

7131 Carroll Avenue
Tulahoma Park H.D.

2011 HAWP



Stamped +
mailed
Plans
11/16

HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: 11/16/11

MEMORANDUM

TO: Diane Schwartz Jones, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #581546—alterations and additions to house

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was approved by the HPC on November 15, 2011.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Jason Gottschalk
Address: 7131 Carroll Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Robert Jennings
Daytime Phone No.: 301-674-2633

Tax Account No.: 01067066

Name of Property Owner: Jason Gottschalk Daytime Phone No.: 202-445-9883

Address: 7131 Carroll Ave. Takoma Park MD 20912
Street Number City State Zip Code

Contractor: Robert Jennings / Buildings Old & New Phone No.: 301-962-0184

Contractor Registration No.: 41007

Agent for Owner: Robert Jennings Daytime Phone No.: 301-674-2633

LOCATION OF BUILDING/PREMISE

House Number: 7131 Street: CARROLL AVE.
Town/City: TAKOMA PARK Nearest Cross Street: PHILADELPHIA
Lot: 28 Block: 19 Subdivision: B.F. GILBERT'S ADDITION TO TAKOMA PARK
Liber: 40478 Folio: 102 Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: INTERIOR IMPROVEMENTS

1B. Construction cost estimate: \$ 25,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent 10/5/11 Date

Approved: Disapproved: _____
Signature: [Signature] For Chairperson, Historic Preservation Commission Date: 11/16/11
Application/Permit No.: 581543 Date Filed: 10/6/11 Date Issued: _____
581546

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

- 2-story brick veneered residence
- No historic features or significance

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

- Open deck on rear of house
- Repairs to deteriorated stucco siding
- New French doors onto new deck.
-Enlarge interior doorways & remove non-load bearing wall
- Kitchen renovation

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7131 Carroll Avenue, Takoma Park	Meeting Date:	11/15/11
Applicant:	Jason Gottschalk (Robert Jennings, Agent)	Report Date:	11/8/11
Resource:	Contributing Resource Takoma Park Historic District	Public Notice:	11/1/11
Review:	HAWP	Tax Credit:	Partial
Case Number:	37/3-11VV	Staff:	Anne Fothergill

PROPOSAL: Alterations to house and new deck

STAFF RECOMMENDATION

Staff recommends that the HPC approve the HAWP application.

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Four Square (altered)
DATE: 1922

PROPOSAL

The applicant proposes to construct a 14' x 14' wooden deck behind the house. One window will be removed and there will be new wooden French doors leading to the deck and one relocated window on the rear of the first floor. Some of the stucco will be replaced on the rear.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or

vegetation.

Some of the factors to be considered in reviewing HAOWPs on Contributing Resources include:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required
- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited
- While additions should be compatible, they are not required to be replicative of earlier architectural styles
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The proposed changes are entirely at the rear of the house and will not adversely impact this house or the streetscape in the historic district. Staff notes that repairs and rehabilitation of this house may be eligible for tax credits. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850
240 777 4370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Robert Jennings
Daytime Phone No.: 301-674-2633

Tax Account No.: 01067066
Name of Property Owner: Jason Gottschalk Daytime Phone No.: 202-445-9583
Address: 7131 Carroll Ave. Takoma Park MD 20912
Street Number City State Zip Code
Contractor: Robert Jennings / Buildings Old & New Phone No.: 301-962-0184
Contractor Registration No.: 41007
Agent for Owner: Robert Jennings Daytime Phone No.: 301-674-2633

LOCATION OF BUILDING/PREMISE

House Number: 7131 Street: CARROLL AVE.
Town/City: TAKOMA PARK Nearest Cross Street: PHILADELPHIA
Lot: 28 Block: 19 Subdivision: S.F. GILBERT'S ADDITION TO TAKOMA PARK
Liber: 40478 Folio: 102 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: INTERIOR IMPROVEMENTS
1B. Construction cost estimate: \$ 25,000.00
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.
[Signature] ROBERT JENNINGS 10/5/11
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 581543 Date Filed: 10/6/11 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

- 2-story brick veneered residence
- No historic features or significance

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

- Open deck on rear of house
- Repairs to deteriorated stucco siding
- New french doors onto new deck.
-Enlarge interior doorways & remove non-load bearing wall
- Kitchen renovation

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

**Properties Adjacent to and Confronting:
7131 Carroll Avenue
Takoma Park, MD 20912**

Confronting

Glenn A. Clark
7132 Carroll Ave.
Takoma Park, MD 20912
Tax Acc. #01080633

Gregory H. Gorman &
Elizabeth J. Hisle-Gorman
7134 Carroll Ave.
Takoma Park, MD 20912-4638
Tax Acc. #01068802

Adjoining

Ralph W. Craig &
J. N. Craig
7129 Takoma Park, MD 20912-4637
Tax Acc. #01061743

Estela O. Hevia
7133 Carroll Ave.
Takoma Park, MD 20912-4672
Tax Acc. #01081080

Bradley F. Dickey &
Stephanie D. Bradley
1655 Chadwick Shores Dr.
Sneads Ferry, NC 28460-9281
Tax Acc# 0166585


Diana M. Bradley
40 Columbia Ave.
Takaoma Park, MD 20912-4636
Tax Acc. #01059088

Joan Meier
42 Columbia Ave.
Takoma Park, MD 20912-4636
Tax Acc. #01067454

All construction shall be in conformance with:
International Residential Code (IRC), 2009 edition
National Electrical Code (NEC), 2008 edition
International Energy Conservation Code, 2009 edition

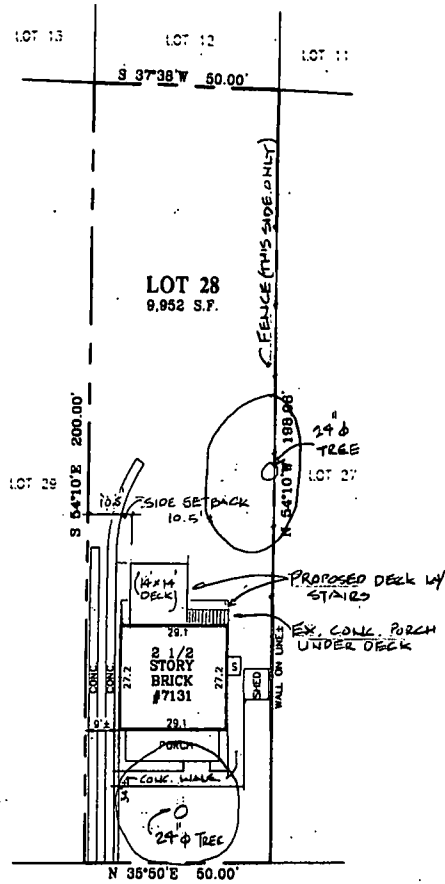
DESIGN CRITERIA			
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOAD VALUES			
FLOORS LOADS: (MINIMUM LIVE LOAD DEFLECTION LIMIT: L/360)			
ATTICS (LIMITED STORAGE)	20psf	GARAGE	50psf
ATTICS (W/O STORAGE)	10psf	DECKS	40psf
SLEEPING ROOMS	30psf	STAIRS	40psf
EXTERIOR BALCONIES	60psf	GUARDRAILS & HANDRAILS	200psf
ROOF LOAD: (MINIMUM LIVE LOAD DEFLECTION LIMIT: L/240)			30psf
CONSTRUCTION DESIGN PARAMETERS			
WIND SPEED EXPOSURE CATEGORY	80 mph		
WEATHERING	SEVERE		
SEISMIC DESIGN CATEGORY	B		
FROST LINE DEPTH	24 INCHES		
TERMITE AREA	MODERATE to HEAVY		
DECAY AREA	SLIGHT to MODERATE		
WINTER DESIGN TEMPERATURE	13 DEG. F. (10.8 DEG. C)		
GROUND SNOW LOAD	30psf		
AIR FREEZING INDEX	300		
RADON RESISTANT CONSTRUCTION	YES		
FLOOD HAZARD	July 2, 1979 (None this location)		
SOIL BEARING CAPACITY	2000 PSF		
SPECIES/GRADE FRAMING LUMBER	S/P/F #2 or Better		
	HEM/FIR #2 or Better		
TYPE / GRADE: OTHER STRUCTURAL LUMBER	MICROLAMINATE, LVL BEAMS MODULUS OF ELASTICITY: 2.0		
TYPE / GRADE: OTHER CONSTRUCTION MATERIALS	STEEL LINTELS & BEAMS MIN. YIELD STRESS (Fy): 36ksi.		

DRAWINGS INDEX	
1	Title Page & Site Plan (Zoning Requirements)
2	Existing Floor Plan / Proposed Demolition
3	Proposed Interior Floor Plan & Deck Plan
4	Proposed Rear (East) Elevation
5	Proposed Side (South) Elevation & Stairway Details
6	Structural Framing Plan
7	Structural Details



Notes:


- Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 feet.
- Fences, if shown, have been located by approximate methods.
- No property corners found.




LOT 28
9,952 S.F.

CARROLL AVENUE

LOCATION DRAWING
 LOT 28, BLOCK 19
 B.F. GILBERT'S ADDITION TO
TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND



SURVEYOR'S CERTIFICATE	REFERENCES	
THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION.	PLAT BK. A PLAT NO. 2	 SNIDER & ASSOCIATES LAND SURVEYORS 20270 Goldenrod Lane, Suite 110 Germantown, Maryland 20876 301/948-5100 Fax 301/948-1288
LIBER FOLIO	DATE OF LOCATIONS WALL CHECK: HSE. LOC.: 7-19-11	
<i>Jeffrey A. Foster</i> MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587 Expires: 04-02-2013		SCALE: 1" = 30' DRAWN BY: J.T.H. JOB NO.: 11-02758

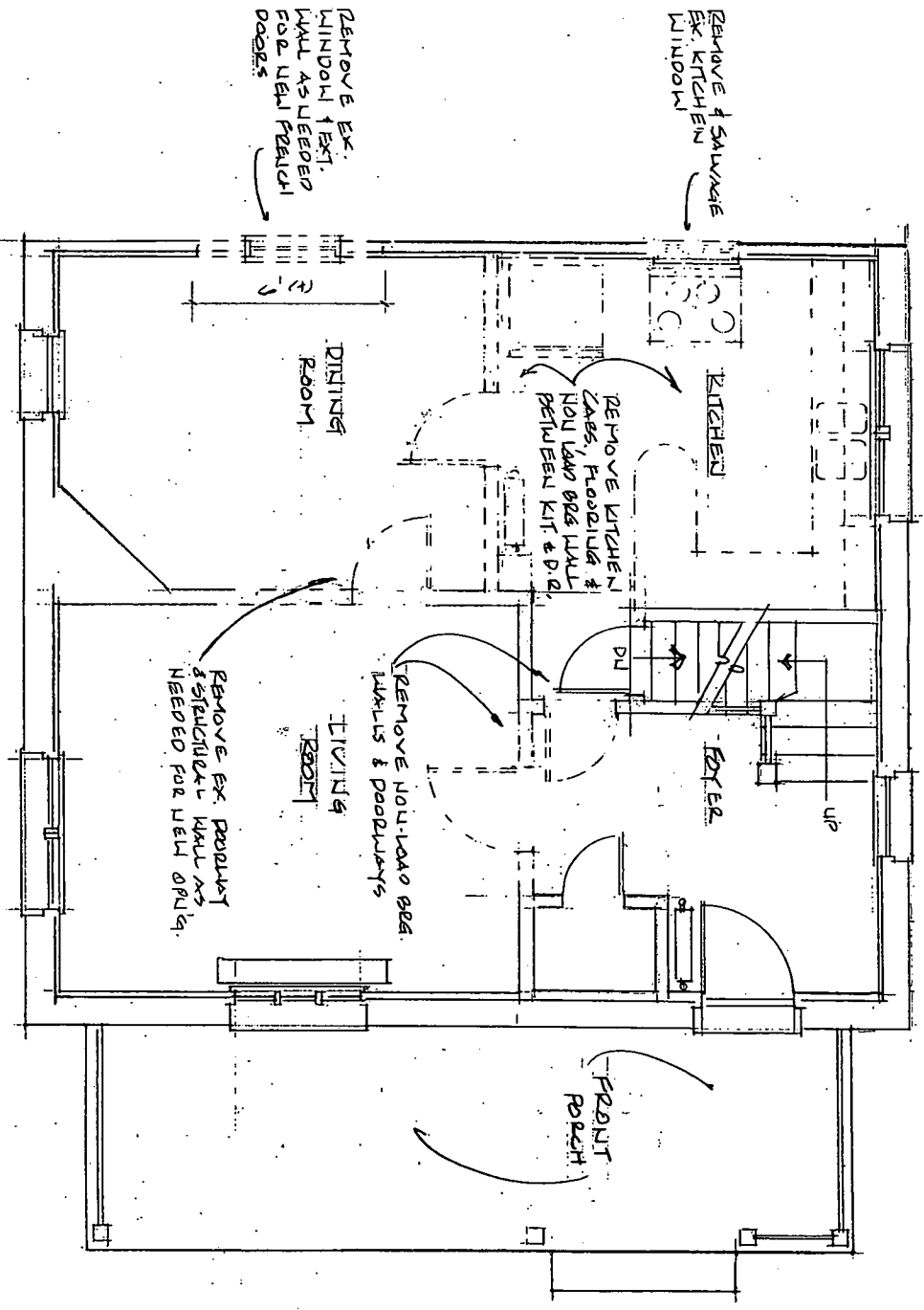
B O N I
Buildings Old & New, Inc.
 3925 Pipers Mill Road
 Kensington, MD 20895
 301-962-0187 (FAX)
 301-962-184

HUTCHENS / GOTTSCALK RESIDENCE
 7131 Carroll Avenue
 Takoma Park, MD 20912
1st Floor Renovation & Rear Deck

JOB: #011-032
 SCALE: NO SCALE
 DATE: 9/30/11 PAGE 1

7

8



EXISTING FLOOR PLAN & PROPOSED DEMOLITION

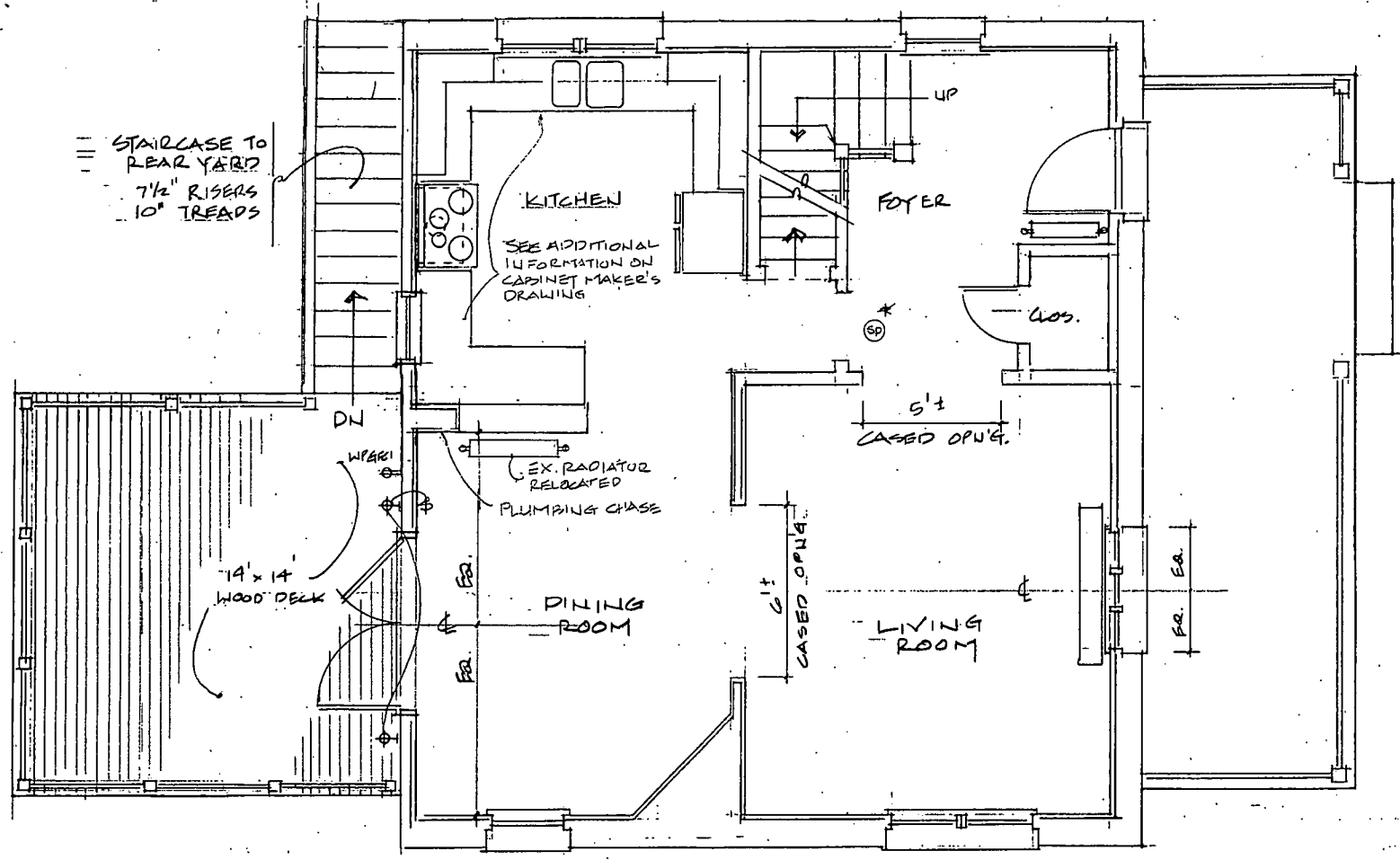
JOB: #011-032
 SCALE: 1/4" = 1'-0"
 DATE: 9/30/11
 PAGE: 2

HUTCHENS / GOTTSCHALK RESIDENCE
 7131 Carroll Avenue
 Takoma Park, MD 20912
1st Floor Renovation & Rear Deck

BONI
 Buildings Old & New, Inc.
 3925 Plyers Mill Road
 Kensington, MD 20895
 301-962-184 301-962-0187 (FAX)

6

* PROVIDE SMOKE DETECTORS AS REQUIRED BY CURRENT BUILDING CODE REGULATIONS

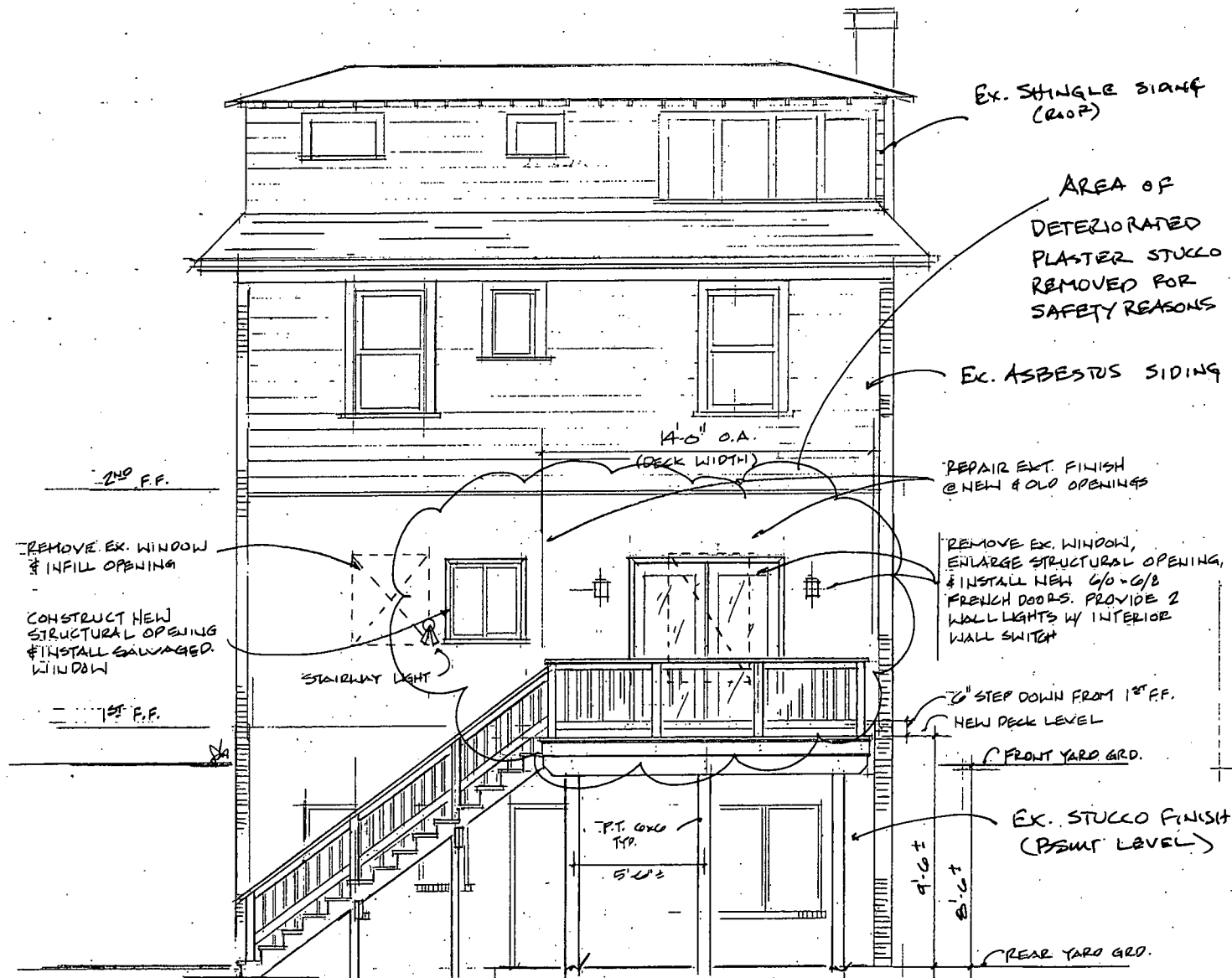


PROPOSED INTERIOR FLOOR PLAN & DECK PLAN

BONI
 Buildings Old & New, Inc.
 3925 Plyers Mill Road
 Kensington, MD 20895
 301-962-184

HUTCHENS / GOTTSCHALK RESIDENCE
 7131 Carroll Avenue
 Takoma Park, MD 20912
1st Floor Renovation & Rear Deck

JOB: #011-032	
SCALE: 1/4" = 1'-0"	
DATE: 9/30/11	PAGE 3



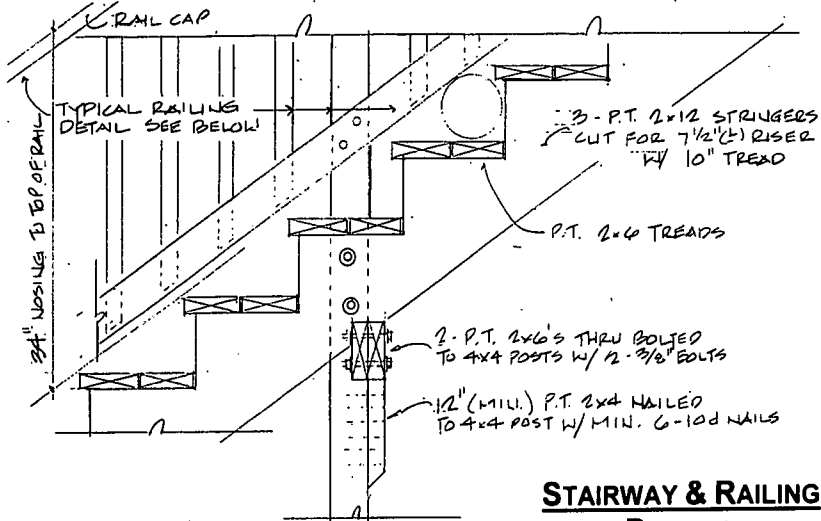
PROPOSED REAR (EAST) ELEVATION

B O N I
 Buildings Old & New, Inc.
 3925 Pipers Mill Road
 Kensington, MD 20895
 301-962-184

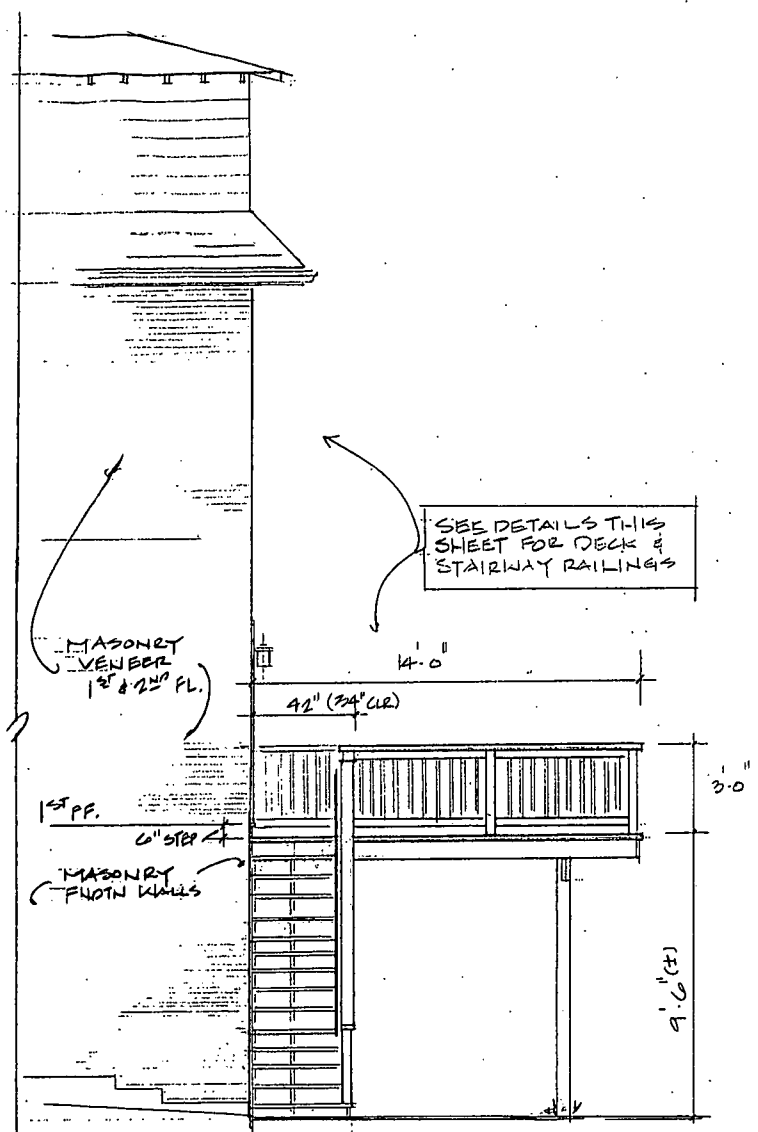
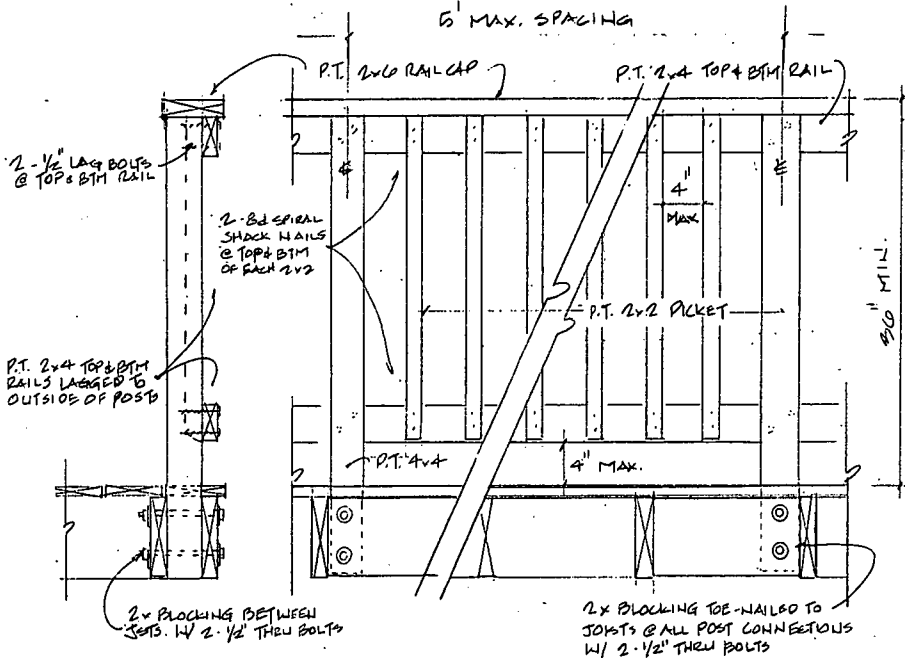
HUTCHENS / GOTTSCALK RESIDENCE
 7131 Carroll Avenue
 Takoma Park, MD 20912
1st Floor Renovation & Rear Deck

JOB:
 #011-032
 SCALE:
 1/4" = 1'-0"
 DATE: 9/30/11 PAGE 4

(01)



**STAIRWAY & RAILING
DETAILS**

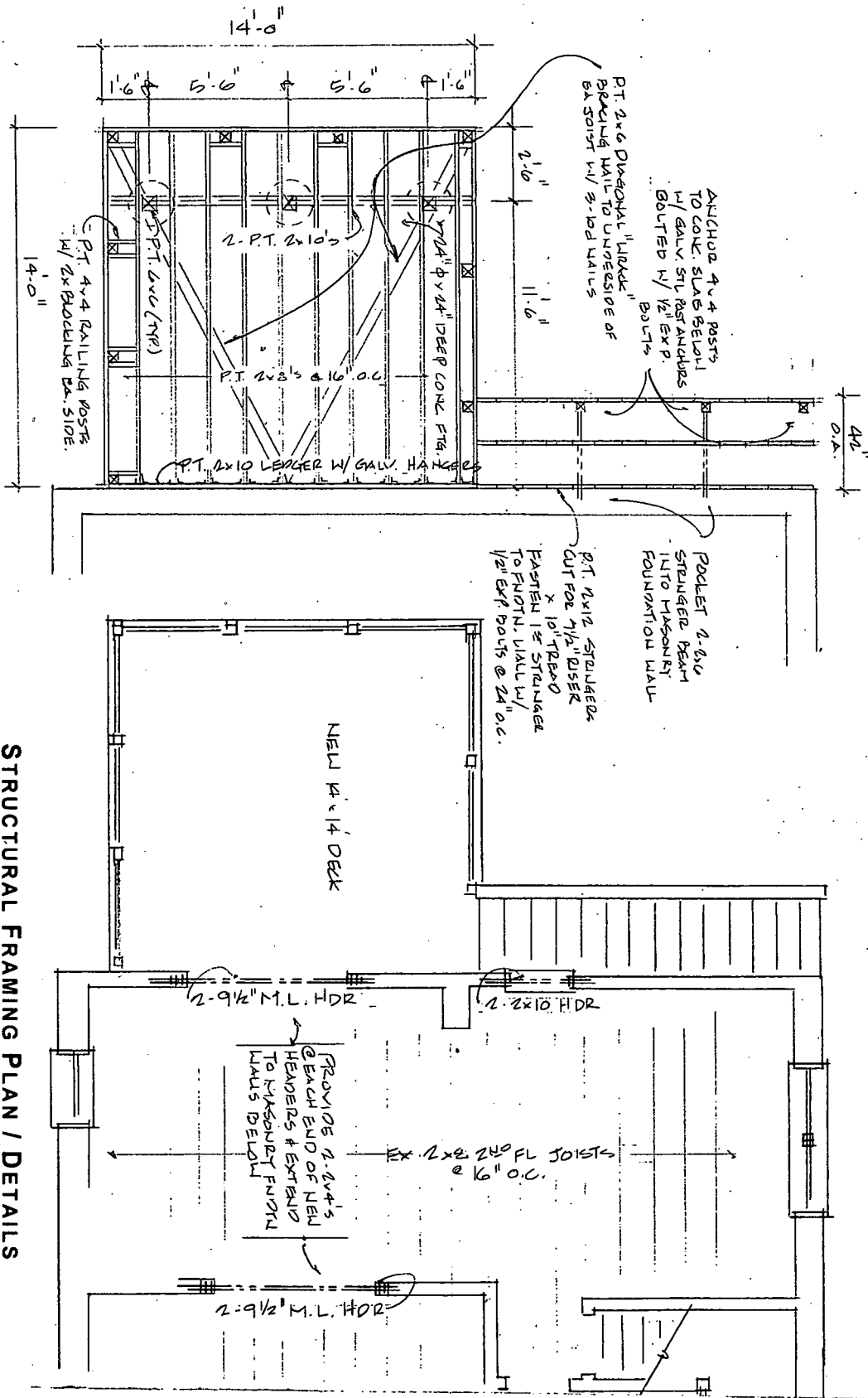


PROPOSED SIDE (SOUTH) ELEVATION

BONI
Buildings Old & New, Inc.
3925 Plyers Mill Road
Kensington, MD 20895
301-962-0187 (FAX)
301-962-184

HUTCHENS / GOTTSCHALK RESIDENCE
7131 Carroll Avenue
Takoma Park, MD 20912
1st Floor Renovation & Rear Deck

JOB: #011-032	
SCALE: 1/4" = 1'-0"	
DATE: 9/30/11	PAGE: 5



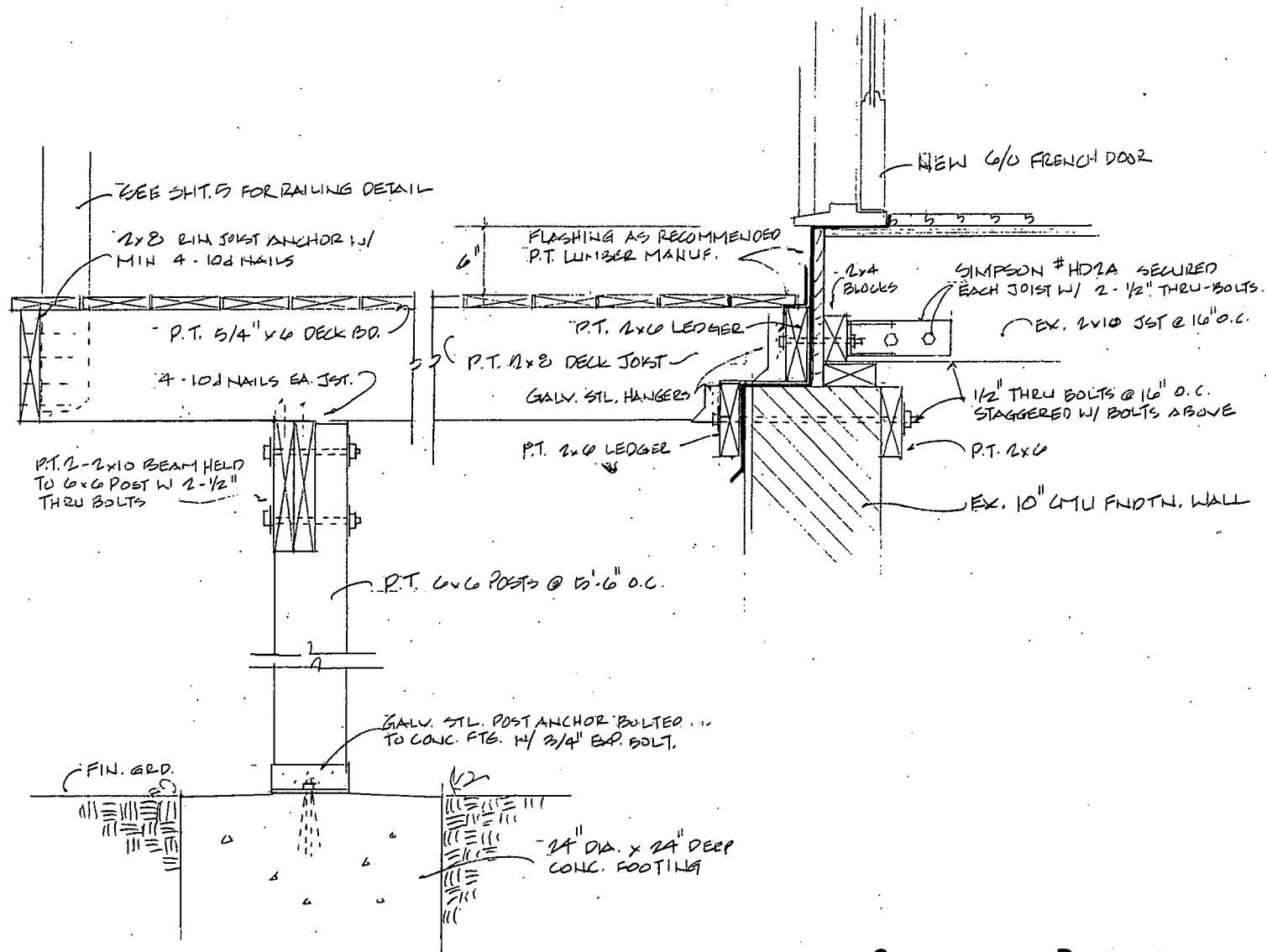
NOTE: ALL FASTENERS (BOLTS, NAILS, HANGERS, ETC.) SHALL BE EITHER GALVANIZED OR STAINLESS STEEL AND AS RECOMMENDED BY PRESSURE TREATED LUMBER MANUFACTURER.

STRUCTURAL FRAMING PLAN / DETAILS

JOB: #011-032
 SCALE: 1/4" = 1'-0"
 DATE: 9/30/11
 PAGE: 6

HUTCHENS / GOTTSCHALK RESIDENCE
 7131 Carroll Avenue
 Takoma Park, MD 20912
1st Floor Renovation & Rear Deck

B O N I
 Buildings Old & New, Inc.
 3925 Pylers Mill Road
 Kensington, MD 20895
 301-962-184 301-962-0187 (FAX)



STRUCTURAL DETAILS

B O N I
 Buildings Old & New, Inc.
 3925 Pipers Mill Road
 Kensington, MD 20895
 301-962-184 (FAX)

HUTCHENS / GOTTSCHALK RESIDENCE
 7131 Carroll Avenue
 Takoma Park, MD 20912
1st Floor Renovation & Rear Deck

JOB: #011-032	
SCALE: 1/4" = 1'-0"	
DATE: 9/30/11	PAGE: 7

13



FRONT (STREET SIDE) ELEVATION

7131 CARROLL AVE.

(14)



SIDE (DRIVEWAY SIDE) ELEVATION

7131 CARROLL AVE.



SIDE ELEVATION (OPPOSITE DRIVEWAY)

SHOWN FROM THE FRONT & REAR YARDS

7131 CARROLL AVE.

TREE ± 35 FEET AWAY FROM
HOUSE IN FOREGROUND



REAR ELEVATION

NOTE: DETERIORATED CEMENT STUCCO
WAS REMOVED FOR SAFETY REASONS

7131 CARROL AVE.

7131 Carroll



(c) Copyright 2008, Pictometry International