



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

Date: January 25, 2024

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Chris Berger
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1053779 - Accessory Structure Addition and Tree Removal

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** with the following conditions at the January 10, 2024, HPC meeting:

1. Prior to approval of the HAWP, detailed plans and/or specifications for the doors shall be approved by staff prior to fabrication. The doors shall be wood with a smooth, painted surface.
2. Prior to approval of the HAWP, additional details shall be provided, including the existing and proposed foundation material; height of the existing building and proposed addition; and specifications, including materials and dimensions, for the proposed windows.
3. If any mechanical equipment is to be installed, the applicant shall provide a site plan that shows where the equipment will be located.
4. All trim boards, including the fascia, rake boards, and corner boards, shall be painted wood.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Marissa Walker
Address: 7216 Maple Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Chris Berger at 301-495-4571 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: Marissa Walker

E-mail: marissagrimeswalker@gmail.com

Address: 7216 Maple Ave

City: Takoma Park Zip: 20912

Daytime Phone: 917-498-6605

Tax Account No.: 01069475

AGENT/CONTACT (if applicable):

Name: Eric Saul - Architect

E-mail: eric@saularchitects.com

Address: 8114 Carroll Avenue

City: Takoma Park, MD Zip: 20912

Daytime Phone: 714-553-1750

Contractor Registration No.: n/a

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

REVIEWED

By Chris Berger at 1:37 pm, Jan 25, 2024

Is this property located within a Historic District? Yes/District Name Takoma Park

No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map and a letter of approval from the Easement Holder supporting this application.

Are there any other Approvals /Reviews Required as part of this Application? (Consult with the Historic Preservation Commission etc.?) If YES, include information on these reviews as follows:



Street: Maple Avenue

Nearest Cross Street: Tulip Avenue

Lot: 26 Block: 5 Subdivision: 0025 Parcel: 0000

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|----------------------------------------------|----------------------------------------------|---------------------------------------------------------------------|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input checked="" type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input checked="" type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Eric C Saul

12/19/23

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

7216 Maple Ave
Takoma Park, MD 20912

Owner's Agent's mailing address

8114 Carroll Avenue
Takoma Park, MD 20912

Adjacent and confronting Property Owners mailing addresses

7218 Maple Ave
Takoma Park, MD 20912

7214 Maple Ave
Takoma Park, MD 20912

7215 Cedar Ave
Takoma Park, MD 20912

7217 Cedar Ave
Takoma Park, MD 20912

7221 Cedar Ave
Takoma Park, MD 20912

7217 Maple Ave
Takoma Park, MD 20912

APPROVED

Montgomery County
Historic Preservation Commission



REVIEWED

By Chris Berger at 1:37 pm, Jan 25, 2024

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Existing property contains a 12' x 16' garage structure with a gambrel roof and vinyl siding. The garage has existed as early as 1958 - see attached photos from 1958 of existing garage in our submittal packet. A holly tree is located approx. 9-10 feet behind the garage.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Proposed is a 7' x 12' rear addition to the existing structure, and a conversion from a garage to an accessory structure with habitable space for recreational use. It will not be used as an accessory dwelling unit (ADU). Takoma Park's Urban Forest Manager has granted approval to remove the holly tree located behind the garage.

APPROVED

Montgomery County

Historic Preservation Commission



REVIEWED

By Chris Berger at 1:37 pm, Jan 25, 2024

Work Item 1: Accessory Structure Addition

Description of Current Condition:

Existing 12' x 16' garage w/
vinyl siding

Proposed Work:

New 7' x 12' addition with redwood siding to
match what is under the vinyl siding

Work Item 2: Holly Tree removal

Description of Current Condition:

Existin 16" dia. holy tree behind
garage structure


Proposed Work:

Remove tree - TKPK Urban forest Manager
already approved removal.

Work Item 3: New garage doors and siding on existing structure

Description of Current Condition:
Existing vinyl siding with nothing underneath
Existing carriage door with louvered openings

APPROVED
Montgomery County
Historic Preservation Commission



Proposed Work:
Uncover and repair the existing redwood siding
believed to be under the vinyl.
New carriage doors with glass instead of louvers.

REVIEWED
By Chris Berger at 1:37 pm, Jan 25, 2024

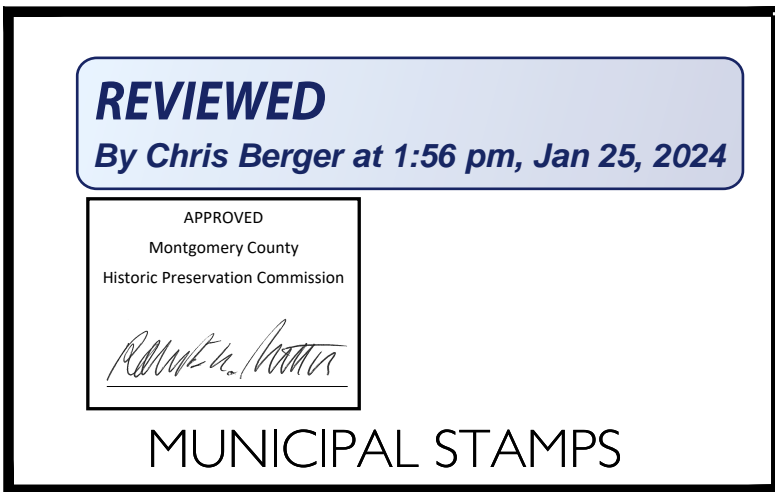
**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Chris Berger at 1:37 pm, Jan 25, 2024



WALKER RESIDENCE

ACCESSORY STRUCTURE ADDITION

7216 MAPLE AVENUE | TAKOMA PARK, MD 20912

SAUL ARCHITECTS
 8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
 P: 301.270.0395
 info@saularchitects.com
 www.saularchitects.com

REVISIONS

WALKER RESIDENCE
ACCESSORY STRUCTURE ADDITION
 7216 MAPLE AVENUE | TAKOMA PARK, MD 20912
DO NOT SCALE THE DRAWINGS. THE ORIGINAL SET OF DRAWINGS IS THE ONLY SET OF DRAWINGS TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THE DRAWINGS MUST BE MADE ON THE ORIGINAL SET OF DRAWINGS. ANY CHANGES TO THE ORIGINAL SET OF DRAWINGS MUST BE MADE IN PENCIL AND INITIALED BY THE ARCHITECT. ANY CHANGES TO THE ORIGINAL SET OF DRAWINGS MUST BE MADE IN PENCIL AND INITIALED BY THE ARCHITECT. ANY CHANGES TO THE ORIGINAL SET OF DRAWINGS MUST BE MADE IN PENCIL AND INITIALED BY THE ARCHITECT.



PROFESSIONAL CERTIFICATION:
 I, ERIC SAUL, HEREBY CERTIFY
 THAT THESE DOCUMENTS WERE
 PREPARED OR APPROVED BY ME,
 AND THAT I AM A DULY LICENSED
 ARCHITECT UNDER THE LAWS OF
 THE STATE OF MARYLAND.
 LICENSE NO. 14248, EXPIRATION
 DATE JUNE 30, 2025

PROJECT NUMBER: 23026

PRINTING LOG	
DATE	PURPOSE
01.22.24	PERMIT SET

COVER SHEET AND SITE PLAN

CS

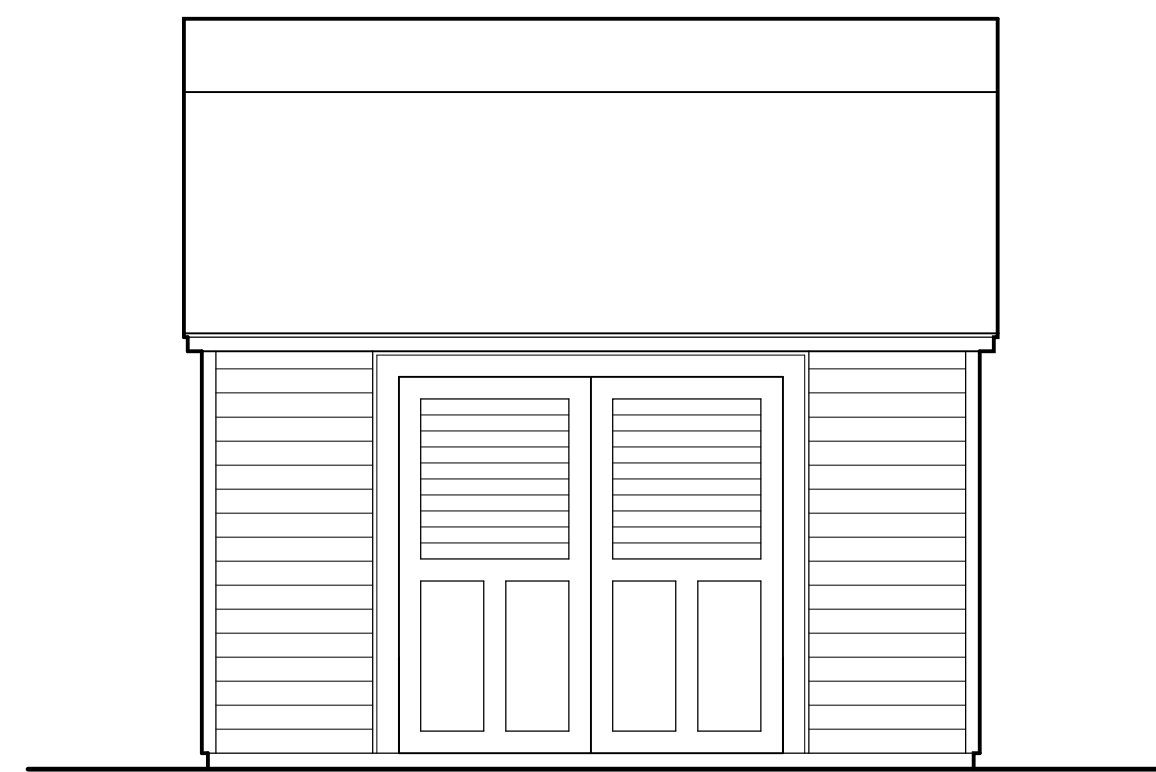
PROJECT TEAM	SHEET INDEX	GRAPHIC SYMBOLS	CODE ANALYSIS	SITE PLAN: 1" = 30'-0"						
<p>OWNERS: MARISSA AND DAN WALKER 7216 MAPLE AVENUE TAKOMA PARK, MD 20912 (917) 498-6605</p> <p>ARCHITECT: ERIC C. SAUL, RA SAUL ARCHITECTS 8114 CARROLL AVENUE TAKOMA PARK, MD 20912 (301) 270-0395</p>	<p>ARCHITECTURAL</p> <p>CS COVER SHEET - ZONING</p> <p>A1 EXISTING/DEMO FLOOR PLANS AND ELEVATIONS A1.1 PROPOSED FLOOR PLANS AND ELEVATIONS</p> <p>A3 DETAILS</p> <p>SE1 FRAMING PLANS AND ELECTRICAL PLANS</p>	<p>SECTION CALLOUT SHEET NUMBER</p> <p>DETAIL CALLOUT SHEET NUMBER</p> <p>ELEVATION CALLOUT SHEET NUMBER</p> <p>DETAIL NUMBER SHEET NUMBER</p> <p>INTERIOR ELEVATION SHEET NUMBER</p> <p>SPOT ELEVATION</p> <p>WINDOW IDENTIFIER</p> <p>DOOR IDENTIFIER</p> <p>FLOOR HEIGHT IDENTIFIER</p> <p>KEYNOTE</p> <p>REVISION INDICATOR</p>	<p>SCOPE OF WORK: ADDITION ON THE REAR OF AN EXISTING ACCESSORY STRUCTURE TO CONVERT STORAGE INTO HABITABLE SPACE WITH A FULL BATHROOM AND A KITCHENETTE. THIS PROPOSED STRUCTURE WILL NOT BE USED AS AN ACCESSORY DWELLING UNIT (ADU).</p> <p>LOT: 26 BLOCK: 5 SUBDIVISION: 0025</p> <p>CODE: IRC 2018 ZONE: R-60 CONSTRUCTION TYPE: 5B NO. OF STORIES: 2 PLUS BASEMENT SPRINKLERED: NO</p> <p>DESIGN CRITERIA: GROUND SNOW LOAD 30 PSF WIND SPEED 115 MPH SEISMIC DESIGN CATEGORY B WEATHERING SEVERE FROST DEPTH LINE 30 IN. TERMITES MODERATE TO HEAVY DECAY SLIGHT TO MODERATE WINTER DESIGN TEMP. 13° F ICE SHIELD UNDERLAYMENT REQ'D YES FLOOD HAZARDS JULY 2, 1979 AIR FREEZING INDEX 300 MEAN ANNUAL TEMP. 55° F</p> <p>ALLOWED HEIGHT: 20'-0" MAX. HEIGHT PROPOSED HEIGHT: UNCHANGED</p> <p>SETBACKS: ACCESSORY STRUCTURE FRONT YARD 60'-0" SIDE YARD 5'-0" REAR YARD 5'-0"</p> <p>LOT AREA CALCULATIONS: LOT SIZE 10,000.0 SQ. FT. (100.0%) MAX. LOT COVERAGE 3,500.0 SQ. FT. (35.0%) EXISTING COVERAGE 1,169.5 SQ. FT. (11.7%) PROPOSED COVERAGE 1,253.5 SQ. FT. (12.5%) INCREASED COVERAGE 84.0 SQ. FT. (0.8%)</p> <table border="1"> <tr> <td>ADDITIONAL LOT COVERAGE</td> <td>84 SQ. FT.</td> </tr> <tr> <td>TOTAL ADDITION</td> <td>84 SQ. FT.</td> </tr> <tr> <td>TOTAL RENOVATION</td> <td>192 SQ. FT.</td> </tr> </table>	ADDITIONAL LOT COVERAGE	84 SQ. FT.	TOTAL ADDITION	84 SQ. FT.	TOTAL RENOVATION	192 SQ. FT.	<p>NOTES: 1. THE PROPERTY SHOWN HEREON IS IDENTIFIED AS TAX MAP 13-01-002479 AMONG THE ASSESSMENT RECORDS OF MONTGOMERY COUNTY, MARYLAND.</p>
ADDITIONAL LOT COVERAGE	84 SQ. FT.									
TOTAL ADDITION	84 SQ. FT.									
TOTAL RENOVATION	192 SQ. FT.									

REVIEWED
By Chris Berger at 1:56 pm, Jan 25, 2024

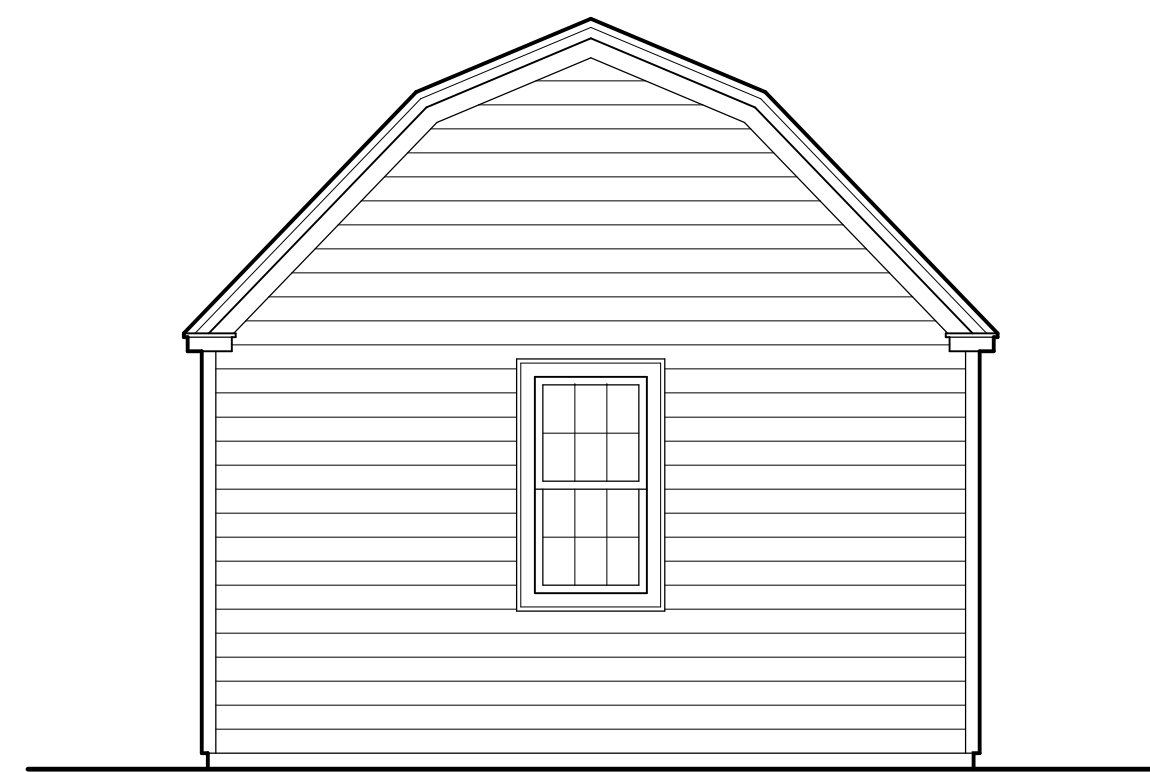
APPROVED
Montgomery County
Historic Preservation Commission

Chris Berger

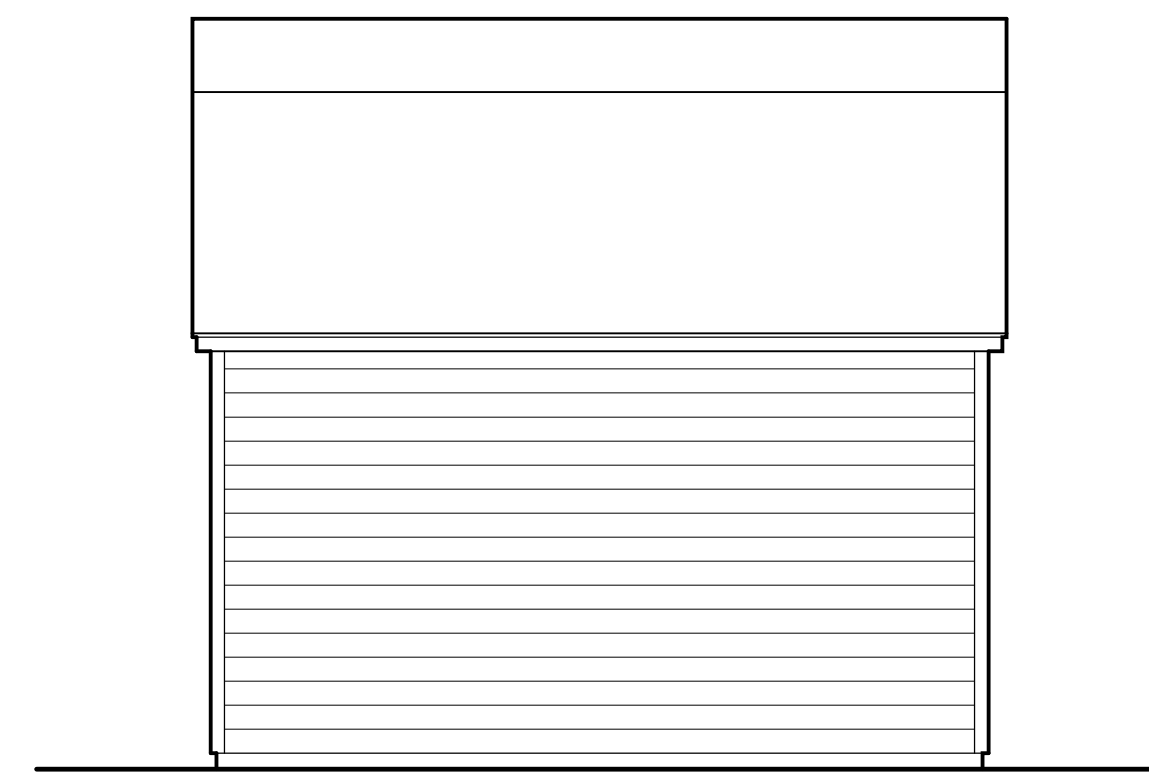
MUNICIPAL STAMPS



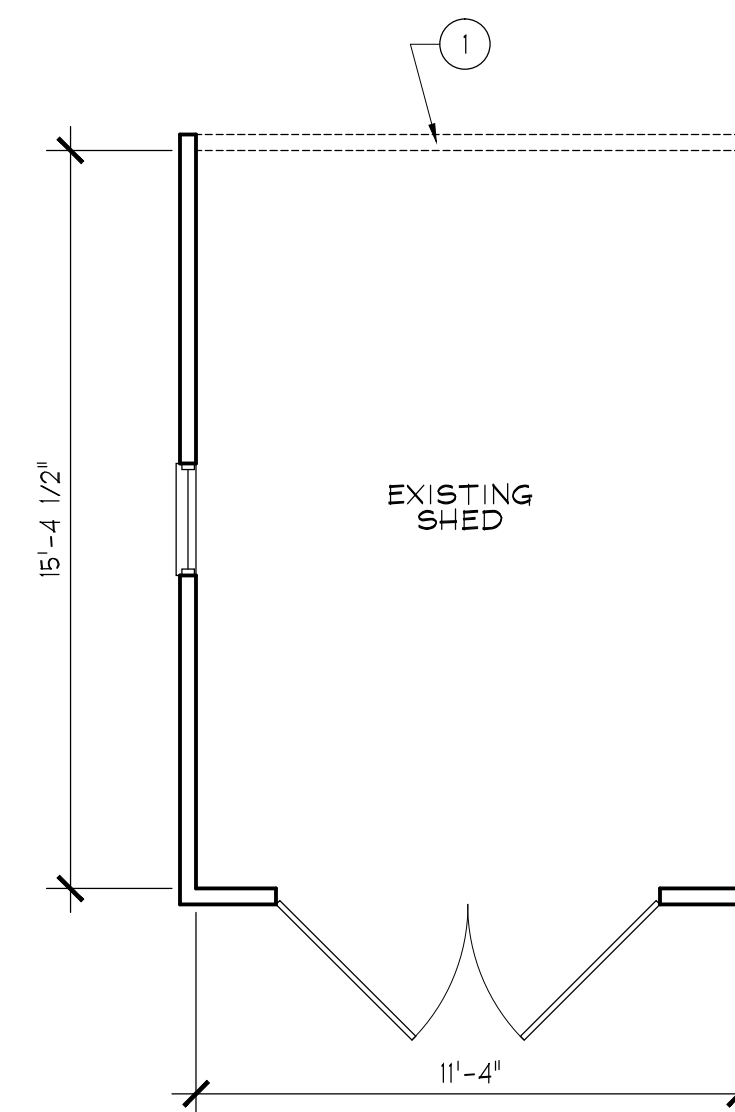
2 EXISTING FRONT ELEVATION
A1 1/4" = 1'-0"



3 EXISTING SIDE ELEVATION (TYP.)
A1 1/4" = 1'-0"



4 EXISTING REAR ELEVATION
A1 1/4" = 1'-0"



1 EXISTING/DEMO FLOOR PLAN
A1 1/4" = 1'-0"

DEMOLITION KEYNOTES:

- 1 BEARING WALL TO BE REMOVED - SEE FRAMING PLANS FOR NEW BEAM

GENERAL DEMO NOTES

- DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
- EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
- SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
- EXISTING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
- ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
- ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.

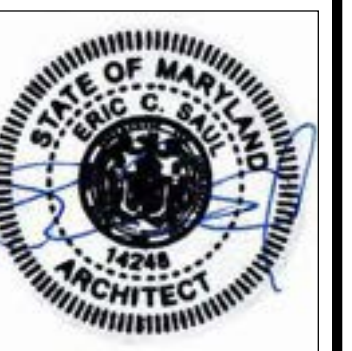
FLOOR PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW INT. 2X4 STUD WALL, U.N.O.
	NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
	NEW EXTERIOR 2X6 STUD WALL; R-20 MIN. INSULATION
	NEW 8" CONC. MASONRY WALL
	NEW BRICK MASONRY WALL OR PIER
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED
	CEILING HEIGHT INDICATOR

SAUL ARCHITECTS
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
www.saularchitects.com

REVISIONS

**WALKER RESIDENCE
ACCESSORY STRUCTURE ADDITION**
7216 MAPLE AVENUE | TAKOMA PARK, MD 20912



PROFESSIONAL CERTIFICATION:
I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE: JUNE 30, 2025.

PROJECT NUMBER: 23026

PRINTING LOG

DATE	PURPOSE
01.22.24	PERMIT SET

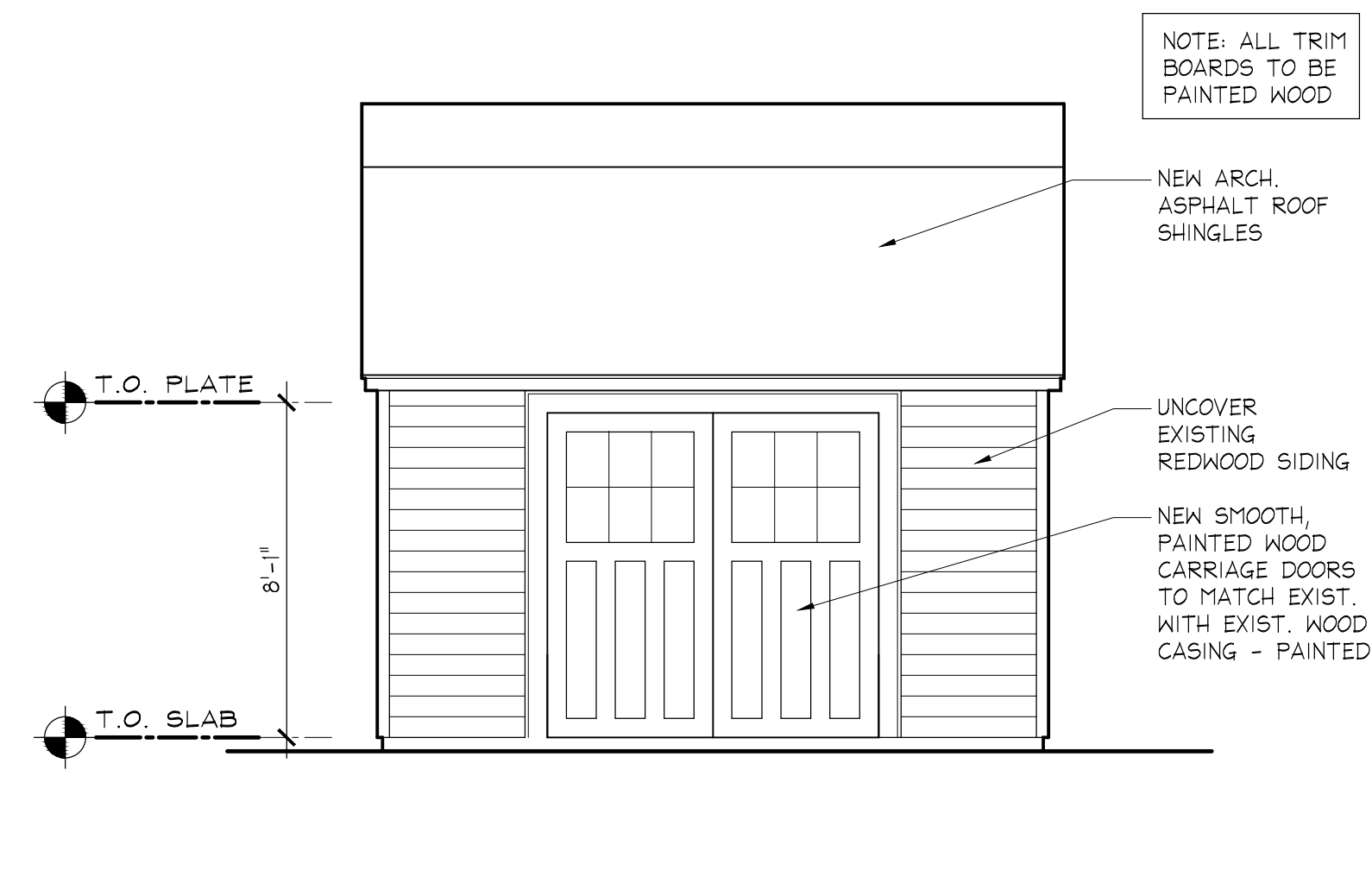
EXISTING/DEMO FLOOR PLANS AND ELEVATIONS

A1

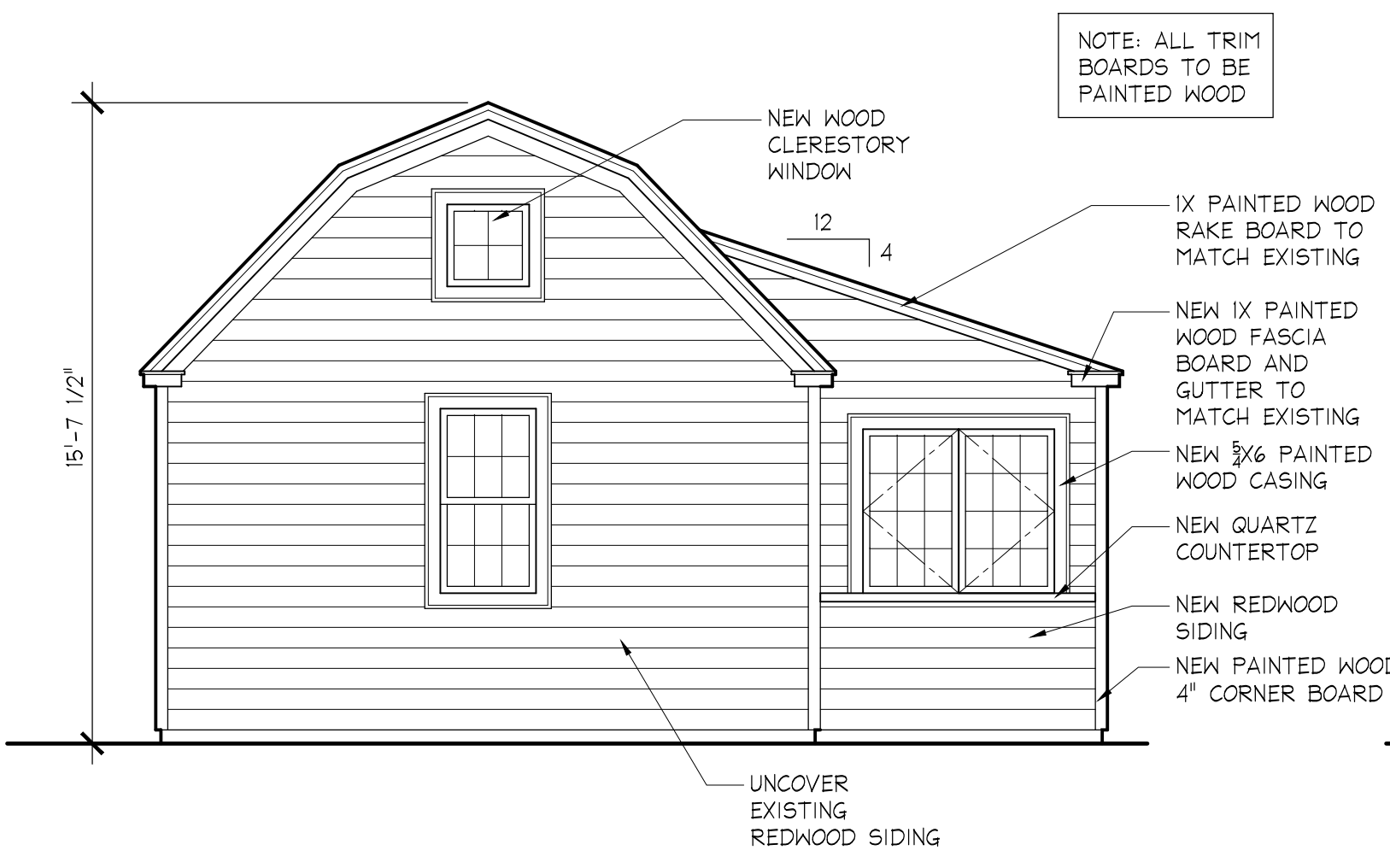
REVIEWED
By Chris Berger at 1:56 pm, Jan 25, 2024

APPROVED
Montgomery County
Historic Preservation Commission

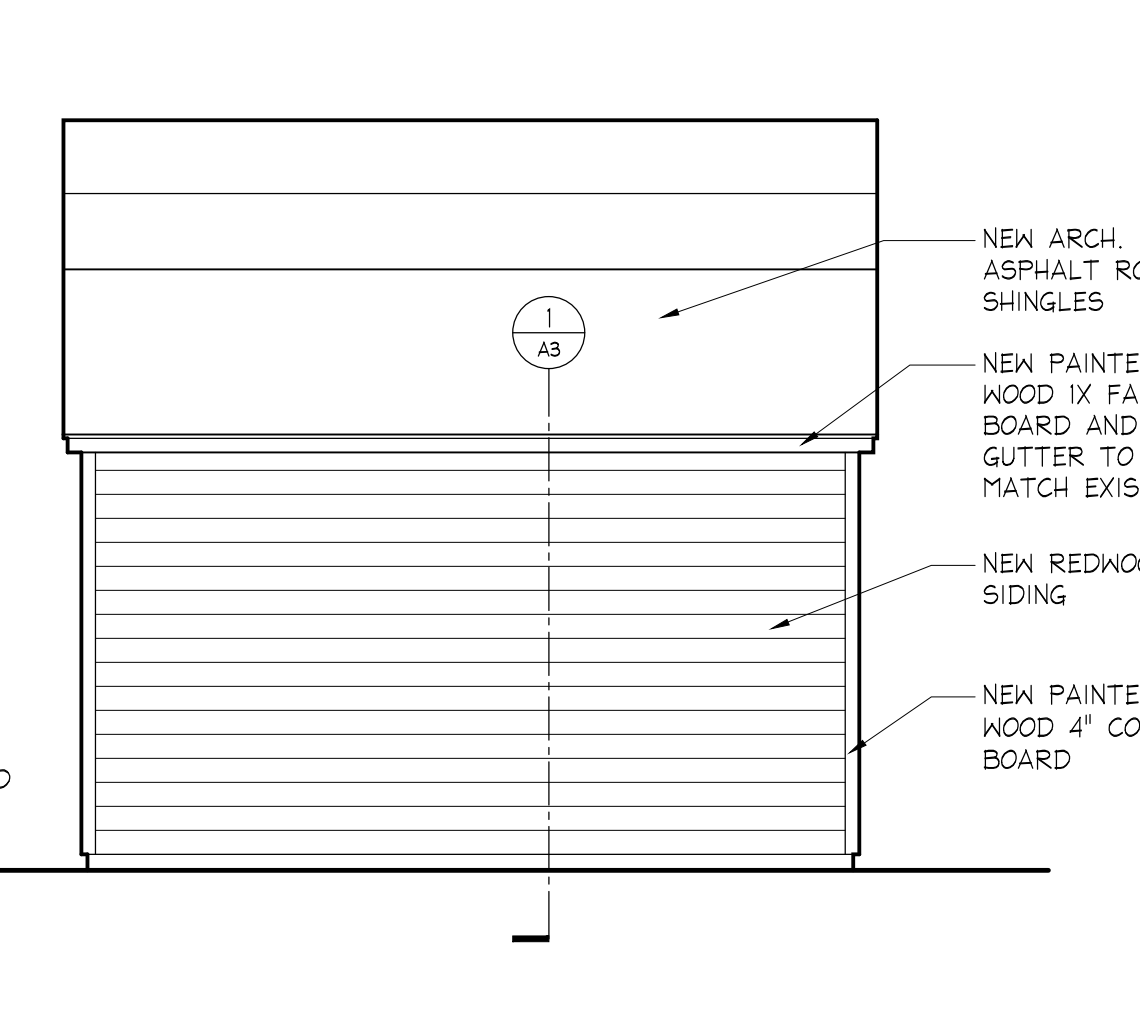
MUNICIPAL STAMPS



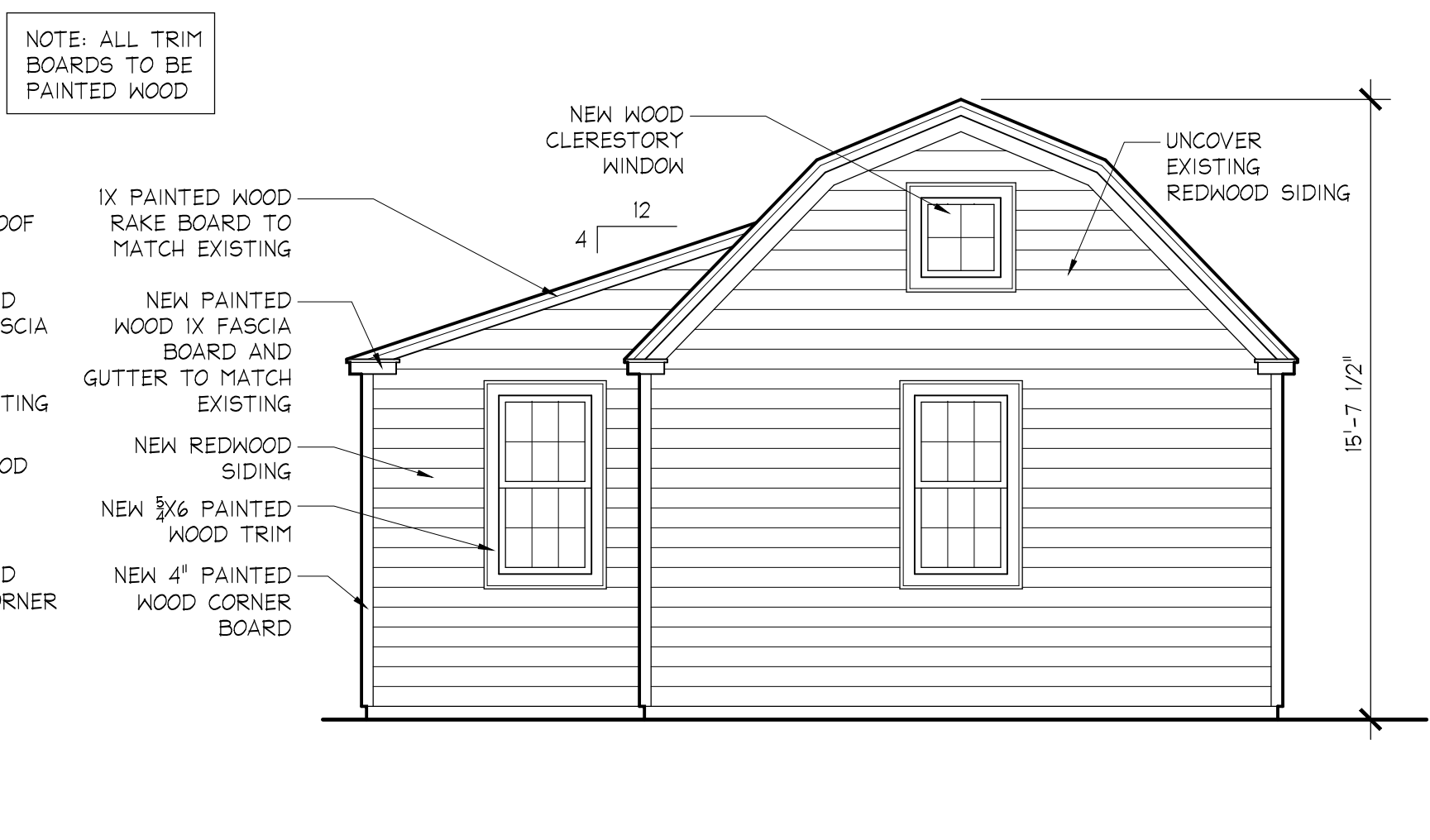
2 PROPOSED FRONT ELEVATION
A1.1 1/4" = 1'-0"



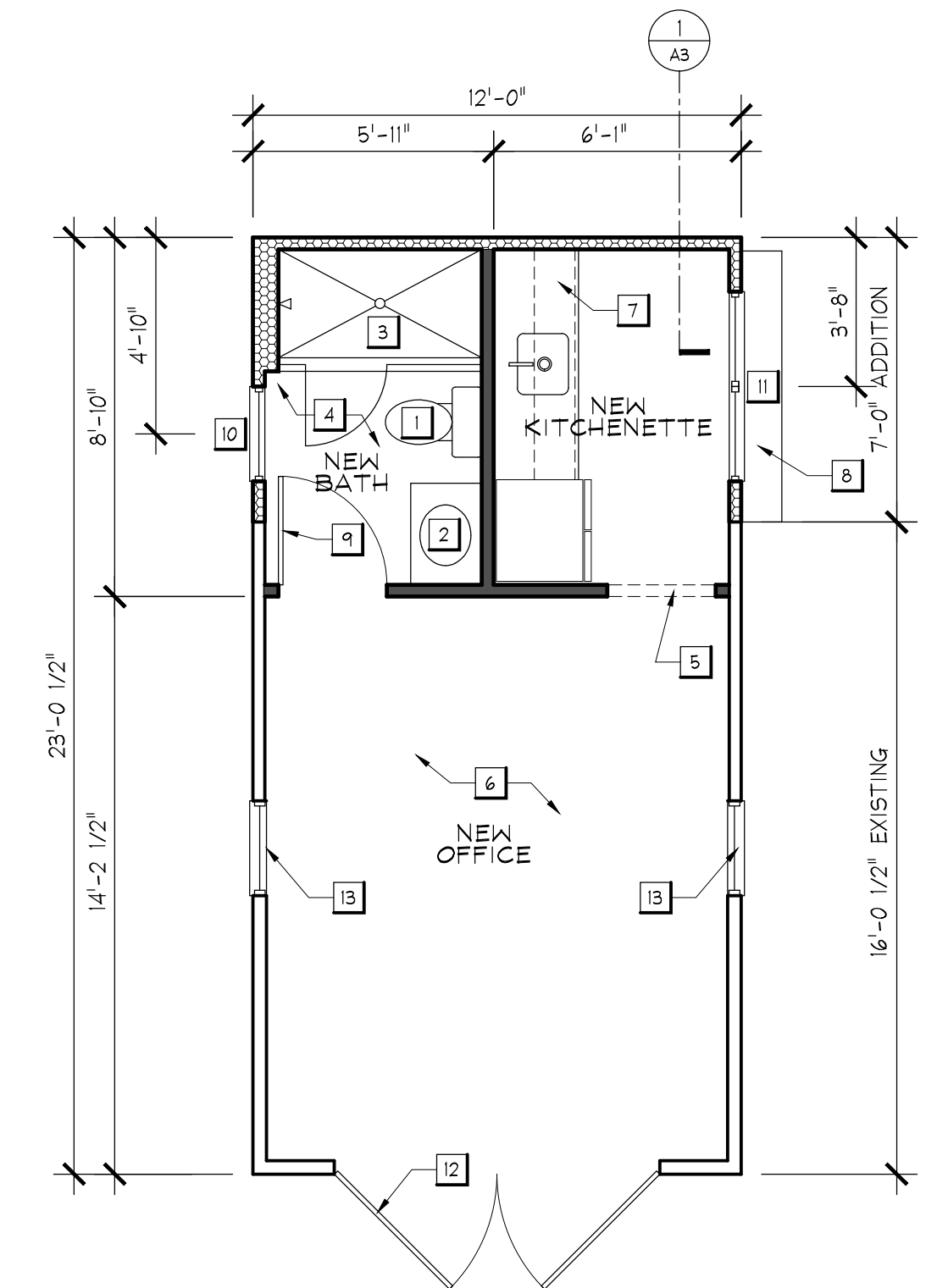
3 PROPOSED NORTH SIDE ELEVATION
A1.1 1/4" = 1'-0"



4 PROPOSED REAR ELEVATION
A1.1 1/4" = 1'-0"



5 PROPOSED SOUTH SIDE ELEVATION
A1.1 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
A1.1 1/4" = 1'-0"

AIR LEAKAGE:

- PER IRC: 402.4.2
- BUILDING THERMAL ENVELOPE, THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:
1. ALL JOINTS, SEAMS AND PENETRATIONS
 2. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS
 3. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING
 4. UTILITY PENETRATIONS
 5. DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE
 6. KNEE WALLS
 7. WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES
 8. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS
 9. COMMON WALLS BETWEEN DWELLING UNITS
 10. ATTIC ACCESS OPENINGS
 11. RIM JOIST JUNCTION
 12. OTHER SOURCES OF INFILTRATION

M1601.4 INSTALLATION.
DUCT INSTALLATION SHALL COMPLY WITH SECTIONS M1601.4.1 THROUGH M1601.4.7

M1601.4.1 JOINTS AND SEAMS
JOINTS OF DUCT SYSTEMS SHALL BE MADE SUBSTANTIALLY AIRTIGHT BY MEANS OF TAPES, MASTICS, LIQUID SEALANTS, GASKETING OR OTHER APPROVED CLOSURE SYSTEMS. CLOSURE SYSTEMS USED WITH RIGID FIBROUS GLASS DUCTS SHALL COMPLY WITH UL181A AND SHALL BE MARKED 181A-P FOR PRESSURE SENSITIVE TAPE, 181A-M FOR MASTIC OR 181A-H FOR HEAT-SENSITIVE TAPE. CLOSURE SYSTEMS USED WITH FLEXIBLE AIR DUCTS AND FLEXIBLE AIR CONNECTORS SHALL COMPLY WITH UL 181B AND SHALL BE MARKED 181B-FX FOR PRESSURE-SENSITIVE TAPE OR 181B-M FOR MASTIC. DUCT CONNECTIONS TO FLANGES OF AIR DISTRIBUTION SYSTEM EQUIPMENT OR SHEET METAL FITTINGS SHALL BE MECHANICALLY FASTENED. MECHANICAL FASTENERS FOR USE WITH FLEXIBLE NONMETALLIC AIR DUCTS SHALL COMPLY WITH UL 181B AND SHALL BE MARKED 181B-C. CRIMP JOINTS FOR ROUND METAL DUCTS SHALL HAVE A CONTACT LAP OF AT LEAST 1 1/2 INCHES (38MM) AND SHALL BE MECHANICALLY FASTENED BY MEANS OF AT LEAST THREE SHEET-METAL SCREWS OR RIVETS EQUALLY SPACED AROUND THE JOINT. CLOSURE SYSTEMS USED TO SEAL METAL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

- EXCEPTIONS:
1. SPRAY POLYURETHANE FOAM SHALL BE PERMITTED TO BE APPLIED WITHOUT ADDITIONAL JOINT SEALS.
 2. WHERE A DUCT CONNECTION IS MADE THAT IS PARTIALLY INACCESSIBLE, THREE SCREWS OR RIVETS SHALL BE EQUALLY SPACED ON THE EXPOSED PORTION OF THE JOINT SO AS TO PREVENT A HINGE EFFECT.
 3. CONTINUOUSLY WELDED AND LOCKING TYPE LONGITUDINAL JOINTS AND SEAMS IN DUCTS OPERATING AT STATIS PRESSURES LESS THAN 2 INCHES OF WATER COLUMN (500 PA) PRESSURE CLASSIFICATION SHALL NOT REQUIRE ADDITIONAL CLOSURE SYSTEMS.

FLOOR PLAN KEYNOTES:

- 1 NEW TOILET
- 2 NEW 30" VANITY
- 3 NEW CUSTOM TILED SHOWER w/ GLASS ENCLOSURE AND TILED SOAP NICHE
- 4 NEW TILE FLOORING - SELECTED BY OWNER
- 5 NEW 32" WIDE CASSED OPENING
- 6 NEW LUXURY VINYL FLOORING
- 7 NEW KITCHENETTE CABINETS PER SEPARATE KITCHEN DESIGN DRAWINGS
- 8 NEW GRANITE COUNTERTOP/WINDOW SILL - TO BE SELECTED BY OWNER
- 9 NEW 32" X 80" DOOR
- 10 NEW 28" X 54" DOUBLE HUNG WINDOW (8" GRIDS)
- 11 NEW PR. 28" X 48" FRENCH CASEMENT WINDOW (8" GRIDS)
- 12 NEW PR. 48" WIDE DOORS TO MATCH SIZE OF EXISTING - PER HISTORIC PRESERVATION REGULATIONS

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
2. ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.
3. DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.

FLOOR PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW INT. 2X4 STUD WALL, U.N.O.
	NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
	NEW EXTERIOR 2X6 STUD WALL; R-20 MIN. INSULATION
	NEW 8" CONC. MASONRY WALL
	NEW BRICK MASONRY WALL OR PIER
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED
	CEILING HEIGHT INDICATOR

SAUL ARCHITECTS
814 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
www.saularchitects.com

REVISIONS

WALKER RESIDENCE
ACCESSORY STRUCTURE ADDITION
7216 MAPLE AVENUE | TAKOMA PARK, MD 20912

DO NOT SCALE DRAWINGS. THIS DRAWING IS THE PROPERTY OF SAUL ARCHITECTS. ANY REUSE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF SAUL ARCHITECTS IS PROHIBITED. ANY REUSE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED.



PROFESSIONAL CERTIFICATION:
I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 14248, EXPIRATION DATE: JUNE 30, 2025

PROJECT NUMBER: 23026

PRINTING LOG

DATE	PURPOSE
01.22.24	PERMIT SET

PROPOSED FLOOR PLANS AND ELEVATIONS

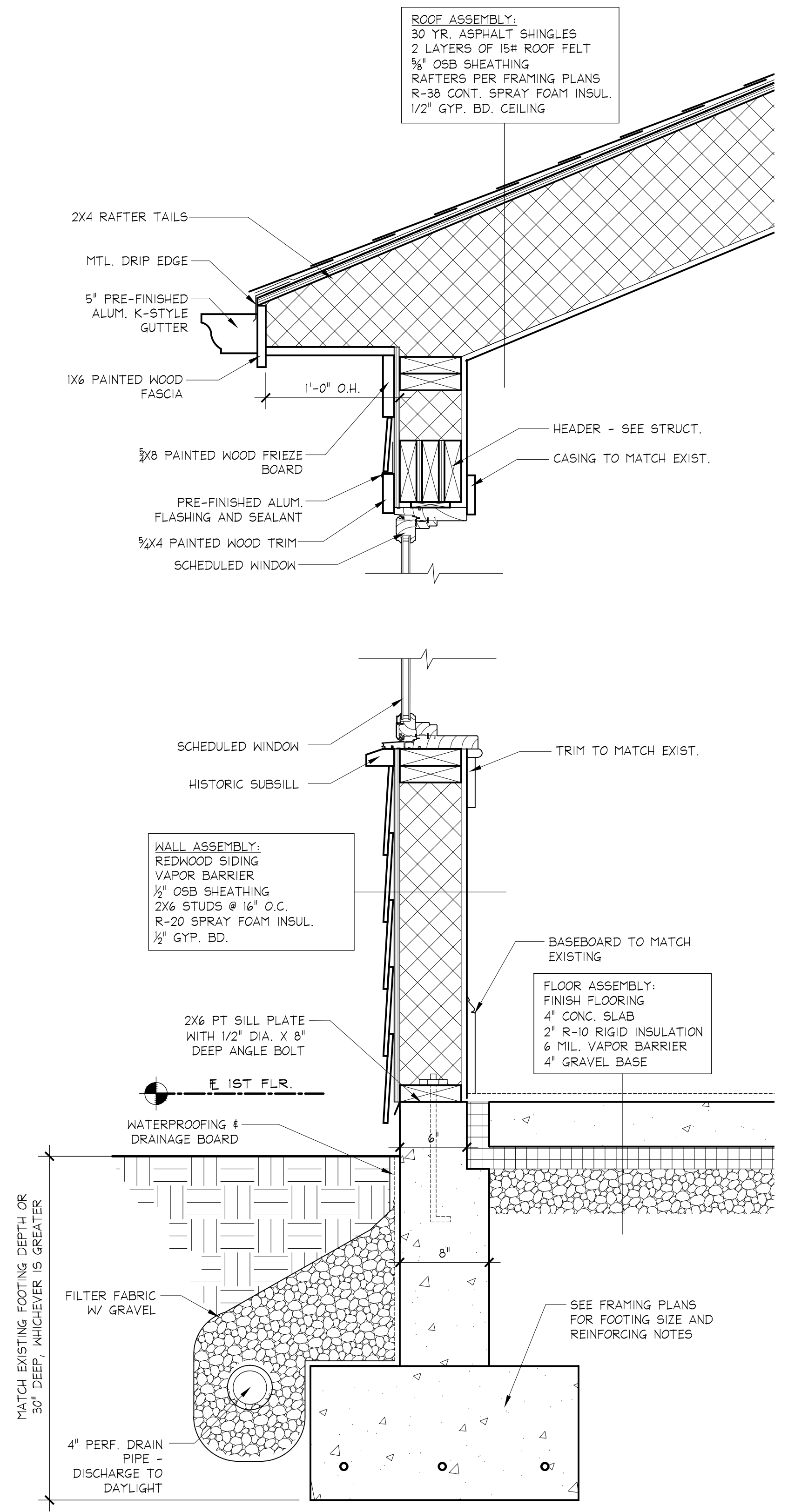
A1.1

REVIEWED
By Chris Berger at 1:56 pm, Jan 25, 2024

APPROVED
Montgomery County
Historic Preservation Commission

Chris Berger

MUNICIPAL STAMPS



1 WALL SECTION DETAIL
A3 1 1/2" = 1'-0"

SAUL ARCHITECTS
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
www.saularchitects.com

REVISIONS

**WALKER RESIDENCE
ACCESSORY STRUCTURE ADDITION**
7216 MAPLE AVENUE | TAKOMA PARK, MD 20912

DO NOT SCALE THE DRAWINGS. THE ORIGINAL SET OF THESE DRAWINGS SHALL BE THE ONLY TRUE COPY. ANY REVISIONS SHALL BE SHOWN ON THIS SHEET AND INDICATED BY A CIRCLE OR SQUARE. ANY USE OF THESE DRAWINGS FOR ANY PURPOSES OTHER THAN THAT AUTHORIZED BY SAUL ARCHITECTS, INC. WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED.



PROFESSIONAL CERTIFICATION:
I, ERIC SAUL, HEREBY CERTIFY
THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF
THE STATE OF MARYLAND.
LICENSE NO. 14248, EXPIRATION
DATE JUNE 30, 2025

PROJECT NUMBER: 23026
PRINTING LOG

DATE	PURPOSE
01.22.24	PERMIT SET

BLDG. SECTIONS
AND DETAILS

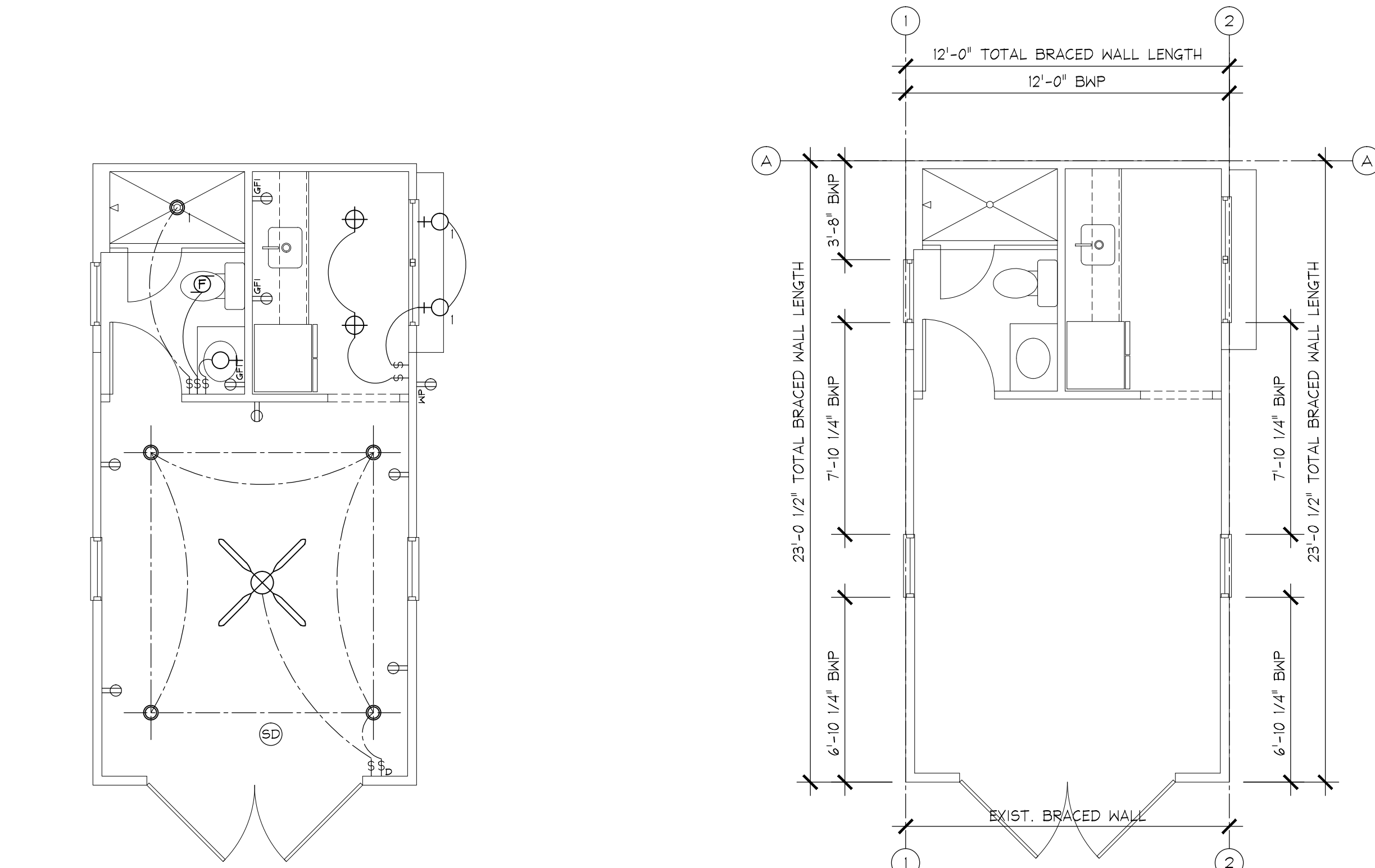
ELECTRICAL SYMBOLS

- ⊞ SWITCH
- ⊞₃ THREE-WAY SWITCH
- ⊞_J JAMB SWITCH
- ⊞_D SWITCH WITH DIMMER
- ⊞_{AS} AIR SWITCH FOR DISPOSAL
- ⊞ DUPLEX RECEPTACLE
- ⊞_{USB} DUPLEX RECEPTACLE W/ USB PORTS
- ⊞₄ QUADRUPLX RECEPTACLE
- ⊞_S SWITCHED OUTLET
- ⊞_{GFCI} GROUND FAULT PROTECTED RECEPTACLE
- ⊞_{WP} WATERPROOF RECEPTACLE
- ⊞ 220V RECEPTACLE
- ⊞_{FLR} FLOOR MOUNTED DUPLEX RECEPTACLE
- ⊞_{LG} CEILING MOUNTED WIRELESS ACCESS POINT JACK
- ⊞_{TV} CABLE TELEVISION JACK W/ DUAL CAT6 DATA WIRING
- ⊞_T TELEPHONE JACK/INTERNET/DATA
- ⊞_{SD} SMOKE DETECTOR
- ⊞_{OSC} SURFACE MOUNTED CEILING FIXTURE (OSC)
- RECESSED CEILING FIXTURE
- ₁ RECESSED CEILING FIXTURE - RATED FOR WET LOCATION
- RECESSED WALL WASH FIXTURE
- +○ WALL MOUNTED FIXTURE
- +○₁ EXTERIOR WALL MOUNTED FIXTURE
- WALL SCONCE
- ⊞ FLOODLIGHT
- ⊞_B BATHROOM EXHAUST FAN
- ⊞_C CEILING FAN (OSC)
- ▬ UNDER CABINET/OVER DOOR LED STRIP LIGHT

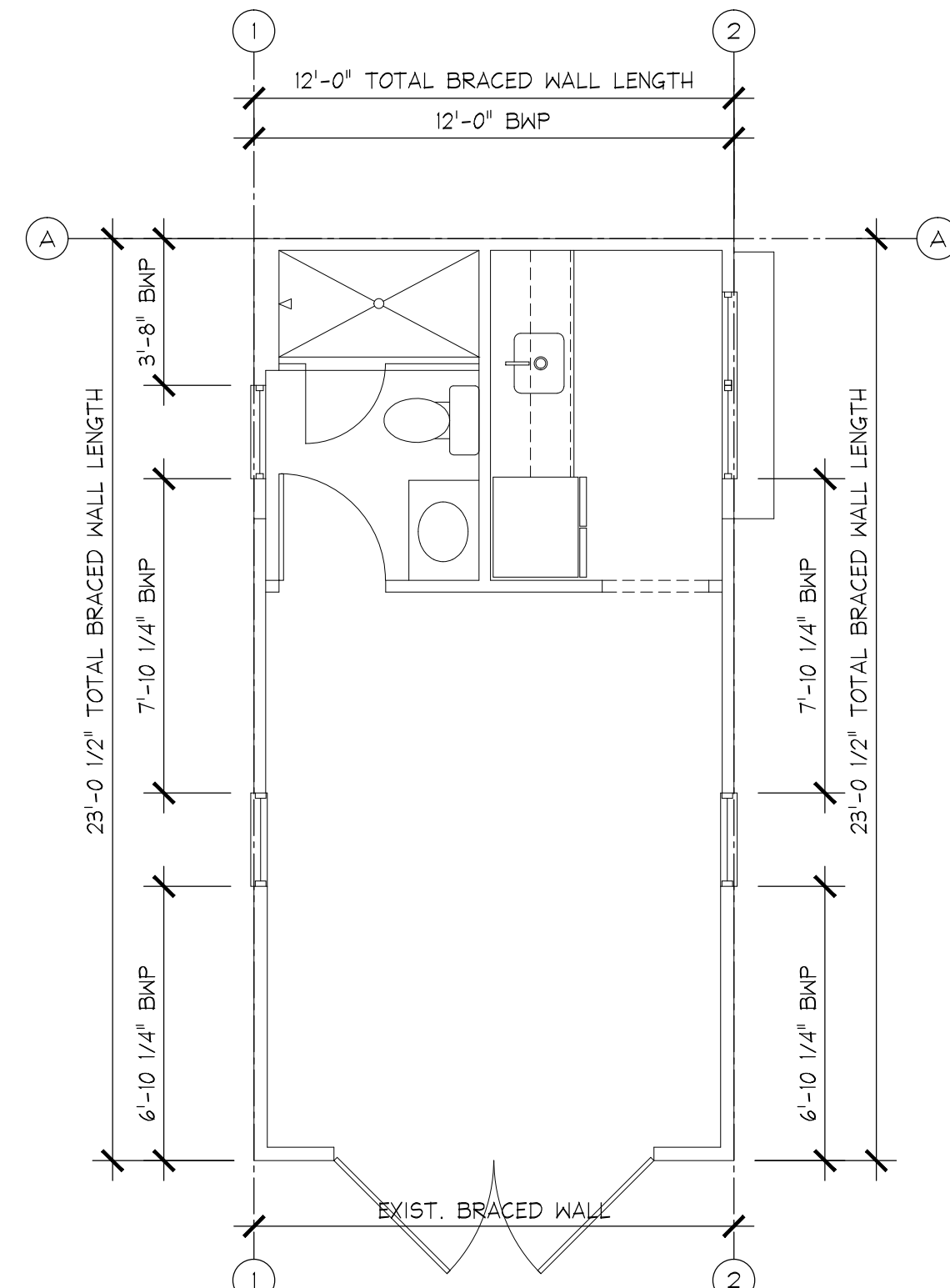
GENERAL ELECTRICAL NOTES:

1. ELECTRICAL LAYOUT TO MEET REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE.
2. SMOKE DETECTORS ARE TO BE HARDWIRED TOGETHER SO THAT ACTIVATION OF ONE DETECTOR ACTIVATES ALL. PROVIDE BATTERY BACK-UPS.
3. INSTALL CARBON MONOXIDE DETECTOR ON EACH FLOOR.
4. WIRE ENTIRE HOUSE FOR INTERNET SERVICE.

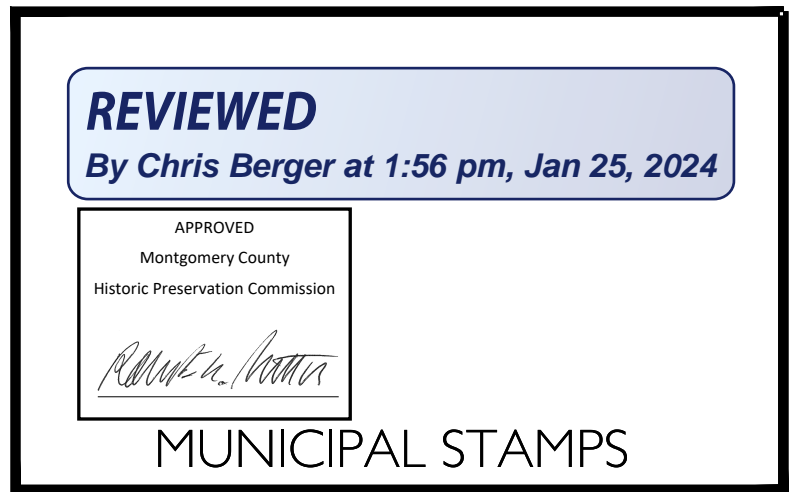
NOTE: USE CONTINUOUS WALL BRACING METHOD PER IRC: R602.10.4
 CS-WSP = 1/2" WOOD STRUCTURAL PANEL (SEE STRUCTURAL NOTE #6 FOR CONNECTION CRITERIA)



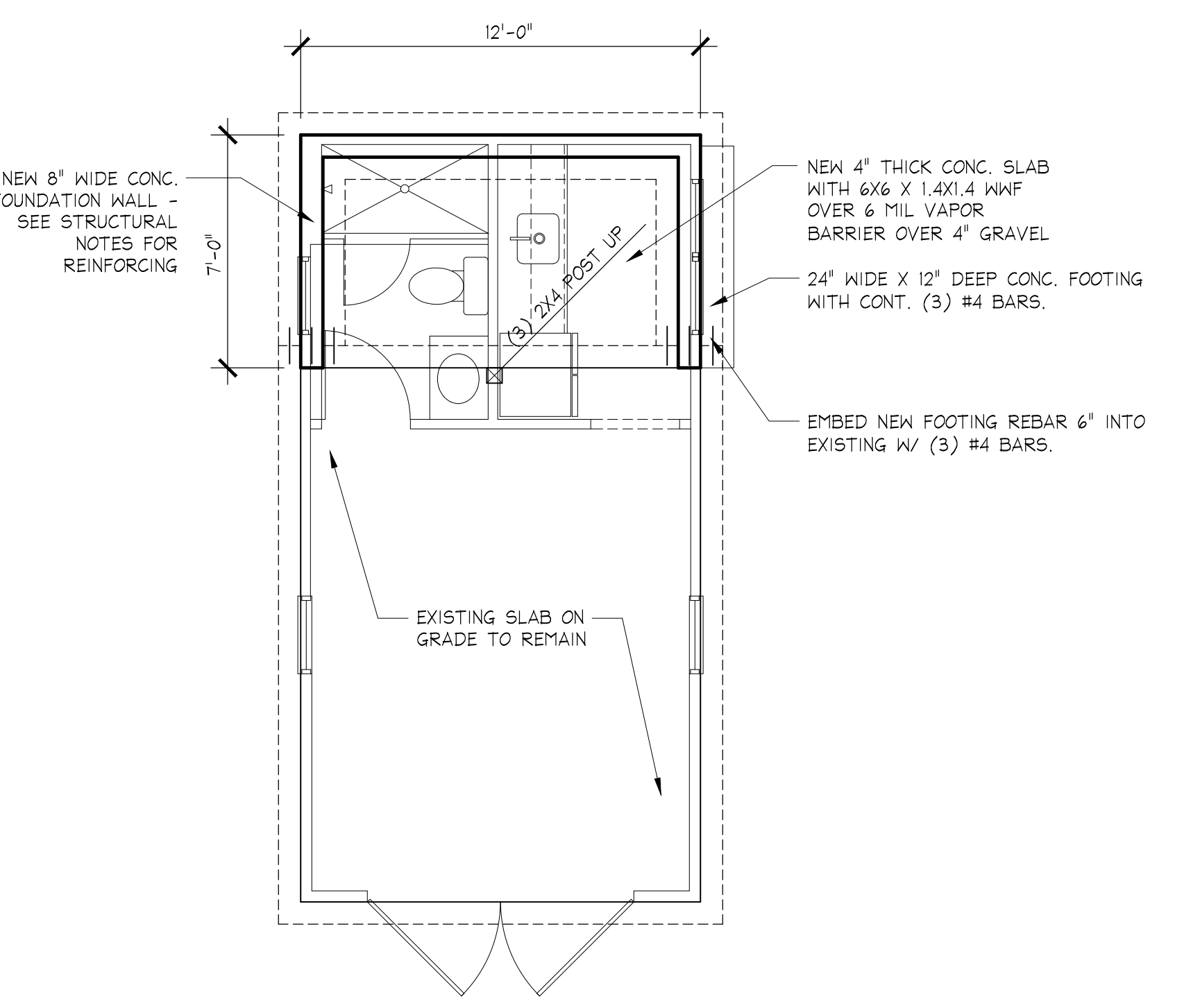
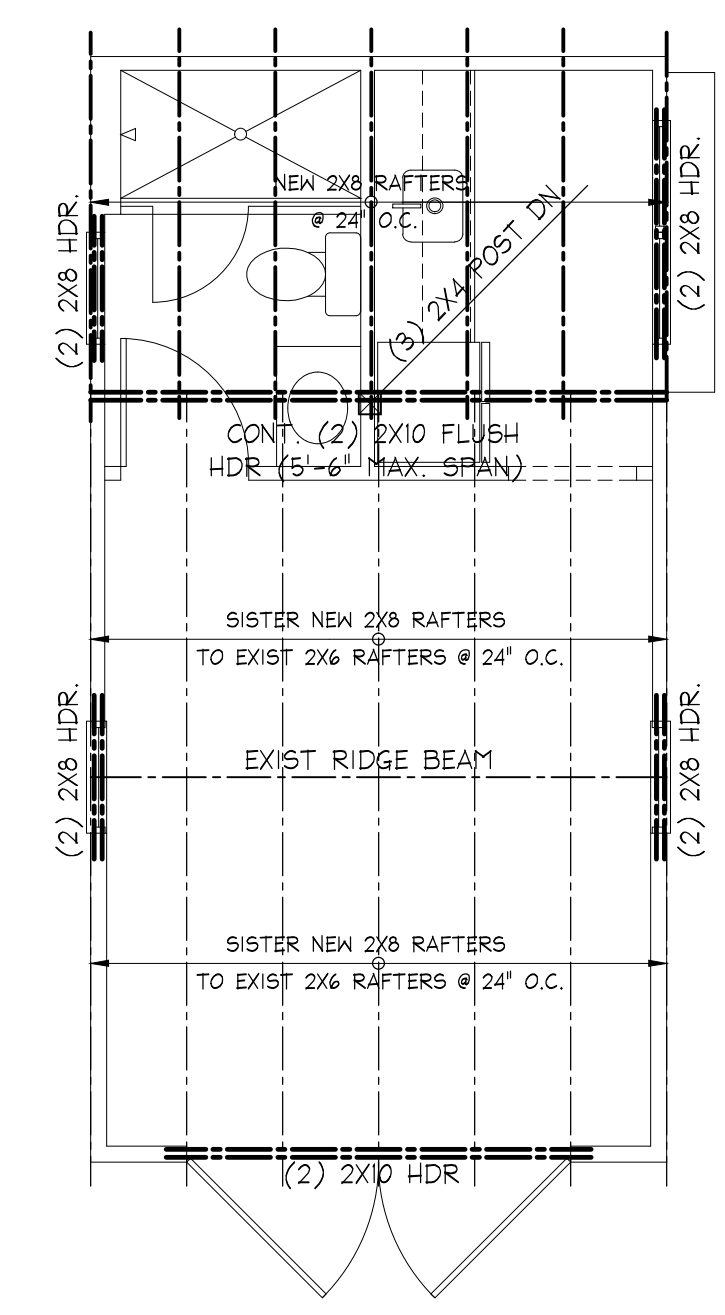
4 ELECTRICAL PLAN
 SE1 1/4" = 1'-0"



3 WIND BRACING PLAN
 SE1 1/4" = 1'-0"



2 ROOF FRAMING PLAN
 SE1 1/4" = 1'-0"



1 FOUNDATION PLAN
 SE1 1/4" = 1'-0"

STRUCTURAL NOTES:

1. USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.
2. LOADS- LIVE -FLOOR RESIDENTIAL - 40PSF; ROOF - 30 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE I
3. FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL. EXISTING FOUNDATIONS ARE ADEQUATE FOR NEW LOADS
4. CONCRETE - 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS. CONC. FOUNDATION WALL REINFORCEMENT: #4 BARS @ 24" O.C. HORIZ. AND VERTICAL - EMBED 8" INTO FOOTING.
5. FRAMING LUMBER SHALL BE STRUCTURAL GRADE, DOUGLAS FIR #2 OR STRONGER. Fb = 1200 PSI MINIMUM. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S Fb=2650PSI, e=1.9M PSI
6. BRACED WALL PANELS (BWP): 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.1.1.
7. CONC. BLOCK REINFORCEMENT: USE 9 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. - NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
8. STRUCTURAL STEEL SHALL BE ASTM A-36. USE AISC STANDARDS
9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
10. STRUCTURAL ENGINEER CERTIFIES THAT THE EXISTING STRUCTURE IS ADEQUATE TO HANDLE ADDITIONAL LOADS FROM THE ADDITION AND WILL PROVIDE CERTIFICATION DURING INSPECTION PROCESS.

ALL NEW EXTERIOR OPENINGS TO HAVE DOUBLE (3) 2x8 HEADERS, U.N.O.

POSTS UNDER HEADERS TO BE ONE KING AND ONE JACK STUD, U.N.O.

NEW DOUBLE WINDOWS TO HAVE TWO JACK STUDS BETWEEN.

EXISTING EXTERIOR OPENINGS TO HAVE A MINIMUM (3) 2x6 UP TO 36" WIDE, (3) 2x8 UP TO 48" WIDE AND (3) 2x10 UP TO 60" WIDE.

NOTE: USE CONTINUOUS WALL BRACING METHOD (#3) PER IRC: R602.10.4

CS-WSP = 1/2" WOOD STRUCTURAL PANEL (SEE STRUCTURAL NOTE #6 FOR CONNECTION CRITERIA.)

SAUL ARCHITECTS
 8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
 P: 301.270.0395
 info@saularchitects.com
 www.saularchitects.com

REVISIONS

WALKER RESIDENCE
ACCESSORY STRUCTURE ADDITION
 7216 MAPLE AVENUE | TAKOMA PARK, MD 20912

DO NOT SCALE THE DRAWINGS. THE DESIGN AND CONSTRUCTION SHALL BE AS SHOWN ON THESE DRAWINGS. ANY CHANGES TO THE DRAWINGS SHALL BE MADE BY A CORRECTED INSTRUMENT OF SERVICE. ANY USE OF THESE DRAWINGS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF SAUL ARCHITECTS IS PROHIBITED. BY ANY METHOD, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED.



PROFESSIONAL CERTIFICATION:
 I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14248, EXPIRATION DATE 6/30/2025

PROJECT NUMBER: 23026

PRINTING LOG

DATE	PURPOSE
01.22.24	PERMIT SET

STRUCTURAL PLANS

SE1



APPROVED

Montgomery County
Historic Preservation Commission

Robert H. Potter

REVIEWED

By Chris Berger at 1:41 pm, Jan 25, 2024



APPROVED

Montgomery County
Historic Preservation Commission

Robert H. Potter

REVIEWED

By Chris Berger at 1:41 pm, Jan 25, 2024



APPROVED

Montgomery County

Historic Preservation Commission

A handwritten signature in black ink, appearing to read "Robert H. Potter", written on a white background with a thin black border.

REVIEWED

By Chris Berger at 1:41 pm, Jan 25, 2024



APPROVED

Montgomery County

Historic Preservation Commission

Robert H. Potter

REVIEWED

By Chris Berger at 1:41 pm, Jan 25, 2024



APPROVED
Montgomery County
Historic Preservation Commission

Robert G. ...

REVIEWED
By Chris Berger at 1:41 pm, Jan 25, 2024



APPROVED

Montgomery County
Historic Preservation Commission



REVIEWED

By Chris Berger at 1:41 pm, Jan 25, 2024

AUG 1959



MAR • 58 •

7216 Maple Ave March 1958 and August 1959
Top left - Robert Light cleaning gutters. Top right and bottom left - note windows on upstairs sunroom
Bottom right note garage doors long before vinyl siding



APPROVED
Montgomery County
Historic Preservation Commission
Robert H. Potter



MAR 58

REVIEWED
By Chris Berger at 1:41 pm, Jan 25, 2024

AUG 1959



MAR • 58 •

7216 Maple Ave March 1958 and August 1959
Top left - Robert Light cleaning gutters. Top right and bottom left - note windows on upstairs sunroom
Bottom right note garage doors long before vinyl siding



APPROVED
Montgomery County
Historic Preservation Commission
Robert H. ...

REVIEWED
By Chris Berger at 1:41 pm, Jan 25, 2024



MAR • 58 •

Chris Berger Site Visit
7216 Maple Ave., Takoma Park
12.28.23



Front façade of residence



REVIEWED
By Chris Berger at 1:37 pm, Jan 25, 2024

Chris Berger Site Visit
7216 Maple Ave., Takoma Park
12.28.23



Accessory structure from right of way.



REVIEWED
By Chris Berger at 1:37 pm, Jan 25, 2024

Chris Berger Site Visit
7216 Maple Ave., Takoma Park
12.28.23



Accessory structure as seen from driveway



REVIEWED
By Chris Berger at 1:37 pm, Jan 25, 2024

Chris Berger Site Visit
7216 Maple Ave., Takoma Park
12.28.23



Front and right side elevations



REVIEWED
By Chris Berger at 1:37 pm, Jan 25, 2024

Chris Berger Site Visit
7216 Maple Ave., Takoma Park
12.28.23



Right side elevation



REVIEWED
By Chris Berger at 1:37 pm, Jan 25, 2024

Chris Berger Site Visit
7216 Maple Ave., Takoma Park
12.28.23



Right and rear elevations



REVIEWED
By Chris Berger at 1:37 pm, Jan 25, 2024

Chris Berger Site Visit
7216 Maple Ave., Takoma Park
12.28.23



Right and rear elevations and holly tree to be removed in rear.



REVIEWED
By Chris Berger at 1:37 pm, Jan 25, 2024

Chris Berger Site Visit
7216 Maple Ave., Takoma Park
12.28.23

APPROVED
Montgomery County
Historic Preservation Commission
Robert H. ...

REVIEWED
By Chris Berger at 1:37 pm, Jan 25, 2024



Left side elevation window.

Chris Berger Site Visit
7216 Maple Ave., Takoma Park
12.28.23

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED

By Chris Berger at 1:37 pm, Jan 25, 2024



Right side elevation window

From: [Marissa Walker](#)
To: [Berger, Chris](#)
Cc: [Eric Saul](#)
Subject: Re: Staff Reports for the Jan. 10 HPC Hearing - 7216 Maple Avenue, Takoma Park
Date: Monday, January 8, 2024 11:22:51 AM
Attachments: [IMG_0347.HEIC](#)
[IMG_0346.HEIC](#)

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Hi Chris,

Thank you for the time and effort you gave to creating this report. One of the conditions you mention is that we should check whether the existing carriage house doors are the original and, if so, we should restore rather than replace. I would love to be able to do that, but I am fairly certain that the existing doors are not the originals. From the inside of the garage, you can see that there are 2 diagonally-placed windows at the top of each door instead of the 6 lights pictured in the old photos. I'm attaching some photos to this email for you to see the view of the inside of the doors. I do hope to find modern replacements that would look like the originals-- any suggestions are welcome!

Best regards,

Marissa Walker

REVIEWED
By Chris Berger at 1:37 pm, Jan 25, 2024



On Thu, Jan 4, 2024 at 4:16 PM Berger, Chris <Chris.Berger@montgomeryplanning.org> wrote:

Good afternoon,

The staff reports for the Wednesday, January 10, Historic Preservation Commission meeting have been posted.

Here is a direct link to the report for your application:

- [I.F – 7216 Maple Avenue, Takoma Park – 1053779](#)

Staff will inform you by Tuesday, January 9, whether your garage addition and tree removal is scheduled to be heard by the Historic Preservation Commission or placed on the consent

agenda. You or a project representative should plan on attending the January 10 meeting in person at the Maryland-National Capital Park and Planning Commission Wheaton Headquarters Auditorium, 2425 Reedie Drive, Wheaton, Maryland, 20902. The meeting begins at 7 p.m. Please contact me if this will not be possible or if other arrangements are required.

After reviewing the staff reports, if you object to the findings or proposed conditions and would like to testify please complete the online form at: <https://montgomeryplanning.org/planning/historic/historic-preservation-commission/historic-preservation-commission-sign-up-to-testify/>. You do not need to sign-up if you have no comments on the application or agree to the conditions.

Let me know if you have any questions.

Chris Berger, AICP

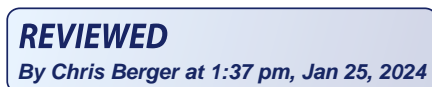
Cultural Resources Planner III

Montgomery County Planning Department

2425 Reedie Drive, 13th Floor, Wheaton, MD 20902

Chris.Berger@montgomeryplanning.org

Office: 301-495-4571



APPROVED
Montgomery County
Historic Preservation Commission

A white rectangular box containing the text 'APPROVED', 'Montgomery County', and 'Historic Preservation Commission'. Below the text is a handwritten signature in black ink, which appears to be 'Robert A. ...'.

REVIEWED
By Chris Berger at 1:37 pm, Jan 25, 2024

APPROVED
Montgomery County
Historic Preservation Commission

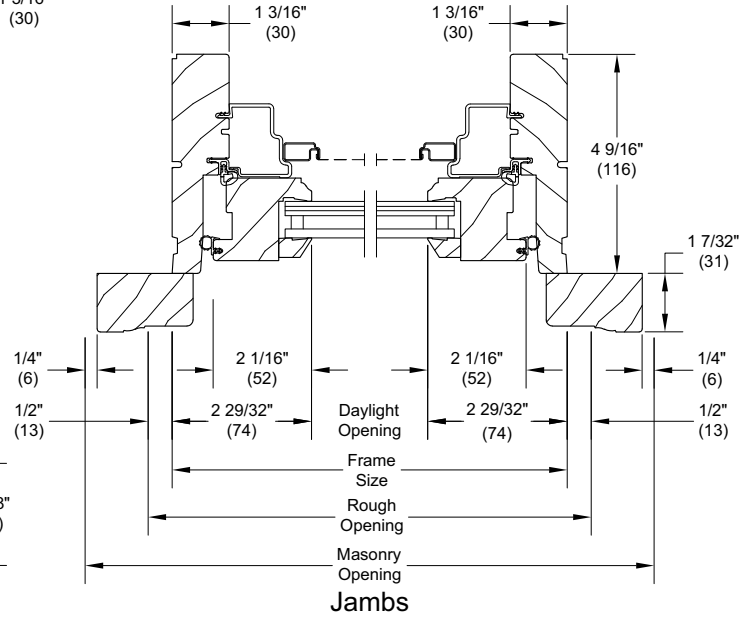
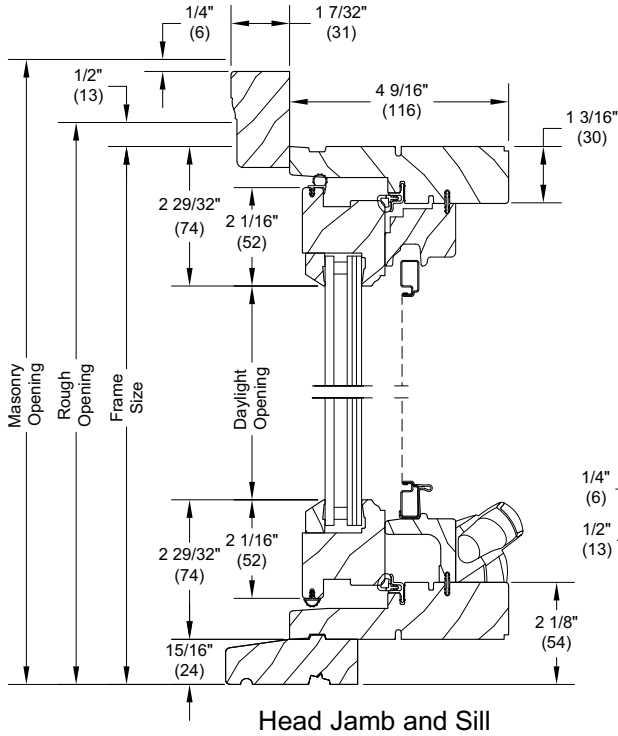


REVIEWED
By Chris Berger at 1:37 pm, Jan 25, 2024

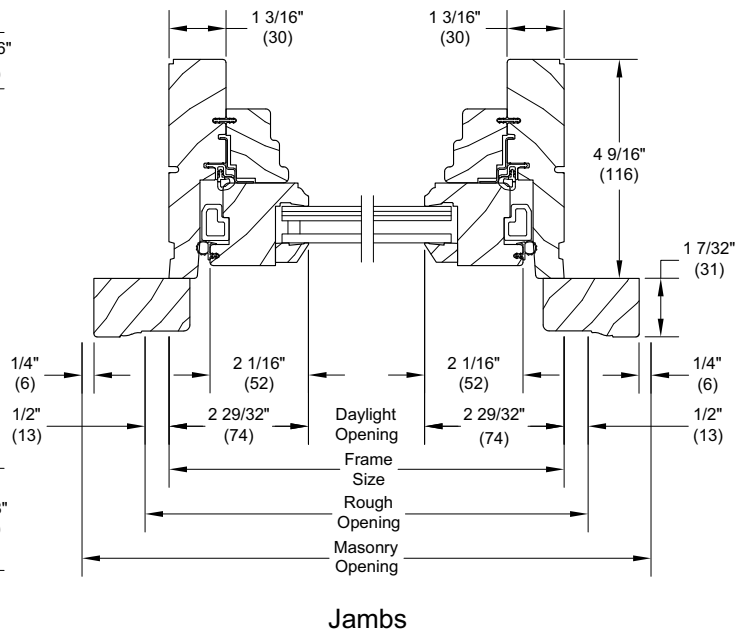
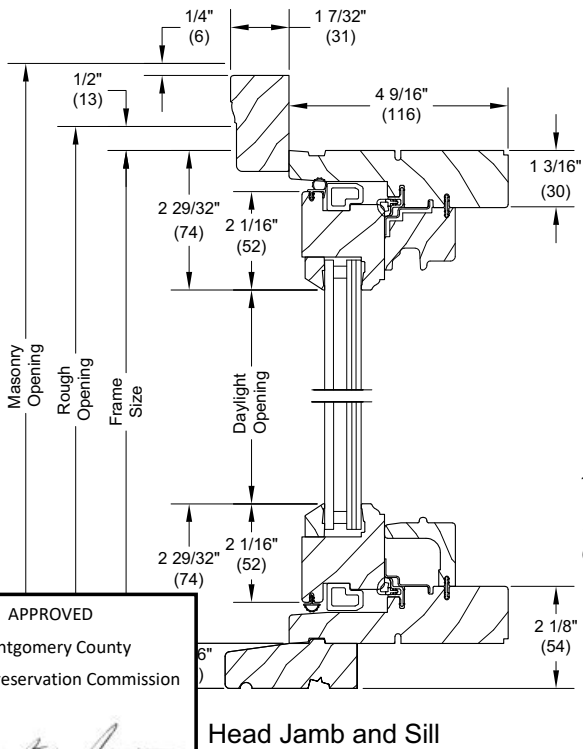
Section Details: IZ3 Operating and Stationary / Picture - 3/4" (19) IG


Scale: 3" = 1' 0"

Operating



Stationary

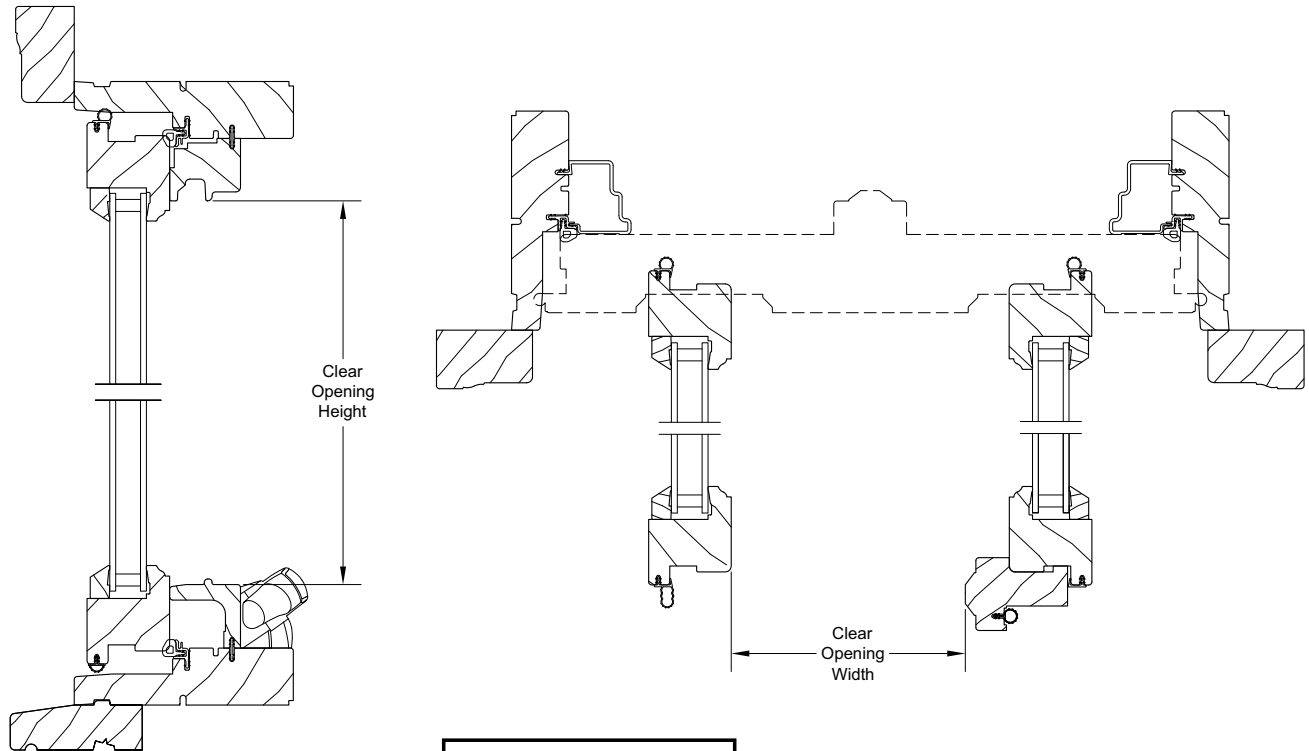


APPROVED
 Montgomery County
 Historic Preservation Commission


REVIEWED
 By Chris Berger at 1:37 pm, Jan 25, 2024

Conversion Table

Unit Measurements		Width			Height	
From	To	in	mm		in	mm
Rough Opening		in	mm		in	mm
OM of Frame	Rough Opening	+ 1	(25)		+ 1/2	(13)
Masonry Opening w/BMC	Rough Opening	-2 5/8	(67)		-1 5/16	(33)
Sash		in	mm		in	mm
OM of Frame	OM of Sash	-1 15/16	(49)	÷ 2	-2 9/16	(65)
Daylight Opening (Std Btm Rail)	OM of Sash	+ 4 1/8	(104)		+ 4 1/8	(104)
Daylight Opening (Tall Btm Rail)	OM of Sash	+ 4 1/8	(104)		+ 5 19/32	(142)
Glass		in	mm		in	mm
Daylight Opening	Glass	+ 1 3/32	(28)		+ 1 3/32	(28)
Screen		in	mm		in	mm
OM of Frame	OM of Screen	-4 9/32	(109)		-5 25/32	(147)
Daylight Opening (Std Btm Rail)	OM of Screen	+ 6 1/32	(153)		+ 15/16	(24)
Daylight Opening (Tall Btm Rail)	OM of Screen	+ 6 1/32	(153)		+ 2 7/16	(62)

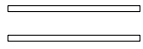


APPROVED
 Montgomery County
 Historic Preservation Commission

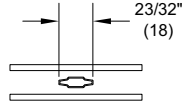
Robert G. [Signature]

REVIEWED
 By Chris Berger at 1:37 pm, Jan 25, 2024

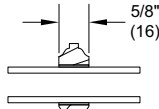
Insulating Glass Lite Options



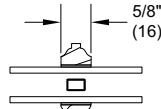
Insulating Glass



Aluminum 23/32"
Contour GBG

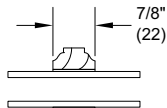


5/8" SDL

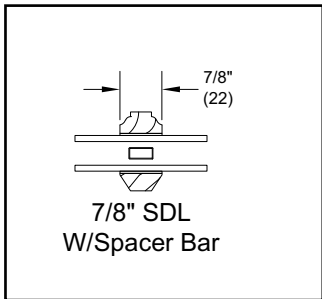


5/8" SDL
W/Spacer

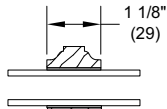
REVIEWED
By Chris Berger at 1:37 pm, Jan 25, 2024



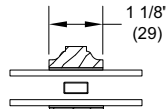
7/8" SDL



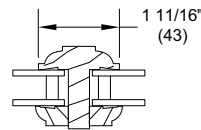
7/8" SDL
W/Spacer Bar



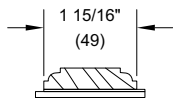
1 1/8" SDL



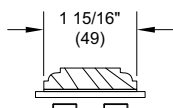
1 1/8" SDL
W/Spacer Bar



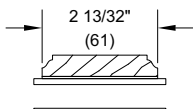
1 11/16" IG ADL



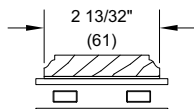
1 15/16" SDL



1 15/16" SDL
W/Two Spacer Bar



2 13/32" SDL



2 13/32" SDL
W/Two Spacer Bar

NOTE: Due to the inherent qualities of tempered glass, daylight gaps may be seen when using simulated divided lite bars. Daylight gaps could be visible between the internal spacer bar and surface applied bars when viewing from an acute angle to the glass on the following applications:

- Tempered glass over 72" high while using 5/8" SDL bars
- Tempered glass over 91" high while using 7/8" SDL bars.

Section Details: Operating

Scale: 3" = 1' 0"

