

7408 Baltimore Ave.
Takoma Park M.D.

2011 MAWF

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7408 Baltimore Avenue, Takoma Park	Meeting Date:	9/7/11
Applicant:	Julie Kurland (Brian Carroll, Agent)	Report Date:	8/31/11
Resource:	Contributing Resource Takoma Park Historic District	Public Notice:	8/24/11
Review:	HAWP	Tax Credit:	Partial
Case Number:	37/3-11NN	Staff:	Anne Fothergill

PROPOSAL: Construction of rear screened porch and other alterations to house

STAFF RECOMMENDATION

Staff recommends that the HPC approve the HAWP application.

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Four Square
DATE: 1923

PROPOSAL

The applicant proposes to construct a rear screened porch in the location of an existing non-historic porch. The new screened porch will have a metal roof and hardie panels and a wood deck off the back of the porch. The applicant will remove the vinyl siding on the existing rear addition and will install wooden lap siding and wood sunshades to the windows in the rear addition. The applicant will also install a wooden screen door at the front door and replace the damaged front steps and install new wood front steps with wood railing to match the existing front porch railing. On the left side of the house at the foundation level, they will replace a window with a door. Behind the house the applicant will demolish an existing concrete walk and stairs.

The applicant has consulted with the City of Takoma Park arborist and all required tree protection measures will be in place prior to construction.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required
- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited
- While additions should be compatible, they are not required to be replicative of earlier architectural styles
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

(6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The proposed screened porch replaces a non-historic porch and will be located behind a non-historic addition. The proposed changes to the front of the house including wood screen door, front steps and railing are appropriate and compatible. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation;*

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



ALP# 576043

DPS-88

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Brian Carroll
Daytime Phone No.: 240-305-6913

Tax Account No.: _____

Name of Property Owner: Julie Kurland Daytime Phone No.: n/a
Address: 7408 Takoma Park Baltimore Ave 20912
Street Number City Street Zip Code

Contractor: Sustainable Design Group Phone No.: 301-728-1040

Contractor Registration No.: _____

Agent for Owner: John Spears Daytime Phone No.: 301-428-1040

LOCATION OF BUILDING/PREMISE

House Number: 7408 Street: Baltimore Avenue
Town/City: Takoma Park Nearest Cross Street: _____
Lot: 18 Block: 75 Subdivision: 0025
Liber: _____ Folio: _____ Parcel: 0000

PART ONE: TYPE OF PERMITS ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|---|--|--|--|---------------------------------------|--|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Stair | <input type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: _____ | | | | |

1B. Construction cost estimate: \$ 100,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Brian Carroll
Signature of owner or authorized agent

08.02.2011
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 576043 Date Filed: 8/2/11 Date Issued: _____
Emc

SEE REVERSE SIDE FOR INSTRUCTIONS

Description of existing structure and environmental setting, including historical features and significance:

The home located at 7408 Baltimore Avenue in Tacoma Park MD is a 2 story frame building built in 1923 in an established neighborhood of similar homes. The home is sited on a street lined with mature trees and porches facing Baltimore Avenue. These homes are in a level 2 historic district.

General Description of project and its effect on the historic resources, the environmental setting, and where applicable, the historic district.

This project involves the demolition and reconstruction of an existing porch attached to the rear of a later addition to the historic home. This addition to the historic home will also be resided with lap siding to replace the existing vinyl siding. The new siding will include corner boards and water tables and will be painted in a color that matches the existing front historic portion of the home. The façade of the home is unaffected by this project, with the exception of replacing badly cupped and damaged boards on the pressure treated front steps, and weather-stripping the existing front door.

Christoper K Madison
Jane B Clark
7410 Baltimore Ave,
Takoma Park, MD 20912

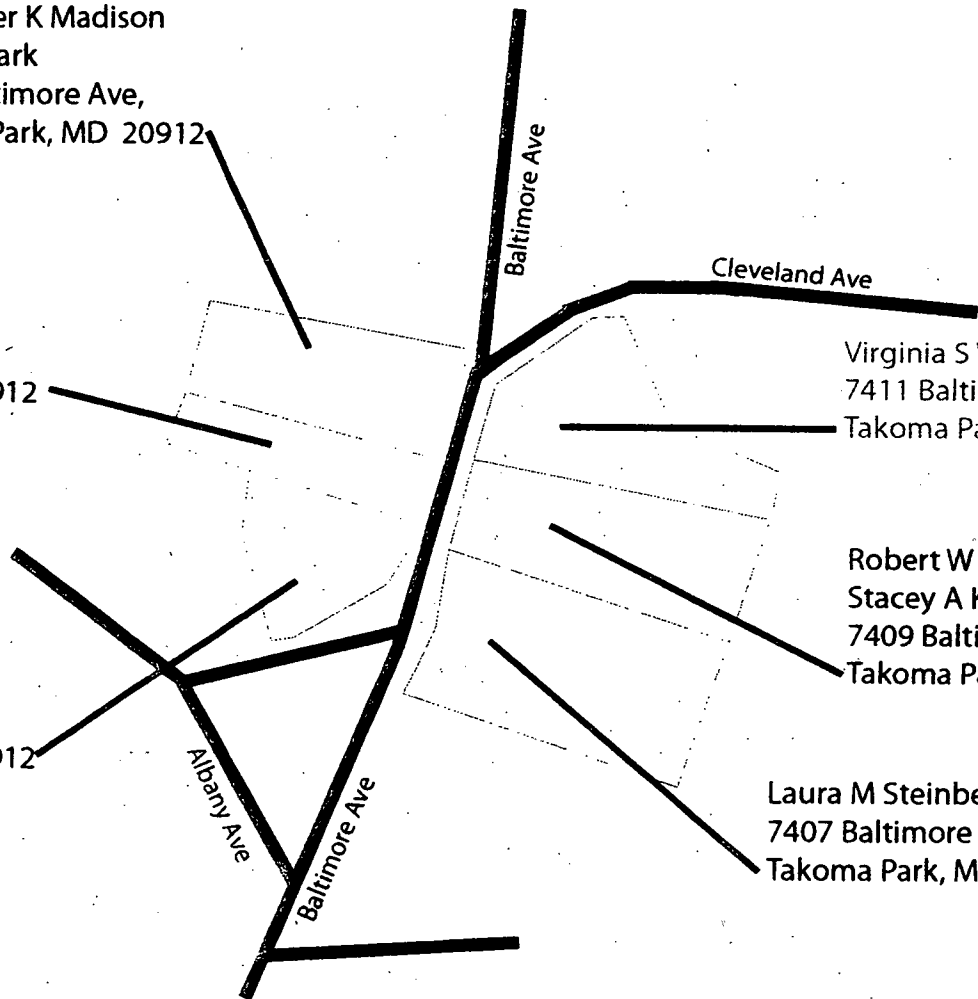
Julie Kurland
7408 Baltimore Ave,
Takoma Park, MD 20912

Derek Hill
Alison M Shelton
7400 Baltimore Ave,
Takoma Park, MD 20912

Virginia S Watkins
7411 Baltimore Ave,
Takoma Park, MD 20912

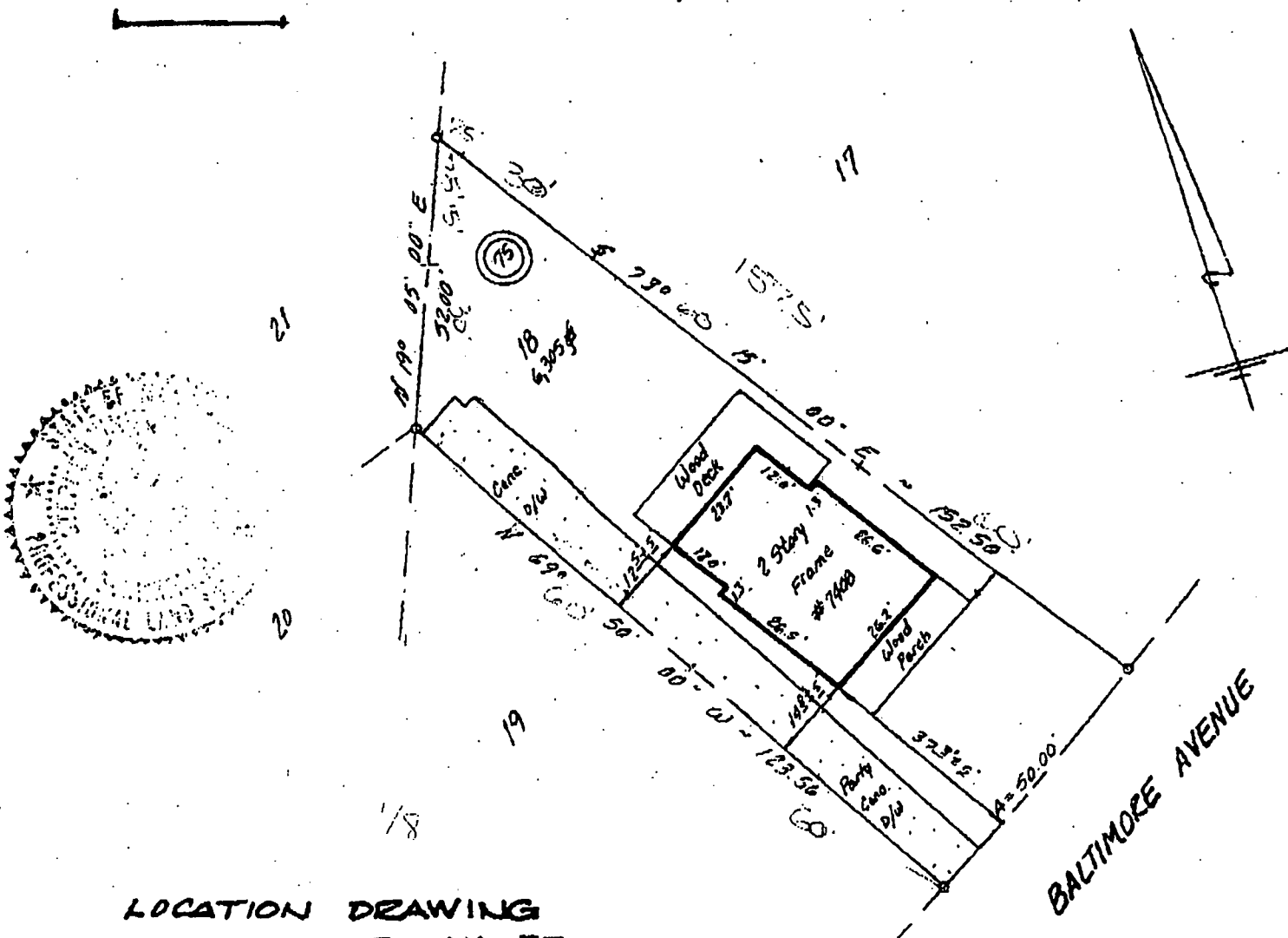
Robert W Fegley
Stacey A Katz
7409 Baltimore Ave,
Takoma Park, MD 20912

Laura M Steinberg
7407 Baltimore Ave,
Takoma Park, MD 20912



EXISTING PLAT

Note: Property predates modern day zoning.



LOCATION DRAWING
LOT 18 BLOCK 75
TAKOMA PARK LOAN & TRUST COMPANY'S SUBDIVISION
TAKOMA PARK

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100 year flood plain according to FEMA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

Stephen J. Wenthold
 Stephen J. Wenthold, Maryland RLS Reg. No. 10767

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

Date: 9-13-96
 Scale: 1" = 30'
 Plat Book: 2
 Plat No.: 142
 Work Order: 96-2192

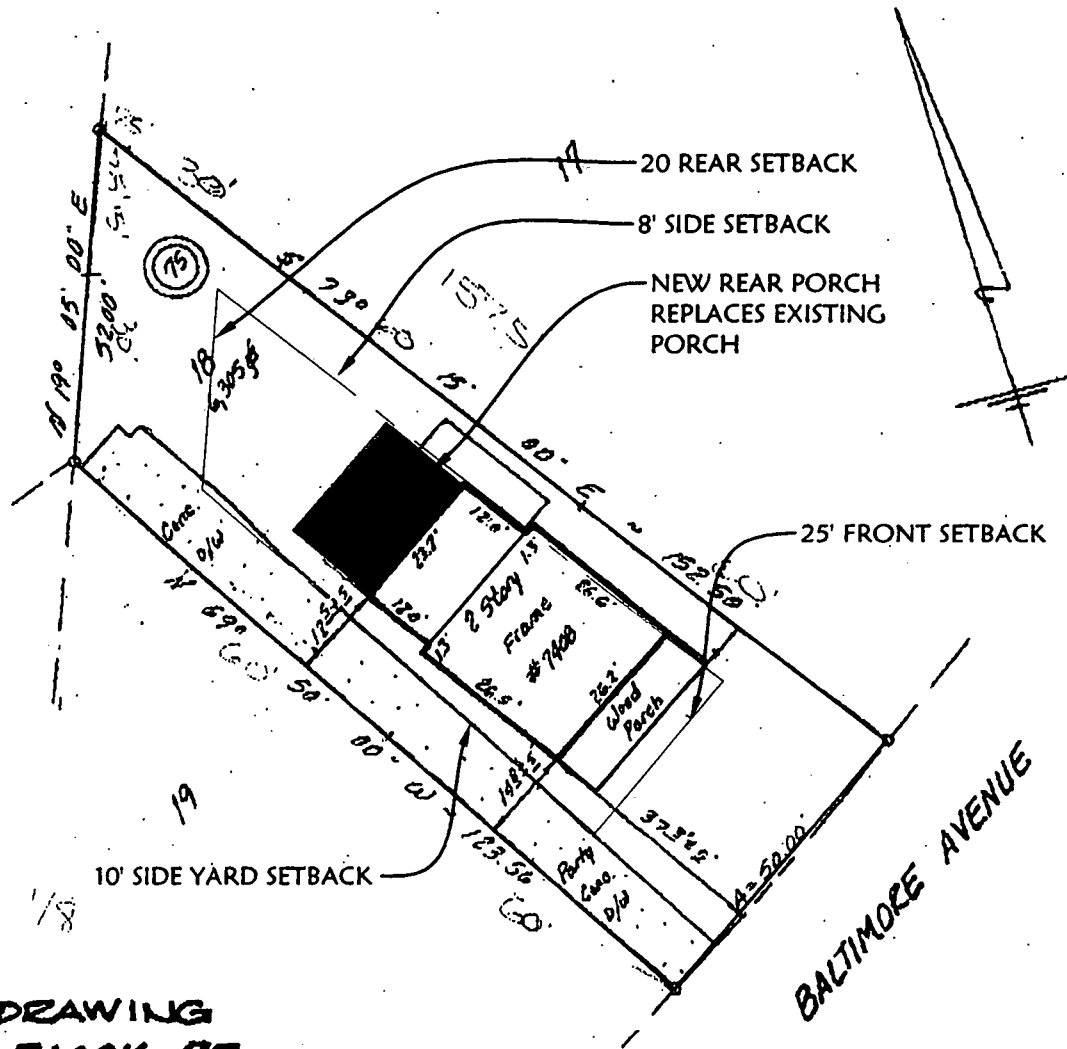
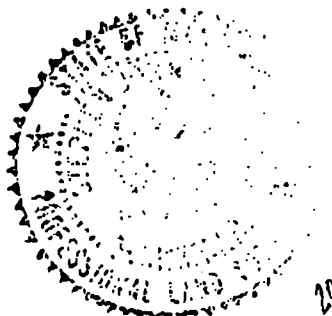
Meridian Surveys, Inc.
 2401 Research Boulevard
 Rockville, MD 20850
 (301) 840-0025

Address: 7408 BALTIMORE AVENUE
 District: 13
 Jurisdiction: MONTGOMERY COUNTY, MD.

partly by record
NO TITLE REPORT FURNISHED

TRAY COPIED PLAT

Note: Property predates modern day zoning.



**LOCATION DRAWING
LOT 18 BLOCK 75
TAKOMA PARK LOAN & TRUST COMPANY'S SUBDIVISION
TAKOMA PARK**

Surveyor's Certification

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Date: 9-13-96
Scale: 1"=30'
Plat Book: 2
Plat No.: 142
Work Order: 96-2192



Meridian Surveys, Inc.
2401 Research Boulevard
Rockville, MD 20850
(301) 840-0025

Address: 7408 BALTIMORE AVENUE
District: 13
Jurisdiction: MONTGOMERY COUNTY, MD.

Handwritten: Handy but recorded
NO TITLE REPORT FURNISHED

DESCRIPTION

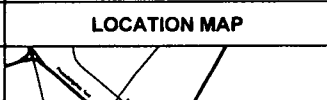
7408 Baltimore Ave
Tacoma Park, MD
Lot 18, Block 75
Plat Book 2, Plat No. 142

Zoning - R-60

KURLAND RESIDENCE

CODE

2009 International Residential Code



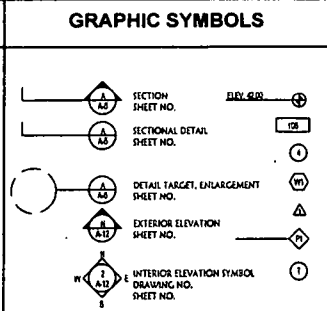
SCOPE OF WORK

Remove existing rear porch, replace with new screen porch.
Insulate attic.
Remove existing east kitchen door
Add sliding door at rear porch
Reside existing rear addition w/ James Hardie Lap siding to match existing vinyl siding 6" exposure.
Replace West basement window w/ new door.



DESIGN CRITERIA

Ground Snow Load: 30psf
Wind Speed: 90mph
Seismic Design Category: B
Weathering: Severe
Frost Line Depth: 24 inches (minimum)
Termite: Moderate to Heavy
Winter Design Temperature: 13°F
Ice Shield Underlayment Required: Yes
Flood Hazard: July 2, 1979
Air Freezing Index: 300
Mean Annual Temperature: 55°F



CALCULATIONS

	EXISTING	PROPOSED	CHANGE
FIRST FLOOR:	893 SQ. FT	893 SQ. FT	0.0 SQ FT
EXTERIOR PORCH	543 SQ. FT	670 SQ FT	127 SQ FT
SECOND FLOOR	842 SQ FT	842 SQ FT	0.0 SQ FT
TOTAL	2478 SQ FT	2605 SQ FT	127 SQ FT
			5.1% INCREASE

LOT SIZE	6305 SQ FT	
LOT COVERAGE	1538 SQ FT. 23.56%	1663 SQ FT. 25.59% ALLOWED 35%
MAXIMUM HEIGHT	35 FT	UNCHANGED

- DRAWINGS**
- CS COVER SHEET
 - SP SPECIFICATIONS
 - D-101 DEMOLITION PLAN
 - A-100 BASEMENT PLAN
 - A-101 FIRST FLOOR PLAN
 - A-102 SECOND FLOOR PLAN
 - A-201 ELEVATIONS
 - A-301 SECTION DETAILS
 - S-101 STRUCTURAL PLANS

Note: Property predates modern day zoning.

LOCATION DRAWING
LOT 18 BLOCK 75
TAKOMA PARK LOAN & TRUST COMPANY'S SUBDIVISION
TAKOMA PARK

Surveyor's Certification
I hereby certify that this survey shows herein in strict accordance with the best of my knowledge and that, unless noted otherwise, it has been prepared in strict accordance with the provisions of the laws of the State of Maryland. This survey is not a boundary survey and the location or subsistence of property corners is neither guaranteed nor warranted. Forces that, of whom, are ignorant of its location. This survey was made and is subject to a 100 year flow plate according to FEMA instructions and unless otherwise shown herein. Building regulations from shown in our standard publications.

NOTE: This plan is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent to facilitate the establishment, financing or refinancing. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or financing financing or refinancing.

John J. [Signature]
Surveyor & Landmark Surveyors, Inc. No. 15174

Date: 9-18-2011
Scale: 1"=30'
Plot Date: 9-18-2011
Plot No: 142
Scale: 1/8"=1'-0"

Address: 7408 BALTIMORE AVENUE
City: LA
Surveyor: MONTGOMERY CONCEPTS, LLC

Meridex Survey, Inc.
2801 Research Boulevard
Annapolis, MD 21403
(410) 440-0323

NO TITLE REPORT FURNISHED

JULIE KURLAND
7408 BALTIMORE AVE
TAKOMA PARK, MD 20912

SUSTAINABLE DESIGN GROUP

22923 WILDCAT RD
GATHERSBURG, MD, 20877
(301) 428-1040

CONSULTANTS

APPLIED STRUCTURAL CONCEPTS, LLC
9322 HILLSBOROUGH DR
FREDERICK, MD 21701
301-666-6569

SD 07/29/2011

SHEET TITLE

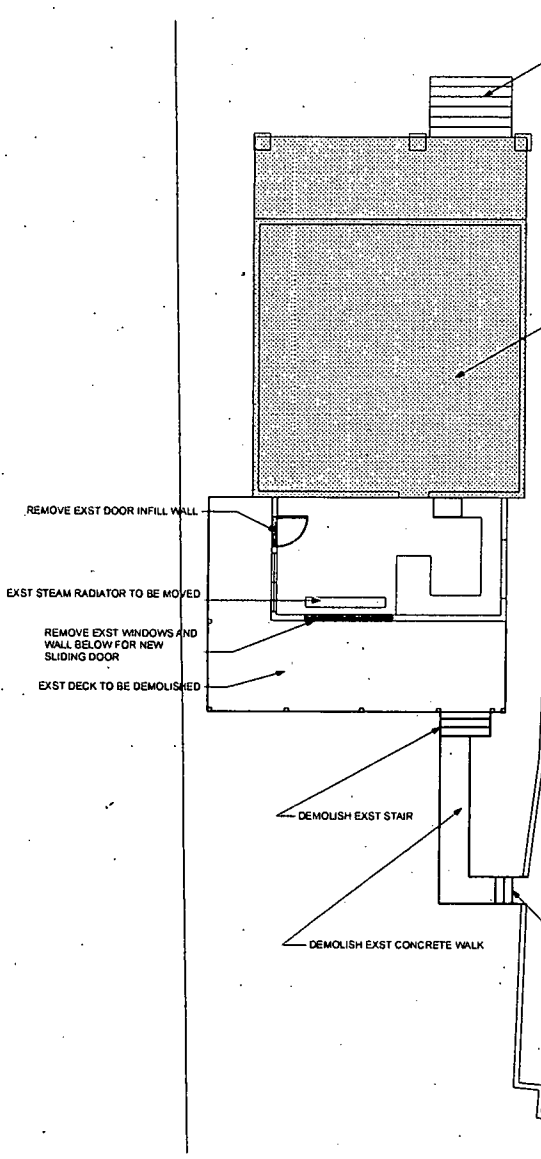
Cover

CS

9

10

1 Demolition
SCALE: 1/8" = 1'-0"



REPAIR EXST FRONT STAIRS
8'3" WIDE, (7) 4" RISERS, 52" TOTAL RISE
REMOVE AND REPLACE RAILING

REMOVE EXST PORCH ROOF

REMOVE EXST PORCH DECK
RAILINGS AND COLUMN

DEMOLISH EXST. CONCRETE STEPS

EXISTING HOUSE NO WORK

OPEN BOTTOM OF WINDOW OPENING
AND RETAINING WALL FOR NEW DOOR

REPAIR FRONT
WOOD TREADS
AND RISERS

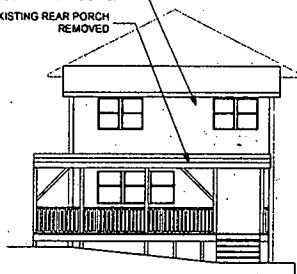
2 Demolition
SCALE: 1/8" = 1'-0"

EXISTING ADDITION, VINYL SIDING
REPLACED WITH LAP SIDING.

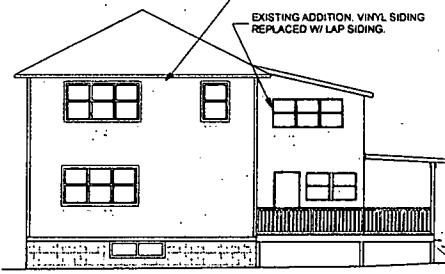
EXISTING REAR PORCH
REMOVED

EXISTING HOUSE NO WORK

EXISTING ADDITION, VINYL SIDING
REPLACED W/ LAP SIDING.



EXISTING NORTH ELEVATION
SCALE: N.T.S.



EXISTING EAST ELEVATION
SCALE: N.T.S.

EXISTING REAR PORCH
REMOVED

DEMOLISH EXST
CONCRETE STEPS



EXISTING WEST ELEVATION
SCALE: N.T.S.

EXISTING ADDITION, VINYL SIDING
REPLACED WITH LAP SIDING.

EXISTING BASEMENT WINDOW TO BE
REPLACED

JULIE KURLAND
7408 BALTIMORE AVE
TAKOMA PARK, MD 20912

SUSTAINABLE DESIGN GROUP

25923 WILDCAT RD
BATHERSBURG, MD, 20877
(301)428-1040

CONSULTANTS

APPLIED
STRUCTURAL
CONCEPTS, LLC

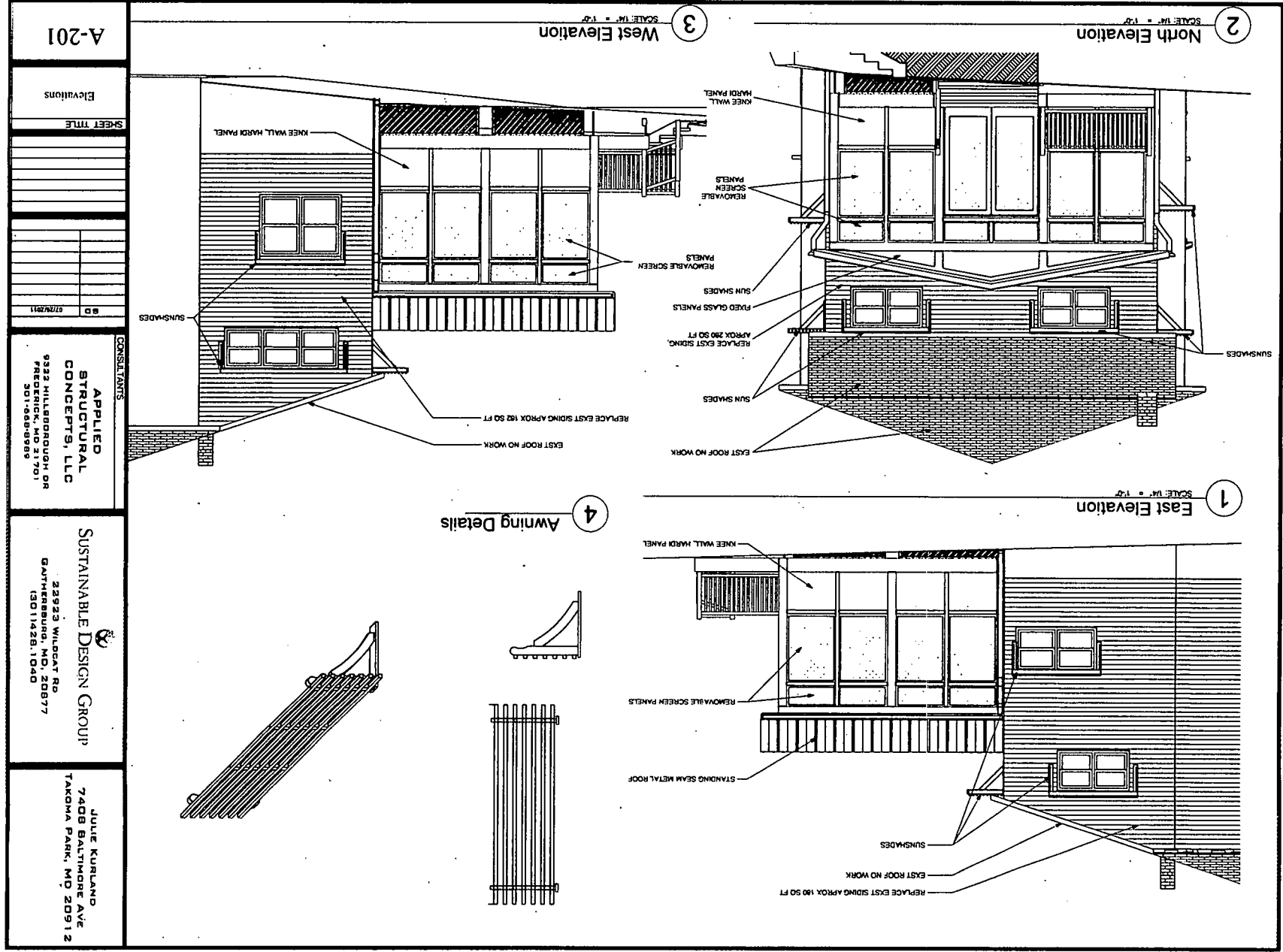
9322 HILLSBOROUGH DR
FREDERICK, MD 21701
301-666-8788

SD 07/26/2011

SHEET TITLE

Demolition

D-101



A-201

Elevations

SHEET TITLE

07/27/2011

CONSULTANTS

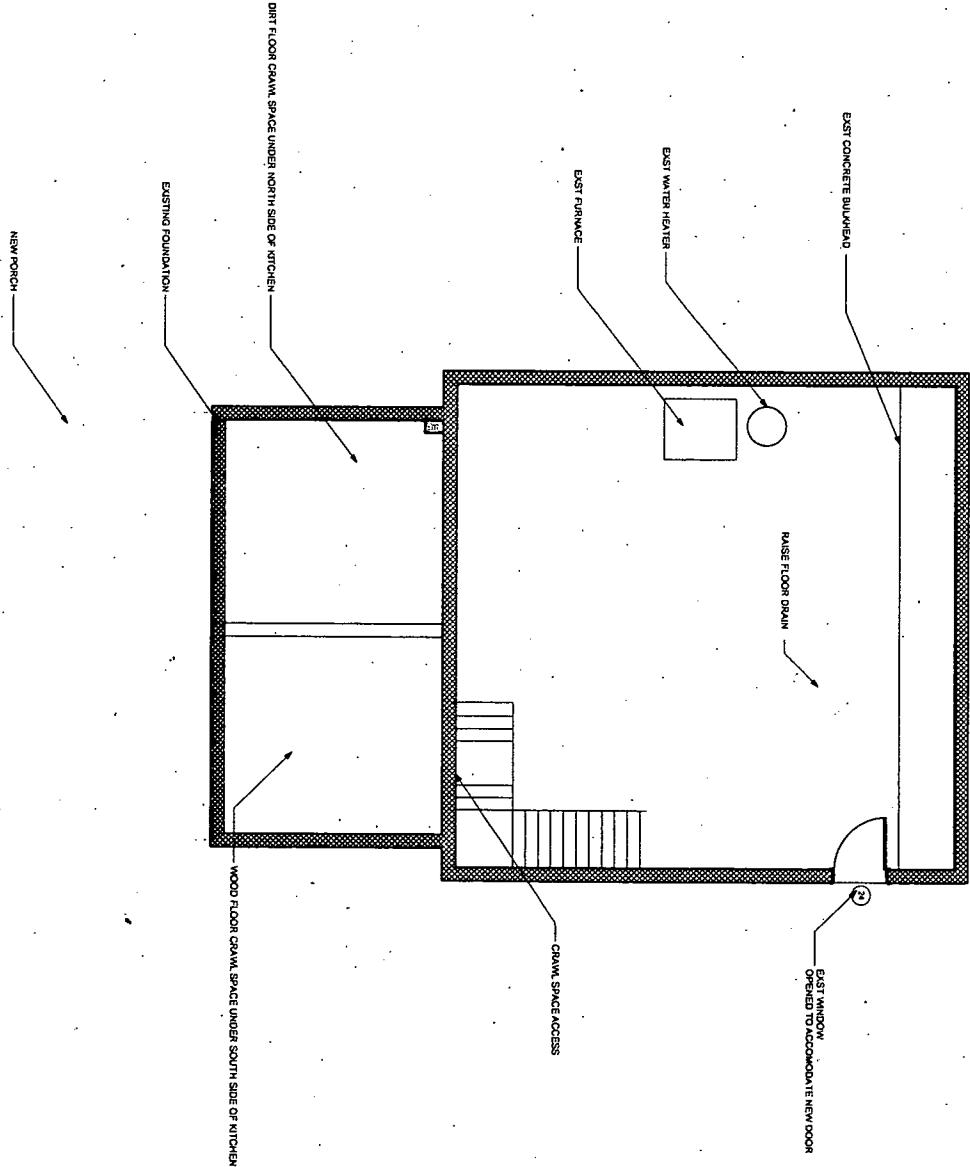
APPLIED STRUCTURAL CONCEPTS, LLC
 9332 HILLBOROUGH DR
 FREDERICK, MD 21701
 301-688-9585

SUSTAINABLE DESIGN GROUP
 25923 WILDECAT RD
 GANTHERSBURG, MD, 20877
 (301)428-1040

JULIE KURLAND
 7408 BALTIMORE AVE
 TAKOMA PARK, MD 20912

1

Basement
SCALE: 1/4" = 1'-0"



CONSULTANTS

APPLIED STRUCTURAL CONCEPTS, LLC

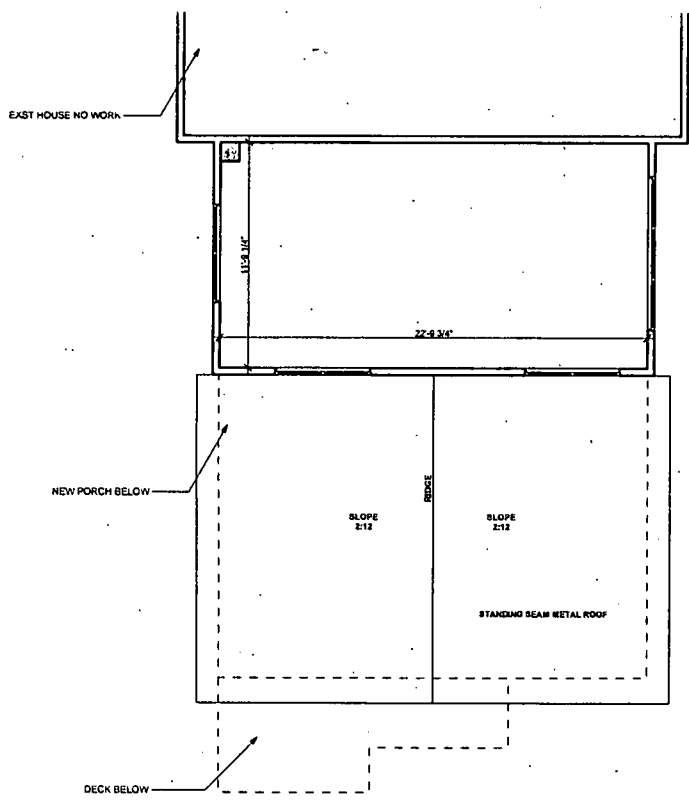
9322 HILLSBOROUGH DR
FREDERICK, MD 21701
301-668-6969

SUSTAINABLE DESIGN GROUP

22923 WILDCAT RD
GAITHERSBURG, MD, 20877
(301) 428-1040

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7408 BALTIMORE AVE
TAKOMA PARK, MD 20912

A-100	Basement	SHEET TITLE
		NO. / SHEETS



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

14

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7408 BALTIMORE AVE
TAKOMA PARK, MD 20912

SUSTAINABLE DESIGN GROUP
22923 WILDCAT RD
GANTHERSBURG, MD, 20877
(301)428-1040

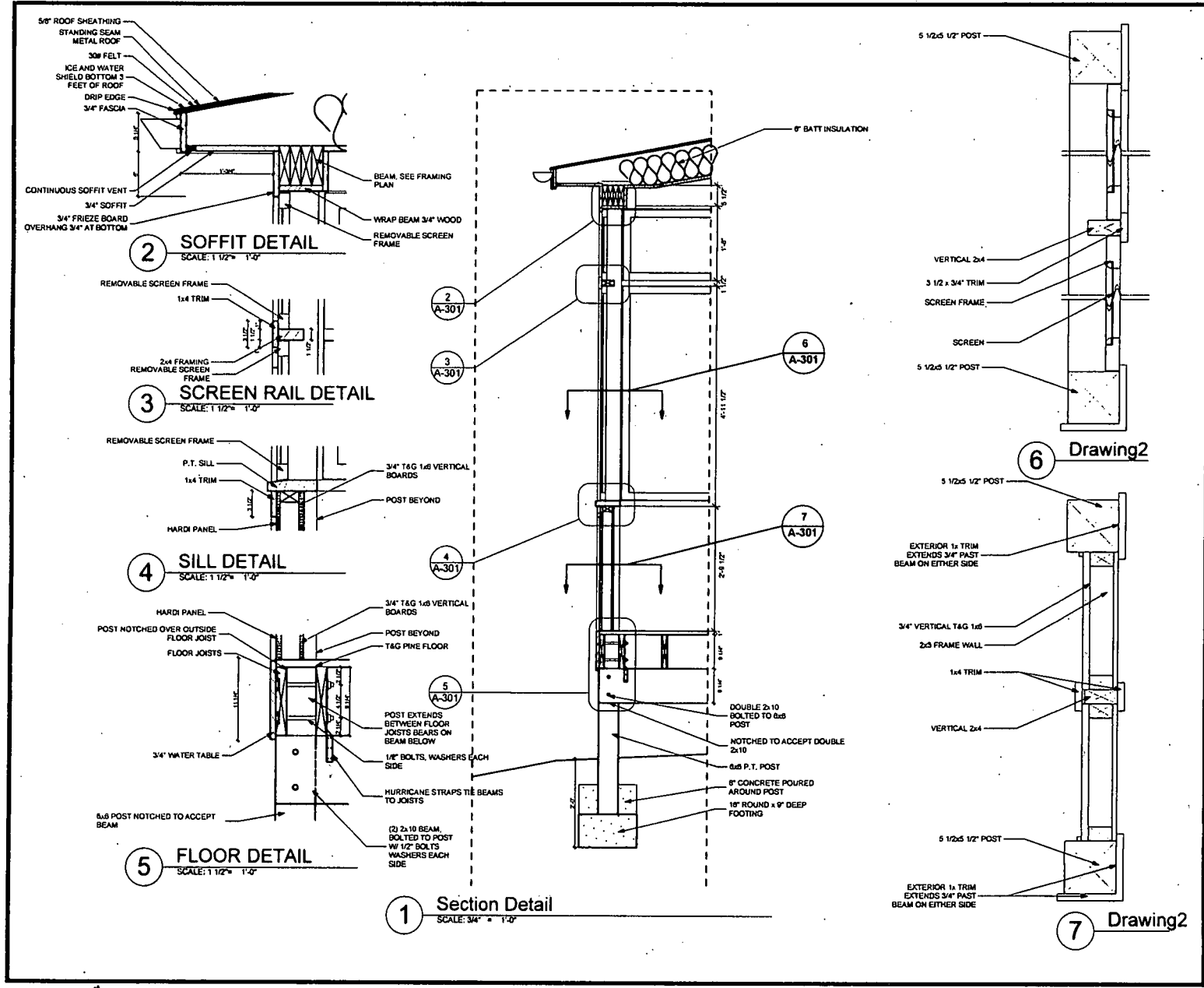
CONSULTANTS
APPLIED STRUCTURAL CONCEPTS, LLC
9222 HILLSBOROUGH DR
FREDERICK, MD 21701
301-688-9989

SD	07/24/2011

SHEET TITLE
Roof Plan

A-102

15



JULIE KURLAND
7408 BALTIMORE AVE
TAKOMA PARK, MD 20912

SUSTAINABLE DESIGN GROUP

25925 WILDCAT RD
GAITHERSBURG, MD, 20877
(301) 426-1040

CONSULTANTS

APPLIED STRUCTURAL CONCEPTS, LLC
9222 HILLSBOROUGH DR
FREDERICK, MD 21701
301-668-6969

NO 07/24/2011

SHEET TITLE

Layout

A-301

Kurland Residence

7408 Baltimore Ave

Tacoma Park, MD 20912



This section of iron railing is the only one surrounding the existing porch

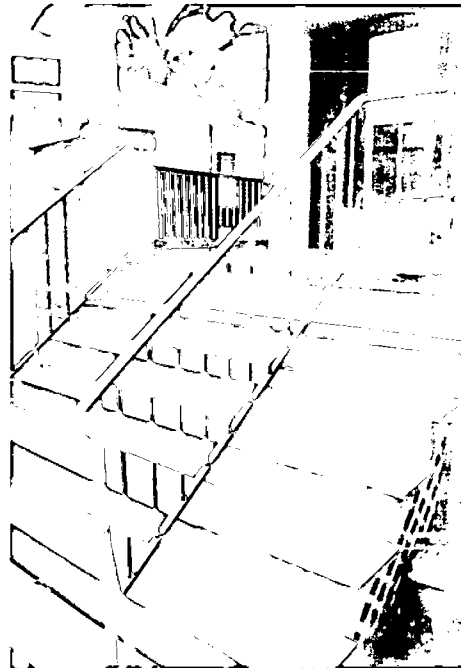
New stairs will be built to match the existing stairs, Wood treads with painted risers.

Existing stairs

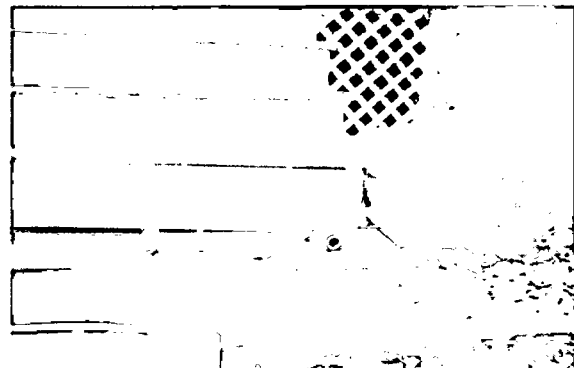


Existing Railing

This railing surrounds the majority of the existing porch, and appears to be in good shape. No work will be done on the existing railing. The new stair railing will be built to match this existing railing



Iron railing at front stairs

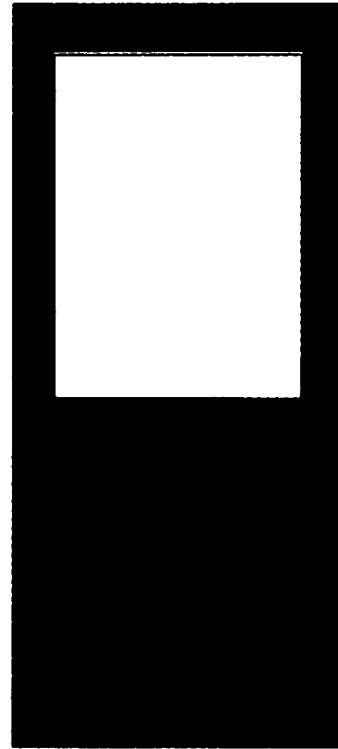
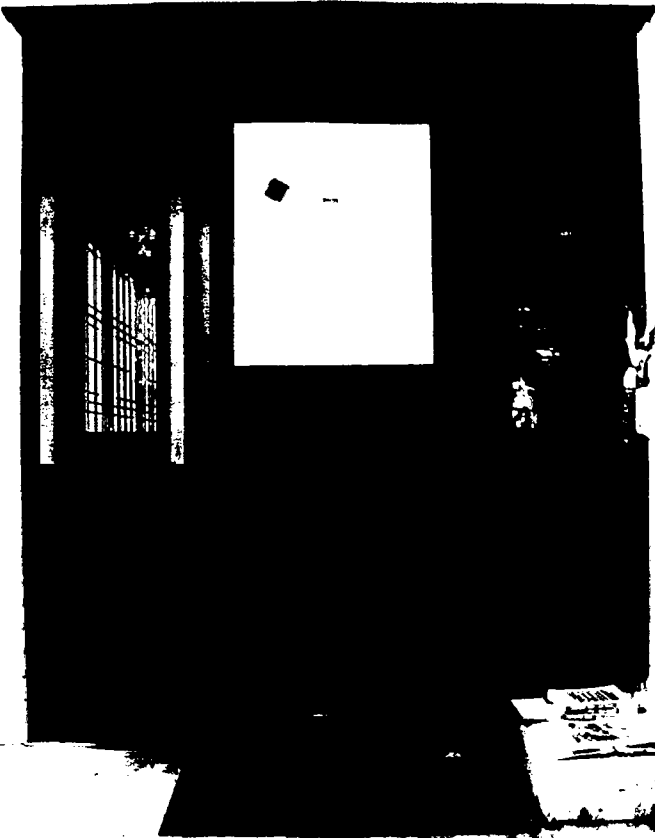


Existing wood front stairs showing curled and buckled boards

Kurland Residence

7408 Baltimore Ave

Tacoma Park, MD 20912



Possible screen door for existing front door.
Douglas Fir door (from VintageDoors.com) painted to match existing
front door color



Kurland Residence
7408 Baltimore Ave
Tacoma Park, MD 20912
Basement Door



View from the end of the driveway

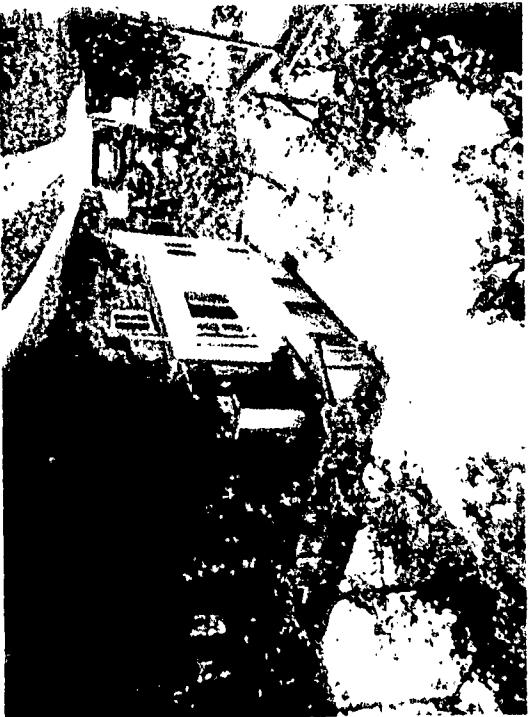


Existing vinyl sliding window



Stone retaining wall to be repaired using existing stone

New Therma-Tru "Classic Craft" smooth finish fiberglass door. Painted to match existing house trim



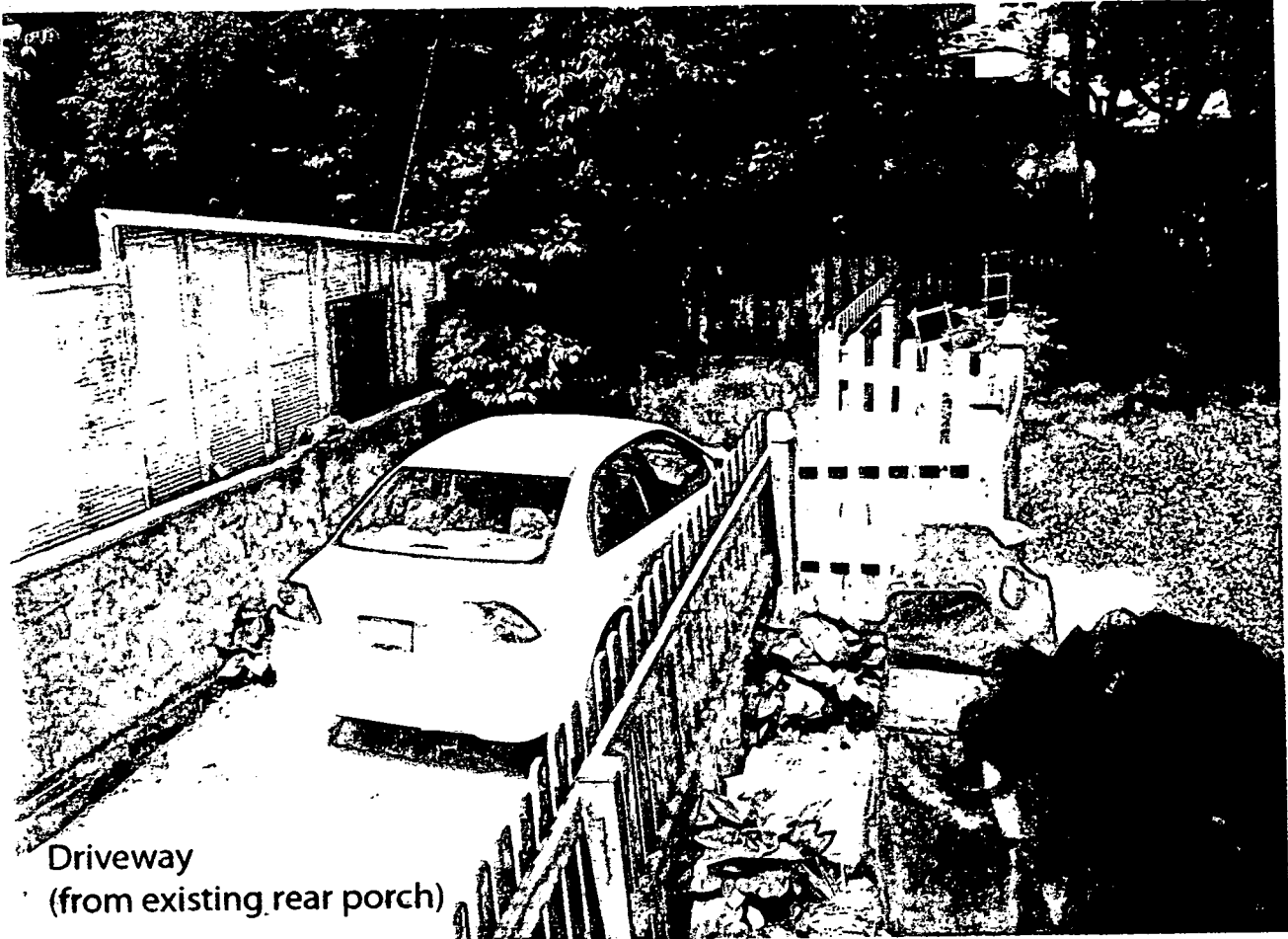
Driveway - South
(from Baltimore Ave)



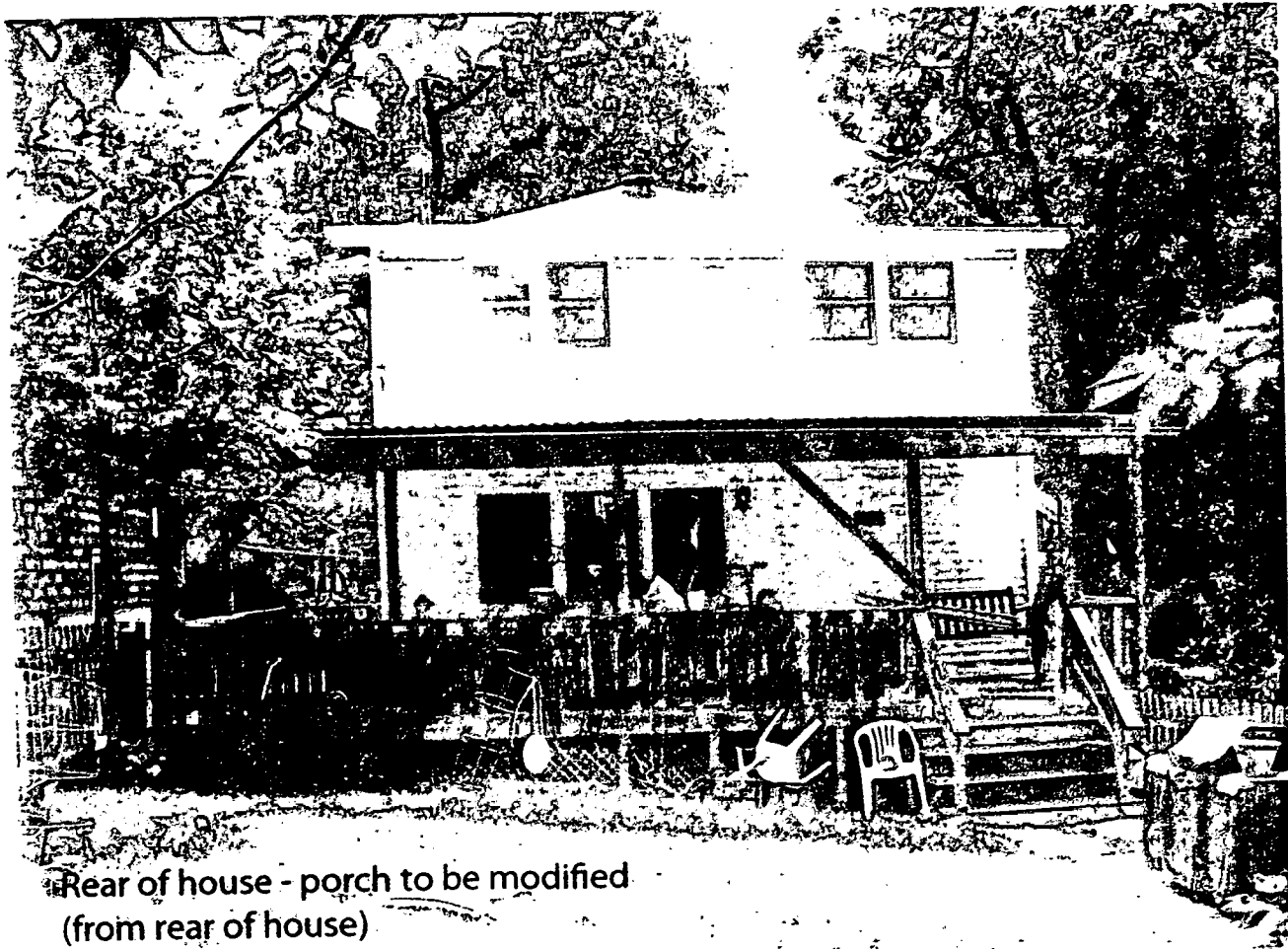
South view
(from Baltimore Ave)



West side of residence



Driveway
(from existing rear porch)



Rear of house - porch to be modified
(from rear of house)



7408 Baltimore Ave
(from 7407 Baltimore Ave residence)

7408 Baltimore



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24



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: 9/8/11

MEMORANDUM

TO: Jennifer Hughes, Acting Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #576043—rear screened porch construction and other alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on September 7, 2011.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Julie Kurland
Address: 7408 Baltimore Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





Alt # 576043

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Brian Carroll

Daytime Phone No.: 240-305-6913

Tax Account No.: _____

Name of Property Owner: Julie Kurland Daytime Phone No.: n/a

Address: 7408 Takoma Park Baltimore Ave 20912
Street Number City Street Zip Code

Contractor: Sustainable Design Group Phone No.: 301-728-1040

Contractor Registration No.: _____

Agent for Owner: John Spears Daytime Phone No.: 301-428-1040

LOCATION OF BUILDING/PREMISE

House Number: 7408 Street: Baltimore Avenue

Town/City: Takoma Park Nearest Cross Street: _____

Lot: 18 Block: 75 Subdivision: 0025

Liber: _____ Folio: _____ Parcel: 0000

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- AC
- Stab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 100,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Brian Carroll
Signature of owner or authorized agent

08.02.2011
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 9/8/11

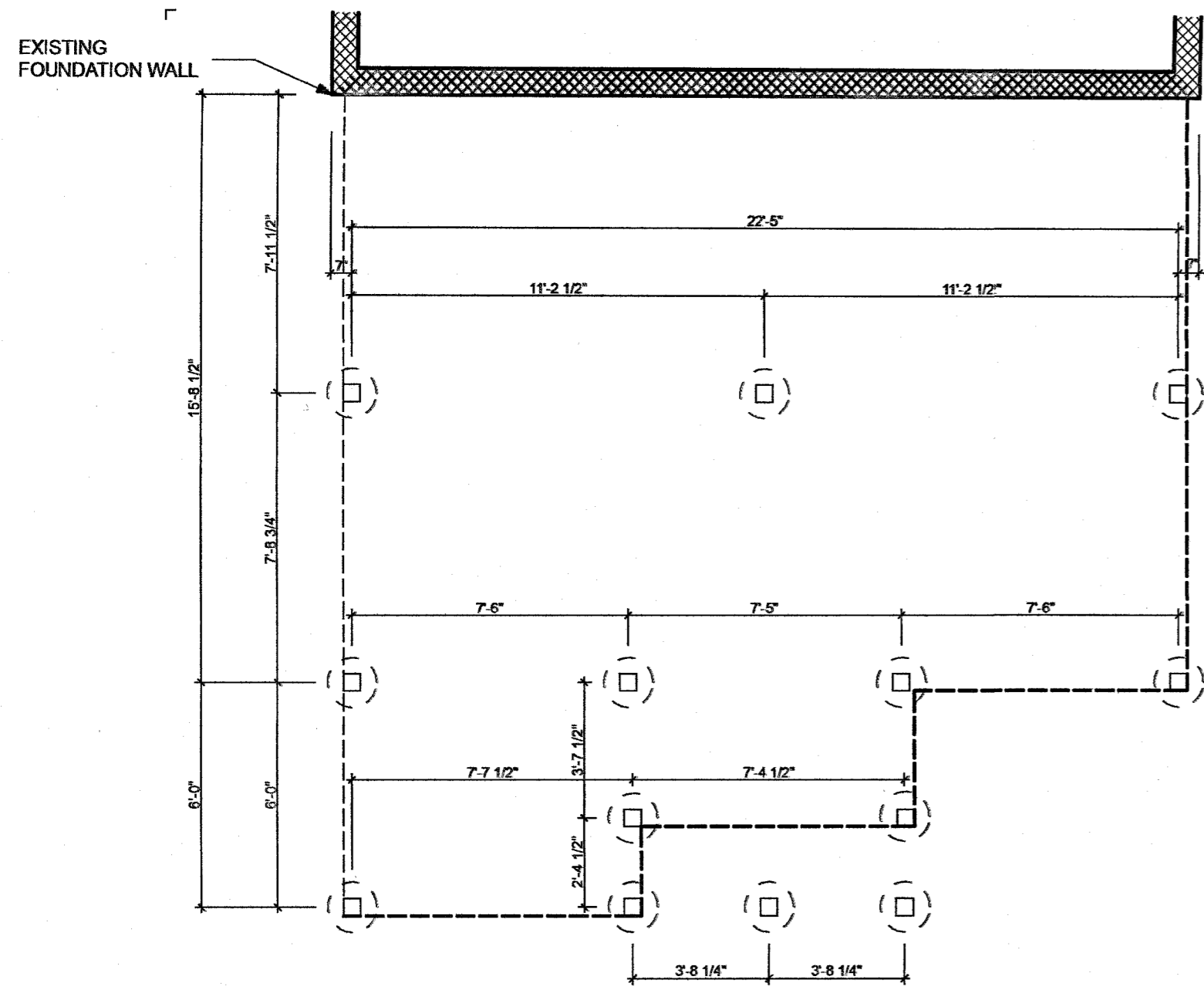
Application/Permit No.: 576043 Date Filed: 8/2/11 Date Issued: _____

Description of existing structure and environmental setting, including historical features and significance:

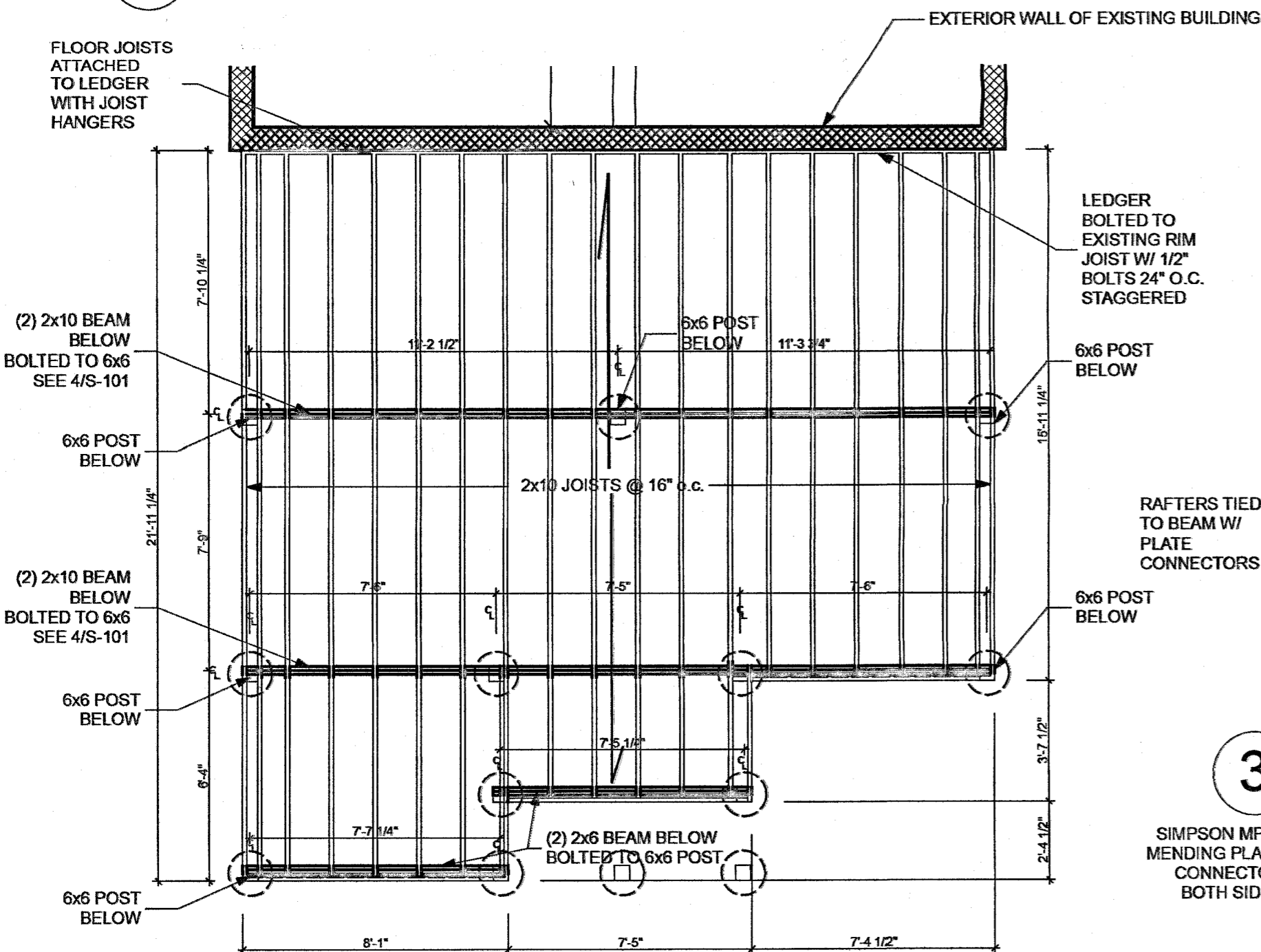
The home located at 7408 Baltimore Avenue in Tacoma Park MD is a 2 story frame building built in 1923 in an established neighborhood of similar homes. The home is sited on a street lined with mature trees and porches facing Baltimore Avenue. These homes are in a level 2 historic district.

General Description of project and its effect on the historic resources, the environmental setting, and where applicable, the historic district.

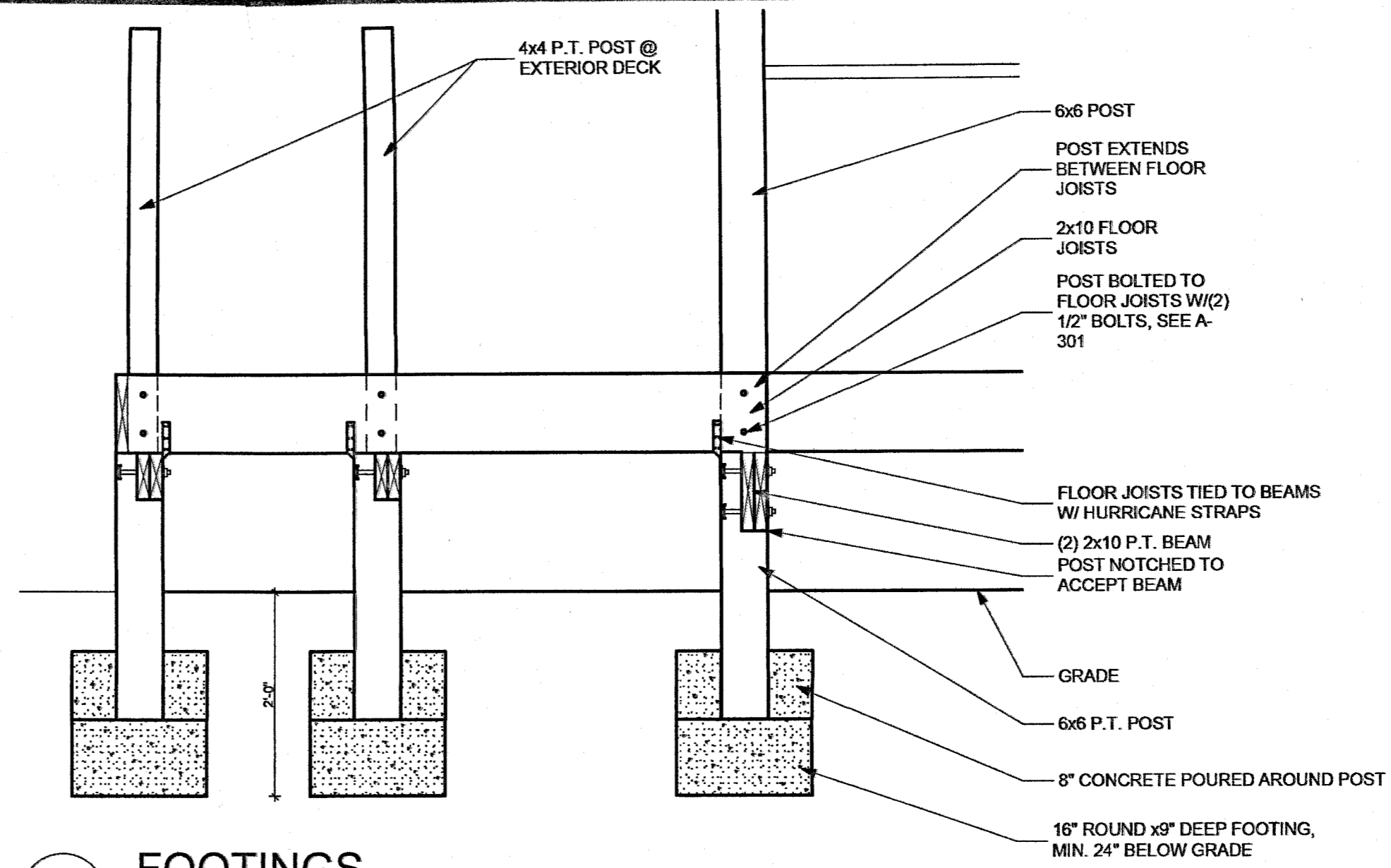
This project involves the demolition and reconstruction of an existing porch attached to the rear of a later addition to the historic home. This addition to the historic home will also be resided with lap siding to replace the existing vinyl siding. The new siding will include corner boards and water tables and will be painted in a color that matches the existing front historic portion of the home. The façade of the home is unaffected by this project, with the exception of replacing badly cupped and damaged boards on the pressure treated front steps, and weather-stripping the existing front door.



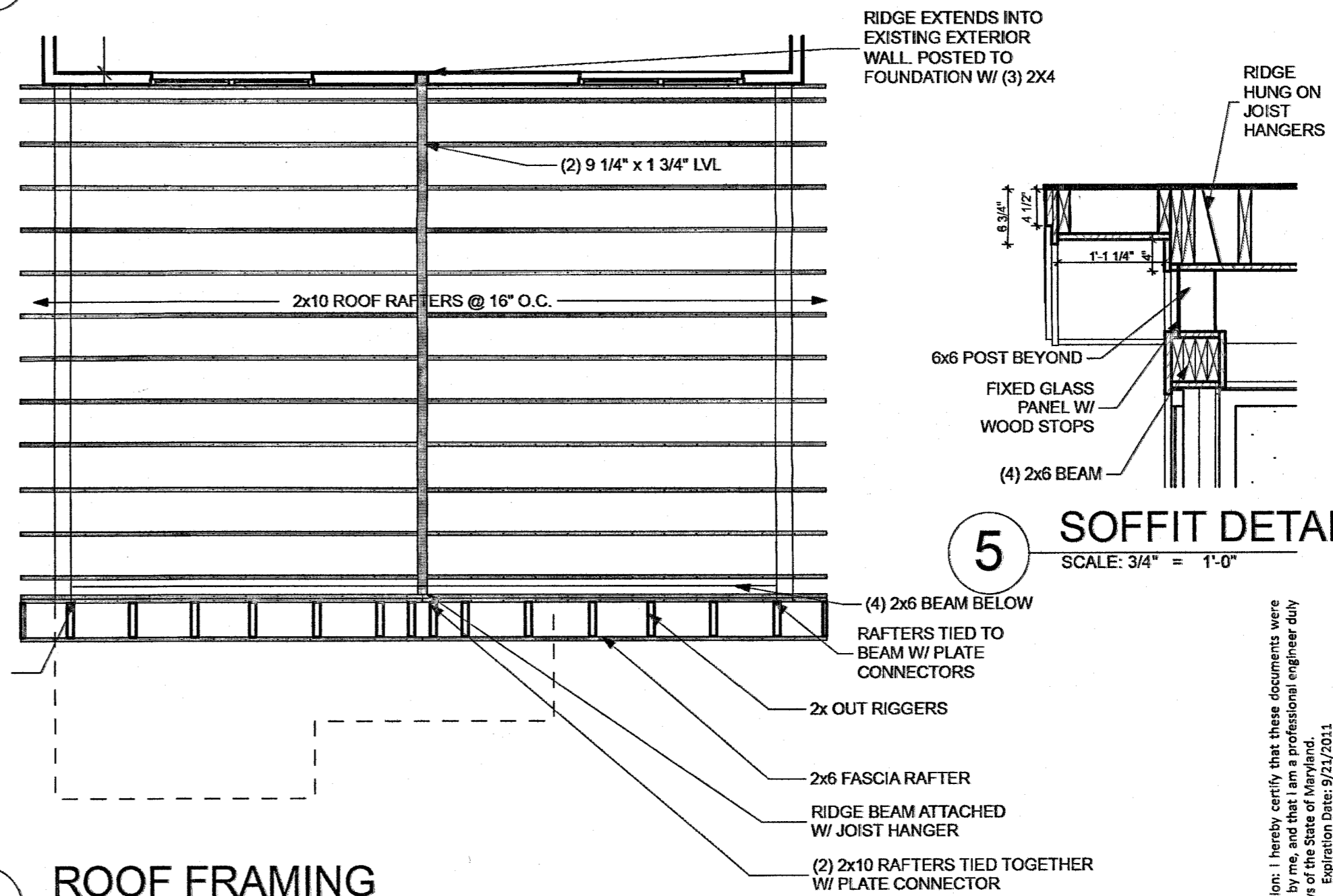
1 FOOTINGS (Measurements to Centerline)
SCALE: 1/4" = 1'-0"



2 DECK FRAMING
SCALE: 1/4" = 1'-0"

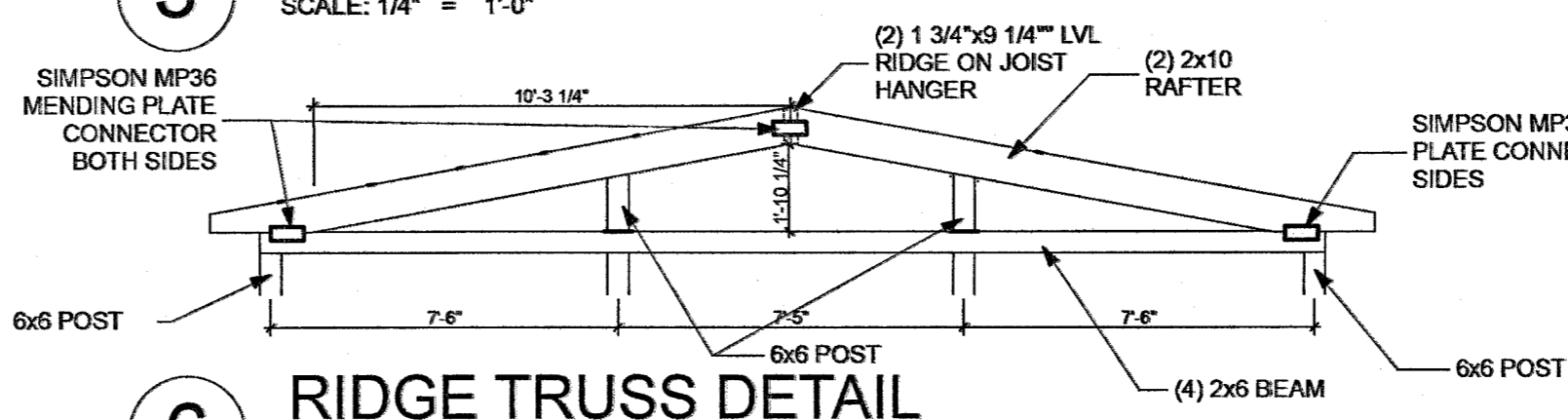


4 FOOTINGS
SCALE: 3/4" = 1'-0"



3 ROOF FRAMING
SCALE: 1/4" = 1'-0"

5 SOFFIT DETAIL
SCALE: 3/4" = 1'-0"



6 RIDGE TRUSS DETAIL
SCALE: 1/4" = 1'-0"

JULIE KURLAND
7408 BALTIMORE AVE
TAKOMA PARK, MD 20912

SUSTAINABLE DESIGN GROUP
22923 WILDCAT RD
GAITHERSBURG, MD, 20877
(301) 428.1040

CONSULTANTS
STRUCTURAL ENGINEERING UNLIMITED, LLC
9322 HILLSBOROUGH DR
FREDERICK, MD 21701
301-668-8989

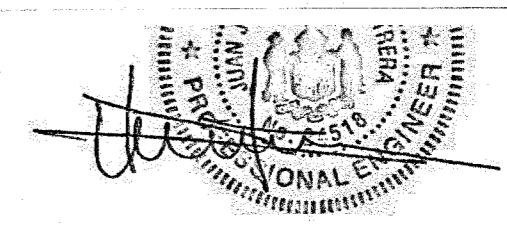
SD	07/26/2011
PERMIT	08/02/2011

SHEET TITLE
STRUCTURAL PLANS

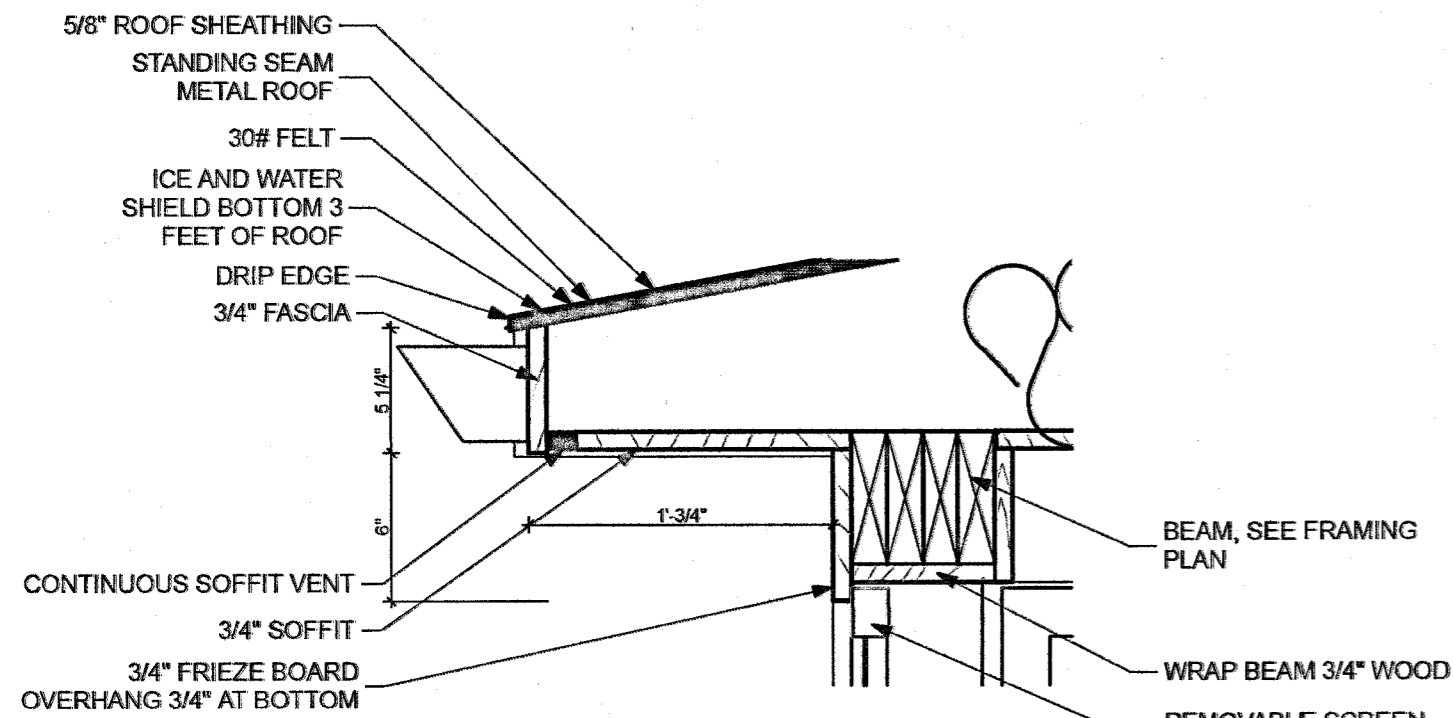
S-101

2 DECK FRAMING
SCALE: 1/4" = 1'-0"

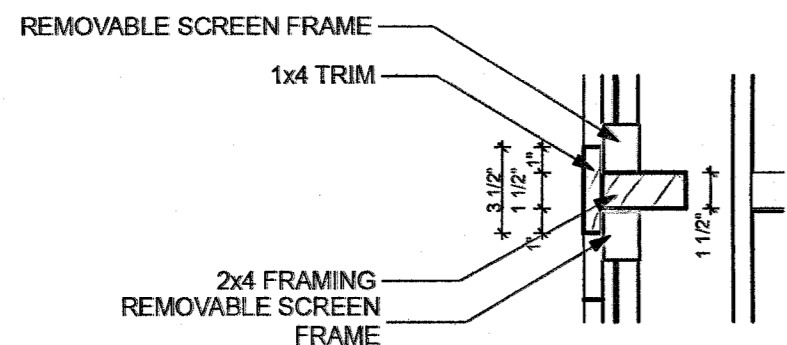
6 RIDGE TRUSS DETAIL
SCALE: 1/4" = 1'-0"



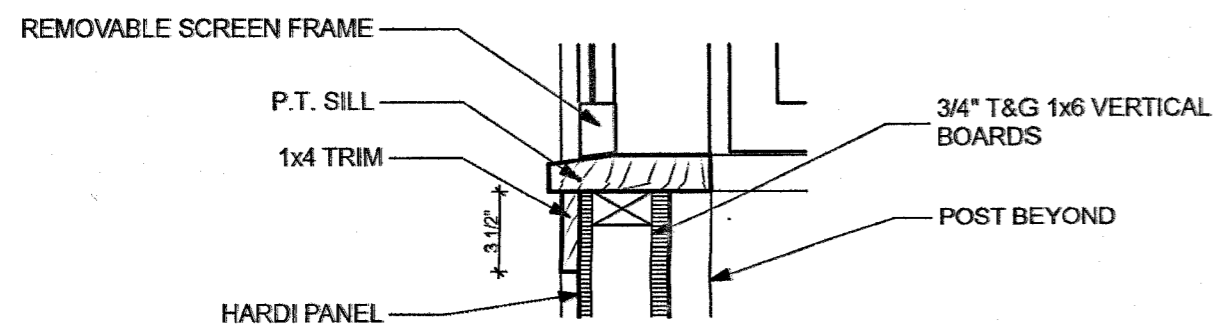
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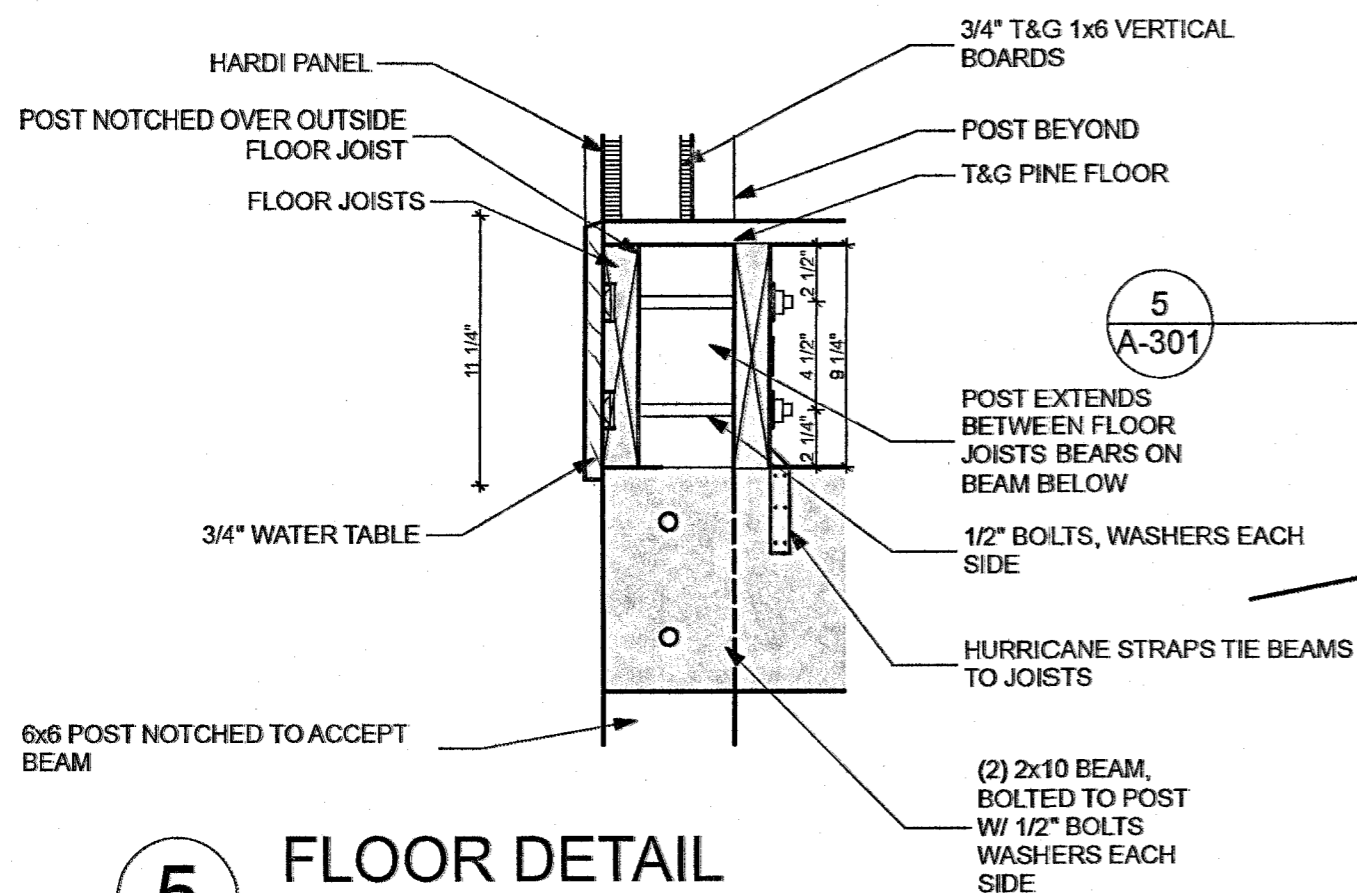
2 SOFFIT DETAIL
SCALE: 1 1/2" = 1'-0"



3 SCREEN RAIL DETAIL
SCALE: 1 1/2" = 1'-0"



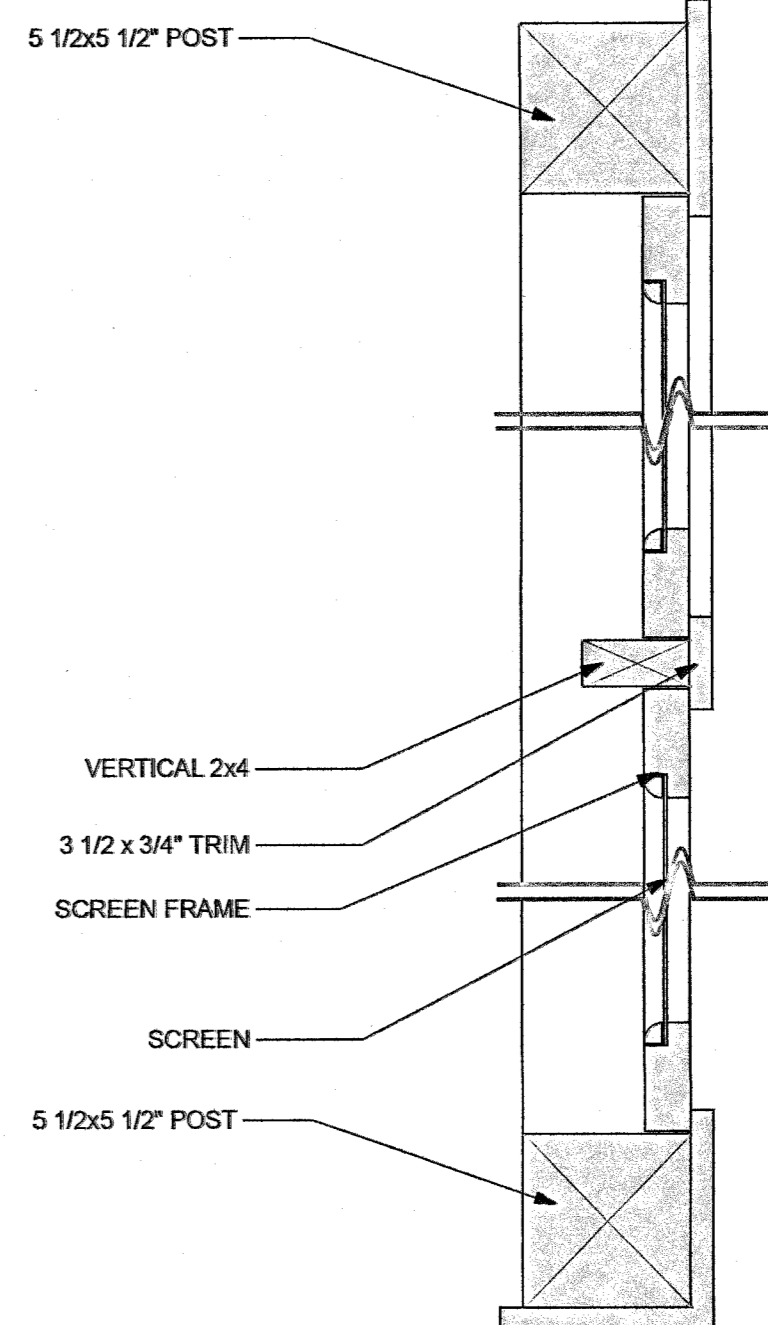
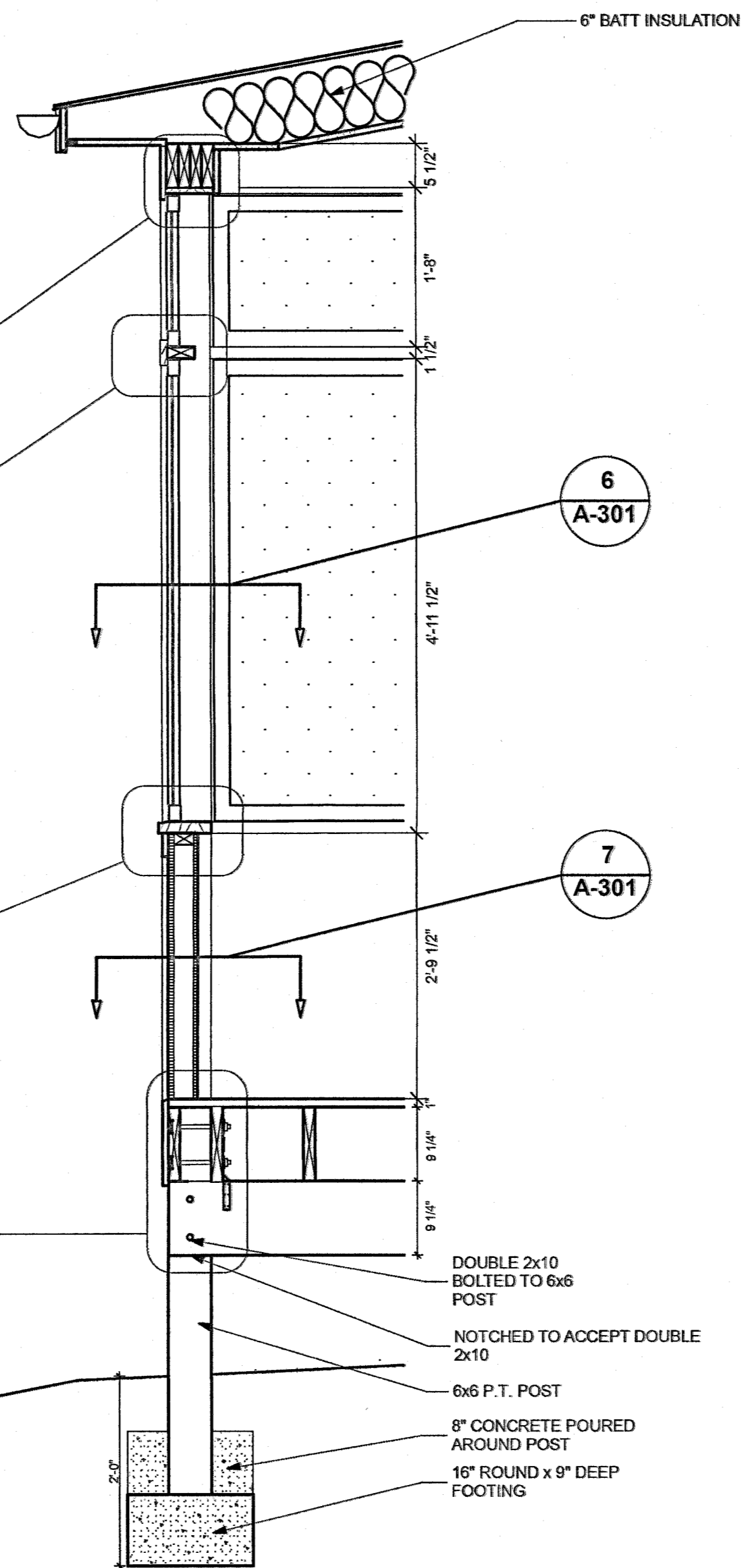
4 SILL DETAIL
SCALE: 1 1/2" = 1'-0"



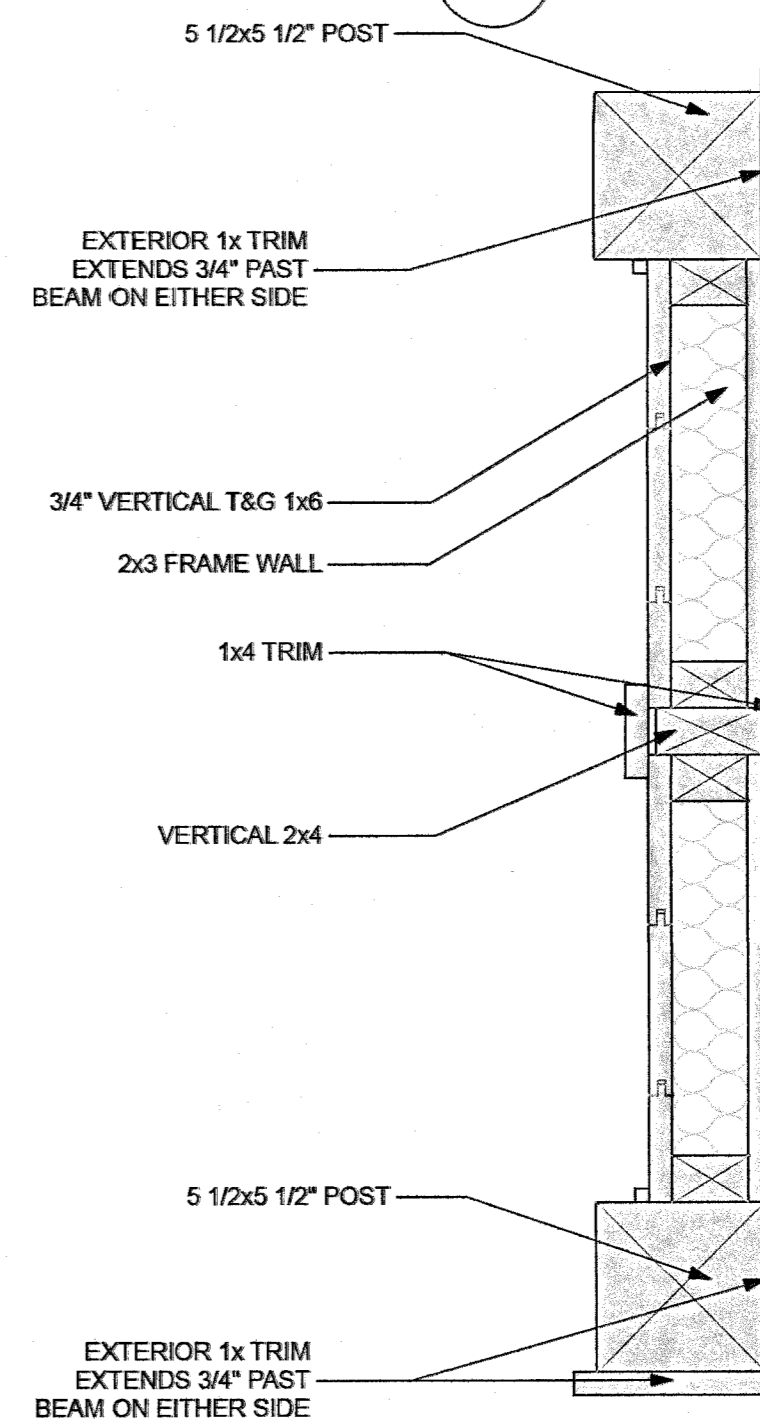
5 FLOOR DETAIL
SCALE: 1 1/2" = 1'-0"

1 Section Detail
SCALE: 3/4" = 1'-0"

1 Section Detail
SCALE: 3/4" = 1'-0"



6 Drawing2



7 Drawing2

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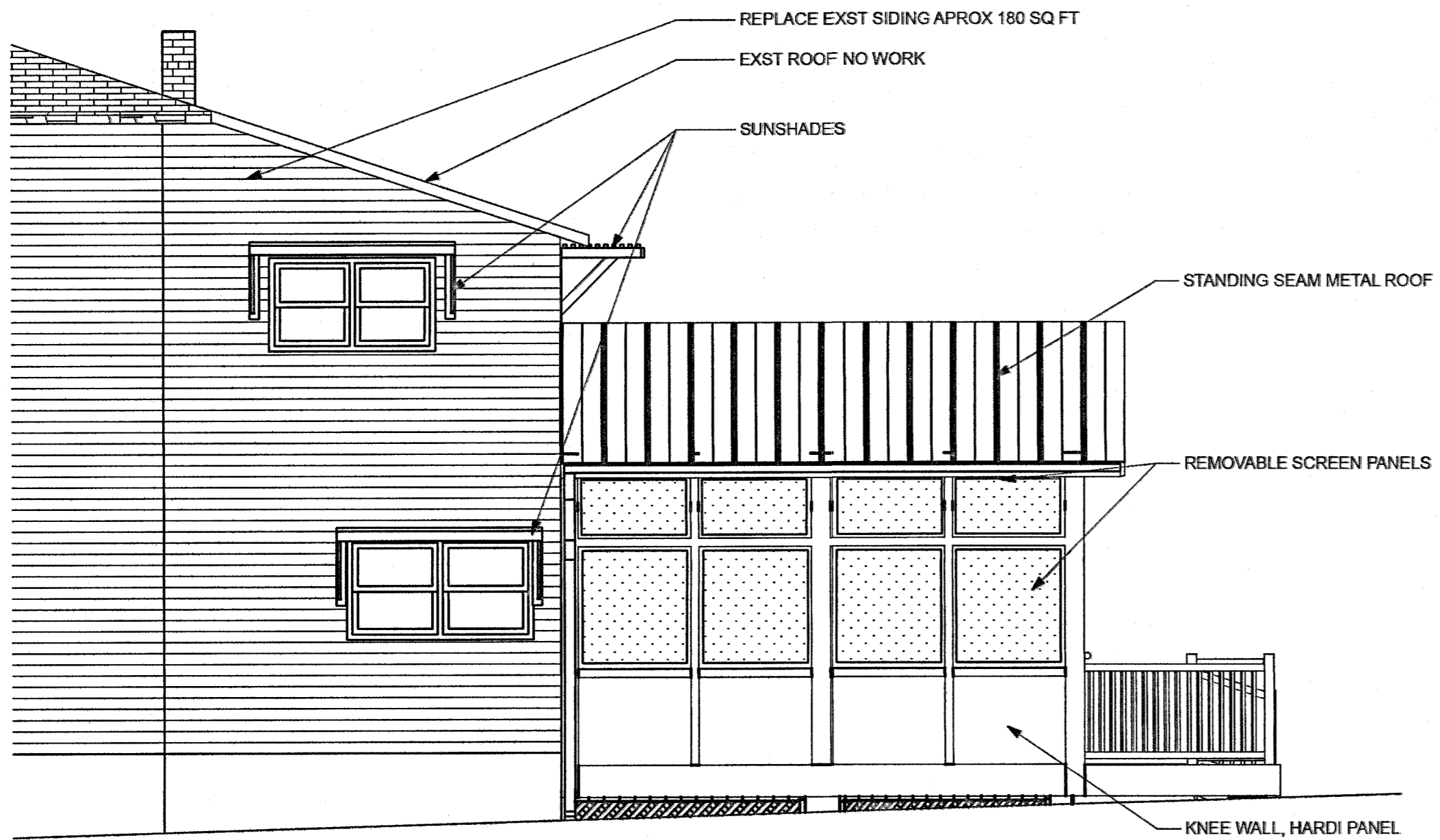
SD 07/26/2011
PERMIT 08/02/2011

SHEET TITLE
Layout

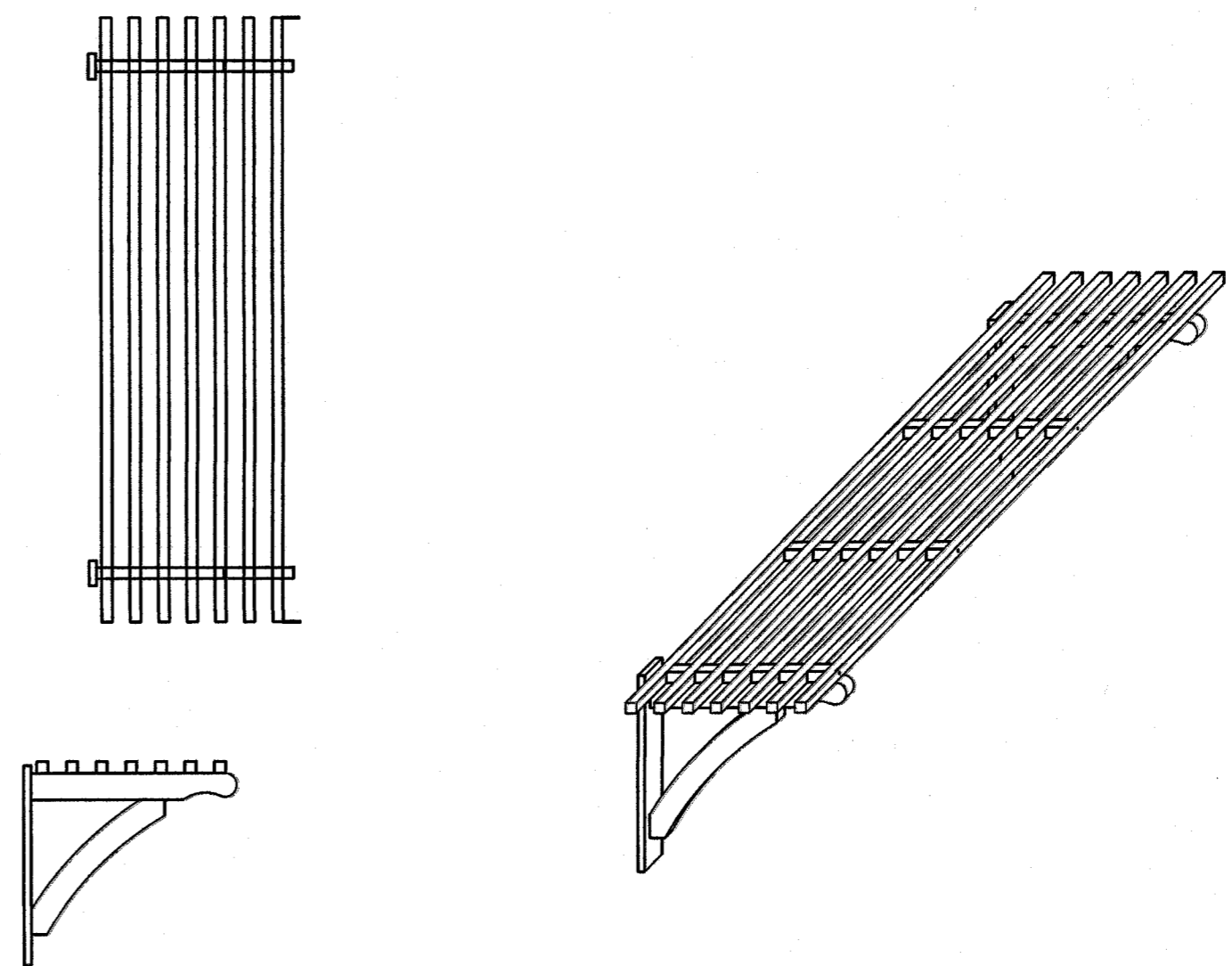
A-301

7 Drawing2

A-301



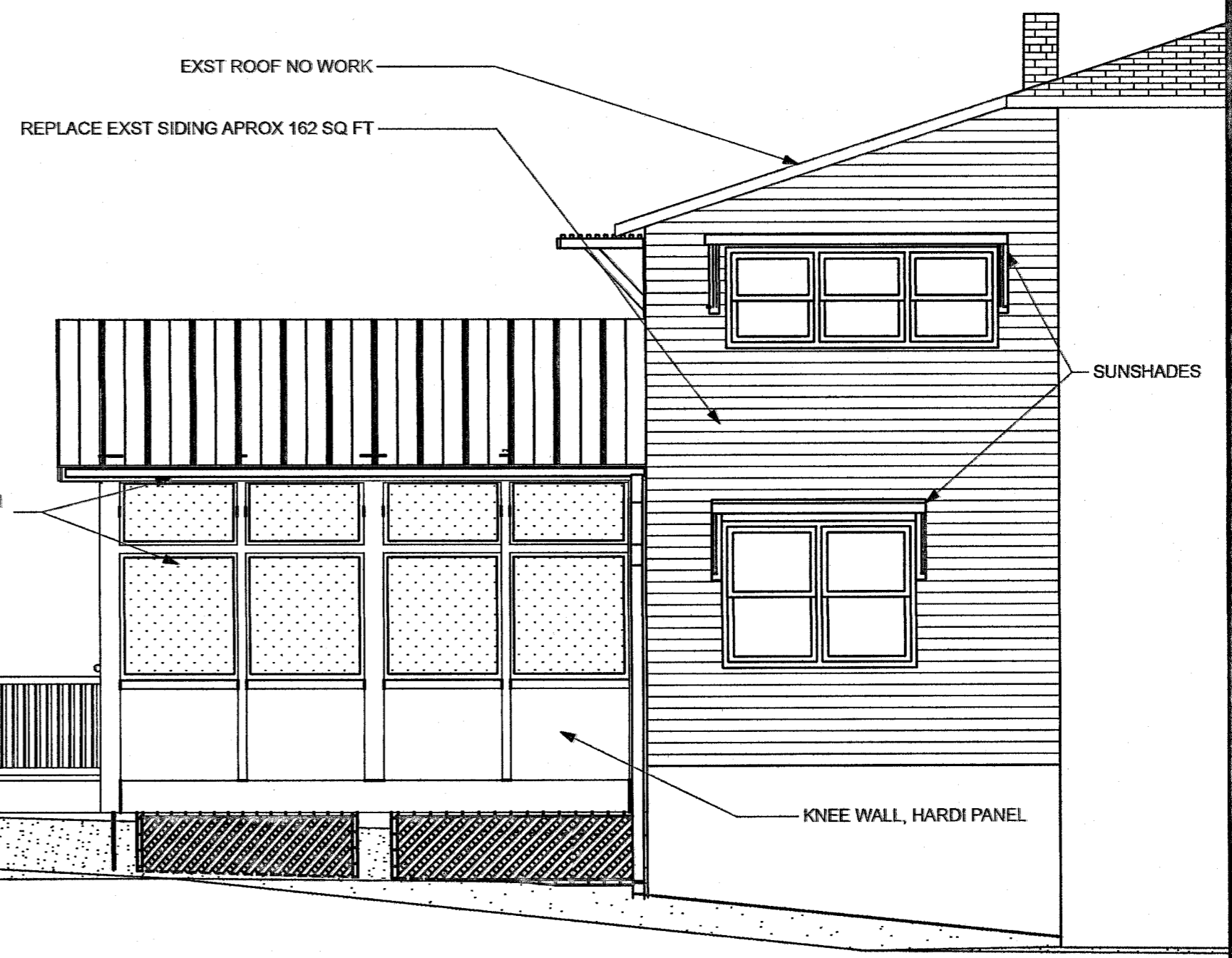
1 East Elevation
SCALE: 1/4" = 1'-0"



4 Awning Details



2 North Elevation
SCALE: 1/4" = 1'-0"



3 West Elevation
SCALE: 1/4" = 1'-0"

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REV 1	09/04/2011

SHEET TITLE
Elevations

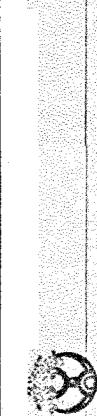
A-201

2 North Elevation
SCALE: 1/4" = 1'-0"

3 West Elevation
SCALE: 1/4" = 1'-0"

A-201

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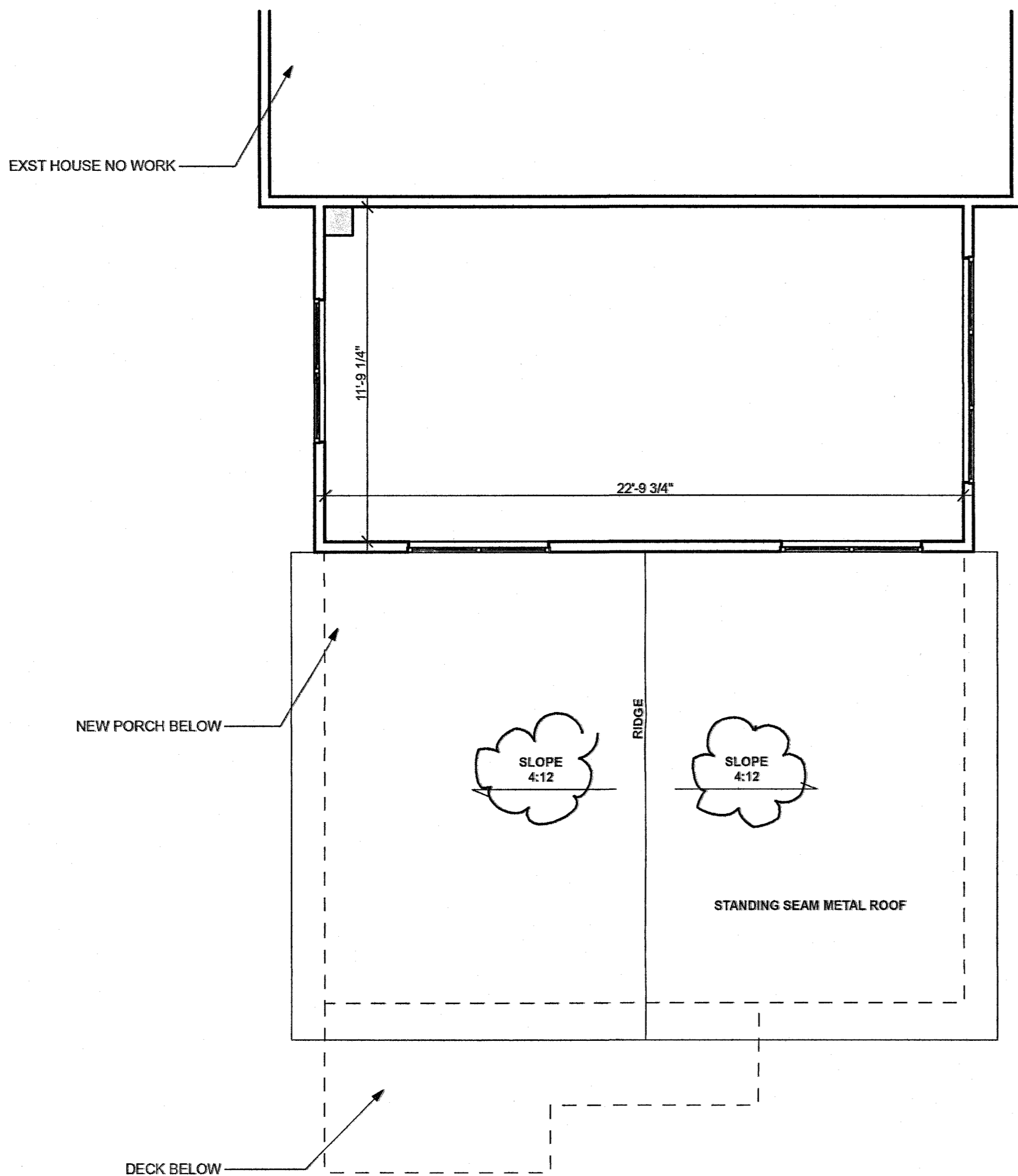
SD	07/26/2011
PERMIT	08/02/2011
REV 1	09/04/2011

SHEET TITLE

Roof Plan

A-102

A-102



1 ROOF PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL & LIGHTING SYMBOLS

- Ⓛ DUPLEX RECEPTACLE
- ⓁⓂ DUPLEX RECEPTACLE MOUNTED AT FLOOR
- ⓁⓂⓂ G.F.I. DUPLEX RECEPTACLE W/GROUND FAULT INTERRUPTER
- ⓁⓂⓂⓂ DEDICATED RECEPTACLE (APPLIANCES, ETC.)
- ⓁⓂⓂⓂⓂ QUADRUPLEX RECEPTACLE
- ⓁⓂⓂⓂⓂ SWITCHED DUPLEX RECEPTACLE

- Ⓢ SINGLE POLE SWITCH
- ⓈⓈ THREE-WAY SWITCH
- ⓈⓈⓈ DIMMER SWITCH

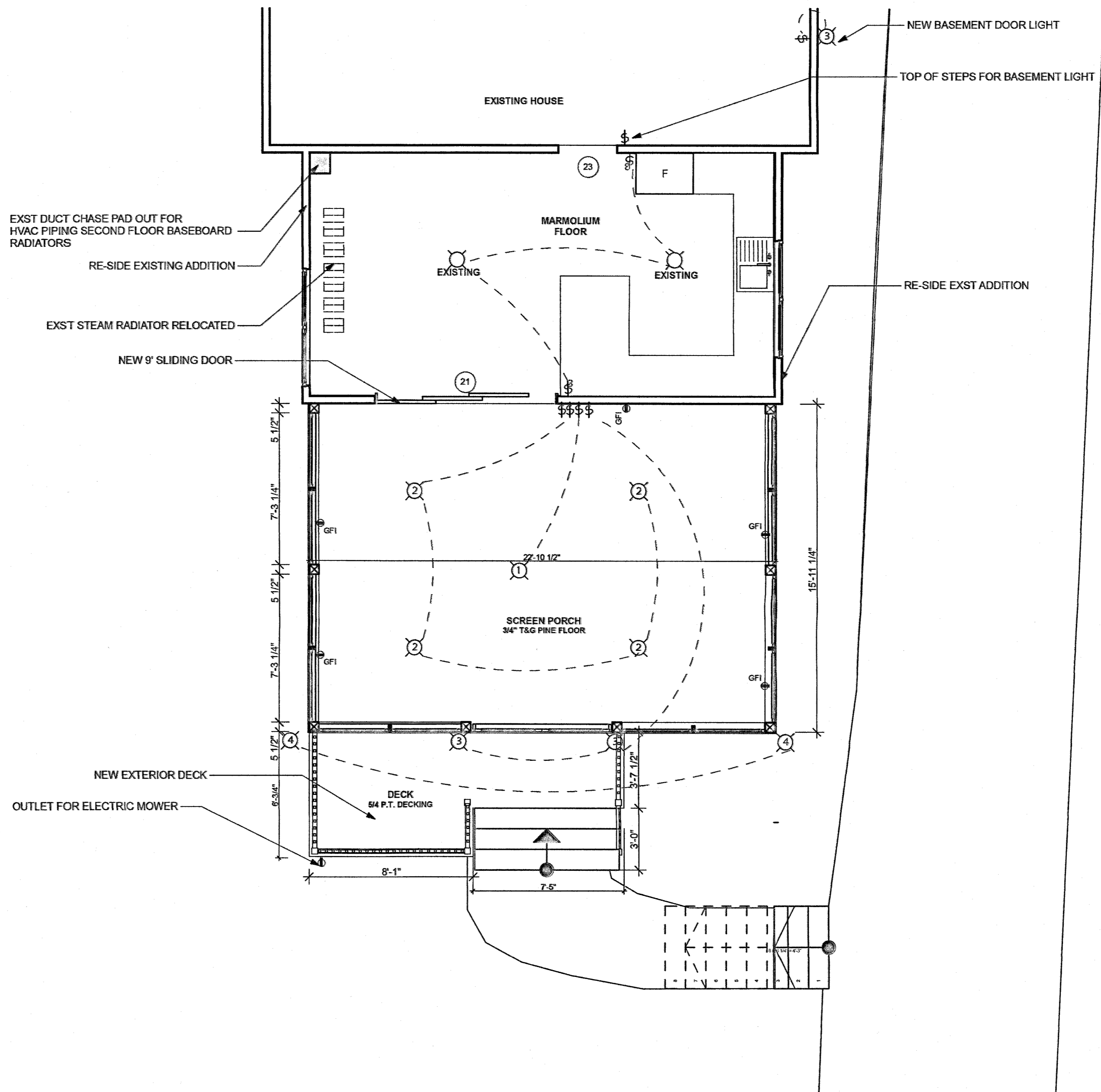
- Ⓢ SMOKE DETECTOR, 120V OPERATED HARDWIRE
- Ⓜ CARBON MONOXIDE DETECTOR
- Ⓛ LIGHT FIXTURE, CLG. MOUNTED (SEE SCHEDULE FOR TYPE)
- ⓂⓂ TELEPHONE OUTLET
- Ⓢ CABLE TV OUTLET

LIGHT FIXTURE SCHEDULE

- ① CEILING FAN SURFACE MT.
- ② RECESSED LED LR6
- ③ EXTERIOR SURFACE MOUNT
- ④ EXTERIOR FLOOD LIGHT

GENERAL NOTES:

1. ELECTRICAL CONTRACTOR SHALL SIZE AND ARRANGE ALL CIRCUITS IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AS WELL AS ALL LOCAL CODES.
2. WALL OUTLETS ARE TO BE MOUNTED 18" AFF UNLESS NOTED OTHERWISE.
3. SWITCHES ARE TO BE MOUNTED 4'-0" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
4. MOUNTING HEIGHTS ARE TO BE VERTICAL CENTER OF THE EQUIPMENT TO THE FINISHED FLOOR ELEVATION.
5. ALL NEW SWITCH & OUTLET STYLES ARE TO BE APPROVED BY OWNER PRIOR TO INSTALLATION.
6. PROVIDE HARDWIRED SMOKE DETECTORS AS PER CODE.
7. ELECTRICIAN TO LOCATE ALL FIXTURES, SWITCHES, OUTLETS, ETC. PRIOR TO RUNNING WIRING. OWNER, AND ELECTRICIAN TO MEET AT A MUTUALLY AGREED UPON TIME TO REVIEW LOCATIONS.



1 First
SCALE: 1/4" = 1'-0"

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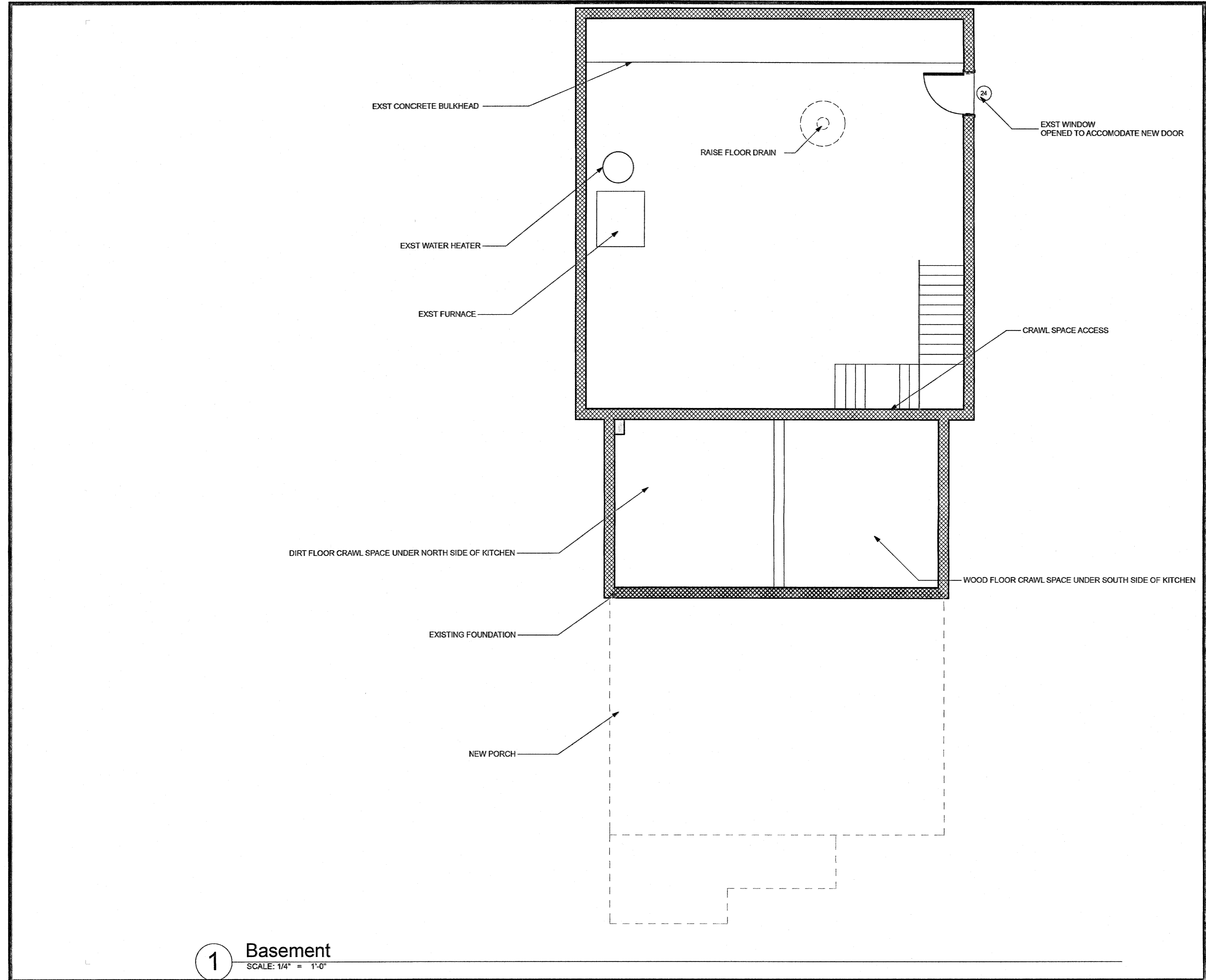
SD	07/26/2011
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SHEET TITLE

First Floor

A-101

A-101



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SHEET TITLE
 Basement


A-100

1 **Basement**
 SCALE: 1/4" = 1'-0"

1 **Basement**
 SCALE: 1/4" = 1'-0"

A-100

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SHEET TITLE

Demolition

D-101

REPAIR EXST FRONT STAIRS
8'3" WIDE, (7) 4/4 RISERS, 52" TOTAL RISE
REMOVE AND REPLACE RAILING

REMOVE EXST PORCH ROOF

REMOVE EXST PORCH DECK
RAILINGS AND COLUMN

DEMOLISH EXST. CONCRETE STEPS

EXISTING HOUSE NO WORK

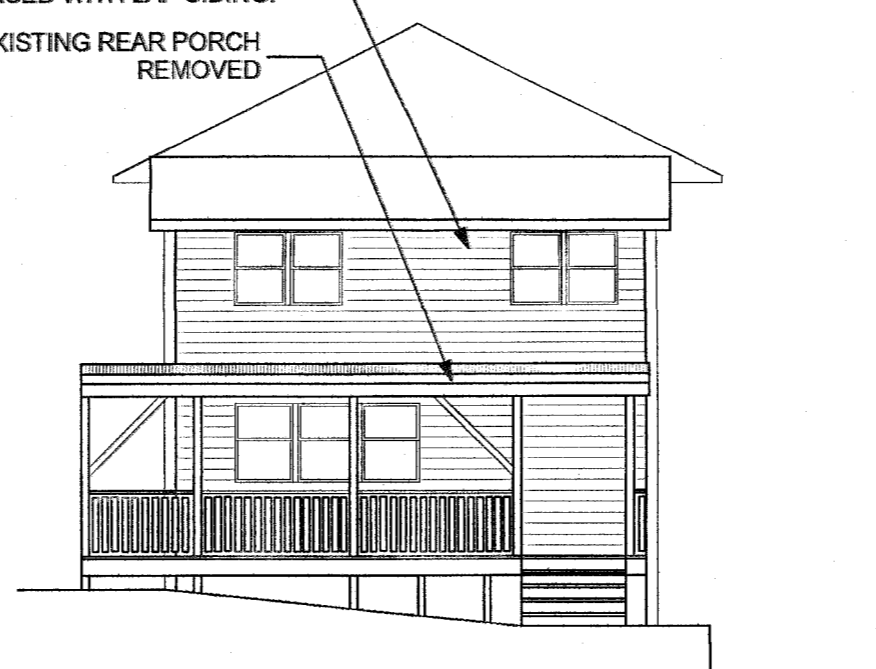
REPAIR FRONT
WOOD TREADS
AND RISERS

OPEN BOTTOM OF WINDOW OPENING
AND RETAINING WALL FOR NEW DOOR

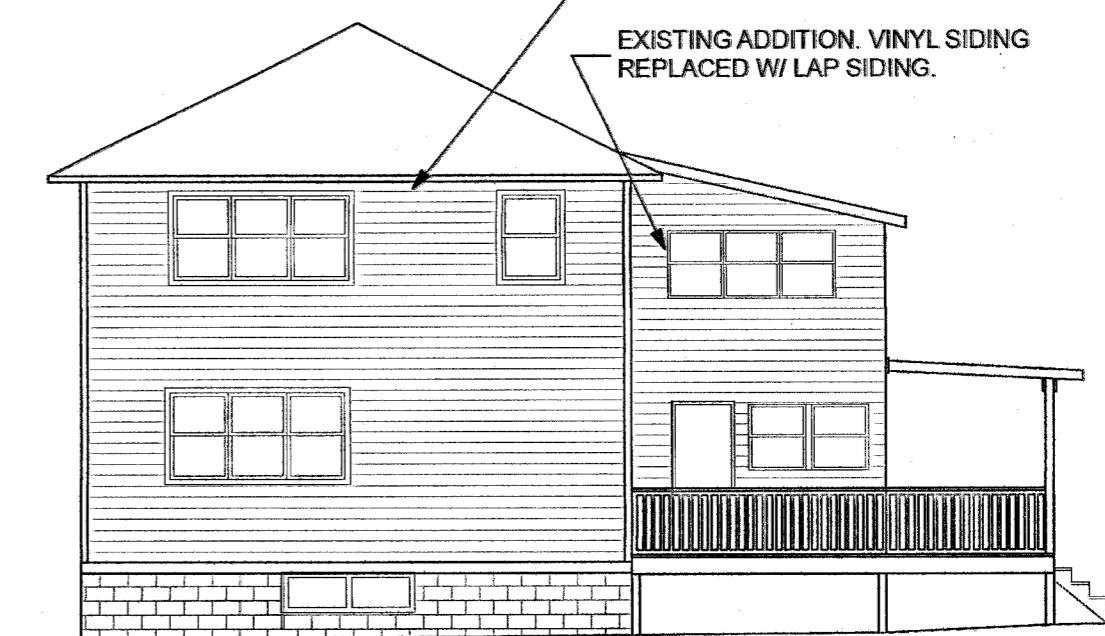
2 Demolition
SCALE: 1/8" = 1'-0"

EXISTING ADDITION VINYL SIDING
REPLACED WITH LAP SIDING.
EXISTING REAR PORCH
REMOVED

EXISTING HOUSE NO WORK
EXISTING ADDITION VINYL SIDING
REPLACED W/ LAP SIDING.



EXISTING NORTH ELEVATION
SCALE: N.T.S.



EXISTING EAST ELEVATION
SCALE: N.T.S.

EXISTING REAR PORCH
REMOVED

DEMOLISH EXST
CONCRETE STEPS



EXISTING WEST ELEVATION
SCALE: N.T.S.

EXISTING ADDITION VINYL SIDING
REPLACED WITH LAP SIDING.

EXISTING BASEMENT WINDOW TO BE
REPLACED

EXISTING WEST ELEVATION
SCALE: N.T.S.

EXISTING ADDITION VINYL SIDING
REPLACED WITH LAP SIDING.

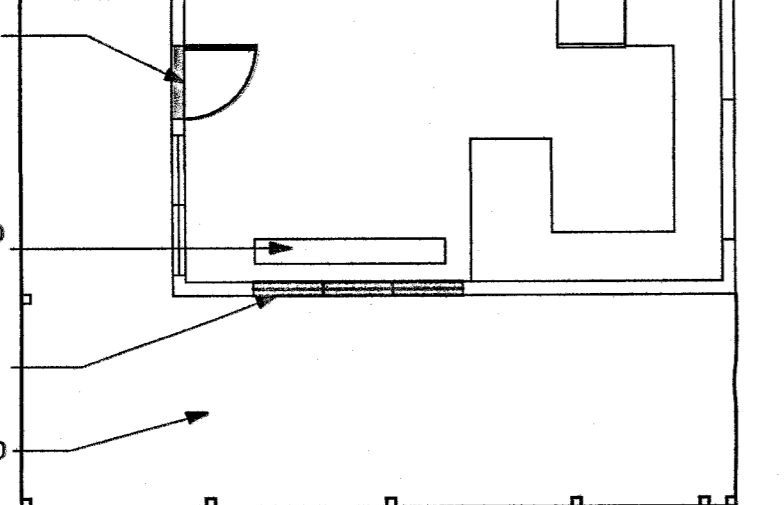
EXISTING BASEMENT WINDOW TO BE
REPLACED

REMOVE EXST DOOR INFILL WALL

EXST STEAM RADIATOR TO BE MOVED

REMOVE EXST WINDOWS AND
WALL BELOW FOR NEW
SLIDING DOOR

EXST DECK TO BE DEMOLISHED



DEMOLISH EXST STAIR

DEMOLISH EXST CONCRETE WALK

1 Demolition
SCALE: 1/8" = 1'-0"

1 Demolition
SCALE: 1/8" = 1'-0"

D-101

SCOPE OF WORK-

7408 Baltimore Ave. Tacoma Park, MD

1. DEMOLITION

EXTERIOR

Demolish existing deck and roof (8'X30' + 6' X4')
Remove exst 3'-0" exterior door from North kitchen wall
Remove exst (3) double hung window in kitchen west wall and remove wall below to
Demolish exst concrete steps from rear yard to driveway

INTERIOR

Remove and retain exst steam radiator on kitchen west wall.

2. KITCHEN

NEW 9' SLIDER - Weathershield SD31-9-2x6-10 OXS

MOVE STEAM RADIATOR - Install existing steam radiator along kitchen North wall
INFILL AND INSULATE - Opening from demolished exterior door North kitchen wall

3. INSULATION

INSULATE ATTIC - Underside of existing main house roof aprox. Spray Foam 990 sq ft
INSULATE CRAWL SPACE UNDER KITCHEN aprox. Spray Foam 277 sq ft

4. EXTERIOR

NEW REAR SCREEN PORCH AND DECK -

16 x23' screen porch
t&g ceiling (368 sq ft)
Tongue and groove pine floor (368 sq ft)
(8) columns 6X6 x 10' tall
Removable screen panels

NEW DECK - 68 sq ft. of exterior deck, 15 linear feet of railing

NEW WOOD STAIRS - From deck to rear yard. 6' 9" wide P.T. Treads. Aprox 2' rise (3) 12" treads and (4) 6" risers

NEW HARDSCAPE WALK - New walkway from bottom of deck stairs to driveway aprox 80 sq ft.

REPAIR RETAINING WALL, PARGE BLOCK aprox 4' high 110 linear feet

NEW DOOR TO BASEMENT - Remove exst 3' window South side of house add 3'0" 6'8 exterior door
Remove 4' wide by 2' high by 24" deep retaining wall
Remove CMU wall below exst window opening, add header as needed

REPAIR EXISTING FRONT DOOR - Replace weatherstripping

REPAIR REPLACE FRONT WOOD STEPS - Wood stairs on (3) P.T. carriages 8'-3" wide (6) treads @ 11"; (5) risers - @ 7.5"

RESIDE EXST ADDITION - Hardi Siding

MECHANICAL

New gas line to deck for gas grill
Add baseboard radiator to second floor room over kitchen
Replace exterior hose spigot under existing deck

ELECTRICAL

(5) GFI outlets
(1) Ceiling fan/ light
(2) Exterior sconce lights. One at new slider, one on exterior deck
(4) Recessed lights

5. BASEMENT

Repair existing fence gate to driveway


Basement sink - change from double sink to single sink.

6. FINISHES

Porch

Ceiling - T&G Cedar
Porch Wall - T&G Cedar Vertical
Porch Floor - 3/4 T&G Cedar
Exterior deck floor - Pressure Treated 2X
Exterior trim - Painted
Exterior Panels - Hardi Panel
Lattice - Pressure Treated
Gutter - to match existing

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SHEET TITLE
Specifications

SP

SP

DESCRIPTION

7408 Baltimore Ave
 Takoma Park, MD
 Lot 18, Block 75
 Plat Book 2, Plat No. 142

Zoning - R-60

CODE

2009 International Residential Code

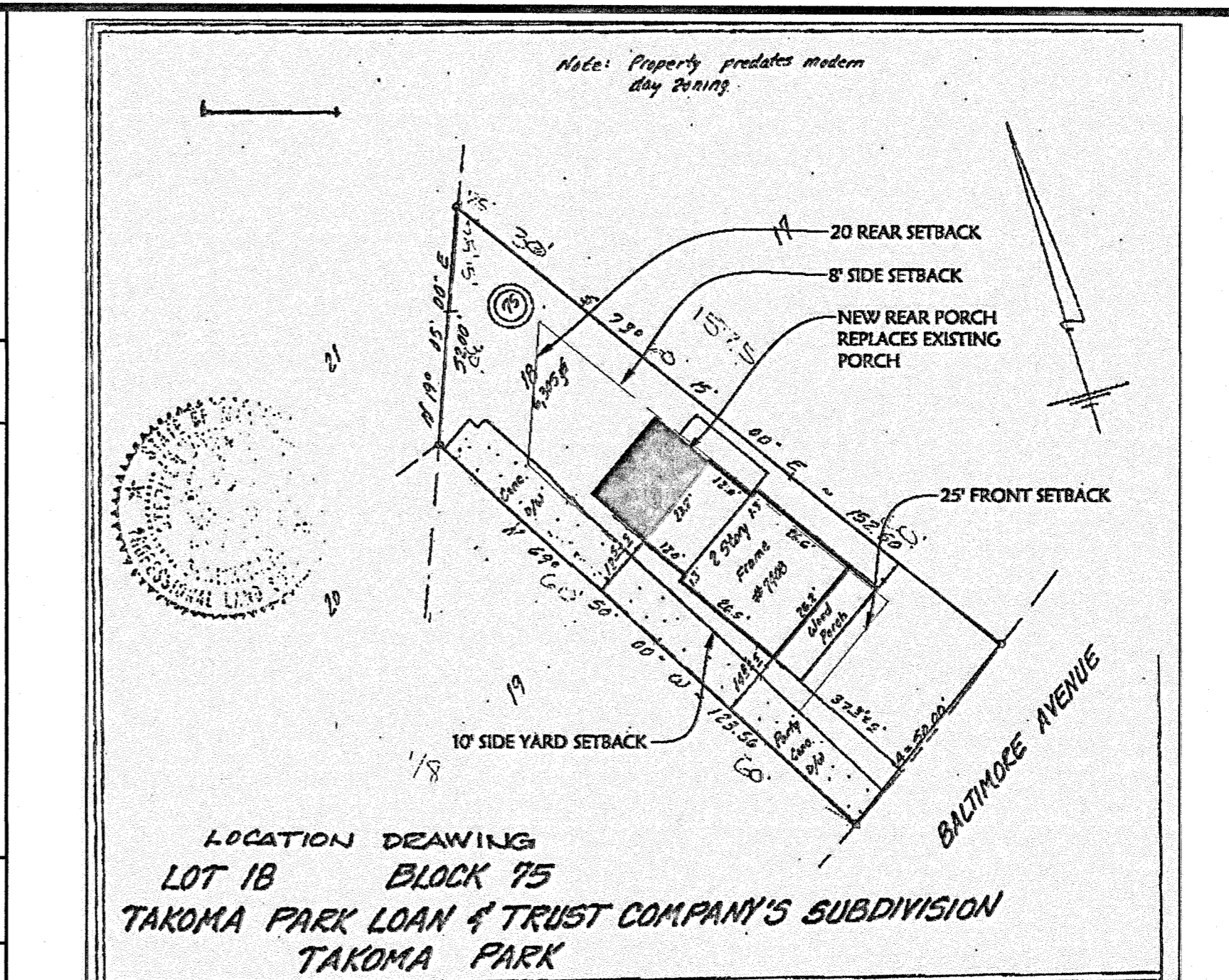
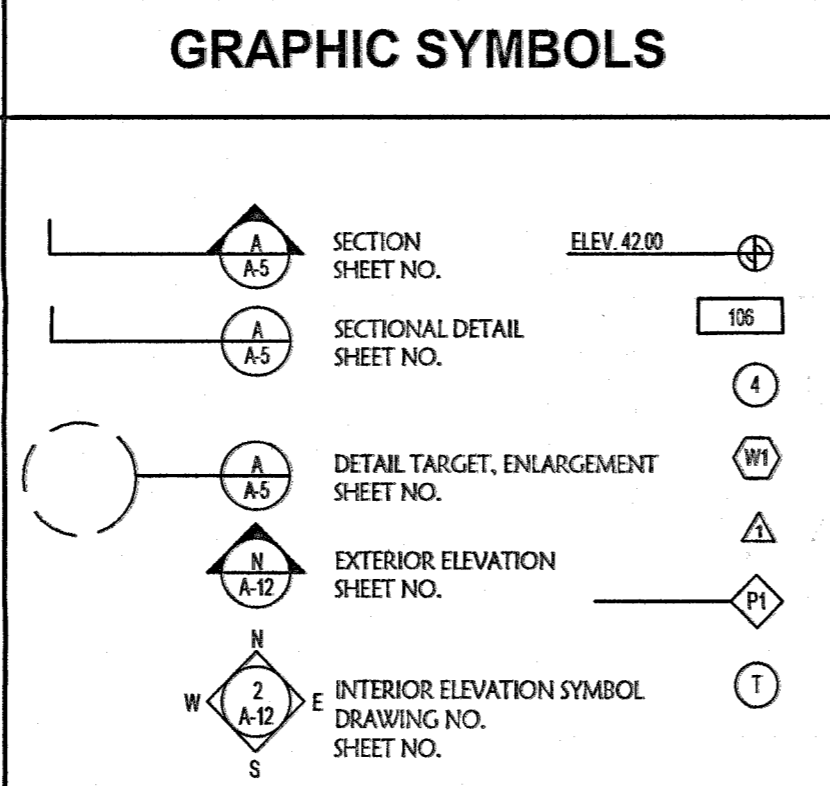
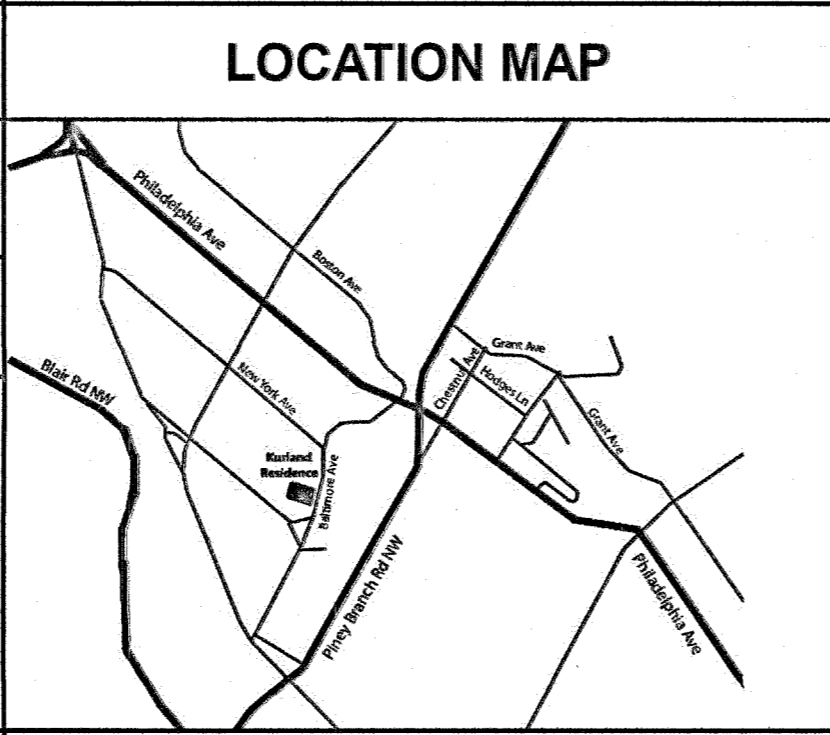
SCOPE OF WORK

Remove existing rear porch, replace with new screen porch.
 Insulate attic.
 Remove existing east kitchen door
 Add sliding door at rear porch
 Reside existing rear addition w/ James Hardie Lap siding to match existing vinyl siding 6" exposure.
 Replace West basement window w/ new door.

DESIGN CRITERIA

Ground Snow Load: 30psf
 Wind Speed: 90mph
 Seismic Design Category: B
 Weathering: Severe
 Frost Line Depth: 24 inches (minimum)
 Termite: Moderate to Heavy
 Winter Design Temperature: 13°F
 Ice Shield Underlayment Required: Yes
 Flood Hazard: July 2, 1979
 Air Freezing Index: 300
 Mean Annual Temperature: 55°F

KURLAND RESIDENCE



Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100 year flood plain according to FEMA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

Stephen J. Wenthold
 Stephen J. Wenthold, Maryland RLS Reg. No. 10767

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

Date: 9-13-90
 Scale: 1"=20'
 Plat Book: E
 Plat No.: 142
 Work Order: 96-2192

Address: 7408 BALTIMORE AVENUE
 District: 13
 Jurisdiction: MONTGOMERY COUNTY, MD.

Meridian Surveys, Inc.
 2401 Research Boulevard
 Rockville, MD 20850
 (301) 840-0025

NO TITLE REPORT FURNISHED

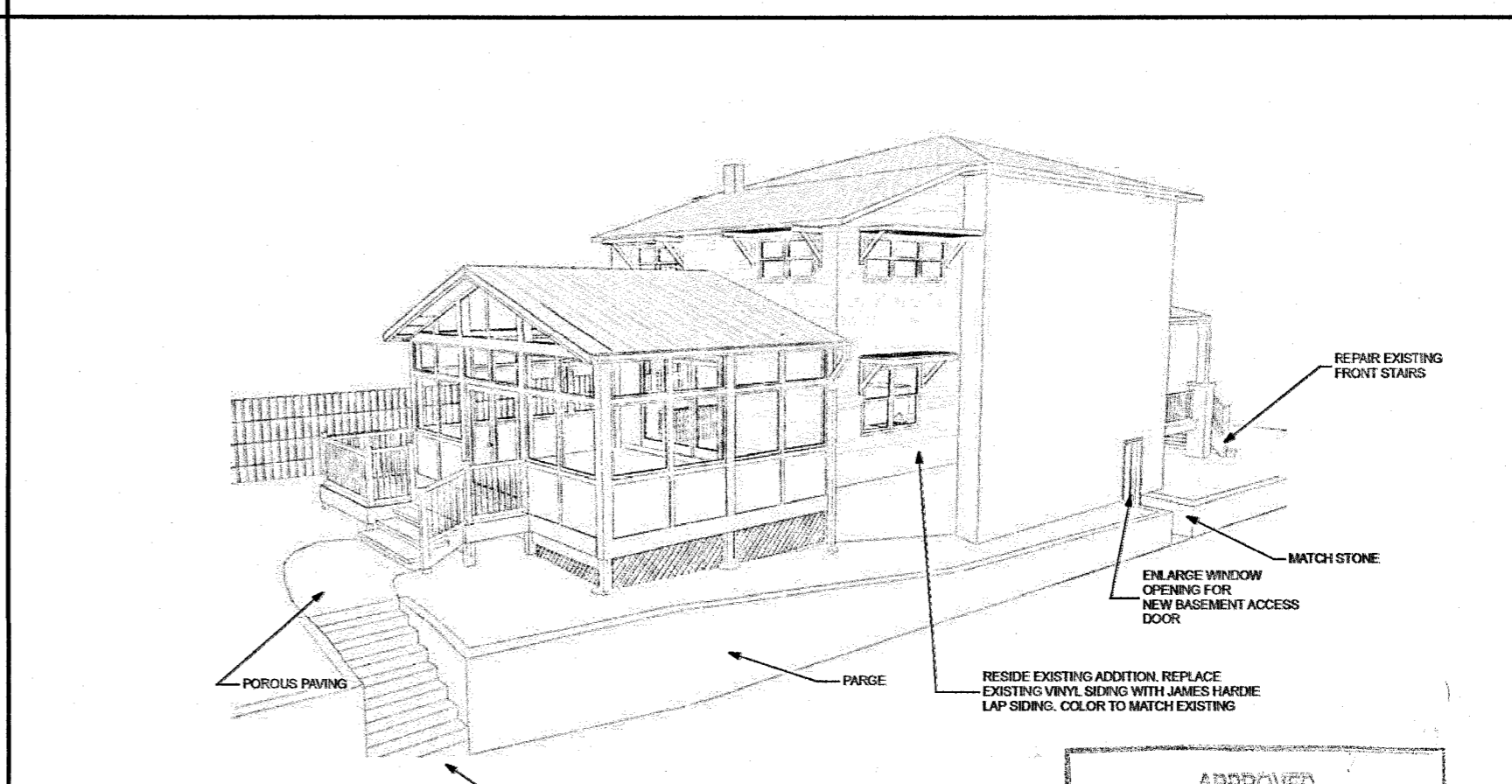
CALCULATIONS

	EXISTING	PROPOSED	CHANGE
FIRST FLOOR:	993 SQ. FT	993 SQ. FT	0.0 SQ FT
EXTERIOR PORCH	543 SQ. FT	670 SQ FT	127 SQ FT.
SECOND FLOOR	942 SQ FT	942 SQ FT	0.0 SQ FT
TOTAL	2478 SQ FT	2605 SQ FT	127 SQ FT
			5.1% INCREASE
<hr/>			
LOT SIZE	6305 SQ FT		
<hr/>			
LOT COVERAGE	1536 SQ FT. 23.56%	1663 SQ FT. 25.59%	ALLOWED 35%
<hr/>			
MAXIMUM HEIGHT	35 FT	UNCHANGED	

DRAWINGS

- CS COVER SHEET
- SP SPECIFICATIONS
- D-101 DEMOLITION PLAN
- A-100 BASEMENT PLAN
- A-101 FIRST FLOOR PLAN
- A-102 SECOND FLOOR PLAN
- A-201 ELEVATIONS
- A-301 SECTION DETAILS
- S-101 STRUCTURAL PLANS

PERSPECTIVE



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SD	07/26/2011
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REV 1	09/04/2011

SHEET TITLE

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NEW CONCRETE STEPS REAR YARD TO DRIVEWAY

APPROVED
 Montgomery County
 Zoning Commission
 9/19/11

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