

Fothergill, Anne

From: Fothergill, Anne
Sent: Wednesday, March 14, 2012 3:41 PM
Subject: staff item: 6 East Lenox
Attachments: lenox proposed site plan 3.14.pdf

The applicants at 6 East Lenox are currently building a rear addition that was approved by HPC. Prior to the addition, the house had a flagstone patio and walkway that were removed for the addition and the applicant kept the stone and would like to install a new side patio and walk as shown in the attached site plan. They also would like to install a 24 x 26' paved area at the rear of the yard for sports.

I will bring color copies of the site plan and photos of the house to the worksession.

thanks,
Anne

Anne Fothergill
Planner Coordinator
M-NCPPC
Montgomery County Planning Department
Functional Planning and Policy Division
Historic Preservation Section
1400 Spring Street, Suite 500W
Silver Spring, MD 20910
(301) 563-3400 phone
(301) 563-3412 fax
anne.fothergill@montgomeryplanning.org
www.montgomeryplanning.org/historic

OK ✓

← LENOX STREET →

DUE EAST LINE - 70'

LOT 13

25' BRL

45'

28.7'

PORCH

2-STORY
FRAME
HOUSE

NEW Flagstone
Patio Replacing
old Displaced By
Addition (See
Original Site plan)

DUE NORTH LINE - 125'

DUE SOUTH LINE - 125'

Mulched Flower
Bed and Screening
Shrubs Surrounding
New Play Area.

NEW 24'
CONCRETE
PLAY AREA TO
BE PAINTED
GREEN

NEW SOD

NEW 4' Flagstone
Walk to Replace
Walk Displaced By
Addition. (SEE
Original Site plan)

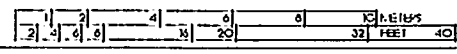
DRIVEWAY

GARAGE

DUE WEST LINE - 70'



6 EAST LENOX STREET
CHEVY CHASE, MD 20815



ATB 33631 TWB 2119
HOUSE LOCATION PLAT
#6 EAST LENOX STREET
PART OF LOT 13

BLOCK 36 SECTION NO. 2
CHEVY CHASE, MONTGOMERY COUNTY, MD
PLAT BOOK 2 PLAT 106

DECEMBER 09, 2011

Fothergill, Anne

Subject: FW: 6 E Lenox
Attachments: 20120314120742655.pdf

From: JP Matan [<mailto:JP@mataninc.com>]
Sent: Wednesday, March 14, 2012 12:50 PM
To: Fothergill, Anne
Subject: RE: 6 E Lenox

Anne –

Attached is the original site plan (pre-addition) and the site plan with the addition and proposed hardscape work. As you can see on the original site plan there was a flagstone walk and patio that wrapped the back of the house from the driveway to the front porch. A portion of this was affected by the expansion so we took up most of the flagstone and reserved to put back. Our plan is to basically recreate that area using as much of the original flagstone as possible and matching the rest the best we can. The proposed dimensions are very similar what was already there and the landings for the stairs are on the approved plans.

We are also proposing a concrete pad in rear corner for a play area and/or sport court. We felt this was a very good location because it is screened by our garage for our neighbors to the east, and also screened by our neighbor's garages to the south and west. We plan to paint the pad green (special paint used for this purpose) to blend with the landscape and we also plan to do extensive landscaping around the court for additional screening and aesthetics. The balance of the yard will be new sod and extensive landscaping. When we bought the house there had been little landscaping and ongoing maintenance being done to the property, so I am confident that the finished product will be far nicer than when we started.

As far as the garage, nothing is being done to the structure. There was some damaged concrete in the driveway in front of the garage where the driveway will meet the new walk. My contractor felt it was a good time to repair while we had the concrete there. We are also replacing some damaged wood in the rear with some original siding we found in the garage and other parts of the project. Small areas maybe 4'X5'.

I apologize for any confusion with this process. I certainly would have followed the proper procedure had I known I was required. No permit is required for this work from the county. The concrete for the patio, walk, and court had been poured by the time I was alerted by the Village. I have spoken with the Village and I do need their approval. The project is acceptable by them and allowable by their standards, they just need the proper paperwork and an OK from the HPC. They would accept an e-mail. I hope this makes sense. I am available anytime by cell. 240-277-9446.

JP Matan



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Leslie Miles
Chairperson

Date: 12/22/11

MEMORANDUM

TO: Diane Schwartz Jones, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #585249—rear addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on December 21, 2011.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Joseph and Hollace Matan
Address: 6 East Lenox Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

NOV 22 2011

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JP MATAN
Daytime Phone No.: 240 277 9446

Tax Account No.: _____
Name of Property Owner: Joseph + Hollace Matan Daytime Phone No.: 240 277 9446
Address: 6 EAST LENOX Street (Chey Chase, MD 20815)
Street Number City Street Zip Code
Contractor: WJK Construction Phone No.: 240 464 4749
Contractor Registration No.: _____
Agent for Owner: Will Pinto Daytime Phone No.: 240 464 4749

LOCATION OF BUILDING/PREMISE

House Number: 6 EAST LENOX Street: _____
Town/City: CHEY CHASE Nearest Cross Street: CONNECTICUT AVE
Lot: 13 Block: 36 Subdivision: 0009
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 200,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: _____ Date: 11/22/11

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 12/22/11
Application/Permit No.: 585249 Date Filed: 11/22/11 Date Issued: _____

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	6 East Lenox Street, Chevy Chase	Meeting Date:	12/21/11
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	12/14/11
Applicant:	Joseph and Hollace Matan	Public Notice:	12/7/11
Review:	HAWP	Tax Credit:	Partial
Case Number:	35/13-11LL	Staff:	Anne Fothergill

PROPOSAL: Construction of rear addition

STAFF RECOMMENDATION

Staff recommends that the HPC approve the application.

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Shingle
DATE: 1896

PROPOSAL

The applicants are proposing to construct a two-story rear addition. They will remove a bay on the rear of the second floor and expand a one-story non-historic addition. The proposed materials are wood lap siding, wood windows and doors, and asphalt shingle roofing to match the house.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District

The Guidelines define a Contributing Resource as "A resource which contributes to the overall character of the district and its streetscape, but which is of secondary architectural and historical significance. A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations. Contributing resources add to the overall streetscape due to their size, scale, and architectural character."

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

Specifically, the *Guidelines* state:

- o *Major additions* should, where feasible, be placed at the rear of the existing structure so that they are less visible from the public right-of-way. Major additions which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited. For example, where lot size does not permit placement to the rear, and the proposed addition is compatible with the streetscape, it should be subject to moderate scrutiny for contributing resources, but strict scrutiny for outstanding resources.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the

historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The *Guidelines* state that major additions should be located at the rear of the house. The proposed addition is located at the rear of the house and inset from the historic block allowing the original corners to be visible and clear differentiation between the old and new. The materials, massing and scale are compatible with the house. With this addition the character-defining features of this house will retain their integrity and staff finds it is approvable using moderate scrutiny and the review criteria.

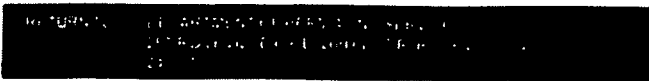
STAFF RECOMMENDATION

Staff recommends that the Commission **approve** this HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JP MATAN
Daytime Phone No.: 240 277 9446

Tax Account No.:
Name of Property Owner: Joseph + Hollace MATAN Daytime Phone No.: 240 277 9446
Address: 6 EAST LENOX Street Chevy Chase, MD 20815
Contractor: WJK Construction Phone No.: 240 464 4749
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House Number: 6 EAST LENOX Street
Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE
Lot: 13 Block: 36 Subdivision: 0009
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
Construct [] Extend [x] Alter/Renovate [] A/C [] Slab [] Room Addition [x] Porch [] Deck [] Shed []
Move [] Install [] Wreck/Raze [] Solar [] Fireplace [] Woodburning Stove [] Single Family [x]
Revision [] Repair [] Revocable [] Fence/Wall (complete Section 4) [] Other:
1B. Construction cost estimate: \$ 200,000
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [x] WSSC 02 [] Septic 03 [] Other:
2B. Type of water supply: 01 [x] WSSC 02 [] Well 03 [] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[] On party line/property line [] Entirely on land of owner [] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

11/22/11 Date

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING HOME WAS BUILT IN 1896. IT IS A
3 STORY FARM HOME WITH A LARGE FRONT PORCH, LEAD
AND WOOD SHAP SIDING, AND MANY PERIOD DECORATIVE
WINDOWS. THE HOME SITS ON AN AVERAGE SIZE LOT
FOR THE NEIGHBORHOOD. THE CHARACTER OF THE HOME
IS TYPICAL OF THE NEIGHBORHOOD. "CLASSIC ELEGANT HOME."

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE MASONRY OF THE HOUSE IS ORIGINAL AND OUR GOAL IS TO
PRESERVE THAT CHARACTER. AN ADDITION WAS ADDED BY THE
PREVIOUS OWNERS IN THE LATE EIGHTIES. OUR GOAL IS TO EXPAND +
ENHANCE THAT ADDITION TO BETTER FIT THE CHARACTER
AND CHARM OF THE HOME AS DESCRIBED IN THE ATTACHED DOCUMENTS.

2. SITE PLAN ATTACHED ✓

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS ATTACHED ✓

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS ATTACHED ✓

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS ATTACHED ✓

- Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY N/A ✓

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS ATTACHED ✓

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Joseph P. MATAN (JP) Hollace O. MATAN (Lacey) 6 E. LENOX Street Chevy CHASE, MD 20915	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
EAST PAUL + KEELIN GALLAGHER 8 E. LENOX St. Chevy CHASE, MD 20915	WEST SEAN BOLAND 4 E. LENOX STREET Chevy CHASE, MD 20915
NORTH CHRISTOPHER MELLON 9 E. LENOX Street Chevy CHASE, MD 20915	SOUTH PAUL PROMELIN SEAST KIRKE Street Chevy CHASE, MD 20915
(Empty)	(Empty)

MATAN RESIDENCE

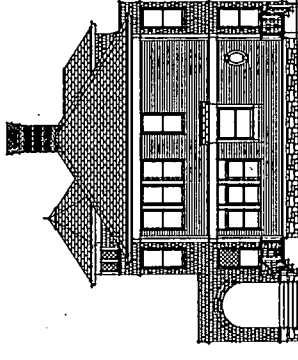
JP & Lacey Matan
Client

6 E Lenox Street
Chevy Chase, MD 20815

Arch+ive Design
Architect

47 E South Street
Suite 203
Frederick, MD 21701
301-620-2090

6 E LENOX STREET
CHEVY CHASE, MD 20815

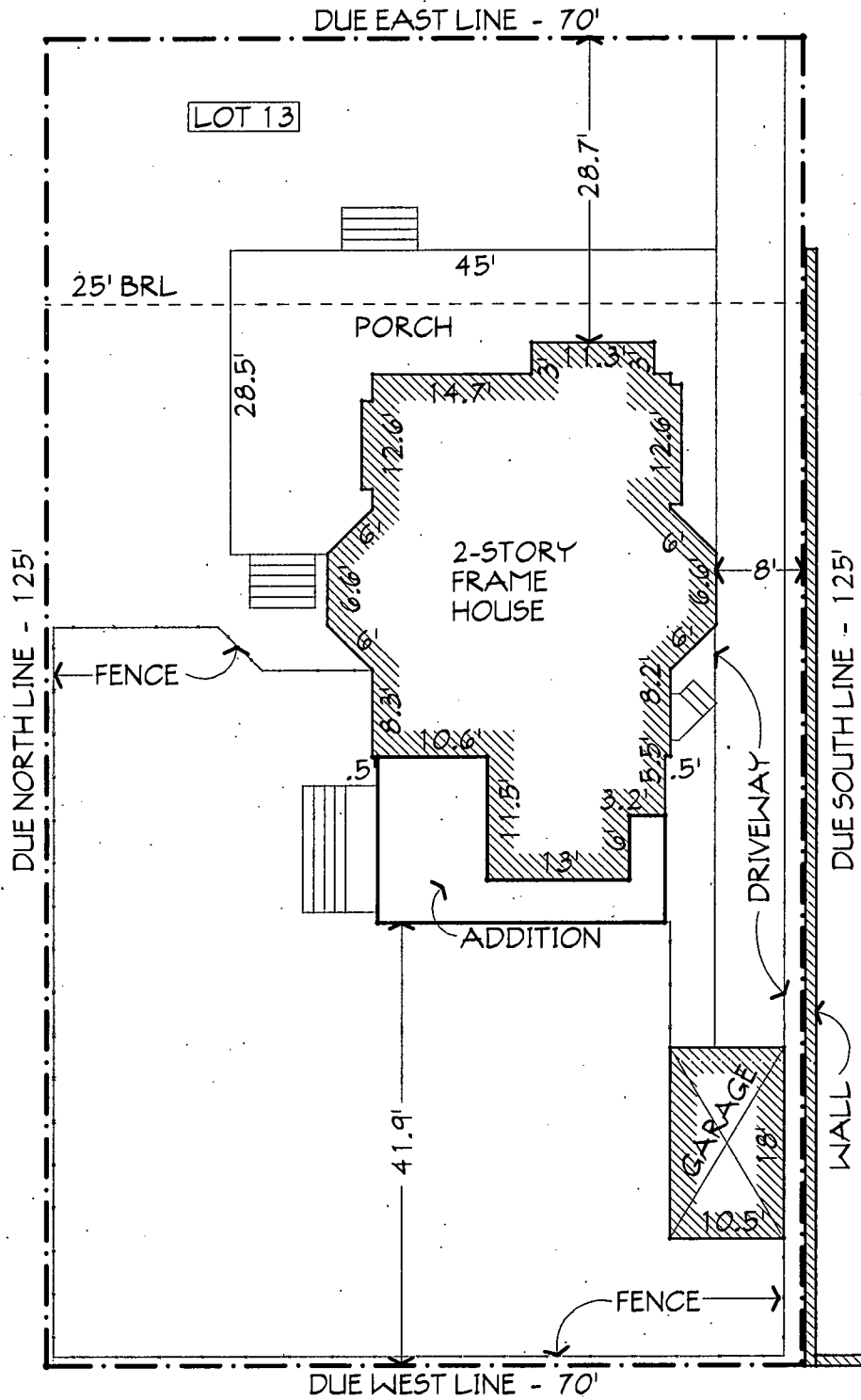


HPC-HAWP / PRICING

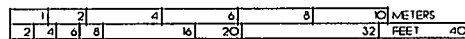
12-08-11



LENOX STREET



6 EAST LENOX STREET
CHEVY CHASE, MD 20815



ATB 33631 TWB 2119
HOUSE LOCATION PLAT
#6 EAST LENOX STREET
PART OF LOT 13

BLOCK 36 SECTION NO. 2
CHEVY CHASE, MONTGOMERY COUNTY, MD
PLAT BOOK 2 PLAT 106

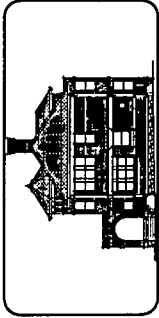
DECEMBER 09, 2011

8



arch+ive
47 E SOUTH STREET
Suite 203
Frederick, MD 21701
301-620-2090

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KEY TO SYMBOLS

- EXISTING WALLS TO REMAIN
- NEW WALLS
- NEW WALLS - FURROUT
- WALLS TO BE REMOVED
- ASPHALT SHINGLES
- WOOD LAP SIDING
- RANDOM CEDAR SIDING
- FACE BRICK
- STONE FOUNDATION

NO	DATE	DESCRIPTION
1	11-18-11	HPC-HAWP PERMIT
2	12-08-11	REVISED - HPC REVIEW

PROPOSED ALTERATION PLANS
HPC-HAWP / PRICING

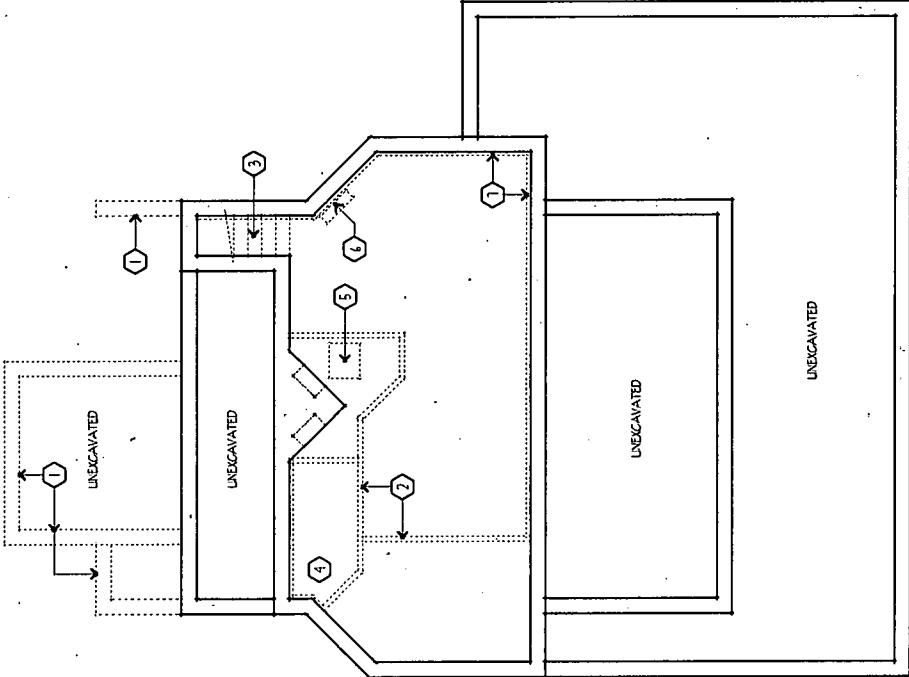
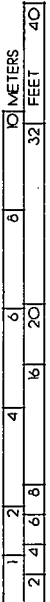
MATAN RESIDENCE
6 EAST LENOX STREET
CHEVY CHASE, MD

BASEMENT

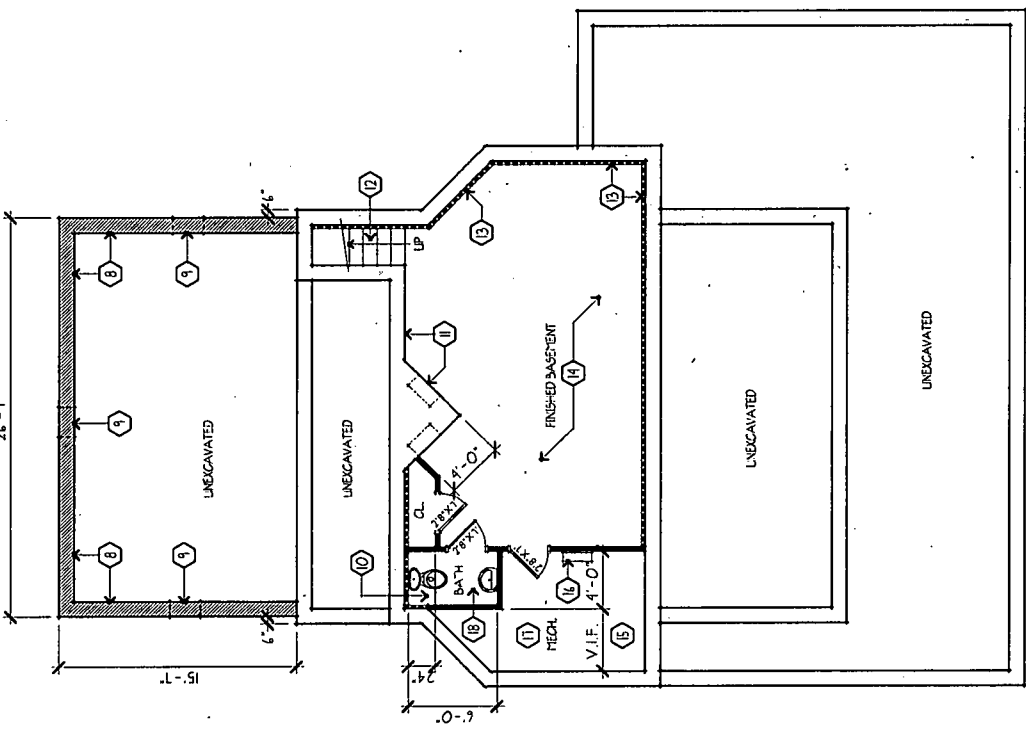
DATE	DRAWN BY	FLOOR NUMBER
11-21-11	BOB	B

JOB NUMBER	CHECKED BY	FILE NAME	SHEET NUMBER
11-065	BOB	LENOX - MASTER	A-1

SCALE: 1/8" = 1'-0"
1 of 10



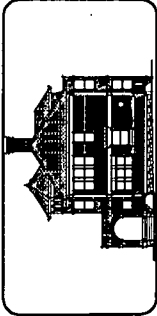
B BASEMENT FLOOR DEMOLITION PLAN
1/8" = 1'-0"



B BASEMENT FLOOR PROPOSED NEW WORK PLAN
1/8" = 1'-0"



For this work, the contractor shall be responsible for obtaining all necessary permits from the government and educational institutions. The contractor shall be responsible for obtaining all necessary permits from the government and educational institutions. The contractor shall be responsible for obtaining all necessary permits from the government and educational institutions.



- KEY TO SYMBOLS**
- EXISTING WALLS TO REMAIN
 - NEW WALLS
 - - - - - NEW WALLS - FURROUT
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 - ▨ ASPHALT SHINGLES
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 - ▨ FACE BRICK
 - ▨ STONE FOUNDATION

NO	DATE	DESCRIPTION
1	11-18-11	HPC-HAMP PERMIT
2	12-08-11	REVISED - HPC REVIEW

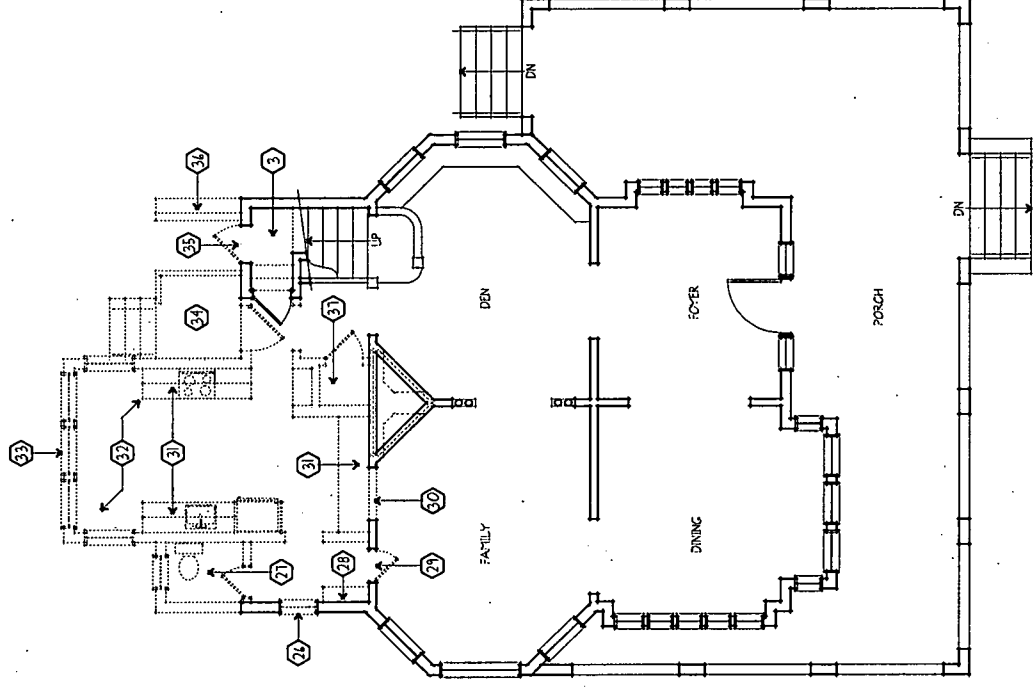
PROPOSED ALTERATION PLANS
HPC-HAMP / PRICING

MATAN RESIDENCE
6 EAST LENOX STREET
CHEVY CHASE, MD

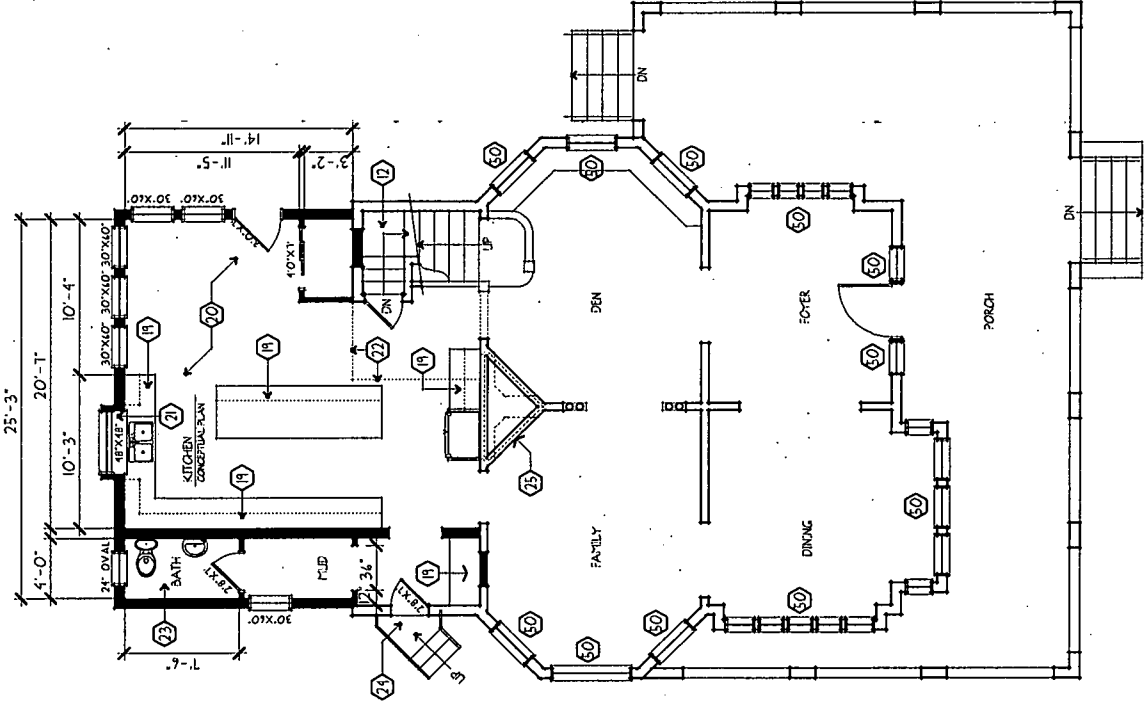
FIRST FLOOR

DATE	DRAWN BY	FLOOR NUMBER
11-21-11	BOB	1
JOB NUMBER	CHECKED BY	
11-065	BOB	

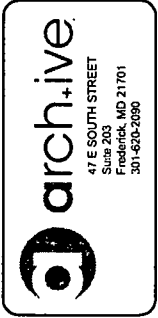
FILE NAME	SHEET NUMBER
LENOX - MASTER	A-2
SCALE	
1/8" = 1'-0"	2 of 10



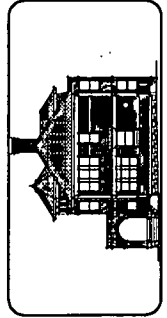
1 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"



1 FIRST FLOOR PROPOSED NEW WORK PLAN
1/8" = 1'-0"



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- - - - WALLS TO BE REMOVED
- ▨ ASPHALT SHINGLES
- ▩ WOOD LAP SIDING
- ▧ RANDOM CEDAR SIDING
- ▦ FACE BRICK
- ▥ STONE FOUNDATION

NO.	DATE	DESCRIPTION
1	11-18-11	HPC-HAWP PERMIT
2	12-08-11	REVISED - HPC REVIEW

PROPOSED ALTERATION PLANS
HPC-HAWP / PRICING

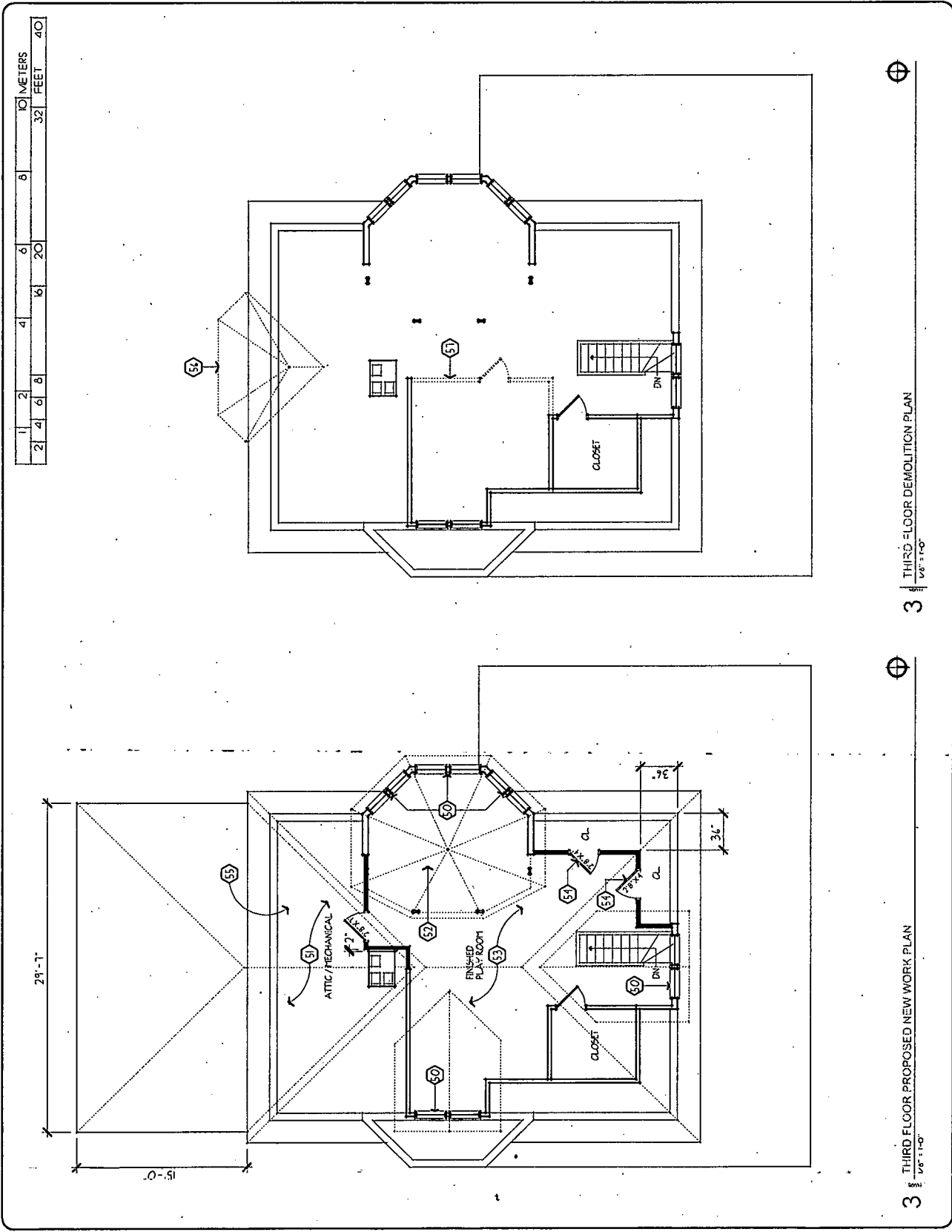
MATAN RESIDENCE
6 EAST LENOX STREET
CHEVY CHASE, MD

THIRD FLOOR

DATE	DRAWN BY	FLOOR NUMBER
11-21-11	BOB	3

NO. NUMBER	CHECKED BY	FILE NAME	SHEET NUMBER
11-065	BOB	LENOX - MASTER	A-4

SCALE: 1/8" = 1'-0"
4. OF 10



3 THIRD FLOOR DEMOLITION PLAN
1/8" = 1'-0"

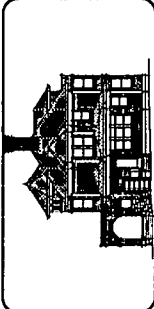
3 THIRD FLOOR PROPOSED NEW WORK PLAN
1/8" = 1'-0"

11



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KEY TO SYMBOLS

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- ▬ NEW WALLS - FURROUT
- - - - - WALLS TO BE REMOVED
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- ▧ RANDOM CEDAR SIDING
- ▦ FACE BRICK
- ▩ STONE FOUNDATION

NO.	DATE	DESCRIPTION
1	12-12-11	HPC-HAWP PERMIT

EXISTING PLANS
 HPC-HAWP

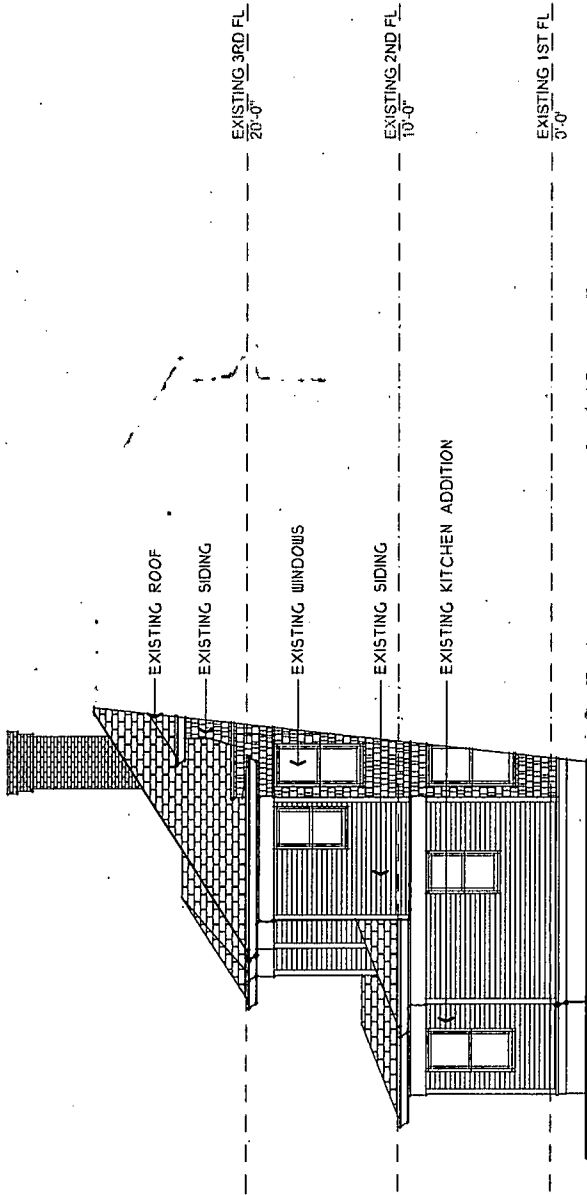
MATAN RESIDENCE
 6 EAST LENOX STREET
 CHEVY CHASE, MD

EXISTING EAST ELEVATION

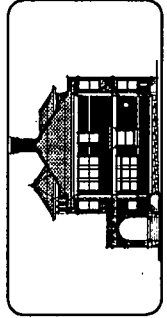
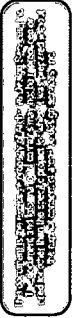
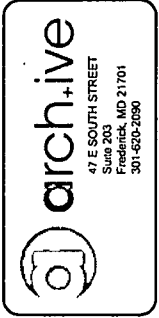
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JOB NUMBER	11-065	CHECKED BY	BOB
FILE NAME	LENOX - EXISTING		
SCALE	1/8" = 1'-0"	SHEET	3 OF 4

FLOOR NUMBER -
 SHEET NUMBER **EX-3**

1	2	4	6	8	10	METERS
2	4	6	8	10	12	FEET



E | EXISTING EAST ELEVATION
 1/8" = 1'-0"



NO	DATE	DESCRIPTION
1	11-18-11	HPC-HAWP PERMIT
2	12-08-11	REVISED - HPC REVIEW

NO	DATE	DESCRIPTION
1	11-18-11	HPC-HAWP PERMIT
2	12-08-11	REVISED - HPC REVIEW

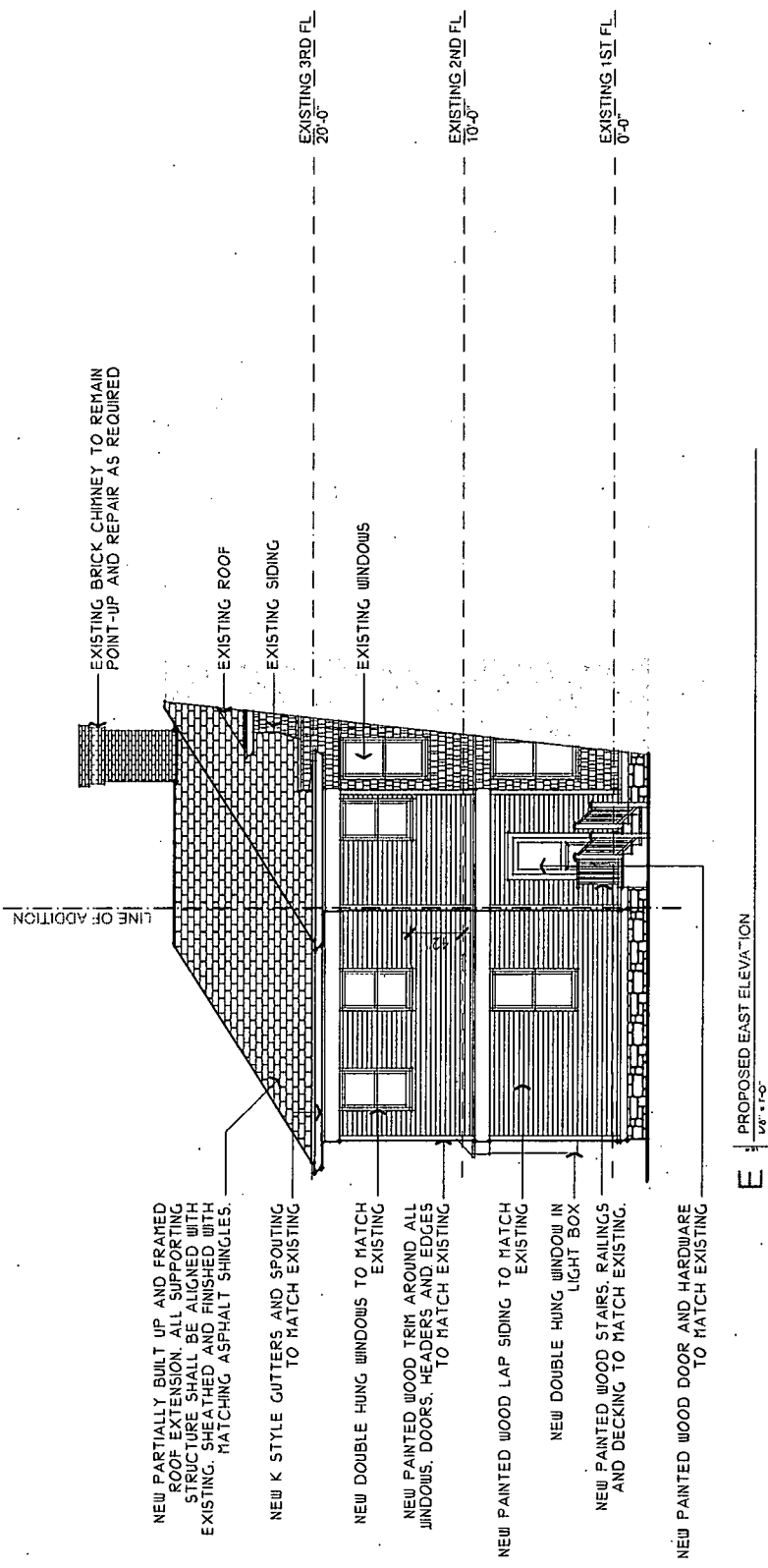
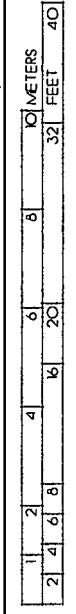
PROPOSED ALTERATION PLANS
HPC-HAWP / PRICING

MATAN RESIDENCE
6 EAST LENOX STREET
CHEVY CHASE, MD

EAST ELEVATION

DATE	PREPARED BY	FLOOR NUMBER
11-21-11	BOB	-

JOB NUMBER	CHECKED BY	SHEET NUMBER
11-065	BOB	A-7



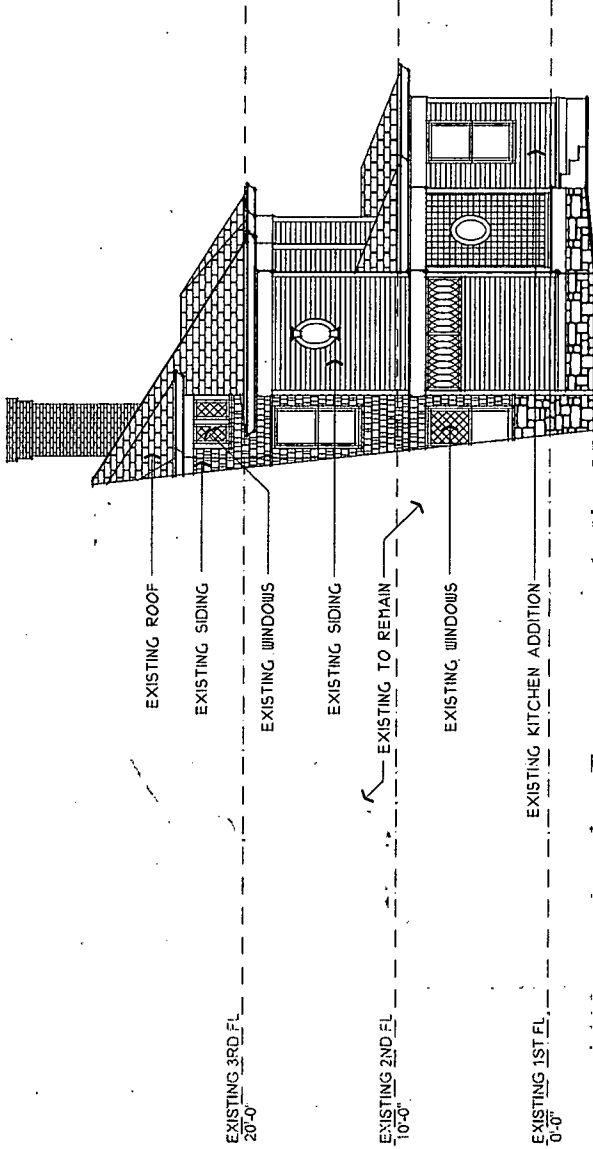
E | PROPOSED EAST ELEVATION
1/8" = 1'-0"

1	2	4	6	8	10
2	4	6	8	10	12

METERS

2	4	6	8	10	12	14	16	18	20	22	24	26	28	30	32	34	36	38	40
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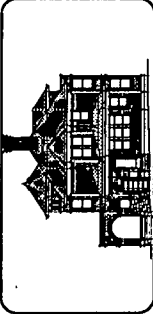
FEET



W | EXISTING WEST ELEVATION
1/8" = 1'-0"

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KEY TO SYMBOLS

- EXISTING WALLS TO REMAIN
- NEW WALLS
- NEW WALLS - FURROUT
- WALLS TO BE REMOVED
- ▨ ASPHALT SHINGLES
- ▩ WOOD LAP SIDING
- ▧ RANDOM CEDAR SIDING
- ▦ FACE BRICK
- ▩ STONE FOUNDATION

NO.	DATE	DESCRIPTION
1	12-12-11	HPC-HAMP PERMIT

EXISTING PLANS
HPC-HAMP

MATAN RESIDENCE
6 EAST LENOX STREET
CHEVY CHASE, MD

EXISTING WEST ELEVATION

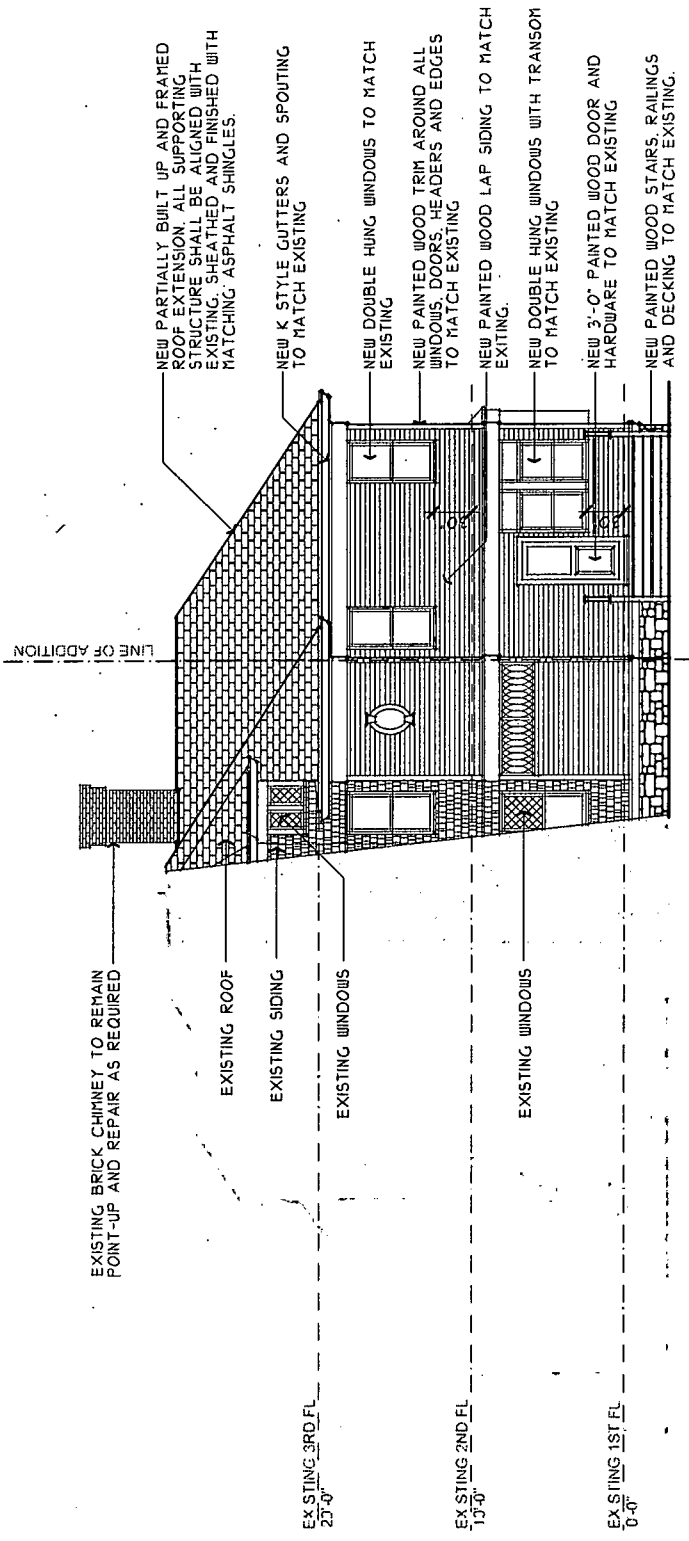
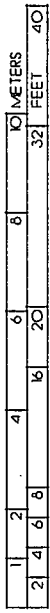
DATE	DESIGN BY	FLOOR NUMBER
12-12-11	BOB	-

JOB NUMBER	CHECKED BY
11-065	BOB

FILE NAME
LENOX - EXISTING

SCALE	SHEET
1/8" = 1'-0"	1 OF 4

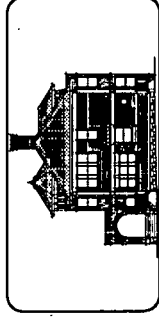
EX-1



W | PROPOSED WEST ELEVATION
1/2" = 1'-0"

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KEY TO SYMBOLS

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—	NEW WALLS
----	NEW WALLS - FURROUT
----	WALLS TO BE REMOVED
▨	ASPHALT SHINGLES
▨	WOOD LAP SIDING
▨	RANDOM CEDAR SIDING
▨	FACE BRICK
▨	STONE FOUNDATION

NO.	DATE	DESCRIPTION
1	11-18-11	HPC-HAMP PERMIT
2	12-08-11	REVISED - HPC REVIEW

PROPOSED ALTERATION PLANS
HPC-HAMP / PRICING

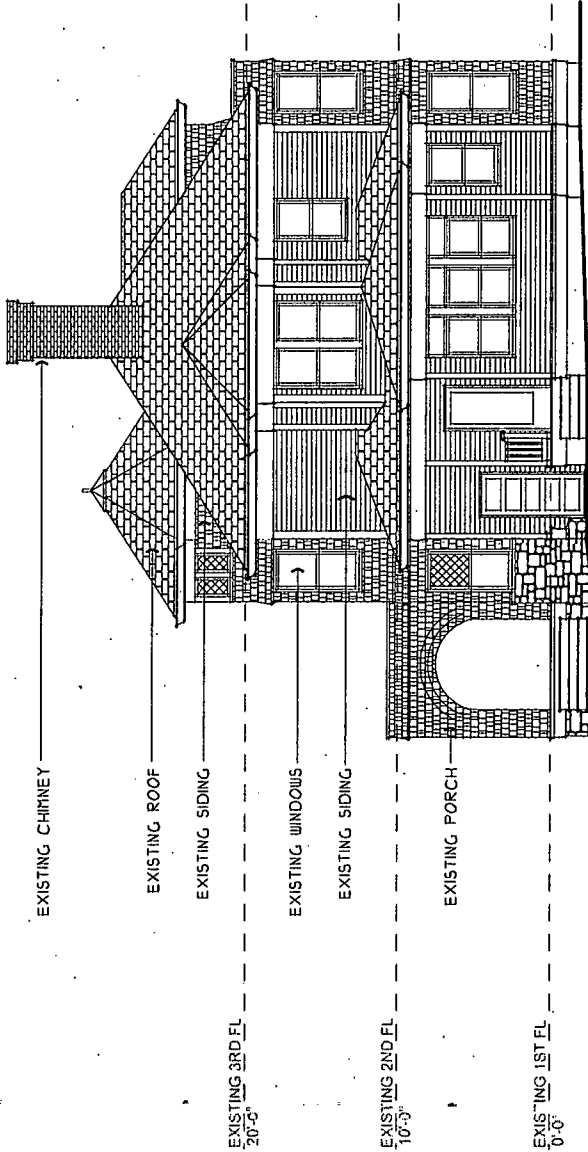
MATAN RESIDENCE
6 EAST LENOX STREET
CHEVY CHASE, MD

WEST ELEVATION

DATE	DRAWN BY	FLOOR NUMBER
11-21-11	BOB	-

JOB NUMBER	CHECKED BY	FILE NAME	SHEET NUMBER
11-065	BOB	LENOX - MASTER	5 OF 10

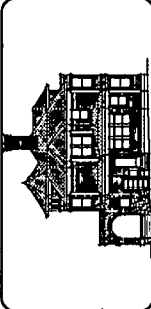
SCALE	SHEET	SHEET NUMBER
1/8" = 1'-0"	5 OF 10	A-5



S EXISTING SOUTH ELEVATION
 1/8" = 1'-0"

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- ▩ WOOD LAP SIDING
- ▧ RANDOM CEDAR SIDING
- ▦ FACE BRICK
- ▤ STONE FOUNDATION

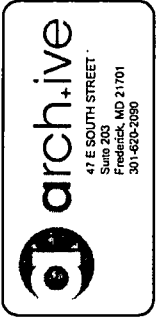
NO.	DATE	DESCRIPTION
1	12-12-11	HPC-HAWP PERMIT

EXISTING PLANS
 HPC-HAWP

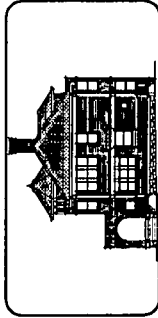
MATAN RESIDENCE
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EXISTING SOUTH ELEVATION

DATE	12-12-11	DRAWN BY	BOB	FLOOR NUMBER	-
JOB NUMBER	11-065	CHECKED BY	BOB	SHEET NUMBER	EX-2
FILE NAME	LENOX - EXISTING				
SCALE	1/8" = 1'-0"	SHEET	2 OF 4		



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KEY TO SYMBOLS

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—	NEW WALLS
—	NEW WALLS - FURROUT
---	WALLS TO BE REMOVED
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▩	RANDOM CEDAR SIDING
▪	FACE BRICK
▫	STONE FOUNDATION

NO.	DATE	DESCRIPTION
1	11-18-11	HPC-HAMP PERMIT
2	12-08-11	REVISED - HPC REVIEW

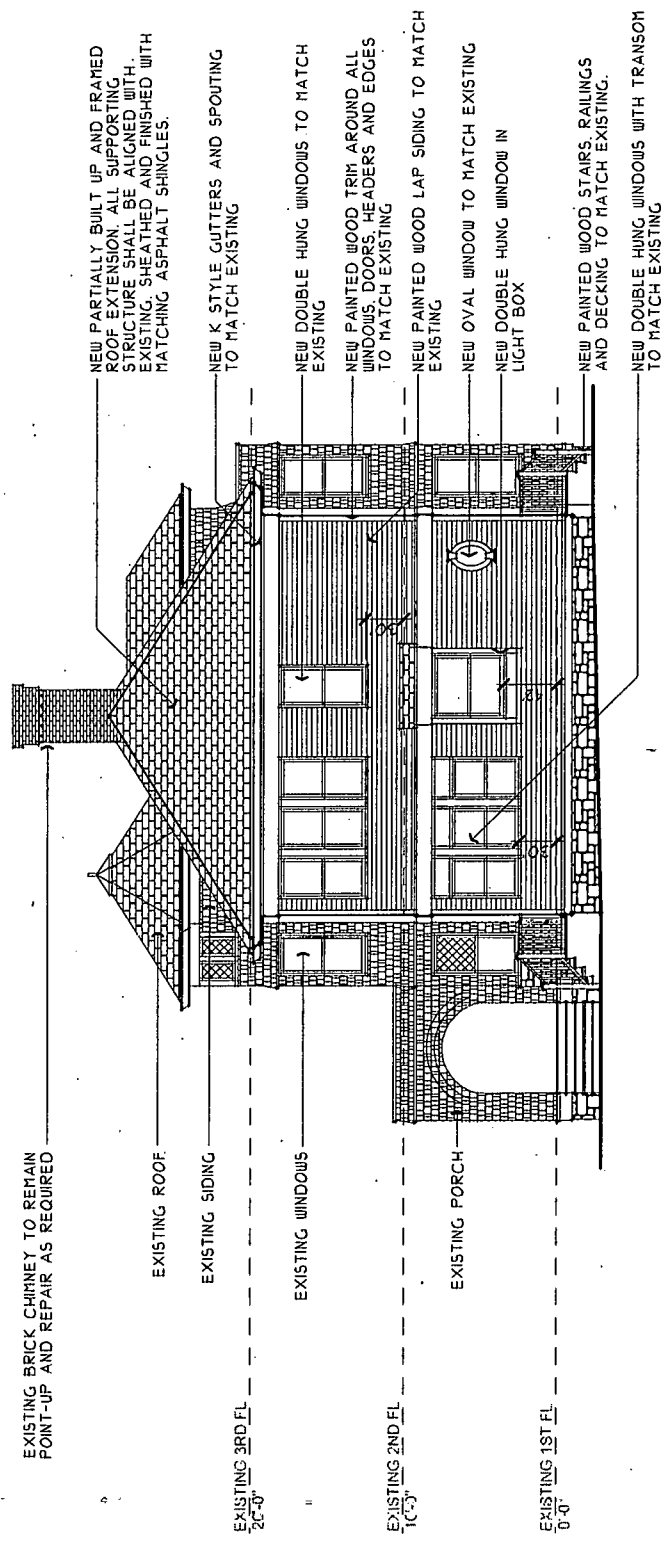
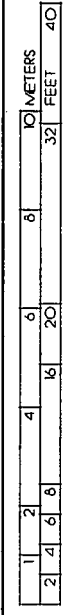
PROPOSED ALTERATION PLANS
HPC-HAMP / PRICING

MATAN RESIDENCE
6 EAST LENOX STREET
CHEVY CHASE, MD

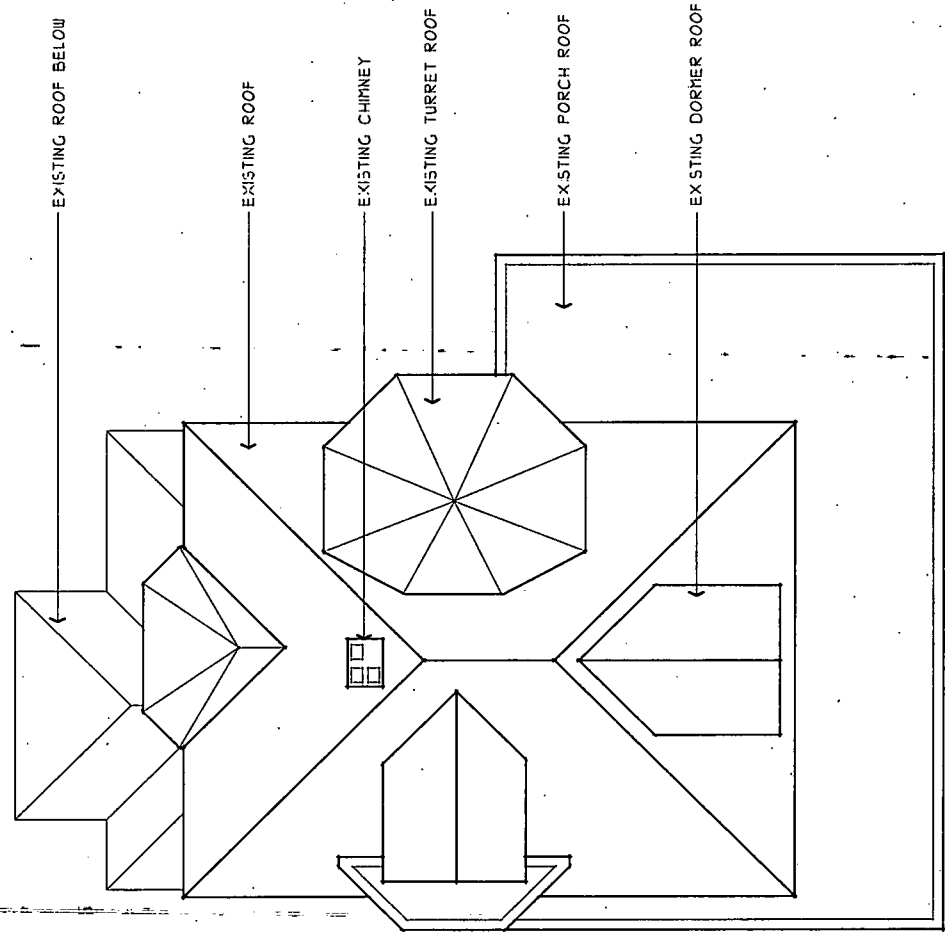
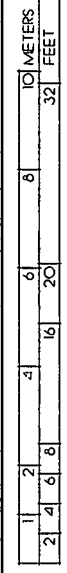
SOUTH ELEVATION

DATE	DRAWN BY	FLOOR NUMBER
11-21-11	BOB	-

NO. NUMBER	CHECKED BY	SHEET NUMBER
11-065	BOB	A-6



S PROPOSED SOUTH ELEVATION
VET + CO

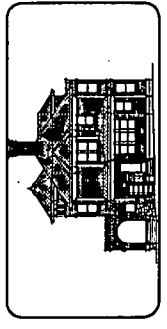


R | EXISTING ROOF PLAN
1/8" = 1'-0"

18

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- ▦ FACE BRICK
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NO.	DATE	DESCRIPTION
1	12-12-11	HPC-HAWP PERMIT

EXISTING PLANS
HPC-HAWP

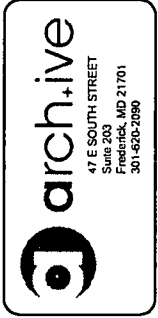
MATAN RESIDENCE
6 EAST LENOX STREET
CHEVY CHASE, MD

EXISTING ROOF PLAN

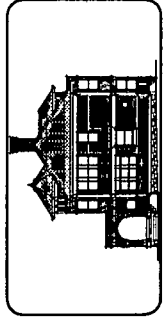
DATE	12-12-11	DRAWN BY	BOB
JOB NUMBER	11-065	CHECKED BY	BOB

FLOOR NUMBER	R
SHEET NUMBER	EX-4

FILE NAME	LENOX - EXISTING
SCALE	1/8" = 1'-0"
SHEET	4 OF 4



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KEY TO SYMBOLS

- EXISTING WALLS TO REMAIN
- NEW WALLS
- - - NEW WALLS - FURROUT
- - - WALLS TO BE REMOVED
- [Pattern] ASPHALT SHINGLES
- [Pattern] WOOD LAP SIDING
- [Pattern] RANDOM CEDAR SIDING
- [Pattern] FACE BRICK
- [Pattern] STONE FOUNDATION

NO.	DATE	DESCRIPTION
1	11-18-11	HPC-HAWP PERMIT
2	12-08-11	REVISED - HPC REVIEW

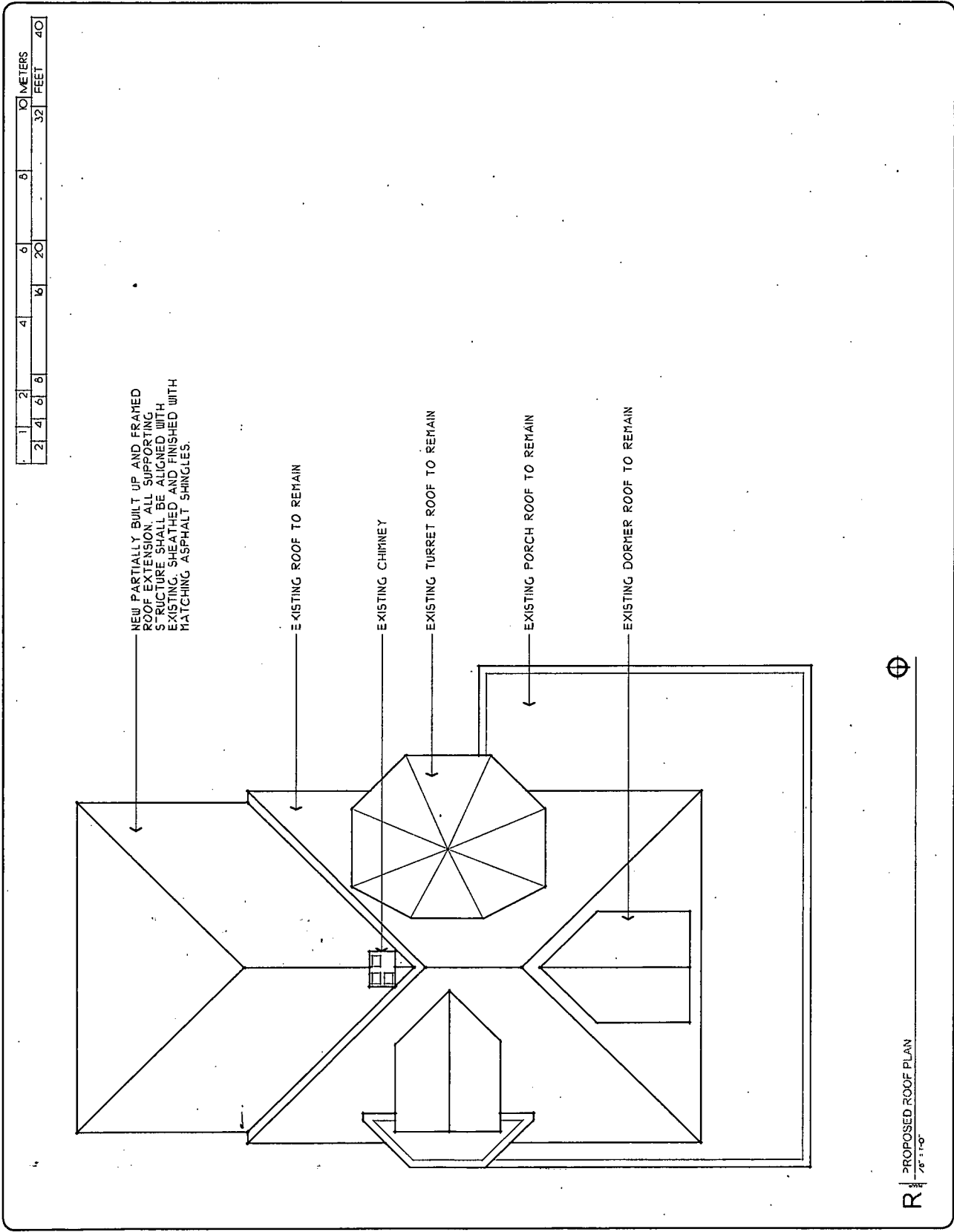
PROPOSED ALTERATION PLANS
HPC-HAWP/PRICING

MATAN RESIDENCE
6 EAST LENOX STREET
CHEVY CHASE, MD

ROOF PLAN

DATE	DRAWN BY	FLOOR NUMBER
11-21-11	BOB	R
NO. NUMBER	CHECKED BY	
11-065	BOB	

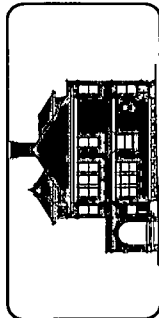
FILE NAME	SHEET NUMBER
LENOX - MASTER	A-10
SCALE	SHEET
1/8" = 1'-0"	10 of 10



R | PROPOSED ROOF PLAN
1/8" = 1'-0"



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- STONE FOUNDATION

NO	DATE	DESCRIPTION
1	11-18-11	HPC-HAMP PERMIT

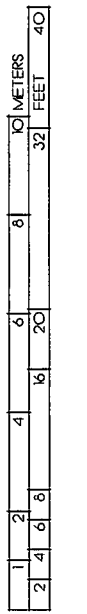
PROPOSED ALTERATION PLANS
HPC-HAMP / PRICING

MATAN RESIDENCE
6 EAST LENOX STREET
CHEVY CHASE, MD

GENERAL NOTES

DATE	DRAWN BY	FLOOR NUMBER
11-21-11	BOB	-
JOB NUMBER	CHECKED BY	
11-065	BOB	

FILE NAME	SHEET NUMBER
LENOX - MASTER	A-8
SCALE	SHEET
1/8" = 1'-0"	8 of 9



GENERAL NOTES

- EXTERIOR**
1. PREP/PAINT ALL TRIM (WHITE)
 2. ADDRESS WINDOW WELLS TO MAKE SURE WATER IS DIRECTED AWAY FROM THE HOUSE AND BASEMENT
 3. ALT: PLEASE PROVIDE PRICE TO PUT UTILITIES IN AN UNDERGROUND CONDUIT TO UTILITY POLE.
 4. INSTAL NEW EXTERIOR LIGHTS AT NEW LANDING, TO MUDROOM, CENTER OF REAR ADDITION, AND BY NEW DOOR TO KITCHEN (OWNER PROVIDES FIXTURES)
 - FRONT PORCH**
 5. SAND AND REFINISH FLOORS
 6. ADD/REPLACE DECORATIVE LIGHTING. 5 FIXTURES TOTAL TO BE PROVIDED BY OWNER
 7. ADD 2 ADDITIONAL ELECTRIC OUTLETS

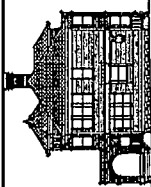
INTERIOR GENERAL

 8. DEMO CARPET THROUGHOUT
 9. NEW PAINT THROUGHOUT. SEVERAL COLORS.
 10. PREP AND PAINT ALL TRIM (WHITE)
REPLACE ALL EXISTING LIGHT FIXTURES WITH NEW. OWNER PROVIDED.
 11. NEW HVAC ON ALL 4 LEVELS. CARRIER INFINITY SERIES
 12. DEMO OLD BOILER AND RADIATORS
 13. REFINISH AND REPAIR ALL WOOD FLOORS THROUGHOUT
 14. UPGRADE ELECTRIC WHERE NECESSARY
 15. INSPECT/REPAIR ELECTRIC WHERE NEEDED
 16. ELECTRIC/CABLE ABOVE FR FIREPLACE FOR TV AND RUN TO APPROPRIATE LOCALE FOR COMPONENTS.
 17. ELECTRIC/CABLE ABOVE MBR FIREPLACE FOR TV AND RUN TO APPROPRIATE LOCALE FOR COMPONENTS
 18. NEW POWDER ROOM FIXTURES AND WALL PAPER (OWNER TO PROVIDE)
 19. WAINSCOTTING IN POWDER ROOM AND ALL BEDROOMS
 20. CROWN MOLDING IN UPSTAIRS HALL AND BEDROOMS

REAR ADDITION

 21. CONSTRUCT REAR ADDITION PER ARCHITECTS PLAN.
 22. OWNER TO SUPPLY KITCHEN CABINETS, APPLIANCES, ACCESSORIES, ETC. CONTRACTOR TO INSTALL.
 23. OWNER TO SUPPLY MASTER BATH MATERIALS AND FIXTURES. CONTRACTOR TO INSTALL.
 24. NEW WOOD THROUGHOUT TO MATCH REST OF HOUSE
 25. WINDOWS PER THE PLAN.
- BASEMENT**
32. DEMO BOILER AND RELOCATE HOT WATER HEAT.
 33. DEMO ALL WALLS
 34. NEW OUTDIES BASEMENT WALLS (DRYWALL)
 35. NEW CARPET (2K ALLOWANCE)
 36. RECONFIGURED REC ROOM, UTILITY ROOM, LAUNDRY, STORAGE, BATH PER ARCHITECTS PLAN
 37. NEW RECESSED LIGHTING THROUGHOUT
 38. ANY NECESSARY WATERPROOFING
 39. RELOCATE ELECTRIC PANEL TO MORE SUITABLE LOCALE
 40. INSTAL NEW POWDER ROOM FIXTURES PROVIDED BY OWNERS
- THIRD FLOOR**
41. INSULATE (R 38 MINIMUM)
 42. DEMO/CONSTRUCT PER ARCHITECTS PLAN
 43. NEW CARPET THROUGHOUT (2K ALLOWANCE)
 44. PREP/PAINT REPAIR ALL DECORATIVE WINDOWS.
- QUALITY CONTROL**
45. WHERE NEW DOORS, WINDOWS AND ACCESSORIES ARE SHOWN, CONTRACTOR SHALL FURNISH EQUAL OR BETTER IN MATERIAL AND WORKMANSHIP. TO MATCH.
 46. ALL WOOD TRIM SHALL MATCH EXISTING IN THICKNESS AND PROFILE USING GRADE A OR BETTER YELLOW PINE. (1 PRIME AND TWO FINISH COATS).
 47. ALL EXTERIOR MATERIALS ARE TO MATCH EXISTING.
 48. ALL HARDWARE SHALL MATCH EXISTING.
 49. ALL FINISHES SHALL BE COORDINATED WITH OWNER.
 50. ALL LIGHTING SHALL BE COORDINATED WITH OWNER.
 51. ALL CASEWORK SHALL BE COORDINATED WITH OWNER.
 52. ALL NEW CEILINGS SHALL BE GYP. BD.
 53. WHERE WAINSCOTTING, CROWN MOLDING TRAY/COFFERED CEILINGS ARE NOTED CONTRACTOR SHALL ASSUME CUSTOM INSTALLATION AND FINISH AS APPROPRIATE FOR SUCH AN INSTALLATION. NO STOCK TRIM SHALL BE ACCEPTABLE.

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KEY TO SYMBOLS

- EXISTING WALLS TO REMAIN
- NEW WALLS
- NEW WALLS - FURROUT
- WALLS TO BE REMOVED
- ASPHALT SHINGLES
- WOOD LAP SIDING
- RANDOM CEDAR SIDING
- FACE BRICK
- STONE FOUNDATION

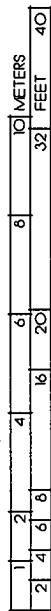
NO.	DATE	DESCRIPTION
1	11-18-11	RPC-HAMP PERMIT

PROPOSED ALTERATION PLANS
RPC-HAMP / PRICING

MATAN RESIDENCE
6 EAST LENOX STREET
CHEVY CHASE, MD

KEY NOTES

DATE	11-21-11	DRAWN BY	BOB	FLOOR NUMBER	-
JOB NUMBER	11-085	CHECKED BY	BOB	SHEET NUMBER	A-9
FILE NAME	LENOX - MASTER	SCALE	1/8" = 1'-0"	SHEET	9 OF 9



KEY NOTES

- 1 REMOVE EXISTING FOUNDATION AS REQUIRED AND PREPARE SITE FOR NEW FOUNDATION.
- 2 REMOVE AND PROPERLY DISPOSE OF EXISTING WALLS.
- 3 REMOVE AND DISPOSE OF EXISTING STAIRS AND ASSOCIATED TRIM.
- 4 REMOVE EXISTING WATER CLOSET AND PREPARE FOR NEW.
- 5 REMOVE EXISTING BOILER. COORDINATE WITH OWNER.
- 6 RELOCATE EXISTING ELECTRICAL SERVICE.
- 7 REMOVE ALL EXISTING PERIMETER SHEATHING, INCLUDING AROUND STAIRS. PREPARE FOR NEW CONSTRUCTION.
- 8 CONSTRUCT NEW CONCRETE FOUNDATION. FACE WITH STONE AT EXPOSED EXTERIOR SURFACES TO MATCH EXISTING STONE.
- 9 INSTALL VENTING THROUGH FOUNDATION FOR AIR-FLOW IN CRAWL SPACE.
- 10 OWNER FURNISHED / CONTRACTOR INSTALLED FIXTURES.
- 11 EXPOSED FOUNDATION WALL TO REMAIN. CLEAN AND PAINT.
- 12 INSTALL NEW STAIRS AND HANDRAILS. VERIFY NEW WIDTH, FINISH WITH CARPET.
- 13 FURR-OUT FOUNDATION WALLS WITH FOIL BACKED INSULATION (R 19 MIN.) 2X4 FRAMING AND 1/2" GYP. BD.
- 14 NEW CARPET, WOOD BASE, GYP. BD CEILINGS, DOWNLIGHTS THROUGHOUT.
- 15 INSTALL NEW MECHANICAL SYSTEM, COORDINATE WITH OWNER.
- 16 LOCATION FOR RELOCATED ELECTRICAL SERVICE.
- 17 PROVIDE ELECTRICAL DRYER VENT AND PLUMBING FOR WASHER-DRYER COORDINATE WITH OWNER.
- 18 OWNER FURNISHED / CONTRACTOR INSTALLED CERAMIC TILE IN POWDER ROOM.
- 19 OWNER FURNISHED, CONTRACTOR INSTALLED KITCHEN CABINETS.
- 20 NEW HARDWOOD FLOORING THROUGHOUT. COORDINATE WITH OWNER.
- 21 NEW WINDOW BOX. SEE ELEVATIONS.
- 22 LINE OF DROPPED CEILING. CONCEALED SUPPORT FOR STAIRS.
- 23 OWNER FURNISHED / CONTRACTOR INSTALLED FIXTURES FOR POWDER ROOM.
- 24 NEW WOOD FRAMED STAIRS, RAILINGS AND DECK TO SIDE ENTRY.
- 25 ALT. PRICE TO RE-LINE CHIMNEY, REPOINT BRICK AND INSTALL NEW FIRE BOX.
- 26 REMOVE WINDOW AND PREPARE FOR NEW DOOR AND HEADER.
- 27 REMOVE EXISTING POWDER ROOM AND RELOCATE PLUMBING.
- 28 REMOVE EXISTING CASEWORK. REPAIR WALL.
- 29 REMOVE EXISTING DOOR. PREPARE FOR NEW WALL.
- 30 REMOVE A PORTION OF THE EXISTING WALL. INSTALL NEW HEADER.
- 31 REMOVE EXISTING CASEWORK. REPAIR WALL.
- 32 REMOVE EXISTING PORCH AND ROOF.
- 33 REMOVE EXISTING EXTERIOR DOOR AND PREPARE FOR NEW WALL.
- 34 REMOVE EXISTING FOUNDATION AND SCREEN WALL.
- 35 REMOVE EXISTING CLOSET, SAVE DOOR.
- 36 REMOVE EXISTING ROOF AND ALL ASSOCIATED FRAMING.
- 37 REMOVE EXTERIOR FINISH DOWN TO FRAMING. PREPARE FOR NEW INTERIOR FINISH.
- 38 REMOVE EXISTING CONSTRUCTION AND PREPARE FOR NEW.
- 39 REMOVE ALL WINDOWS AND SALVAGE.
- 40 REMOVE BATHROOM WINDOW AND SALVAGE.
- 41 ALT. PRICE TO RE-LINE CHIMNEY, REPOINT BRICK AND INSTALL NEW FIRE BOX. EXISTING BATH TO REMAIN.
- 42 INSTALL NEW HANDRAIL TO MATCH EXISTING.
- 43 NEW POCKET DOOR.
- 44 OWNER FURNISHED / CONTRACTOR INSTALLED BATH FIXTURES. NEW CUSTOM TILE SHOWER. COORDINATE WITH OWNER.
- 45 NEW CLOSET ORGANIZER. COORDINATE WITH OWNER.
- 46 INSTALL ELECTRICAL DRYER VENT AND PLUMBING FOR WASHER/DRYER. COORDINATE WITH OWNER.
- 47 REPAIR ALL WINDOWS.
- 48 INSTALL NEW MECHANICAL UNITS AND DUCTING. COORDINATE WITH OWNER.
- 49 FURROUT EXISTING TURRET AS REQUIRED FOR R-38 INSULATION.
- 50 NEW FINISHED PLAY ROOM. CARPET THROUGHOUT. PAINT AND RECESSED LIGHTING. COORDINATE WITH OWNER.
- 51 VERIFY SIZES OF KNEE-WALL AND COORDINATE DOOR SIZES ACCORDINGLY.
- 52 NEW ROOF FOR ADDITION SHALL BE OVERBUILT ON EXISTING AS REQ.
- 53 REMOVE EXISTING ROOF STRUCTURE AND PREPARE FOR NEW.
- 54 REMOVE EXISTING WALLS AND PREPARE FOR NEW CONSTRUCTION.

Existing Property Condition Photographs (duplicate as needed)



Detail: **FRONT VIEW #1**



Detail: **FRONT VIEW #2**

Applicant: _____

A handwritten signature in black ink, written over a horizontal line.

Page: _____

Existing Property Condition Photographs (duplicate as needed)



Detail: *EAST VIEW - DRIVEWAY SIDE FROM FRONT*



Detail: *EAST VIEW - DRIVEWAY SIDE FROM REAR*

Applicant: _____

[Signature]

Page: _____

(23)

Existing Property Condition Photographs (duplicate as needed)



Detail: *WEST VIEW FROM SIDE YARD REAR*



Detail: *REAR VIEW #1*

Applicant: *[Signature]*

Page:

Existing Property Condition Photographs (duplicate as needed)



Detail: *REAR VIEW # 2*

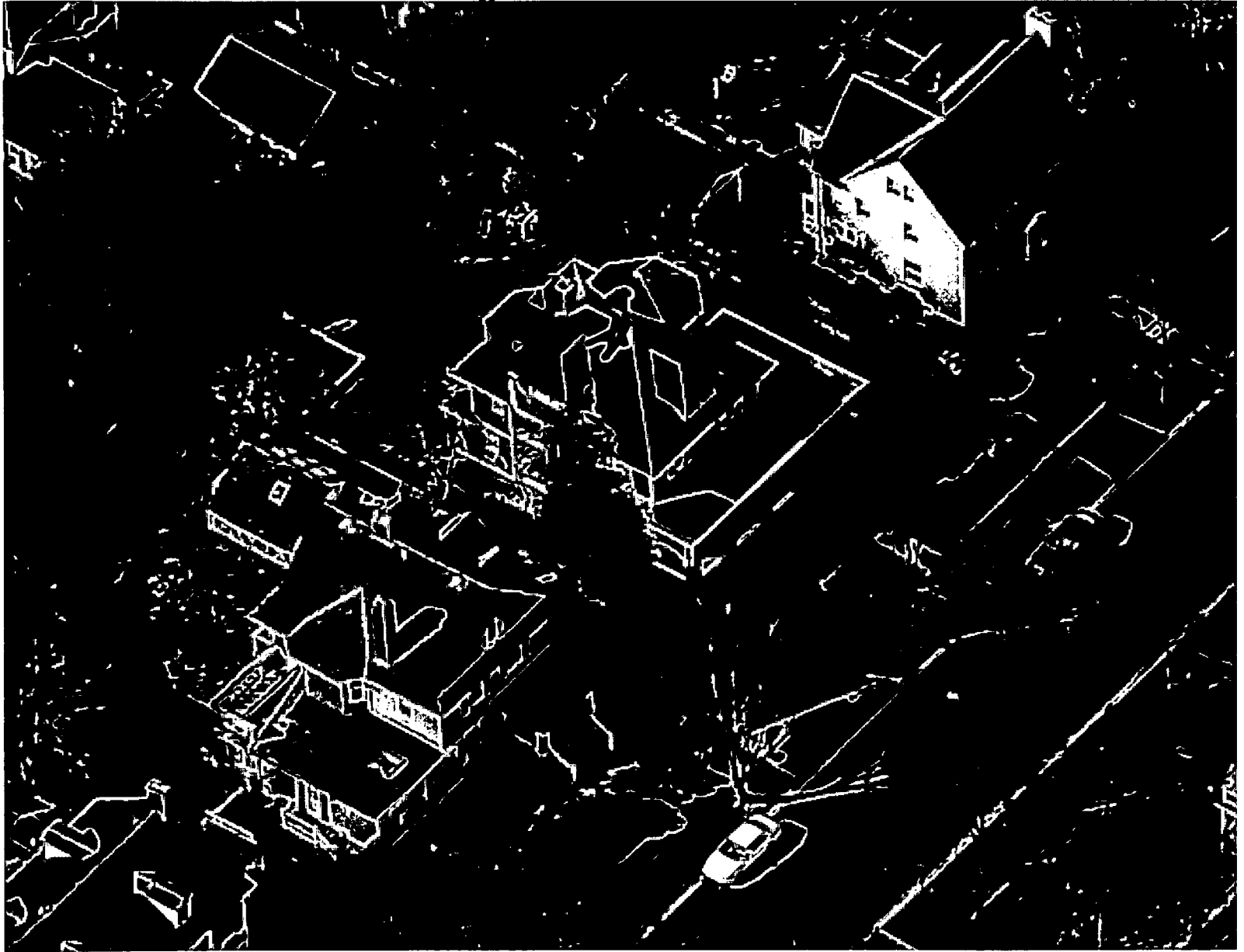


Detail: *REAR VIEW # 3*

Applicant: *[Signature]*

Page: _____

6 East Knox



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