

6950 CARTER AVE.
TALOMA PART H.P.

2011 HAWP



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: 6/23/11

MEMORANDUM

TO: Jennifer Hughes, Acting Director
Department of Permitting Services

FROM: Anne Fothergill *AF*
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #569918—alterations to wheelchair ramp and front doors

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on June 22, 2011.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Bank of America
Address: 6950 Carroll Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Anthony Barsi

Daytime Phone No.: 703-908-4506

Tax Account No.: 01078220

Name of Property Owner: Bank of America Daytime Phone No.: _____

Address: 101 N. Tryon Street, Charlotte, NC 28255
Street Number City Street Zip Code

Contractor: Meckley Services Inc. Phone No.: 410-277-3335

Contractor Registration No.: 02418421

Agent for Owner: Kevin Burns Daytime Phone No.: 703-302-2522

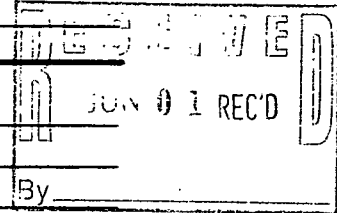
LOCATION OF BUILDING/PREMISES

House Number: 6950 Street: Carroll Avenue

Town/City: Takoma Park Nearest Cross Street: Willow Avenue

Lot: 1 Block: 5 Subdivision: 025

Liber: _____ Folio: _____ Parcel: _____



PART ONE: TYPE OF PERMIT/ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Entry & Ramp

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Anthony Barsi
Signature of owner or authorized agent

6-1-11
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 6/23/11

Application/Permit No.: 569918 Date Filed: 6/1/11 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The property is currently an existing Bank of America branch.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

In an effort to bring this branch up to current ADA accessibility standards the existing pair of 30" wide entry doors will need to be re-swung out and have automatic push button door operators installed. As well as the existing ramp extended and re-sloped to meet the latest accessibility standards.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

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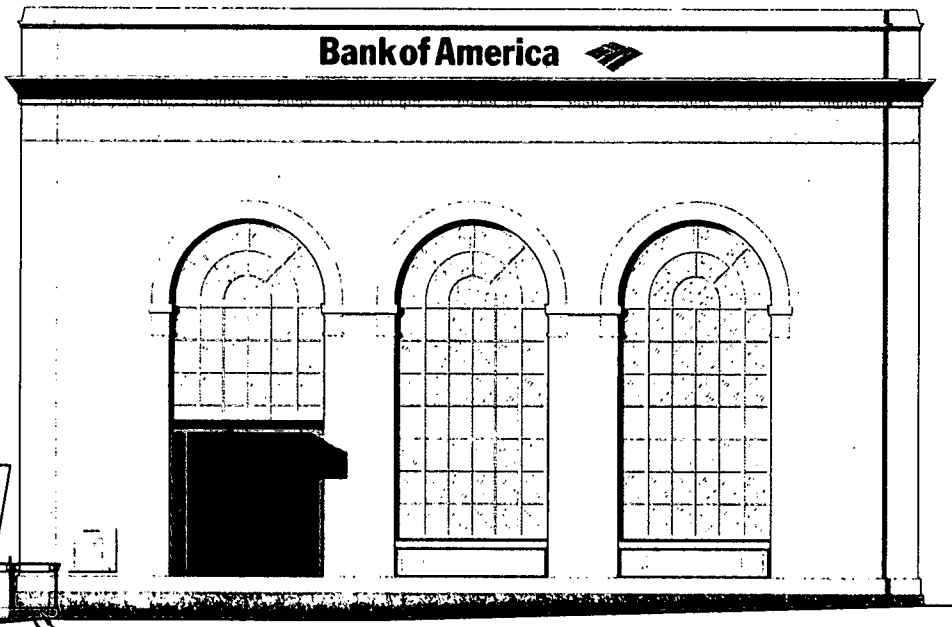


Carroll Avenue Elevation

EXISTING BRONZE DOORS TO BE RE-SWUNG OUT, PUSH PLATES SALVAGED FROM VESTIBULE DOORS TO BE INSTALLED ON INTERIOR SIDE. NEW BRONZE HANDRAIL AT STAIRS TO MATCH NEW RAMP HANDRAIL

NEW ADA COMPLIANT RAMP
NEW BRASS HANDICAPPED DOOR OPERATOR CONTROL

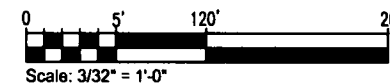
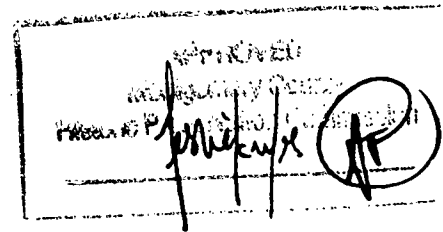
EXISTING PLANTER TO BE EXTENDED
RAMP CURB TO MATCH EXISTING STAIRS AND PLANTER CURBS



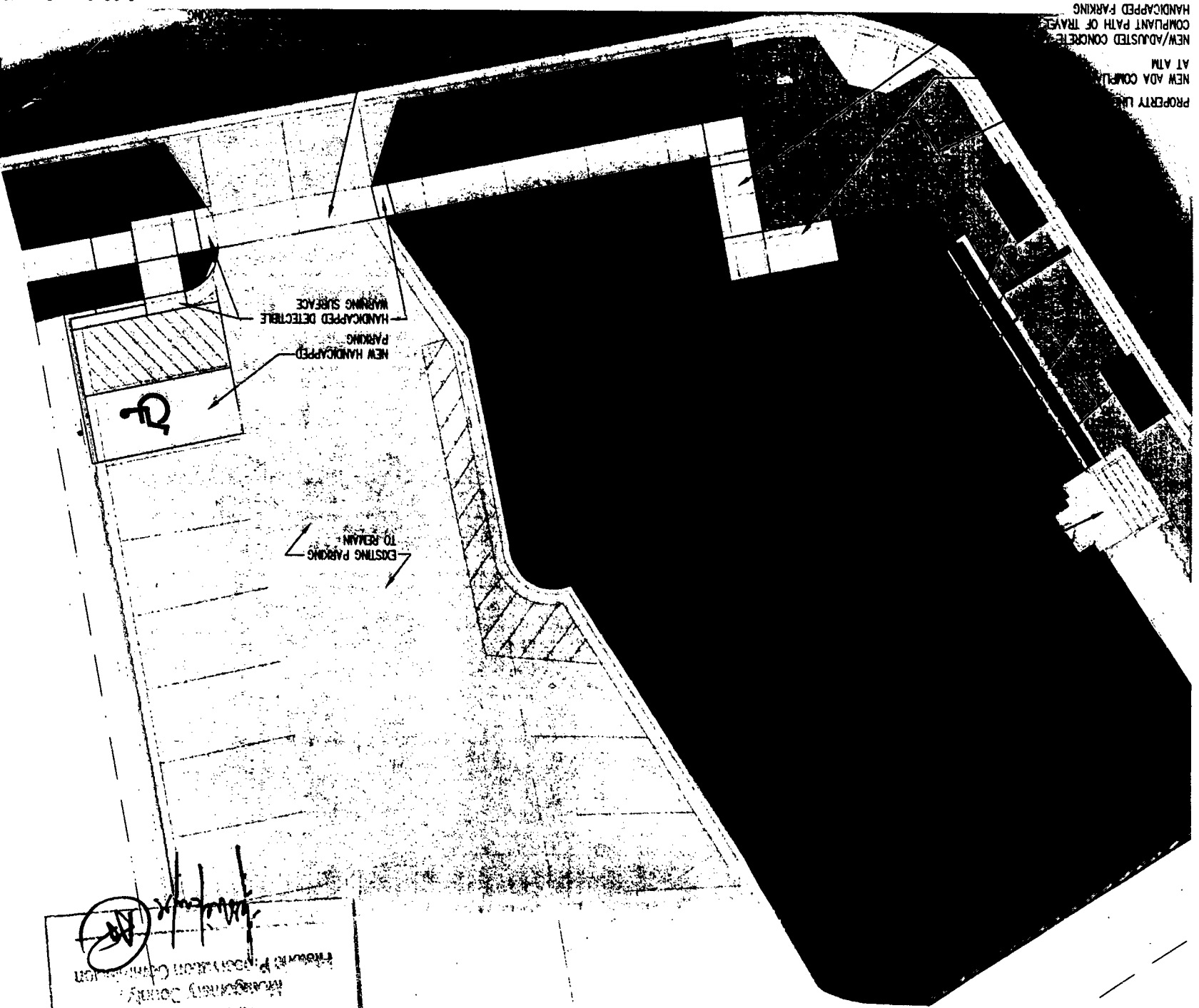
Willow Avenue Elevation

NEW BRONZE HANDRAIL

NEW ADA COMPLIANT RAMP
RAMP CURB TO MATCH EXISTING STAIRS AND PLANTER CURBS



PROJECT NAME	PROJECT NUMBER	223.7630.00
	ISSUE DATE	06/01/2011
DESCRIPTION	REFERENCE	PR-03
	BULLETIN DRAWING	PR-03.1
Elevations		
Bank of America 6950 Carroll Avenue Takoma Park, MD		
Principal in Charge	_____	
Project Manager	_____	
Drawn By	_____	
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© June 2010		
<p>LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING</p> <p>450 North Forth Ave. Suite 135, Arlington, VA 22202 T 703.902.4552 F 703.902.4552</p> <p>WWW.LITTLEONLINE.COM</p>		



PROPERTY LINE
 NEW ADA COMPLIANT
 AT ATM
 NEW/ADJUSTED CONCRETE
 COMPLIANT PATH OF TRAVEL
 HANDICAPPED PARKING

Scale 1/16" = 1'-0"
 5 2.5 0 5 10

APPROVED
 Montgomery County
 Planning & Zoning Commission
 [Signature]
 [Seal]

PROJECT NAME

Site Plan

PROJECT NUMBER

223.7630.00

ISSUE DATE

06/01/2011

DESCRIPTION

Bank of America
 6950 Carroll Avenue
 Takoma Park, MD

REFERENCE

PR-03
 BULLETIN DRAWING
 PR-03.2

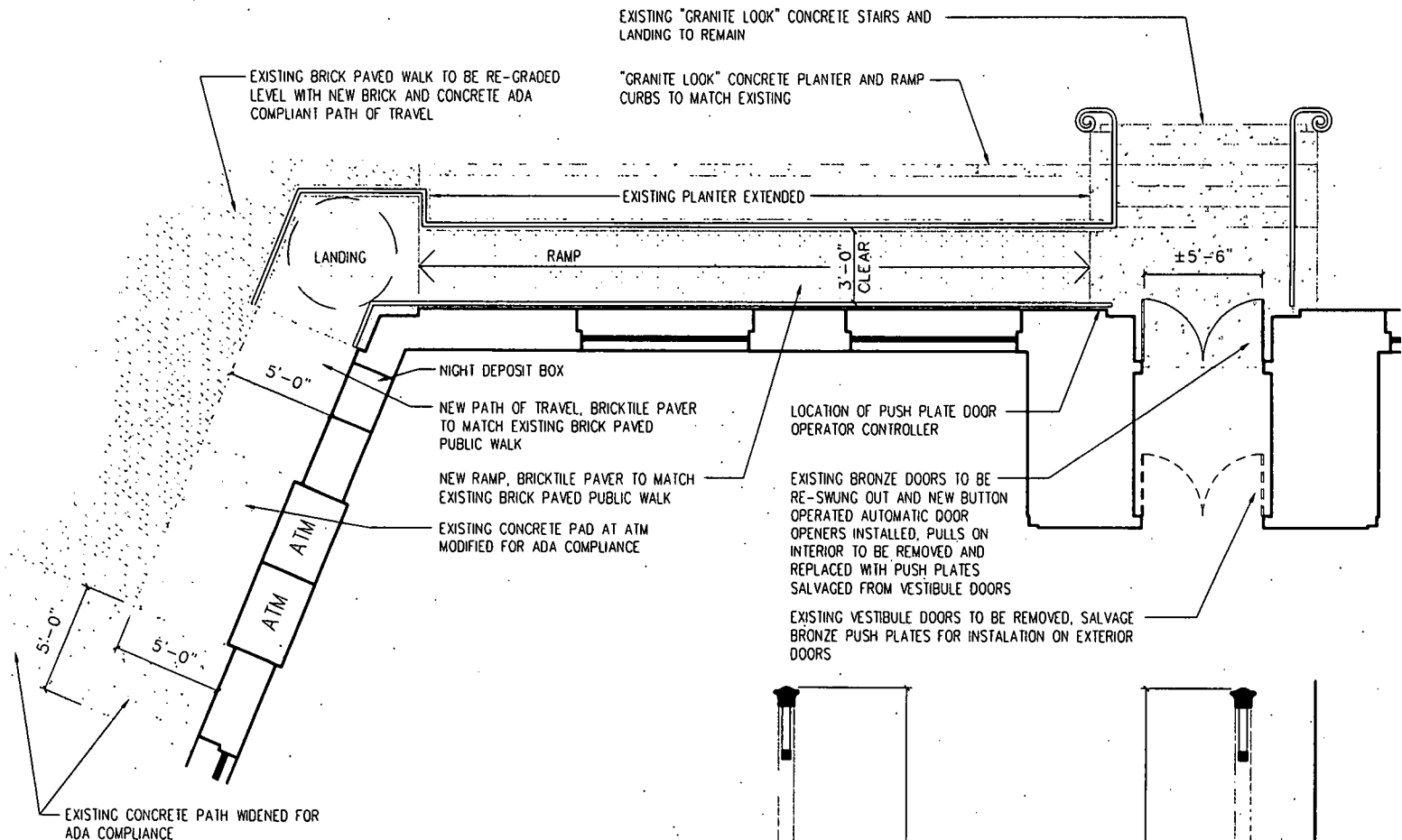
Principal in Charge: _____
 Project Manager: _____
 Drawn By: _____

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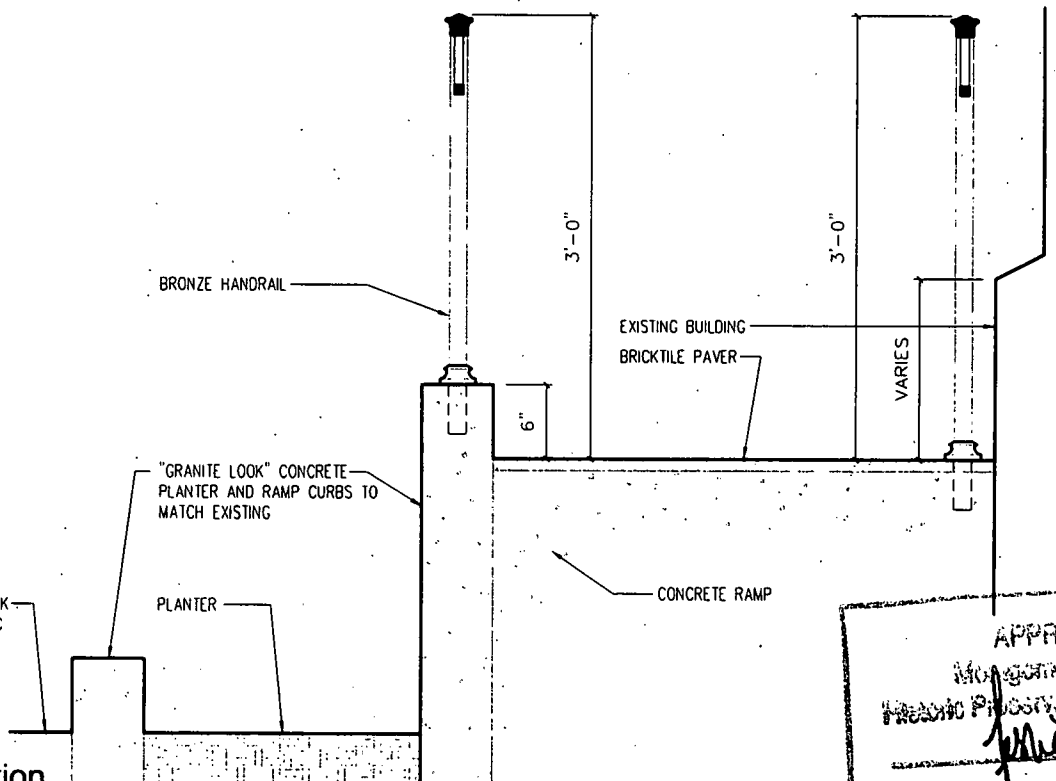
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 T 703.908.4301 F 703.908.4302
 www.littleonline.com



Ramp and Entry Door Plan
Scale: 1/8" = 1'-0"



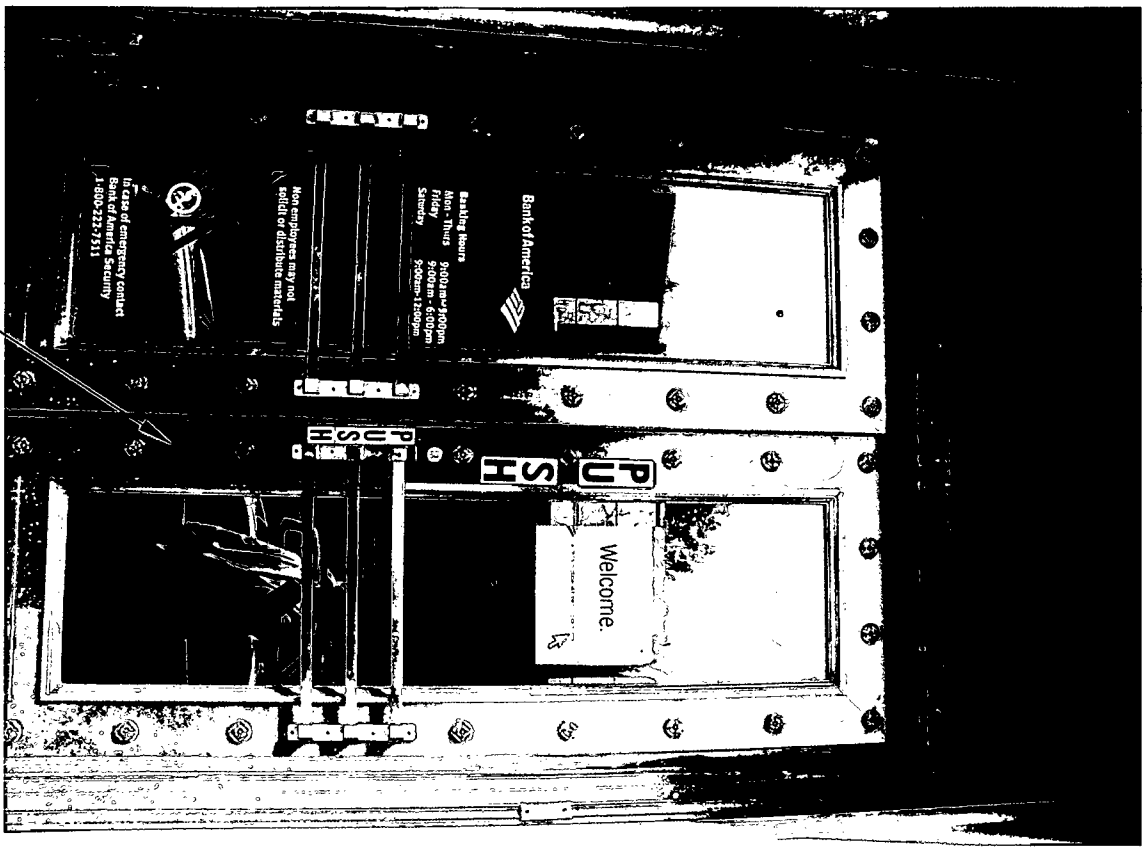
Ramp Section
Scale: 3/4" = 1'-0"

APPROVED
Montgomery County
Health Protection Commission
[Signature]

PROJECT NUMBER	223.7630.00
	ISSUE DATE
REFERENCE	06/01/2011
	PR-03
BULLETIN DRAWING	PR-03.3
PROJECT NAME	
Ramp and Entry Door Plan	
Ramp Section	
DESCRIPTION	
Bank of America 6950 Carroll Avenue Takoma Park, MD	
Principal in Charge:	
Project Manager:	
Drawn By:	
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Entry Doors

Exterior



EXISTING PAIR 30" BRONZE ENTRY DOORS
(DOORS CURRENTLY SWING IN)

Interior



EXISTING VESTIBULE DOORS

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

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T: 703.908.4501 F: 703.908.4502

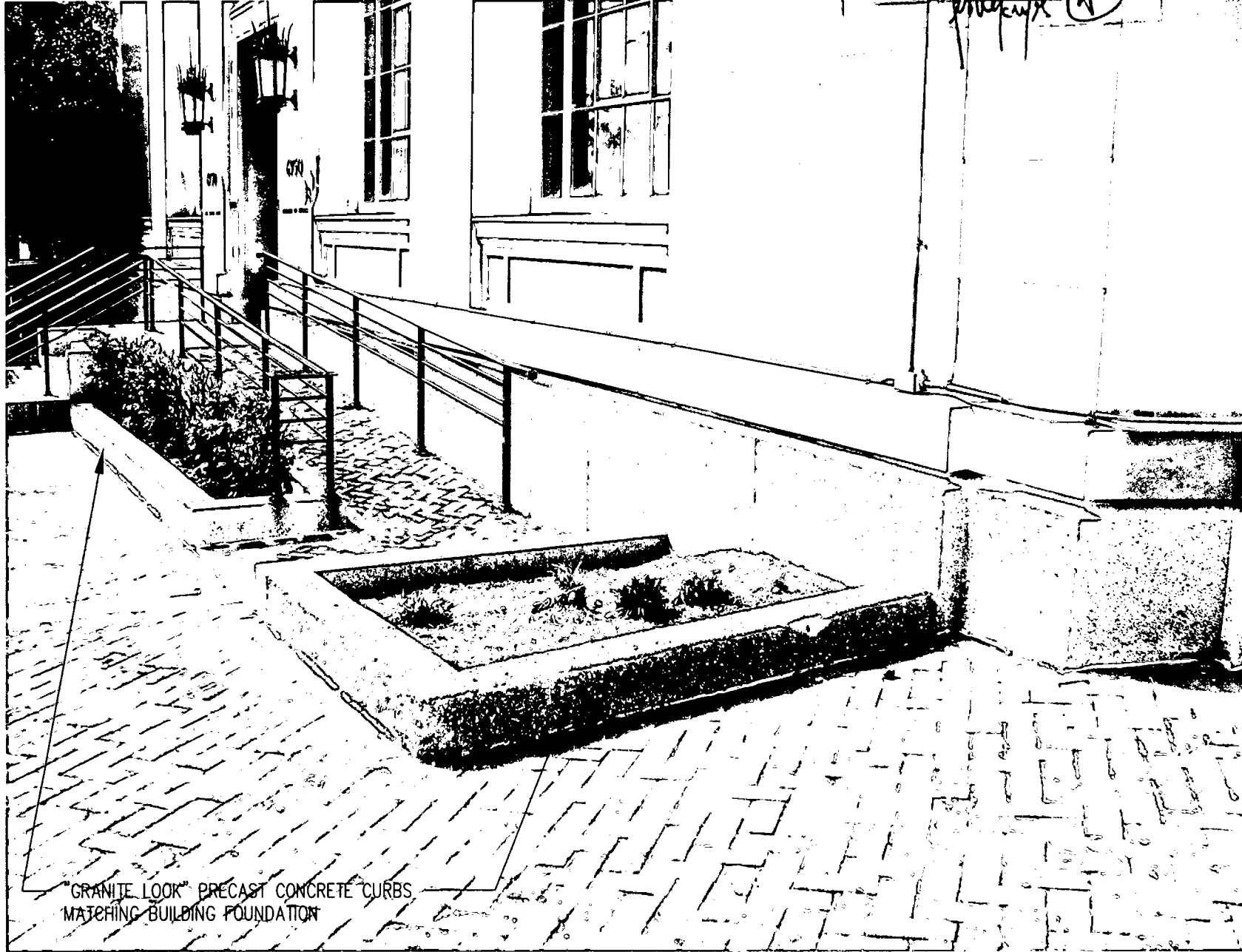
www.littleonline.com

Principal In Charge: _____
Project Manager: _____
Drawn By: _____

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PROJECT NAME	PROJECT NUMBER
Existing Conditions Photos	223.7630.00
	ISSUE DATE
	06/01/2011
DESCRIPTION	REFERENCE
Bank of America 6950 Carroll Avenue Takoma Park, MD	BULLETIN DRAWING
	PR-00.4



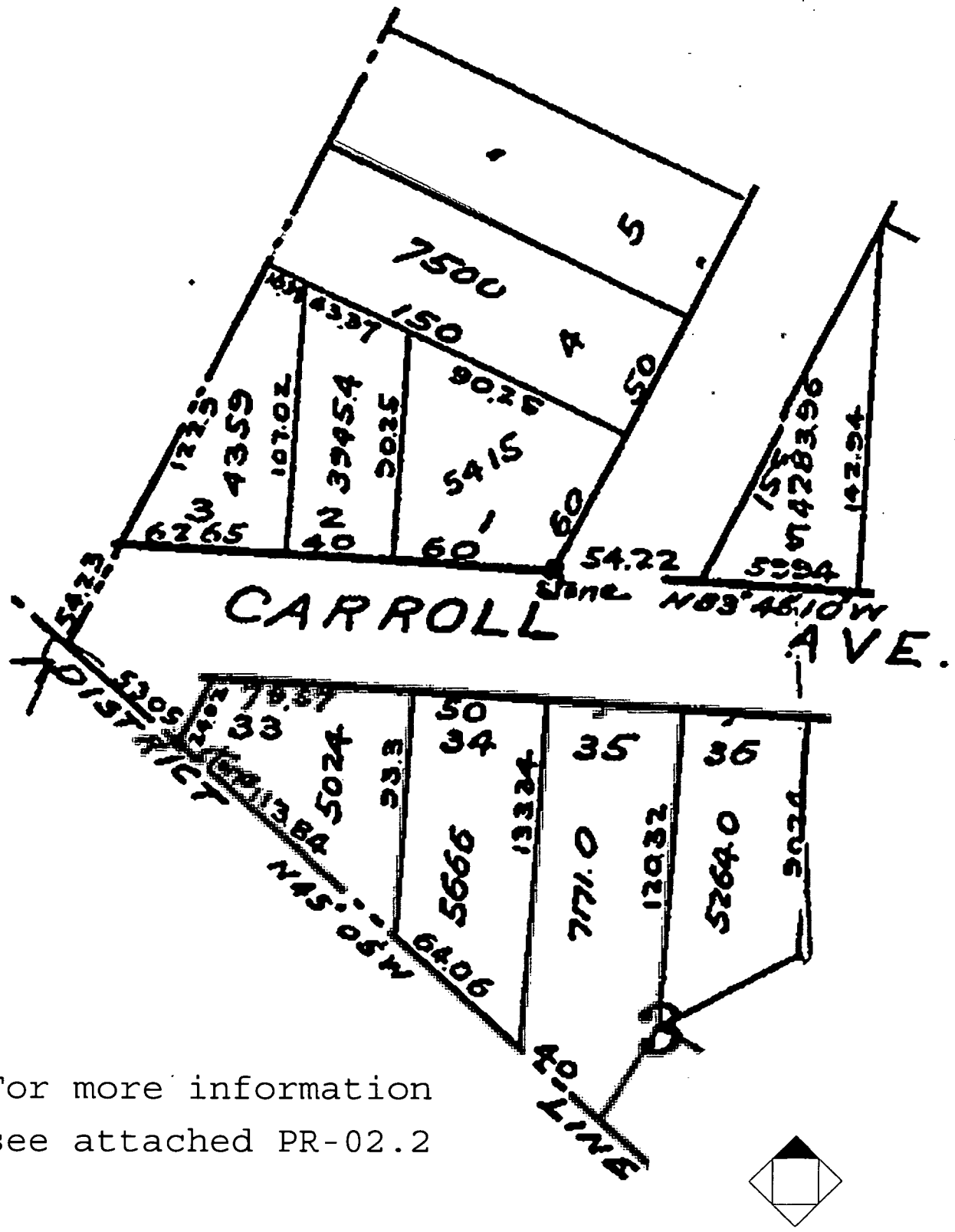
"GRANITE LOOK" PRECAST CONCRETE CURBS
MATCHING BUILDING FOUNDATION

APPROVED
Montgomery County
Historic Preservation Commission

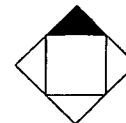
[Signature] *[AP]*

Existing Ramp

PROJECT NUMBER	223.7630.00
	ISSUE DATE
PROJECT NAME	06/01/2011
	REFERENCE
DESCRIPTION	BULLETIN DRAWING
	PR-00.5
Existing Conditions Photos	
Bank of America 6950 Carroll Avenue Takoma Park, MD	
Principal in Charge:	
Project Manager:	
Drawn By:	
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For more information
see attached PR-02.2



Shade portion to indicate North

Corner Elevation
 Carroll Avenue & Willow Avenue



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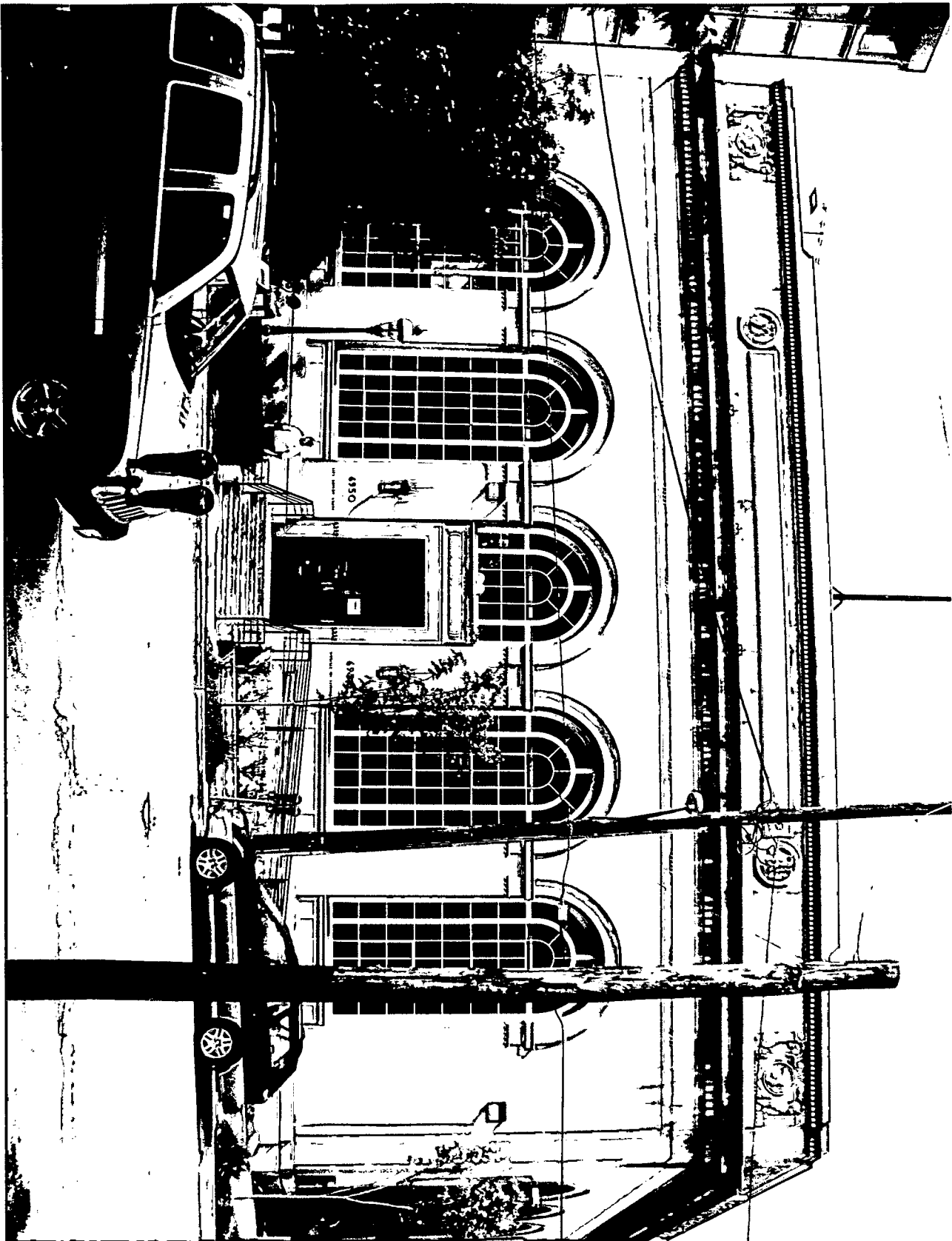
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		PR-00.1	

Carroll Avenue Elevation



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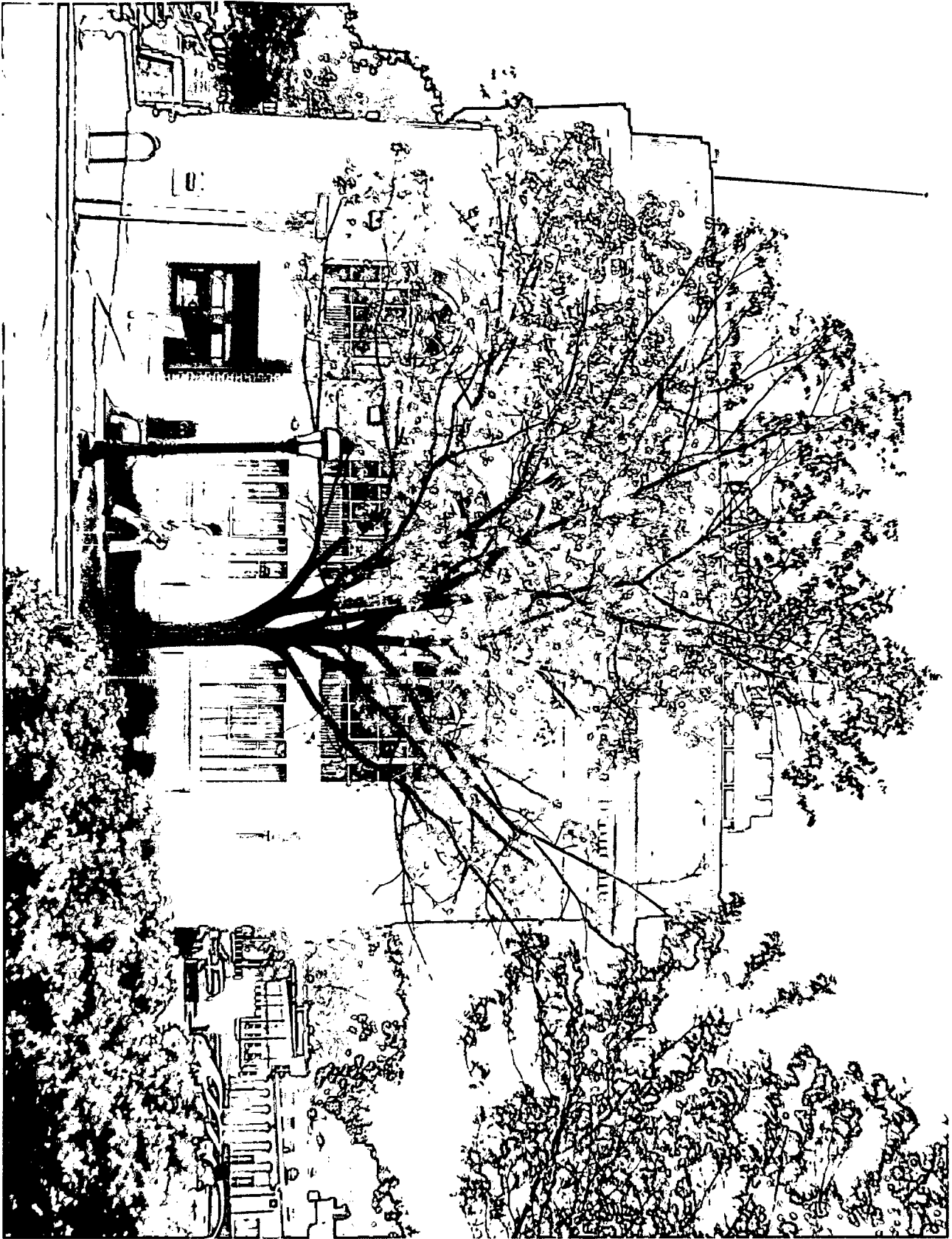
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Bank of America 6950 Carroll Avenue Takoma Park, MD		BULLETIN DRAWING
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Willow Avenue Elevation



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Bank of America 6950 Carroll Avenue Takoma Park, MD		BULLETIN DRAWING	
		PR-00.3	

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	6950 Carroll Avenue, Takoma	Meeting Date:	6/22/11
Resource:	Outstanding Resource Takoma Park Historic District	Report Date:	6/15/11
Applicant:	Bank of America (Anthony Barsi, Agent)	Public Notice:	6/8/11
Review:	HAWP	Tax Credit:	None
Case Numbers:	37/03-11CC	Staff:	Anne Fothergill
Proposal:	Alterations to wheelchair ramp and front doors		

STAFF RECOMMENDATION

- Approval
- Approval with conditions

PROPERTY DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Takoma Park Historic District
STYLE: Beaux Arts
DATE: 1927

PROPOSAL

In 2003 the HPC approved a new ramp and railing in front of this building. The applicants are now proposing to build a new ramp to meet current accessibility standards. With the increased length, the ramp will turn at the southeast corner of the building. The ramp will be bricktile pavers and will have a new bronze handrail. The planter will be extended along the ramp. They also propose to have the existing front doors re-swing out so they can be automatically opened. There will be minor modifications to the parking lot and sidewalk to be ADA-compliant.

The City of Takoma Park's Façade Advisory Board has reviewed and approved the proposed alterations.

APPLICABLE GUIDELINES

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8(b), (1) and (2);

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.



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1A. CHECK ALL APPLICABLE:

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CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other: Entry & Ramp

1B. Construction cost estimate: \$

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date 6-1-11

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 569918 Date Filed: 6/1/2011 Date Issued:

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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Bank of America
c/o Anthony Barsi
Little
4245 N. Fairfax Dr., Suite 650
Arlington, VA 22203

Owner's Agent's mailing address

Kevin Burns
CBRE
3401 Columbus Pike, Suite 301
Arlington, VA 22204

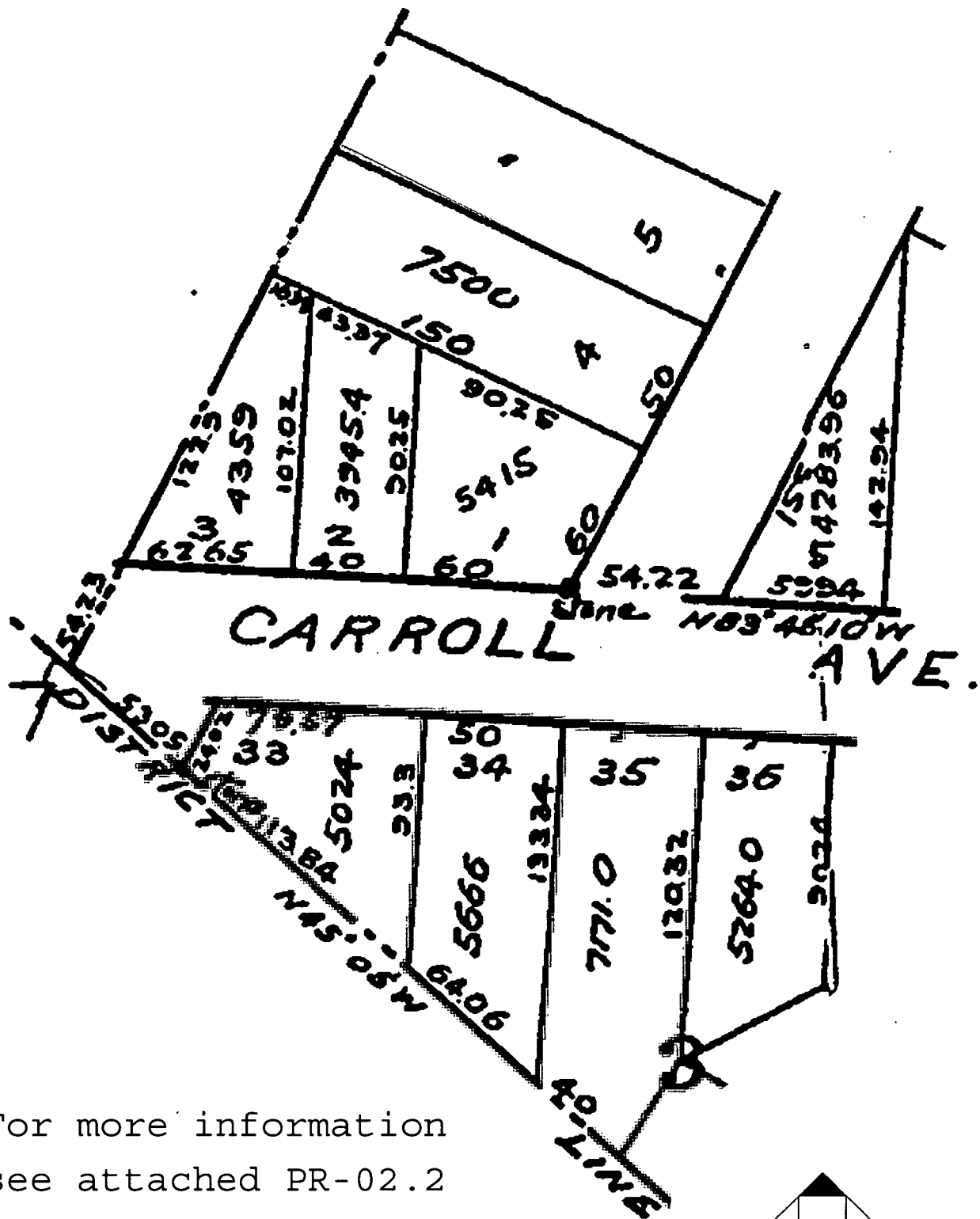
Adjacent and confronting Property Owners mailing addresses

Takoma Buisness Center LLC
4 Evergreen Rd, Apt 200
Severna Park, MD 21146

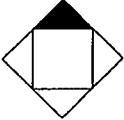
KD Properties Inc.
6940 Carroll Ave
Takoma Park, MD 20912

Potomac Conf Corp 7th Day Adv.
6810 Eastern Ave NW
Washington, DC 20012

KC Associates, LLC
7000 Carroll Ave
Takoma Park, MD 20912



For more information
see attached PR-02.2



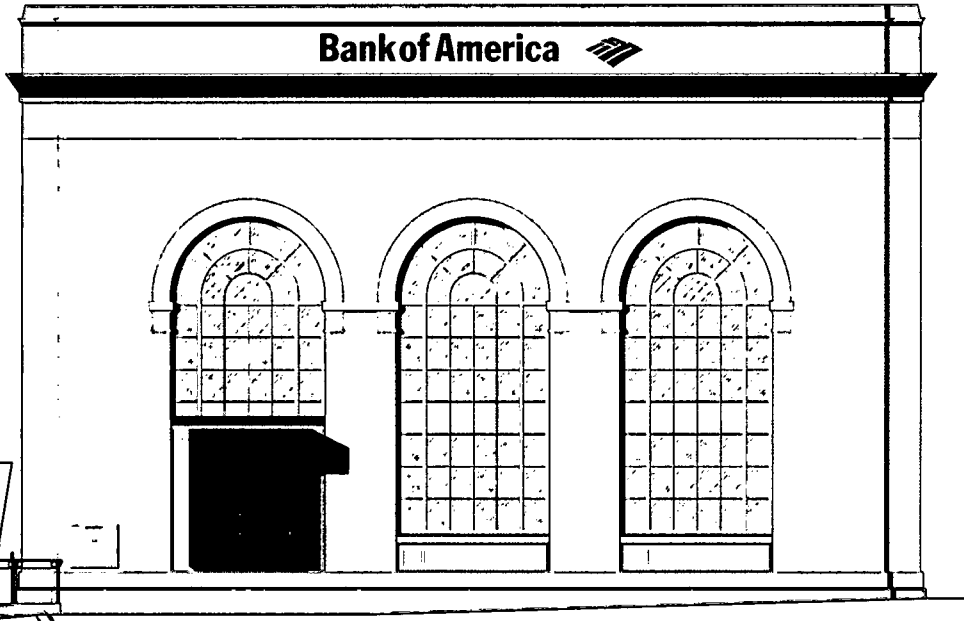
Shade portion to indicate North



Carroll Avenue Elevation

EXISTING BRONZE DOORS TO BE RE-SWUNG OUT, PUSH PLATES SALVAGED FROM VESTIBULE DOORS TO BE INSTALLED ON INTERIOR SIDE
 NEW BRONZE HANDRAIL AT STAIRS TO MATCH NEW RAMP HANDRAIL
 NEW ADA COMPLIANT RAMP
 NEW BRASS HANDICAPPED DOOR OPERATOR CONTROL
 EXISTING PLANTER TO BE EXTENDED
 RAMP CURB TO MATCH EXISTING STAIRS AND PLANTER CURBS

RECEIVED
 JUN 01 REC'D
 By _____



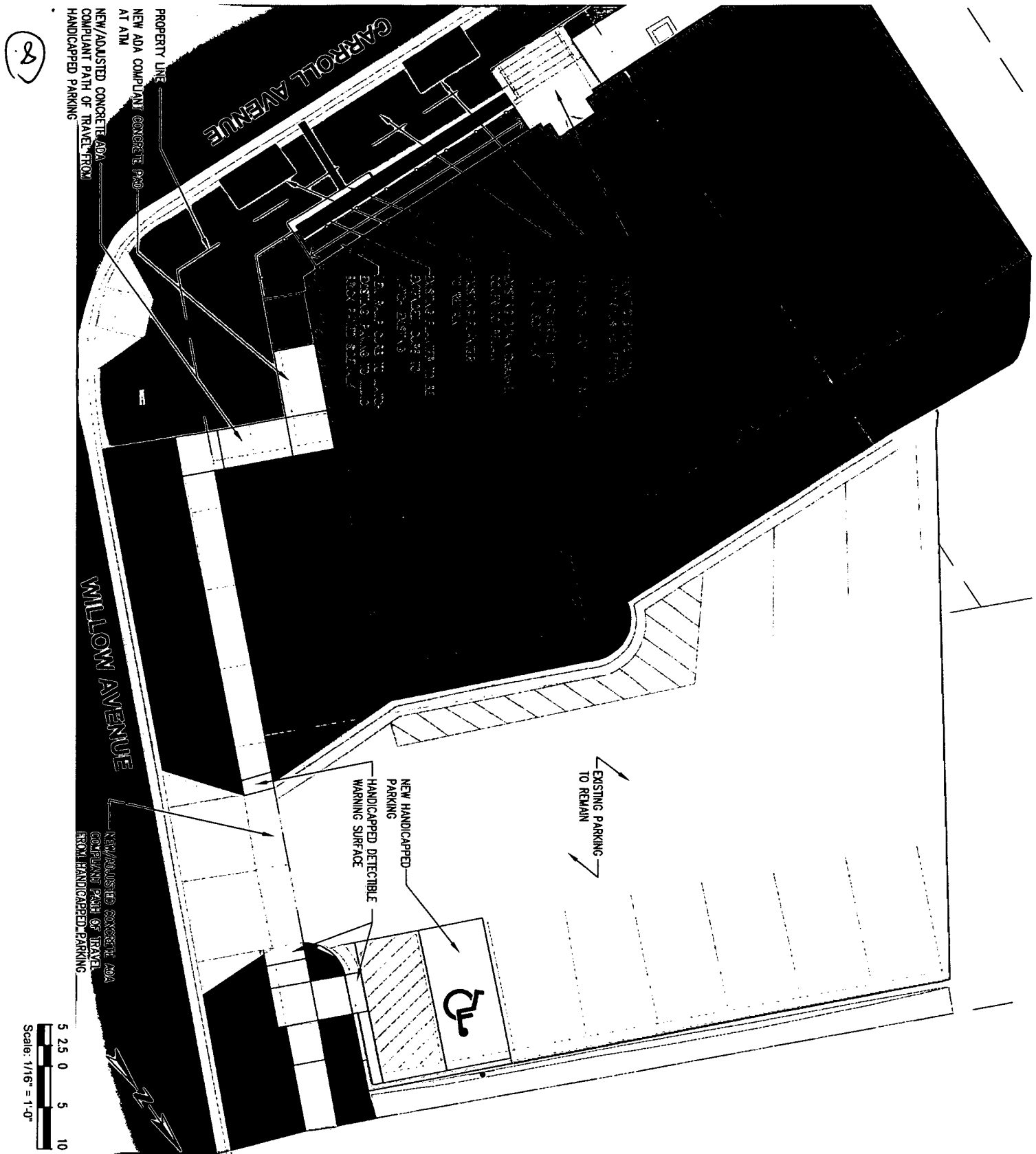
Willow Avenue Elevation

NEW BRONZE HANDRAIL
 NEW ADA COMPLIANT RAMP
 RAMP CURB TO MATCH EXISTING STAIRS AND PLANTER CURBS



PROJECT NUMBER	223.7630.00
ISSUE DATE	06/01/2011
REFERENCE	PR-03
BULLETIN DRAWING	PR-03.1
PROJECT NAME	Elevations
DESCRIPTION	Bank of America 6950 Carroll Avenue Takoma Park, MD
Principal in Charge	_____
Project Manager	_____
Drawn By	_____
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Principal In Charge: _____
 Project Manager: _____
 Drawn By: _____

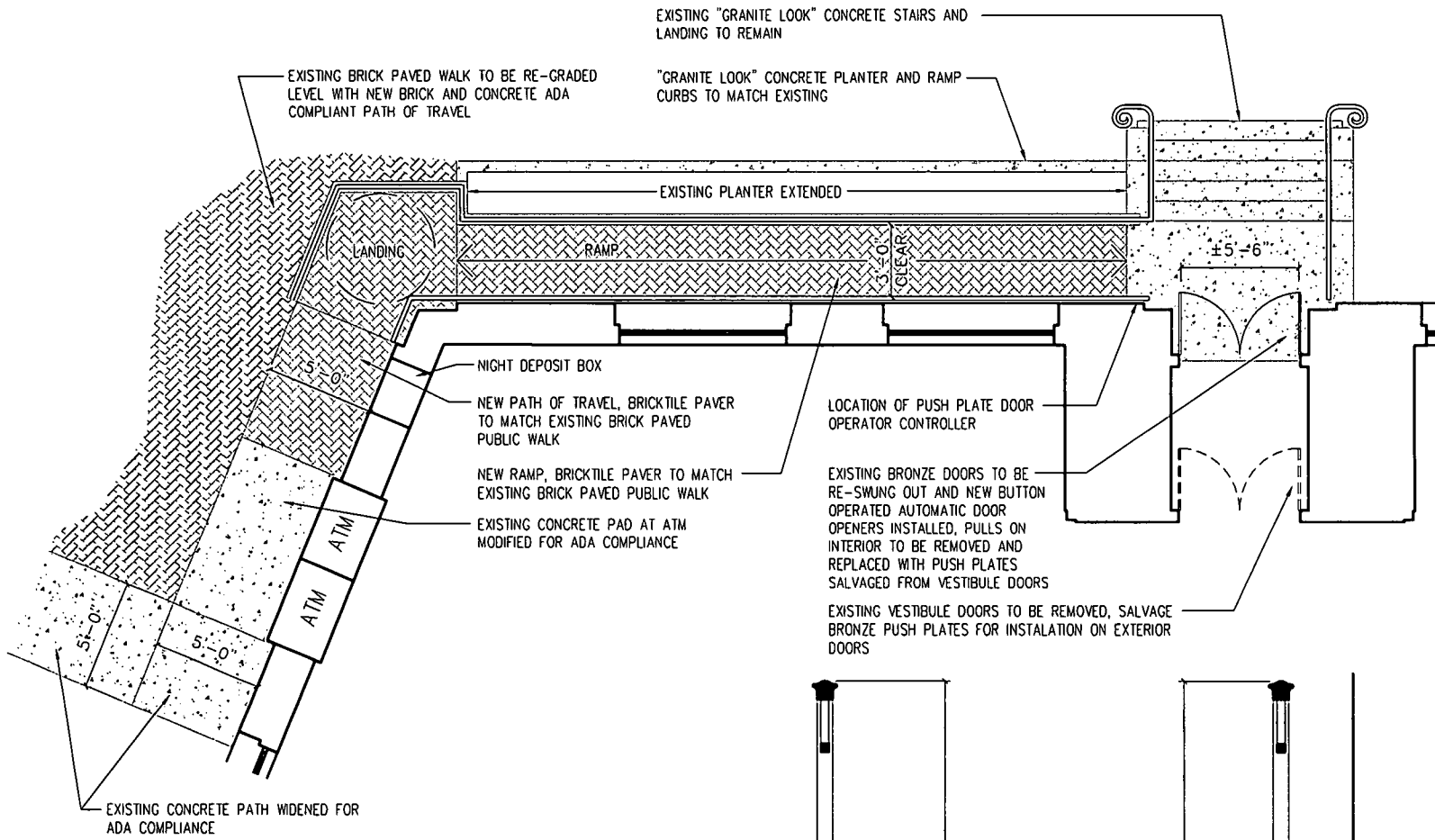
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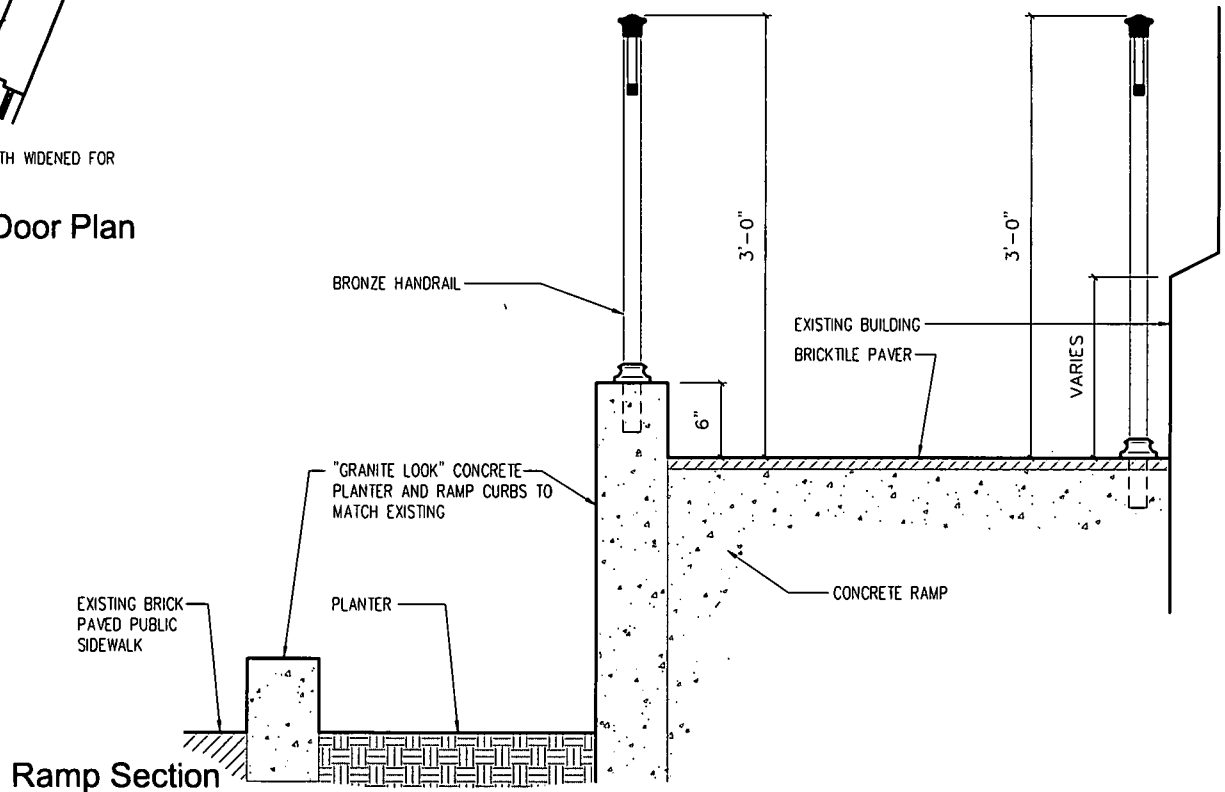
PROJECT NAME
Site Plan

DESCRIPTION
**Bank of America
 6950 Carroll Avenue
 Takoma Park, MD**

PROJECT NUMBER	223.7630.00
ISSUE DATE	06/01/2011
REFERENCE	PR-03
BULLETIN DRAWING	PR-03.2



Ramp and Entry Door Plan
 Scale: 1/8" = 1'-0"



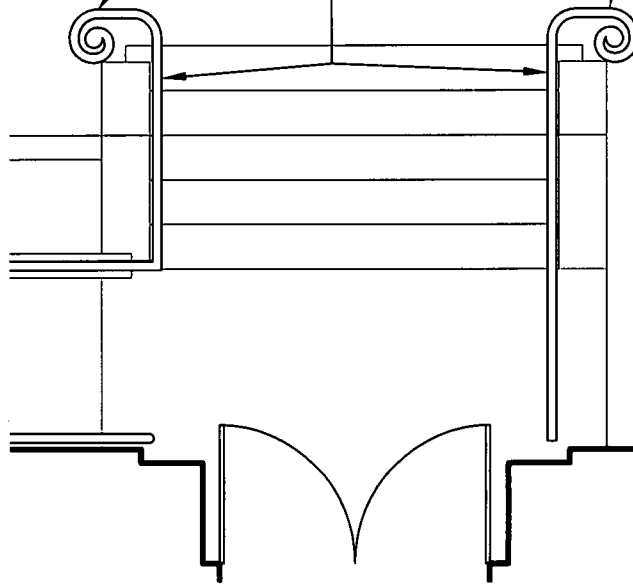
Ramp Section
 Scale: 3/4" = 1'-0"

PROJECT NUMBER	223.7630.00
	ISSUE DATE
PROJECT NAME	06/01/2011
	REFERENCE
DESCRIPTION	PR-03
	BULLETIN DRAWING
Bank of America 6950 Carroll Avenue Takoma Park, MD	
Principal in Charge: _____ Project Manager: _____ Drawn By: _____ <i>This drawing and the design shown are the property of Little Diversified Architectural Consulting. The reproduction, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.</i> <small>© Linx 2010</small>	
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PROVIDE NEW BRONZE LATERAL SCROLL FITTING, JULIUSBLUM 4530GR OR EQUAL

PROVIDE NEW BRONZE HANDRAILS AT STAIRS, JULIUSBLUM 4530 OR EQUAL, REPLACE EXISTING SUPPORTS WITH NEW BRONZE 1 1/2" SQUARE TUBES

PROVIDE NEW BRONZE LATERAL SCROLL FITTING, JULIUSBLUM 4530GL OR EQUAL

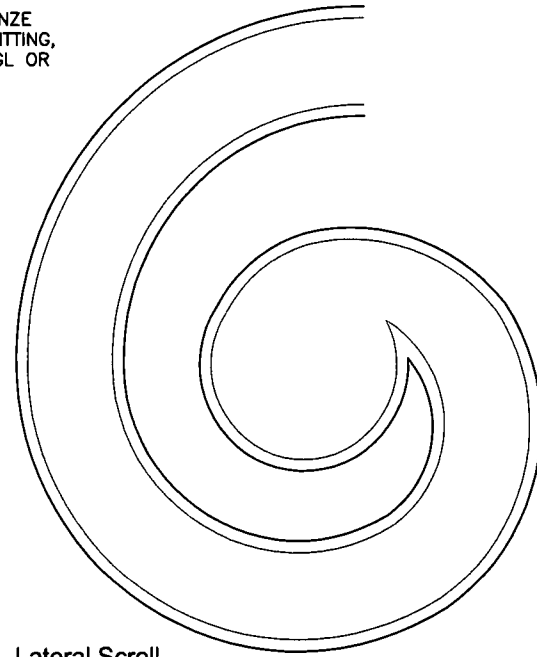


Stair Handrail Plan

Scale: 1/4" = 1'-0"

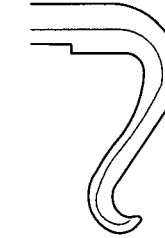
Lateral Scroll Stair End Fitting

Scale: 1:4



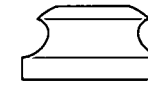
Handrail Profile

Scale: 1:4



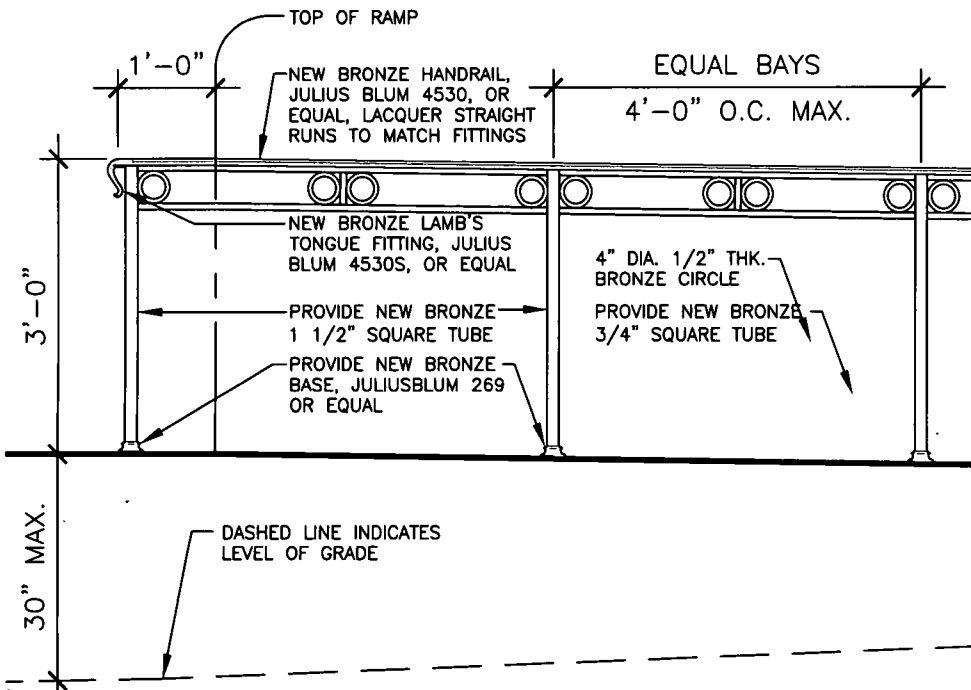
Lambs Tongue Ramp End Fitting

Scale: 1:4



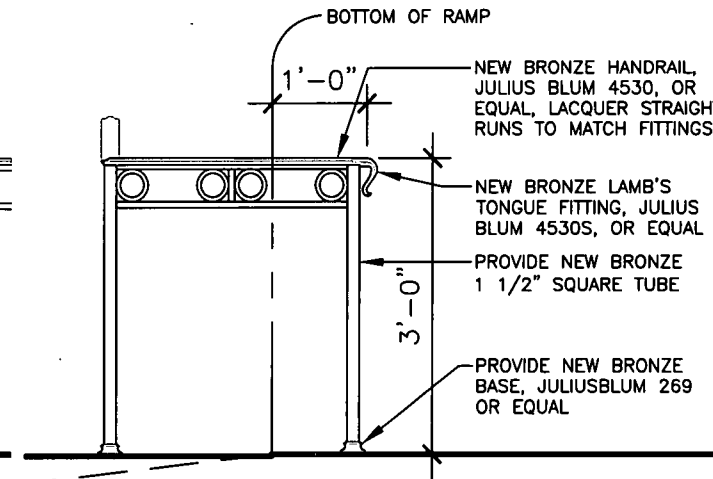
Handrail Support Base

Scale: 1:4



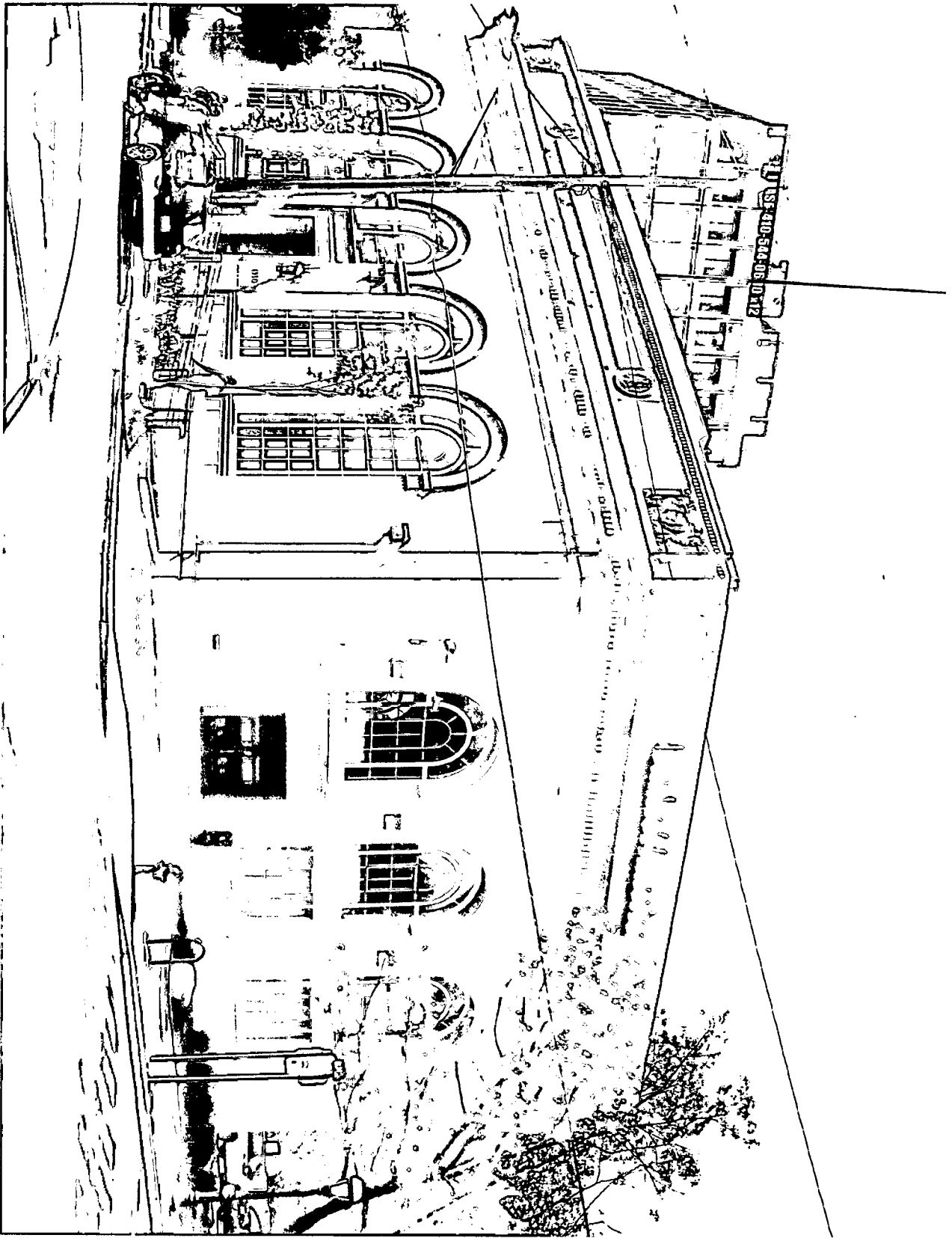
Ramp Handrail Elevation

Scale: 1/2" = 1'-0"



NOTE: ALL HANDRAIL COMPONENTS TO BE ARCHITECTURAL BRONZE WITH CLEAR LACQUER COATING

PROJECT NUMBER	223.7630.00
	ISSUE DATE
PROJECT NAME	06/01/2011
	REFERENCE
DESCRIPTION	PR-03
	BULLETIN DRAWING
PR-03.4	
Handrail Details	
Bank of America 6950 Carroll Avenue Takoma Park, MD	
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Project Manager:	
Drawn By:	
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Corner Elevation
 Carroll Avenue & Willow Avenue



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Principal in Charge: _____
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PROJECT NAME		PROJECT NUMBER	
Existing Conditions Photos		223.7630.00	
		ISSUE DATE	
		06/01/2011	
DESCRIPTION		REFERENCE	
Bank of America 6950 Carroll Avenue Takoma Park, MD		BULLETIN DRAWING	
		PR-00.1	



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Carroll Avenue Elevation

<p>PROJECT NUMBER 223.7630.00</p> <p>ISSUE DATE 06/01/2011</p> <p>REFERENCE PR-00.2</p>	<p>PROJECT NAME Existing Conditions Photos</p>	<p>Principal in Charge: _____ Project Manager: _____ Drawn By: _____</p> <p><i>This drawing and the design shown are the property of Little Diversified Architectural Consulting. The reproduction, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.</i></p> <p>© Little 2010</p>
<p>DESCRIPTION Bank of America 6950 Carroll Avenue Takoma Park, MD</p>		<p>LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING</p> <p>4501 North Fairfax Drive Suite 120 Arlington, VA 22203 T: 703.908.4501 F: 703.908.4502 www.littleonline.com</p>



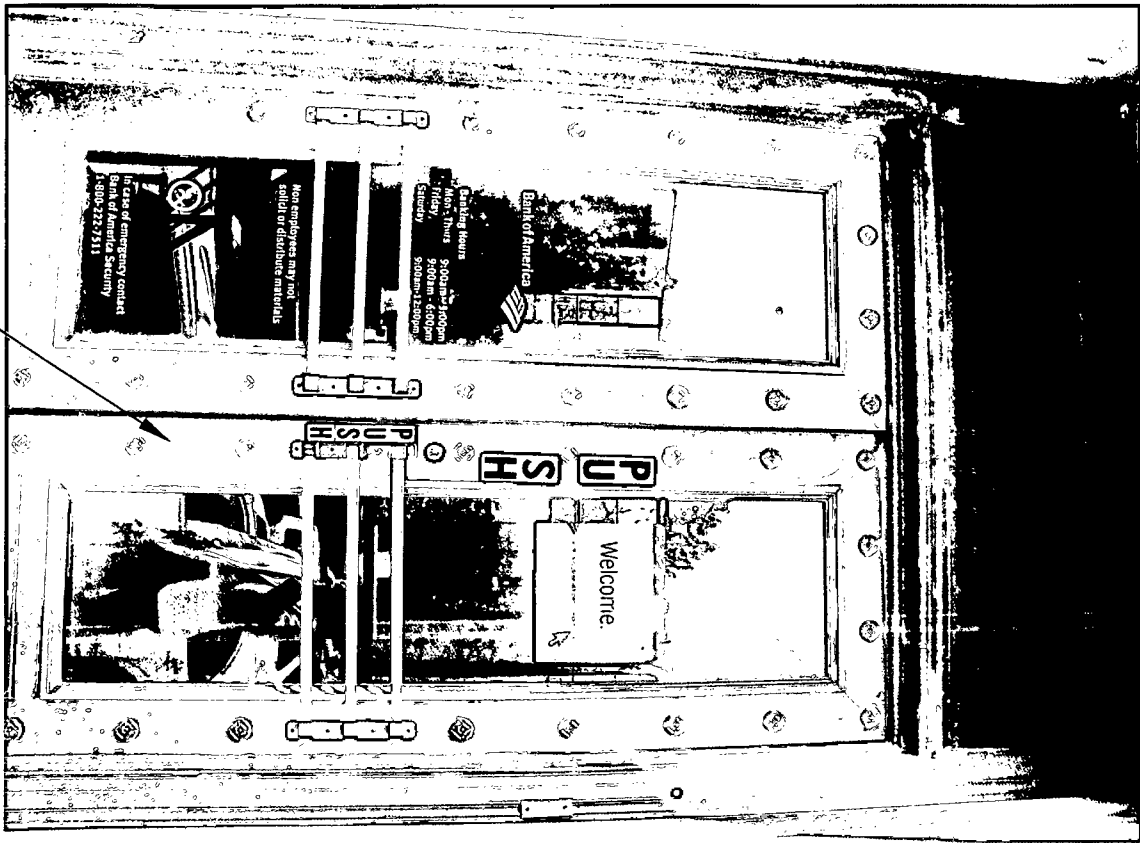
3

Willow Avenue Elevation

PROJECT NAME Existing Conditions Photos	PROJECT NUMBER 223.7630.00
	ISSUE DATE 06/01/2011
DESCRIPTION Bank of America 6950 Carroll Avenue Takoma Park, MD	REFERENCE PR-00.3
	BULLETIN DRAWING
Principled in Charge: _____ Project Manager: _____ Drawn By: _____	<i>This drawing and the design shown are the property of Little Diversified Architectural Consulting. The reproduction, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.</i>
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Entry Doors

Exterior



EXISTING PAIR 30" BRONZE ENTRY DOORS
(DOORS CURRENTLY SWING IN)

Interior



EXISTING VESTIBULE DOORS

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Principal in Charge: _____
Project Manager: _____
Drawn By: _____

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PROJECT NAME

Existing Conditions Photos

PROJECT NUMBER

223.7630.00

ISSUE DATE

06/01/2011

DESCRIPTION

Bank of America
6950 Carroll Avenue
Takoma Park, MD

REFERENCE

BULLETIN DRAWING

PR-00.4



GRANITE LOOK™ PRECAST CONCRETE CURBS
MATCHING BUILDING FOUNDATION

5

Existing Ramp

PROJECT NAME Existing Conditions Photos	PROJECT NUMBER 223.7630.00
	ISSUE DATE 06/01/2011
DESCRIPTION Bank of America 6950 Carroll Avenue Takoma Park, MD	REFERENCE
	BULLETIN DRAWING PR-00.5
Printed in Charge: _____ Project Manager: _____ Drawn By: _____	<i>This drawing and the design shown are the property of Little Diversified Architectural Consulting. The reproduction, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.</i> © Little 2010
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City of Takoma Park, Maryland

Housing & Community Development

Telephone: (301) 891-7118
Fax: (301) 270-4568

7500 Maptz Avenue
Takoma Park, MD 20912

June 6, 2011

Ms. Leslie Miles, Chair
Historic Preservation
8787 Georgia Avenue
Silver Spring, MD 20910

RE: 6950 Carroll Avenue - building entry doors, ramp, handrail and planters

Dear Ms. Miles:

The Takoma Park Facade Advisory Board met on Tuesday, May 24, 2011, to review the design proposal as presented by Mr. Anthony Barsi, a representative of Bank of America, to remodel the building entry doors, ramp, handrail, and planters of the business of Bank of America, located at 6950 Carroll Avenue. The proposal is to be considered by the Historic Preservation Commission on June 22, 2011.

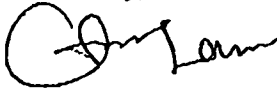
The Board found the proposal to be in general compliance with the design guidelines developed for the area and endorsed the proposal as presented with the following conditions:

1. Retain original bronze doors with operator control;
2. Use bronze push plates salvaged from interior door;
3. Use color-matching material for the proposed walkway;
4. Separate ATM and ramp traffic through regarding the walkway area, where possible.

If you have any questions regarding the Board's action, please call 301-891-7219.

Thank you for the ongoing efforts of the Commission to preserve the unique architectural character of our historic business district.

Sincerely,



Carman Lam
Associate Planner