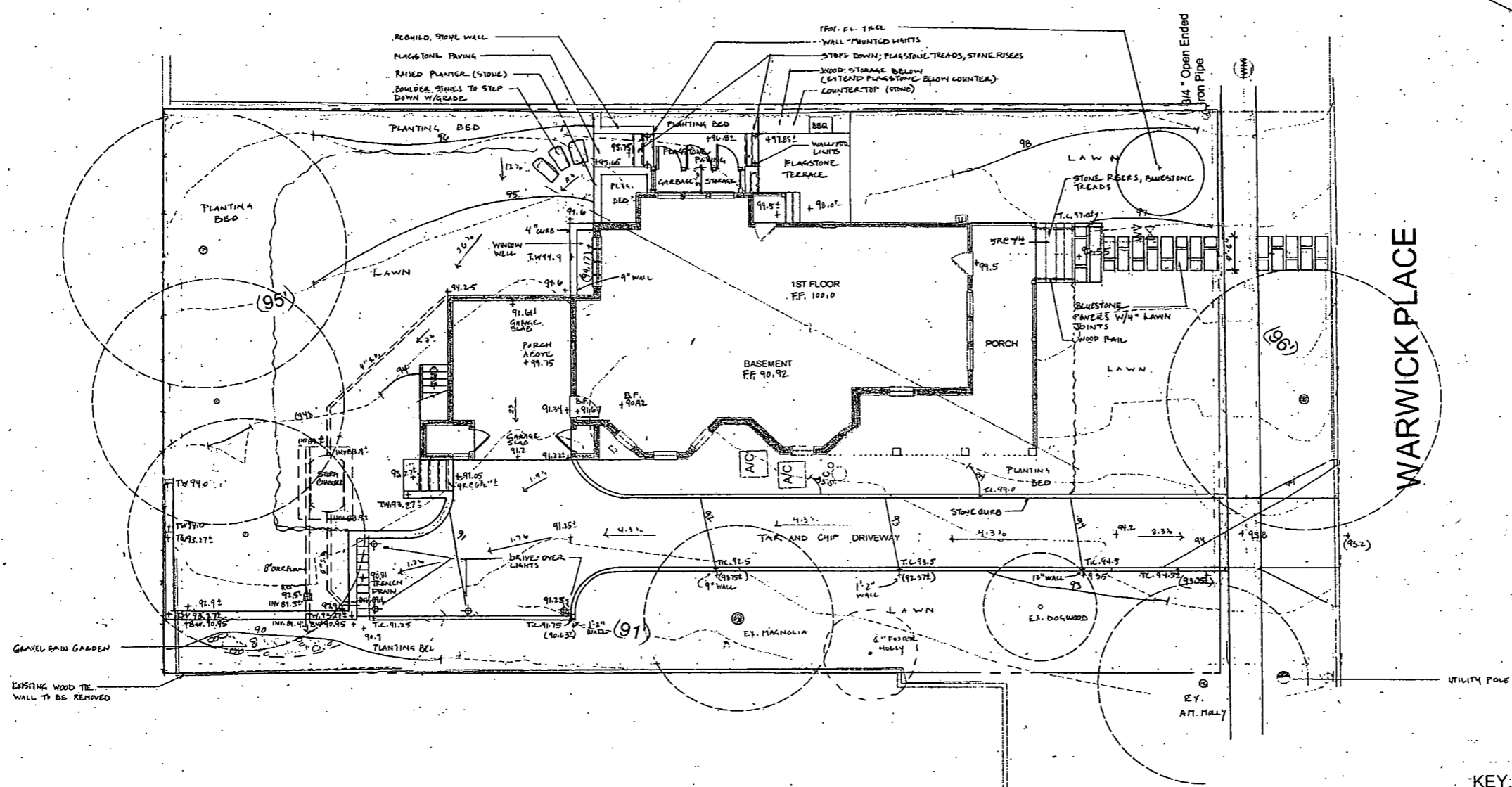
1 EXISTING EAST ELEVATION  
EX.6 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET

EX.6





**KEY:**

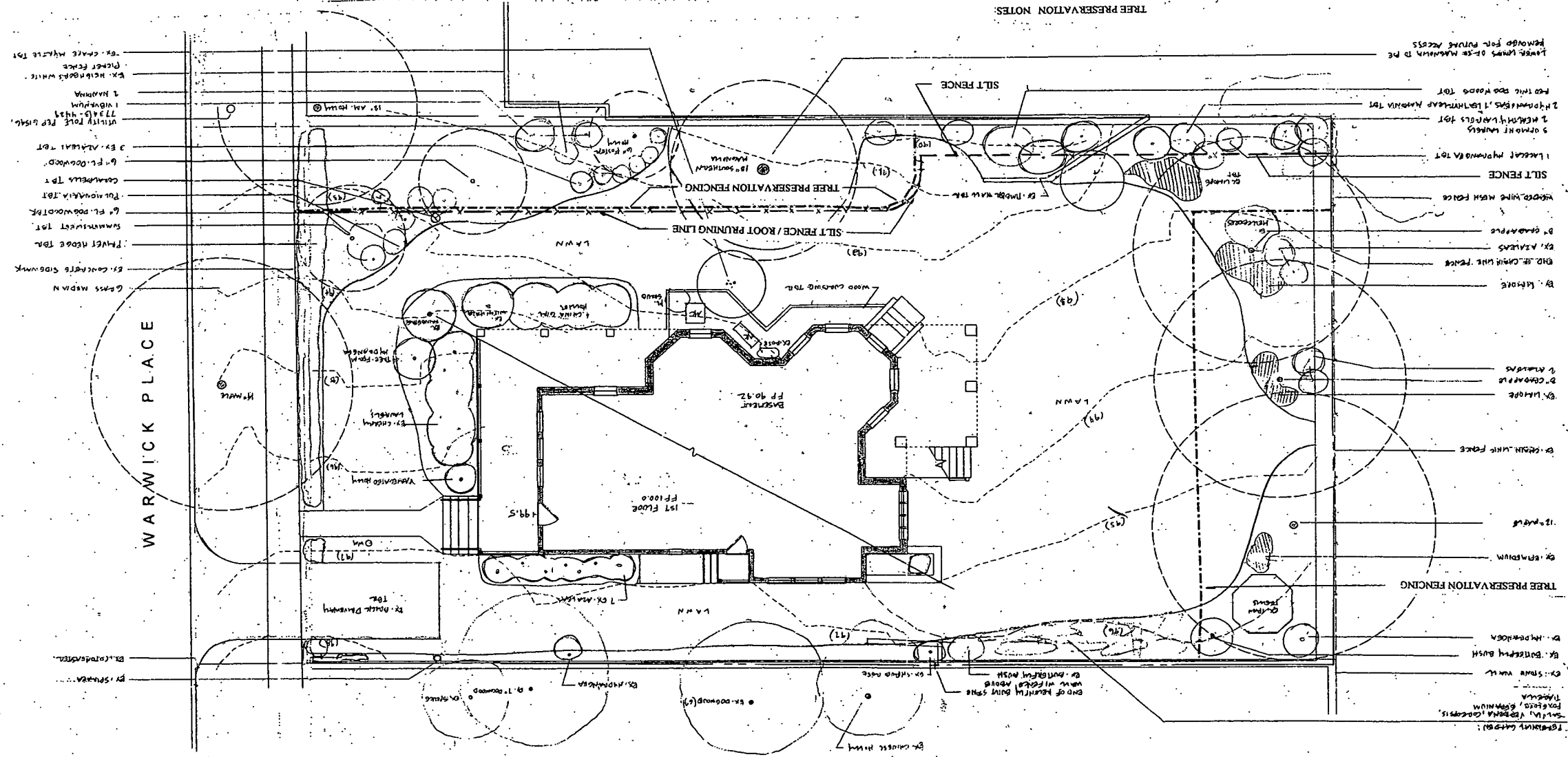
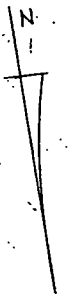
---	EXISTING CONTOUR
+ (340.5)	EXISTING SPOT ELEVATION
(Symbol: circle with diagonal lines)	EXISTING TREE
T.B.R.	TO BE REMOVED
T.B.T.	TO BE TRANSPLANTED
+379.34	PROPOSED SPOT ELEVATION
(Symbol: dashed line)	PROPOSED CONTOURS

**NOTE:**

- PROPERTY LINE/HOUSE LOCATION INFO. TAKEN FROM HOUSE LOCATION SURVEYS BY LANDTECH ASSOCIATES, INC. PROVIDED BY OWNER ON 1-11-05
- TOPOGRAPHIC INFO. TAKEN FROM ALL-IN-ONE SURVEYS TOPOGRAPHIC SURVEY DATED MAY 2006

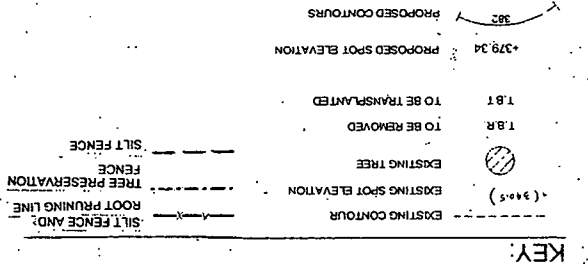
**THOMSON-TILLMAN RESIDENCE**  
 5808 WARWICK PLACE CHEVY CHASE, MD 20815





- TREE PRESERVATION NOTES:**
1. Tree Preservation Fencing to be 1 1/2 gauge 2" x 4" 4'-0" high wire mesh supported by 6" long tee-posts at 10'-0" o.c. maximum spacing. Top of fence to be marked with bright yellow flagging, placed 3'-0" o.c.
  2. Section of fence that runs from the sidewalk to the north side of the southern magnolia must be faced on the construction side with sediment control fabric to prevent sediment from being washed into the critical root zones of the magnolia and flowering dogwood.
  3. Prior to start of construction, trees which will lose roots from excavation, compaction and/or grade changes should be treated with mycorrhizae & fertilization prior to start of construction and in fall of 2005 or early spring of 2006.
  4. Treat designated trees with Mycorrhizal Inoculant @ four oz. per 100 gallons water. Fertilizer to be Bartlett Broom 30-0-7 mixed at 20 pounds per 100 gallons area. Post construction treatment area to extend from the trunk to radius of 20' in area. Application rate to be 40-50 gallons per 1,000 square feet of treatment.

5. Treatments to be applied by liquid soil injection at 250 psi, three feet o.c., four 12" deep over entire treatment area.
6. Project Arborist to check site conditions periodically during construction. Follow-up with twice annual inspections by Arborist for three years after construction is complete, once each year thereafter.
7. For questions, contact Project Arborist, Tim Zastrow, Bartlett Tree Experts, (201) 343-2562.



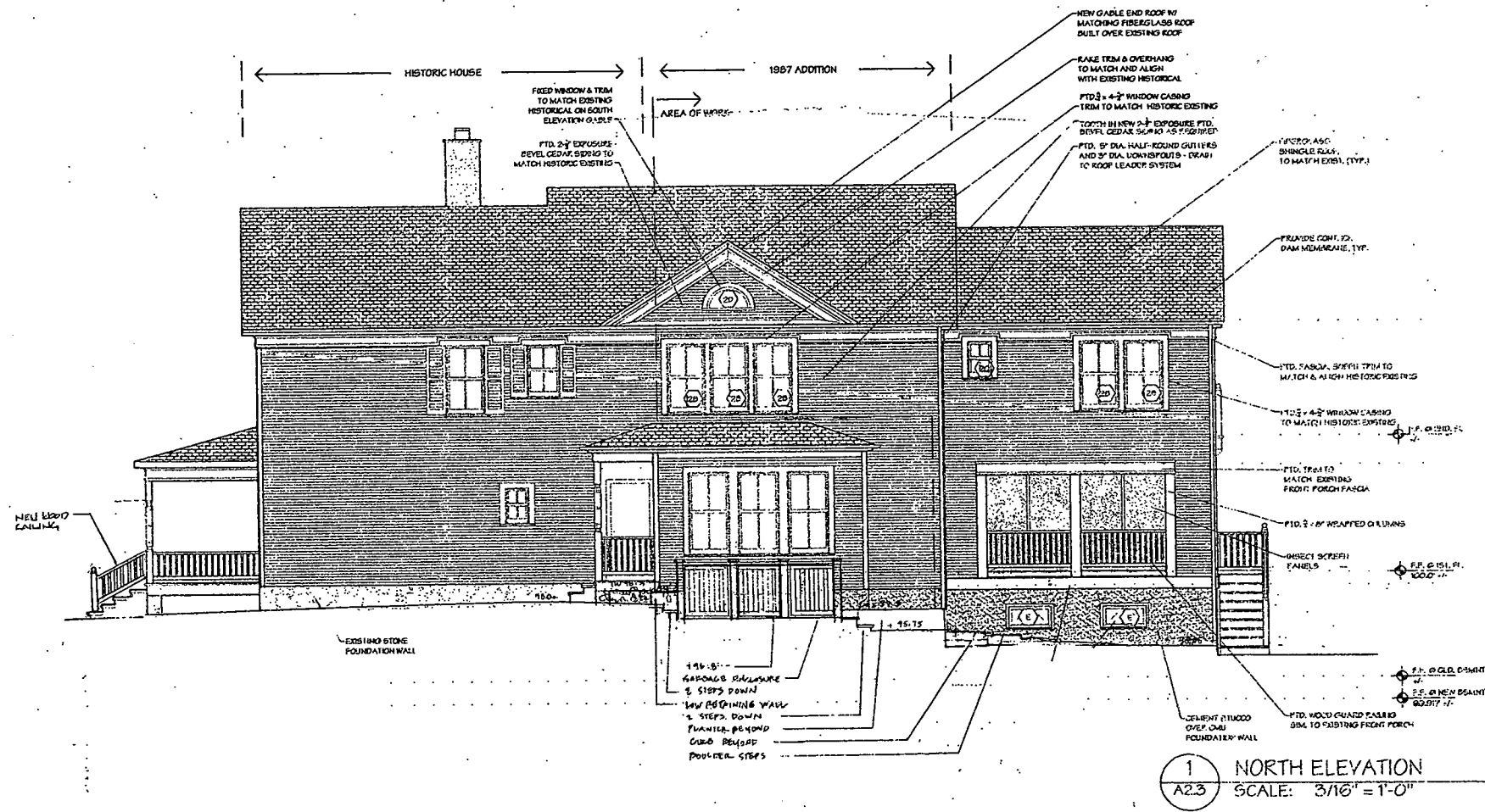
- EX. GRASS ASPEN
- EX. CONIFERS
- PRIVET HEDGE TAB.
- SMASHWORT TAB.
- 6" PL. DOGWOOD
- FR. MONARDA TAB.
- 6" PL. DOGWOOD TAB.
- EX. AZALEA TAB.
- 3 EX. AZALEA TAB.
- UTILITY POLE REF. 15' 1/2"
- 1 VIBURNUM
- 1 HAMMUS
- EX. HEDERA WHITE
- EX. CRATE MYRTLE TAB.

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING TREE
- TO BE REMOVED
- TO BE TRANSPLANTED
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOURS
- SILT FENCE AND ROOT PRUNING LINE
- TREE PRESERVATION FENCE

TREE PRESERVATION PLAN  
1/8" = 1'-0"

**THOMSON-TILLMAN RESIDENCE**  
5808 WARWICK PLACE CHEVY CHASE, MD 20815

LILA FENDRICK landscape architecture & garden design  
6904 West Avenue Chevy Chase, Maryland 20815 (301) 907-7700



1 NORTH ELEVATION  
 A2.3 SCALE: 3/16" = 1'-0"



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Fax 301-652-4094

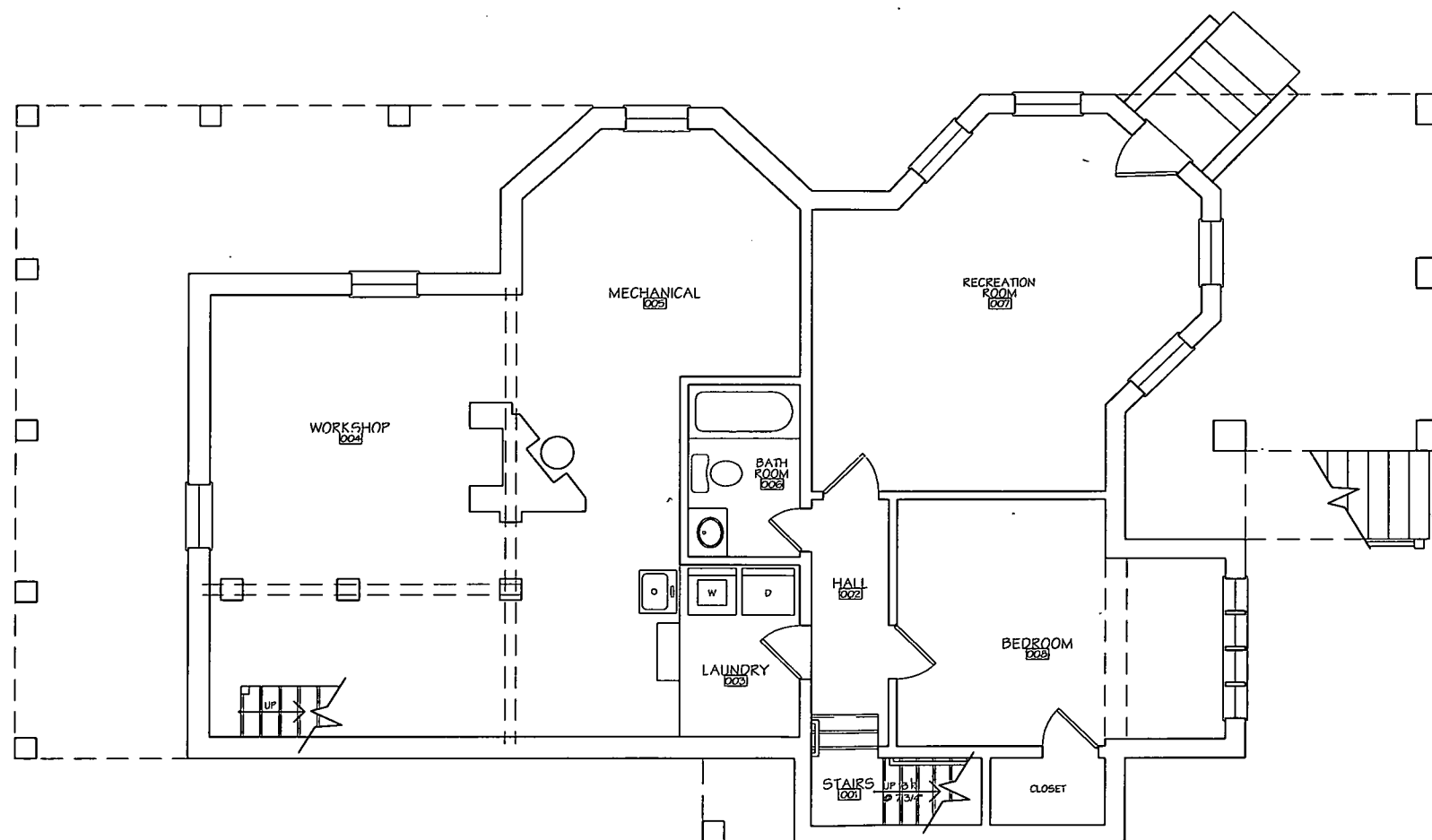
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PROJECT

THOMSON TILLMAN  
ADDITION  
5808 WARWICK PLACE  
CHEY CHASE, MD 20815  
TOWN OF SOMERSET

ISSUED

APPLICATION FOR  
HISTORIC AREA  
WORK PERMIT



1 EXISTING BASEMENT FLOOR PLAN  
EX.0 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET

EX.0



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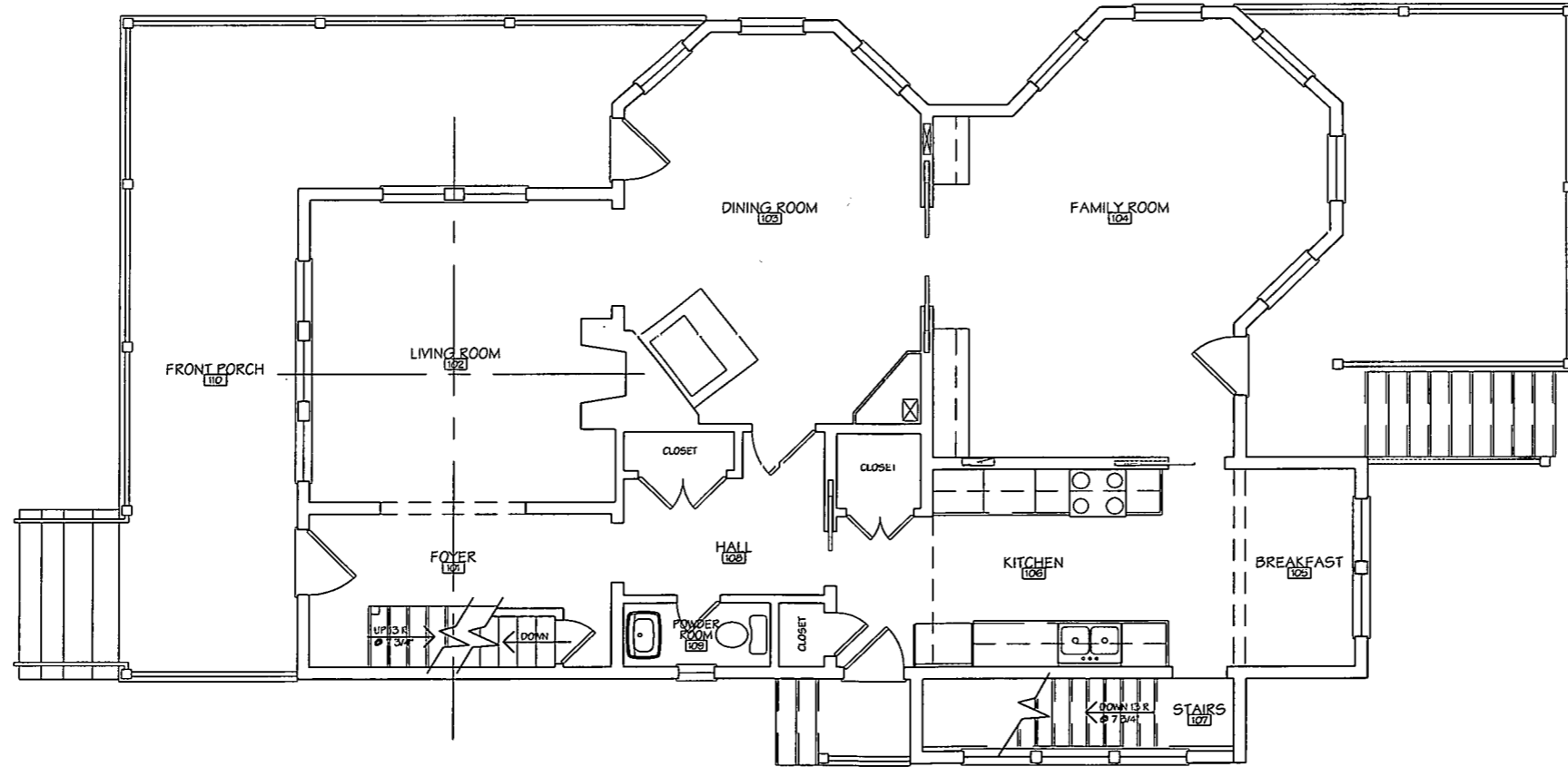
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PROJECT  
THOMSON TILLMAN  
ADDITION  
5808 WARWICK PLACE  
CHEVY CHASE, MD 20815  
TOWN OF SOMERSET

ISSUED

APPLICATION FOR  
HISTORIC AREA  
WORK PERMIT



1 EXISTING FIRST FLOOR PLAN  
EX.1 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION  
SHEET

EX.1



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CHEVY CHASE, MD 20815  
TOWN OF SOMERSET

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WORK PERMIT



1 EXISTING SOUTH ELEVATION  
EX.3 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET

EX.3



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TOWN OF SOMERSET

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HISTORIC AREA  
WORK PERMIT



F.F. @ 2ND. FL.  
+/-

F.F. @ 1ST. FL.  
+/-

F.F. @ OLD. BSMNT.  
+/-

F.F. @ NEW BSMNT.  
+/-

1 EXISTING WEST ELEVATION  
EX.4 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET

EX.4





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THOMSON TILLMAN  
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TOWN OF SOMERSET

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WORK PERMIT



1 EXISTING NORTH ELEVATION  
EX.5 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET

EX.5



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ADDITION  
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TOWN OF SOMERSET

ISSUED

APPLICATION FOR  
HISTORIC AREA  
WORK PERMIT



F.F. @ 2ND. FL.  
+/-

F.F. @ 1ST. FL.  
+/-

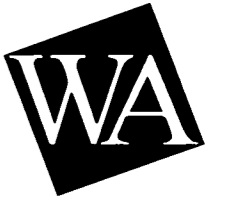
F.F. @ OLD. BSMNT.  
+/-

F.F. @ NEW BSMNT.  
+/-

1 EXISTING EAST ELEVATION  
EX.6 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION  
SHEET

EX.6



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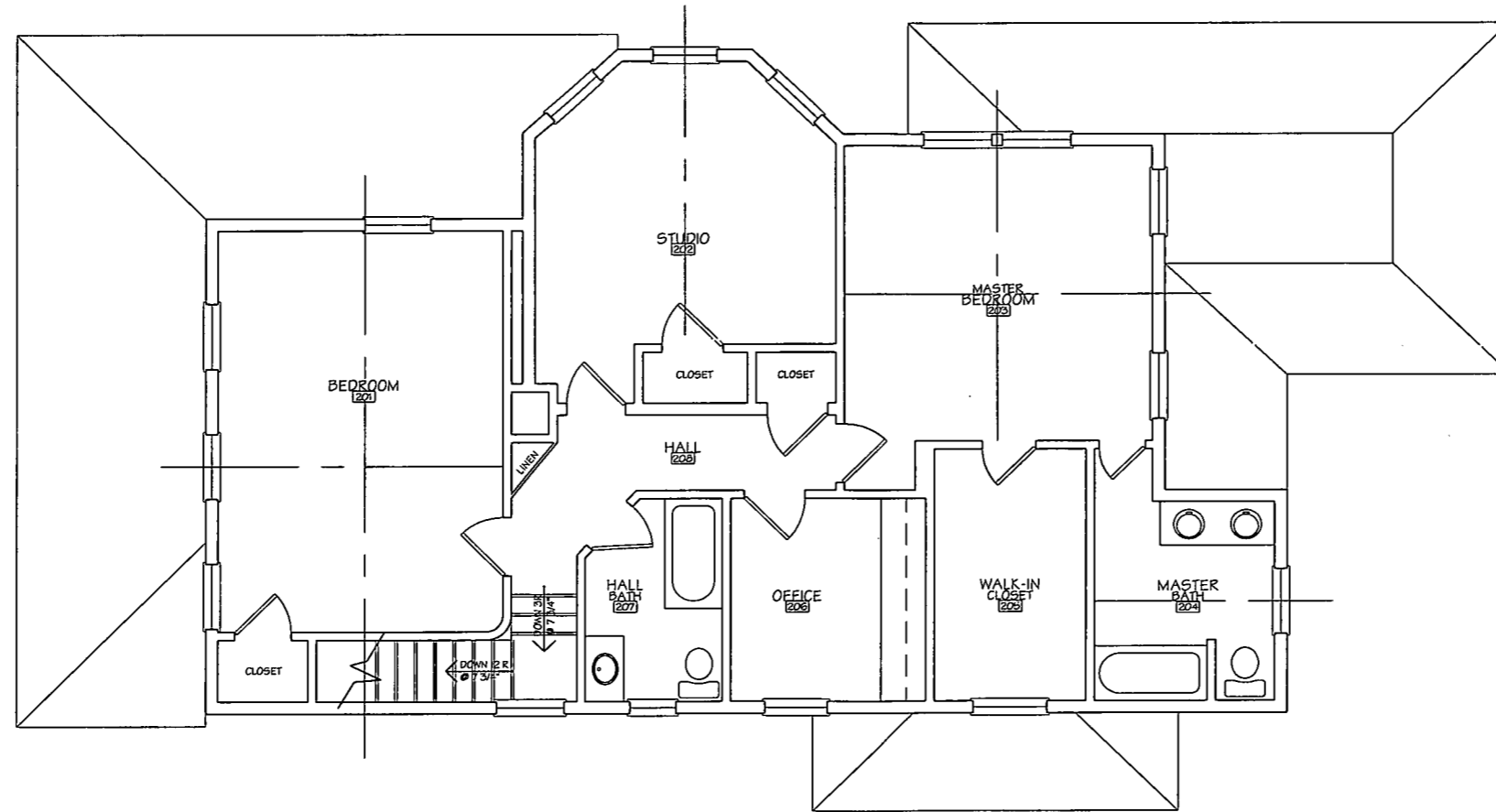
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PROJECT  
THOMSON TILLMAN  
ADDITION  
5808 WARWICK PLACE  
CHEVY CHASE, MD 20815  
TOWN OF SOMERSET

ISSUED

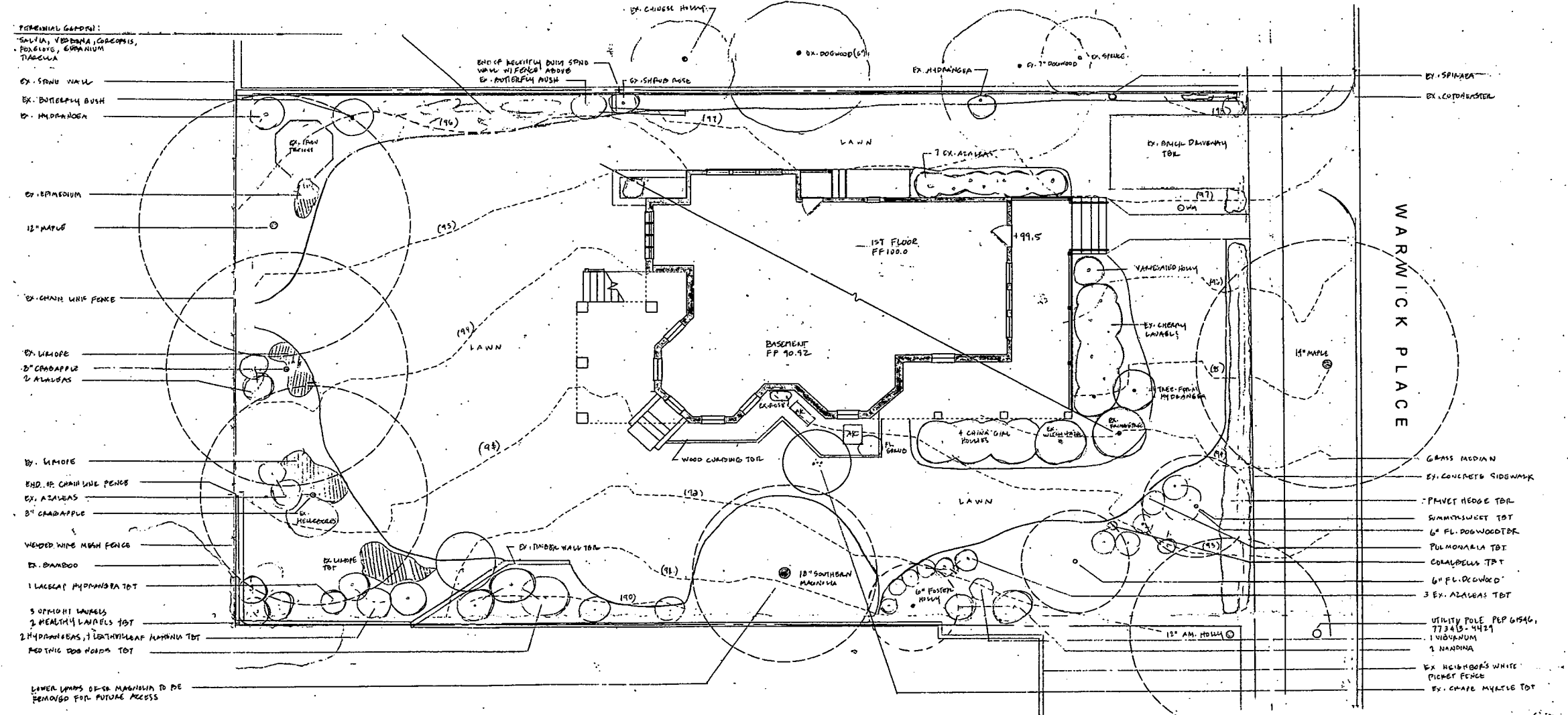
APPLICATION FOR  
HISTORIC AREA  
WORK PERMIT



1 EXISTING SECOND FLOOR PLAN  
EX.2 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION  
SHEET

EX.2

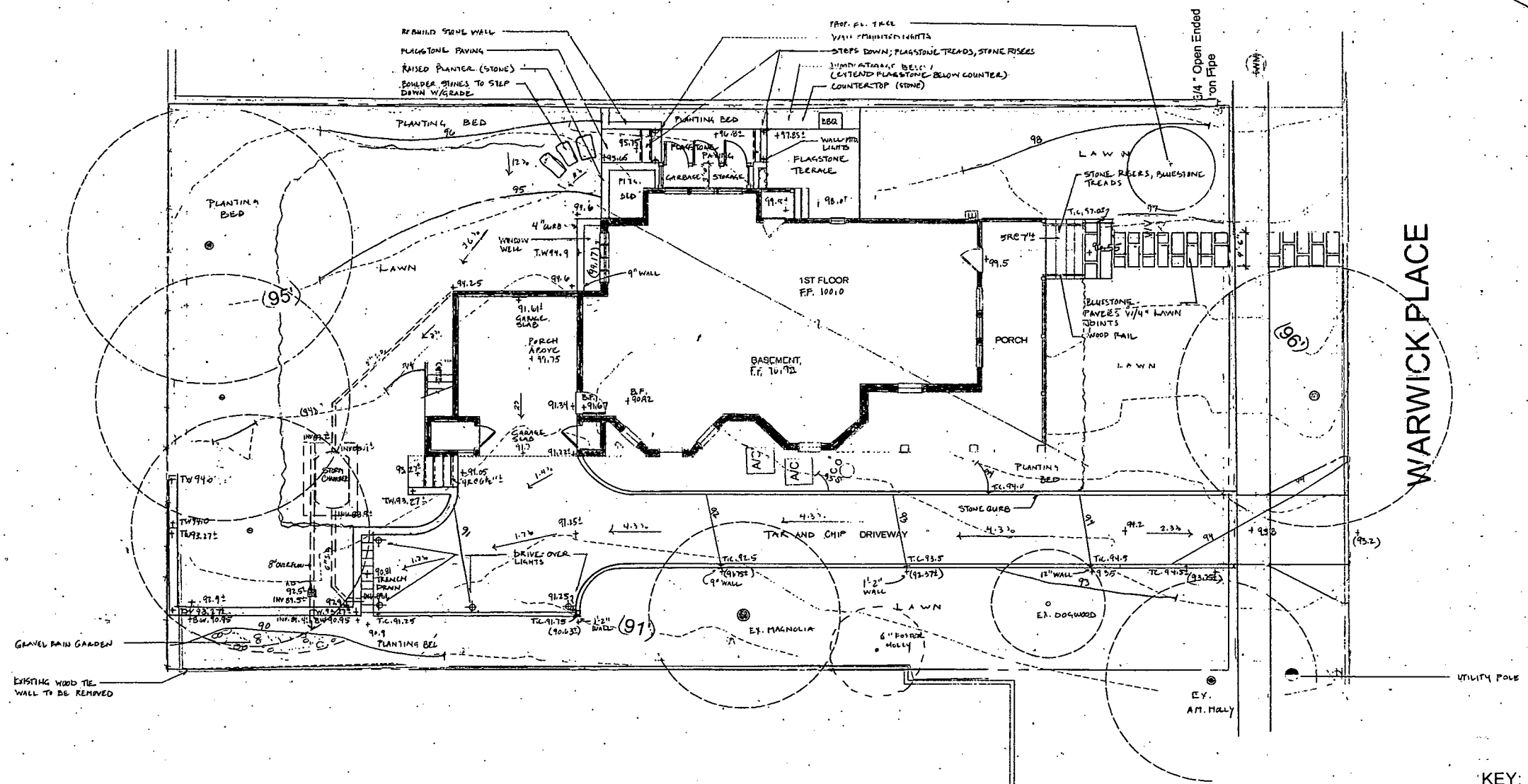


- PERENNIAL GARDEN:**  
 - SALVIA, YERBANA, GIBBERNA,  
 - FOXGLOVE, GIBBERNA,  
 - TRACHEA
- EX. SPRUCE WALK
  - EX. BUTTERFLY BUSH
  - EX. HYDRANGEA
  - EX. EPIMEDIUM
  - 12" MAPLE
  - EX. CHAIN LINK FENCE
  - EX. LIMBOP
  - 2" CRABAPPLE
  - 2" ALABASTER
  - EX. LIMBOP
  - END. OF CHAIN LINK FENCE
  - EX. AZALEAS
  - 8" CRABAPPLE
  - WEDGED WIRE MESH FENCE
  - EX. BAMBOO
  - 1 LACINATE HYDRANGEA TOT
  - 5 ORNAMENTAL WAXES
  - 2 HEALTHY LAURELS TOT
  - 2 HYDRANGEAS, 1 BENTWING LEAF ALYSSUM TOT
  - RED TIC DOG HOLES TOT
  - LOWER LIMBS OF EX. MAGNOLIA TO BE REMOVED FOR FUTURE ACCESS

WARWICK PLACE

- KEY:**
- - - - - EXISTING CONTOUR
  - + (94.5) EXISTING SPOT ELEVATION
  - ⊗ EXISTING TREE
  - T.B.R. TO BE REMOVED
  - T.B.T. TO BE TRANSPLANTED
  - +379.34 PROPOSED SPOT ELEVATION
  - ⌒ 382 PROPOSED CONTOURS

**THOMSON-TILLMAN RESIDENCE**  
 5808 WARWICK PLACE CHEVY CHASE, MD 20815



WARWICK PLACE

**NOTE:**

- PROPERTY LINE/HOUSE LOCATION INFO. TAKEN FROM HOUSE LOCATION SURVEYS BY LANDTECH ASSOCIATES, INC. PROVIDED BY OWNER ON 1-11-05
- TOPOGRAPHIC INFO. TAKEN FROM ALL-IN-ONE SURVEYS TOPOGRAPHIC SURVEY DATED MAY 2006

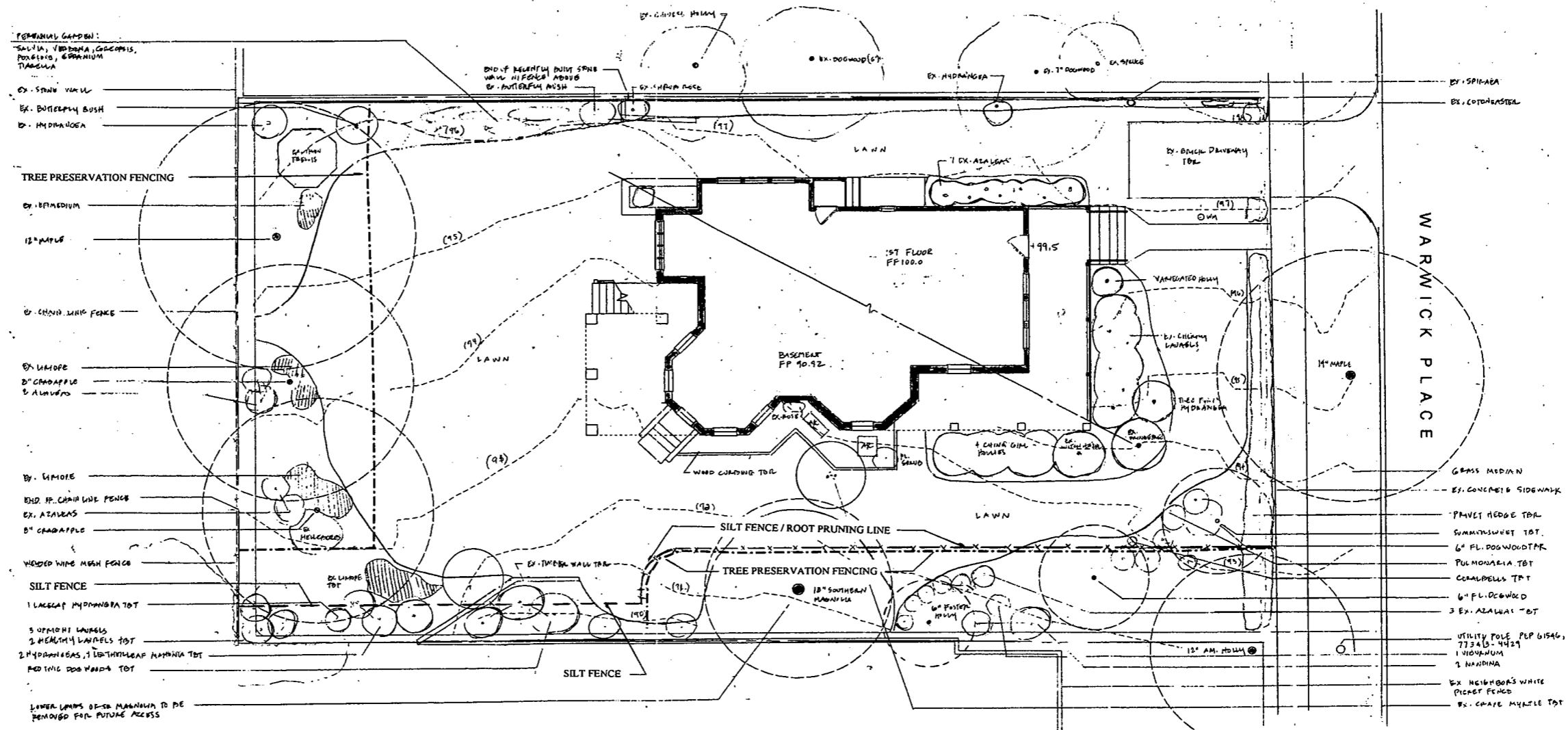
**KEY:**

	EXISTING CONTOUR
+ (390.5)	EXISTING SPOT ELEVATION
	EXISTING TREE
T.B.R.	TO BE REMOVED
T.B.T.	TO BE TRANSPLANTED
+379.34	PROPOSED SPOT ELEVATION
	PROPOSED CONTOURS

**THOMSON-TILLMAN RESIDENCE**  
5808 WARWICK PLACE CHEVY CHASE, MD 20815

LILA FENDRICK  
landscape architecture & garden design  
6504 West Avenue Chevy Chase, Maryland 20815 (301) 947-7700

SITE PLAN  
1/8" = 1'-0"  
1.18.05 HFC Submittal



- FORMAL GARDEN:**  
 SALVIA, VERBENA, GARGANIS,  
 POLYANTHUS, GERANIUM,  
 TRACHEUMA
- EX. SPINACH  
 EX. BUTTERFLY BUSH  
 EX. HYDRANGEA
- TREE PRESERVATION FENCING**
- EX. BIFIDUM  
 12" MAPLE  
 EX. CHINA LIME FENCE  
 EX. LINDA  
 EX. CRABAPPLE  
 EX. ALNUS  
 EX. LIMBIE  
 EX. CHINA LIME FENCE  
 EX. ATALEAS  
 EX. CRABAPPLE  
 WOODEN WIRE MESH FENCE  
**SILT FENCE**  
 1 LACCAEAE HYDRANGEA TOT  
 3 OPILOIDI LARVELS  
 2 HEALING LARVELS TOT  
 2 HYDRANGEAS, 1 LEPIDOTHEAF ALAMANDA TOT  
 RED WING DOGWOOD TOT
- LINER LANDS BE-GR MANHATTAN TO BE  
 DEMOLISHED FOR FUTURE ACCESS

WARWICK PLACE

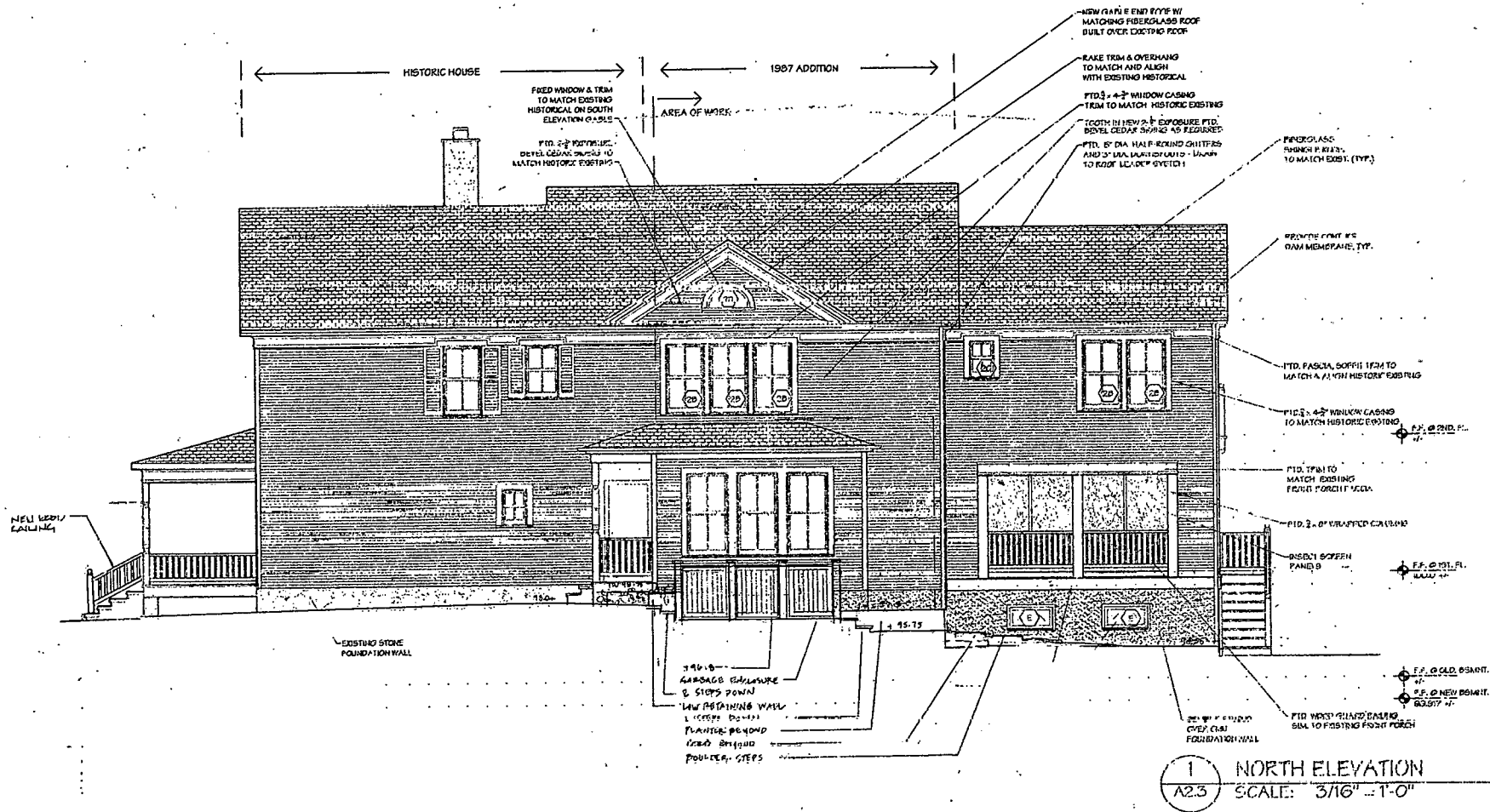
**TREE PRESERVATION NOTES:**

1. Tree Preservation Fencing to be 14 1/2 gauge 2" x 4" 4'-0" high wire mesh supported by 6' long toe-posts at 10'-0" o.c. maximum spacing. Top of fence to be marked with bright flagging, placed 3'-0" o.c.
2. Section of fence that runs from the sidewalk to the north side of the southern magnolia must be faced on the construction side with sediment control fabric to prevent sediment from being washed into the critical root zones of the magnolia and flowering dogwood.
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4. Treat designated trees with Mycorrhizal inoculant @ four oz. per 100 gallons water. Fertilizer to be Bartlett Boost 30-0-7 mixed at 20 pounds per 100 gallons water. Application rate to be 40-50 gallons per 1,000 square feet of treatment area. Post construction treatment area to extend from the trunk to radius of 20' in all directions or the furthest extent of branch spread, which ever is greater.

5. Treatments to be applied by liquid soil injection at 250 psi, three feet o.c., four 12" deep over entire treatment area.
6. Project Arborist to check site conditions periodically during construction. Follow-up with twice annual inspections by Arborist for three years after construction is complete, once each year thereafter.
7. For questions, contact Project Arborist, Tim Zastrow, Bartlett Tree Experts, (301) 343-2562.

**KEY:**

- - - - -	EXISTING CONTOUR	- - - - -	SILT FENCE AND ROOT PRUNING LINE
+ (344.5)	EXISTING SPOT ELEVATION	- - - - -	TREE PRESERVATION FENCE
(C)	EXISTING TREE	- - - - -	SILT FENCE
TBR	TO BE REMOVED		
TBT	TO BE TRANSPLANTED		
+379.34	PROPOSED SPOT ELEVATION		
382	PROPOSED CONTOURS		



1 NORTH ELEVATION  
A2.3 SCALE: 3/16" = 1'-0"







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Voice 301-652-4022  
Fax 301-652-4094

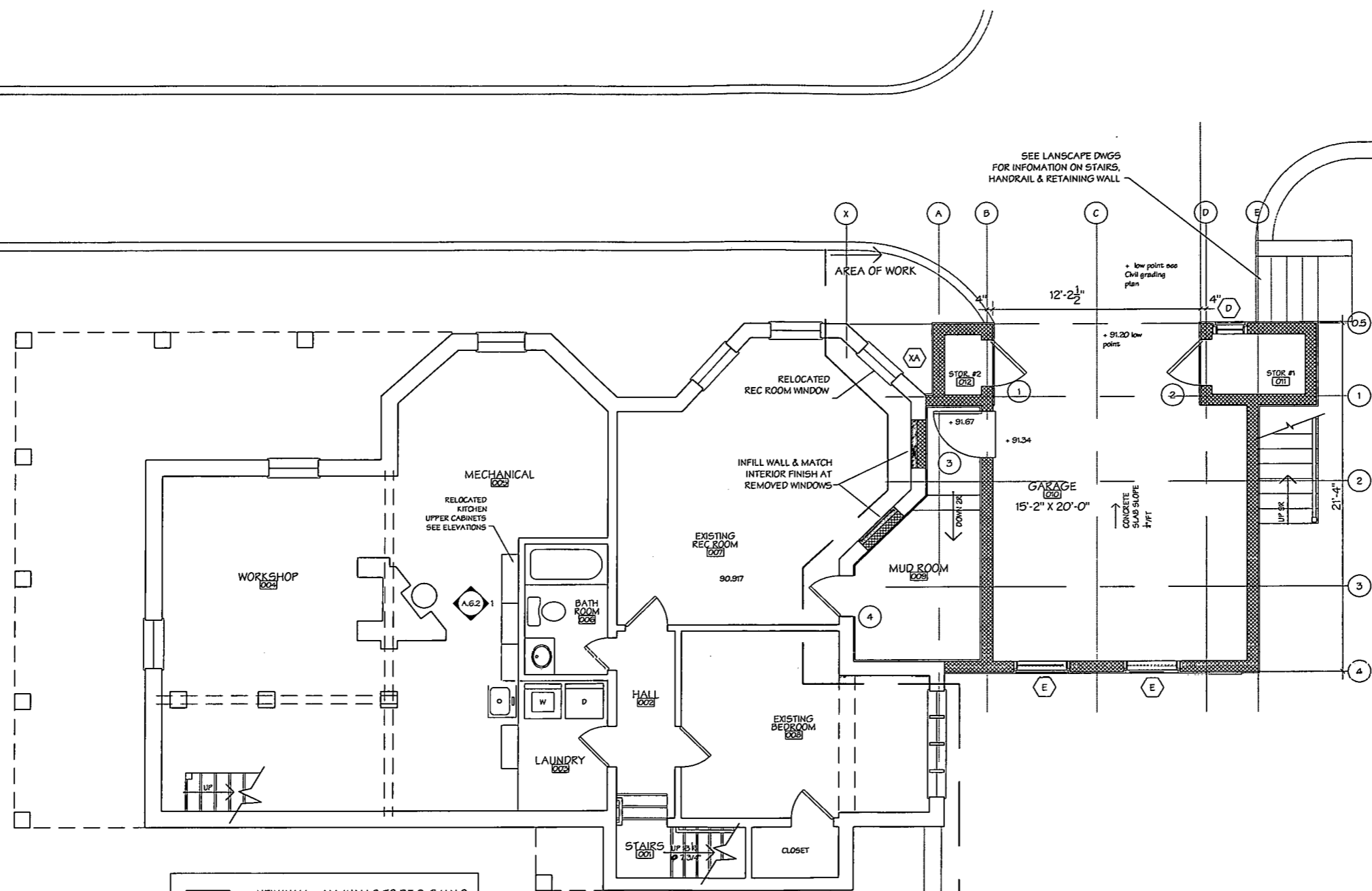
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PROJECT

THOMSON TILLMAN  
ADDITION  
5808 WARWICK PLACE  
CHEY CHASE, MD 20815  
TOWN OF SOMERSET

ISSUED

APPLICATION FOR  
HISTORIC AREA  
WORK PERMIT



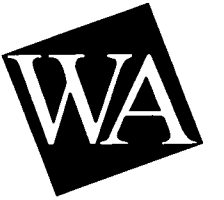
NEW WALL - ALL WALLS TO BE 2x6 U.N.O.  
 NEW 8" CMU WALL  
 EXISTING WALL TO REMAIN -  
 PATCH, REPAIR & PAINT AS REQ'D

**1** BASEMENT FLOOR PLAN  
 A.1.0 SCALE: 1/8" = 1'-0"

SEE LANDSCAPE DRWGS. FOR  
REBUILT STONE PLANTER WALL, STEPS  
TO GRADE AND TRASH ENCLOSURE  
AT NORTH SIDE

PRELIMINARY  
NOT FOR CONSTRUCTION  
SHEET

A.1.0



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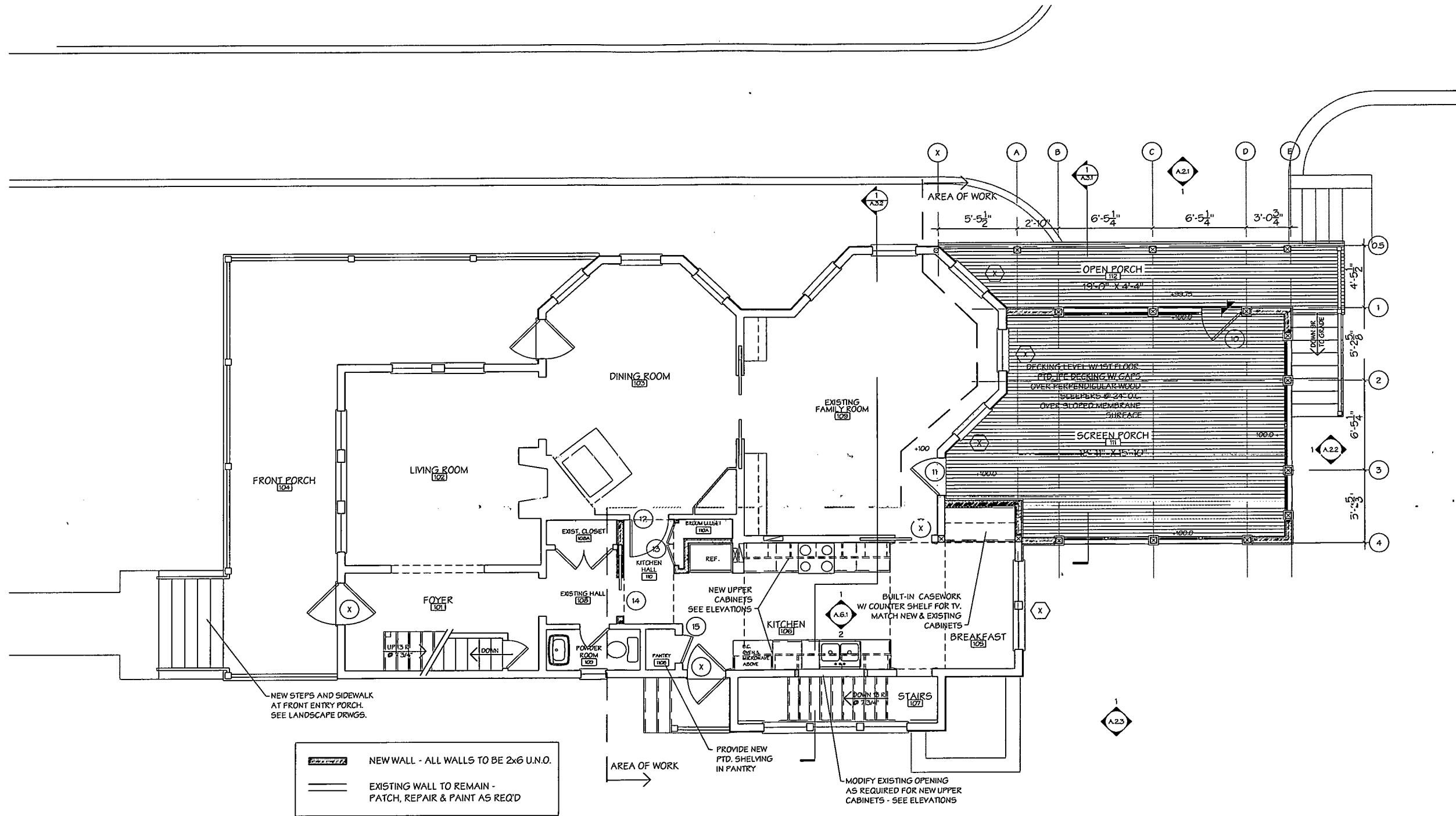
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Voice 301-652-4022  
Fax 301-652-4094

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THOMSON TILLMAN ADDITION  
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1 FIRST FLOOR PLAN  
A.11 SCALE: 1/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION SHEET

A.1.1



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Voice 301-452-4022  
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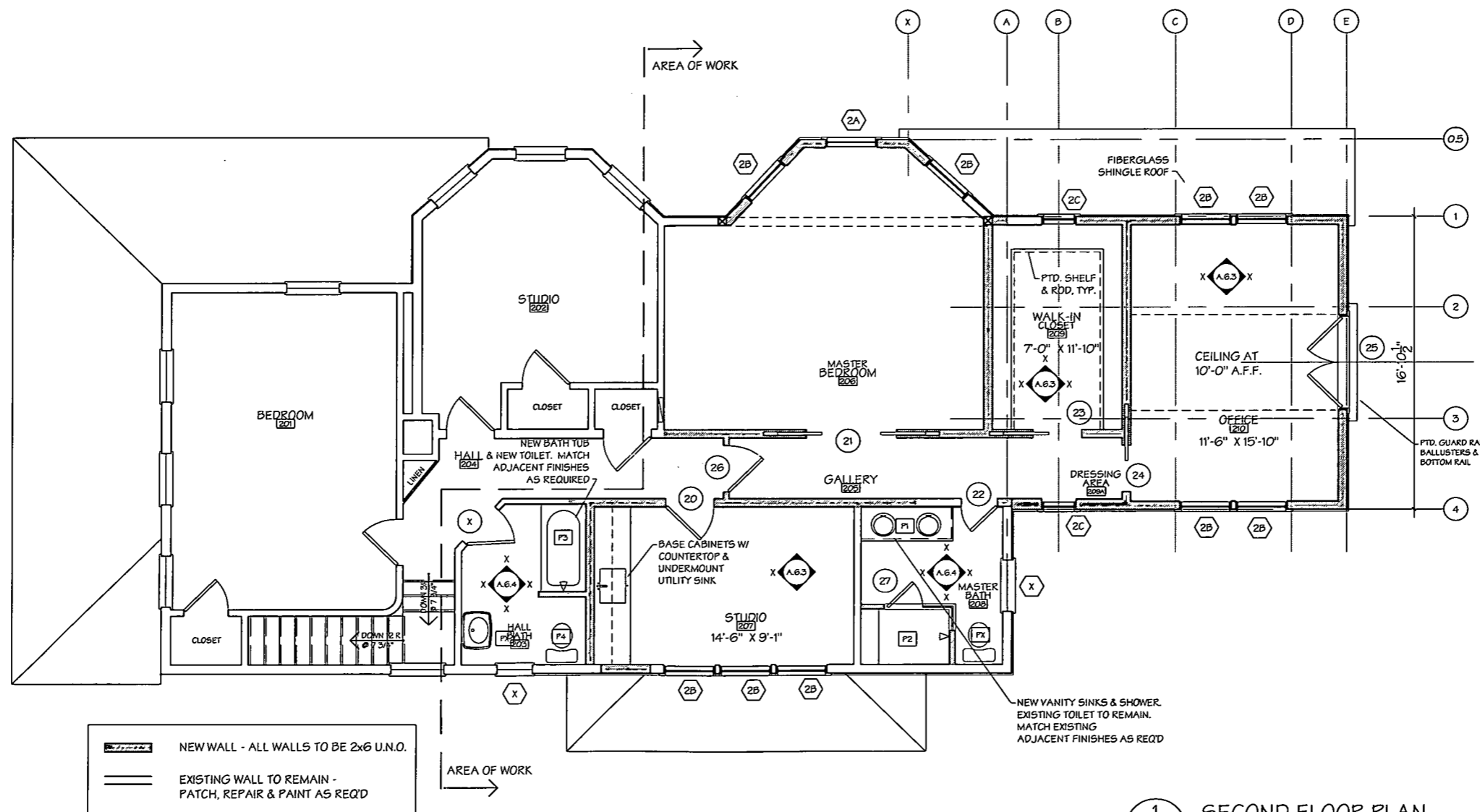
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NOT FOR CONSTRUCTION  
SHEET

A.1.2



WIEDEMANN ARCHITECTS LLC

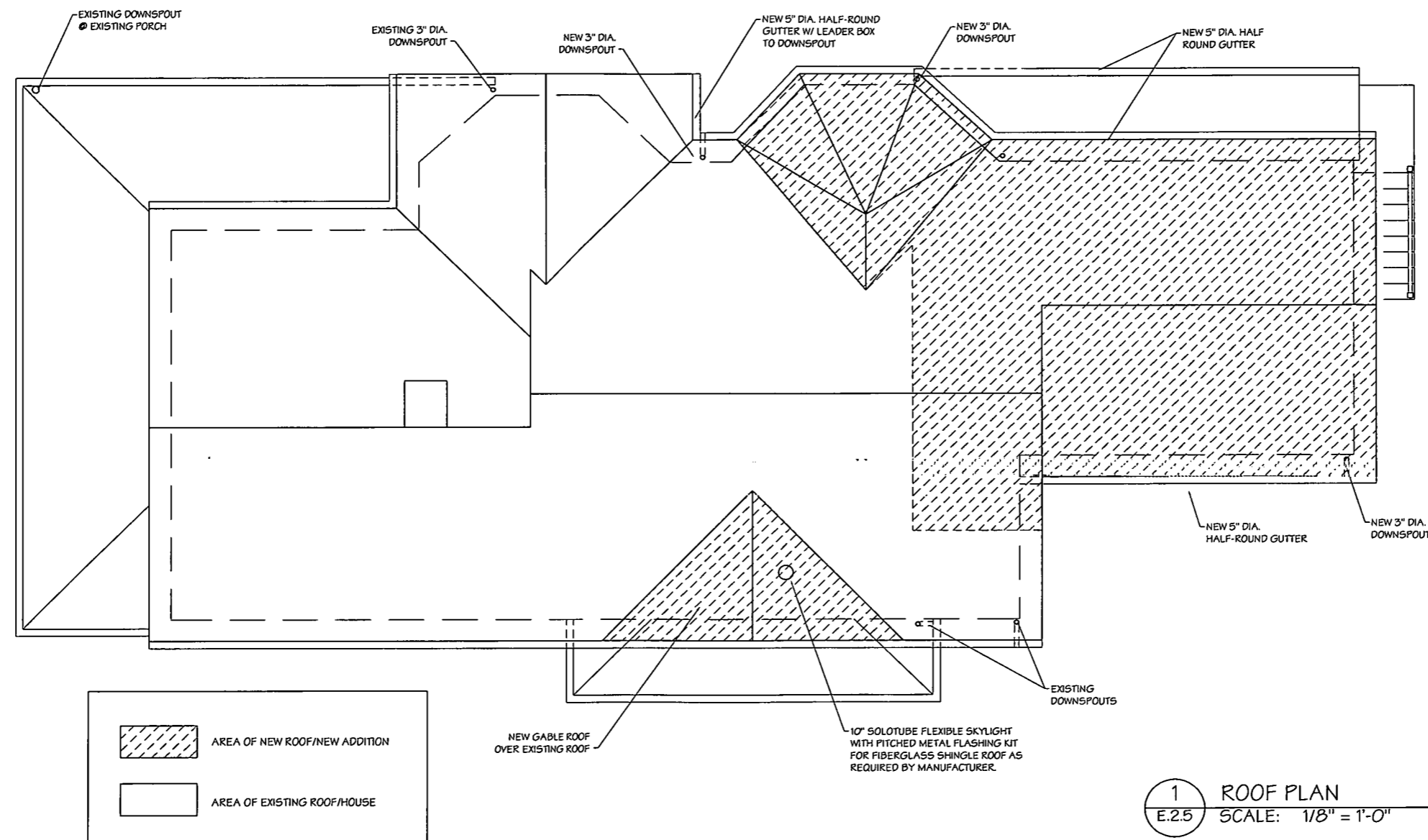
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A.1.3



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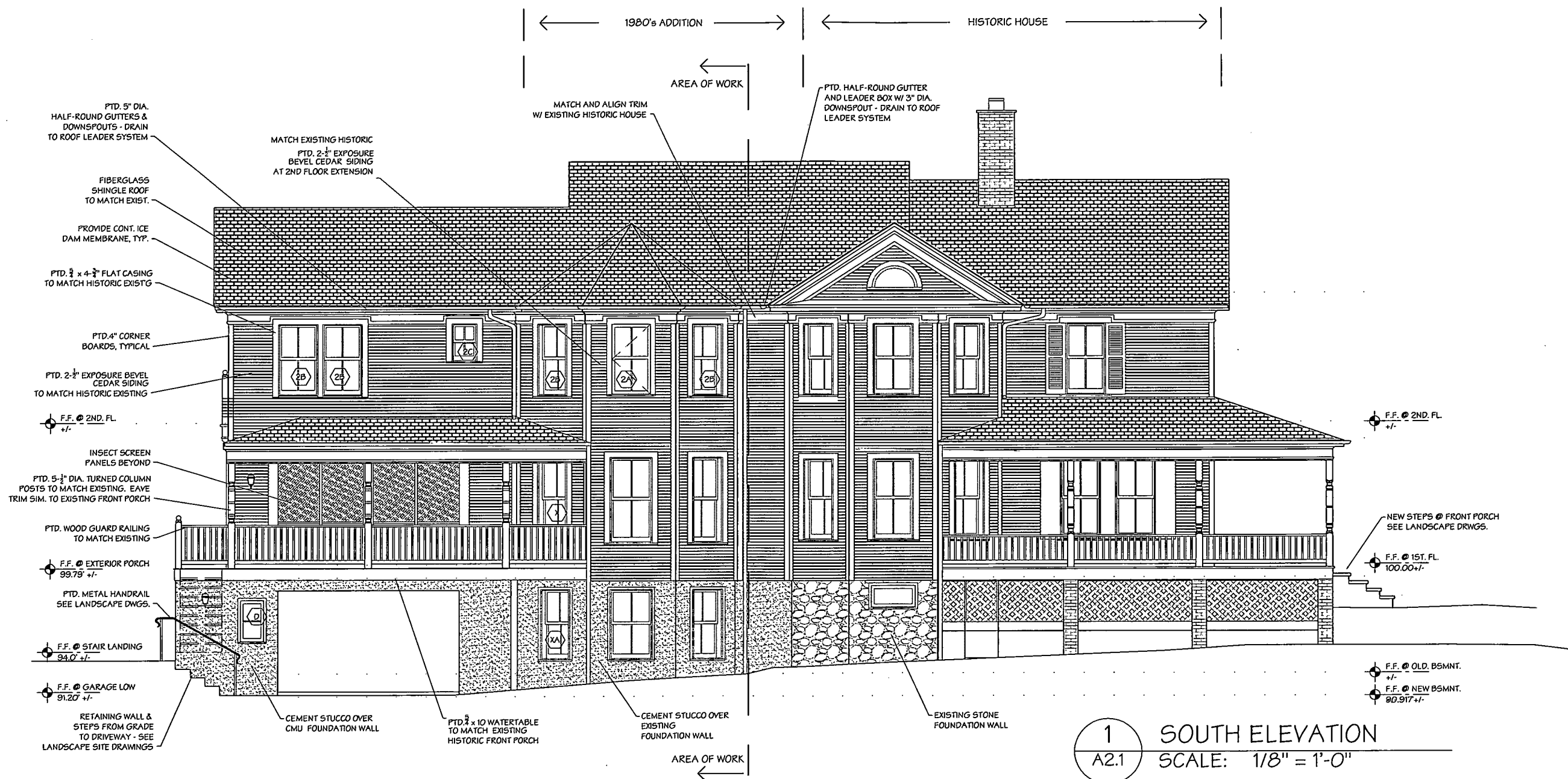
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PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET

A.2.1



WIEDEMANN  
ARCHITECTS  
LLC

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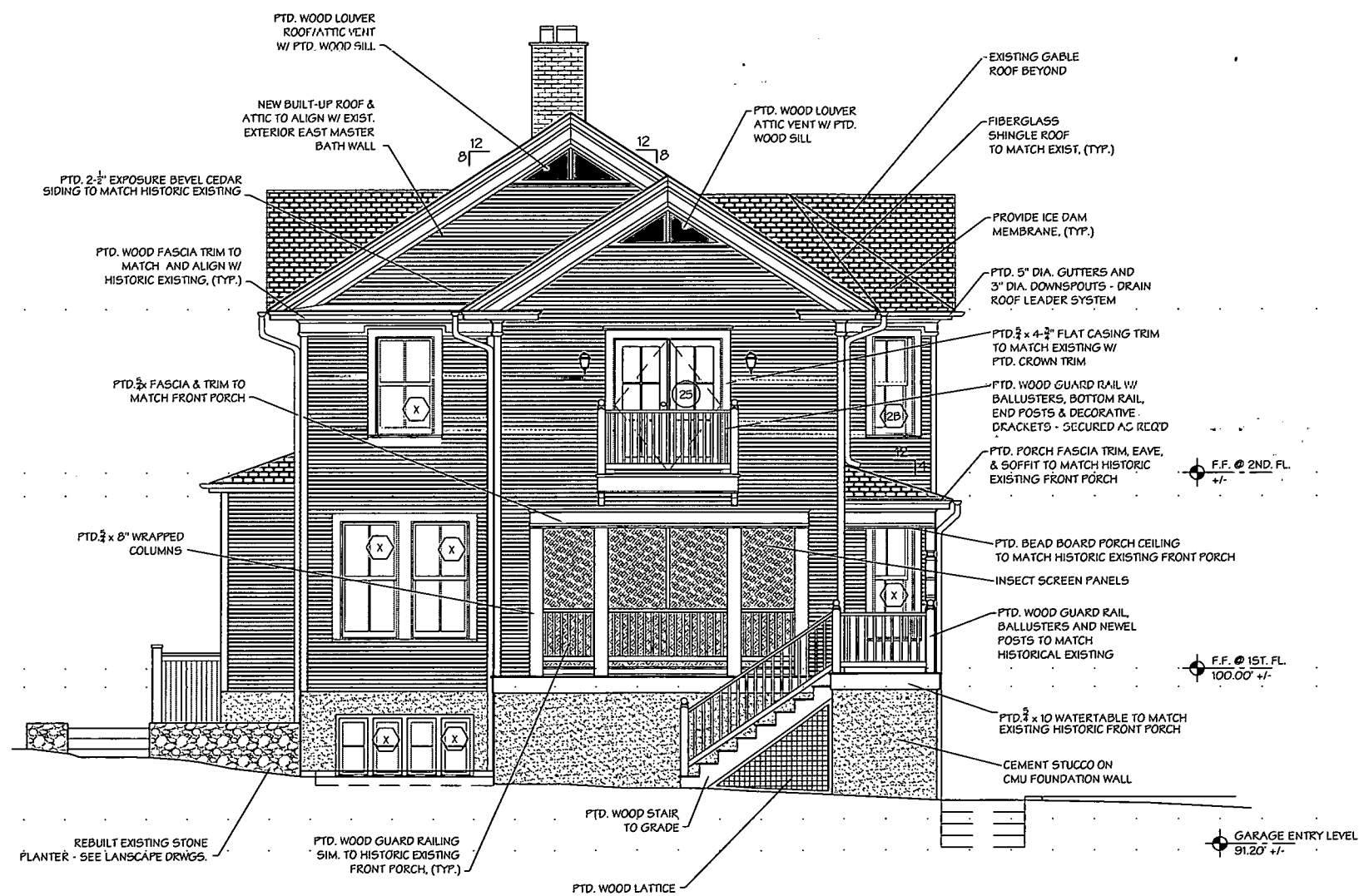
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1 WEST ELEVATION  
A2.2 SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET

A2.2



**WIEDEMANN ARCHITECTS LLC**

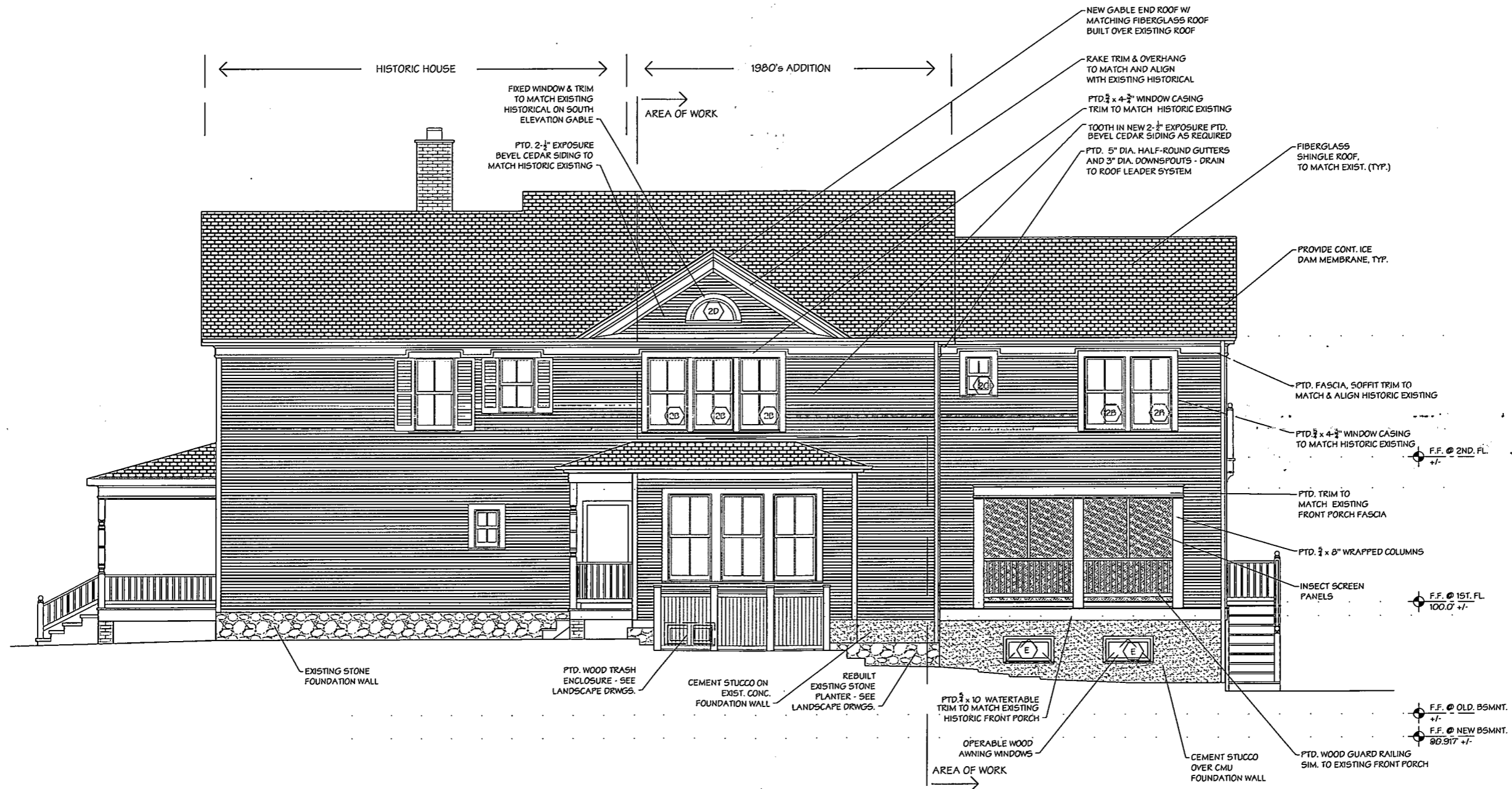
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1 NORTH ELEVATION  
A2.3 SCALE: 1/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION SHEET

A2.3