



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

Date: January 11, 2024

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1053903 - Tree Removal & Hardscape Alteration

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the January 10, 2024 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Nature Forward
Address: 8940 Jones Mill Rd., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



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te of occupancy for our temporary tent, the
to move the temporary tent 11 feet away from
existing, non-historic patio first with a
ek a permanent patio extension and will
that work.) In addition, Nature Forward will
he mansion. will install fire extinguishers and
tain manager training

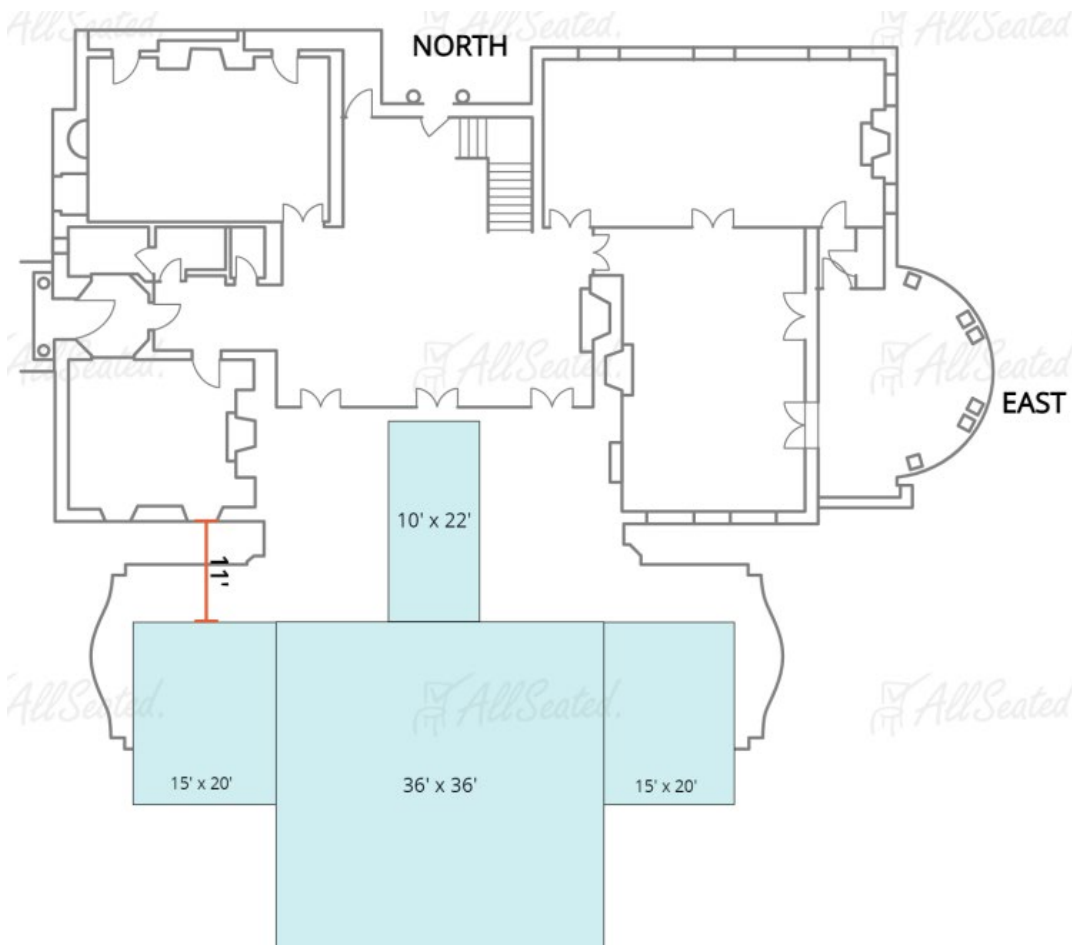
REVIEWED
By Dan.Bruechert at 1:37 pm, Jan 11, 2024

Work Item 1: Non-historic Patio Extension

Overview: In order to comply with fire safety requirements, Nature Forward must move its temporary tent approximately 11 feet away from the mansion. In order to do this in time to serve April event rental clients, we will erect a temporary wood floor as an extension of the non-historic, concrete patio. Over time, we will request additional Historic Preservation Commission approval to extend the non-historic patio with additional concrete blocks molded to match the existing patio.

Description of Current Condition: The existing, non-historic patio has an area of 2215 square feet and dimensions of approximately 70' wide by 30' deep (41' deep at the inset of the house) with a curvilinear set of steps on the south side of the patio.

Proposed Work: See image below of new temporary tent location as required by MCDPS.



Work Item 2: Tent Anchors in non-historic Patio

Overview: In order to comply with fire safety requirements, Nature Forward must move its temporary tent approximately 11 feet away from the mansion. We will need to drill four, 1-inch diameter holes in the non-historic patio to place anchor bolts that will hold the tent in place. Each year, when the temporary tent is taken down for the winter months, the bolts will be removed, and the holes will be plugged.

Description of Current Condition: The existing, non-historic patio is made of concrete formed to look like flagstone.

Proposed work: The work will involve drilling four, 1-inch diameter holes in the non-historic patio to insert four, 7-inch temporary anchor bolts. See images below of the anchor bolts. When the temporary tent comes down in the winter months, the anchor bolts will be removed and the holes in the patio will be plugged.



Tree Survey

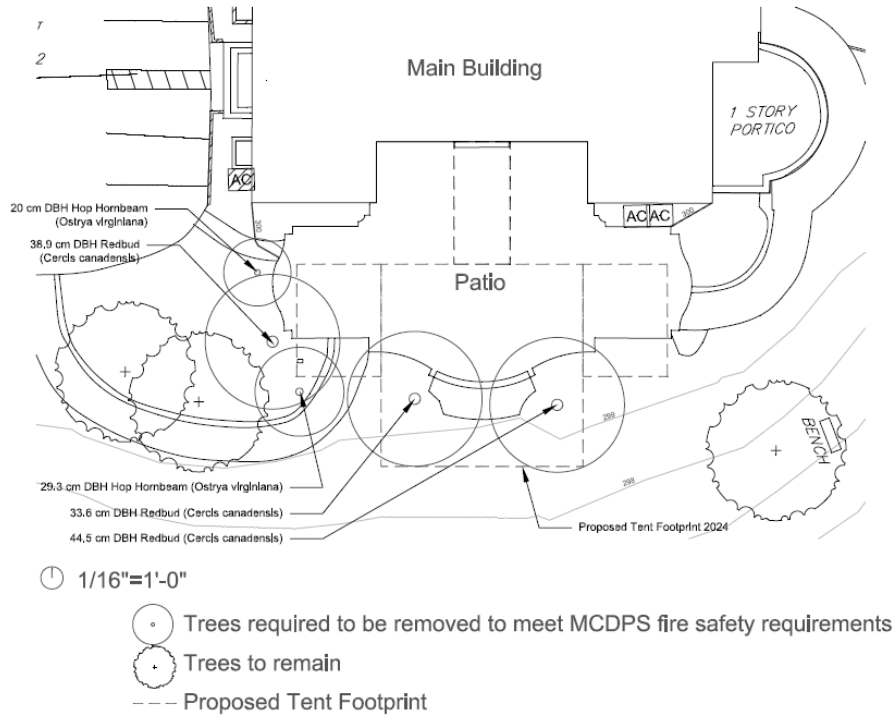
To achieve the required distance from the building, Nature Forward will need to extend the non-historic patio. The temporary patio extension will necessitate removal of the trees listed below. See image on page 8 for location and identification of the trees slated for removal. (Note that Nature Forward will apply for a permanent patio extension in a future HAWP.)

- 1. Eastern Redbud, *Cercis canadensis*, 15.31 inches dbh
- 2. American Hophornbeam, *Ostrya virginiana*, 11.54 inches dbh
- 3. American Hophornbeam, *Ostrya virginiana*, 7.87 inches dbh
- 4. Eastern Redbud, *Cercis canadensis*, 13.38 inches dbh
- 5. Eastern Redbud, *Cercis canadensis*, 17.71 inches dbh

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Because of Nature Forward’s mission to protect the natural environment, we will replace the 5 removed trees threefold, with 15 new native species trees as follows.

- 3 Eastern Redbud, *Cercis canadensis*, 1 inch caliper
- 3 Fringetree, *Chionanthus virginicus*, 1 inch caliper
- 3 American Hophornbeam, *Ostrya virginiana*, 2-inch caliper
- 6 American Holly, *Ilex Opaca*, 2-inch caliper

Because MCDPS fire code does not allow trees to be adjacent to temporary tent structures, the 15 new trees will be planted at the edge of the mansion’s south lawn.

Working with the Community

In 2017, Nature Forward formed a Community Liaison Council to help keep our neighbors apprised of plans for Woodend and to solicit their feedback on plans for Woodend. To date, we have held 16 Community Liaison Meetings. We have reported to our neighbors about projects including the Accessible Nature Play Space, Accessible Nature Trail, Stream and Habitat Restoration, and interpretive signage. All Community Liaison Council meeting minutes are on file with the Board of Appeals. Our next Community Liaison Council meeting will be held in Spring 2024.

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