

7311 Baltimore Avenue, Takoma Park

Takoma Park Historic District

PRELIMINARY CONSULTATION

Preliminary Consultation Review – 7311 Baltimore Avenue, Takoma Park
June 23, 2010 HPC Meeting

General Comments:

1. More contextual or compatible design should be pursued
2. Scale and massing of proposed addition should be reduced
3. Design should be simplified. Transitions between different roof forms confusing
4. More preservation of cruciform plan
5. No fiberglass windows, unless proposed design has a contemporary expression. A contextual design should use wooden SDL windows appropriate for the resource type and style
6. 2 story flat roof hyphen – needs more relief and pushback to express differentiation between the two masses. Proposed left side elevation appears too long
7. Additional inset on side elevations needed to express more differentiation
8. Porch size should be reduced (proposed deck/porch appear to be floating). Integration of these features with the proposed addition was recommended
9. Consider turning the porch enclosure toward the rear elevation to reduce size
10. Metal roofing sections should be manufactured on site, (no panel/membrane systems)
11. Main massing of the proposed addition should have a sloped roof form
12. General opposition toward the use of a modified barrel roof system
13. Floor plans should be submitted and the applicant should return for a 2nd Preliminary Consultation.

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7311 Baltimore Avenue, Takoma Park	Meeting Date:	6/23/2010
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	6/16/2010
Applicant:	Mark Freedman and Kristen Summers (Amy Abrams, Agent)	Public Notice:	6/9/2010
Review:	Preliminary Consultation	Tax Credit:	N/A
Case Number:	N/A	Staff:	Josh Silver
PROPOSAL:	Rear addition		

STAFF RECOMMENDATION

Staff recommends that the applicant make revisions to the plans based on comments and feedback from the HPC and return for a Historic Area Work Permit.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Queen Anne
DATE: c1890-1900

PROPOSAL

The applicants are proposing to construct a two-story addition over a full basement at the rear of the house.

The proposed design will extend across the majority of the rear elevation and beyond the existing rear bay of the house approximately 21' into the rear yard. The proposed addition will increase the habitable portion of the house 827 square feet (building footprint); the current habitable portion of the house is approximately 880 square feet (building footprint). A reduced area of approximately 645 square feet on the left side rear elevation will be 2 stories tall. The proposed addition will be inset 12" on both sides of the historic massing and lower than the ridgeline of the primary structure and original gable roof bay at the rear of the house.

The proposed design also includes the construction of a 1 story screened porch that will extend from the southeast corner of the house into the rear yard and a new wooden deck and stairway.

Material treatments include soldered flat seam copper roofing, fiber cement siding, fiberglass casement windows and parged CMU foundation treatment.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features, is, however, not required;
- Major additions should, where feasible, be placed to the rear of the existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited;
- While additions should be compatible, they are not required to be replicative of earlier architectural styles;
- Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single-story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing;
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition;
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course;
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the proposed construction of a 2 story rear addition at the property. The applicant presented an alternative design proposal to HPC staff for review, which they did not support finding it was inconsistent with the Guidelines and Standards.

The revised design responds to staff's main concern with the original plan by preserving evidence of the cruciform plan of the house. The revised design wraps the rear bay of the house with a lower roof on the southwest elevation and uses a low profile roof connection to connect the historic massing and 2 story modified barrel roof addition. Staff finds these design elements are successful in distinguishing between the two masses in such a way that the character of the rear bay and plan of the historic massing can still be interpreted. The use of a modified barrel roof breaks up the mass of the addition and visually distinguishes the addition from the primary structure. The proposed 12" inset of the addition, lower roof height and parged CMU foundation material help further differentiate the two masses.

Staff does not support the proposed screen porch enclosure design. Staff recommends the applicant reduce the size of the screen porch enclosure and change the character of its orientation for consistency with the verticality of the historic massing. Staff finds that the section of the porch that extends beyond the rear wall plane of the proposed addition competes with the vertical orientation of the primary structure, (specifically the proposed southwest elevation) and proposed addition. A reduction in size would also mitigate the perceived scale of the new construction as it relates to the historic massing.

Staff supports the proposed copper roof material treatment, fiber cement siding and parged CMU foundation treatments for the addition. These treatments are appropriate for new construction on a Contributing Resource property.

The *Takoma Park Guidelines* state some non-original building materials may be acceptable on a case-by-case basis. The *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland* state, new additions should utilize wooden simulated divided light windows. The applicant is proposing to use 2/2 fiberglass casement windows with proportions similar to the windows on the historic massing. Staff does not oppose the installation of fiberglass window treatments and recommends the applicant discuss the appropriateness of fiberglass window treatments with the HPC to determine the feasibility of their application for this project.

Staff recommends the applicant contact the City of Takoma Park Arborist to develop a tree protection plan prior to commencing any work at the site.

To achieve consistency with guidance for new additions found in *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland*, a proposed addition should meet the following guidelines:

- 18.1 Place an addition at the rear of a building to minimize its visual impacts.
- 18.2 Do not obscure, damage, destroy or remove original architectural details and materials of the primary structure.
- 18.3 An addition should be compatible in scale with the primary structure.
- 18.4 Use building materials that are compatible with those of the primary structure.
- 18.5 An addition should be compatible in character with the primary structure.
- 18.6 Use windows that are similar in character to those of the main house.
- 18.7 The roof form and slope of a new addition should be in character with and subordinate to that of the primary building.

The HPC must provide the applicant with feedback on the following items:

1. Determine if the proposed building materials are compatible with those on the primary structure. Specifically the HPC should address the use of fiberglass windows and a soldered flat seam copper roof for the modified barrel roof sections of the additions.
2. Determine if the proposed design is consistent with the predominant architectural style and period of the resource, or *if an appropriate level of differentiation is expressed between the historic massing and proposed additions.*
3. Determine if the addition is compatible in scale with primary structure.

STAFF RECOMMENDATION

Staff recommends that the applicant make revisions to the plans based on comments and feedback from the HPC and return for a Historic Area Work Permit.



RETURN TO DEPARTMENT OF PERMITTING SERVICES 355 P. O. BOX 37000 BALTIMORE, MD 21225

DPS - #8

J

HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Amy Abrams

Daytime Phone No.: 202-726-5894

Tax Account No.: 01065034

Name of Property Owner: Mark F. Freedman and Kristen M. Summers Daytime Phone No.: 301-485-4556

Address: 7311 Takoma Park Baltimore Ave 20912 Street Number City Street Zip Code

Contractor: Abrams Design Build Phone No.: 202-726-5894

Contractor Registration No.: MC #BC3367 MD #86613

Agent for Owner: Amy Abrams Daytime Phone No.: 202-726-5894

LOCATION OF BUILDING/PREMISE

House Number: 7311 Street: Baltimore Ave

Town/City: Takoma Park Nearest Cross Street: Takoma Ave

Lot: 5 Block: 78 Subdivision: 25

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Stab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other:

1B. Construction cost estimate: \$ 450,000.00

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date May 5, 2010

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 537040 Date Filed: Date Issued:

6

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Mark F. Freedman & Kristen M. Summers 7311 Baltimore Ave. Takoma Park, MD 20912	
Adjacent and confronting Property Owners mailing addresses	
Kenneth M. Wyner 7313 Baltimore Ave Takoma Park, MD 20912	William C Sandberg Et Al Tr. 7307 Baltimore Ave Takoma Park, MD 20912
Catherine Bernard & William C Sandberg 7309 Baltimore Ave Takoma Park, MD 20912	Ellen Brown 7310 Baltimore Ave Takoma Park, MD 20912
Konrad Augustin A & AM 7312 Baltimore Ave Takoma Park, MD 20912	Julia Boddy 7314 Baltimore Ave Takoma Park, MD 20912

Adjacent and confronting Property Owners mailing addresses - continued

Christel Steinvorth
7314 Piney Branch Rd.
Takoma Park, MD 20912

Harvey J. Solomon
7316 Piney Branch Rd.
Takoma Park, MD 20912

Neil J. Gamson &
Lori G Borrud
7318 Piney Branch Rd.
Takoma Park, MD 20912

abrams design build

a sustainable approach to beautiful space

ADDENDUM TO HAWP APPLICATION
7311 Baltimore Avenue, Takoma Park, MD
June 7, 2010

DESCRIPTION OF EXISTING STRUCTURE

The existing house is a two story + attic, wood framed structure built in 1908 (according to tax records). The steeply pitched, cross gabled roof and lack of ornamentation is a simplified, vernacular expression of Victorian style. The strongest feature is the base of the front gable end flying beyond the diagonal sides of the front bay. The plan is cruciform, with the main block of the house an elongated rectangle running parallel to the street. A large octagonal full height bay projects from the front, with a small front porch tucked into the southwest (right front) corner. A smaller and shallower full height bay projects from the front wall of the main block, to the north (left) of the octagonal bay. This bay is also capped by a reverse gabled roof, smaller in scale but similar in proportion to the roof over the octagonal bay.

A full height rectangular wing, aligned with the octagonal bay, projects 9 feet from the rear of the house. A small single story appendage is contained in the southeast (right rear, viewed from the street) corner. The habitable portion of the house has a footprint of approximately 880 square feet.

Much of the exterior of the house appears to be original (or very early) materials, including 2/2 double hung windows, and nominal 6" wide wood clapboards, milled to resemble weatherboards with 3" exposures. The roof is clad with metal shingles, and drained with half-round gutters and round section spouting.

The house is sited on a standard 50 foot wide by 150 feet deep city lot, amid an eclectic mix of house styles, and a wide variety of scale. An extensively remodeled and extended bungalow sits to its right; on the left is a much modified and extended vernacular house also dated at 1908. Within immediate view are two large recent houses in styles deriving from historic prototypes, and other early twentieth century homes with large additions. The front portion of the subject lot slopes gently down from south to north, but the rear drops more steeply, exposing almost the entirety of the rear wall of the brick basement.

PROJECT DESCRIPTION

The proposal is to construct an addition that would extend across the majority of the rear of the house, but inset at least one foot from each rear corner. It would extend past the existing rear bay approximately 21 feet. The footprint of the habitable portion of the addition would be approximately 827 square feet. A reduced area of approximately 645

409 butternut st nw, washington dc 20012 202-726-5894 o 202-291-0626 f
www.abramsdesignbuild.com

square feet would be two stories tall. There would be a habitable walkout basement below the main floor. Based on a topographic survey and consultation with zoning staff at Montgomery County Department of Permitting Services, and given the steep grade, it has been determined that it is otherwise permissible to build a two story addition over a substantially above grade basement on this property.

The addition would also include a screened porch at the southeast corner, and a deck with a stairway to grade.

The asymmetrical massing and segmental arch roof form would contrast with the existing steep gabled, cruciform massing of the existing house. Cement plank siding would further distinguish the original from the new. Fiberglass casement windows would also contrast with the existing wood double hung units; however the 2/2 glazing configuration and slender aspect ratio would reference the original style and proportions.

The new roof lines have been kept low and compact to maximize the exposure of the original roof. Portions of the new roofs which intersect the original massing do not exceed the height of the original gutter line, and the slightly taller new roof has been held back from the rear gable end $\pm 4'-7"$, to preserve the cruciform.

On the main level, the addition would house a family room and casual dining area, and a new stairway to the basement level. (The present stairway to the basement is exceptionally steep and narrow, and leads to an area with a very low ceiling.) The second floor would include a child's bedroom and a master bedroom suite. The basement would include a rec room, bathroom, and spare bedroom.

On the site, one large tree (a magnolia, which is less than three feet away from the existing house) needs to be removed, whether the addition is built or not. Also, a mulberry tree near the north property line would need to be heavily pruned. No other trees would be seriously impacted by construction. Standard precautions for other trees on site would be taken.

The addition, though large, would project much less than the neighboring house on the left, which would still project at least 15' beyond the proposed addition. The proposed addition would project only 2' beyond the back line of the neighboring house on the right. Cladding, detailing, and fenestration would distinguish the addition, yet would be in character with the existing elements. We feel that the addition would compliment the house, and little if any visual impact on the public viewscape.

A further goal of the project is to build new space with the highest levels of energy efficiency, and to retrofit existing spaces and equipment, with the specific performance objective that the combined new and existing volumes will use no more net energy for heating and cooling than did the original space.

In conclusion, we feel that the addition will compliment the original house, as well as greatly increasing the utility of the home for its owners and their large, extended family.

Therefore, we submit that the proposed project will have no negative impact and hopefully a positive impact on the historic district.

Area summary (not including attic, decks, porches, patios, etc):

Total existing habitable floor area, 1st and 2nd floors: 1710 SF

Existing basement and storage area: 880 SF

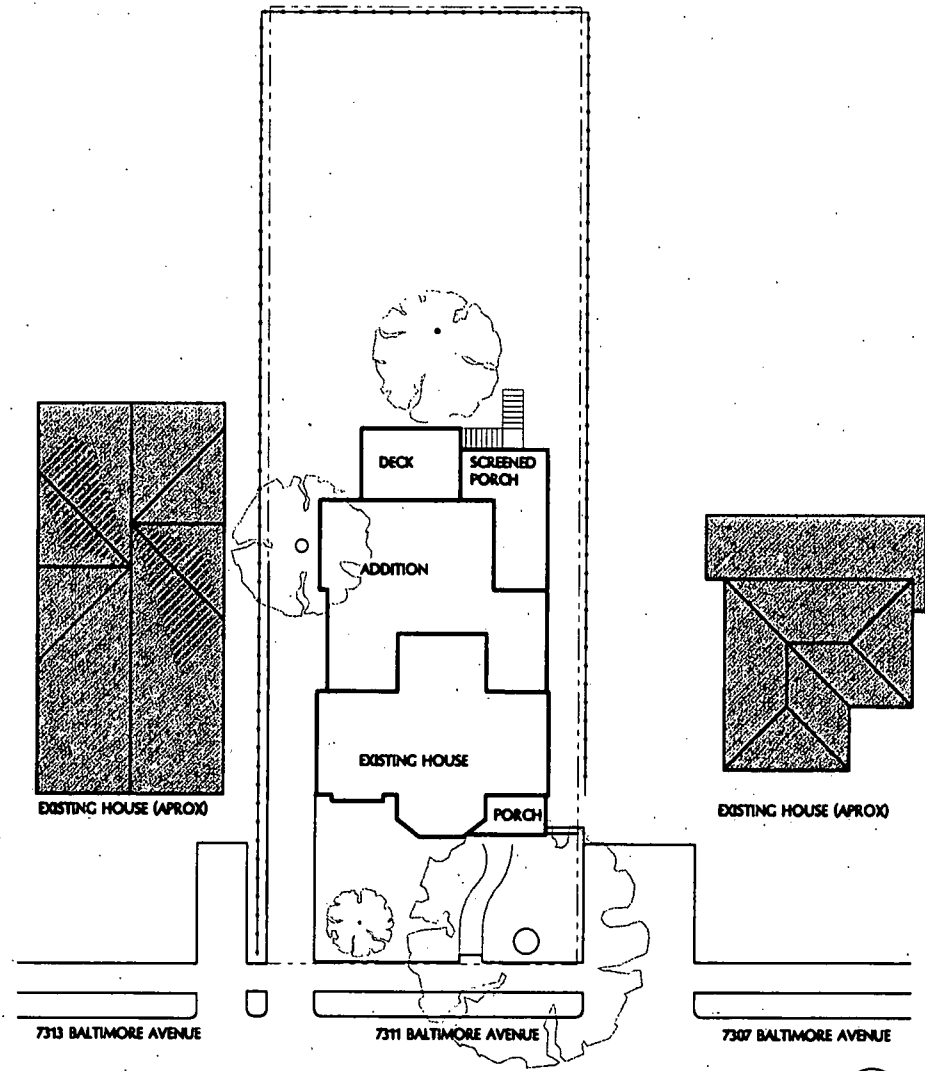
Area to be removed: 50 SF

Proposed habitable floor area of addition, on first and second floors: 1472 SF

Proposed habitable floor area of new basement: 827 SF

Total proposed added habitable floor area: 2299 SF

Total existing and proposed habitable floor area: 3959 SF



Proposed Site Plan

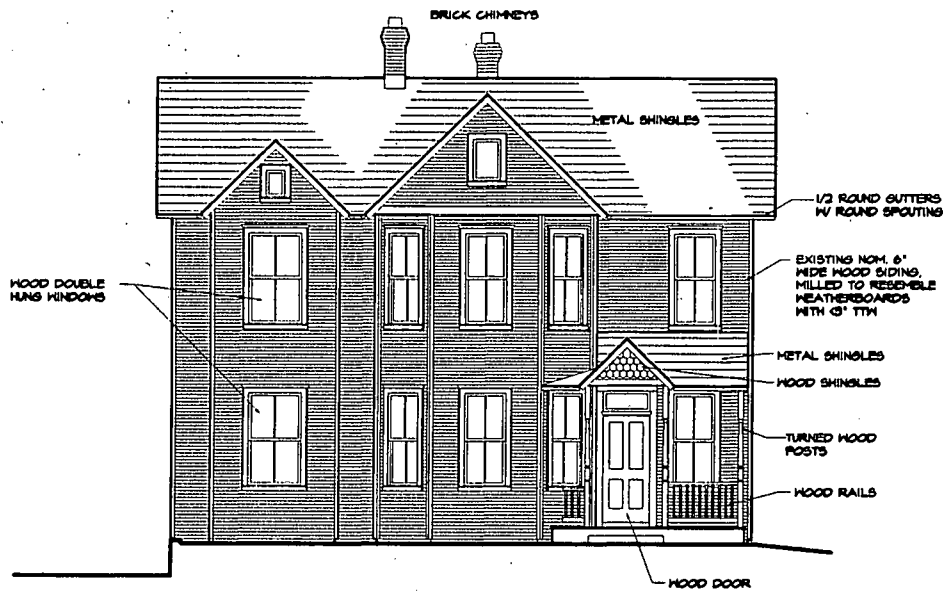


Freedman Residence
 7311 Baltimore Ave.
 Takoma Park, Maryland 20912

ABRAMS DESIGN BUILD LLC
 A SUSTAINABLE APPROACH TO BEAUTIFUL SPACE
 404 BUTTERNUT STREET NW WASHINGTON DC 20012
 WWW.ABRAMSDSIGNBUILD.COM
 202-726-8044

SITE PLANS - Existing and Proposed
 1" = 20'-0" May 26, 2010

12



NO CHANGES PROPOSED FOR THE FRONT ELEVATION

SEE SOUTHEAST ELEVATION FOR ADDITIONAL NOTES

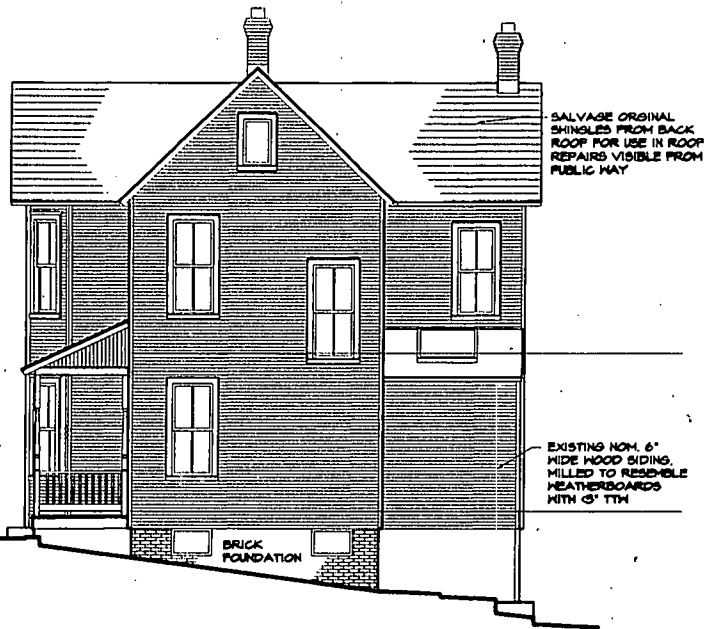
Existing Northwest (Baltimore Street) Elevation

Freedman Residence
7311 Baltimore Ave.
Takoma Park, Maryland 20912

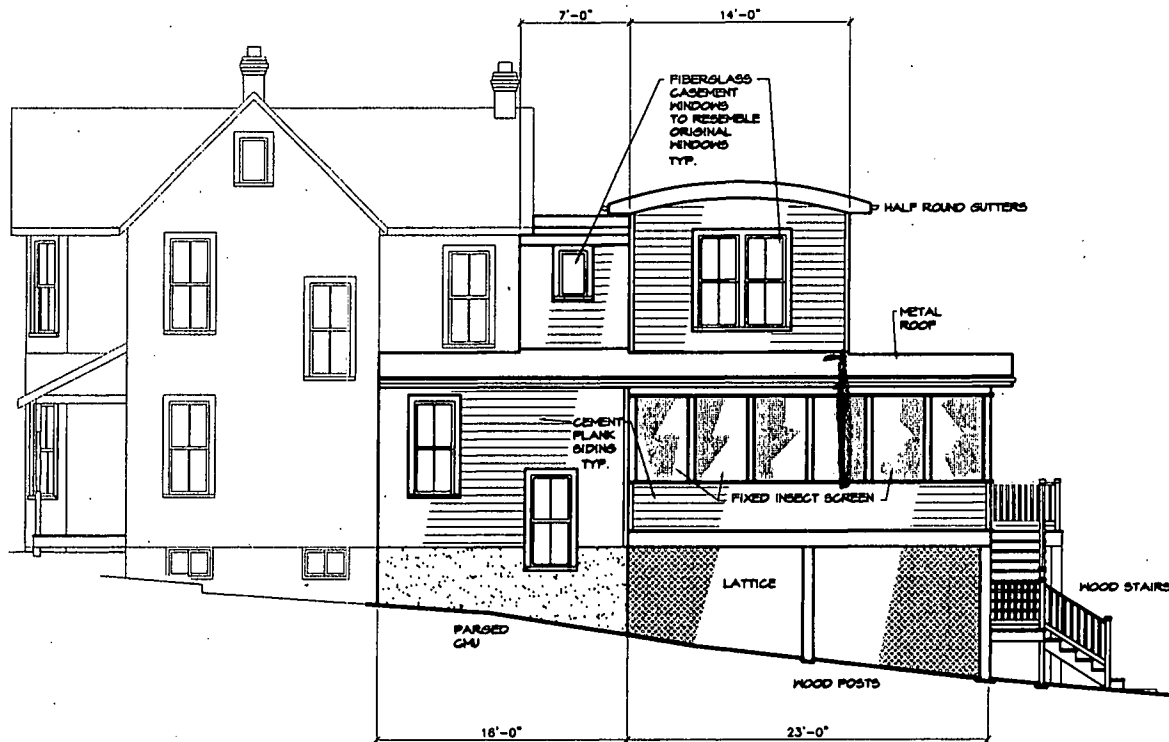
ABRAMS DESIGN BUILD LLC
A SUSTAINABLE APPROACH TO BEAUTIFUL SPACE
404 BUTTERNUT STREET NW WASHINGTON DC 20012
WWW.ABRAMSDSIGNBUILD.COM
202-728-9894

NORTHWEST ELEVATIONS - Existing and Proposed
1/8" = 1'-0" May 5, 2010

W



Existing Southwest (Side) Elevation



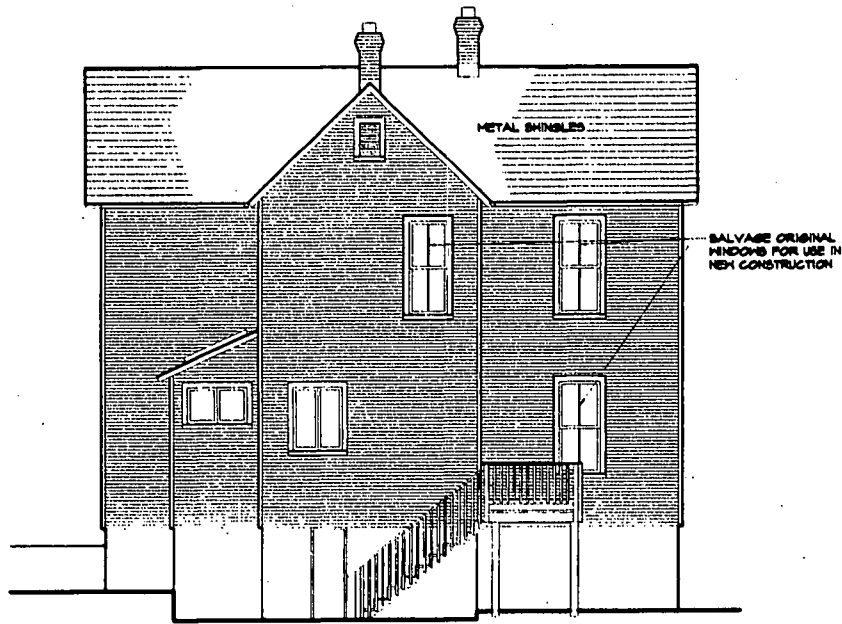
Proposed Southwest (Side) Elevation

Freedman Residence
7311 Baltimore Ave.
Takoma Park, Maryland 20912

ABRAMS DESIGN BUILD LLC
A SUSTAINABLE APPROACH TO BEAUTIFUL SPACE
404 BUTTERNUT STREET NW, WASHINGTON DC 20012
WWW.ABRAMSDSIGNBUILD.COM
202-726-8844

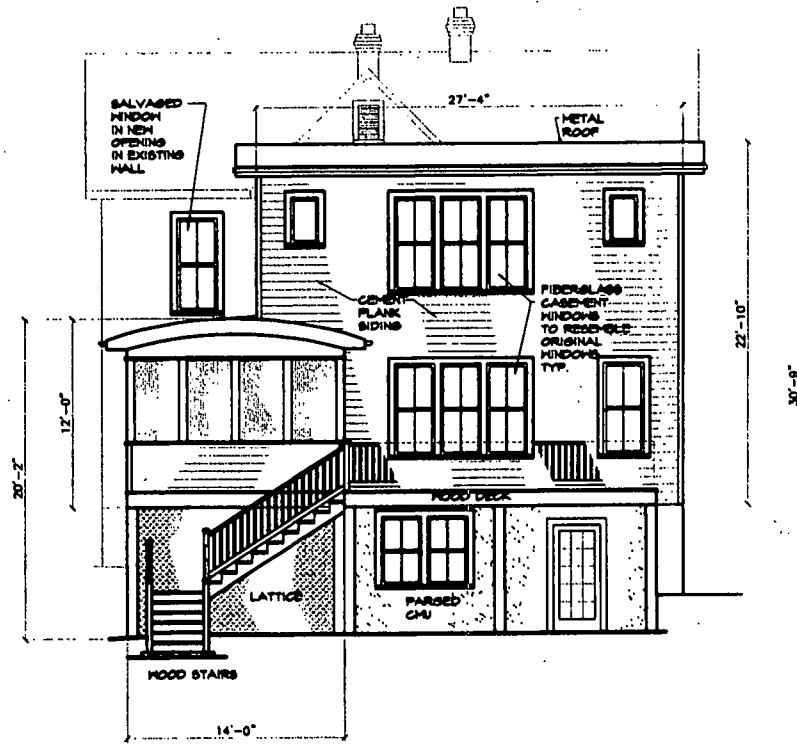
SOUTHWEST ELEVATIONS - Existing and Proposed
1/8" = 1'-0" May 5, 2010

14



SEE SOUTHEAST ELEVATION FOR NOTES

Existing Southeast (Back) Elevation

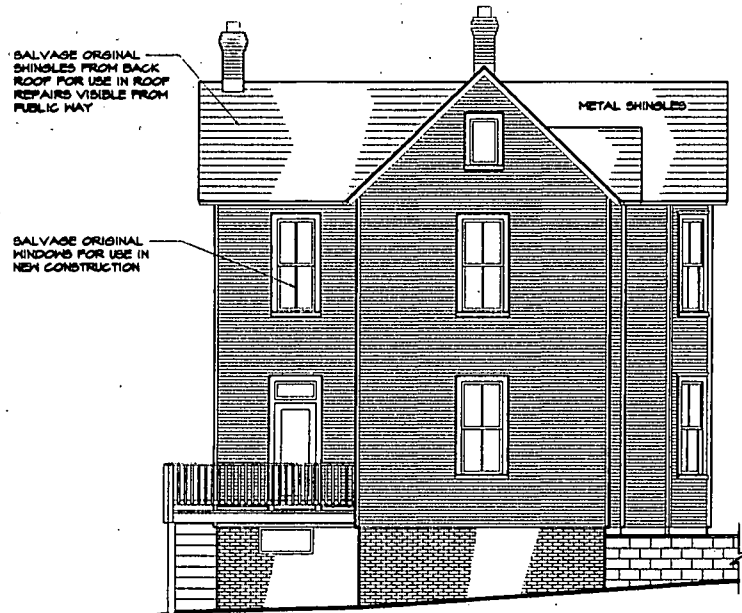


Proposed Southeast (Back) Elevation

Freedman Residence
7311 Baltimore Ave.
Takoma Park, Maryland 20912

ABRAMS DESIGN BUILD LLC
A SUSTAINABLE APPROACH TO BEAUTIFUL SPACE
404 BUTTERNUT STREET NW WASHINGTON DC 20012
WWW.ABRAMSDSIGNBUILD.COM
202-728-8844

SOUTHEAST ELEVATIONS - Existing and Proposed
1/8" T-0" May 5, 2010



SEE SOUTHEAST ELEVATION FOR NOTES

Existing Northeast (Driveway Side) Elevation



Proposed Northeast (Driveway Side) Elevation

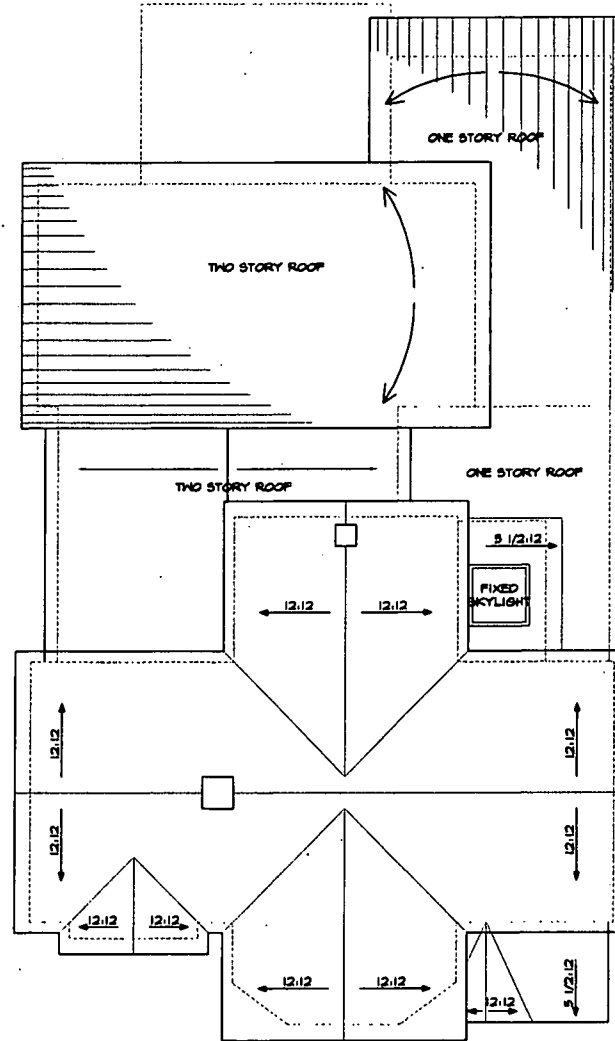
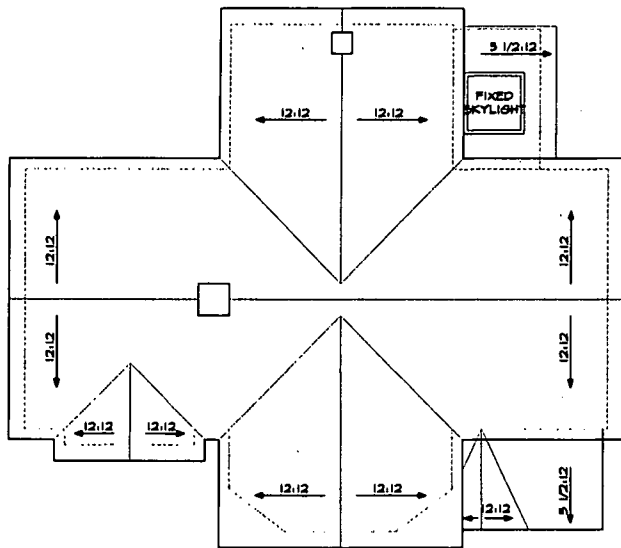
Freedman Residence
7311 Baltimore Ave.
Takoma Park, Maryland 20912

ABRAMS DESIGN BUILD LLC
A SUSTAINABLE APPROACH TO BEAUTIFUL SPACE
401 BUTTERNUT STREET NW WASHINGTON DC 20012
WWW.ABRAMSDSIGNBUILD.COM
202-726-9594

NORTHEAST ELEVATIONS - Existing and Proposed
1/8" T-O" May 5, 2010

16

Existing Roof Plan



Proposed Roof Plan



Freedman Residence
 7311 Baltimore Ave.
 Takoma Park, Maryland 20912

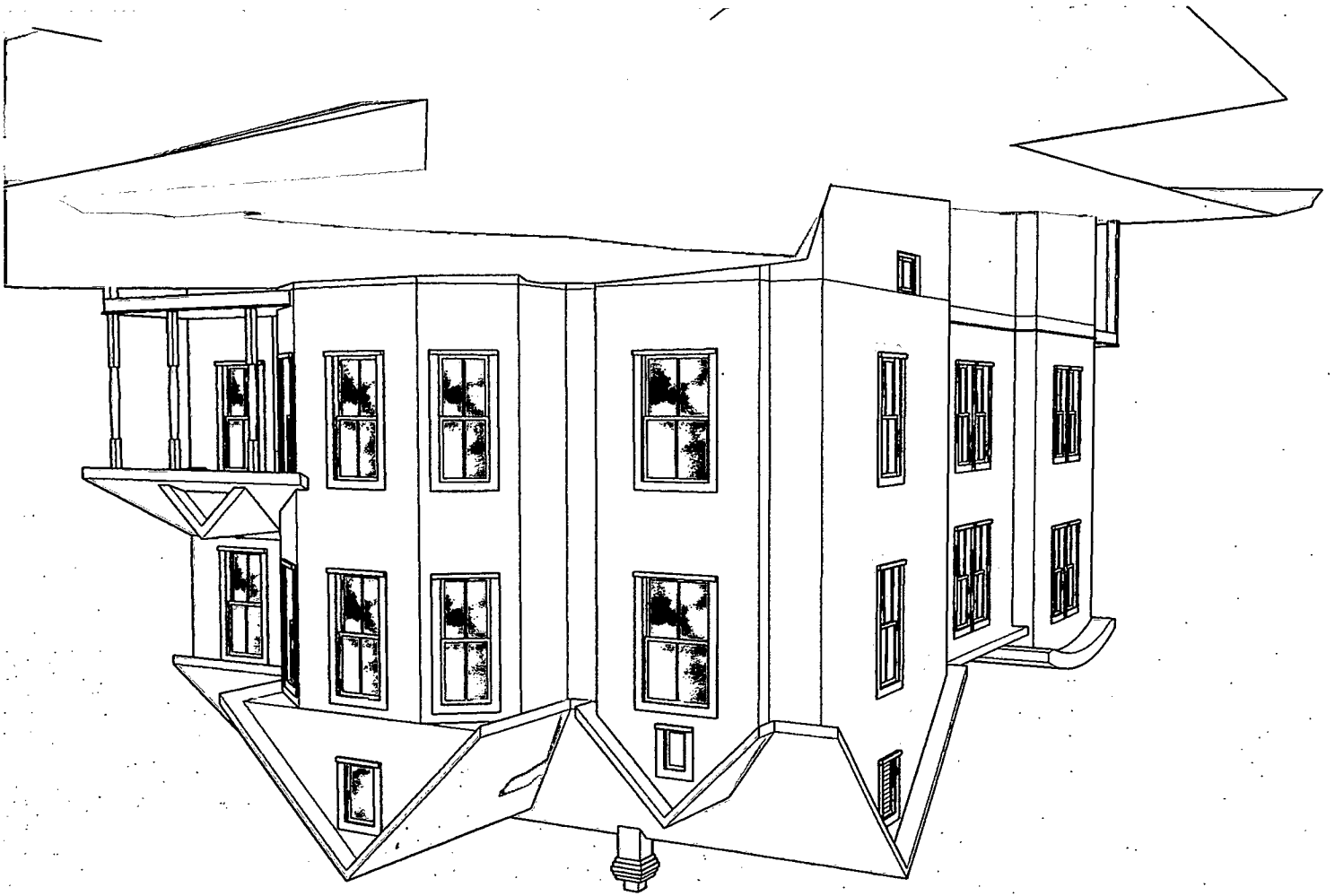
ABRAMS DESIGN BUILD LLC
 A SUSTAINABLE APPROACH TO BEAUTIFUL SPACE
 401 BUTTERNUT STREET NW WASHINGTON DC 20012
 WWW.ABRAMSDSIGNBUILD.COM
 202-726-6644

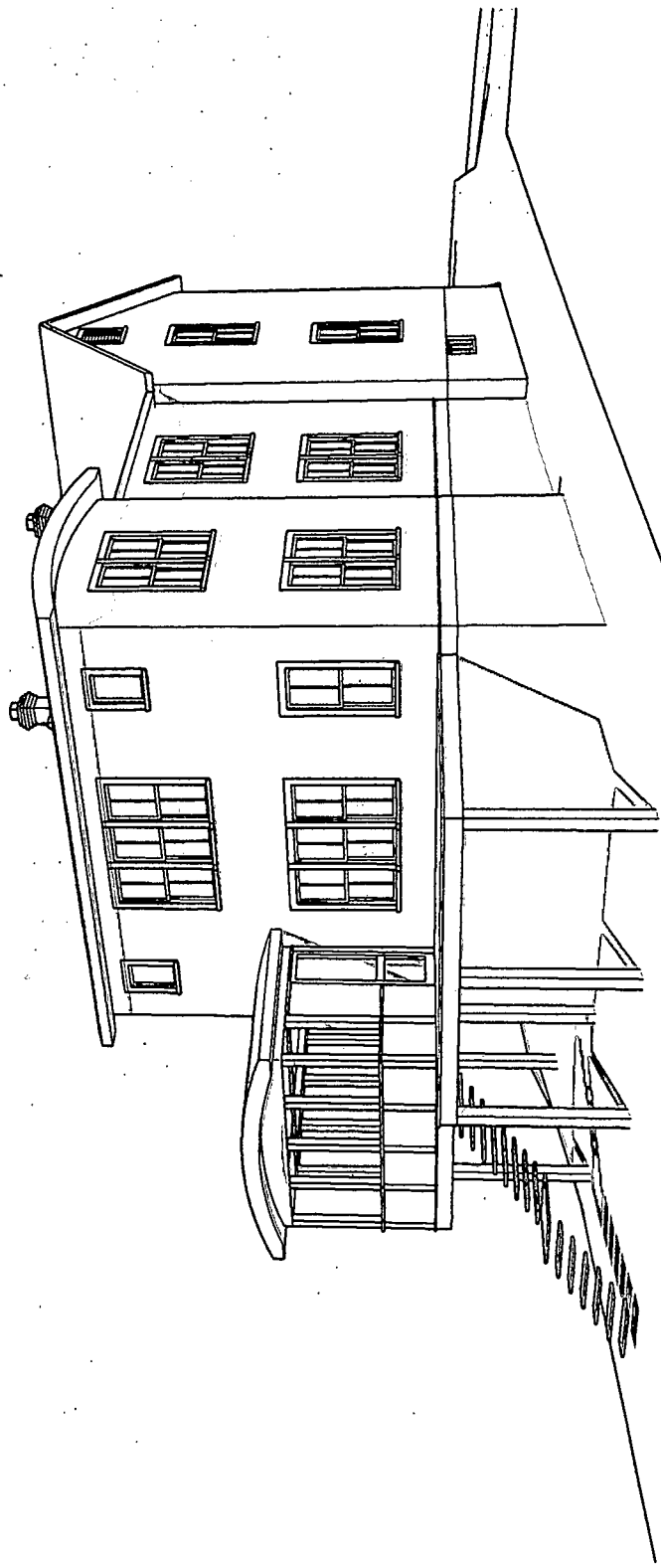
ROOF PLANS - Existing and Proposed
 1/8" T=0" May 5, 2010

17

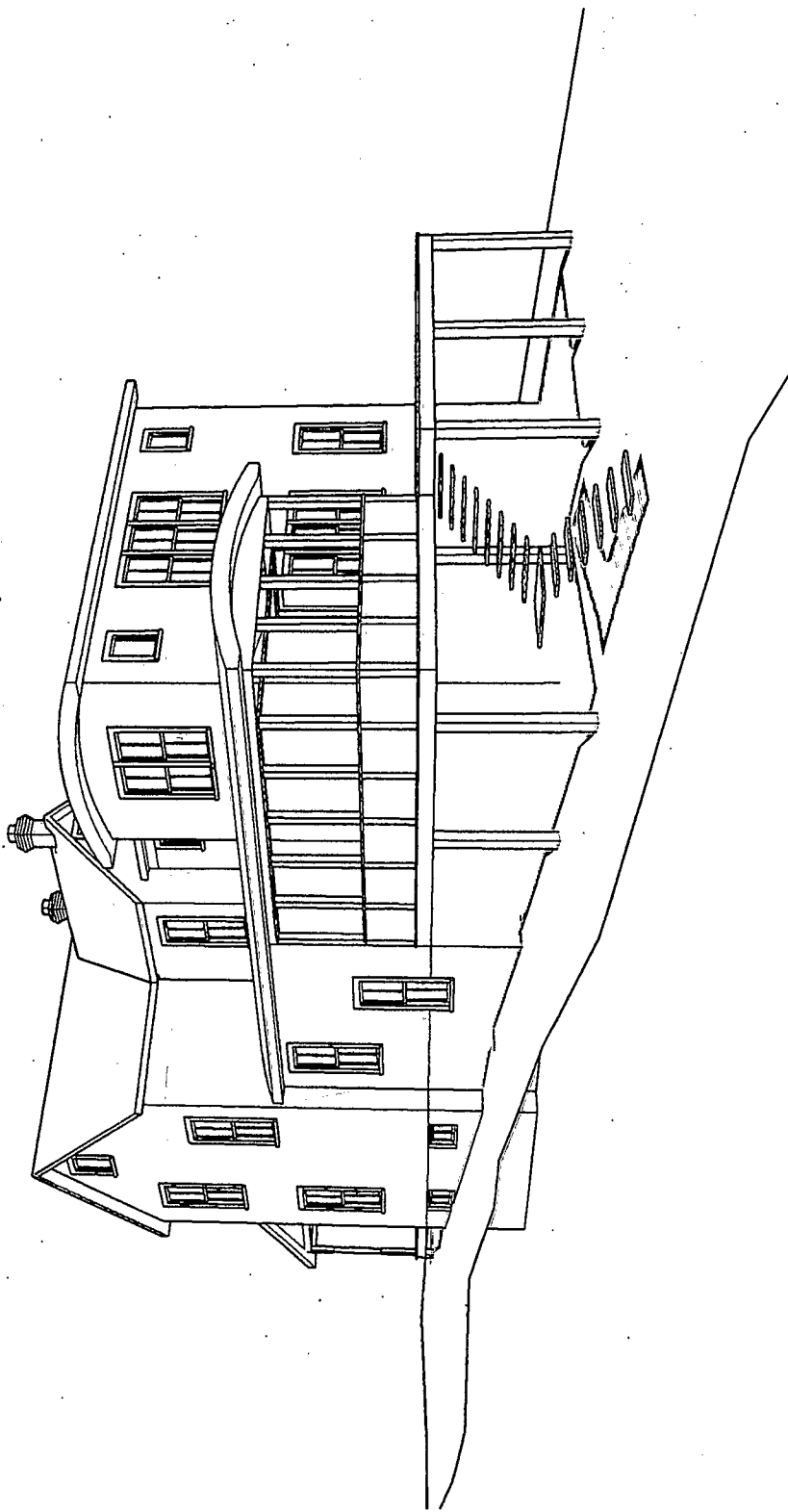
(81)

VIEW FROM
NORTH



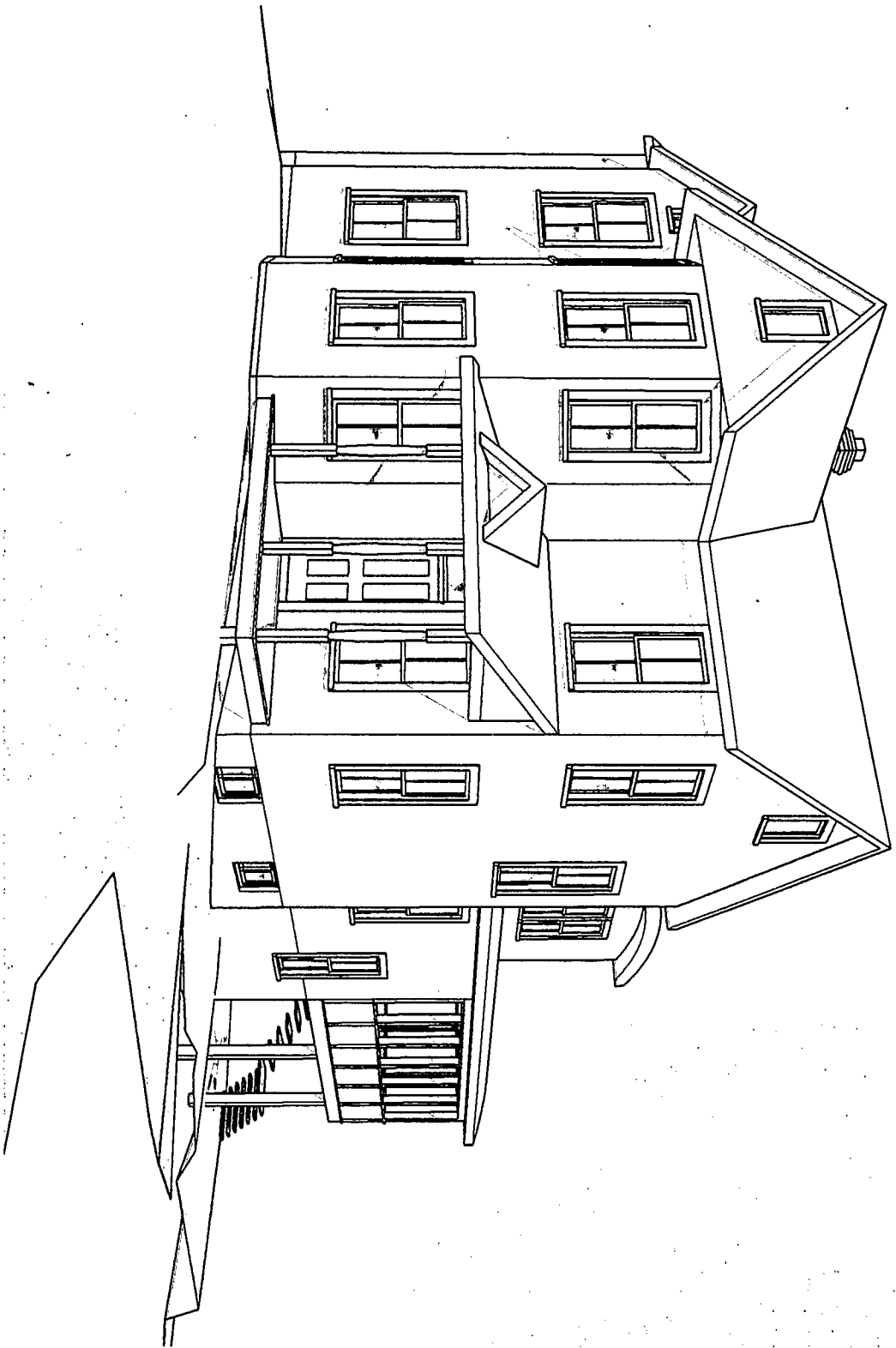


View from
East.



VIEW FROM
SOUTH

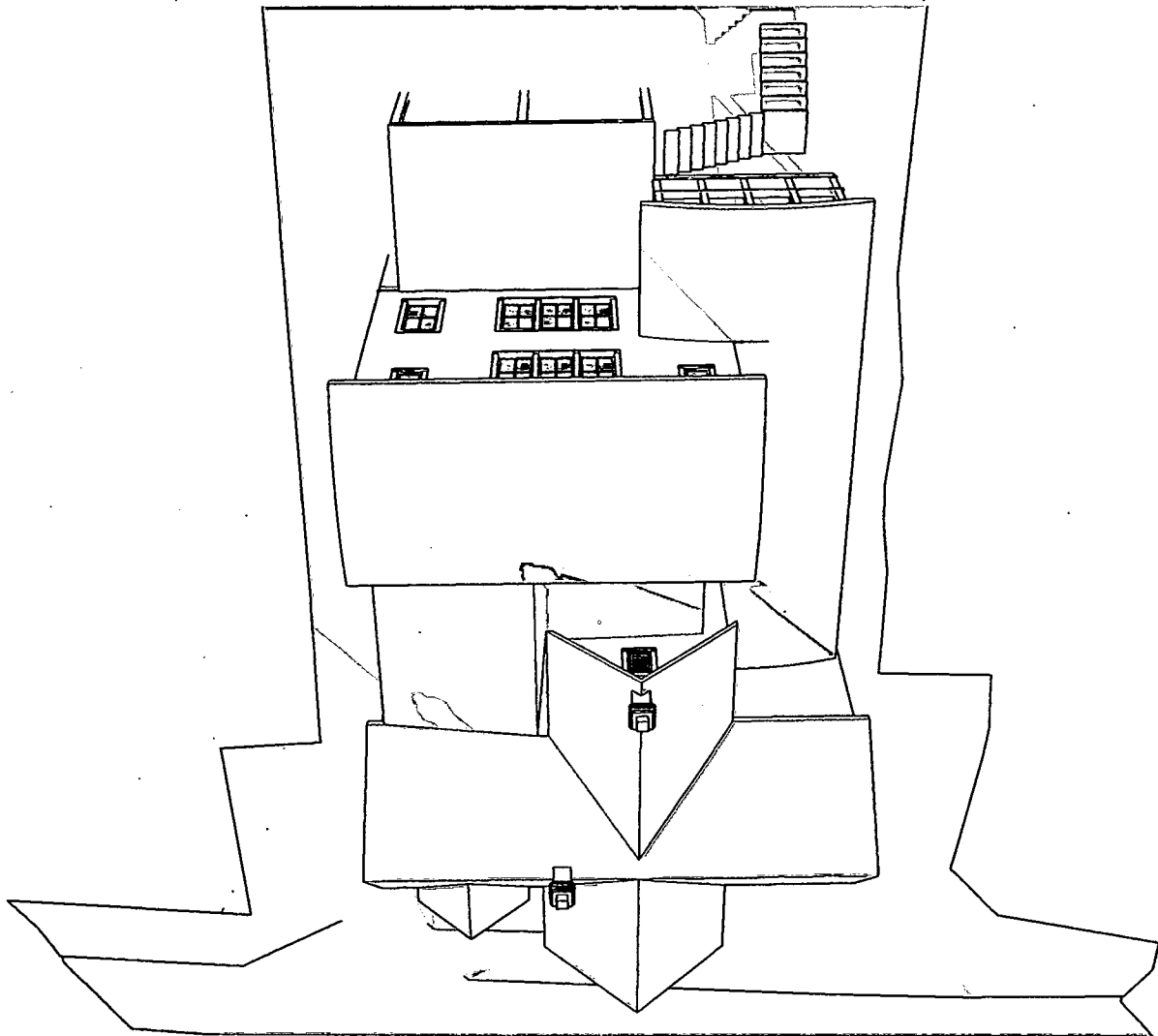
20



VIEW FROM
WEST

(21)

22



N ←

Historic Area Work Permit Application
7311 Baltimore Avenue
May 5, 2010, revised June 9, 2010



Aerial View of Existing Conditions

28

Historic Area Work Permit Application
7311 Baltimore Avenue
May 5, 2010, revised June 9, 2010



Northwest Elevation (Street Elevation) of House

24

Historic Area Work Permit Application
7311 Baltimore Avenue
May 5, 2010, revised June 9, 2010



View of North Corner

25

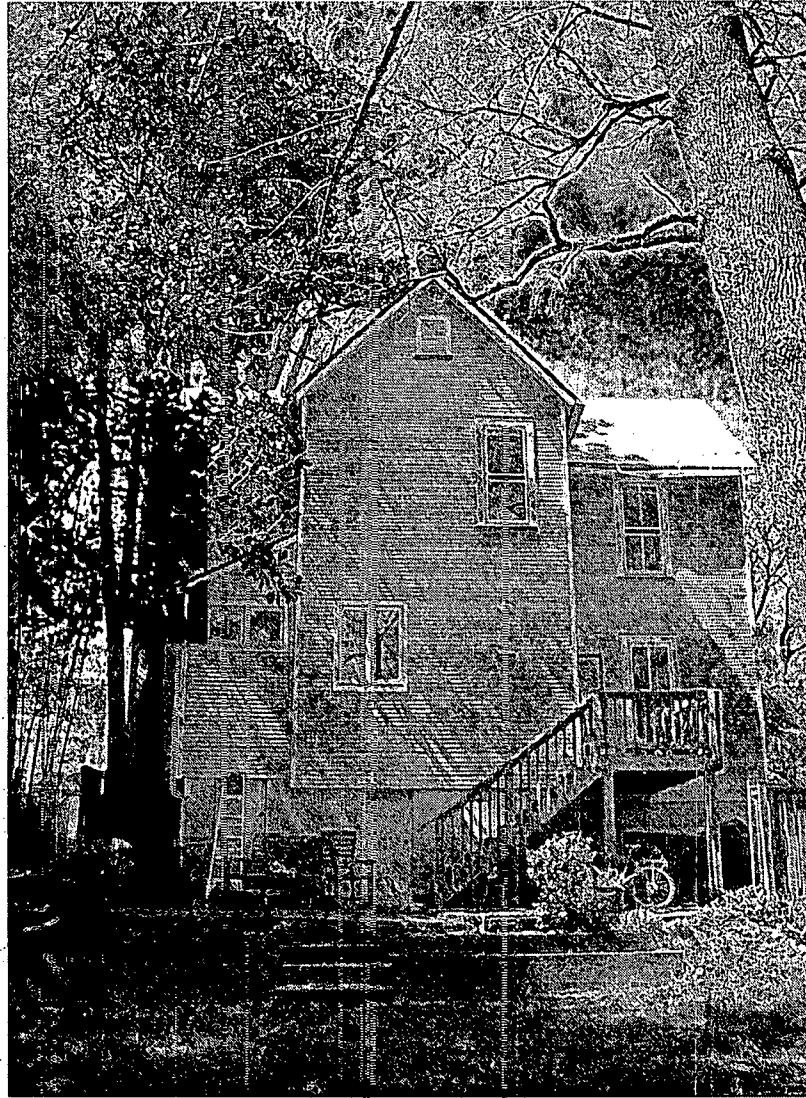
Historic Area Work Permit Application
7311 Baltimore Avenue
May 5, 2010, revised June 9, 2010



View of West corner of house

216

Historic Area Work Permit Application
7311 Baltimore Avenue
May 5, 2010, revised June 9, 2010



Current view from backyard

BL