

PRELIMINARY CONSULTATION/HAMP
8 CRESCENT PLACE, TAKOMA PARK
← TAKOMA PARK HISTORIC DISTRICT



The house as is



The house as proposed

Silver, Joshua

From: Bill Hutchins [billhutchins@earthlink.net]
Sent: Friday, December 05, 2008 6:22 AM
To: Silver, Joshua
Cc: Geoff Maxson
Subject: photos of Geoff Maxson's home



IMG_1620.JPG

3/11/09

HPC Meeting

NEW HPC sworn in 3/17/09

4/19 or 4/26 HPC Party

8 Crescent Place

Alderson:

Roof monitor reduce height, sightlines to justify no visibility
Hutchins — willing to lowering 6-8"

Duffy:

Visibility
Analysis

Applicant should provide sightline

1) needs to demonstrate

Issues w/ windows on front elevation

Miles:

• Likes w/ addition

• Get the monitor lower

• Retain Garage/Relocate

• Windows should all be wood

• Retain original windows

Anathar

- Smaller wooden support brackets on front

- Ambivalent about windows

Rotenstein:

• Some issues w/ extension beyond plane of addition

• Maintain window

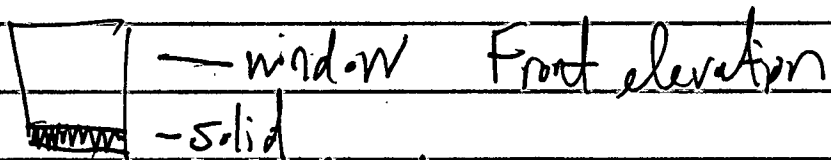
• Roof Monitor

Alderson:

- Maintain garage
- Roof Monitor
- No window removal
- Supports front elevation alteration
- Introduce more Bungalow features
- Piers on either side of door front
- More refinement to front elevation

Jester

- Massing (YES)
- All wood windows required
- Shift monitor toward rear of house
- Height of monitor ok with



- Refine front elevation

Burstyn:

- Supports

Fuller:

- Relocate garage
- Likes w/ addition

Census:

- Addition:
- Maintain garage
- Wood windows
- Maintain windows

Hutchins:

- Garage termite damage
- ~~in~~ in backyard loses green space
- More documentation on garage (study)

Windows:

Energy efficient window discussion

Duffy: Compromise

Jester: Wood historic massing

Alderson: Alternative material in addition

Fuller - differentiation of wood windows / new windows

Front Porch:



- windows
- panes

: Applicant willing to do this.

Siding: Rehab original siding.

2/11/09

HPE Meeting

Option x 4

8 Crescent Place, Takoma Park

Preliminary Consultation

- Existing ridge 7'1" high
- Revised design meets programmatic reqs. of applicant Alderson:
 - Rear dormer: Shed dormer
 - Side addition for this location could work [elevation change]
 - Explore reclaiming character of front elevation
 - ~~Miles~~ Houses By Mail
 - Like Design #3
- Fleming:

Rotenstein:

Likes Design #3 ✓

Miles

Design #3 ✓

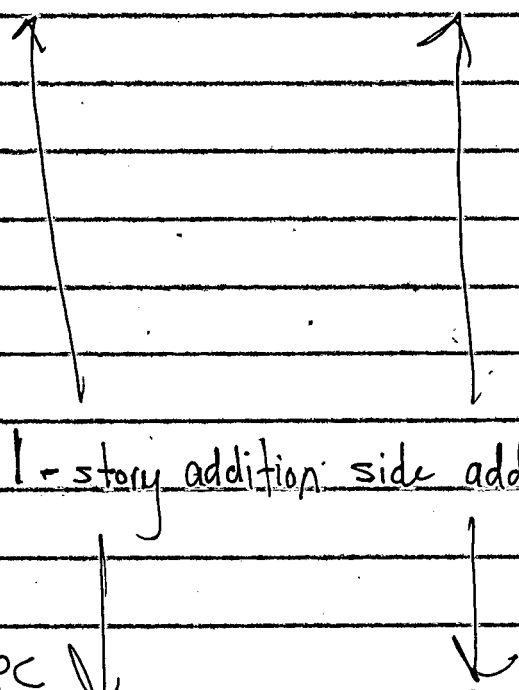
Jester

Design #3 ✓ 1-story addition: side addition

Fuller

Concurs w/ HPC ✓

Recommends exploring solar arrays



City of Takoma Park



**Housing & Community
Development**

Telephone: (301) 891-7119
Fax: (301) 270-4568

7500 Maple Avenue
Takoma Park, MD 20912

December 16, 2008

Department of Permitting Services
255 Rockville Pike, 2nd Floor
Rockville, Maryland 20850-4166

Property Owner Name: Geoff Maxson Fax: (301) 286-1769

Location of Requested Building Permit: 8 Crescent Place

Proposed Scope of Work: Second story residential addition.

Dear Department of Permitting Services:

The above property owner has notified the City of Takoma Park that they are planning to apply for permits for the above summarized construction project. They have been informed that the City of Takoma Park has regulations and permit requirements that may apply to their project and if they do not comply they may be cited or fined.

Yours sincerely,

Ilona Blanchard
Community Development Coordinator

South Elevation (Right side)

- Install a shed roof dormer with a 2/2 true divided light wooden window behind the existing cross-gable of the main roof massing
- Raise the lower sill 1'5" on a non-historic bay window to accommodate adjustments to the proposed interior program layout

East Elevation (Rear)

- Remove an existing 8-light wooden door and install a new wooden true divided light double French door.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 4A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Outstanding Resources have the highest level of architectural and/or historical significance. While they will receive the most detailed level of design review, it is permissible to make sympathetic alterations, changes and additions to Outstanding Resources.

As a set of guiding principles for design review of Outstanding Resources, the Historic Preservation Commission will utilize the Secretary of the Interior's "Standards for Rehabilitation".

The *Guidelines* that pertain to this project are as follows:

- Plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setbacks, and materials
- Emphasize placement of major additions to the rear of existing structures so that they are less visible from the public right-of-way
- While additions should be compatible, they are not required to be replicative of earlier architectural styles
- Preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged
- Preservation of original building materials and use of appropriate, compatible new materials is encouraged
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Alex:

Steve:

- o STEPS → STREET - 1st LANDING REMAIN CONCRETE
- o KNEE WALLS - PROOF THAT WALLS ARE TOO DETERIORATE AND CANNOT BE REPAIRED.
- o KNEE WALL PROFILE SHOULD BE MAINTAINED IF NEW ADJUSTMENTS TO LANDING CAN BE MADE TO ENHANCE SPACE AND FUNCTIONALITY.

CONCRETE BASE w/
WOOD w/ ~~INSIDE~~



F

HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

David Rotenstein
Chairperson

Date: July 28, 2009

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #502927, rear addition garage demolition and other alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the April 22, 2009 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Geoffrey Maxon

Address: 8 Crescent Place, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850
247 277-1370

DPS - #8

H
J

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: _____
 Daytime Phone No.: _____
 Tax Account No.: _____
 Name of Property Owner: Geoffrey J Maxson Daytime Phone No.: (301) 286-2337
 Address: 8 Crescent Pl Takoma Park MD 20912
Street Number City State Zip Code
 Contractor: _____ Phone No.: _____
 Contractor Registration No.: _____
 Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 8 Street: Crescent Pl
 Town/City: Takoma Park Nearest Cross Street: Holt
 Lot: 21 Block: 2 Subdivision: Hill-Crest
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input checked="" type="checkbox"/> Alter/Renovate	<input type="checkbox"/> AC	<input type="checkbox"/> Stab	<input checked="" type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input checked="" type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input checked="" type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Well (complete Section 4)	<input type="checkbox"/> Other: _____				

1B. Construction cost estimate: \$ _____
 1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Geoffrey J Maxson 12-15-08
 Signature of owner or authorized agent Date

Approved: [Signature] For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: 7/28/09
 Application/Permit No.: 502927 Date Filed: 11/25/08 Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

Muller 247348

NORTON CONSULTING ENGINEERS, LLC
2235 REGINA DRIVE · CLARKSBURG, MD 20871
CELL: (240) 393-3672 · OFFICE: (301) 865-6010

February 4, 2007

Mr. Geoff Maxson
20438 Sunbright Lane
Germantown, MD 20874


RE: 8 Crescent Place

Dear Mr. Maxson,

At your request, I made a visual observation of the crack in the side foundation wall of the house at 8 Crescent Place, Takoma Park. The house is a single-story wood-framed structure with an addition to the rear of the house. The detached, wood-framed garage in the rear yard has a concrete drive leading up to it along the side of the house.

Assuming the house faces south, horizontal cracks over one quarter inch wide (1/4") were observed in the North and West interior basement foundation walls of the house. The North (or rear) wall at the Northwest corner of the house has moved in at the base of the wall more than one inch (1"). Settlement has occurred at the East wall where the rear addition meets the original house. General settlement along the entire East side of the house was also observed. There are two steel posts supporting a beam in the basement. A third post supports the stairway into the basement. These beams are rusted, and not structurally rated for their present use.

Much of the grade around the exterior perimeter of the foundation is flat with several depressions observed along the East wall, and the West wall between the driveway and the house. One of these depressions occurs at the crack in the East foundation wall, which you contacted me about.

 You also asked me to look at the garage. The concrete slab of the garage is severely cracked, beyond salvage. The garage framing has settled several inches, which could indicate an inadequate foundation beneath it. It is also badly racked, and has numerous areas with evidence of insect damage.

Based on the above observations, the following was concluded:

- The North and West walls have moved to the point to where they are no longer structurally stable, and could fail. The placement of vertical steel beams at intervals along the entire length of these walls is needed to ensure that they do not collapse.
- The three posts noted above, should be replaced with structurally rated columns on new footings.

- The land around the house should be graded away from the structures a minimum of six feet (6') with all depressions filled.
- Roof and yard drainage should be directed away from the structure to daylight a minimum of six feet (6').
- Since the driveway is severely cracked, it is recommended that it be removed. (This will make the land to the rear of the house much easier to grade appropriately.)
- The garage is structurally unstable. Its removal, including the concrete slab, is recommended.

A [

The range of costs to undertake the above actions would be approximately \$35,000 – \$45,000. To determine exact prices however, a qualified contractor should be consulted.

If I may be of any further service regarding implementation of the above, please do not hesitate to contact me.

Very truly yours,

George W Norton

George W. Norton, P.E.

ENCLOSED FRONT PORCH INTERIOR



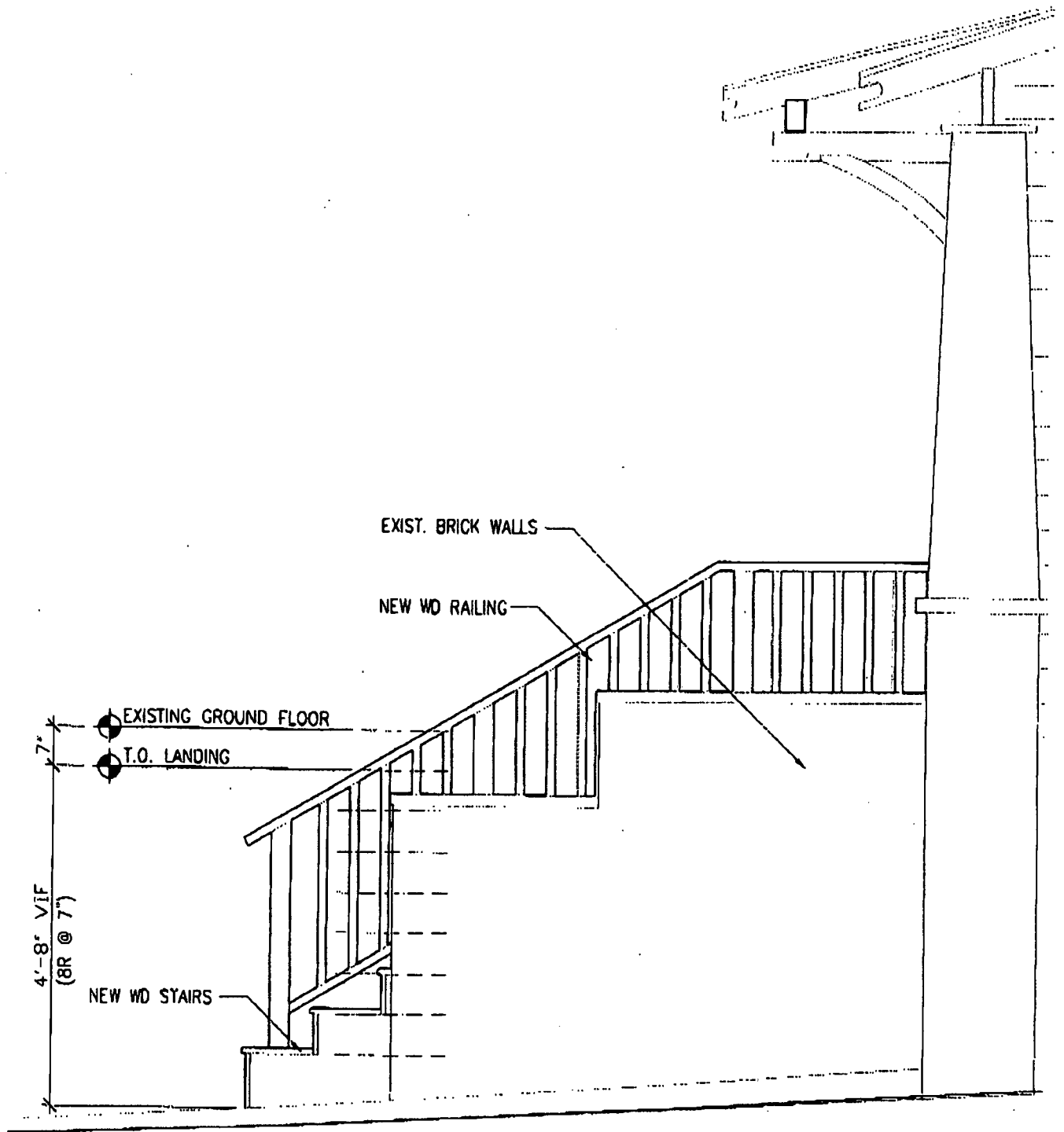
TO Josh Silver
FROM Geoff Maxson

Josh, Attached are the drawings,
Please let me know if you have questions
or need more information.

Thanks

Geoff Maxson
301 286-2337

geoffmaxson@verizon.net



3 FRONT PORCH ELEV.
1/2" = 1'-0"

8 CRESCENT PL.
FRONT PORCH SKETCH
5-14-2010
HELICON WORKS

STAFF ITEM

STAFF MEMBER: JOSH SILVER

SUBJECT: Revision to approved HAWP (Case 37/03-09H), for rear addition, garage demolition and other alterations at 8 Crescent Place, Tacoma Park, a Contributing Resource within the Tacoma Park Historic District

DATE: May 26, 2010

BACKGROUND: On April 22, 2009 the HPC approved construction of a rear addition, demolition of an existing garage and alterations to the front elevation of the subject resource.

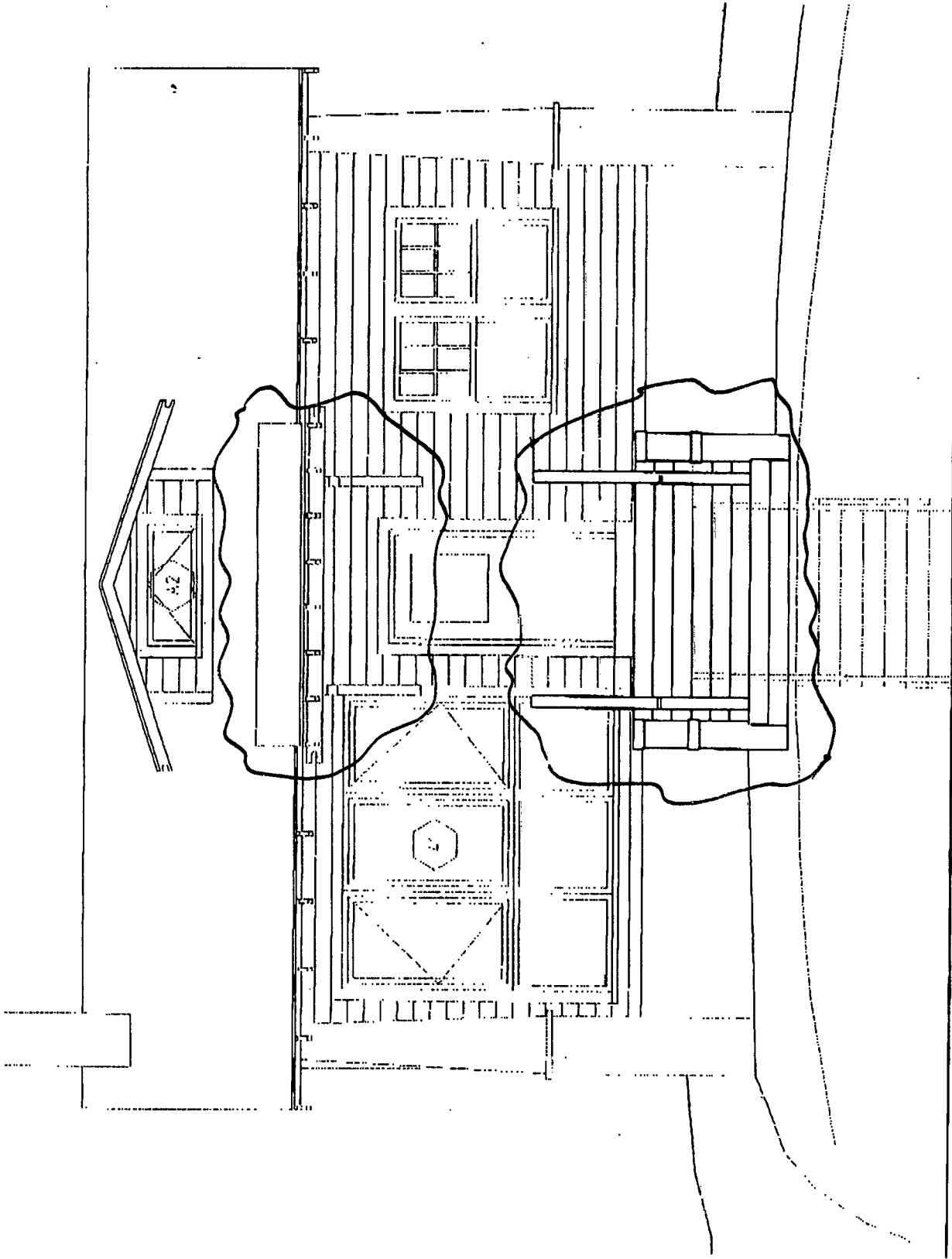
REVISED PROPOSAL: The applicant is proposing to expand the existing concrete landing and stairs at the front of the property and modify the height and pitch of the approved front porch roof overhang.

The proposed work includes covering the existing concrete landing, treads and risers with wood and the removal and replacement of the metal railing with wood. The applicant is requesting approval for modifications to the pitch and height of the front porch roof overhang in order to accommodate the proposed expansion of the landing.

STAFF RECOMMENDATION: Staff is recommending that the HPC approve the revised proposal.

HPC DECISION:

APPROVED 5/26/10

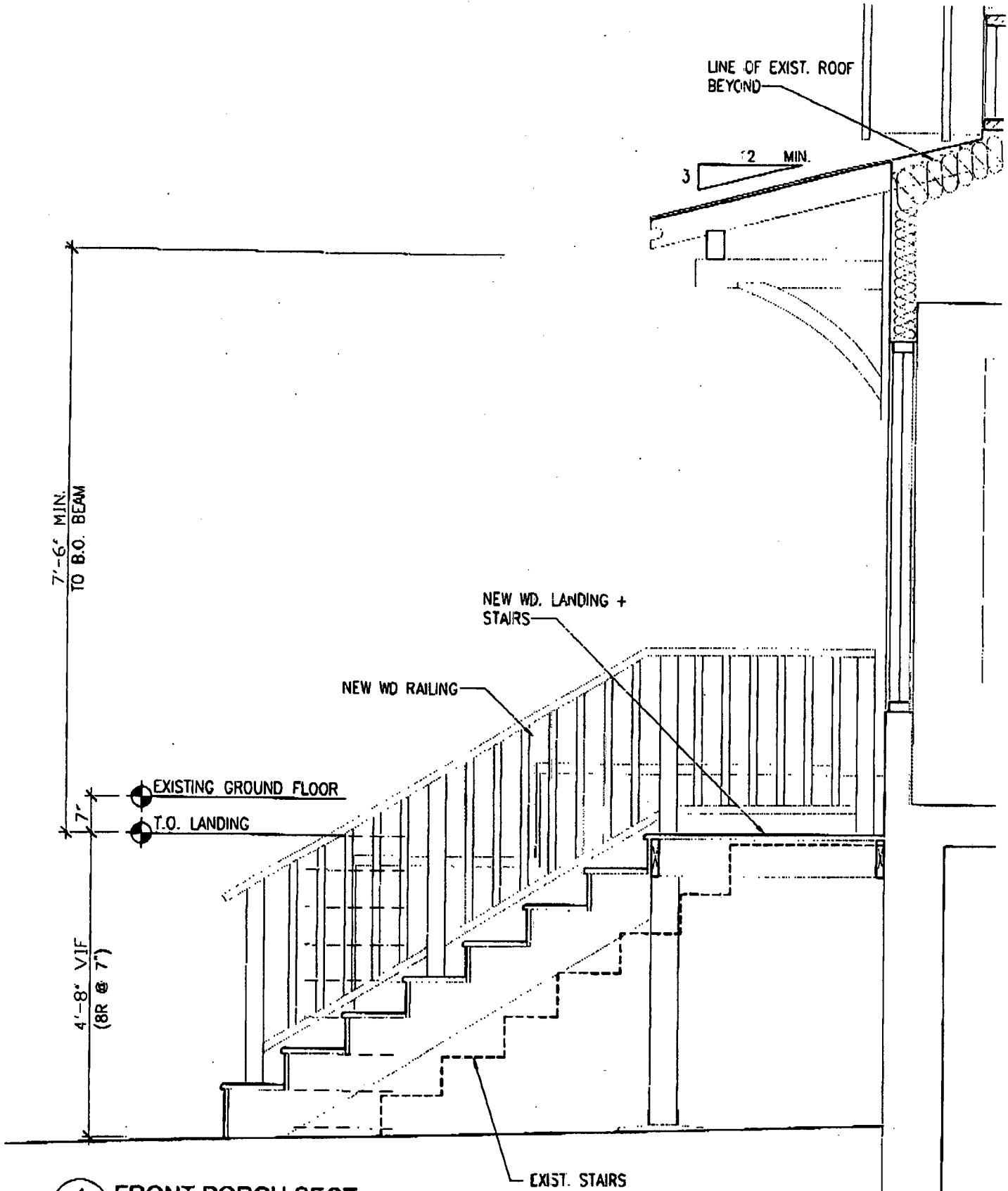


8 CRESCENT PL.
FRONT PORCH SKETCH
5-14-2010
LIFE 1/4" = 1'-0"

2 FRONT PORCH ELEV.
1/4" = 1'-0"

REVISED DESIGN

3

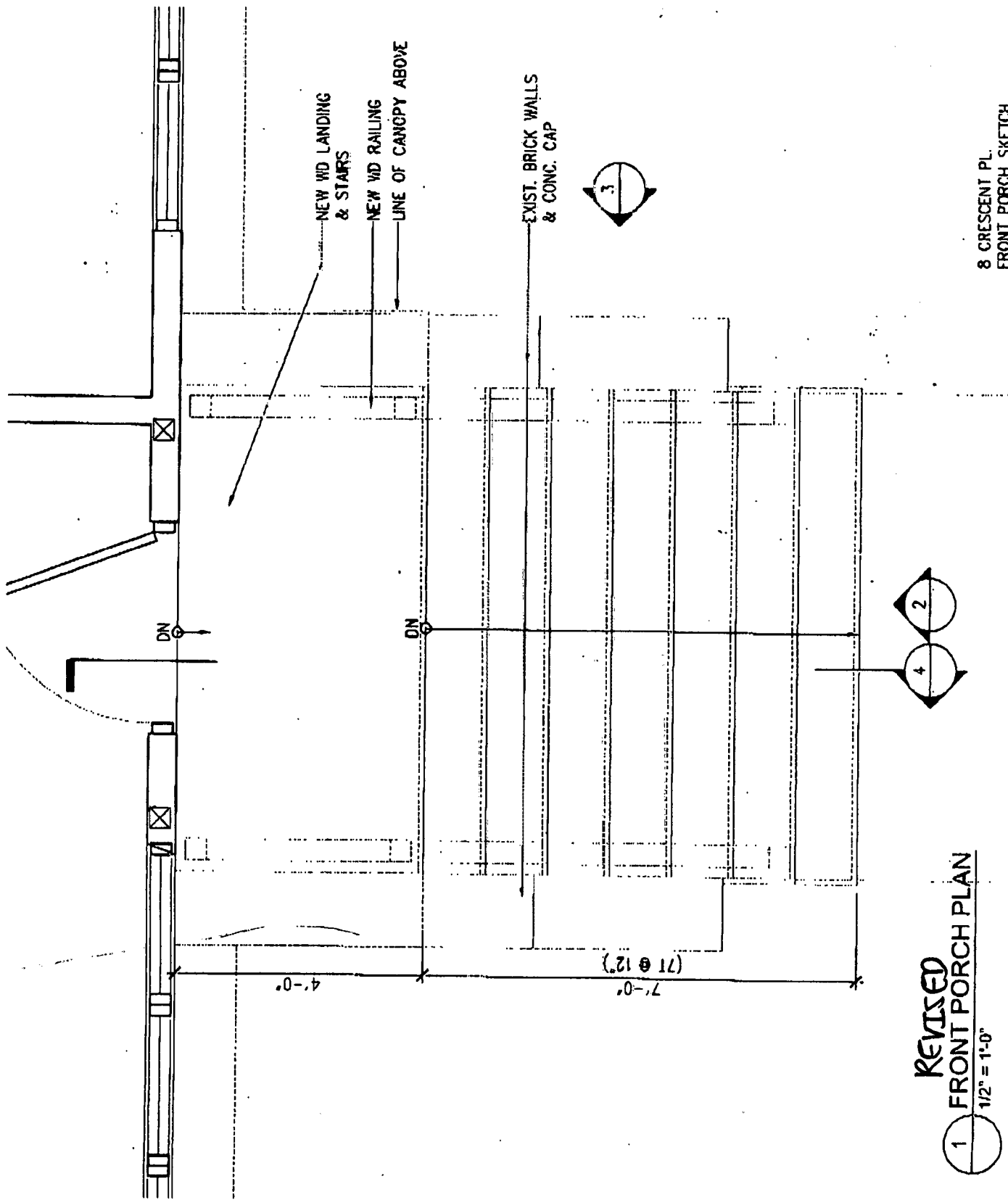


4 FRONT PORCH SECT.
 1/2" = 1'-0"

8 CRESCENT PL.
 FRONT PORCH SKETCH
 5-14-2010
 HELICON WORKS

REVISED DESIGN

4



REVISED
 1 FRONT PORCH PLAN
 1/2" = 1'-0"

8 CRESCENT PL.
 FRONT PORCH SKETCH
 5-14-2010

5

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	8 Crescent Place, Takoma Park	Meeting Date:	1/28/2009
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	1/21/2009
Applicant:	Geoffrey Maxon	Public Notice:	1/14/2009
Review:	Preliminary Consultation	Tax Credit:	N/A
Case Number:	N/A	Staff:	Josh Silver
PROPOSAL:	Rear addition and roof alterations		

STAFF RECOMMENDATION

Staff recommends that the applicant make revisions to the plans based on comments and feedback from the HPC and return for a 2nd Preliminary Consultation.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Craftsman (Altered)
DATE: c1915-25

PROPOSAL

The applicant is proposing the addition of a partial 2nd story that will provide an approximately 800 s.f. of additional living space. Addition of the second story would necessitate raising the roof of the existing house by 3' (from 17'-to- 20'). The project also includes construction of a gable roof dormer on the street-facing roof plane of the new (raised) roof section of the house. The proposed gable dormer will extend through the ridgeline of the raised side gable roof. No expansion of the existing building footprint is proposed.

The proposed work also includes removal of the T1-11 plywood siding from the front elevation and rehabilitation of the existing wood siding, alterations to the existing front porch enclosure on the northeast corner of the house, modifications to the front roof eave, and installation of new front porch columns.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features, is, however, not required;
- major additions should, where feasible, be placed to the rear of the existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited;
- while additions should be compatible, they are not required to be replicative of earlier architectural styles;
- second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single-story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing.

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a

- manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
 - (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Cumulatively the proposed work would have a major impact on the original roof form and perceived character of the house. Despite several alterations to the front elevation (i.e., enclosure of an original partial front porch, installation of T1-11 siding over possibly original wood siding), the original gable roof form with deep eaves that characterizes the Craftsman style of this house remain relatively intact except for a small non-original gable dormer vent located at the front.

Staff does not support the applicant's proposal to raise the roof by 3' or the installation of a gable dormer through the ridgeline of the raised side gable roof. Staff met with the applicant and explained that best preservation practices recommend against these types of alterations because they diminish the historic relationship of the house to the street and alter the perceived character of the house. Staff recommended placing an addition at the rear of the structure to minimize the visual impact on the streetscape of the historic district and preserve the original roof form that characterizes the house.

The Secretary of the Interior's Standards for Rehabilitation recommend identifying, retaining, and preserving roofs--and their functional and decorative features--that are important in defining the overall historic character of the building and designing a new addition in a manner that makes clear what is historic and what is new. The proposed design would alter the overall character of the house by raising the roof of an original one-story house and placing an addition (i.e., gable roof dormer) in the front section of the roof.

Staff has identified two possible design alternatives that meet the *Standards* and are consistent with the *Guidelines*. Both design alternatives are targeted at preserving the existing roof height and form forward of the ridgeline (peak), appearance of the house from the streetscape of the historic district and compatibility with the adjacent houses and neighborhood context.

Alternative #1- Construct a small 2 story addition off the rear wall plane of the house. A rear addition would minimize any visual impact new construction would have on the streetscape of the historic district and avoid affecting the perceived character of the house by preserving the original roof form. If this alternative is pursued the rear addition should be generally consistent with the predominant architectural style, character and scale of the historic massing.

Alternative #2- (1) Maintain the original roof form and height forward of the existing ridgeline of the roof; (2) construct a roof addition similar in style to the proposal starting behind and offset from the ridgeline (peak) of the existing roof, (a rear roof addition could include raising the rear section of roof to the minimum height required by code for a 2nd story to maximize the use of the existing building footprint); and (3) construct a modest addition off the rear wall of the house by extending the roofline of the new roof addition. A rear addition using the recommendations outlined in this alternative should include a design that is inconspicuous as possible when viewed from the street, have a roof form and slope subordinate to the existing roof and be compatible in scale and character with the historic massing.

Additional modifications include alterations to the existing front porch enclosure. The applicant has indicated there is evidence that the front (northeast) corner of the house had an open style porch that has been enclosed. The applicant is proposing to maintain the interior space, but update the enclosed section and front elevation by adding new windows, modifying the front roof eave, and installing columns. Staff would support some type of alteration to the existing front elevation if the proposed work is proven to be consistent with the original style of the front porch. The applicant is encouraged to pursue locating historic photographic documentation to substantiate the approximate style and dimensions of the possible original front porch.

Staff supports the removal of the existing addition at the rear of the house to accommodate some type of rear expansion. The proposal to remove the non-original siding on the front elevation and rehabilitate possibly original siding is encouraged. It is recommended the applicant explore the extent of original siding remaining on the house and determine if comprehensive siding rehabilitation is feasible.

Staff recommends additional consultation after the Preliminary Consultation hearing to discuss making revisions to the proposed design in response to the comments and feedback the applicant receives from the HPC. Revised plans should include measured drawings, material, and window and door specifications.

To achieve consistency with guidance for new additions found in *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland*, a proposed addition should meet the following guidelines:

- 18.1 Place an addition at the rear of a building to minimize its visual impacts.
- 18.3 An addition should be compatible in scale with the primary structure.
- 18.4 Use building materials that are compatible with those of the primary structure.
- 18.5 An addition should be compatible in character with the primary structure.

The applicant is requesting comments and feedback from the HPC on the following items:

- ***Modifications to the existing roof height and form***
- ***Installation of a gable roof dormer to create a partial 2nd story***
- ***Feasibility of altering the existing front porch enclosure.***

STAFF RECOMMENDATION

Staff recommends that the applicant make revisions to the plans based on comments and feedback from the HPC and return for a 2nd Preliminary Consultation.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

RECEIVED
DEC 23 2008
DWP CASEWORK MGMT

Contact Person: _____

Daytime Phone No.: _____

Tax Account No.: _____

Name of Property Owner: Geoffrey J Maxson Daytime Phone No.: (301) 286-2337

Address: 8 Crescent Pl Takoma Park MD 20912
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 8 Street: Crescent Pl

Town/City: Takoma Park Nearest Cross Street: Holt

Lot: 21 Block: 2 Subdivision: Hill-Crest

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Geoffrey J Maxson
Signature of owner or authorized agent

12-15-08
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No. 502927 Date Filed: 12/22/08 Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

Mule Log 247348

6

1) a.

The existing home is a 1000 sq ft (25' x 40') bungalow with a low attic. It is located between two much larger houses – a Italianate style home to the north (the first and original house on the street) and an expanded bungalow to the south. The house sits at the corner of Holt and Crescent, with the front yard raised off street level and steeply sloped down to the sidewalk. A driveway separates the house from its north neighbor, and the driveway leads to a detached garage/shed located behind the house. The house contains a small dormer in the attic.

1) b.

The proposed addition would transform our home from one historical model to another, which would allow us to create an appropriate and "green" home for our forthcoming family (we are soon to marry and plan to raise our family in this home.) Our existing home is a very small bungalow house, 1000 sq ft. We propose to build it to roughly 1800 sq ft. In making this transformation, we propose to build a second story addition (no added footprint) which will only raise the central ridge 3 feet. This addition will be barely noticeably different from the street, but big enough to allow us to make the second floor into livable space (we only have a low attic now). We are interested in making our home as "green" as possible, and a primary green practice is building as small as possible, to limit our impact. A further green building principle is to limit land built upon, preserving habitat for all local species and allowing rain water to percolate back into the water table. Preservation of water is vital and we will have a complete storm water management plan, either capturing rain water for on-site use or allowing it to percolate back into the soil.

Furthermore, by building on top of our existing home we will save significantly, which will allow us to afford to do this project. The cost increase by going out towards our back yard would not allow us to do our modest proposed expansion for raising our family. Our proposal will also cost less to maintain and heat and cool, thus limiting our carbon footprint. This allows us to help fulfill our intention of being net-zero energy and have a minimal carbon footprint.

If the proposed home is built, it will still be greatly dwarfed on the north by the Italianate style house and significantly lower than our neighbor to the south. There are numerous homes within the immediate blocks surrounding our home, and even more throughout historic Takoma Park, which are depictions of the modified bungalow we propose.

Historically inappropriate renovations were made to our home before we bought it, such as a small awkward addition at the back and closing in a front porch which spans two-thirds of the front of the house. Our proposed addition would fully integrate the footprint of the previous addition and restore the look and details of the original front porch. We want to maintain the existing conditioned space as a mudroom/airlock, another green building strategy to save heating and cooling costs. Lastly, we would remove all of the T1-11 vertical plywood siding that was part of previous renovations and restore the original wood siding and trim.

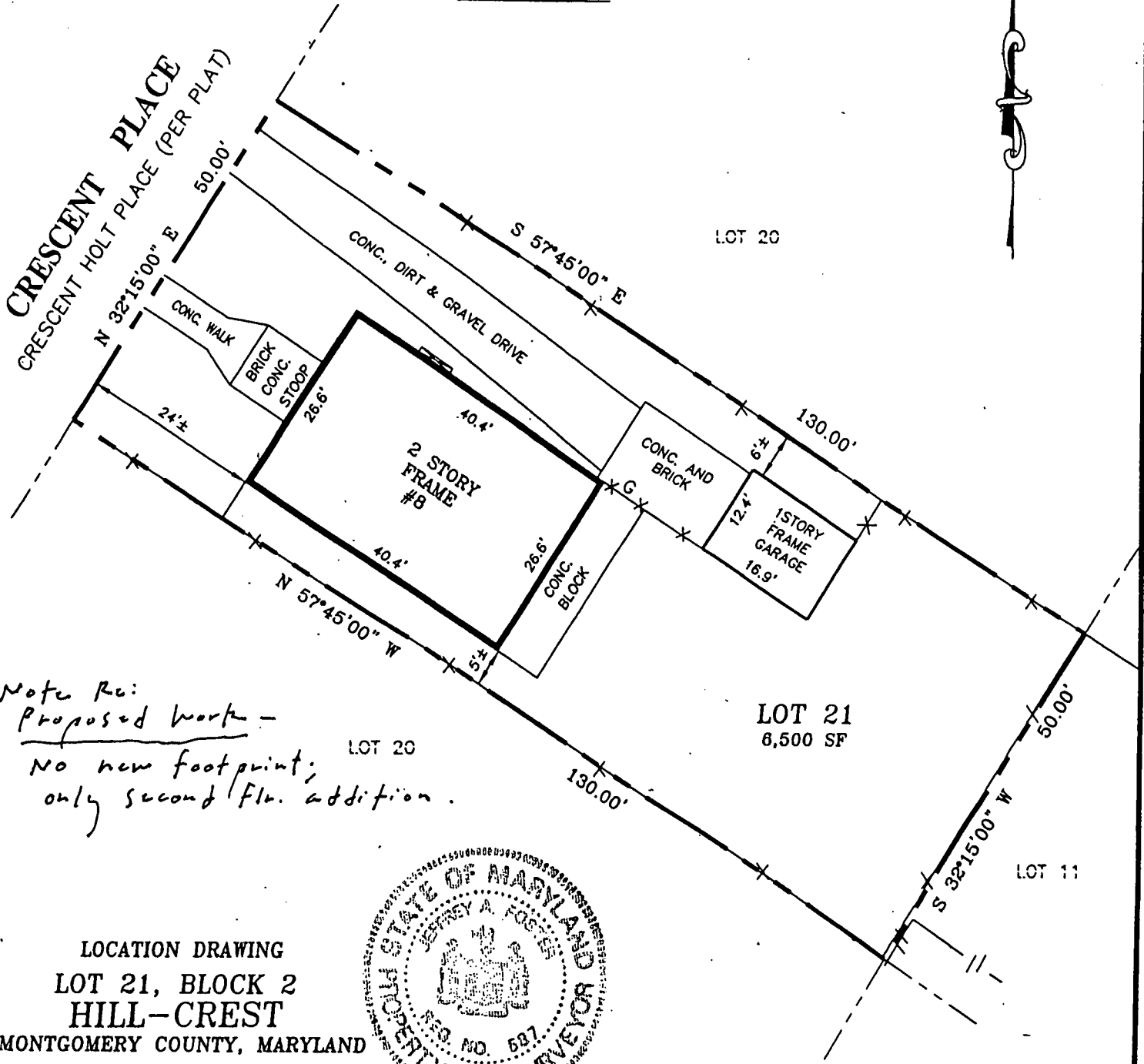
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
Mary Alice Winch 6 Crescent Pl Takoma Park, MD 20912	
Andrew & Katya Portan 25 Holt Pl Takoma Park, MD 20912	
David Pittman and Dan Aibel 227 Park Ave Takoma Park, 20912	

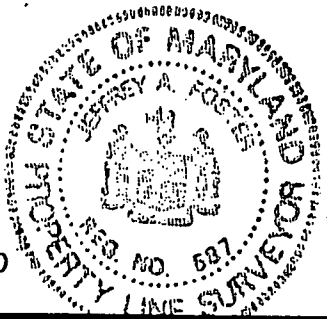
CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 FEET
 Flood Zone "X" per H.U.D. Flood Panel No. 0460D.



**LOCATION DRAWING
 LOT 21, BLOCK 2
 HILL-CREST
 MONTGOMERY COUNTY, MARYLAND**



SURVEYOR'S CERTIFICATE

"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."

Jeffrey A. Foster
 MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587

REFERENCES

PLAT BK. 2
 PLAT NO. 140

LIBER
 FOLIO



SNIDER & ASSOCIATES
 SURVEYORS - ENGINEERS
 LAND PLANNING CONSULTANTS
 20270 Goldenrod Lane, Suite 110
 Germantown, Maryland 20878
 301/948-5100, Fax 301/948-1288

DATE OF LOCATIONS

SCALE: 1"=20'

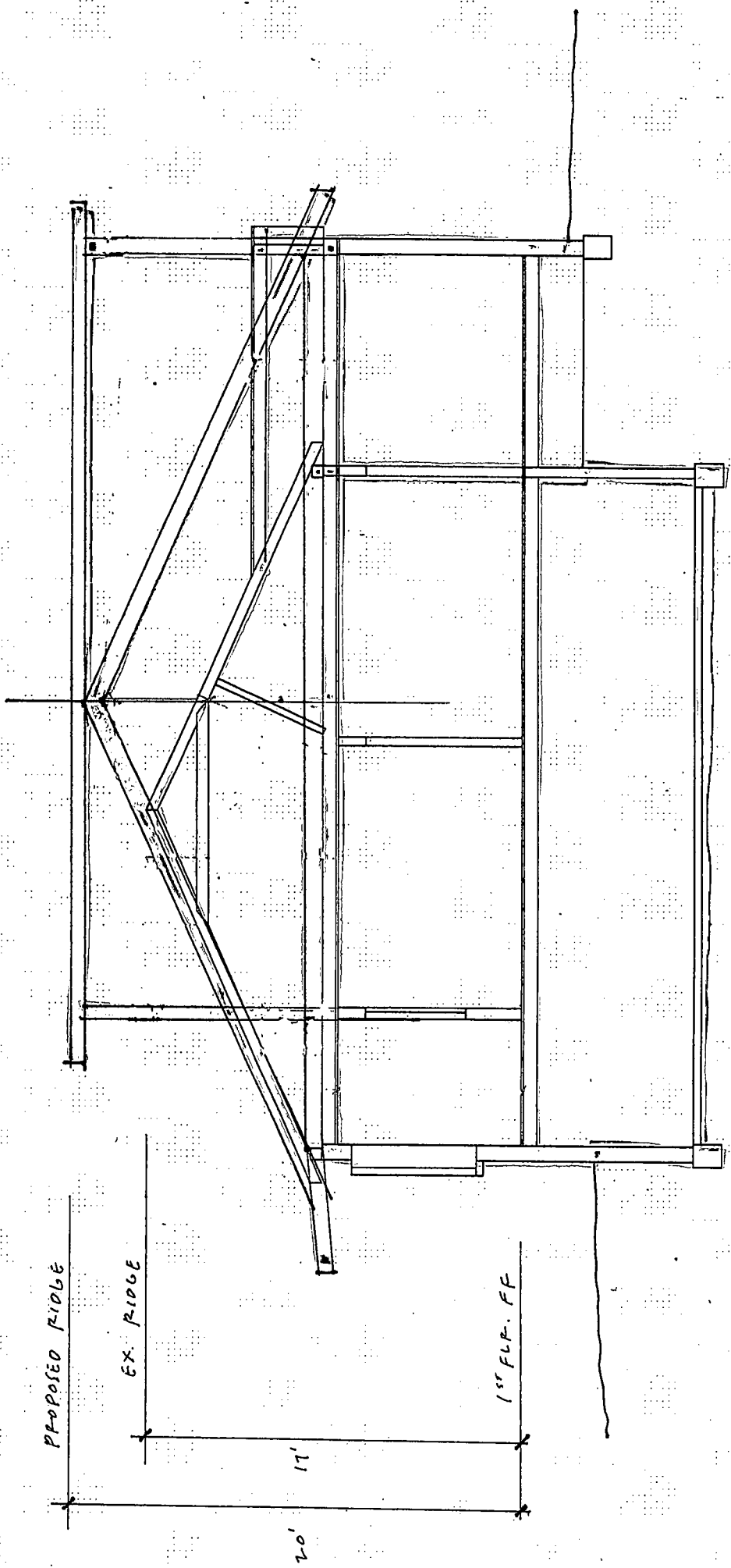
WALL CHECK:

DRAWN BY: F.A.-E.H.

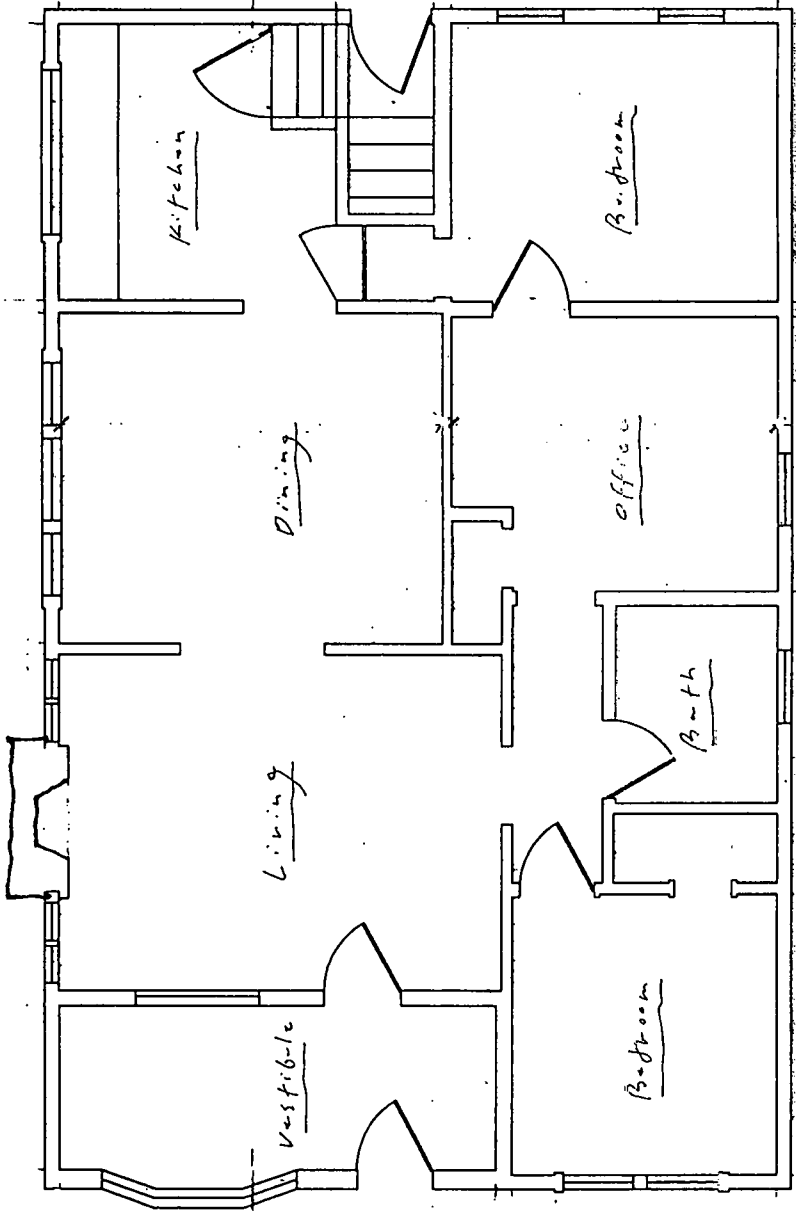
HSE. LOC.: 12-21-06

JOB NO.: 99-1544

9

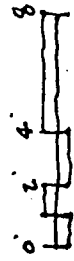


Section Diagram



← 20'6" →

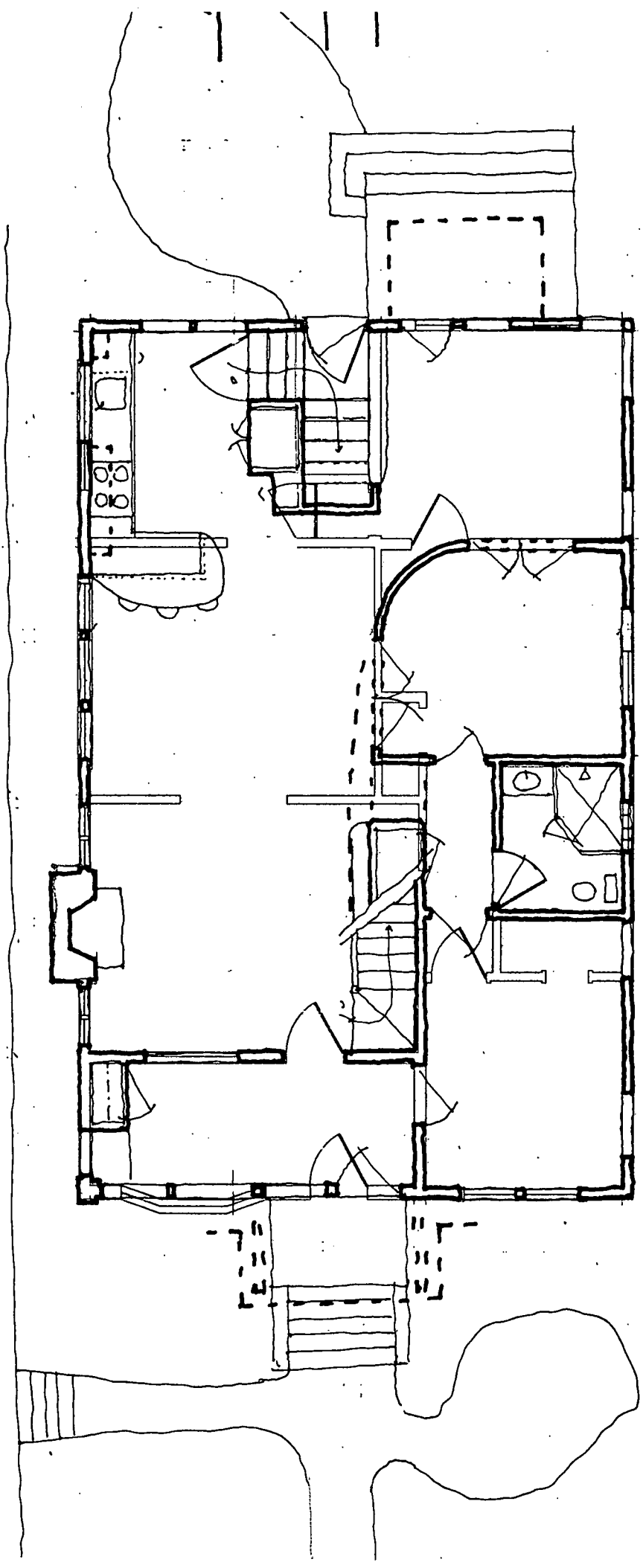
← 40'4" →



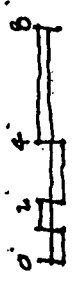
Existing House

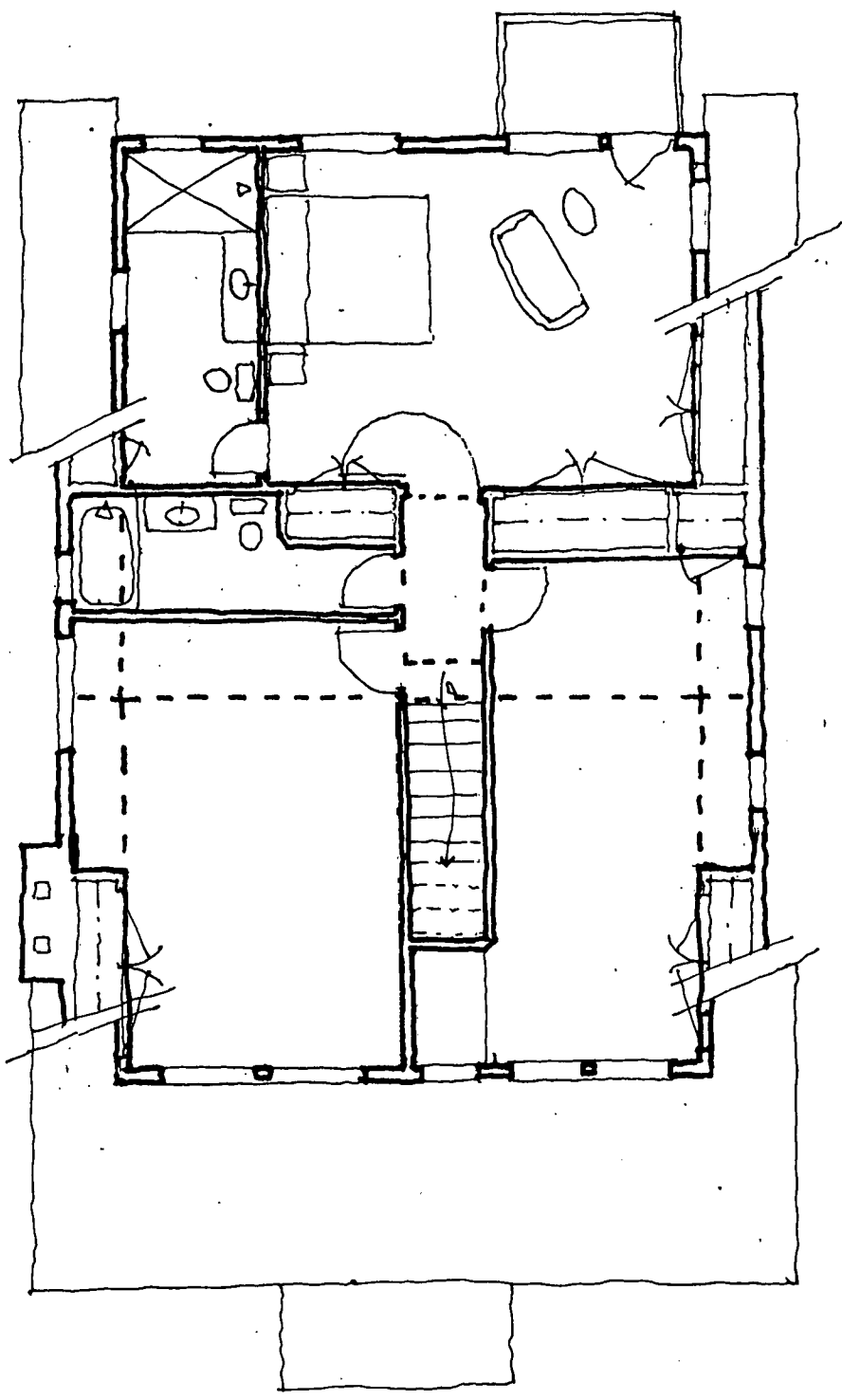
front -
detail as possible
but ind. space.

close off - window
add cabinets

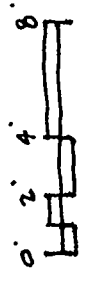


Proposed Interior Renovations
with exist. shown lightly.





Proposed 2nd Flr. Addition



13

**8 Crescent Place, Takoma Park
Takoma Park Historic District**

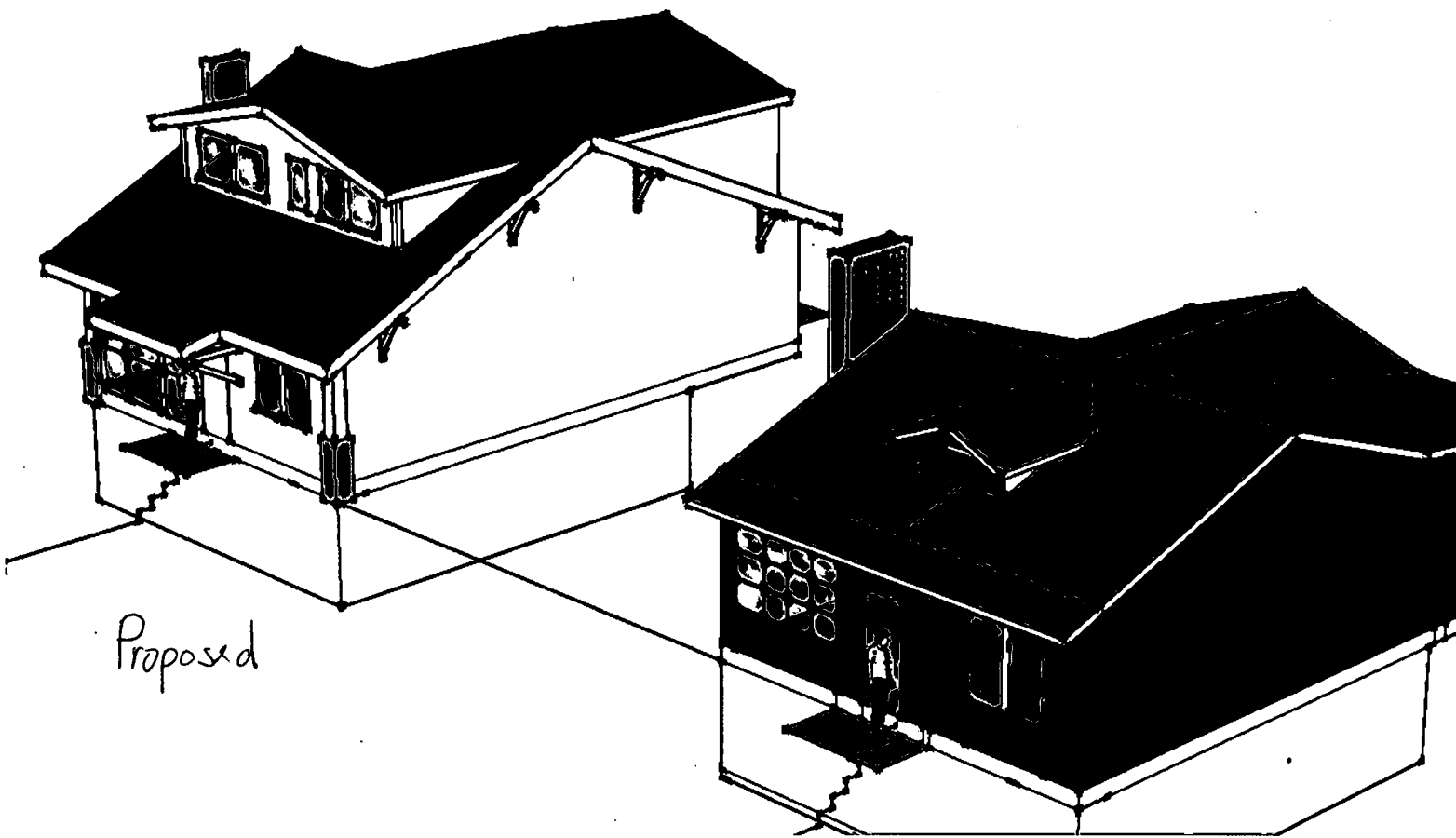




The house as is

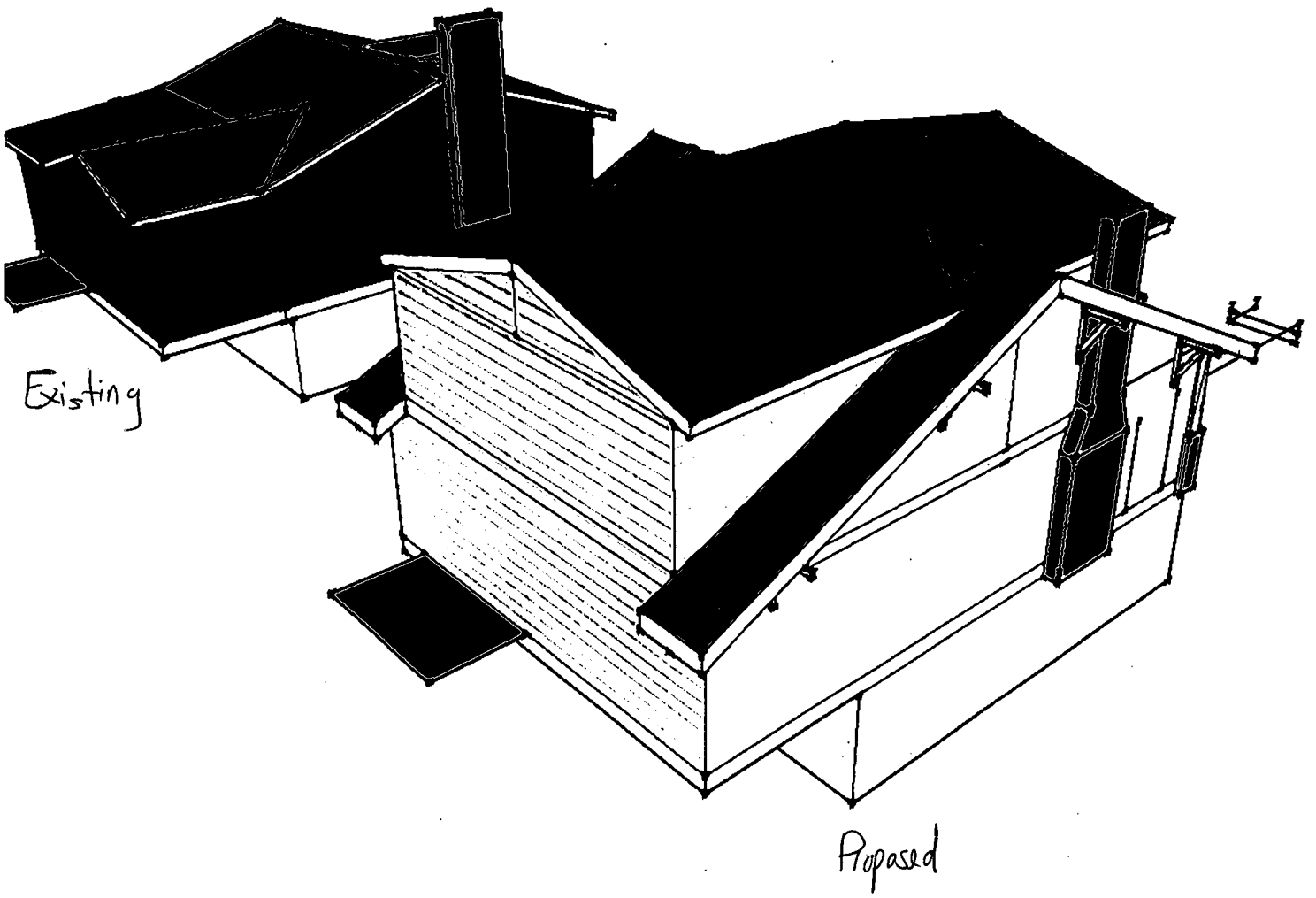


The house as proposed

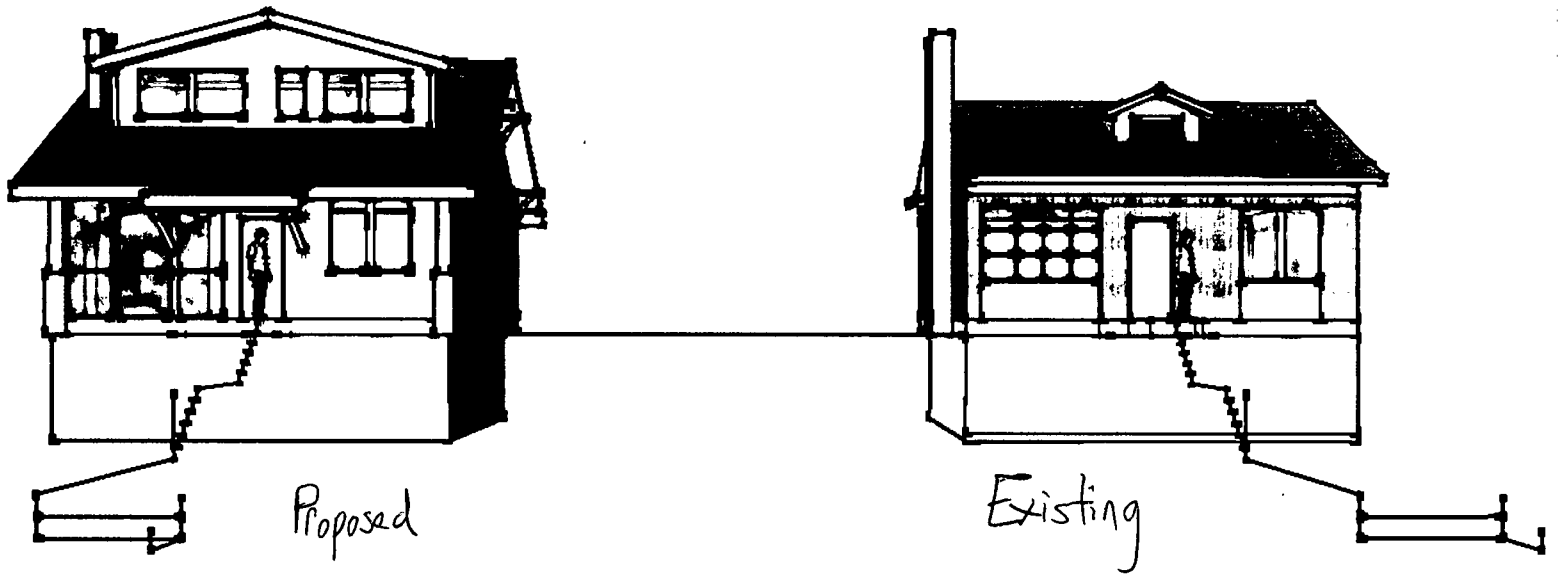


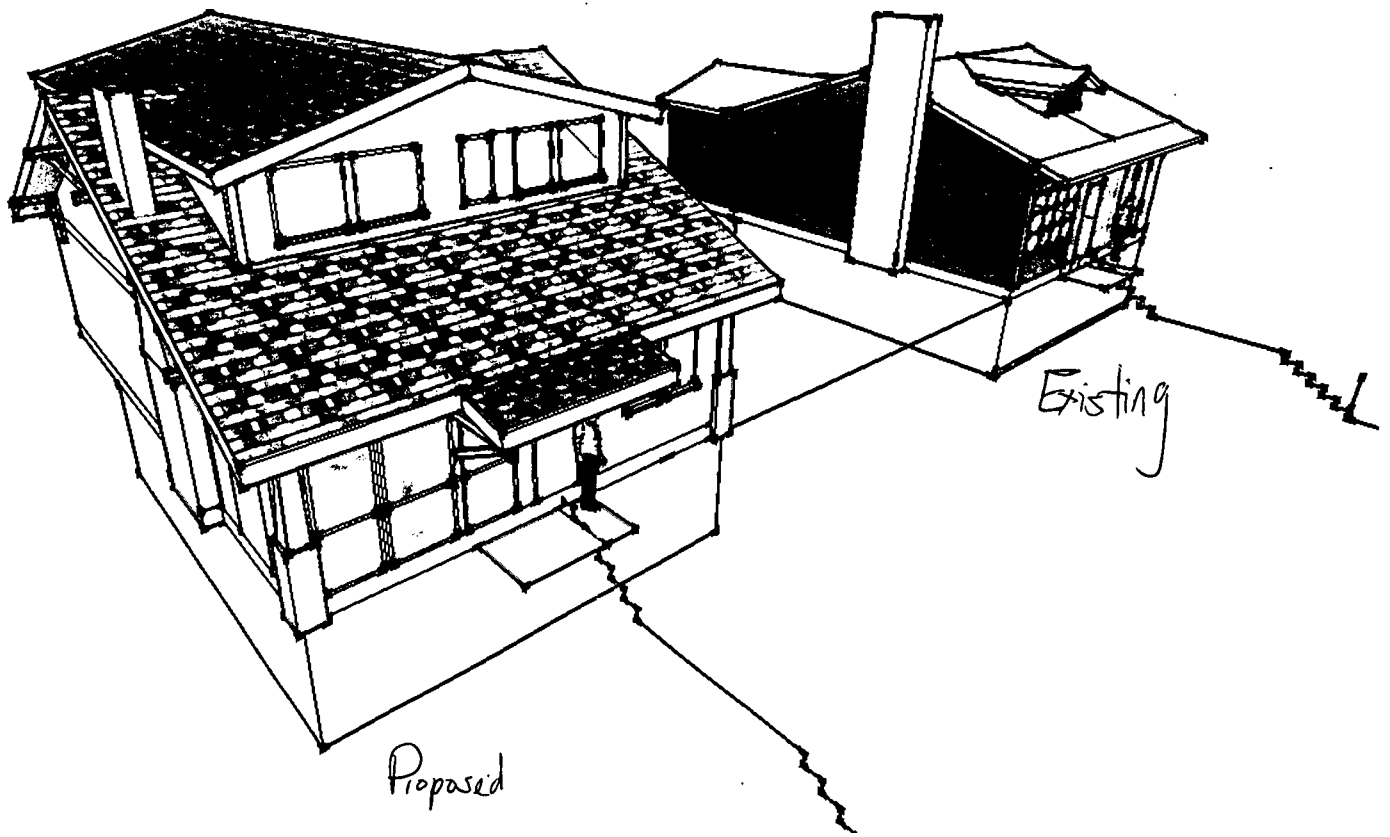
Proposed

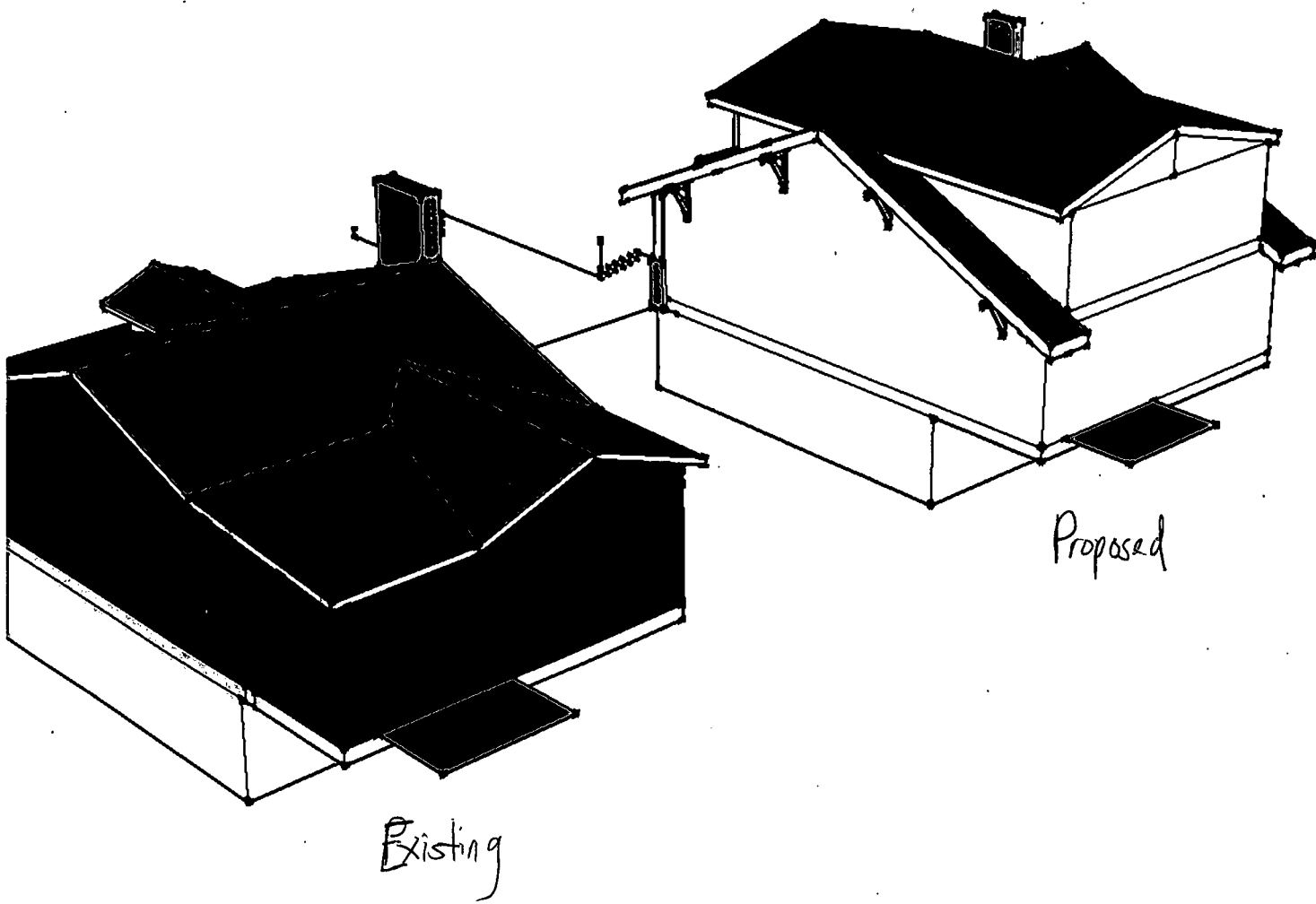
Existing



) —







Existing

Proposed

Existing Property Condition Photographs (duplicate as needed)



Detail: Front of Property (8 Crescent)



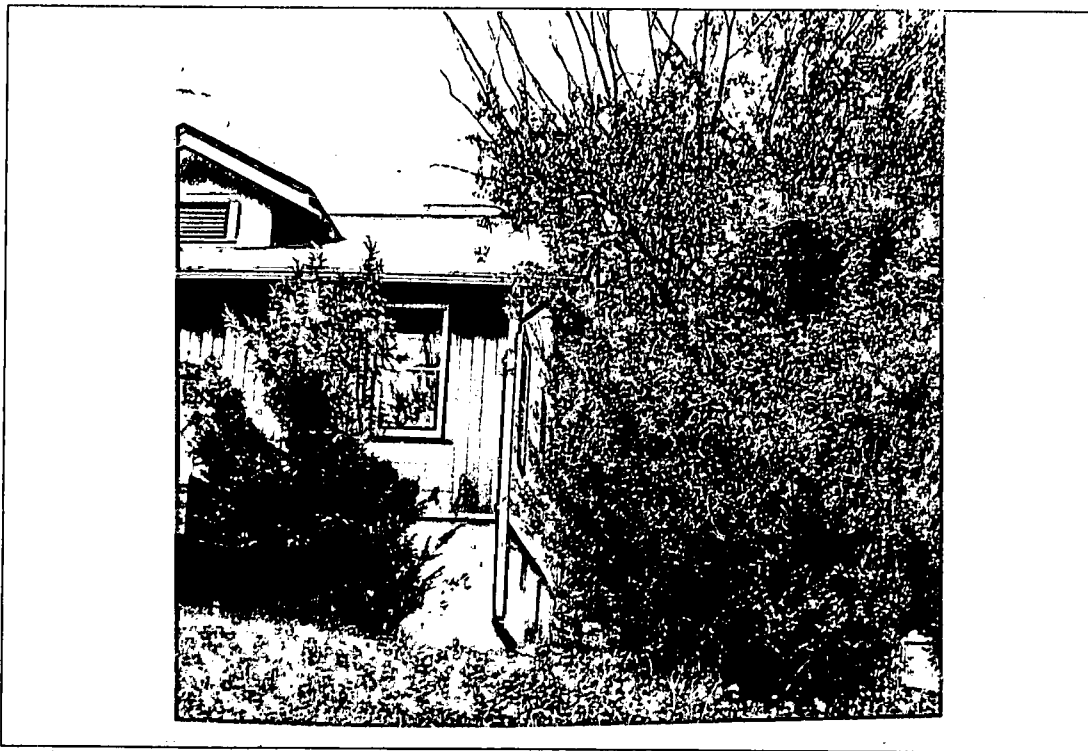
Detail: North (driveway) side

Applicant: Geoffrey J Maxson

Existing Property Condition Photographs (duplicate as needed)



Detail: Kear of Property



Detail: South side (hard to photograph)

Applicant: Geoffrey J Maxson

Existing Property Condition Photographs (duplicate as needed)



Detail: *The property with relation to the northern neighbor, 25 Holt Pl*



Detail: *The property with relation to the southern neighbor, 6 Crescent Pl*

Applicant: Geoffrey J Maxson

FROM THE DESK OF DANIEL AIBEL

January 8, 2009

Montgomery County Historic Preservation Office
1109 Spring Street, Suite 801
Silver Spring, MD 20910

Re: Historic Area Work Permit Application for 8 Crescent St, Takoma Park

Dear Sir or Madam:

I am the neighbor most directly affected by the above-referenced application (our house is directly across the street). I am writing to voice support for the proposed changes are in keeping with the historic purpose and character of both the house and the neighborhood.

I have been in 8 Crescent on a number of occasions and have watched two owners try to rescue it from a state of serious disrepair. But better care and maintenance has not been able to remedy the fundamental problem that the space and layout are functionally obsolete. In today's world, the house is suitable only for occupancy by a single person and cannot be used for its original purpose as a family residence.

Moreover, the proposed changes are consistent with the kind of changes that were made historically to the houses in the neighborhood. For example, when we made (approved) alterations to our circa 1917 house, we learned that the second floor had been previously expanded to make it a part of the living quarters. Dormers were added, windows were added, and windows changed from double hung to casement. In my house these changes expanded the living space and improved the air flow. In addition, the size of the kitchen was doubled to accommodate a growing family. These kinds of changes were completely consistent with the historic uses and patterns for the house.

These are precisely the kinds of changes that I understand Geoff Maxson is proposing for his house (the dormers to expand the second floor space, expanding kitchen and other living quarters). Also, I understand that Geoff will be removing some exterior siding that was a later addition that is inconsistent with the original historic materials that would have been used for his house.

In sum, I think Geoff has been trying hard to propose changes that are consistent with the historic qualities of both the house and the overall neighborhood and will actually return the house to functionality for its intended historic purpose.

Dan Aibel
227 Park Avenue (7 Crescent)
Takoma Park, MD 20912

24

2nd Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	8 Crescent Place, Takoma Park	Meeting Date:	3/11/2009
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	3/4/2009
Applicant:	Geoffrey Maxon	Public Notice:	2/24/2009
Review:	2 nd Preliminary Consultation	Tax Credit:	N/A
Case Number:	N/A	Staff:	Josh Silver
PROPOSAL:	Rear addition and other alterations		

STAFF RECOMMENDATION

Staff recommends that the applicant make revisions to the plans based on comments and feedback from the HPC and submit a Historic Area Work Permit (HAWP) application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Craftsman (Altered)
DATE: c1915-25

BACKGROUND

On February 11, 2009 the Historic Preservation Commission (HPC) held a Preliminary Consultation hearing for the proposed construction of a partial 2nd story addition at the subject property. The proposal included raising the roof of the existing house by 3' (from 17'-to- 20'), constructing a gable roof dormer on the street-facing roof plane of the new (raised) roof section of the house and extending the gable dormer through the ridgeline of the raised side gable roof. Other alterations included removal of non-original siding from the front elevation and original siding rehabilitation, modifications to the front roof eave and existing front porch enclosure.

The HPC did not support the proposed design of the addition and recommended the applicant explore other design alternatives. There was general consensus among the HPC a one-story addition at the rear of the house with a modest extension beyond the left wall plane would be appropriate in order to preserve the character of the house and minimize the impact new construction would have on the streetscape of the historic district. The HPC was generally supportive of the front elevation modifications and recommended the applicant return for a 2nd Preliminary Consultation with revised plans that included more details about the proposed work to continue the discussion. (See attached transcripts circle 30).

PROPOSAL

The applicant is proposing to construct a one-story rear addition at the subject property. The proposed addition is approximately 800 s.f. (35' x 23') and extends into the rear yard and 6' beyond the left wall plane of the existing

house. The proposed addition will connect to an existing non-original section of the house and have no impact on the historic massing. Features of the proposed addition include an elongated shed roof monitor at the roof peak, a southern-facing wooden trellis and column on a masonry pier and covered rear yard terrace. Material specifications for the proposed addition include asphalt shingles, wooden siding to match this historic massing and aluminum or fiberglass clad wooden windows.

Modifications to the front of the house include the installation of new aluminum or fiberglass clad wooden awning windows in the northeast corner of the existing non-original porch enclosure, extension of the roof eave over the front entry door, installation of wooden columns on masonry piers on the northeast and northwest corners, removal of non-original siding and rehabilitation of original siding and removal of a louver from the front roof plane dormer and installation of a new window in the same location.

Other alterations include demolition of an original garage in the rear side yard, modifications to the existing driveway, a new dormer in the roof plane of the existing non-historic addition at the rear of the house, installation of new aluminum or fiberglass windows clad wooden windows in the non-historic section of the house and removal of one original window from the historic massing on the north (left) side elevation.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features, is, however, not required;
- major additions should, where feasible, be placed to the rear of the existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited;
- while additions should be compatible, they are not required to be replicative of earlier architectural styles;
- original size and shape of window and door openings should be maintained, where feasible;
- some non-original building material may be acceptable on a case-by-case basis;

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Rear Addition

Staff supports the revised location and massing of the proposed rear addition. The revised location and massing respond positively to the feedback the HPC provided the applicant with at the 1st Preliminary Consultation. By locating the proposed addition behind and to the north (left) side of the existing structure, the historic massing will retain its original form and character and it eliminates the impact a partial 2nd story addition would have on the streetscape of the historic district. Staff supports the 5' extension of the addition beyond the left wall plane of the existing house. This approach is successful because it concentrates the new construction at the rear of the existing house, impacts only the non-historic section of the house and utilizes a natural increase in topography to mitigate the impact of the addition on the streetscape of the historic district.

Staff has identified two concerns pertaining to the proposed addition: (1) the visibility of the proposed roof monitor on the peak of the proposed addition when viewed from the streetscape of the historic district. Staff recommends reducing the height of the proposed monitor to diminish its visibility; (2) the proposed installation of aluminum or fiberglass clad wooden windows in the addition. The *Guidelines* state "some non-original building material may be acceptable on a case-by-case basis". Although the HPC does not generally approve clad exterior windows staff is recommending the applicant have a dialogue with the HPC to determine the feasibility of using aluminum or fiberglass clad wooden windows on the proposed addition to meet their goal of increased energy efficiency and establishing a net zero energy building.

Front Elevation Modifications

Staff supports the proposed front elevation modifications. The installation of awning windows on the left side of the house reintroduces transparency to the front elevation and recalls the openness of an original open style porch that was enclosed by an early alteration. Despite the appropriateness of installing windows in these locations, staff does not support the use of exterior clad wooden windows in any section of the historic massing. Staff recommends the applicant use high energy efficiency wooden windows with no exterior cladding in locations where non-original window replacement is proposed in the historic massing (i.e., front elevation and front roof plane dormer).

The modest extension of the roof eave over the front door only will not diminish the character of the house. Staff recommends using smaller wooden support brackets in this location that take cues from the existing exposed rafter tails and brackets on the gable ends of the house. The installation of wooden columns on masonry piers is appropriate for the style of the house. Exposing the existing rafter tails from beneath the gutter system is favorable for reclaiming the original character of the front elevation. The removal of the non-original siding on the front elevation and rehabilitation of the original siding is encouraged.

Garage Removal and Driveway Modification

Staff does not support demolition of the existing garage to accommodate the proposed addition. Staff recommends deconstructing the garage and relocating it on the property. The garage is an original accessory structure and subordinate to the house. Reusing the original garage is also more in keeping with the net zero energy consumption approach the applicant is intending for the property. Staff supports reducing the length of the existing driveway to accommodate the proposed addition. The driveway orientation, materials and historic access points to the front of the house will be maintained.

Other Modifications

Staff does not support the removal of one original window on the left (northeast) side of the historic massing. (See Circle 20). This window is an original feature that is part of three contiguous windows. The *Guidelines* recommend maintaining original size and shape of window and door openings; where feasible. Staff supports window replacement in the rear non-historic section of the house. Staff recommends the installation of all wood windows in the existing non-historic sections of the house. The applicant is requesting direction from the HPC on the feasibility of installing exterior clad wooden windows in the proposed addition, non-historic section of the house and historic massing.

To achieve consistency with guidance for new additions found in *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland*, a proposed addition should meet the following guidelines:

- 2.3 If a non-historic material covers original siding, then its removal is encouraged.
- 18.1 Place an addition at the rear of a building to minimize its visual impacts.
- 18.3 An addition should be compatible in scale with the primary structure.
- 18.5 An addition should be compatible in character with the primary structure.

Staff recommends that the applicant make revisions to the plans based on comments and feedback from the HPC and submit a Historic Area Work Permit application. Plans for a HAWP application must include a floor plan with marked dimensions, indicating location, size and general types of walls, window and door openings and other fixed features of both the existing and proposed work. Elevation drawings must include marked dimensions, clearly indicating proposed work in relation to the existing construction. All materials and fixtures proposed for the exterior must be noted on the elevation drawings and an existing and proposed elevation of each façade impacted by the proposed work is required.

In summary staff supports the proposed rear addition and front elevation modifications with the recommendations outlined above. The applicant is requesting comments and feedback from the HPC on the following items before submitting a HAWP application:

- *Construct a one-story rear addition that extends beyond the left elevation wall plane of the historic massing*
- *Demolition of the existing (original) garage and driveway modification*
- *Feasibility of using wood aluminum or fiberglass clad windows in the proposed addition, existing non-historic rear addition section of the house and historic massing*
- *Alterations to the front elevation; including the extension of the roof eave, installation of wooden columns on masonry piers and window installation*
- *Removal of one original window from the northeast (left) side elevation.*

STAFF RECOMMENDATION

Staff recommends that the applicant make revisions to the plans based on comments and feedback from the HPC and submit a HAWP application.



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850
246 777-1170

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Handwritten notes:
2008-11-11
LAWRENCE W. HARRIS

Contact Person: _____
 Daytime Phone No.: _____
 Tax Account No.: _____
 Name of Property Owner: Geoffrey J Maxson Daytime Phone No.: (301) 286-2337
 Address: 8 Crescent Pl Takoma Park MD 20912
Street Number City State Zip Code
 Contractor: _____ Phone No.: _____
 Contractor Registration No.: _____
 Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 8 Street: Crescent Pl
 Town/City: Takoma Park Nearest Cross Street: Holt
 Lot: 21 Block: 2 Subdivision: Hill-Crest
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input checked="" type="checkbox"/> Alter/Renovate	<input type="checkbox"/> AC	<input type="checkbox"/> Slab	<input checked="" type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input checked="" type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input checked="" type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)	<input type="checkbox"/> Other: _____				

1B. Construction cost estimate: \$ _____
 1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Geoffrey J Maxson
Signature of owner or authorized agent

12-15-08
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No. 502927 Date Filed: 12/22/08 Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

Miss Lay 247348

6

The Narrative for Proposed Work To 8 Crescent Place, in Takoma Park, MD

The proposed one story addition to 8 Crescent Place, in Takoma Park, MD, is mostly not visible from the street. Only a small part reaches out into the driveway; the family's entry (into a mudroom).

The existing house is 26.6' x 40.4'. The addition, while somewhat irregular in shape, extends back 35' and is 23' wide for the most part.

The proposed addition works precisely with the existing house, both its massing and details. The proposed addition extends back the existing rear, secondary gable roof (creating the most useful roof area for solar panels), as well as turns to a right angle the existing flatter pitched shed roof at the other half of the back of the house, to run parallel and soften the edges of the addition's central gable.

The proposed extended east-west oriented house offers the optimal passive winter heating. Such energy-efficiency considerations are found throughout the proposed work.

The massing also includes a cupola and dormer (both of which are included for natural daylighting and ventilation, or energy-efficiency), are detailed and proportioned similarly to the existing front dormer.

The proposed front entry canopy is highly desirable functionally; we followed the existing house's language in it's delineation.

The proposed massing lastly includes a south-facing trellis, with a column which is identical to the proposed columns at the front of the house (which, from our research, are likely to what would have been built on the front elevation/porch) - tapered wood columns on a masonry square base. There is also a covered terrace at the back of the house; again, with a column identical to the proposed front columns.

Regarding the existing cladding - we don't know what that is. If the existing garage, which we think was built as part of the original house, is an indicator of the siding of the house, then the house has 6" wood overlap siding. We will need to pop-off a piece of the overlaid, non-original siding (which we are removing throughout the existing house and either reconditioning the original siding, or replacing to match the existing). The proposed addition will match whatever is determined to be the original siding, to the best of our local mills capacity. That is, we have a few local mills we prefer to work with, re: issues of sustainability (local, local, local). We also have an FSC-certified source out in the Pacific Northeast, whose material we recently used on a project approved by you on 7400 Maple Ave..

We are maintaining all existing windows (and storm windows). We are adding a similar window to the window at the back end of the existing southwest elevation, to become a corner window (the full width isn't accurately expressed on the 3D modeling). We would

request that we can eliminate one window on the northeast elevation, for energy-

efficiency reasons, but we're not showing it removed. We will also replace the non-original window at the back end of the northeast elevation of the existing house with a 6/1 double hung window (per other existing windows). And we are replacing the existing louvered opening in the front dormer with a awning window (for passive ventilation), to match other existing windows.

All new windows will be aluminum-clad exterior (for durability), or fiberglass-clad (for durability, energy-efficiency, and "greenness"). The new windows on the addition's northeast elevation will match those on the existing northeast elevation (6/1 muntins). The one proposed expanded existing window at the back of the existing southwest elevation will match its adjacent window (6/1), as will its complement corner window on the southeast elevation.

The proposed windows at the front, which are providing a sense of the original house's porch (through extensive glazing, offering transparency) will be awning windows at the bottom with fixed glazing above.

The windows on the addition not visible from the street will be either fixed or casement windows with no muntins (more energy-efficient than dbl. hung with muntins), with the same finish as the other new windows. This holds true for new doors at the back; that is, they won't have any muntins.

The existing roof is asphalt shingles, which we will match. They are not the greenest option, but at least they offer a 50-warranty option (providing decent durability, a green consideration).

The garage seems to be original, which means it was also built in 1923. It was poorly built (wood plates directly on the ground) and is falling apart.

The driveway will be shortened by approximately 7'. Attached is the existing plat plan.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Mary Alice Winch
6 Crescent Pl
Takoma Park, MD 20912

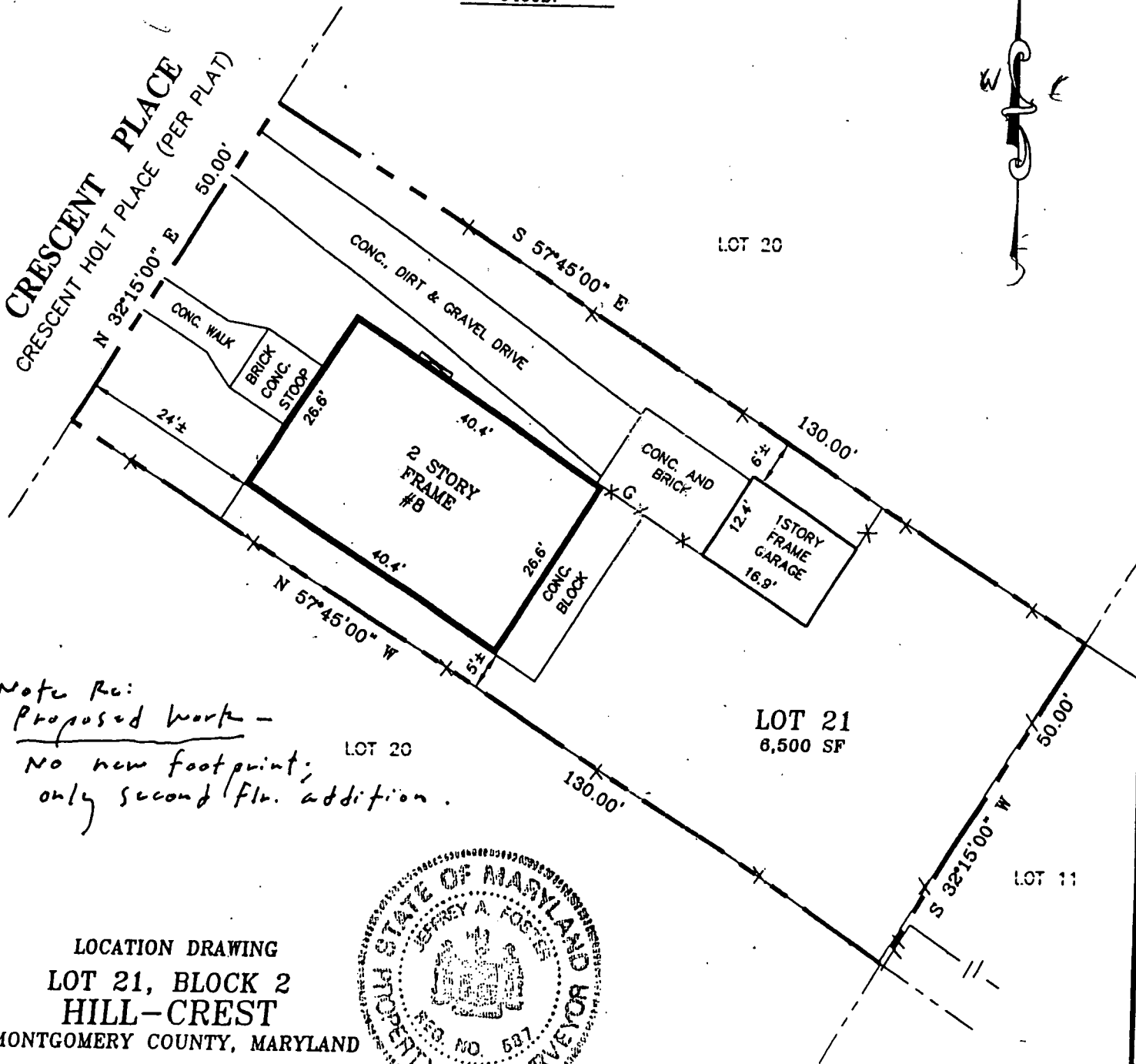
Andrew & Katya Portan
25 Holt Pl
Takoma Park, MD 20912

David Pittman and
Dan Aibel
227 Park Ave
Takoma Park, 20912

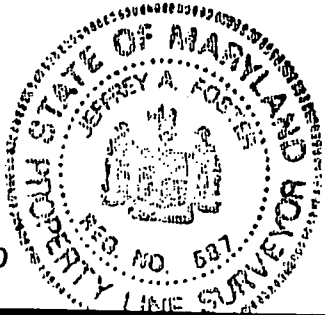
CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.


Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 FEET
 Flood Zone "X" per H.U.D. Flood Panel No. 0460D.



*Note Re:
 Proposed Work -
 No new footprint;
 only second flr. addition.*

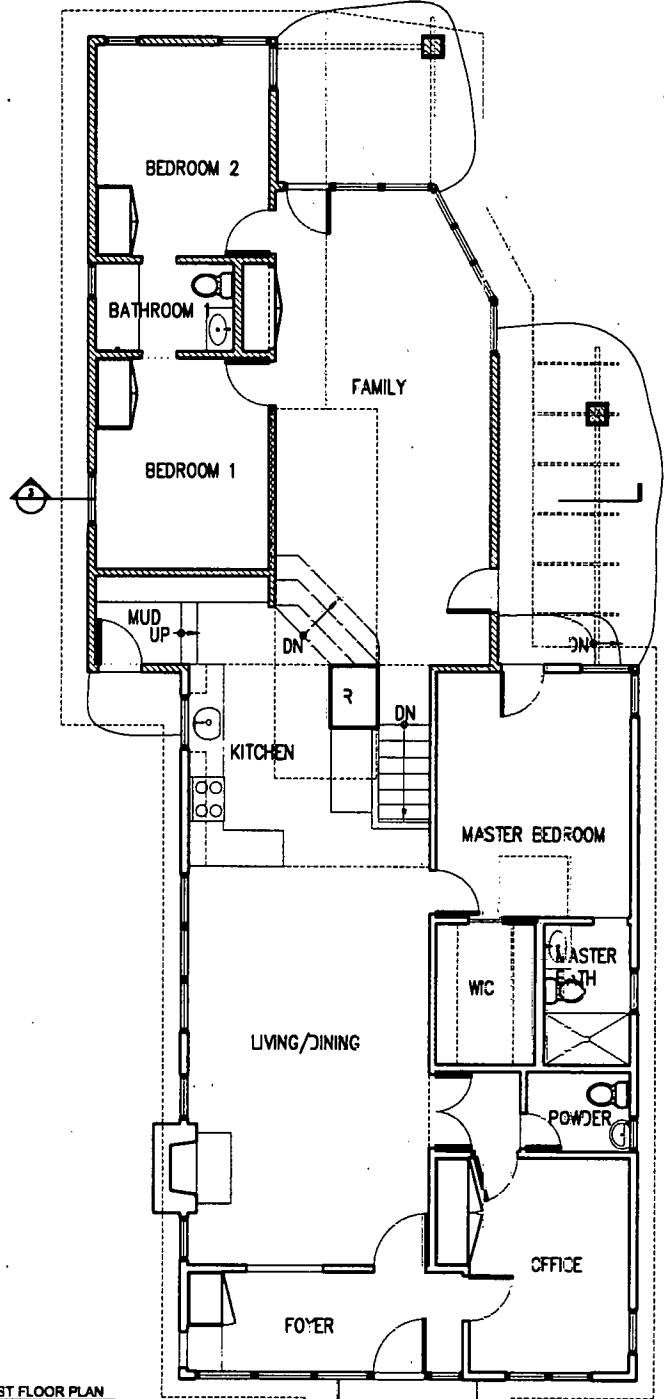


**LOCATION DRAWING
 LOT 21, BLOCK 2
 HILL-CREST
 MONTGOMERY COUNTY, MARYLAND**

SURVEYOR'S CERTIFICATE		REFERENCES			SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 20270 Goldenrod Lane, Suite 110 Germantown, Maryland 20876 301/948-5100, Fax 301/948-1288		
THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION.		PLAT BK.	2		DATE OF LOCATIONS	SCALE:	1"=20'
<i>Jeffrey A. Foster</i> MARYLAND PROPERTY LINE SURVEYOR REG. NO. <u>587</u>		PLAT NO.	140	WALL CHECK:	DRAWN BY:	F.A.-E.H.	
		LIBER		HSE LOC.:	12-21-06	JOB NO.:	99-1544
		FOLIO					

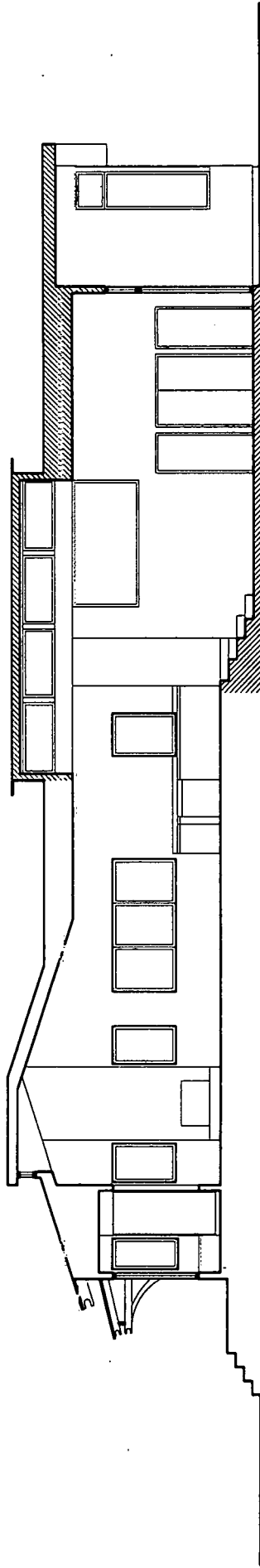
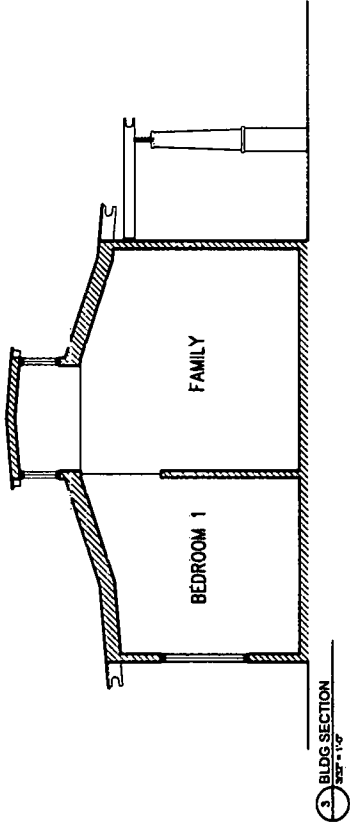
06-9122

10

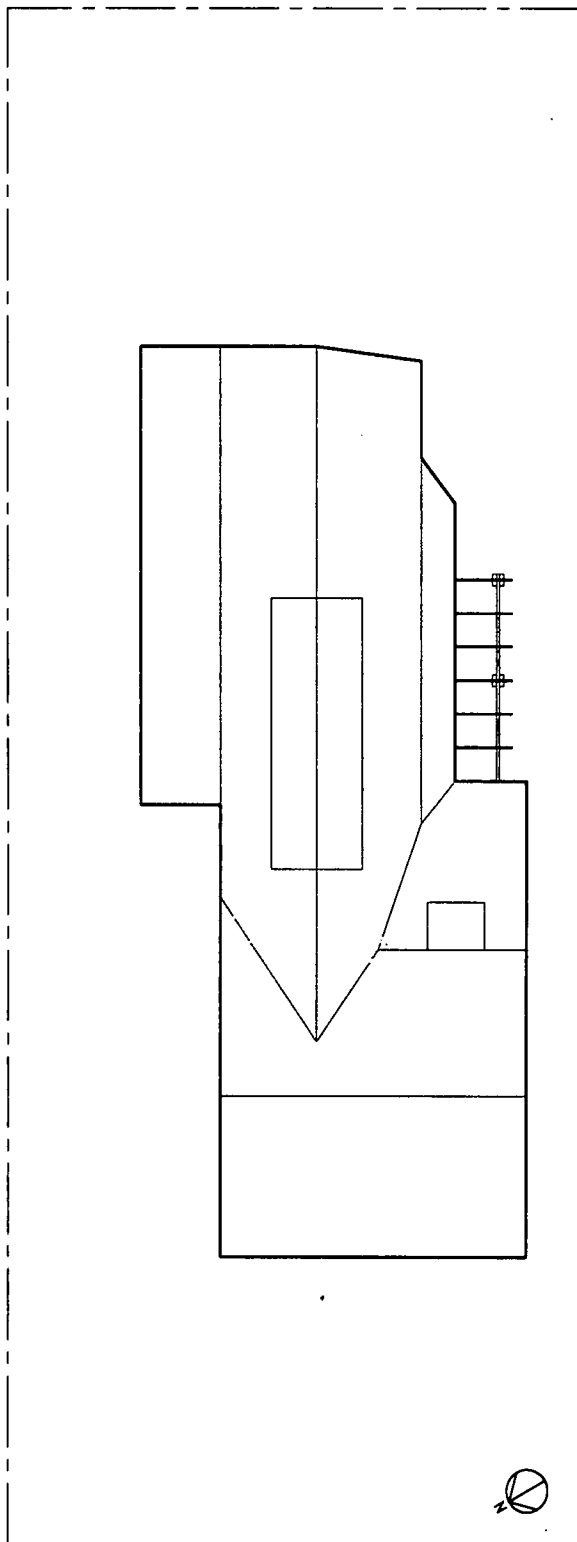


2 FIRST FLOOR PLAN
1/8" = 1'-0"

8 CRESCENT PL
 TAKOMA PARK, MD
 FEBRUARY 23, 2009
 HELICON WORKS



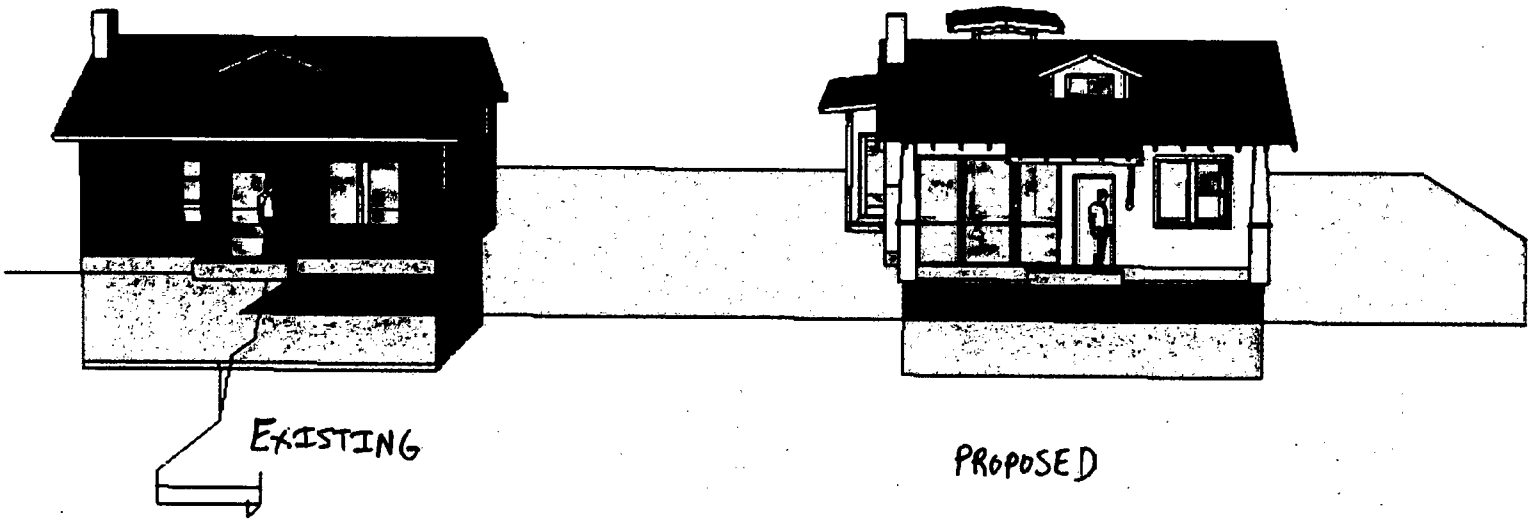
8 CRESCENT PL
TAKOMA PARK, MD
FEBRUARY 23, 2009
HELICON WORKS



1 SITE PLAN
01P-107

8 CRESCENT PL
TAKOMA PARK, MD
FEBRUARY 23, 2009
HELICON WORKS

13

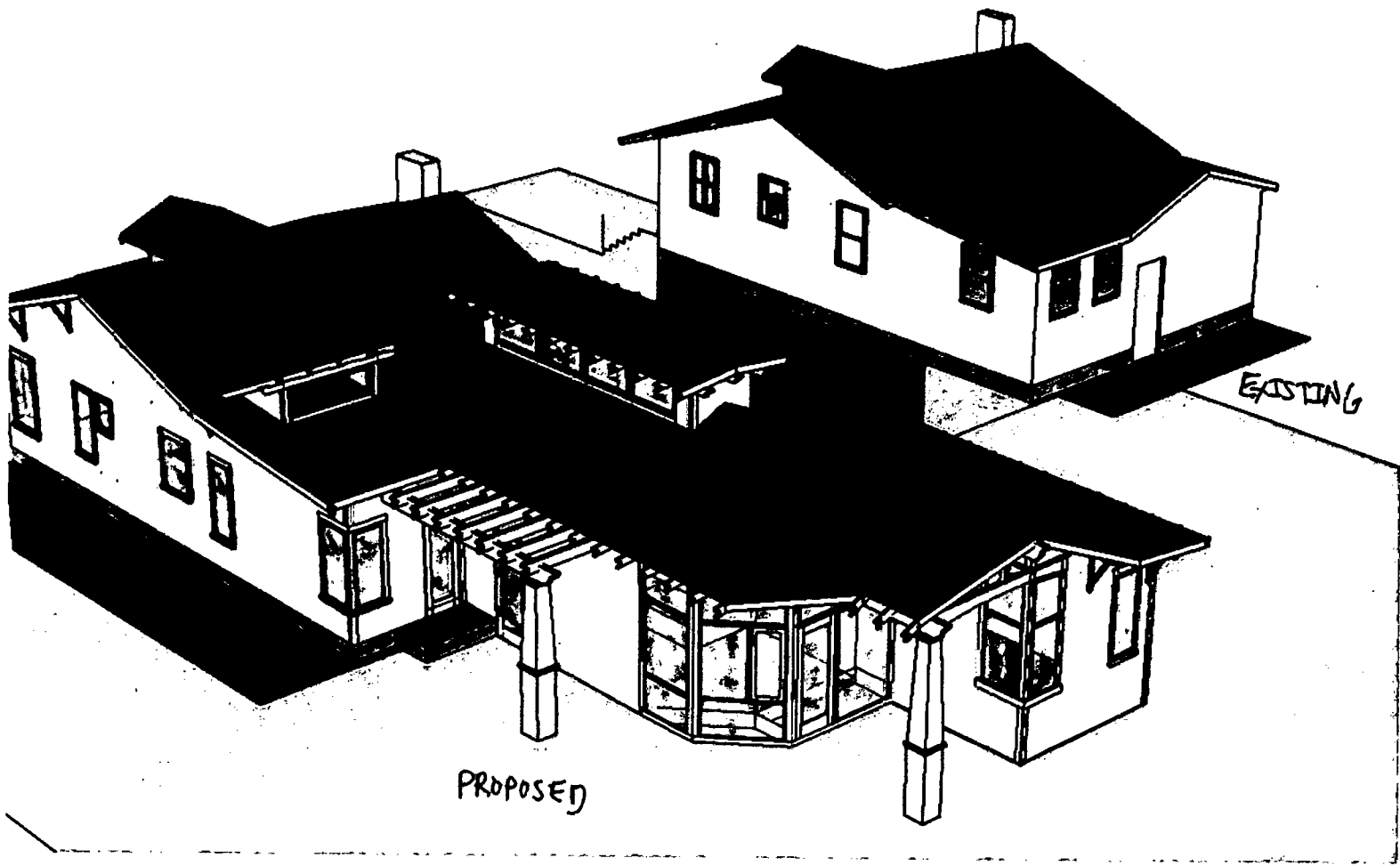


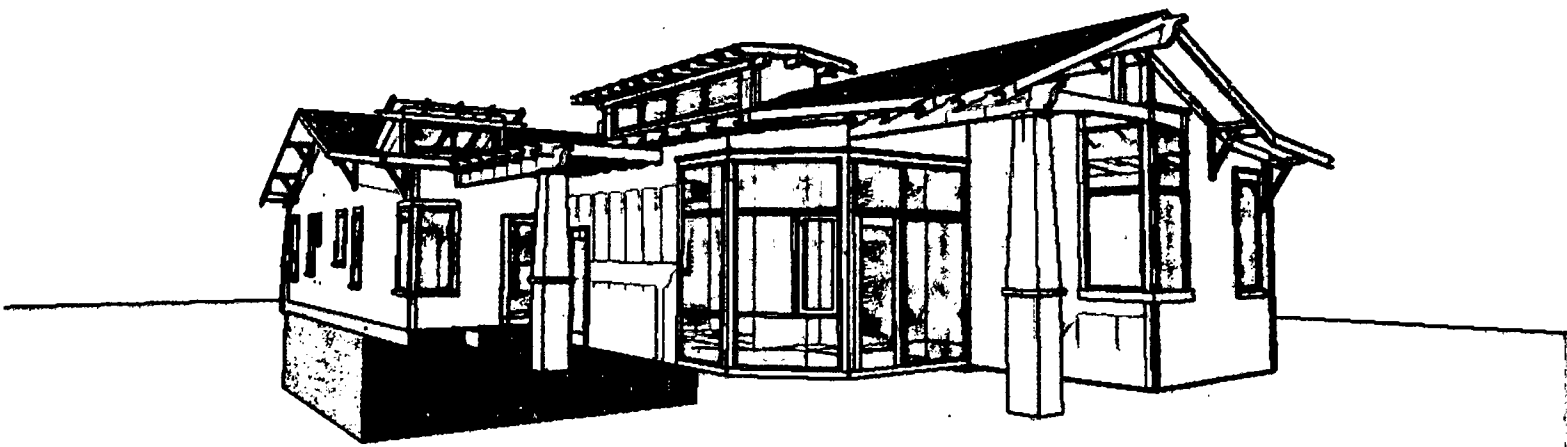
EXISTING

PROPOSED

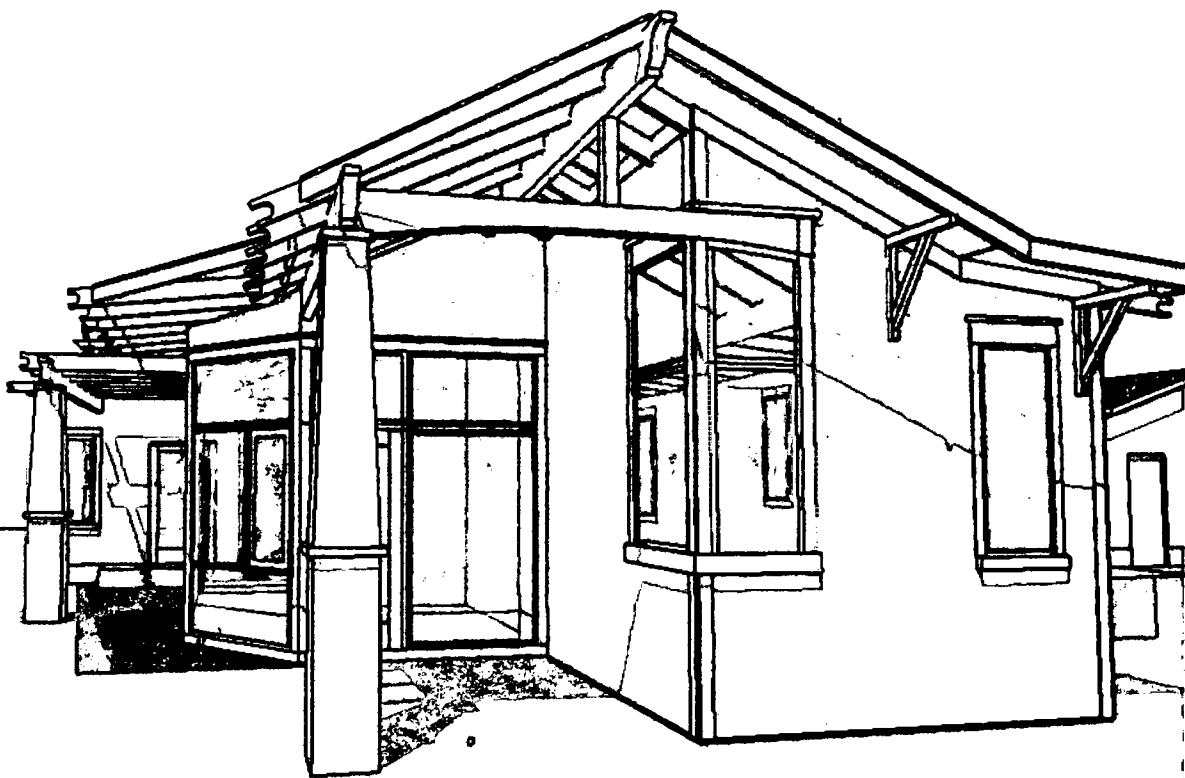


PROPOSED

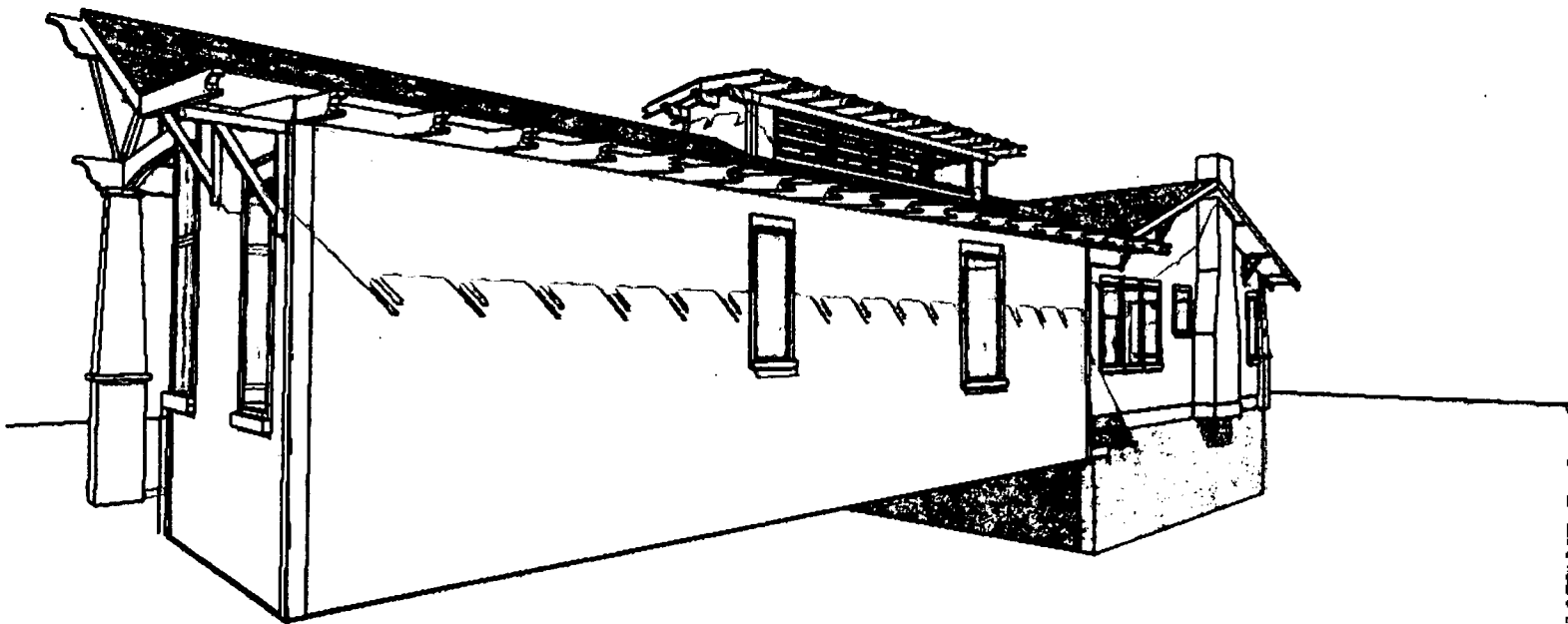




PROPOSED



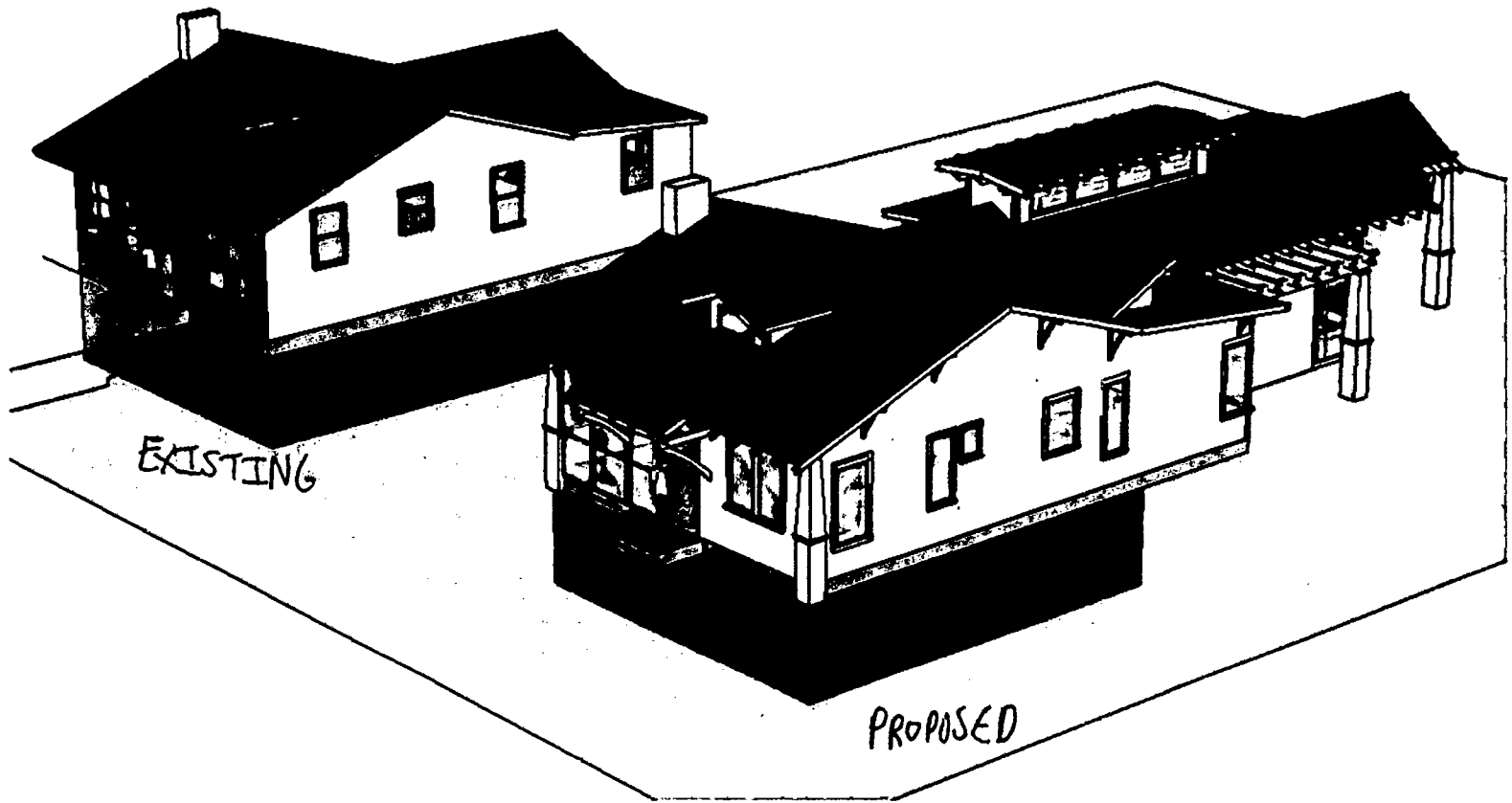
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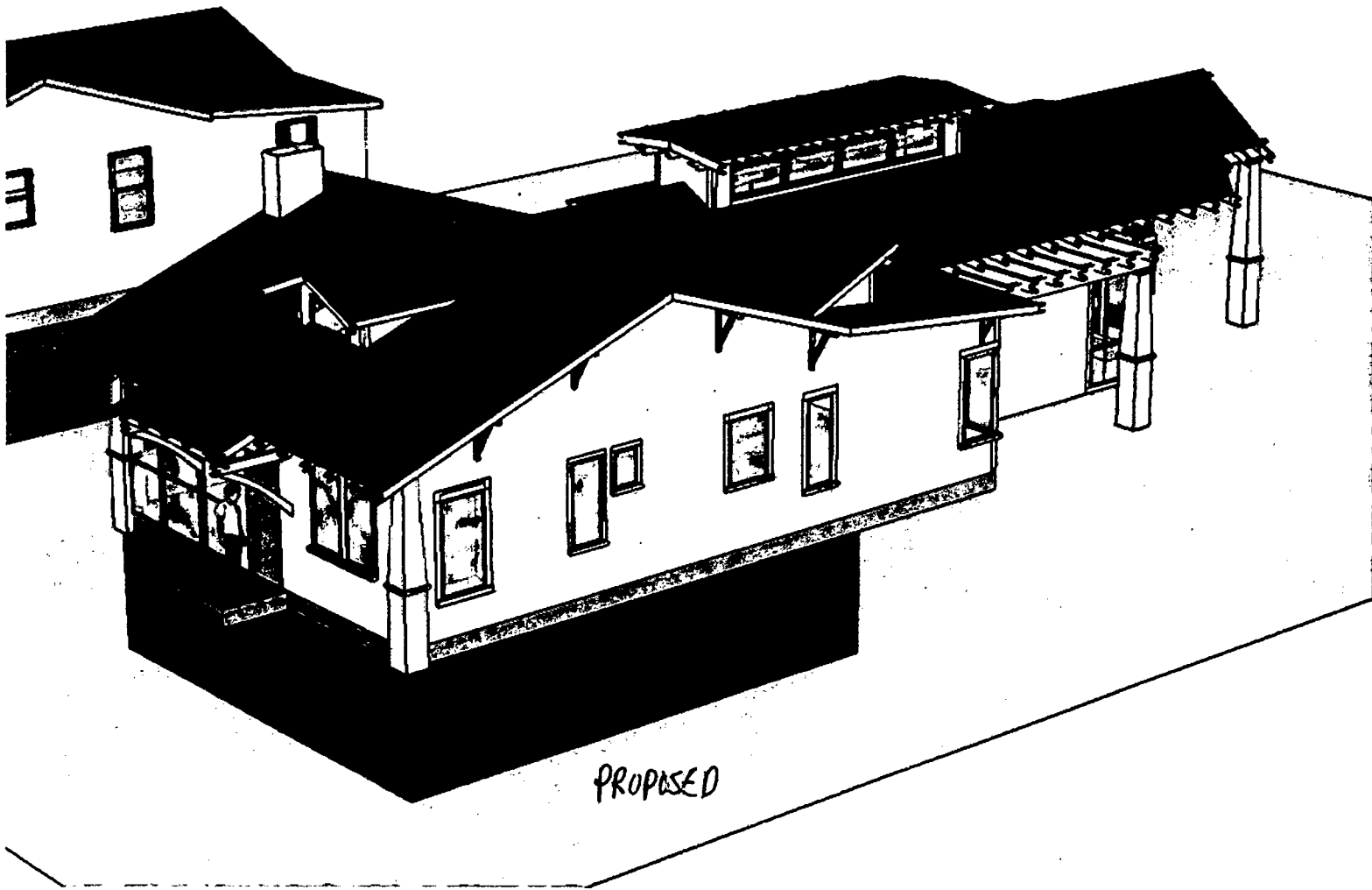


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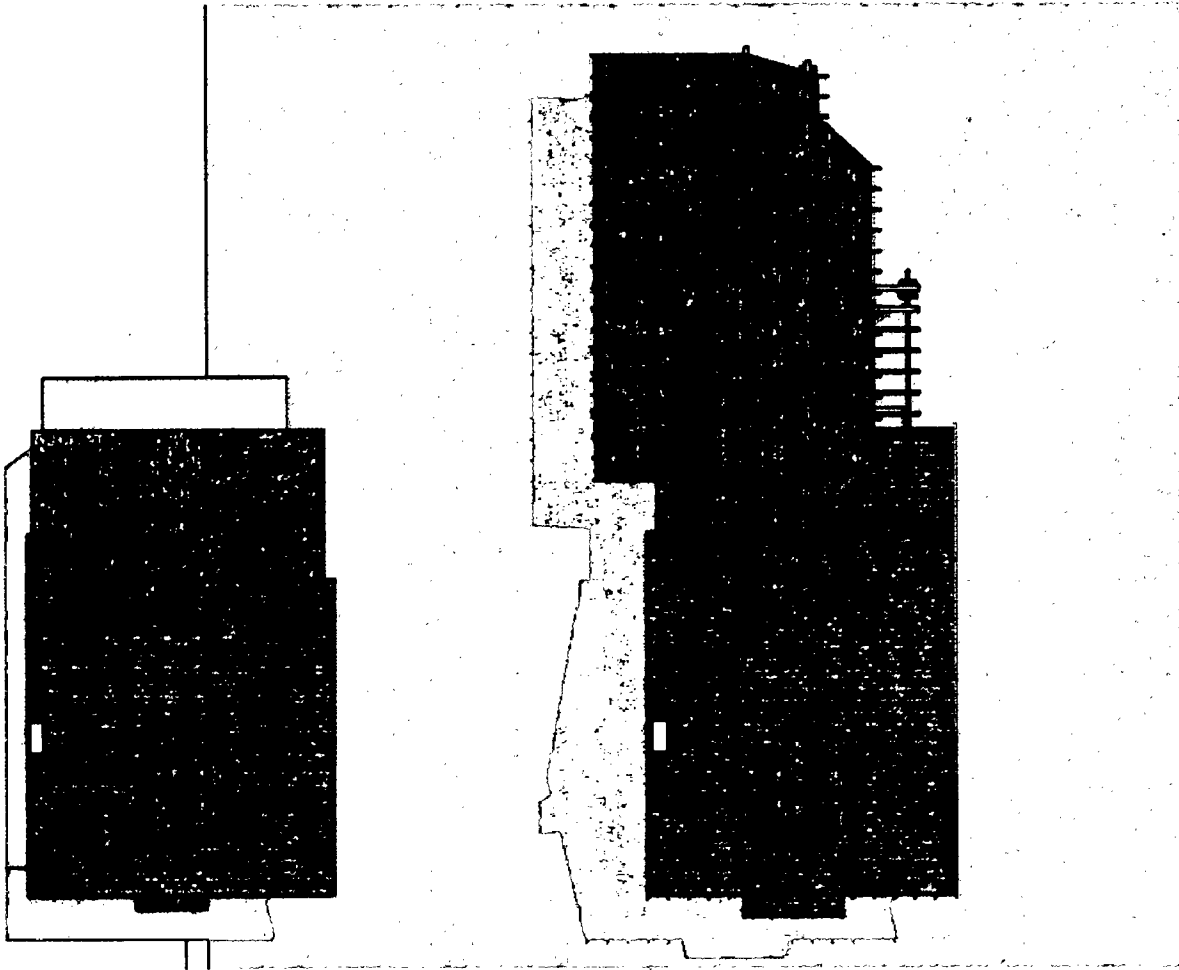


WINDOW PROPOSED
FOR REMOVAL
FROM HISTORIC MASSING





PROPOSED



EXISTING

PROPOSED

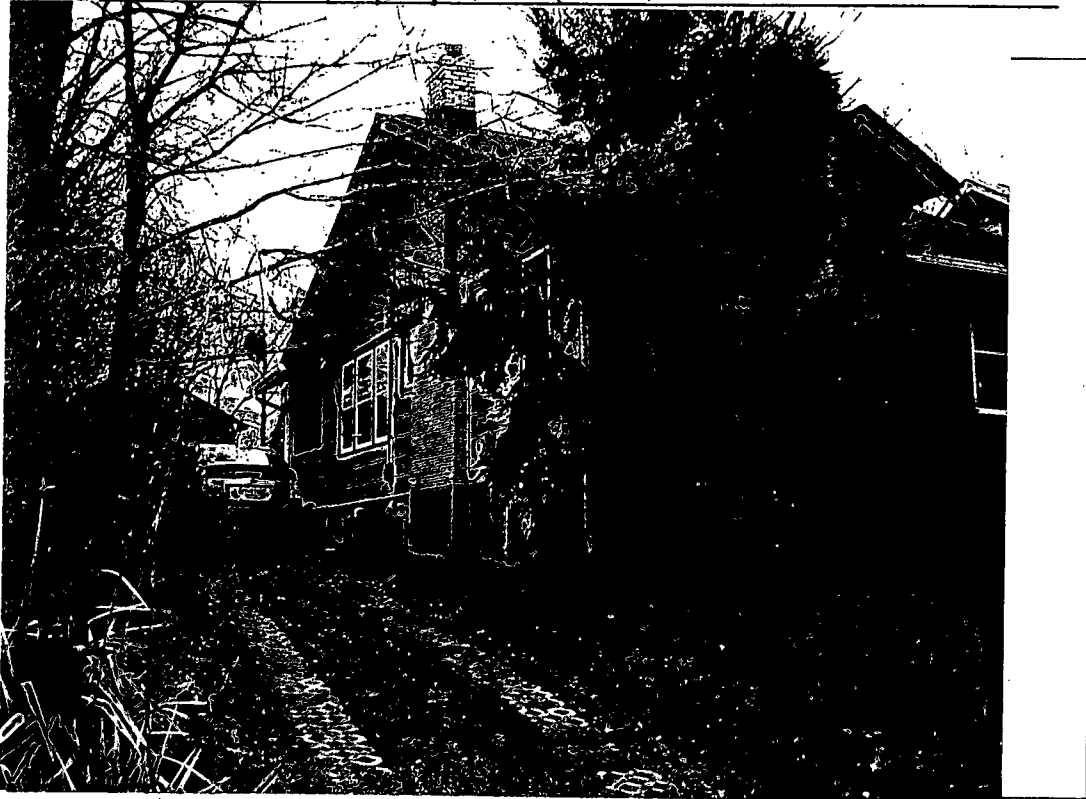
**8 Crescent Place, Takoma Park
Takoma Park Historic District**



Existing Property Condition Photographs (duplicate as needed)



Detail: Front of Property (8 Crescent)



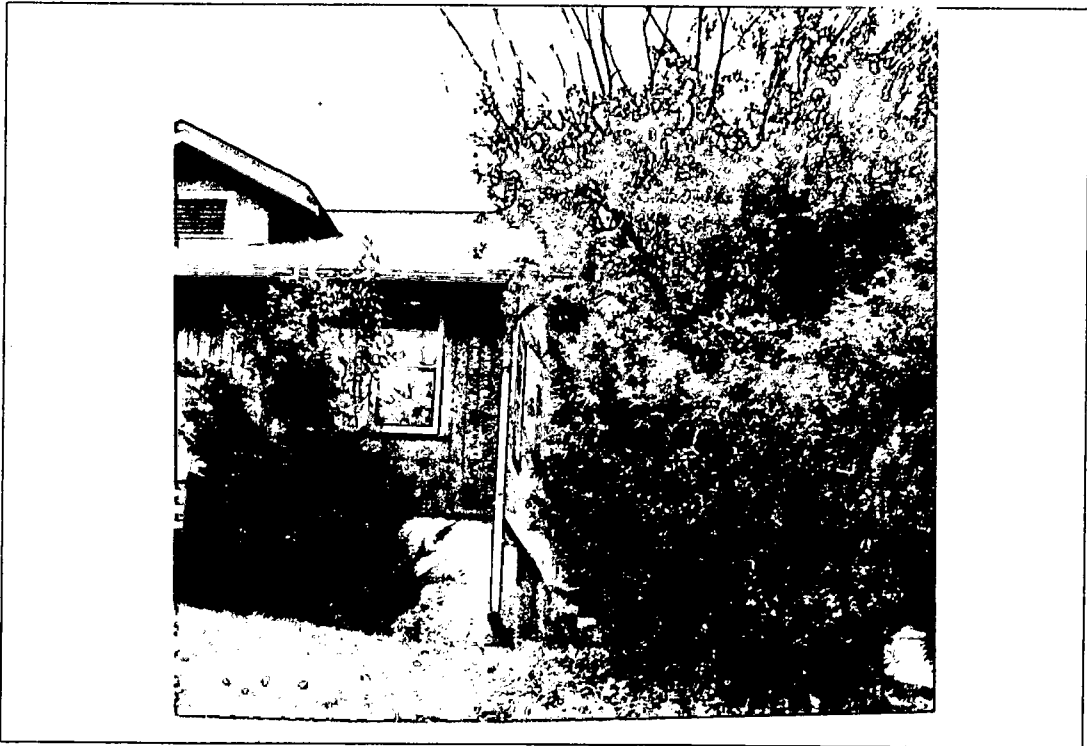
Detail: North (driveway) side

Applicant: Geoffrey J Maxson

Existing Property Condition Photographs (duplicate as needed)



Detail: Rear of Property



Detail: South side (hard to photograph)

Applicant: Geoffrey J Maxson

Existing Property Condition Photographs (duplicate as needed)



Detail: The property with relation to the northern neighbor, 25 Holt Pl



Detail: The property with relation to the southern neighbor, 6 Crescent Pl

Applicant: Geoffrey J Maxson

8 Crescent Place, Takoma Park

~~CONFIDENTIAL~~



ENCLOSED FRONT PORCH INTERIOR



February 11, 2009
(Unofficial)
HPC Meeting Transcript

1 THE MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

2

- 3 - - - - -X
- 4 HISTORIC AREA WORK PERMIT - : HFC Case No. 12/07-05AA
- 5 8 Magnolia Parkway : :
- 6 - - - - -X
- 7 HISTORIC AREA WORK PERMIT - : HFC Case No. 14/18-05Q
- 8 8 Crescent Place : :
- 9 - - - - -X
- 10 BRIEFING - : :
- 11 Clarksburg Streetscape Concept : :
- 12 - - - - -X
- 13 Grants Committee Report : :
- 14 - - - - -X

13 A meeting in the above-entitled matter was held on
 14 February 11, 2009, commencing at 7:41 p.m., in the MRO
 15 Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland
 16
 17 20910, before:

18 COMMISSION CHAIRMAN

19 Jeff Fuller

20 COMMISSION MEMBERS

21 Leslie Miles
 22 Warren Fleming
 23 Caroline Alderson
 24 Thomas Jester
 25 David Rotenstein

Deposition Services, Inc.
 6245 Executive Boulevard
 Rockville, MD 20852
 Tel: (301) 881-3344 Fax: (301) 881-3338
 info@DepositionServices.com www.DepositionServices.com

ALSO PRESENT:

Scott Whipple
Rachel Kennedy
Anne Fothergill
Joshua Silver

APPEARANCES

STATEMENT OF:

PAGE

George Myers	9
Geoffrey Maxson	31
Melissa London	32
Bill Hutchins	32
David Chikvashvili	40
Matthew Greene	40

1 MR. MYERS: Okay.

2 MR. JESTER: I think you're suggesting you come
3 back with your work permit for the next meeting.

4 MR. MYERS: Yeah.

5 MR. JESTER: I think we suggest that --

6 MR. MYERS: To me, why don't we do that like you
7 said. We'll get neighbors and post everybody. That way the
8 worst case is if it's not quite right, we'll do that twice.

9 UNIDENTIFIED SPEAKER: It can be advantageous to
10 have a second preliminary, even if it's quick.

11 MR. FULLER: Bottom line is I agree this other
12 concept is much closer. I do, I think that whatever you can
13 do to differentiate between, the what I'm calling as a link
14 and the main mass, I think is important, but just don't let
15 the final mass on the outside compete too much.

16 MR. MYERS: Okay.

17 MR. FULLER: Any other comments? Thank you.

18 MR. MYERS: Thank you very much.

19 MR. FULLER: All right. Next on the agenda is a
20 preliminary consultation for 8 Crescent Place, Takoma Park.
21 Do we have a staff report?

22 MR. SILVER: Yes, we do. 8 Crescent Place is a
23 contributing resource located in the Takoma Park Historic
24 District. It is a craftsman style house that had some
25 alterations that I'll go into a little bit more detail in

1 the staff discussion section.

2 But in essence, the proposal is the addition of a
3 partial second story that will provide approximately 800
4 square feet of additional living space. The addition of the
5 second story would necessitate raising the roof of the
6 existing house by three feet from 17 to 20 feet, the ridge,
7 and the project also includes the construction of a gable
8 roof dormer on the street facing roof plane of the new
9 raised roof section of the house. The proposed gable dormer
10 will extend through the ridge line of the raised side gable
11 roof. No expansion of the existing building footprint is
12 proposed.

13 The work also includes removal of what appears to
14 be the T-111 plywood siding from the front elevation and
15 rehabilitation of the existing wood siding that's underneath
16 that front section. Alterations to the existing front porch
17 enclosure, the left -- if you're looking at the photo on
18 your monitor, on the left there, there's an enclosure. I
19 have some other photos of that as well -- and modifications
20 to the front roof eave and the installation of new front
21 porch columns.

22 Cumulatively, the proposed work would have a major
23 impact on the original roof form and perceived character of
24 the house. Despite several alterations to the front
25 elevation, as I said, the enclosure of the original partial

1 front porch, installation of the non-original siding and the
2 original gable roof dormer with DBs that characterizes the
3 style of the house remain relatively intact despite those
4 alterations. There is a small and non-original gable dormer
5 located at the front.

6 Staff does not support the applicant's proposal to
7 raise the roof by three feet or the installation of a gable
8 dormer through the ridge line of the raised roof side gable
9 roof. Staff has met with the applicants and explained that
10 best preservation practices recommend against these types of
11 alterations because they diminish the historical
12 relationship of the house to the street and alter the
13 perceived character of the house. Staff recommended placing
14 an addition at the rear of the structure to minimize the
15 visual impact on the streetscape of the historic district
16 and preserve the original roof form that characterizes the
17 house.

18 I've outlined a few of the Secretary of Interior
19 standards for rehabilitation that speak specifically to the
20 preservation of roofs which, that they define roofs, define
21 the overall historic character of a building and designing a
22 new addition in a manner that makes it clear what is
23 historic and what is new. The proposed design would alter
24 the overall character of the house by raising the roof of an
25 original one-story house and placing the addition in gable

1 roof dormer, the proposed gable roof dormer in the front
2 section of the roof.

3 Staff has identified two possible design
4 alternatives that meet the standards and are consistent with
5 the guidelines. Both design alternatives are targeted at
6 preserving the existing roof height and form forward of the
7 ridge line, the appearance of the house from the streetscape
8 of the historic district, compatibility with the adjacent
9 houses and neighborhood contacts.

10 The first alternative is a pretty straightforward
11 alternative in terms of doing a small two-story addition off
12 the rear wall plane of the house. It would minimize visual
13 impact the new construction would have on the streetscape
14 and avoid affecting the perceived character of the house by
15 preserving that original roof form, particularly in the
16 front. If this alternative is pursued, the rear addition
17 should generally be consistent with predominant
18 architectural style, character and scale of the historic
19 massing.

20 The second alternative, which I spoke after the
21 staff report with the applicant and architect who are here
22 this evening, is a bit different but is more, it would
23 maintain its, it's aimed at maintaining that original roof
24 form again in height of the roof forward of that existing
25 ridge line of the roof. It would be constructing a roof

1 addition similar in style to what the proposal is in the
2 renderings but behind and offset from the ridge line of the
3 existing roof to the rear.

4 The third element of this alternative is to
5 construct a modest addition off the rear wall of the house
6 by extending the roofline of the new roof addition. A rear
7 addition using these recommendations are outlined, and this
8 alternative should include a design as inconspicuous as
9 possible when viewed from the street have a roof form slope
10 subordinate to the existing roof and be compatible in scale
11 and character with the historic massing.

12 Some of the additional modifications include
13 alterations to this existing front porch enclosure. The
14 applicant has indicated there's evidence, I have a photo
15 that I will show you on the PowerPoint, both interior and
16 exterior, that the front northeast corner of the house once
17 had an open style porch that has been enclosed. The
18 applicant is proposing to maintain the space as an interior
19 space but update the enclosed section in front elevation by
20 adding new windows, modifying the front roof, even
21 installing columns.

22 Staff would support some type of alteration to the
23 existing front elevation if the proposed work is proven to
24 be consistent with the original style of the front porch.
25 More specifically, the columns, the roof eave is what I'm

1 referring to when I say consistent with the original style
2 of the front porch. Certainly they would like to do some
3 more glazing for transparency in this corner.

4 The applicant is encouraged to pursue locating
5 historic photographic documentation to substantiate the
6 approximate style and dimensions of that front porch. Staff
7 supports the removal of the existing rear addition of the
8 house to accommodate some type of rear expansion as well as
9 removal of this non-original siding on the front elevation
10 and its rehabilitation.

11 Staff is recommending additional consultation
12 after this preliminary consultation hearing to discuss
13 making revisions to the proposed design in response to the
14 comments of the Commission provided to them tonight. So the
15 three sort of areas that the staff report has identified for
16 the Commission to focus on is the modifications to the
17 existing roof height and form, installation of the gable
18 roof dormer to create this, a perch or second story, and the
19 feasibility of altering the existing front porch enclosure.

20 And I will show you some pictures, and that's all
21 I have for the staff report. Why don't I just quickly go
22 through these for you? Left is more of an oblique shot,
23 straight area along the right, give you a sense of the
24 context, the rear yard of the property. So the red line --
25 well, the subject property is the one in the center and the

1 red line on the left side and right side are just, it was
2 kind of hard to see the photos of the ridge lines next to it
3 but I thought that was kind of important for the Commission
4 to sort of get a sense of how it's clear that the house on
5 the left is much higher. The topography also sort of
6 changes when it goes to the left, it goes up a little bit.
7 And then the house on the right is, you know, it is
8 definitely taller without question but it certainly is more
9 in scale with this, with this subject property.

10 Some rear yard conditions. That's the, on the
11 left photo would be the addition that is non-original and
12 just a shot of the rear yard. Give you a sense of the size.
13 And then the front elevation conditions, as you can see on
14 the left photo there, some fill there. You can see the
15 siding on the right photo, a non-original window. And then
16 there's an interior shot of that porch right there, the door
17 being on the right. And that's all the photos I have for
18 you. The applicant and architect are here and I know
19 they're looking forward to talking to you.

20 MR. FULLER: Thank you. Are there any questions
21 for staff? If the applicants would state your name for the
22 record and we'll look forward to hearing from you. You have
23 seven minutes. Thank you.

24 MR. MAXSON: Hi. I'm Geoff Maxson. I'm the owner
25 of the property.

1 MR. FULLER: Thank you.

2 MS. LONDCN: I'm Melissa London. I'm Geoff's
3 fiancée.

4 MR. HUTCHINS: And I'm Bill Hutchins, the
5 architect working with them. So quickly, we, from the
6 process and gratefully, Josh met with us a couple times and
7 we, after reading the report, we met with him the second
8 time and came to the conclusion that it's probably an uphill
9 battle to try to do the second story addition we were trying
10 to do, so we explored two other alternatives, the two that
11 staff reported, or suggested. One minor clarification is
12 when we did the addition on the back, that would actually
13 just be one continuous one-story house. Can you show those
14 -- so I did some very quick kind of sketches just to show.

15 What we'd like to do tonight is just have a
16 conversation with you about the two other alternates that
17 staff suggested. One is the backyard addition with again,
18 just one story. The second is to do something on top in the
19 back behind the original ridge. And the problem with that
20 -- Josh, if we could go to No. 2 section. Yeah. That's --
21 go back. The critical issue is the existing ridge of the
22 existing house is only seven feet high. It's actually seven
23 feet one. So, you know, Montgomery County needs seven foot,
24 six inches to be habitable space. So really as you move
25 back, there's a lot of that existing space that's not

1 usable. And then we can --

2 What really happened was good for the client
3 ultimately. It was the original design was about 2100
4 square feet and both of these options get us toward like
5 1600 square feet and both of which meet their programmatic
6 needs. So that's good but we just wanted to talk about
7 these two possibilities. This one, I don't know how we'd
8 really make -- this doesn't feel like a very good
9 architectural solution to me. I didn't do a section diagram
10 for this second one. Can you show No. 1 plan, please, or
11 I'm sorry, No. 3 plan, please.

12 So on this option, all that kind of pushed up on
13 the back on the right is this one-story addition, and part
14 of the question we have on this one is can we push it
15 towards that side yard setback and not just keep it directly
16 behind. The nice thing about this is the north arrow down
17 there on the bottom is, this would bring really great sun
18 and light into all of the rooms as the day goes along so
19 architecturally, I think this is probably the best solution
20 and the clients are tending to think that as well. It would
21 typically cost about 15 to 20,000 more to do this than the
22 other option that I just showed you but given some
23 underpinning issues with the existing basement and the
24 foundation, we may, it may almost be a net wash.

25 We just want to hear from you how, which direction

1 you would lean strongly, if you're open to both. I am not
2 really sure how we can get -- can we see the section
3 diagram, please, No. 2 -- how we can really make that look
4 good architecturally. I don't know any historic models that
5 look like this. So that's really kind of the conversation
6 at this point.

7 MR. FULLER: Thank you. Are there any questions
8 for the applicant? Give him some comments?

9 MR. ROTENSTEIN: I have a question for Josh. Can
10 you put up a view from the street that would give us an idea
11 of how we'd be looking at the house if they were to pursue
12 option 3?

13 (Discussion off the record.)

14 MR. FULLER: The house on the left side is much
15 taller.

16 MS. ALDERSON: I'm fairly familiar enough with the
17 overall context here in Takoma Park that you have some
18 things going for you that support the third alternative. I
19 mean, there's no question that that's more achievable than
20 the second. You know, Takoma Park's guidelines allow a
21 little more flexibility on the roofs but, yeah, I guess I
22 haven't been through five years of these. I don't know if
23 I've ever seen one that actually came out looking good. I
24 mean, just to be totally honest with you. That's very
25 difficult to do when you have that look.

1 MR. HUTCHINS: This two-story addition.

2 MS. ALDERSON: It's hard. I mean, they usually
3 look like they're kind of eating up the other house and the
4 only times it kind of worked was when it almost raises a
5 separate building. And I wouldn't, even if it weren't a
6 preservation project issue, I wouldn't have recommended that
7 particular kind of gable dormer for the front because the
8 traditional long dormer, even if you explore a dormer for
9 the back, I would recommend if you want a great big long
10 dormer, to do a shed dormer. That looks much more organic
11 with a bungalow, especially the shallow roof. The shallow
12 gable looks very kind of '60s colonial so I would suggest,
13 you know, look at the other vocabulary.

14 I think a side addition for this site could work
15 for a couple reasons. One, you've got that enormous slope
16 up. People are going to intend not to see stuff over there
17 and noting that this is a wintertime picture, that is very
18 green, it's very streamer, so I think that given that
19 particular siting, it's not really going to be noticed
20 what's on the side. And I'd certainly rather see something
21 that adds some visibility on the side than something that
22 greatly changes the front.

23 I also think it's wonderful if you can take that
24 opportunity to explore what could be done to kind of reclaim
25 the character of the front. You know, once -- you know,

1 bungalows are small. I understand why you need every square
2 inch. Why they can enclose it in the first place, but it is
3 a huge character change looking so solid like that. And as
4 you think about ways to open it up, I would suggest you
5 might want to spend some time looking at the book Houses by
6 Mail that's all these catalog pictures and it shows a lot of
7 ways that transparency is either an open porch or an
8 enclosed porch or a sunroom. And give some thought to that
9 vocabulary for opening it up, and making it look transparent
10 could make it come together in a very nice way that you'd
11 really be happy with.

12 MR. HUTCHINS: Okay.

13 MR. FULLER: Are there other questions for the
14 applicant or should we just go down and give comments?
15 Warren, why don't we start at your end.

16 MR. FLEMING: I understand your challenge here.
17 It is a neat little place. I like it. But my comment is
18 the roof. I'm not sure what you could do but the way I'm
19 looking at the roof in this design based on what it is now,
20 it takes away from what it really is, so I don't -- that's
21 my comment.

22 MR. ROTENSTEIN: I agree with Commissioner
23 Alderson. I think Design No. 3 would be the direction to
24 head in. It is a tough challenge to deal with small
25 bungalows but what we've looked at before you had the

1 opportunity to look at the alternatives was something that
2 would so drastically change the character of this house that
3 it would no longer be a nice modest little bungalow, so I
4 would encourage you to pursue the alternative three that you
5 showed us.

6 MS. MILES: I would concur. I think alternative
7 three is far superior and I could not have supported what
8 you brought us originally.

9 MR. HUTCHINS: Can I just ask a quick question?
10 That includes pushing it up to the side yard setback? Can
11 we go back to --

12 MR. JESTER: In your third design, was that set
13 with that opposite side, are you proposing to move the
14 garage?

15 MR. HUTCHINS: We're going to take down the
16 garage. That was initial planning.

17 MR. JESTER: I also concur with Ms. Alderson's
18 comments. I think they were right on the mark. I think, I
19 wouldn't say definitively that there is not a way to do the
20 second design approach but it is very difficult. You really
21 don't want to treat it as if you're creating a separate
22 building attached to the bungalow almost like a connector.
23 So it really reads and the trick is to get that roofline to
24 not be popping up on the roofline. So I think it could be
25 pursued but I think the comments I made really are that it's

1 going to be much easier to deal with as a one-story addition
2 and I could support something along those lines.

3 MR. FULLER: I guess my comments concur with the
4 other commissioners on option three I think being the right
5 way to go. You know, to the extent that you're pushing for
6 a sustainable in a zero neutral, zero carbon footprint, one
7 thing I'd also point out in your option three, you have
8 probably the option, if you wanted, to go with any solar
9 arrays on the house. You can farm it back maybe past that
10 tree and I would point out there would be federal, state,
11 and county tax credits that pay back less than five years.
12 So it's something that you ought to look at.

13 And I think the other advantage that you have in
14 option three is that quite frankly, you're not necessarily
15 at that point married to the same aesthetic, that if you
16 wanted to try to demonstrate this as, you know, an
17 alternative aesthetic or something as efficient, I think
18 that you have that opportunity to the extent that instead of
19 just a bump on the back rather than something that you're
20 trying to develop an entire house.

21 So I think you've heard from all the commissioners
22 that nobody would tend to accept or support your first
23 option. The second option would be a big challenge. And
24 option three I think because you're not building stairs is
25 certainly going to be a more efficient solution for

1 resources that way. So I commend your efforts at trying to
2 be as sustainable and green as possible and to push forward.

3 MR. HUTCHINS: Recommend a second preliminary?

4 MR. FULLER: I'm sorry?

5 MR. HUTCHINS: Recommend a second preliminary?

6 MR. FULLER: Yeah. I think that with where you
7 are, I would certainly recommend coming back with a second
8 preliminary but that's --

9 MR. HUTCHINS: With more detailed plans.

10 MR. FULLER: Yes.

11 MR. HUTCHINS: And elevations.

12 MR. FULLER: Something like that. Exactly.

13 UNIDENTIFIED SPEAKER: Free-hand drawing on a
14 napkin --

15 MR. FULLER: If your client wants to gamble and
16 have you do schemes twice, it's --

17 MS. ALDERSON: This is good to pull this together.

18 MR. FULLER: And I appreciate the fact that you
19 gave him both options at once so we didn't have to say we
20 didn't like the first one before he starts to negotiate the
21 second. Thank you.

22 Next on our agenda for the evening is a briefing
23 on the Clarksburg streetscape concepts. There's not a staff
24 report, it's a presentation. If the presenters would like
25 to come forward. Thank you. State your name for the

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	8 Crescent Place, Takoma Park	Meeting Date:	4/22/2009
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	4/15/2009
Applicant:	Geoffrey Maxon	Public Notice:	4/8/2009
Review:	HAWP	Tax Credit:	Partial
Case Number:	37/03-09H	Staff:	Josh Silver
PROPOSAL: Rear addition, garage demolition and other alterations			

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Craftsman (Altered)
DATE: c1915-25

BACKGROUND

1st Preliminary Consultation

On February 11, 2009 the Historic Preservation Commission (HPC) held a Preliminary Consultation hearing for the proposed construction of a partial 2nd story addition at the subject property. The proposal included raising the roof of the existing house by 3' (from 17'-to- 20'), constructing a gable roof dormer on the street-facing roof plane of the new (raised) roof section of the house and extending the gable dormer through the ridgeline of the raised side gable roof. Other alterations included removal of non-original siding from the front elevation and original siding rehabilitation, modifications to the front roof eave and existing front porch enclosure.

The HPC did not support the proposed design of the addition and recommended the applicant explore other design alternatives. There was general consensus among the HPC a one-story addition at the rear of the house with a modest extension beyond the left wall plane would be appropriate in order to preserve the character of the house and minimize the impact new construction would have on the streetscape of the historic district. The HPC was generally supportive of the front elevation modifications and recommended the applicant return for a 2nd Preliminary Consultation with revised plans that included more details about the proposed work to continue the discussion. (See attached transcript on Circle 32-49).

2nd Preliminary Consultation

On March 11, 2009 the HPC held a 2nd Preliminary Consultation hearing where the applicant presented a revised proposal in response to the comments and feedback they received from HPC at the 1st Preliminary Consultation. The revised proposal included the construction of an 800 s.f. (35' x 23') one-story rear addition and side extension, modifications to the front elevation; including the installation of clad wooden awning windows, extension of the roof eave over the front entry door and installation of columns. Other alterations included the demolition of an original garage in the rear side yard, modifications to the existing driveway and removal of one original window from the historic massing. The HPC provided the applicant with the following comments and feedback at the 2nd Preliminary Consultation:

- Extending the proposed addition beyond the left wall plane is an appropriate solution for preserving the historic massing
- Explore methods to reduce the height of the proposed roof monitor to diminish potential impacts to the streetscape of the historic district. (The HPC recommended the applicant complete a sightline study to demonstrate the proposed roof monitor would not impact the streetscape of the historic district). (See attached documentation on Circle 18).
- The original window on the left elevation of the historic massing should be retained
- An alteration to the front elevation could be supported if refinements to the treatment of the windows and brackets were satisfied
- Wood windows must be used in the historic massing and an alternative window treatment is appropriate for the proposed rear addition
- Relocation of the existing garage was recommended. Additional documentation on the condition of the garage was requested to determine the feasibility of relocation versus demolition. (See attached transcript on Circle 50 - 74).

PROPOSAL

The applicant is proposing to construct a one-story rear addition at the subject property. The proposed addition is 805s.f. (35' x 23') and extends into the rear yard and approximately 6' beyond the left wall plane of the existing house. The proposed addition will connect to an existing non-original section of the house and have no impact on the historic massing. Features of the proposed addition include an elongated shed roof monitor at the roof peak, a southern-facing open-style covered rear yard terrace supported by a column on a masonry pier. Material specifications for the proposed addition include asphalt shingles, wooden siding to match this historic massing and fiberglass clad exterior wooden windows and wooden rear door.

Modifications to the front of the house include the installation of new wooden windows and knee wall panels in the northeast corner of the existing non-original porch enclosure, extension of the roof eave over the front entry door and installation of brackets, installation of wooden columns on masonry piers on the northeast and northwest corners, removal of non-original siding and rehabilitation of original siding, removal and replacement of a non-original front door with a new wooden door and the removal and replacement of a louver from the front roof plane dormer with a new wooden window in the same location.

Other alterations include demolition of an original garage in the rear side yard, modifications to the existing driveway and removal of a window from the non-historic section of the house and installation of a new wood window.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features, is, however, not required;
- major additions should, where feasible, be placed to the rear of the existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited;
- while additions should be compatible, they are not required to be replicative of earlier architectural styles;
- original size and shape of window and door openings should be maintained, where feasible;
- some non-original building material may be acceptable on a case-by-case basis;

Montgomery County Code; Chapter 24A

The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
 - (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the revised proposal. The proposal is consistent with the *Guidelines and Standards* for alterations to a Contributing Resource within the Takoma Park Historic District.

The revised proposal responds positively to the comments and feedback the applicant received from the HPC at the 2nd Preliminary Consultation. The revised proposal includes a lower roof monitor that is

pushed further to the rear of the proposed addition to diminish its visibility when viewed from the public right-of-way. The applicant has provided two perspective views to demonstrate the impact of the roof monitor on the public right-of-way. The original window on the left elevation of the historic massing will be retained and alterations to the front elevation have been refined. The window treatments on the front elevation reintroduce transparency and recall the openness of an original open style porch that was enclosed by an early alteration. The perceived character and style of an open style porch is achieved through the installation of vertically oriented glazing and lower wooden inset panels. The support brackets for the proposed front roof eave extension have been integrated into the wall plane of the front elevation for a more balanced appearance.

The revised proposal includes the installation of wooden windows in sections of the historic massing where non-original windows are present. The proposed windows will maintain a similar profile and detail as the original windows of the house.

Both staff and the majority of the HPC recommended retaining and relocating the original garage to a new location on the property. The garage is an original accessory structure and subordinate to the house. The HPC requested additional documentation on the condition of the garage to determine the feasibility of relocation versus demolition. The applicant has provided a structural engineer report and cost estimate that details the condition and expense of relocating and reconstructing the garage. (See Circles 23-31). Staff does not oppose demolition of the garage. The structural engineer report indicates an inadequate foundation, structural settling and termite damage. Relocating the garage also presents a contextual issue of how the garage would relate to the house because of the addition extending into the rear yard and small lot size. *Staff recommends that the HPC approve demolition of the garage based on these findings.*

To achieve consistency with guidance for new additions found in *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland*, a proposed addition should meet the following guidelines:

- 2.3 If a non-historic material covers original siding, then its removal is encouraged.
- 18.1 Place an addition at the rear of a building to minimize its visual impacts.
- 18.3 An addition should be compatible in scale with the primary structure.
- 18.5 An addition should be compatible in character with the primary structure.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b) (1) & (2);

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301.563.3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240-777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

RECEIVED
DEC 23 2008
DIP. CASEWORK MGNW

Contact Person: _____
Daytime Phone No.: _____
Tax Account No.: _____
Name of Property Owner: Geoffrey J Maxson Daytime Phone No.: (301) 286-2337
Address: 8 Crescent Pl Takoma Park MD 20912
Street Number City Street Zip Code
Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE
House Number: 8 Street: Crescent Pl
Town/City: Takoma Park Nearest Cross Street: Holt
Lot: 21 Block: 2 Subdivision: Hill-Crest
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE
1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ _____
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS
2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL
3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.
Geoffrey J Maxson Signature of owner or authorized agent 12-15-08 Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No. 502927 Date Filed: 12/23/08 Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

Mace Long 247348

7

The Narrative for Proposed Work To 8 Crescent Place, in Takoma Park, MD
Revised for April 1, 2009 submittal.

The proposed one story addition to 8 Crescent Place, in Takoma Park, MD, is mostly not visible from the street. Only a small part reaches out into the driveway; the family's entry (into a mudroom).

The existing house is 26.6' x 40.4'. The addition, while somewhat irregular in shape, extends back 35' and is 23' wide for the most part.

The proposed addition works precisely with the existing house, both its massing and details. The proposed addition extends back the existing rear, secondary gable roof (creating the most useful roof area for solar panels), as well as turns to a right angle the existing flatter pitched shed roof at the other half of the back of the house, to run parallel and soften the edges of the addition's central gable.

The proposed extended east-west oriented house offers the optimal passive winter heating. Such energy-efficiency considerations are found throughout the proposed work.

The massing also includes a cupola and dormer (both of which are included for natural daylighting and ventilation, or energy-efficiency), are detailed and proportioned similarly to the existing front dormer.

The proposed front entry canopy is highly desirable functionally; we followed the existing house's language in it's delineation.

The proposed work at the front of the house also include flanking columns (which, from our research, are likely to what would have been built on the front elevation/porch) - tapered wood columns on a stucco (per the exist. low foundation walls; over masonry) square base. There is also a covered terrace at the back of the proposed addition; again, with a column identical to the proposed front columns.

Regarding the existing cladding - we don't know what that is. If the existing garage, which we think was built as part of the original house, is an indicator of the siding of the house, then the house has 6" (4 ½" exposed) wood overlap siding. We will need to pop-off a piece of the overlaid, non-original siding (which we are removing throughout the existing house and either reconditioning the original siding, or replacing to match the existing). The proposed addition will match whatever is determined to be the original siding, to the best of our local mills capacity. That is, we have a few local mills we prefer to work with, re: issues of sustainability (local and responsible logging practices). We also have an FSC-certified source out in the Pacific Northeast, whose material we recently used on a project approved by you on 7400 Maple Ave..

We are maintaining all existing windows (and storm windows), except the non-original windows at the kitchen and front entry (both on the north elevation), as well as the very non-original bow window at the front (which is explained below). Both of these will be replaced with wood windows to match the exist. windows (6/1 double hung window). And we are replacing the existing louvered opening in the front dormer with a awning window (for passive ventilation), to match other existing windows.

The proposed windows at the north side of the front replacing the non-original bow

window will provide a sense of the original house's porch (through extensive glazing, offering transparency). These will be wood windows with similar profiles/details as the original windows throughout the house, but with no muntins and fixed glazing. The panels shown below will be wood (flush-siding, or no overlap), which will allow us to both give the sense of the original porch (to read as a frame, rather than siding per the typ. wall) and provide better energy-efficiency.

All new windows at the addition will be fiberglass exterior with wood interiors (for durability, very high energy-efficiency as they provide a thermal break, and "greenness"). They will be casement or fixed and have no muntins (casement are more energy-efficient than dbl. hung, and muntins create thermal bridging, unless buying very expensive models w/ thermal breaks at the muntins). The new doors at the back will also not have any muntins.

The existing roof is asphalt shingles, which we will match. They are not the greenest option, but at least they offer a 50-warranty option (providing decent durability, a green consideration).

The garage seems to be original, which means it was also built in 1923. It was poorly built (wood plates directly on the ground) and is falling apart.

The driveway will be shortened by approximately 7'. Attached is the existing plat plan.

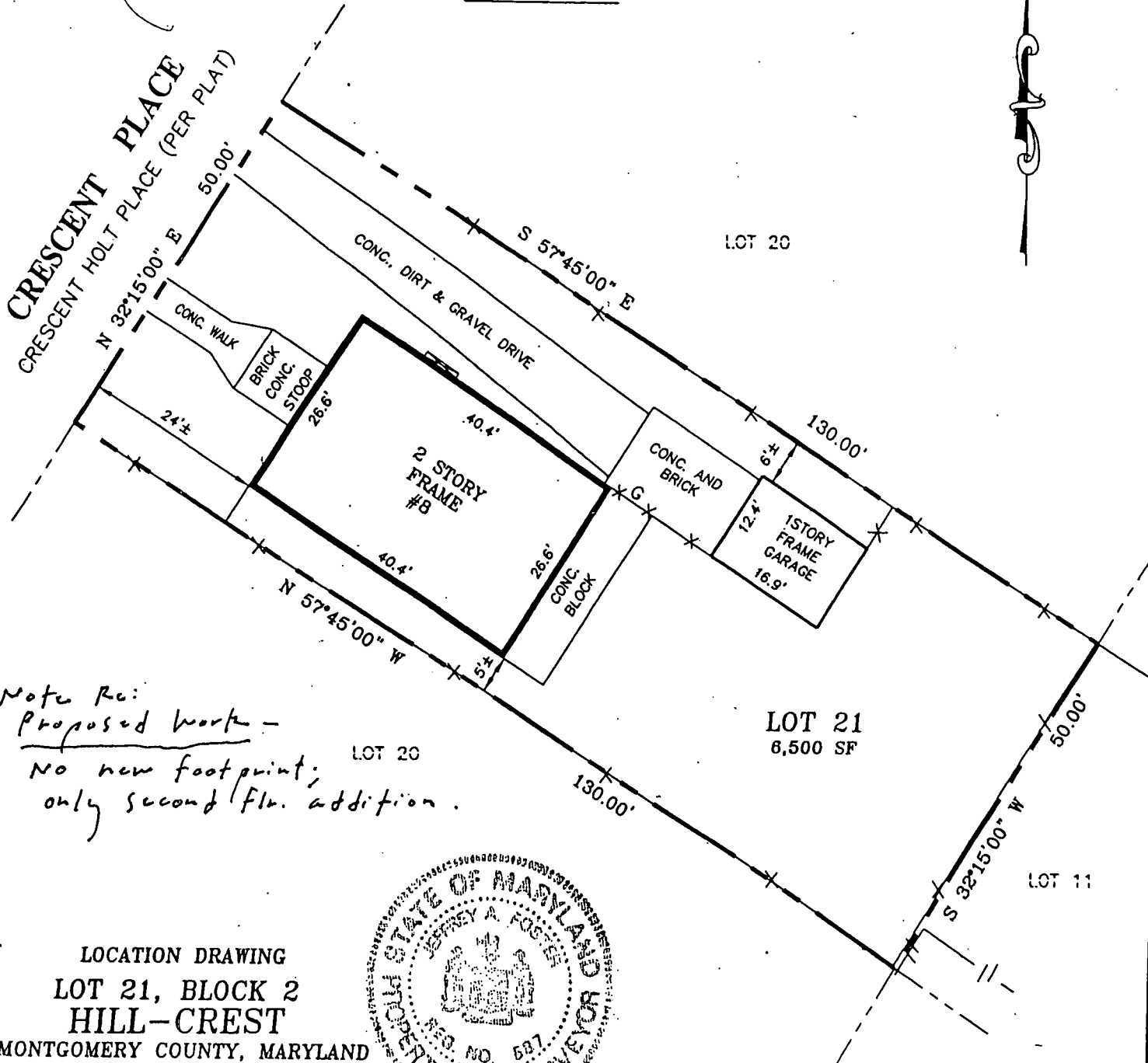
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
Mary Alice Winch 6 Crescent Pl Takoma Park, MD 20912	
Andrew & Katya Portan 25 Holt Pl Takoma Park, MD 20912	
David Pittman and Dan Aibel 227 Park Ave Takoma Park, 20912	

CONSUMER INFORMATION NOTES:

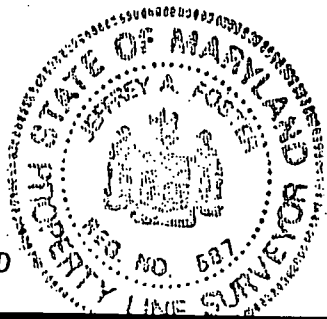
1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 FEET
 Flood Zone "X" per H.U.D. Flood Panel No. 0460D.



*Note Re:
 Proposed Work -
 No new footprint;
 only second flr. addition.*

**LOCATION DRAWING
 LOT 21, BLOCK 2
 HILL-CREST
 MONTGOMERY COUNTY, MARYLAND**



SURVEYOR'S CERTIFICATE
 "THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."
Jeffrey A. Foster
 MARYLAND PROPERTY LINE SURVEYOR REG. NO. **587**

REFERENCES	
PLAT BK.	2
PLAT NO.	140
LIBER	
FOLIO	

	SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 20270 Goldenrod Lane, Suite 110 Germantown, Maryland 20876 301/948-5100, Fax 301/948-1288	
	DATE OF LOCATIONS	SCALE: 1"=20'
WALL CHECK:		DRAWN BY: F.A.-E.H.
HSE. LOC.: 12-21-06		JOB NO.: 99-1544

8 CRESCENT PL.
TAKOMA PARK, MD

OWNER
GEEF MASON
8 CRESCENT PL.
TAKOMA PARK, MD 20912
TEL: 301-404-5878

ARCHITECT
BILL HUTCHINS
HUTCHINS WORKS
1700 WINDY HILL RD.
TAKOMA PARK, MD 20912
TEL: 301-404-5878

STRUCTURAL ENGINEERS
MAY CONSULTING STRUCTURAL ENGINEERS
6235 EXECUTIVE BLVD.
BETHesda, MARYLAND, MD 20814
TEL: 301-291-8800

LIST OF DRAWINGS

ALL COVER SHEET

ADD FLOOR PLAN (1/8"=1'-0")
ADD ELEVATIONS (1/8"=1'-0")
ADD ELEVATIONS (1/8"=1'-0")
ADD BUILDING SECTIONS (1/8"=1'-0")

PROJECT NAME: 8 CRESCENT PL.
RENOVATION AND ADDITION
PROJECT ADDRESS: 8 CRESCENT PL.
TAKOMA PARK, MD 20912
BLDG: 2
LOT: 21

PROPOSED PROJECT: ADDITION AND RENOVATION

ZONING - R60

USE: RESIDENTIAL

PERMITTED: YES

REMARKS REQUIRED: YES

REMARKS PROVIDED: YES

REMARKS: 1 STORY WITH INCORPORATED
MAXIMUM ALLOWABLE 2.5 STORES
UP TO 35' HEIGHT
MAXIMUM ALLOWABLE
PROPOSED
SET BACK: 5' FRONT, 5' SIDE, 5' REAR
5' DIA. OR 5/8" OF 1/8"

CODE: R60
REMARKS: SEE EXISTING
USE GROUP: 1

SYMBOLS

ROOM NUMBER: [Symbol]

DOOR SYMBOL & TYPE NUMBER: [Symbol]

WINDOW DESIGNATION: [Symbol]

PARTITION TYPE FOR WALL TYPES: REFER TO ADD FOR WALL TYPES

PLAN NOTES: [Symbol]

PLAN/SECTION DETAIL: [Symbol]

ELEVATION: [Symbol]

SECTION: [Symbol]

PROJECT DATA

OWNER: GEEF MASON
DATE: 4/1/09



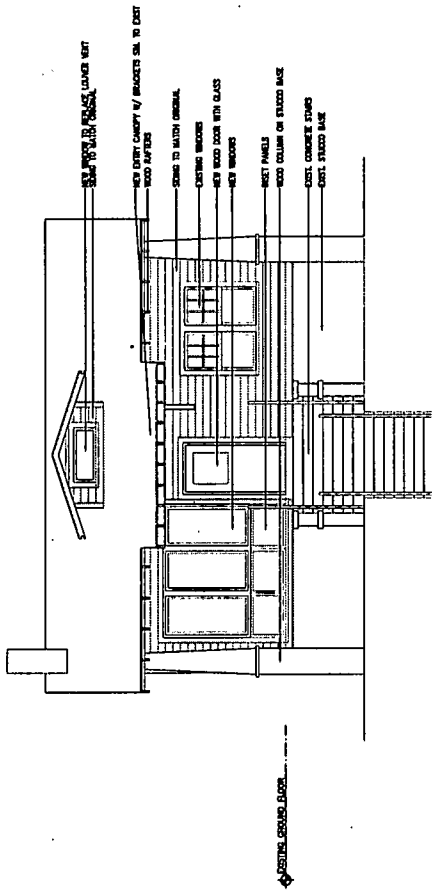
1 SITE PLAN
1/16" = 1'-0"

COVER SHEET

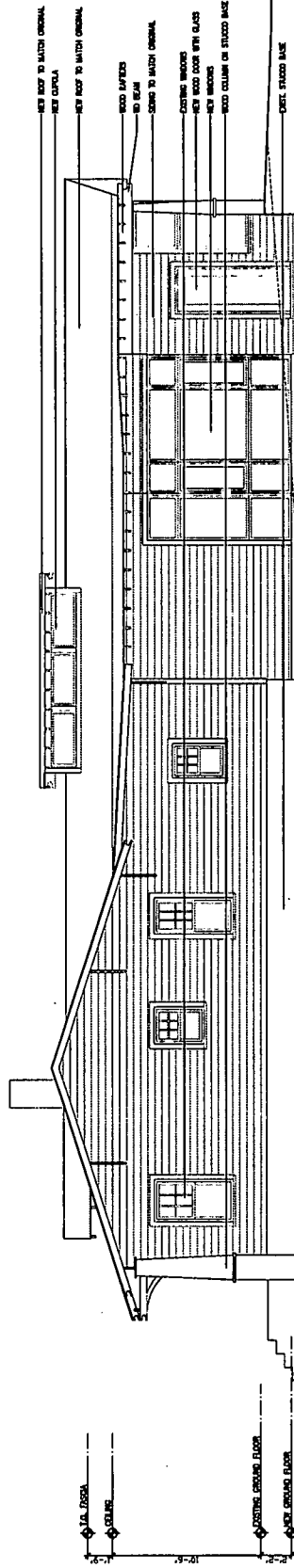
A0.1

T2

OWNER	-4/7/09
PROJECT	
NO.	
DATE	
BY	
CHECKED BY	
REVISION	

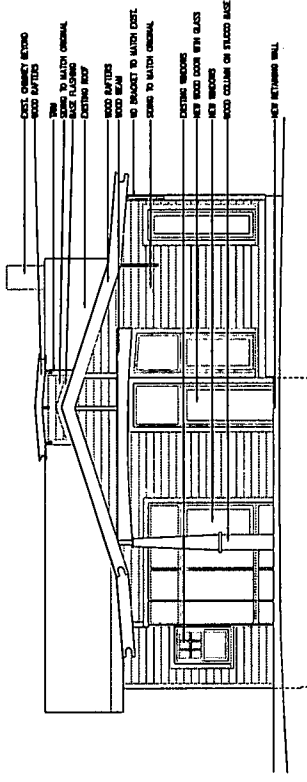


1 BLDG ELEVATION
A2.0 / 1/8" = 1'-0"

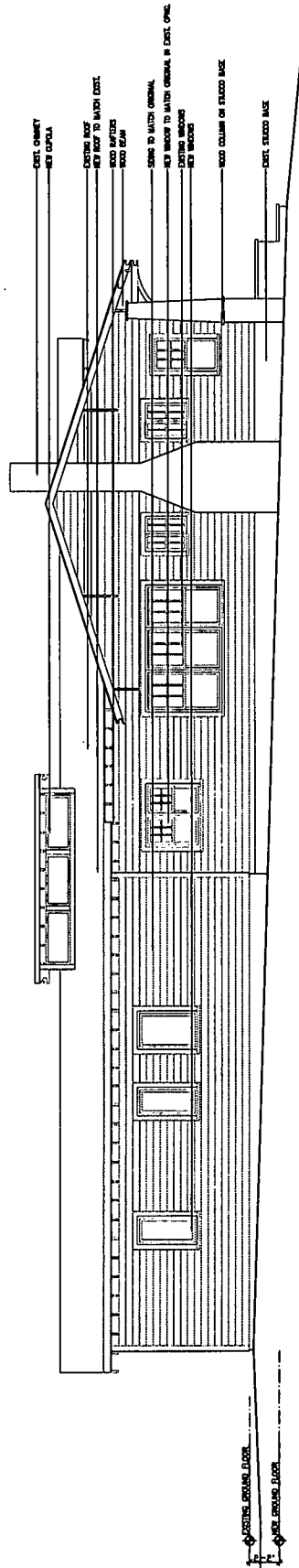


2 BLDG ELEVATION
A2.0 / 1/8" = 1'-0"

DATE	4/7/09
BY	
CHKD BY	
WT	RESTORATION



1 BLDG ELEVATION
A2.1 / 1/8" = 1'-0"



2 BLDG ELEVATION
A2.1 / 1/8" = 1'-0"

8 Crescent Place, Takoma Park
Takoma Park Historic District



**8 Crescent Place, Takoma Park
Takoma Park Historic District
Perspective Views**



Existing Property Condition Photographs (duplicate as needed)



Detail: Front of Property (8 Crescent)



Detail: North (driveway) side

Applicant: Geoffrey J Maxson

Existing Property Condition Photographs (duplicate as needed)



Detail: Rear of Property



Detail: South side (hard to photograph)

Applicant: Geoffrey J Maxson

Existing Property Condition Photographs (duplicate as needed)



Detail: *The property with relation to the northern neighbor, 25 Holt Pl*



Detail: *The property with relation to the southern neighbor, 6 Crescent Pl*

ENCLOSED FRONT PORCH INTERIOR



Supplementary Garage Documentation



PAGE 02/03

NORTON CONSULTING ENGINEERS, LLC
2235 REGINA DRIVE - CLARKSBURG, MD 20871
CELL: (240) 393-3672 - OFFICE: (301) 865-6010

February 4, 2007

Mr. Geoff Maxson
20438 Sunbright Lane
Germantown, MD 20874


RE: 8 Crescent Place

Dear Mr. Maxson,

At your request, I made a visual observation of the crack in the side foundation wall of the house at 8 Crescent Place, Takoma Park. The house is a single-story wood-framed structure with an addition to the rear of the house. The detached, wood-framed garage in the rear yard has a concrete drive leading up to it along the side of the house.

Assuming the house faces south, horizontal cracks over one quarter inch wide (1/4") were observed in the North and West interior basement foundation walls of the house. The North (or rear) wall at the Northwest corner of the house has moved in at the base of the wall more than one inch (1"). Settlement has occurred at the East wall where the rear addition meets the original house. General settlement along the entire East side of the house was also observed. There are two steel posts supporting a beam in the basement. A third post supports the stairway into the basement. These beams are rusted, and not structurally rated for their present use.

Much of the grade around the exterior perimeter of the foundation is flat with several depressions observed along the East wall, and the West wall between the driveway and the house. One of these depressions occurs at the crack in the East foundation wall, which you contacted me about.

 You also asked me to look at the garage. The concrete slab of the garage is severely cracked, beyond salvage. The garage framing has settled several inches, which could indicate an inadequate foundation beneath it. It is also badly racked, and has numerous areas with evidence of insect damage.

Based on the above observations, the following was concluded:

- The North and West walls have moved to the point to where they are no longer structurally stable, and could fail. The placement of vertical steel beams at intervals along the entire length of these walls is needed to ensure that they do not collapse.
- The three posts noted above, should be replaced with structurally rated columns on new footings.

- The land around the house should be graded away from the structures a minimum of six feet (6') with all depressions filled.
- Roof and yard drainage should be directed away from the structure to daylight a minimum of six feet (6').
- Since the driveway is severely cracked, it is recommended that it be removed. (This will make the land to the rear of the house much easier to grade appropriately.)
- The garage is structurally unstable. Its removal, including the concrete slab, is recommended.

[

The range of costs to undertake the above actions would be approximately \$35,000 – \$45,000. To determine exact prices however, a qualified contractor should be consulted.

If I may be of any further service regarding implementation of the above, please do not hesitate to contact me.

Very truly yours,



George W. Norton, P.E.

Silver, Joshua

From: Geoff Maxson [gmaxson@yahoo.com]
Sent: Tuesday, April 14, 2009 3:01 PM
To: Silver, Joshua
Cc: Bill Hutchins; Melissa Lindon
Subject: Appeal to remove shed from plans at 8 Crescent Pl, Takoma Park

I am writing this as an appeal to remove the large shed in my yard as part of my home expansion project. The shed is extraneous, in that I do not have use for such a large structure. In the design of the expansion, I originally wished to design up, to keep the footprint of the house the same. The HPC was rather strong in their recommendation that I build back, taking up more of my small back yard. My goal is to make this process as environmentally neutral as I can. Taking up more land for the house was something I was not happy with but I was willing to do it to appease the HPC. The shed takes up an additional 220 sq ft in the yard that I would like to maintain to help control rain runoff and open space, a priority I assume is also important to the county.

The cost to stabilize

and move the shed has been quoted (see attached quote) at \$20,000. Many of the boards will need to be replaced due to rotting or termite damage, the current concrete slab will need to be destroyed, disposed of, a new foundation poured, and the entire structure will need to be dismantled and reassembled. I am on a limited budget for this project, and it seems excessive to spend 7% of my total budget on moving a shed that I do not want to a new location. There is also an environmental impact to the moving process, that makes it comparable to removing the structure entirely anyhow.

This shed was built poorly and has not been maintained over the years, so by the time I moved in two years ago it was in poor shape. Its wooden vertical supports are rotting from where they have been sitting in the dirt. Posts have been compromised by carpenter beetles and termites. Even though there were no new termite paths for the last two years, the termite

inspector showed me multiple paths showing termites have been busy, although he could not see visible termite damage. The structural engineer I hired upon buying the property also recommended taking the structure down immediately.

Since the yard is not very big, the shed will be close to the house. If the shed is moved to the back corner of the yard, the expanded back of the house will be 7 feet from the shed, unless we turn the shed sideways, making it even less useful or historically viable, in which case it will be 12 feet from the house and still block the sun and the view from the windows of the back room of the house.

If the shed is moved to the place that the HPC recommends, it will be much less visible from the street. (We are still working on a sketchup picture to show how it will look.) Setting it so far back will reduce its usefulness and certainly remove it from the street scape. I would also like to point out that just

because a structure is in a historic district does not make the structure historically relevant. I believe that this shed falls into the category of not relevant, environmentally taxing, and financially problematic.

I have also attached pictures of the shed showing some of the damage to give a better feel to what I am talking about.

Sincerely,
Geoff Maxson



Premier Construction Services
SPECIAL PROJECTS | SINCE 1982

April 13, 2009

Geoff Maxson
8 Crescent Place
Takoma Park, MD 20912

Dear Mr. Maxson:

Following a site visit on 4/10/09 to your home at 8 Crescent Place in Takoma Park, I have prepared the following cost estimate for the relocation of the garage structure on your property. Please note that this is only a preliminary cost estimate based on existing known conditions and should not be viewed as a binding contract.

Due to the deteriorated condition of the existing garage, moving it in its entirety is likely to compromise its structural integrity significantly. In my opinion, the final product would be better preserved if disassembled and reassembled of the same materials (replacing rot damaged or otherwise deteriorated members in the process). Therefore, this estimate details the cost of deconstruction and re-construction of the existing structure.

Deconstruction

- Careful disassembly of existing structure.
- Documentation (through photos and individual numbering) of location and assembly of each component.
- Storage of components to prevent damage.

Subtotal: \$7,500.00

New Slab

- 4" turndown slab in new location.
- Removal and re-use or disposal of soil.

Subtotal: \$2,500.00

Existing Slab

- Demolition, removal, and disposal of 50 cubic feet of concrete (approx 7000 lbs.).

Subtotal: \$1,000.00

Electrical

- Removal and relocation of existing electrical.

Subtotal: \$1,000.00

Re-construction

- Assembled according to documentation and existing conditions where possible.
- Newly braced structural components incorporated in areas where integrity has already been compromised.

Subtotal: \$7500.00

Driveway

- Extension of existing driveway to new garage location.

Subtotal: \$500.00

TOTAL: \$20,000.00

If you have any further questions or concerns, please do not hesitate to contact me.

Sincerely,

Joseph Klockner

28

Silver, Joshua

From: Whipple, Scott
Sent: Tuesday, April 14, 2009 4:07 PM
To: 'LABRADANE@GMAIL.COM'
Cc: Silver, Joshua
Subject: FW: HAWP Application -- Geoff Maxson, 8 Crescent Place, Takoma Park

Thank you for your correspondence in support of the pending HAWP application for 8 Crescent Place in Takoma Park. Your email will be included in the public record and provided to the members of the historic preservation commission for their consideration.

Scott D. Whipple, Supervisor
Historic Preservation Section | Urban Design Division
Montgomery County Planning Department | M-NCPPC
Office: 1109 Spring Street, Suite 801 | Silver Spring
Mail: 8787 Georgia Avenue | Silver Spring MD 20910
301-563-3400 phone | 301-563-3412 fax
scott.whipple@mncppc-mc.org | <http://www.montgomeryplanning.org/historic/>

From: MCP-Historic
Sent: Tuesday, April 14, 2009 3:54 PM
To: Whipple, Scott
Subject: FW: HAWP Application -- Geoff Maxson, 8 Crescent Place, Takoma Park

From: B A[SMTP:LABRADANE@GMAIL.COM]
Sent: Tuesday, April 14, 2009 3:53:57 PM
To: MCP-Historic
Subject: HAWP Application -- Geoff Maxson, 8 Crescent Place, Takoma Park
Auto forwarded by a Rule

I am trying to send a message to the Montgomery County Historic Preservation Commission. If I have sent this to the wrong address, would you please forward to the correct location and/or let me know that my message mis-fired?

I am writing about a pending application by one of my neighbors, Geoff Maxson at 8 Crescent Place in Takoma Park. I reviewed the Commission's agenda, and I believe his request was discussed on February 11 and again on March 11. As one of the neighbors that lives closest to Mr. Maxson, and based on the location of my house (essentially just across the street), one of those that will be most impacted by his proposed project, I want to voice my strong support for the improvements he hopes to make. I really hope the Commission will grant him permission to make all the changes.

While I understand Mr. Maxson's house is in Takoma Park's historic area, it really needs to be updated and expanded. Quite frankly, it's something of an eyesore in its present condition. In addition, I have been inside Mr. Maxson's house (not while he has been living there, but several years ago when a prior owner lived there), and the interior space also is poorly-designed for the needs of modern life. As a result, I have been concerned

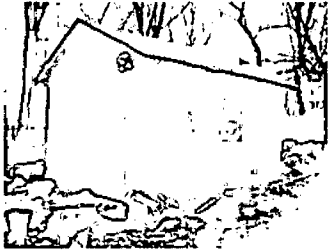
for some time that if the house is not improved, it will attract a string of renters and/or short-term owners who will not add much to the neighborhood, will not properly maintain the house, and will eventually move elsewhere to obtain a more "functional" house. I was quite excited when I heard about Mr. Maxson's plans to improve the house, and even more excited when I heard about the steps he is taking to preserve the character of the house and maintain green-building efforts in the process.

I understand that the Commission has expressed concern to Mr. Maxson about the garage structure at the end of his driveway. Please do not scuttle Mr. Maxson's project over that out-building. Indeed, it's the part of the lot that most needs to be torn down! It's falling apart already, and likely attracts some of the termites and carpenter bees that seem to plague our area. I may not have much historic preservation experience, but as a neighbor who passes by at least twice per day, I can unequivocally say that the "historic character" of Mr. Maxson's house would not suffer one bit if that garage were removed entirely. Indeed, Mr. Maxson's seems too small to support an out-building of that size.

Please let Mr. Maxson's project go forward as planned! This is a chance to improve significantly the streetscape in our neighborhood.

Thank you. If you have any questions, please do not hesitate to contact me.

Brent Allen
14 Crescent Place
Takoma Park, MD 20912
labradane@gmail.com
202-744-0354 (mobile phone)



3/5/2009
SAMSUNG DIGITAL CAMERA



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4/14/2009
SAMSUNG DIGITAL CAMERA

February 11, 2009
HPC Meeting Transcript

1 THE MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

2

- 3 ----- -X
- 4 HISTORIC AREA WORK PERMIT - : HPC Case No: 12/07-05AA
- 5 8 Magnolia Parkway : :
- 6 ----- -X
- 7 HISTORIC AREA WORK PERMIT - : HPC Case No. 14/18-05Q
- 8 8 Crescent Place : :
- 9 ----- -X
- 10 BRIEFING - : :
- 11 Clarksburg Streetscape Concept : :
- 12 ----- -X
- 13 Grants Committee Report : :
- 14 ----- -X

13 A meeting in the above-entitled matter was held on

14 February 11, 2009, commencing at 7:41 p.m., in the MRO

15 Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland

16 20910, before:

18 COMMISSION CHAIRMAN

19 Jef Fuller

20 COMMISSION MEMBERS

- 21 Leslie Miles
- 22 Warren Fleming
- 23 Caroline Alderson
- 24 Thomas Jester
- 25 David Rotenstein

Deposition Services, Inc.
 6245 Executive Boulevard
 Rockville, MD 20852
 Tel: (301) 881-3344 Fax: (301) 881-3338
 info@DepositionServices.com www.DepositionServices.com

ALSO PRESENT:

Scott Whipple
Rachel Kennedy
Anne Fothergill
Joshua Silver

APPEARANCES

STATEMENT OF:

PAGE

George Myers	9
Geoffrey Maxson	31
Melissa London	32
Bill Hutchins	32
David Chikvashvili	40
Matthew Greene	40

1 MR. MYERS: Okay.

2 MR. JESTER: I think you're suggesting you come
3 back with your work permit for the next meeting.

4 MR. MYERS: Yeah.

5 MR. JESTER: I think we suggest that --

6 MR. MYERS: To me, why don't we do that like you
7 said. We'll get neighbors and post everybody. That way the
8 worst case is if it's not quite right, we'll do that twice.

9 UNIDENTIFIED SPEAKER: It can be advantageous to
10 have a second preliminary, even if it's quick.

11 MR. FULLER: Bottom line is I agree this other
12 concept is much closer. I do, I think that whatever you can
13 do to differentiate between, the what I'm calling as a link
14 and the main mass, I think is important, but just don't let
15 the final mass on the outside compete too much.

16 MR. MYERS: Okay.

17 MR. FULLER: Any other comments? Thank you.

18 MR. MYERS: Thank you very much.

19 MR. FULLER: All right. Next on the agenda is a
20 preliminary consultation for 8 Crescent Place, Takoma Park.

21 Do we have a staff report?

22 MR. SILVER: Yes, we do. 8 Crescent Place is a
23 contributing resource located in the Takoma Park Historic
24 District. It is a craftsman style house that had some
25 alterations that I'll go into a little bit more detail in

1 the staff discussion section.

2 But in essence, the proposal is the addition of a
3 partial second story that will provide approximately 800
4 square feet of additional living space. The addition of the
5 second story would necessitate raising the roof of the
6 existing house by three feet from 17 to 20 feet, the ridge,
7 and the project also includes the construction of a gable
8 roof dormer on the street facing roof plane of the new
9 raised roof section of the house. The proposed gable dormer
10 will extend through the ridge line of the raised side gable
11 roof. No expansion of the existing building footprint is
12 proposed.

13 The work also includes removal of what appears to
14 be the T-111 plywood siding from the front elevation and
15 rehabilitation of the existing wood siding that's underneath
16 that front section. Alterations to the existing front porch
17 enclosure, the left -- if you're looking at the photo on
18 your monitor, on the left there, there's an enclosure. I
19 have some other photos of that as well -- and modifications
20 to the front roof eave and the installation of new front
21 porch columns.

22 Cumulatively, the proposed work would have a major
23 impact on the original roof form and perceived character of
24 the house. Despite several alterations to the front
25 elevation, as I said, the enclosure of the original partial

1 front porch, installation of the non-original siding and the
2 original gable roof dormer with DBs that characterizes the
3 style of the house remain relatively intact despite those
4 alterations. There is a small and non-original gable dormer
5 located at the front.

6 Staff does not support the applicant's proposal to
7 raise the roof by three feet or the installation of a gable
8 dormer through the ridge line of the raised roof side gable
9 roof. Staff has met with the applicants and explained that
10 best preservation practices recommend against these types of
11 alterations because they diminish the historical
12 relationship of the house to the street and alter the
13 perceived character of the house. Staff recommended placing
14 an addition at the rear of the structure to minimize the
15 visual impact on the streetscape of the historic district
16 and preserve the original roof form that characterizes the
17 house.

18 I've outlined a few of the Secretary of Interior
19 standards for rehabilitation that speak specifically to the
20 preservation of roofs which, that they define roofs, define
21 the overall historic character of a building and designing a
22 new addition in a manner that makes it clear what is
23 historic and what is new. The proposed design would alter
24 the overall character of the house by raising the roof of an
25 original one-story house and placing the addition in gable

1 roof dormer, the proposed gable roof dormer in the front
2 section of the roof.

3 Staff has identified two possible design
4 alternatives that meet the standards and are consistent with
5 the guidelines. Both design alternatives are targeted at
6 preserving the existing roof height and form forward of the
7 ridge line, the appearance of the house from the streetscape
8 of the historic district, compatibility with the adjacent
9 houses and neighborhood contacts.

10 The first alternative is a pretty straightforward
11 alternative in terms of doing a small two-story addition off
12 the rear wall plane of the house. It would minimize visual
13 impact the new construction would have on the streetscape
14 and avoid affecting the perceived character of the house by
15 preserving that original roof form, particularly in the
16 front. If this alternative is pursued, the rear addition
17 should generally be consistent with predominant
18 architectural style, character and scale of the historic
19 massing.

20 The second alternative, which I spoke after the
21 staff report with the applicant and architect who are here
22 this evening, is a bit different but is more, it would
23 maintain its, it's aimed at maintaining that original roof
24 form again in height of the roof forward of that existing
25 ridge line of the roof. It would be constructing a roof

1 addition similar in style to what the proposal is in the
2 renderings but behind and offset from the ridge line of the
3 existing roof to the rear.

4 The third element of this alternative is to
5 construct a modest addition off the rear wall of the house
6 by extending the roofline of the new roof addition. A rear
7 addition using these recommendations are outlined, and this
8 alternative should include a design as inconspicuous as
9 possible when viewed from the street, have a roof form slope
10 subordinate to the existing roof and be compatible in scale
11 and character with the historic massing.

12 Some of the additional modifications include
13 alterations to this existing front porch enclosure. The
14 applicant has indicated there's evidence, I have a photo
15 that I will show you on the PowerPoint, both interior and
16 exterior, that the front northeast corner of the house once
17 had an open style porch that has been enclosed. The
18 applicant is proposing to maintain the space as an interior
19 space but update the enclosed section in front elevation by
20 adding new windows, modifying the front roof, even
21 installing columns.

22 Staff would support some type of alteration to the
23 existing front elevation if the proposed work is proven to
24 be consistent with the original style of the front porch.
25 More specifically, the columns, the roof eave is what I'm

1 referring to when I say consistent with the original style
2 of the front porch. Certainly they would like to do some
3 more glazing for transparency in this corner.

4 The applicant is encouraged to pursue locating
5 historic photographic documentation to substantiate the
6 approximate style and dimensions of that front porch. Staff
7 supports the removal of the existing rear addition of the
8 house to accommodate some type of rear expansion as well as
9 removal of this non-original siding on the front elevation
10 and its rehabilitation.

11 Staff is recommending additional consultation
12 after this preliminary consultation hearing to discuss
13 making revisions to the proposed design in response to the
14 comments of the Commission provided to them tonight. So the
15 three sort of areas that the staff report has identified for
16 the Commission to focus on is the modifications to the
17 existing roof height and form, installation of the gable
18 roof dormer to create this, a perch or second story, and the
19 feasibility of altering the existing front porch enclosure.

20 And I will show you some pictures, and that's all
21 I have for the staff report. Why don't I just quickly go
22 through these for you? Left is more of an oblique shot,
23 straight area along the right, give you a sense of the
24 context, the rear yard of the property. So the red line --
25 well, the subject property is the one in the center and the

40

1 red line on the left side and right side are just, it was
2 kind of hard to see the photos of the ridge lines next to it
3 but I thought that was kind of important for the Commission
4 to sort of get a sense of how it's clear that the house on
5 the left is much higher. The topography also sort of
6 changes when it goes to the left, it goes up a little bit.
7 And then the house on the right is, you know, it is
8 definitely taller without question but it certainly is more
9 in scale with this, with this subject property.

10 Some rear yard conditions. That's the, on the
11 left photo would be the addition that is non-original and
12 just a shot of the rear yard. Give you a sense of the size.
13 And then the front elevation conditions, as you can see on
14 the left photo there, some fill there. You can see the
15 siding on the right photo, a non-original window. And then
16 there's an interior shot of that porch right there, the door
17 being on the right. And that's all the photos I have for
18 you. The applicant and architect are here and I know
19 they're looking forward to talking to you.

20 MR. FULLER: Thank you. Are there any questions
21 for staff? If the applicants would state your name for the
22 record and we'll look forward to hearing from you. You have
23 seven minutes. Thank you.

24 MR. MAXSON: Hi. I'm Geoff Maxson. I'm the owner
25 of the property.

1 MR. FULLER: Thank you.

2 MS. LONDON: I'm Melissa London. I'm Geoff's
3 fiancée.

4 MR. HUTCHINS: And I'm Bill Hutchins, the
5 architect working with them. So quickly, we, from the
6 process and gratefully, Josh met with us a couple times and
7 we, after reading the report, we met with him the second
8 time and came to the conclusion that it's probably an uphill
9 battle to try to do the second story addition we were trying
10 to do, so we explored two other alternatives, the two that
11 staff reported, or suggested. One minor clarification is
12 when we did the addition on the back, that would actually
13 just be one continuous one-story house. Can you show those
14 -- so I did some very quick kind of sketches just to show.

15 What we'd like to do tonight is just have a
16 conversation with you about the two other alternates that
17 staff suggested. One is the backyard addition with again,
18 just one story. The second is to do something on top in the
19 back behind the original ridge. And the problem with that
20 -- Josh, if we could go to No. 2 section. Yeah. That's --
21 go back. The critical issue is the existing ridge of the
22 existing house is only seven feet high. It's actually seven
23 feet one. So, you know, Montgomery County needs seven foot,
24 six inches to be habitable space. So really as you move
25 back, there's a lot of that existing space that's not

1 usable. And then we can --

2 What really happened was good for the client
3 ultimately. It was the original design was about 2100
4 square feet and both of these options get us toward like
5 1600 square feet and both of which meet their programmatic
6 needs. So that's good but we just wanted to talk about
7 these two possibilities. This one, I don't know how we'd
8 really make -- this doesn't feel like a very good
9 architectural solution to me. I didn't do a section diagram
10 for this second one. Can you show No. 1 plan, please, or
11 I'm sorry, No. 3 plan, please.

12 So on this option, all that kind of pushed up on
13 the back on the right is this one-story addition, and part
14 of the question we have on this one is can we push it
15 towards that side yard setback and not just keep it directly
16 behind. The nice thing about this is the north arrow down
17 there on the bottom is, this would bring really great sun
18 and light into all of the rooms as the day goes along so
19 architecturally, I think this is probably the best solution
20 and the clients are tending to think that as well. It would
21 typically cost about 15 to 20,000 more to do this than the
22 other option that I just showed you but given some
23 underpinning issues with the existing basement and the
24 foundation, we may, it may almost be a net wash.

25 We just want to hear from you how, which direction

1 you would lean strongly, if you're open to both. I am not
2 really sure how we can get -- can we see the section
3 diagram, please, No. 2 -- how we can really make that look
4 good architecturally. I don't know any historic models that
5 look like this. So that's really kind of the conversation
6 at this point.

7 MR. FULLER: Thank you. Are there any questions
8 for the applicant? Give him some comments?

9 MR. ROTENSTEIN: I have a question for Josh. Can
10 you put up a view from the street that would give us an idea
11 of how we'd be looking at the house if they were to pursue
12 option 3?

13 (Discussion off the record.)

14 MR. FULLER: The house on the left side is much
15 taller.

16 MS. ALDERSON: I'm fairly familiar enough with the
17 overall context here in Takoma Park that you have some
18 things going for you that support the third alternative. I
19 mean, there's no question that that's more achievable than
20 the second. You know, Takoma Park's guidelines allow a
21 little more flexibility on the roofs but, yeah, I guess I
22 haven't been through five years of these. I don't know if
23 I've ever seen one that actually came out looking good. I
24 mean, just to be totally honest with you. That's very
25 difficult to do when you have that look.

1 MR. HUTCHINS: This two-story addition.

2 MS. ALDERSON: It's hard. I mean, they usually
3 look like they're kind of eating up the other house and the
4 only times it kind of worked was when it almost raises a
5 separate building. And I wouldn't, even if it weren't a
6 preservation project issue, I wouldn't have recommended that
7 particular kind of gable dormer for the front because the
8 traditional long dormer, even if you explore a dormer for
9 the back, I would recommend if you want a great big long
10 dormer, to do a shed dormer. That looks much more organic
11 with a bungalow, especially the shallow roof. The shallow
12 gable looks very kind of '60s colonial so I would suggest,
13 you know, look at the other vocabulary.

14 I think a side addition for this site could work
15 for a couple reasons. One, you've got that enormous slope
16 up. People are going to tend not to see stuff over there
17 and noting that this is a wintertime picture, that is very
18 green, it's very screened, so I think that given that
19 particular siting, it's not really going to be noticed
20 what's on the side. And I'd certainly rather see something
21 that adds some visibility on the side than something that
22 greatly changes the front.

23 I also think it's wonderful if you can take that
24 opportunity to explore what could be done to kind of reclaim
25 the character of the front. You know, once -- you know,

1 bungalows are small. I understand why you need every square
2 inch. Why they can enclose it in the first place, but it is
3 a huge character change looking so solid like that. And as
4 you think about ways to open it up, I would suggest you
5 might want to spend some time looking at the book Houses by
6 Mail that's all these catalog house pictures and it shows a
7 lot of ways that transparency is either an open porch or an
8 enclosed porch or a sunroom. And give some thought to that
9 vocabulary for opening it up, and making it look transparent
10 could make it come together in a very nice way that you'd
11 really be happy with.

12 MR. HUTCHINS: Okay.

13 MR. FULLER: Are there other questions for the
14 applicant or should we just go down and give comments?
15 Warren, why don't we start at your end.

16 MR. FLEMING: I understand your challenge here.
17 It is a neat little place. I like it. But my comment is
18 the roof. I'm not sure what you could do but the way I'm
19 looking at the roof in this design based on what it is now,
20 it takes away from what it really is, so I don't -- that's
21 my comment.

22 MR. ROTENSTEIN: I agree with Commissioner
23 Alderson. I think Design No. 3 would be the direction to
24 head in. It is a tough challenge to deal with small
25 bungalows but what we've looked at before you had the

1 opportunity to look at the alternatives was something that
2 would so drastically change the character of this house that
3 it would no longer be a nice modest little bungalow, so I
4 would encourage you to pursue the alternative three that you
5 showed us.

6 MS. MILES: I would concur. I think alternative
7 three is far superior and I could not have supported what
8 you brought us originally.

9 MR. HUTCHINS: Can I just ask a quick question?
10 That includes pushing it up to the side yard setback? Can
11 we go back to --

12 MR. JESTER: In your third design, was that set
13 with that opposite side, are you proposing to move the
14 garage?

15 MR. HUTCHINS: We're going to take down the
16 garage. That was initial planning.

17 MR. JESTER: I also concur with Ms. Alderson's
18 comments. I think they were right on the mark. I think, I
19 wouldn't say definitively that there is not a way to do the
20 second design approach but it is very difficult. You really
21 don't want to treat it as if you're creating a separate
22 building attached to the bungalow almost like a connector.
23 So it really reads and the trick is to get that roofline to
24 not be popping up on the roofline. So I think it could be
25 pursued but I think the comments I made really are that it's

1 going to be much easier to deal with as a one-story addition
2 and I could support something along those lines.

3 MR. FULLER: I guess my comments concur with the
4 other commissioners on option three I think being the right
5 way to go. You know, to the extent that you're pushing for
6 a sustainable in a zero neutral, zero carbon footprint, one
7 thing I'd also point out in your option three, you have
8 probably the option, if you wanted, to go with any solar
9 arrays on the house. You can farm it back maybe past that
10 tree and I would point out there would be federal, state,
11 and county tax credits that pay back less than five years.
12 So it's something that you ought to look at.

13 And I think the other advantage that you have in
14 option three is that quite frankly, you're not necessarily
15 at that point married to the same aesthetic, that if you
16 wanted to try to demonstrate this as, you know, an
17 alternative aesthetic or something as efficient, I think
18 that you have that opportunity to the extent that instead of
19 just a bump on the back rather than something that you're
20 trying to develop an entire house.

21 So I think you've heard from all the commissioners
22 that nobody would tend to accept or support your first
23 option. The second option would be a big challenge. And
24 option three I think because you're not building stairs is
25 certainly going to be a more efficient solution for

1 resources that way. So I commend your efforts at trying to
2 be as sustainable and green as possible and to push forward.

3 MR. HUTCHINS: Recommend a second preliminary?

4 MR. FULLER: I'm sorry?

5 MR. HUTCHINS: Recommend a second preliminary?

6 MR. FULLER: Yeah. I think that with where you
7 are, I would certainly recommend coming back with a second
8 preliminary but that's --

9 MR. HUTCHINS: With more detailed plans.

10 MR. FULLER: Yes.

11 MR. HUTCHINS: And elevations.

12 MR. FULLER: Something like that. Exactly.

13 UNIDENTIFIED SPEAKER: Free-hand drawing on a
14 napkin --

15 MR. FULLER: If your client wants to gamble and
16 have you do schemes twice, it's --

17 MS. ALDERSON: This is good to pull this together.

18 MR. FULLER: And I appreciate the fact that you
19 gave him both options at once so we didn't have to say we
20 didn't like the first one before he starts to negotiate the
21 second. Thank you.

22 Next on our agenda for the evening is a briefing
23 on the Clarksburg streetscape concepts. There's not a staff
24 report, it's a presentation. If the presenters would like
25 to come forward. Thank you. State your name for the

March 11, 2009
HPC Meeting Transcript

1 THE MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

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3	:	
4	HISTORIC AREA WORK PERMIT :	HPC Case No. 35/32-09A
4	5315 ELLIOT ROAD :	Master Plan Site No. 35/32
	:	
5	-----x	
	:	
6	PRELIMINARY CONSULTATION :	Takoma Park
7	8 CRESCENT PLACE :	Historic District
7	:	
	-----x	

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A meeting in the above-entitled matter was held on

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March 11, 2009, commencing at 7:35 p.m., in the MRO

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Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland

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13 20910, before:

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COMMISSION CHAIRMAN

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Jeff Fuller

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COMMISSION MEMBERS

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Lee Burstyn

18

Caroline Alderson

19

David Rotenstein

20

Leslie Miles

21

Warren Fleming

Timothy Duffy

22

Nuray Anahtar

Thomas C. Jester

23

24

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ALSO PRESENT:

Scott Whipple
Anne Fothergill
Joshua Silver

STATEMENT OF:

PAGE

Michelle Grace	--
John Nelson	9
Geoffrey Maxon	20
Bill Hutchins	20

1 MR. FULLER: We're in deliberations at this time.

2 Thanks.

3 MR. ROTENSTEIN: I move that we approve the staff
4 report as submitted and grant the application to demolish
5 the park building.

6 MR. FULLER: Is there a second?

7 MS. MILES: Second.

8 MR. FULLER: Any further discussion? All in
9 favor?

10 VOTE.

11 MR. FULLER: Opposed?

12 VOTE.

13 MR. FULLER: Motion passes with one vote against
14 by Mr. Burstyn. Next on the agenda this evening are
15 preliminary consultations. Case B. Case A has been
16 postponed. Case B, second preliminary for 8 Crescent Place,
17 Takoma Park. Is there a staff report?

18 MR. SILVER: Yes, there is. 8 Crescent Place is a
19 contributing resource in the Takoma Park Historic District.

20 As you had indicated, this has come forward for a
21 preliminary consultation already. This is the second
22 preliminary consultation.

23 A little background information just to
24 refamiliarize yourselves with this is that on the 11th,
25 there was this consultation for the proposed construction of

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1 a partial second-story addition at the property. The HPC
2 did not support the proposed design of the addition and
3 recommended the applicant explore other design alternatives.

4 And if you'll recall, the applicant came prepared
5 with some different design alternatives, one of which was to
6 construct a one-story addition off the rear of the existing
7 non-historic addition and also that it extended beyond the
8 left plane of the historic massing. There was a general
9 consensus among the HPC that a one-story addition with a
10 modest extension beyond the left wall plane would be
11 appropriate to preserve the character of the house and
12 minimize the impact the new construction would have on the
13 streetscape of the historic district.

14 In terms of this revised proposal, with the
15 exception of the one-story addition, it remains relatively
16 unchanged and I will refer you to on circle 5 of the staff
17 report which has the italicized bulleted points at the end.

18 Those are the five discussion items that the applicant is
19 looking for feedback from the Commission on.

20 Just to kind of go through those a little bit, the
21 rear addition, staff definitely supports the revised
22 location and massing of the proposed rear addition. We feel
23 that it's successful because it concentrates the
24 construction at the rear of the house, it does not impact
25 the historic massing and it utilizes a natural increase in

1 topography to mitigate that impact of the addition.

2 Although staff supports the revised location of
3 massing, there's one minor point and another one that
4 probably will be discussed in more detail. The first point
5 is the visibility of the proposed roof monitor on the peak
6 when viewed from the streetscape of the historic district.
7 Because of the location of this house, that it is, it is on
8 a natural incline and it is, and it's where a road "T"s, it
9 is pretty visible. So anything that can be done to reduce
10 the height of the roof monitor would be favorable for
11 diminishing any impact on the streetscape.

12 The second one that's probably a little more
13 substantial is the proposed installation, the applicant's
14 proposing to install aluminum or fiberglass clad wood
15 windows in the addition. The Takoma Park guidelines state
16 that some non-original building material may be acceptable
17 on a case-by-case basis. As I've indicated in the staff
18 report, the HPC does not generally approve clad exterior
19 windows and staff is recommending the applicant have a
20 dialogue with the HPC to determine the feasibility of using
21 a clad window on the proposed addition to meet their goal of
22 increased energy and efficiency in establishing or following
23 along with their net zero energy building approach.

24 In terms of the front elevation modifications,
25 staff, as they did the first time, supported some type of

1 alteration at the front. These plans have refined a number
2 of the elements, and they're now proposing installation of
3 awning windows on the left side of the house to reintroduce
4 the transparency, reclaim the open character of the front
5 elevation. As he indicated at the first prelim, it has an
6 enclosed porch that was once an open style porch. Despite'
7 the appropriateness of installing windows in these
8 locations, staff does not support the use of exterior clad
9 windows in any section of the historic massing and actually
10 of the non-historic addition, where I will get to in a
11 minute, as well as in the new addition.

12 Staff, another thing that was briefly referred at
13 the first preliminary consultation and now is much more
14 relevant, is the demolition of the existing garage which is
15 an original historic structure that's subordinate to the
16 main house but in order to accommodate this rear addition
17 and slight extension off the left wall plane, it would be
18 necessary to demolish the garage. And staff feels, they're
19 recommending that the applicant consider relocating it on
20 the property to reuse it and allow it to at least remain
21 subordinate to the historic house.

22 And then lastly, on the left wall, left elevation,
23 if you look at circle 20, and I will show this on a slide in
24 a minute as well for clarification, the applicant is
25 proposing to remove one original window from the historic

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1 massing that's part of three contiguous windows. And the
2 guidelines recommend maintaining the original size and shape
3 of window and door openings where feasible.

4 So the applicant is requesting direction on the
5 feasibility as I have said, of installing exterior clad wood
6 windows in the proposed addition non-historic section of the
7 house and historic massing. And I just want to remind the
8 applicant, as they move forward with their application in
9 proceeding to a Historic Work Area Permit, that just some
10 more detail including floor plans, marked dimensions,
11 locations, size, general wall types will be require on those
12 plans for Historic Work Area Permit, of course for a
13 building permit.

14 I can go through a couple quick slides here for
15 you just to refamiliarize you with this. If you look at the
16 one on the right, that would be standing where I referred
17 to, there's a "T" in the road. I think it's Crescent and
18 Holt I believe. And you can see that, you know, there is
19 this natural topographic change there and you can see the
20 existing garage kind of tucked in behind the car there.

21 This one, these are probably a little bit less
22 relevant now because the applicant's not proposing a partial
23 second-story addition. But nonetheless, the red lines are
24 to indicate the roof lines of the adjacent properties and
25 you can see how much taller the property is on the left and

1 the one on the right is also a little bit taller.

2 Rear yard conditions. You've seen this before. I
3 think this is also in your staff packets. That would be the
4 non-historic addition at the back there. And that's the
5 window that I referred to that was also on circle 20 of the
6 rendering that they'd like to remove. And this is the
7 existing garage. And just to refer evidence, or proof of
8 evidence to show you that there was an alteration or an
9 enclosure to this existing porch, and you can see this is an
10 inside shot on the right of the enclosure. And that's all I
11 have for slides. I can answer any questions.

12 MS. MILES: I have a question. Looking at circle
13 21, it looks to me that there's going to also be additional
14 windows cut through the original massing on the right-hand
15 side.

16 MR. SILVER: I believe, and certainly the
17 applicant can clarify this, but I believe that there will be
18 no changes to the right side elevation, but we can, we can
19 confirm that.

20 MS. MILES: Just look at circle 21.

21 MR. SILVER: It's been indicated that -- you are
22 correct. I also had that same question and I think that
23 it's just part of the rendering and it will be refined
24 moving forward but they looked over to me and nodded that
25 there will be no changes to the existing fenestration on the

1 right elevation.

2 MS. MILES: Thank you.

3 MR. DUFFY: Are there any other significant
4 differences between what we have in front of us and what is
5 intended?

6 MR. SILVER: With the exception of an addition, I
7 would, I would say no. I think that what you do have now
8 is, you know, just some more detail. Even in the
9 renderings, you know, they were more schematic, conceptual.
10 There's a few more details that are in these, in these
11 sketch-ups now that will hopefully explain exactly what the
12 applicant's proposing to do. I hope the staff report sort
13 of pointed those out but I feel that again, I'll refer you
14 to those five bullet points on circle 5 as the things to
15 focus on, that I've called out as, you know, to get feedback
16 from the HPC.

17 MR. FULLER: Are there any other questions for
18 staff? The applicants, you'd like to make a presentation?

19 MR. MAXON: I'm Geoff Maxon, the owner of the
20 property.

21 MR. HUTCHINS: I'm Bill Hutchins, the architect
22 working with Geoff. We don't have a presentation as much
23 as --

24 MR. FULLER: Fine.

25 MR. HUTCHINS: I mean, we had given you a report.

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1 We just want to have a dialogue with you.

2 MR. FULLER: Fine. If anybody has questions for
3 the applicant, please.

4 MS. ALDERSON: Just one. One of the things that
5 kind of jumps out and then keeps on in the staff report is
6 the monitor that projects above. Have you explored ways to
7 bring that down, either down into the slope so it wouldn't
8 be seen or some reconfiguration so you wouldn't see it from
9 the street?

10 MR. HUTCHINS: Well, what we've done, the strategy
11 is to take what was the back gable, the secondary gable of
12 the house, and just extend that back. And then to put the
13 cupola monitor on top of that. Our opinion, looking at the
14 site carefully, is it's not really visible and we can show
15 this in -- well, two things. We're happy to lower it. I
16 think historically, actually, it's shown maybe six, eight
17 inches higher than this vintage bungalow would have so I
18 think it could come down six or eight inches. And I'd also
19 offer it's not really visible. That one view, that coming
20 up Holt with all the trees and everything and it's kind of
21 tucked back a little bit, I'm not sure how visible it would
22 ever be even if it were as high as it is.

23 MS. ALDERSON: So you may want to explore a
24 combination looking what you can do to bring it down a bit
25 and also maybe preparing sight lines that would show that?

1 MR. HUTCHINS: Yes.

2 MS. ALDERSON: Okay.

3 MR. HUTCHINS: But we're happy to bring it down:
4 I think eight inches would be fine and it would still
5 function.

6 MS. ALDERSON: Great.

7 MR. HUTCHINS: Okay.

8 MR. FULLER: Are there other questions for the
9 applicant? Then why don't we go down the line and provide
10 comments to the bullets that staff has given us, plus I'd
11 add the one at the end about be specific about the roof
12 monitor because I don't think that's really covered
13 elsewhere.

14 MR. DUFFY: Well, I can't tell from what we have
15 here whether the roof monitor would not be visible from the
16 public right of way but I think if the applicant could
17 provide sight line or some kind of images that would
18 demonstrate that, it seems pretty conceivable to me that it
19 might not be visible from the public right of way. If that
20 can be demonstrated by the applicant, I'd be fine with it.
21 I just can't tell from this. And the only other -- well,
22 the other concern I have is that enlarging the fenestration
23 on the front elevation is problematic to me because it's the
24 front elevation.

25 MS. ALDERSON: It was the porch so it was, that's

1 not the current wall. We had, we had urged them to look at
2 ways to open it up.

3 MS. MILES: And it's not restoring it to its
4 original appearance. It's certainly a little bit more
5 unusual than just restoring.

6 MS. ALDERSON: Yes. Maybe we, maybe we could talk
7 about the detailing on how to create transparency and how to
8 kind of simulate a porch.

9 MR. DUFFY: Okay. Those are my only comments
10 then.

11 MS. MILES: I don't have any problem as I said at
12 the last, I think, hearing that the elevation on the left
13 side goes beyond the established elevation. I think that's
14 okay. I would concur that as long as the monitor is not
15 visible from the right of way, it doesn't bother me, but
16 we'd need to see it demonstrated that it is not. I would
17 agree that the garage, which is very charming and I think
18 you're going to miss it if you don't have it, I think you
19 would be better off moving it than demolishing it, and it
20 is, I think, part of the original character of the property.

21 I would agree with staff that it should be, these
22 should be wood windows and not clad. I actually like what
23 you're proposing for the front elevation. Although it's not
24 a restoration, I think it's more open and it's an
25 interesting solution to reintroduce fenestration there. And

1 I would not support removing the original window that's on
2 the left side elevation. I guess that's all the questions.

3 MS. ANAHTER: I think that the monitor will not be
4 that visible from the street as far as I can see from the
5 photographs and from the drawings. And front elevation, the
6 new window is fine and smaller wooden support brackets, I
7 agree with the staff report. Relocation of the garage, I
8 recommend doing that. And I don't have a strong opinion on
9 the windows. Either way, I'll be fine.

10 MR. FLEMING: I agree with staff recommendations.

11 MR. ROTENSTEIN: So I'll start with the garage. I
12 think the garage is a character-defining feature of the
13 property and I would urge you to explore a way to move it
14 towards the back.

15 The one-story rear addition extends beyond the
16 left elevation wall plane. I see your issue here with the
17 property line on the other side. It's problematic in that
18 it would interrupt the sight lines from the street to the
19 garage and we generally don't approve additions that extend
20 beyond the existing plane of original massing so I see that
21 as being, perhaps, problematic.

22 I endorse the staff recommendation for wood
23 windows, not the clad windows. And I think what you're
24 proposing to do with the front facade is an improvement over
25 what's there and I think it could use some refinement, and I

1 also would not support removal of the original window.

2 The monitor, before exploring reducing the
3 monitor's height, some sort of visibility analysis, if you
4 can provide us with a 3-D rendering or a visual simulation,
5 photo simulation, I think that would be sufficient.

6 MS. ALDERSON: Okay. We've already talked about
7 the monitors. I think you're going to be working on that,
8 we look forward to the sight lines and a little better
9 refinement.

10 There is a very cheap way that if you're
11 comfortable just rolling the garage straight backwards, you
12 could brace the floor, or if there's not a floor, jack it
13 up, put it on three-inch pipes that function as wheels and
14 with a come-along, roll it straight back, and so this
15 doesn't necessarily have to be a big operation if the walls
16 are hanging together and it's a cheap way to save your
17 garage as something to use if you're happy just moving it to
18 the back of the lot. And then windows, I would encourage
19 you to save the window.

20 And last, I think Tom's going to speak to it in a
21 little more detail, but I'm pleased to see the idea of
22 opening the front up where there was a porch and it should
23 be open and it's the first thing that strikes you. I
24 actually, I did that sort of thing and I remember saying how
25 sad to see the porch enclosed. And I would encourage you to

1 take another look at Houses by Mail, Ward Jandl's book on
2 catalog houses. It has loads of bungalows and think a
3 little more about that kind of detailing and we see, we can
4 see on either corner the piers and I'd like you to think
5 about using that pier detailing maybe on either side of the
6 door, that that's a very defining detail.

7 It's an interesting idea to me kind of recreating
8 a porch overhang but the brackets, to me, don't quite work
9 right. I think maybe go back to the idea of that pier, if
10 you could explore that. And particularly, Tom will speak to
11 this further, but because the bracket kind of projects out
12 from and into this opening, a bit peculiar, there seems to
13 be nothing supporting it. It's kind of running into the
14 glass there.

15 So I don't know if you want to talk to that
16 further, Tom. I'll leave it to him to take it a little
17 further. He's the architect. But I think there's some area
18 for refinement and a wonderful opportunity to kind of get
19 back that, that open appearance that the house originally
20 had in the front.

21 MR. JESTER: I think the massing is generally very
22 successful, it's a vast improvement from what we saw the
23 last time. It is challenging to expand bungalows and I
24 think you've accomplished it pretty well. So I don't have a
25 problem with the expansion on the left side. We have done

1 that in a few cases in Takoma Park so I don't have a problem
2 with the garage removal in this case.

3 I agree with the staff report about the, using
4 wood windows and it's not appropriate to use fiberglass or
5 aluminum clad windows for this property. I think the
6 monitor, I'm not sure you need to lower it. And my one
7 suggestion was to consider maybe shifting a little bit
8 further towards the living room/dining room a little bit so
9 it's a little bit more over the kitchen, so that might
10 actually -- it's pulling it this way so from the street,
11 public right of way, you would see a little bit less. And I
12 don't think it's going to be a problem if you leave it where
13 it is but that's another way to address it, is just to pull
14 it in that direction a little bit.

15 I think the biggest problem I have is the
16 treatment of the front, the front porch and that open area.

17 I understand the desire to create an open appearance there.

18 I think the problem is the glass plane coming all the way
19 down to the floor. I'm not sure what the historic
20 appearance was, whether it was a completely open porch or
21 whether it had kind of a, like a knee wall. Sometimes they
22 have kind of like a guardrail condition with a solid panel
23 across there, so you might consider something a little bit
24 solid in the lower third.

25 And I think Caroline mentioned the condition that

1 this porch overhang kind of in one side dying into kind of a
2 solid wall and the other side dying into like a mullion
3) ~~condition~~. I think it's a little bit awkward so you might
4 look at that a little more closely. Lastly, I also don't
5 support the removal of that window on the left side.

6 MS. ALDERSON: And I'll agree that massing to
7 massing solution is great. It really will blend and nobody
8 will notice it there, and thank you for being so responsive
9 on that.

10 MR. BURSTYN: The only thing I would note is that
11 the home seems to be elevated from the street which makes it
12 even more difficult to see the rear addition and as long as,
13 like you said, you can't see the rear addition, then I think
14 you should be given latitude what you want to do in the
15 rear.

16 MR. FULLER: I guess my individual comments are I
17 do think that massing is in the right direction. I would
18 like to see the garage relocated rather than demolished. I
19 would prefer to see real wood windows. Alterations at the
20 front, I think it's in the right direction but I think it
21 could stand some more work and echo the other commissioners'
22 comments on that. Removal of the window, I would not
23 support it, and the roof monitor, I agree, that I think it's
24 pretty minimal. I'd like to see the studies.

25 So I think in summary, you've heard fairly

1 unanimously that most everybody is okay with constructing
2 the, who spoke to it, spoke on the left side. There's one
3 vote that felt that that was inappropriate to extend out to
4 the left. Demolishing the garage, I think most people,
5 again, felt it was okay. There's one voice that said it
6 might be all right. Feasibility of using the wood, again,
7 it was the majority said they wanted wood, one said they'd
8 consider. Alteration to the front elevation, I think
9 everybody was in the direction it was doing the right thing.
10 And then the removal of the window, same thing. Roof
11 monitor.

12 The only thing I will comment on is that of the
13 nine people here tonight, three of us will not be on the
14 board so that you'll have a slightly different dynamics when
15 you come back in for your HAWP. Lee, Nuray and myself will
16 not be here to hear it next time. So do you feel you have
17 enough --

18 MS. MILES: Mr. Chairman, can I -- I'm sorry. Can
19 I just, I believe you said that you thought there was
20 virtually unanimity in support of demolishing the garage and
21 I --

22 MR. FULLER: No.

23 MS. MILES: You meant retaining. I just wanted to
24 clarify.

25 MR. FULLER: Thank you for correcting me.

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1 MR. HUTCHINS: Can we comment?

2 MR. FULLER: Certainly.

3 MR. HUTCHINS: Thanks. The issue of the garage is
4 one that it's literally falling apart. It's completely
5 termite-ridden. The client also -- so on one level we're
6 happy to explore structurally, if we can sister on studs,
7 but it's literally crumbling in its place. The other issue
8 since we needed to do this addition in the backyard, the
9 client's lost lot occupancy basically. We have a lot of
10 footprint and, you know, minimizing footprint is something
11 we desire to do as far as green strategies. So to add
12 something else, to put this in the backyard then is
13 diminishing the amount of open space. So those are the two
14 considerations on our side.

15 So I guess one of them we just need to like give
16 you a technical report to show just what it would cost to
17 rebuild this garage. Is that how this works?

18 MS. ALDERSON: More documentation on the
19 condition.

20 MR. ROTENSTEIN: Yes. Definitely.

21 MR. HUTCHINS: Okay.

22 MR. ROTENSTEIN: I think what we'd want to see is
23 some demonstration that the garage can't be rehabilitated or
24 would be irreparably damaged by relocation.

25 MR. HUTCHINS: And cost should be in that equation

1 I would hope.

2 MR. ROTENSTEIN: Cost, cost could be included but
3 I think our primary concern is whether or not the building
4 can be rehabilitated and then we'd go from there.

5 MR. HUTCHINS: Okay. Because I certainly
6 aesthetically agree with you. I mean, my thought is just to
7 push it all the way back and, directly back along that
8 property line so when you did approach, you would actually
9 see that back there and it would still be part of the
10 streetscape. But these are just the other considerations
11 we're trying to address.

12 MR. FULLER: Okay. Thank you.

13 MR. HUTCHINS: That's on one point.

14 MR. FULLER: Okay. I'm sorry.

15 MR. HUTCHINS: Sorry. The windows, you know,
16 energy efficiency issues are paramount in today's world and
17 the window we're recommending, which is formerly Upend
18 Window, now Cirus Window, is the only window which qualifies
19 for the new tax credit, \$1500 tax credit for the client.
20 It's triple the energy efficiency of any other conventional
21 window, particularly a wood window which also has thermal
22 bridging issues. And that's just, you know, a question for
23 me working with you.

24 I mean, all of us, we completely support your
25 intentions but the client, you know, cares about these

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1 things deeply and so how do we reconcile that? I mean,
2 you're asking us to use a window which is adding to global
3 greenhouse gases, adding energy inefficiency for him, but he
4 wants to honor the historic presence, so can we use more
5 energy efficient windows in the back where they would never
6 be seen from the street and just use your wood windows for
7 the front? How do we approach that?

8 MR. DUFFY: Well, I'll offer a comment. This is
9 an issue that I think is going to grow in the future and
10 it's a difficult one for me. This Commission has, in the
11 past, I think, correct me if I'm wrong, but we've been more
12 lenient on the back additions in terms of the type of window
13 we've allowed. I would be okay with a compromise situation
14 where on the original structure, they were wood windows but
15 on the rear addition, it was not wood, more energy
16 efficient. But that's my own compromise position.

17 MS. ALDERSON: I agree.

18 MR. JESTER: I actually agree also. And I would
19 just add that it is a bit of a balancing act because
20 preservation is part of sustainability. I mean, cultural
21 preservation is a part of sustainability. The other point
22 is that in many cases, the most sustainable thing you can do
23 is to retain the existing materials you have. The life
24 cycle assessments with, you know, extraction of materials to
25 make metal windows and all that are worth considering. I'm

1 not suggesting that you keep the windows but that's another
2 part of it. So I think I'd be open to the idea of wood
3 replacement windows in the historic section and something
4 that's closer to what you're looking for for the back.

5 MR. HUTCHINS: Okay.

6 MR. FULLER: The old embodied windows are --

7 MR. WHIPPLE: Mr. Chairman, I'd just like to
8 stress that it might help the Commission when the applicants
9 come back if they include in their submission materials
10 about the windows that --

11 MR. HUTCHINS: I can bring in a sample of the
12 window.

13 MR. FULLER: From my perspective, one of the other
14 things, if you're going to propose a window that's different
15 in the back, to me, the more it distinguishes itself so that
16 it's not really trying to mimic the other, you're making a
17 clear differentiation, I think it makes sense.

18 MR. DUFFY: In addition, there are ways to improve
19 the energy performance of historic wood windows, and this is
20 something that staff has dealt with applicants in the past
21 and perhaps they could help with that as well.

22 MR. HUTCHINS: Okay. Any more comments? I
23 appreciate wanting to in the front porch, trying to give a
24 sense of the original front porch. I would love to put
25 panels down low for energy efficiency again so where we had

1 awnings to put solid panels where we're going to insulate
2 that, would be fine. I appreciate it. Did I understand you
3 correctly? So we're happy to explore that.

4 The one window we are proposing to take out on the
5 northeast elevation was again just for energy efficiency.
6 It's a north-facing, it's going to lose -- the expression
7 goes a good window is still a very bad wall so we were just
8 trying to but, you know, we're willing to let go, let go of
9 that one.

10 MR. FULLER: We can't stop you from blocking it on
11 the inside.

12 MR. DUFFY: That would be something that's highly
13 insulated.

14 MR. HUTCHINS: The last question I have is which
15 actually none of you talked about but it was in our little
16 text is we don't exactly know what the existing siding is.
17 We're assuming that the garage was built at the same time
18 and therefore, probably the same siding. So what is
19 protocol for this once we take off all the asbestos, you
20 know, maybe the original siding's there. Are we expected to
21 take that off, see what's there, if it's in decent
22 condition, refurbish it? Is that the process?

23 MS. ALDERSON: Go ahead.

24 MR. FULLER: It's certainly the preference, yes.

25 MR. HUTCHINS: So we can insulate from the inside.

1 That's fine.

2 MS. ALDERSON: We encourage it and most people are
3 very happy taking off their asbestos siding and showing off
4 the wood. And I've never heard of a case where it wasn't in
5 a condition that it couldn't be repaired.

6 MR. HUTCHINS: Actually, one we did on Maple
7 Avenue last year, it was, there was nothing behind the
8 aluminum siding. 7400 Maple. But anyway, that's another
9 question. I think that's it from us. Anything else?

10 MR. FULLER: Thank you very much.

11 MR. HUTCHINS: Thank you.

12 MR. HUTCHINS: Next on the agenda is minutes. Do
13 we have the February 11th covered?

14 MS. ALDERSON: Yes. With corrections submitted.
15 I move that we approve the February 11th minutes.

16 MS. MILES: Second.

17 MR. FULLER: All in favor.

18 VOTE.

19 MR. FULLER: Approved. February --

20 MS. FOTHERGILL: I'm not sure this is accurate,
21 but have the January 14th minutes not been, the corrected
22 minutes, have you submitted those, Leslie? It says Leslie?

23 MS. MILES: Is that the one that had all the
24 unidentified speakers in it?

25 MS. FOTHERGILL: I don't know.

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