



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert Sutton  
*Chairman*

Date: April 26, 2024

### MEMORANDUM

TO: Rabbiah Sabbakhan  
Department of Permitting Services

FROM: Chris Berger  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 956436 - revisions to previously approved HAWP

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the January 24, 2024, HPC meeting with one condition:

1. The applicants must provide an accurate set of final drawings before the plans are stamped.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Pulte Home Company LLC  
Address: 9302 Lee Highway, Suite 1000, Fairfax, Virginia

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Chris Berger at 301-495-4571 or [chris.berger@montgomeryplanning.org](mailto:chris.berger@montgomeryplanning.org) to schedule a follow-up site visit.





# CEPHAS SUMMER HOUSE

22200 CLARKSBURG RD.  
BOYDS, MD 20841

## Mid-Atlantic Division

### APPLICABLE DESIGN CODES

International Residential Code 2018 Edition  
International Energy Conservation Code - 2018

Architect

### BUILDING LOADS

Reference structural cover sheet for Structural Building Loads

### STRUCT. ENGINEER

### BUILDING CRITERIA

HEIGHT LIMITATION:  
3 Story Maximum  
EMERGENCY ESCAPE:  
Egress or rescue windows from sleeping rooms Shall have a minimum area of 5.7 sq. ft.  
GARAGE/HOUSE CLG./ WALL ASSEMBLY:  
1/2" Gypsum Board or (1) Layer of 5/8" type 'X' gypsum board if required by code at the wall and ceiling, w/ 20 min. garage/house door  
INTERIOR STAIR PROTECTION:  
(1) Layer of 1/2" Gypsum board to all surfaces in accessible area  
REQUIRED FIRE SPRINKLERS:  
Building shall be equipped with sprinklers throughout according to NFPA 13D, as required by code.

### NOTES

Reference sheet A0.02 for General Notes & Specifications

© Copyright Pulte Home Corporation - 2023

**Mid-Atlantic Division**  
9302 Lee Highway - Suite 1000  
Fairfax, Virginia - 22031



### DRAWING INDEX

SHEET NO.	SHEET DESCRIPTION
--- ARCHITECTURAL ---	
CS-01	ARCHITECTURAL COVER SHEET, ABBREVIATIONS
A0.02	SPECIFICATIONS AND GENERAL NOTES
A0.03	LIGHT AND VENTILATION SCHEDULE
A0.1	BASEMENT & FIRST FLOOR PLANS
A1.1	SECOND FLOOR & ROOF PLANS
A4.1	RIGHT SIDE ELEVATION
A4.2	LEFT SIDE ELEVATION
A4.3	FRONT ELEVATION
A4.4	REAR ELEVATION
A6.0	BUILDING SECTIONS
E0.1	BASEMENT AND FIRST FLOOR ELECTRICAL PLANS
E1.1	SECOND FLOOR ELECTRICAL PLAN
G1	GARAGE-FLOOR PLANS
G2	GARAGE ELEVATIONS AND WINDOW DETAILS
G3	GARAGE BUILDING SECTION
GE1	GARAGE ELECTRICAL PLANS
\$-0	GENERAL NOTES
\$-1.11	1ST FLOOR FRAMING PLAN
\$-2.11	2ND FLOOR FRAMING PLAN
\$-3.11	ROOF FRAMING PLANS
SD.01	TYPICAL FOUNDATION DETAILS
SD.01.1	TYPICAL GARAGE SLAB FOUNDATION DETAILS
SD.02	TYPICAL DETAILS
SD.04	TYPICAL FRAMING DETAILS
SD.05	TYPICAL FRAMING DETAILS

**REVIEWED**  
By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission



### ABBREVIATIONS

A.B.	ANCHOR BOLT	JT.	JOINT
A.F.F.	ABOVE FINISH FLOOR	KSI	KIPS PER SQUARE INCH
A.S.F.	ABOVE SUBFLOOR	LT. WT.	LIGHTWEIGHT
ADJ.	ADJACENT/ADJUSTABLE	LT.	LIGHT
A.F.T.	ABOVE FINISH TREAD	L.T.	LAUNDRY TUB
ALUM.	ALUMINUM	M.S.	MASONRY
ANCH.	ANCHOR	MAT.	MATERIAL
∠	ANGLE	MAX.	MAXIMUM
ARCH.	ARCHITECTURAL	MDO.	MEDIUM DENSITY OVERLAY
⊙	AT	M.ECH.	MECHANICAL
BD.	BOARD	MIN.	MINIMUM
BLDG.	BUILDING	M.O.	MASONRY OPENING
BM	BEAM	MTL.	METAL
BTM	BOTTOM	N.I.C.	NOT IN CONTRACT
BLKG.	BLOCKING	(N.T.S.)	NOT TO SCALE
BRG.	BEARING	O.C.	ON CENTER
BRK	BRICK	OPER.	OPERATOR
BSMT	BASEMENT	OPNG.	OPENING
C.J.	CONTROL JOINT	OPT.	OPTIONAL
CL	CENTER LINE	O.S.B.	ORIENTED STRAND BOARD
C.M.U.	CONCRETE MASONRY UNIT	OZ.	OUNCE
COL.	COLUMN	1/R	ONE ROD
CONC.	CONCRETE	1/S	ONE SHELF
COND.	CONDITION	PC	PRECAST
CONT.	CONTINUOUS	PBD.	PARTICLE BOARD
CONST.	CONSTRUCTION	P.E.	PER ELEVATION
CTSK.	COUNTERSINK	PL.	PLATE
C.O.	CASED OPENING	PNL	PANEL
CANT.	CANTILEVER	PMD.	PLYWOOD
C.T.	CERAMIC TILE	PF.	PREFABRICATED
CLG.	CEILING	PR.	PAIR
C.M.	CROWN MOULD	PROJ.	PROJECT / PROJECTED
C.R.	CHAIR RAIL	PSI	POUNDS PER SQ. IN.
D	DRYER	PSF	POUNDS PER SQ.F.T.
PENNY	PENNY	P.T.	PRESSURE TREATED
DBL	DOUBLE	QUAD.	QUADRUPLE
DIA.	DIAMETER	REF.	REFER TO REFERENCE
DIR.	DIRECTION	REINF.	REINFORCING/REINFORCED
DN	DOWN	REQD.	REQUIRED
DR.	DOOR	RMS.	ROOMS
DW.	DISH WASHER	RNG.	RANGE
DWG.	DRAWING	R.O.	ROUGH OPENING
D.S.	DOWN SPOUT	R.	RISER
DTL	DETAIL	RND.	ROUND
E.A.	EACH	S.C.	SAWCUT
E.J.	EXPANSION JOINT	SCHEM.	SCHEMATIC
ELEC.	ELECTRICAL	SHLF	SHELF
ELEV.	ELEVATION	SHT.	SHEET
EQ.	EQUAL	SIM.	SIMILAR
EQUIP.	EQUIPMENT	S.S.	STAINLESS STEEL
EXP.	EXPANSION	STL.	STEEL
EXT.	EXTERIOR	STRUCT.	STRUCTURAL
EE.	EACH END	SUSP.	SUSPENSION
F/C	FLOOR COVERING CHANGE	SGD.	SLIDING GLASS DOOR
F.D.	FLOOR DRAIN	SO.	SQUARE
FDL.	FOUNDATION	TB	TOWEL BAR
FLR.	FLOOR	T & G	TONGUE AND GROOVE
FP.	FIREPLACE	TGS	TOP OF GRADE SLAB
F.R.	FIRE RATED	TFW	TOP OF FOUNDATION WALL
FRM.	FRAME	TYP	TYPICAL
FT.	FOOT / FEET	T	TREAD
FTG.	FOOTING	TR	TOWEL ROD
GA.	GAUGE	TRPL	TRIPLE
GALV.	GALVANIZED	U.N.O.	UNLESS NOTED OTHERWISE
G.C.	GENERAL CONTRACTOR	VERT.	VERTICAL
GEN.	GENERAL	V.I.F.	VERIFY IN FIELD
GYP.	GYP SUM	W	WASHER
G.L.	GLUE LAM	W/	WITH
HW/R.	HARDWARE	WD.	WOOD
HD.WD.	HARDWOOD	W.W.F.	WELDED WIRE FABRIC
HGT.	HEIGHT	WD #	W/D WALKOUT
HORZ.	HORIZONTAL/HORIZONTALLY	WNW	W/D WINDOW
HR.	HOUR		
HDR.	HEADER		
HB	HOSE BIB		
I.D.	INSIDE DIAMETER		
INCR.	IN GROUND		
INSUL.	INSULATION		
INT.	INTERIOR		
I.S.	INSIDE CORNER		

PULTE - CEPHAS - SUMMER HOUSE  
22200 CLARKSBURG RD., BOYDS, MD 20841

PRODUCTION MANAGER  
JM  
CURRENT RELEASE DATE: 03/20/2024

REV #	DATE	DESCRIPTION

PROJECT TYPE  
**SINGLE FAMILY**

GARAGE HANDING

PLAN NAME  
**CEPHAS**  
NPC PLAN NUMBER  
**2818.600.00**  
LAWSON PLAN ID  
**51002**

SHEET  
**CS.01**

NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES.







SCHEDULE of AREAS	
<b>BASE HOUSE - CONDITIONED AREA</b>	
FIRST FLOOR	1540
SECOND FLOOR	1064
AREA ABOVE GRADE PLANE	2604
BASEMENT	1540
TOTAL CONDITIONED (BASE)	4144
<b>BASE HOUSE - UNCONDITIONED AREA</b>	
GARAGE	885
BONUS ROOM	400
PORCH	215
COVERED PORCH	90
TOTAL UNCONDITIONED (BASE)	1590
<b>TOTAL FLOOR AREA (BASE)</b>	<b>5734</b>

VOLUME CALCULATION	
<b>BASE HOUSE</b>	
FIRST FLOOR	13860
SECOND FLOOR	8512
GARAGE	8850
BASEMENT - 9 FT.	13860
BONUS ROOM	41440
ROOF	1540
GARAGE ROOF	0
<b>TOTAL (BASE)</b>	<b>88062</b>

LIGHT & VENT SCHEDULE						
ROOM NAME	AREA	REQUIRED		SUPPLIED		
		LIGHT	VENT	LIGHT	VENT	
BASEMENT FLOOR PLAN						
BASEMENT BEDROOM	137.43	10.99	5.50	11.63		5.8
HOME OFFICE	148.27	11.86	5.93	6.39 / ARTIF.		MECH.
MEDIA ROOM	164.00	13.12	6.56	6.39 / ARTIF.		MECH.
RECREATION ROOM	444.69	35.58	17.79	36.39		15 / MECH.
FIRST FLOOR PLAN						
SOUTH ROOM / FOYER / NORTH ROOM	424.02	33.92	16.96	51.03		25.5
PWDR.	32.70	2.62	1.31	11.01		5.5
DINING ROOM	166.84	13.35	6.67	24.76		12.38
WEST ROOM 1 & 2	481.52	38.52	19.26	97.52		21.76
HABITABLE ATTIC						
UPPER SOUTH ROOM	155.44	12.44	6.22	12.38 / ARTIF.		6.19 / MECH.
UPPER NORTH ROOM	150.64	12.05	6.03	12.38		6.19
BATH 3	45.22	3.62	1.81	12.38		6.19
EAST ROOM 1 UPPER	206.78	16.54	8.27	46.52		23.26
BATH #1	110.12	8.81	4.40	12.52		6.26
GARAGE						
BONUS ROOM	362.21	28.98	14.49	10.35 / ARTIF.		5.18 / MECH.

ARTIF. = ARTIFICIAL LIGHT SUPPLIED  
 MECH. = MECHANICAL VENTILATION SUPPLIED  
 THIS TABLE SHOWS CALCULATIONS FOR THE BASE HOUSE CONDITION

ABBREVIATIONS			
AFF	ABOVE FINISH FLOOR	MAS	MASONRY
A/C	AIR CONDITIONING	MATL	MATERIAL
ALT	ALTERNATE	MAX	MAXIMUM
ARCH	ARCHITECT ARCHITECTURAL	MECH	MECHANICAL
BSMT	BASEMENT	MC	MEDICINE CABINET
BLK	BLOCK	MTL	METAL
BLKG	BLOCKING	MIN	MINIMUM
BD	BOARD	MIR	MIRROR
BLDG	BUILDING	MISC	MISCELLANEOUS
CAB	CABINET	MOD	MODULAR
CPT	CARPET	MULL	MULLION
CSMT	CASEMENT WINDOW	NTS	NOT TO SCALE
CLS	CEILING	OC	ON CENTER
CIR	CIRCLE	OA	OVERALL
CIRC	CIRCUMFERENCE	OH	OVERHEAD
CLR	CLEAR CLEARANCE	OPT	OPTIONAL
COL	COLUMN	PB	PUSH BUTTON
CMU	CONCRETE MASONRY UNIT	PNL	PANEL
CONC	CONCRETE	PAR	PARTITION
CONST	CONSTRUCTION	PED	PEDESTAL
CONT	CONTINUOUS	PL	PLATE
CJ	CONTROL OR CONSTRUCTION JOINT	PVC	POLYVINYL CHLORIDE
CF	CUBIC FOOT	PREFAB	PREFABRICATE PREFABRICATED
CY	CUBIC YARD	R	RISER
DET	DETAIL	REF	REFERENCE
DIA	DIAMETER	REFR	REFRIGERATOR
DIM	DIMENSION	REINF	REINFORCE REINFORCED REINFORCING
DW	DISH WASHER	R.A.G.	RETURN AIR GRILLE
DR	DOOR	REV	REVISIONS REVISED
DH	DOUBLE HUNG	RD	ROOF DRAIN
DS	DOWNSPOUT	RFG	ROOFING
ELEC	ELECTRIC ELECTRICAL	RM	ROOM
ELEV	ELEVATION	RO	ROUGH OPENING
EQ	EQUAL	SCHED	SCHEDULE
EXH	EXHAUST	SECT	SECTION
EXT	EXTERIOR	SOD	SLIDING GLASS DOOR
FO	FACE OF	SHTH	SHEATHING
FIN	FINISH	SHT	SHEET
FPL	FIREPLACE	SH	SHELF SHELVING SINGLE HUNG WINDOW
FLR	FLOOR FLOORING	SIM	SIMILAR
FD	FLOOR DRAIN	SL	SLIDING WINDOW
FLUOR	FLUORESCENT	SC	SOLID CORE
FTG	FOOTING	SPKR	SPEAKER
FND	FOUNDATION	SPEC	SPECIFICATIONS
FUR	FURR FURRED FURRING	SQ	SQUARE
GA	GAUGE	STD	STANDARD
GDO	GARAGE DOOR OPENER	STL	STEEL
GFI	GROUND FAULT CIRCUIT	STOR.	STORAGE
GFI/WP	GROUND FAULT CIRCUIT-WEATHER PROOF	STOR.	STORAGE
GL	GLASS GLAZING	STRUC	STRUCTURAL
GYP BD	GYPSPUM WALLBOARD DRYWALL	TEL	TELEPHONE
HDW	HARDWARE	TV	TELEVISION
HDR	HEADER	THR	THRESHOLD
HVAC	HEATING-VENTILATING-AIR CONDITIONING	T&G	TONGUE AND GROOVED
HGT	HEIGHT	TOC	TOP OF CONCRETE
HC	HOLLOW CORE	TOF	TOP OF FOUNDATION
HORIZ	HORIZONTAL	TYP	TYPICAL
HB	HOSE BIBB	UNF	UNFINISHED
INSUL	INSULATE INSULATED INSULATION	UNO	UNLESS NOTED OTHERWISE
INT	INTERIOR	VERT	VERTICAL
JT	JOINT	WH	WATER HEATER
JST	JOIST	WC	WATER CLOSET
KIT	KITCHEN	WIN	WINDOW
LAV	LAVATORY	W/	WITH
LT	LIGHT	W/O	WITHOUT
LNTL	LINTEL	WD	WOOD
LVR	LOUVER	WI	WROUGHT IRON
MFR	MANUFACTURE MANUFACTURER		

**REVIEWED**  
 By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED  
 Montgomery County  
 Historic Preservation Commission

**Mid-Atlantic Division**  
 9302 Lee Highway - Suite 1000  
 Fairfax, Virginia - 22031



**PULTE - CEPHAS - SUMMER HOUSE**  
 22200 CLARKSBURG RD., BOYDS, MD 20841  
**LIGHT & VENT SCHEDULES**

PRODUCTION MANAGER  
 JM  
 CURRENT RELEASE DATE: 03/20/2024

REV #	DATE	DESCRIPTION

PROJECT TYPE  
**SINGLE FAMILY**

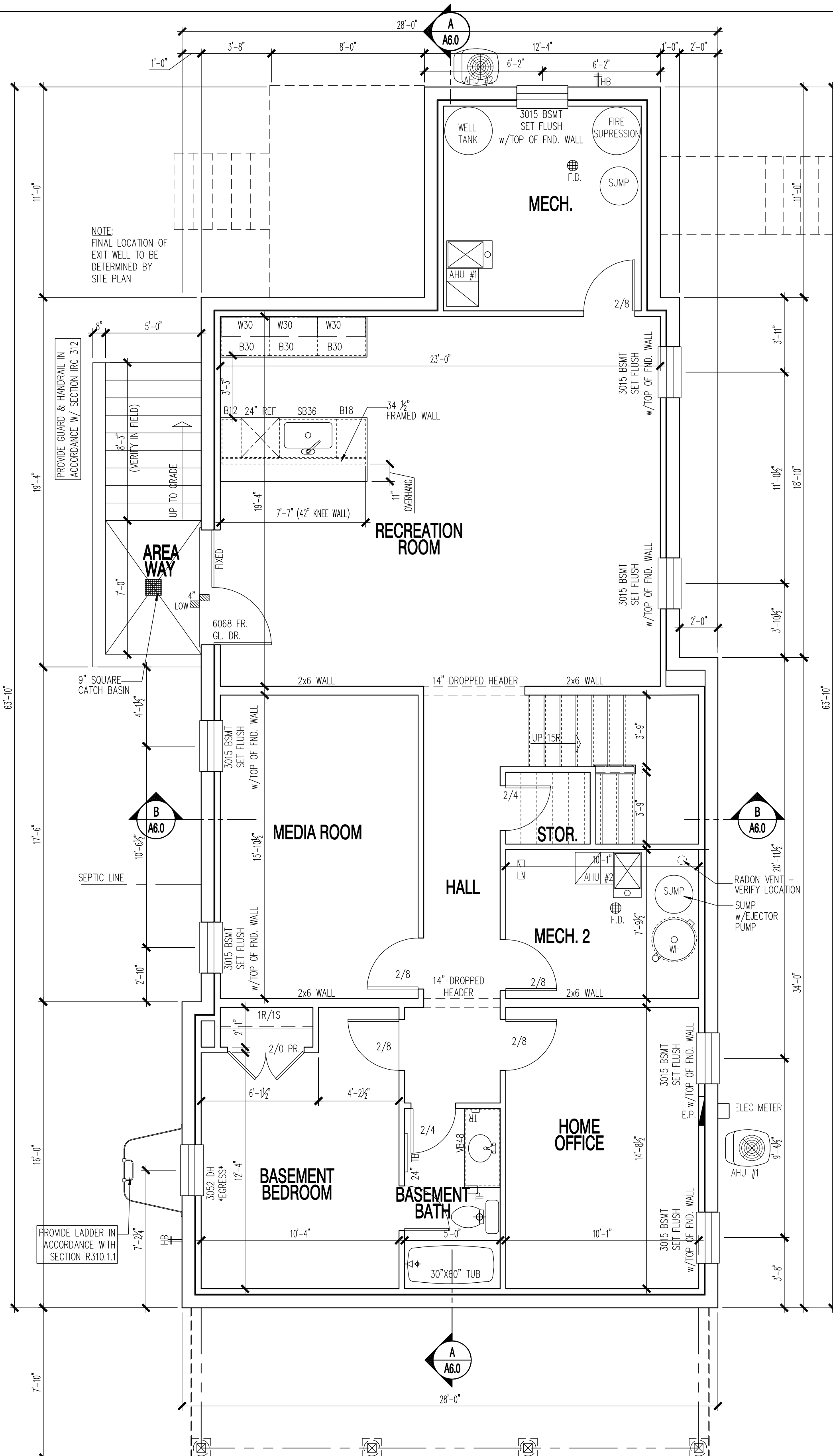
GARAGE HANDED

PLAN NAME  
**CEPHAS**  
 NPC PLAN NUMBER  
**2818.600.00**  
 LAWSON PLAN ID  
**51002**

SHEET  
**A0.03**

NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES.



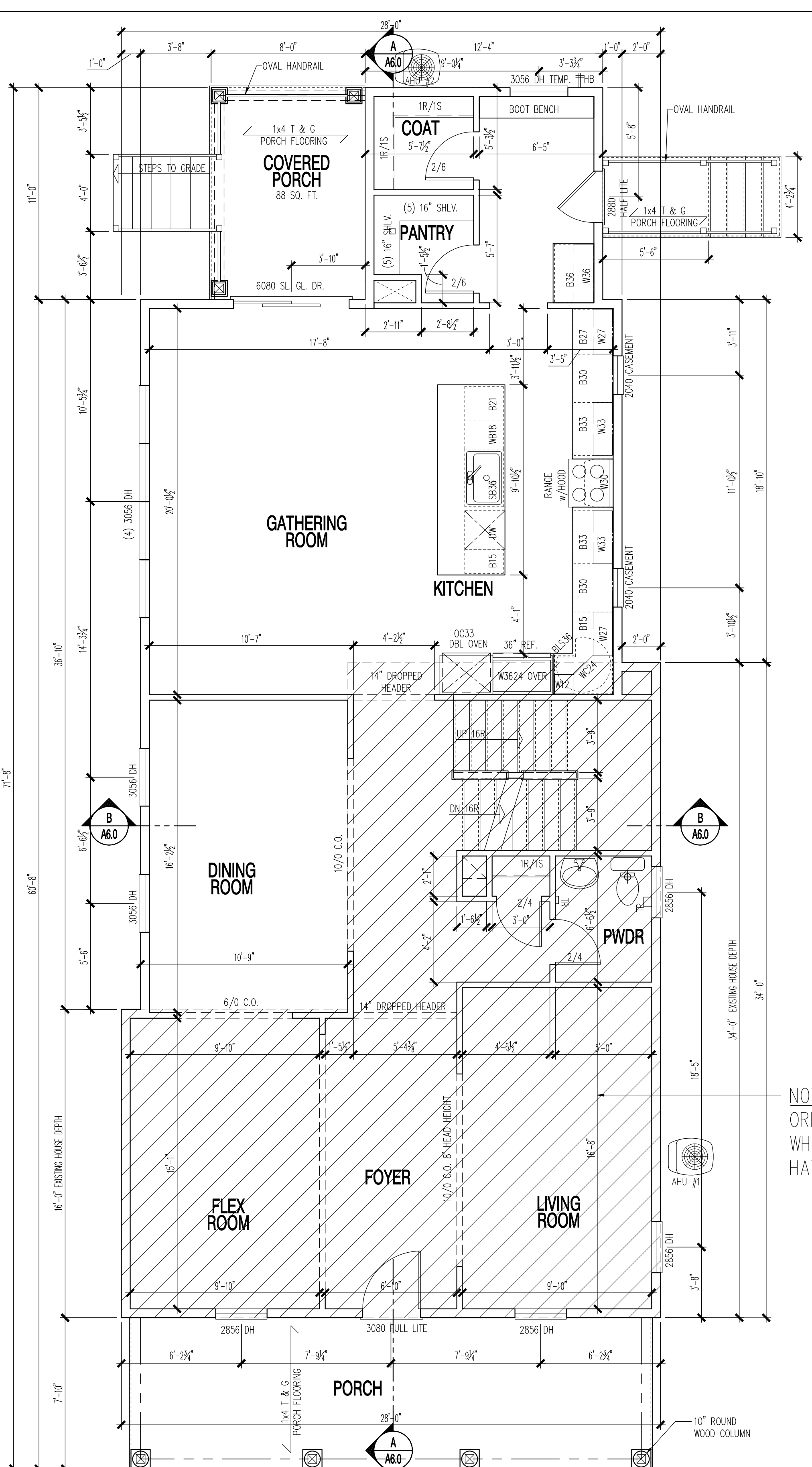


**BASEMENT FLOOR PLAN**  
 EXISTING 0 SQ. FT.  
 PROPOSED 1404 SQ. FT. = 1404 ADDED  
 STORAGE 92 SQ. FT. = 92 ADDED  
 SCALE: 1/4" = 1'-0"

NOTE: FINAL FLOOR PLAN LAYOUT IS SUBJECT TO CHANGE DUE TO MARKET CONDITIONS AND LAYOUT IMPROVEMENT. NO CHANGE IN THE BUILDING FOOTPRINT OR EXTERIOR OPENING WILL CHANGE ONCE FINAL EXTERIORS ARE APPROVED.

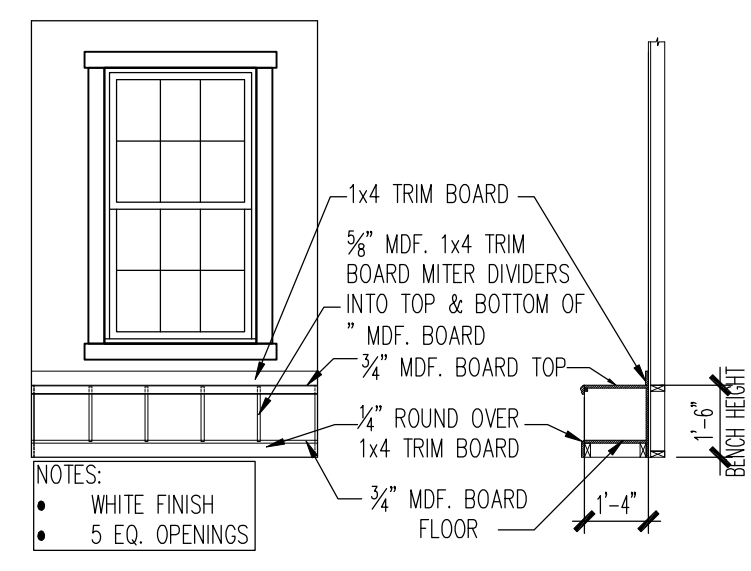
**REVIEWED**  
 By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED  
 Montgomery County  
 Historic Preservation Commission



**FIRST FLOOR PLAN**  
 EXISTING 740 SQ. FT.  
 PROPOSED 1496 SQ. FT. = 756 ADDED  
 211 SQ. FT. PORCH  
 SCALE: 1/4" = 1'-0"

NOTE: FINAL FLOOR PLAN LAYOUT IS SUBJECT TO CHANGE DUE TO MARKET CONDITIONS AND LAYOUT IMPROVEMENT. NO CHANGE IN THE BUILDING FOOTPRINT OR EXTERIOR OPENING WILL CHANGE ONCE FINAL EXTERIORS ARE APPROVED.



**BOOT BENCH DETAIL**  
 SCALE: 1/4" = 1'-0"

NOTE: ORIGINAL HOUSE WHERE SHOWN HATCHED

REV #	DATE / DESCRIPTION

PRODUCTION MANAGER	DATE
JM	03/20/2024
RELEASE DATE	03/20/2024
REV #	DATE / DESCRIPTION

PROJECT TYPE
SINGLE FAMILY
GARAGE HANDING
XXXX XXXXXX

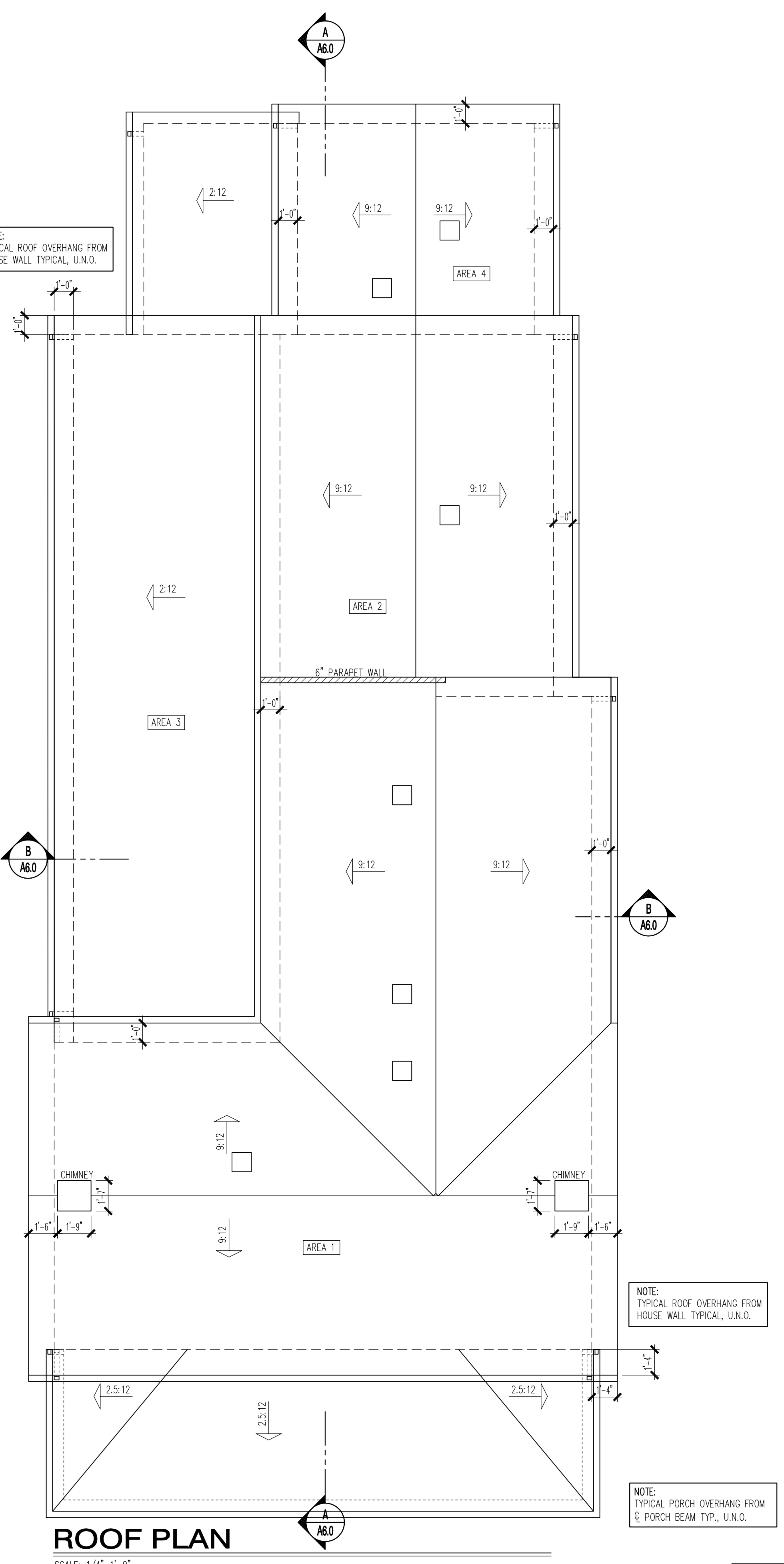
PLAN NAME

CEPHAS  
NFC PLAN NUMBER  
2818.600.00  
LAWSON PLAN ID  
51002

(c) Copyright Pulte Home Corporation - 2012

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES.



**ROOF PLAN**

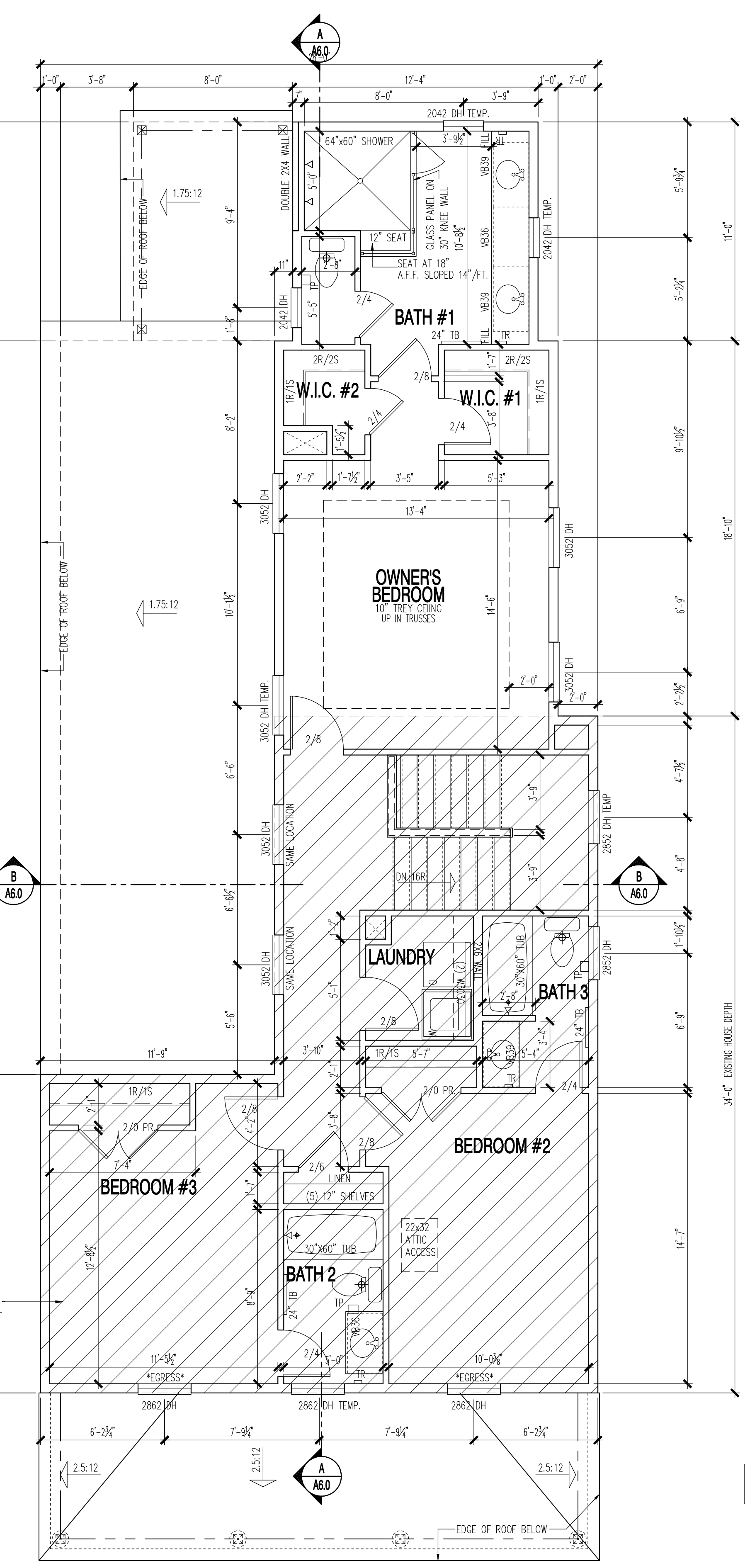
SCALE: 1/4"=1'-0"

**REVIEWED**  
By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission



NOTE: FINAL FLOOR PLAN LAYOUT IS SUBJECT TO CHANGE DUE TO MARKET CONDITIONS AND LAYOUT IMPROVEMENT. NO CHANGE IN THE BUILDING FOOTPRINT OR EXTERIOR OPENING WILL CHANGE ONCE FINAL EXTERIORS ARE APPROVED.



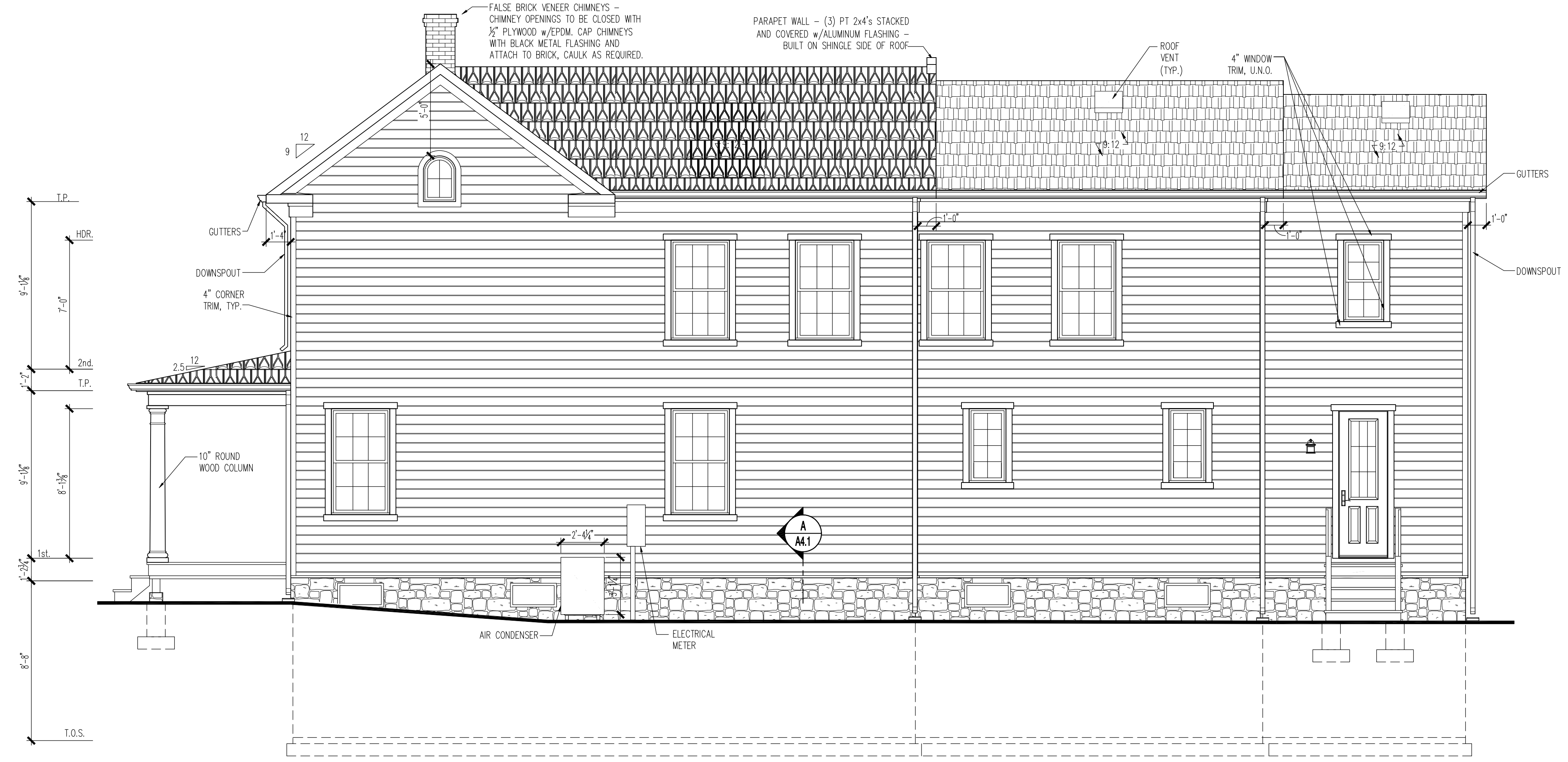
**SECOND FLOOR PLAN**  
EXISTING 740 SQ. FT.  
PROPOSED 1103 SQ. FT. = 363 DIFFERENCE

SCALE: 1/4"=1'-0"

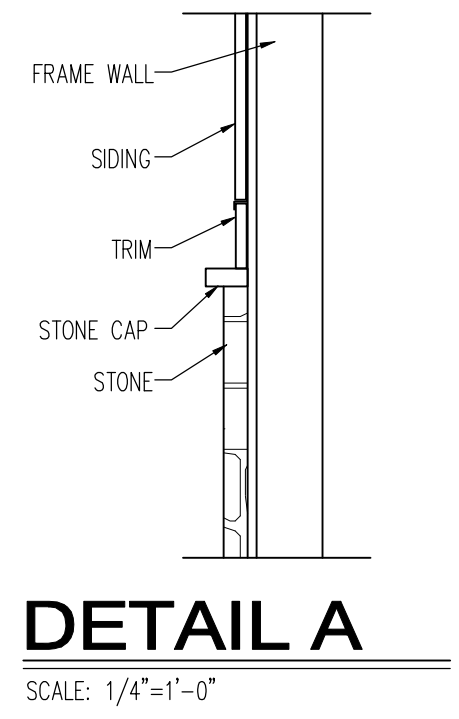
PLOTTED: April 12, 2024 / Sarah Wilcome / CEPHAS - ARCH/DWG



△	
△	
△	
△	
△	
△	
△	
△	
△	
△	



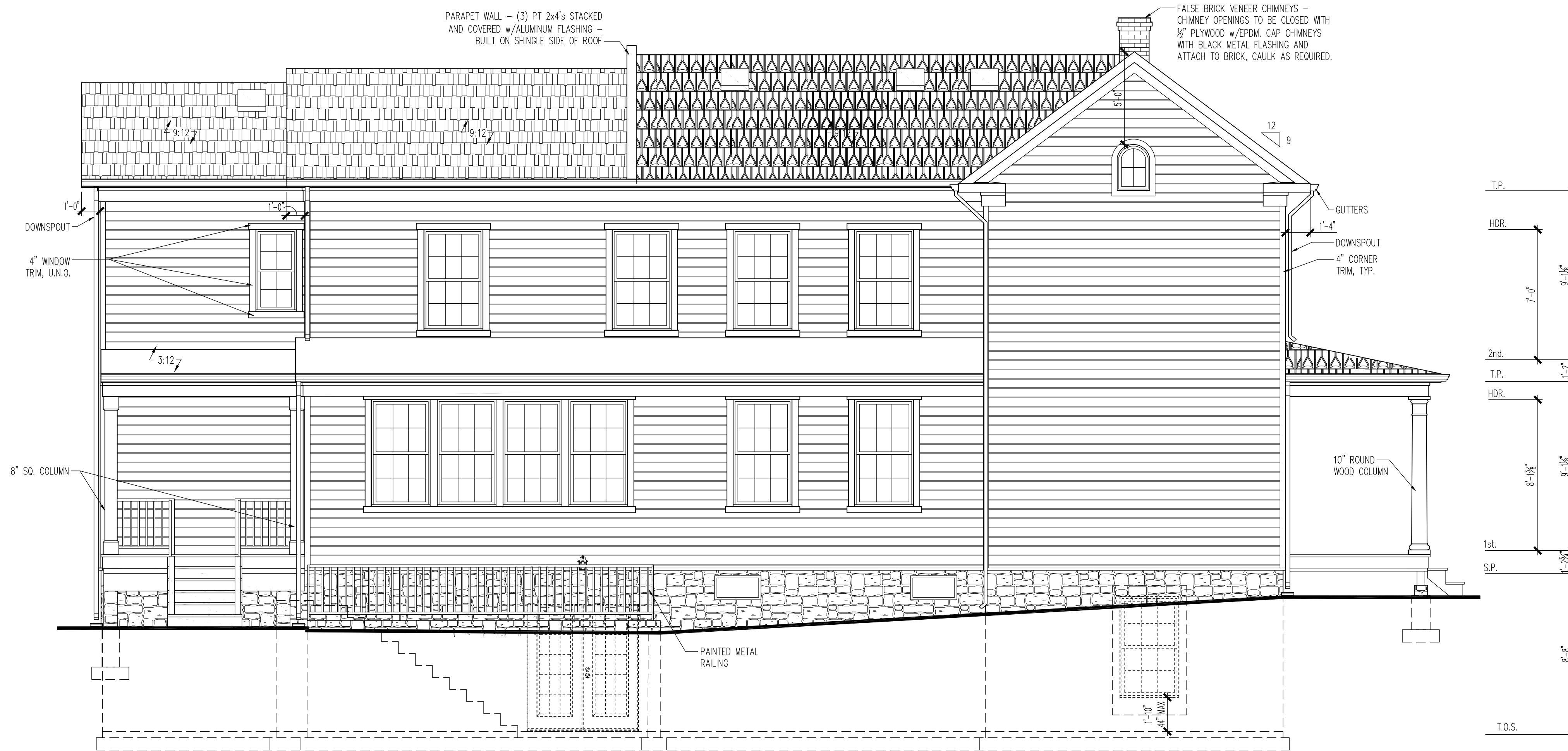
**RIGHT SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"



**DETAIL A**  
 SCALE: 1/4" = 1'-0"

**REVIEWED**  
 By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*



**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

**Mid-Atlantic Division**  
 9302 Lee Highway - Suite 1000  
 Fairfax, Virginia - 22031



**PULTE - CEPHAS - SUMMER HOUSE**  
 22200 CLARKSBURG RD., BOYDS, MD 20841  
**LEFT SIDE ELEVATION**

PRODUCTION MANAGER	JM
CURRENT RELEASE DATE:	03/20/2024
REV #	DATE / DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	
△	

PROJECT TYPE  
**SINGLE FAMILY**

GARAGE HANGING

PLAN NAME

**CEPHAS**

NPC PLAN NUMBER

2818.600.00

LAWSON PLAN ID

51002

SHEET

**A4.2**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES.

**REVIEWED**  
 By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Robert A. ...*

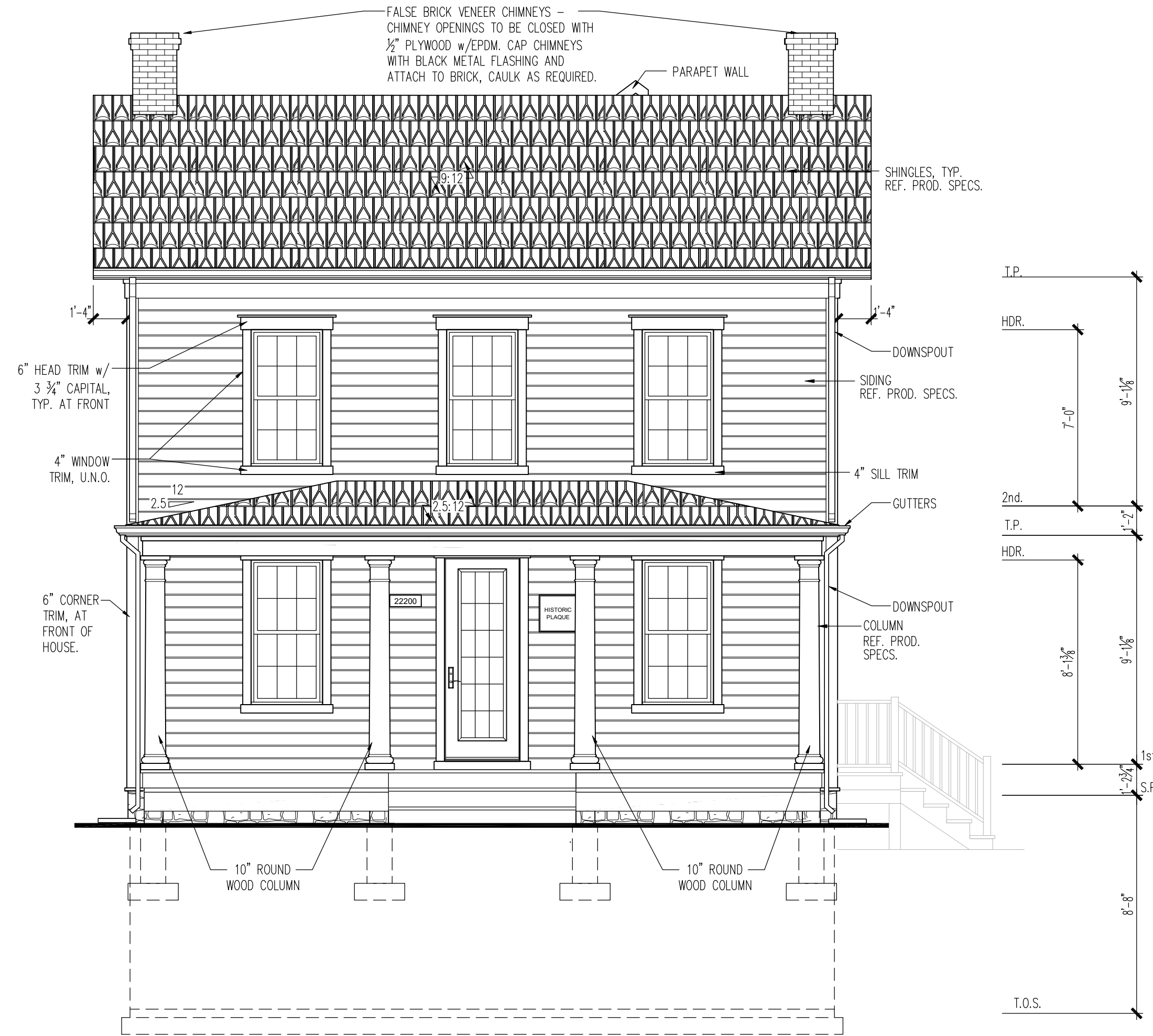
PLOTTED: April 12, 2024 / Sarah Wilcove / CEPHAS - ARCHDWS

(c) Copyright Pulte Home Corporation - 2012



**REVIEWED**  
By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*



### FRONT ELEVATION

SCALE: 1/4" = 1'-0"

**Mid-Atlantic Division**  
9302 Lee Highway - Suite 1000  
Fairfax, Virginia - 22031



**PULTE - CEPHAS - SUMMER HOUSE**  
22200 CLARKSBURG RD., BOYDS, MD 20841  
FRONT ELEVATION

PRODUCTION MANAGER  
JM  
CURRENT RELEASE DATE: 03/20/2024

REV #	DATE	DESCRIPTION

PROJECT TYPE  
**SINGLE FAMILY**

GARAGE HANDING

PLAN NAME  
**CEPHAS**  
NPC PLAN NUMBER  
**2818.600.00**  
LAWSON PLAN ID  
**51002**

SHEET  
**A4.3**

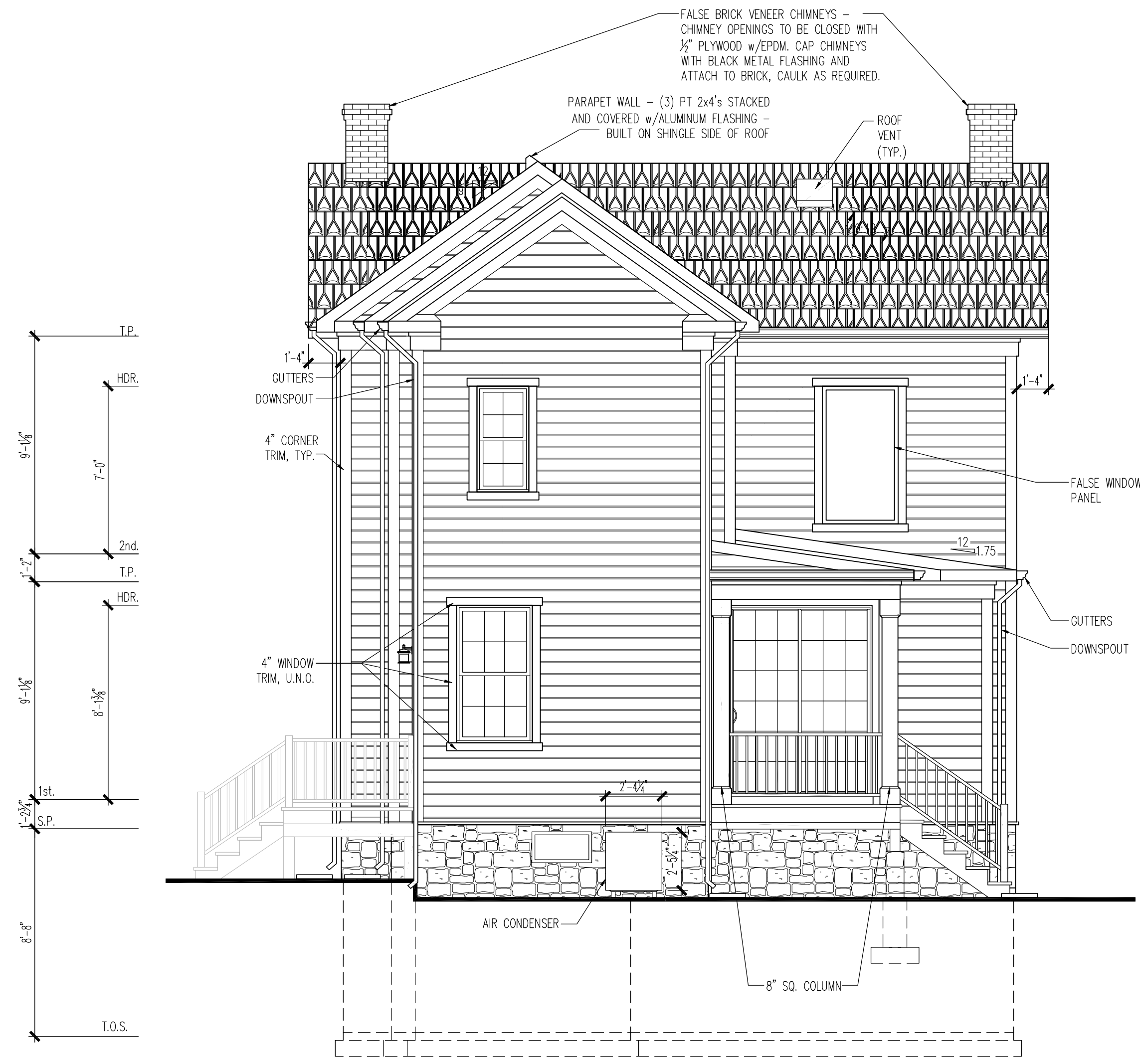
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES.

PLOTTED: April 8, 2024 / Sarah Wilcome / CEPHAS - ARCH/DWG

**REVIEWED**  
By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*



### REAR ELEVATION

SCALE: 1/4" = 1'-0"

(c) Copyright Pulte Home Corporation - 2012



**PULTE - CEPHAS - SUMMER HOUSE**  
22200 CLARKSBURG RD., BOYDS, MD 20841  
REAR ELEVATIONS

PRODUCTION MANAGER  
JM  
CURRENT RELEASE DATE: 03/20/2024

REV #	DATE	DESCRIPTION

PROJECT TYPE  
**SINGLE FAMILY**

GARAGE HANDING

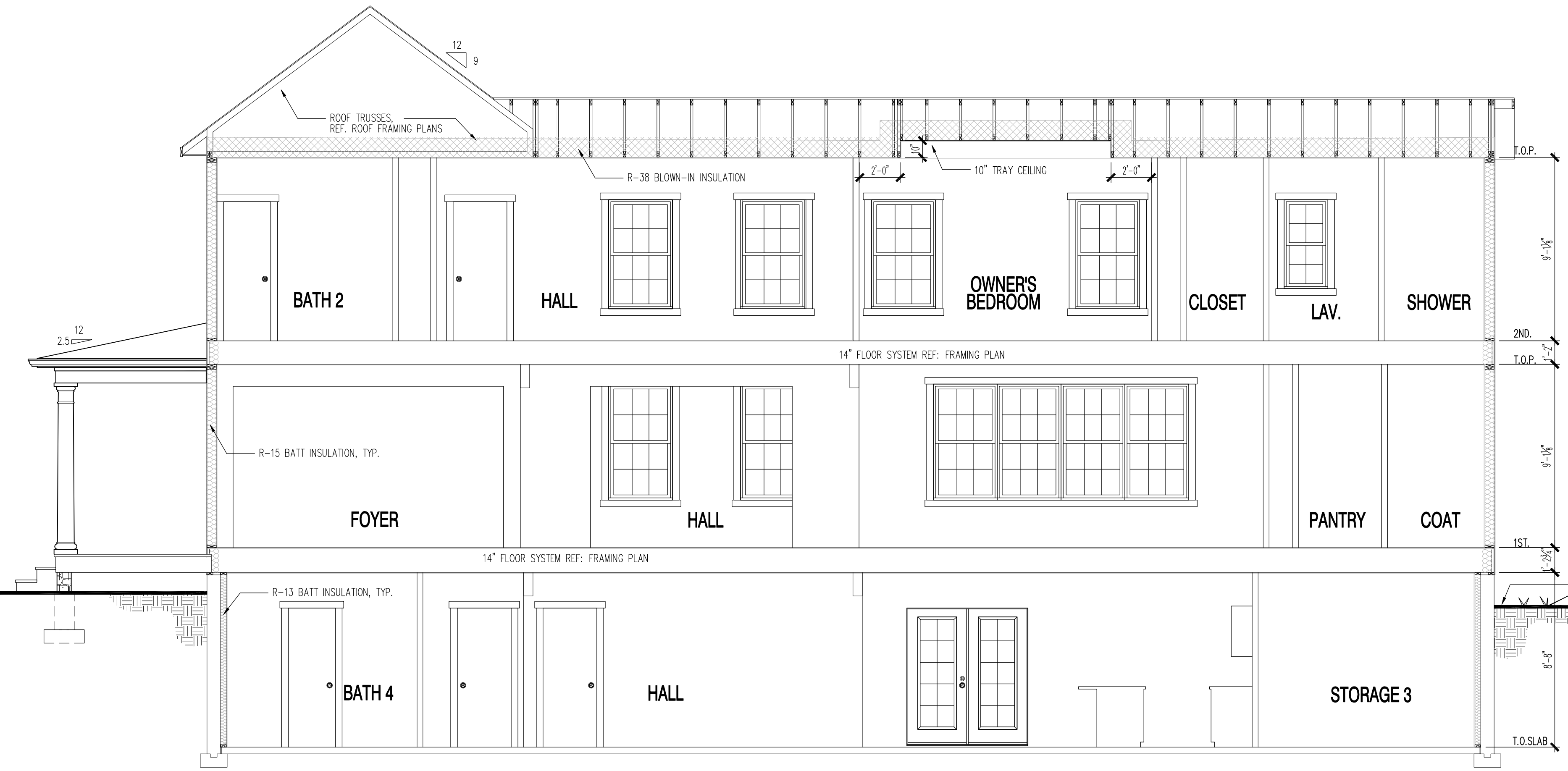
PLAN NAME  
**CEPHAS**  
NPC PLAN NUMBER  
2818.600.00  
LAWSON PLAN ID  
51002

SHEET  
**A4.4**

NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES.

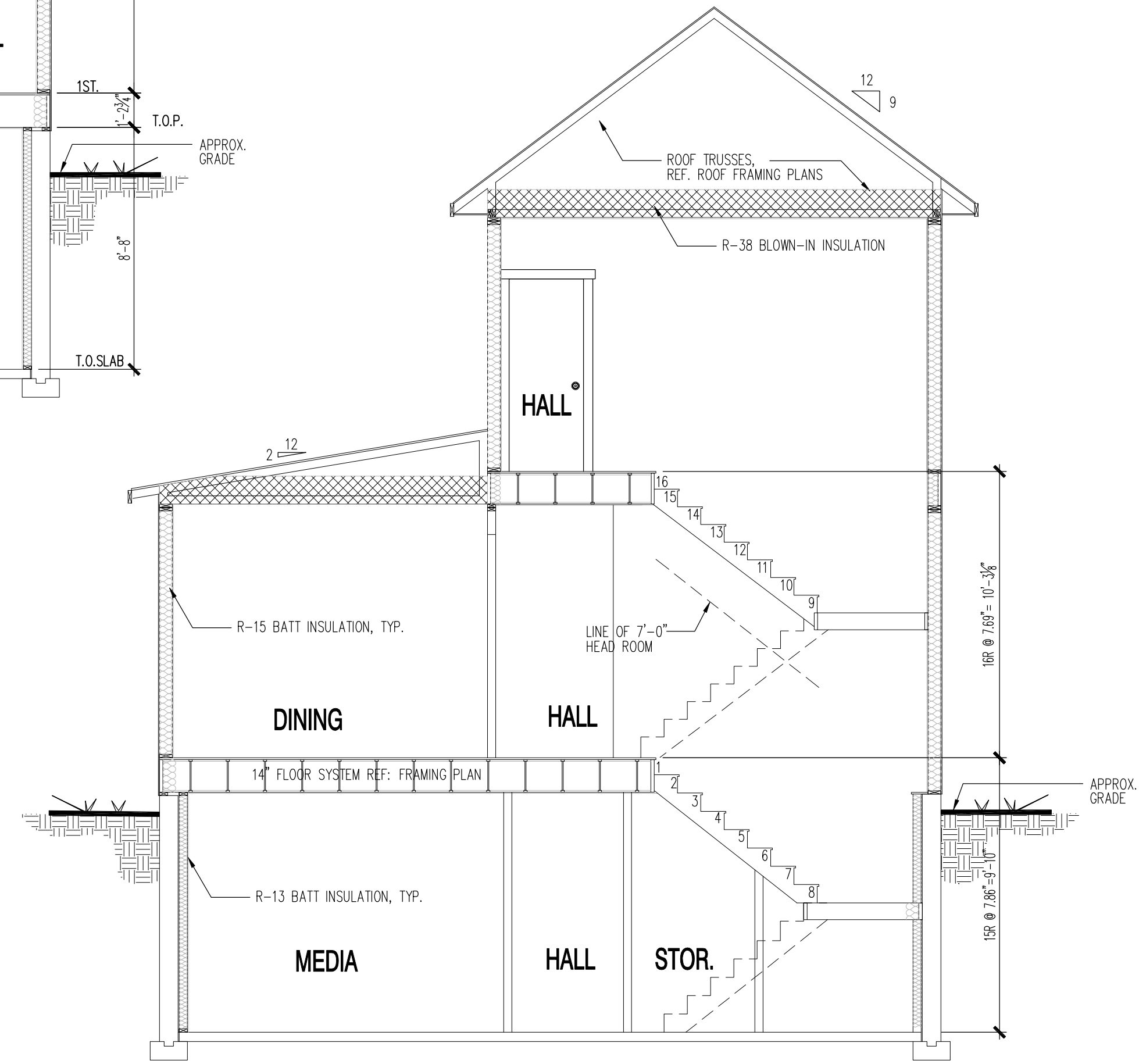
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS





### BUILDING SECTION A-A

SCALE: 1/4"=1'-0"



### BUILDING SECTION B-B

SCALE: 1/4"=1'-0"

**REVIEWED**  
By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission

**Mid-Atlantic Division**  
9302 Lee Highway - Suite 1000  
Fairfax, Virginia - 22031



**PULTE - CEPAS - SUMMER HOUSE**  
22200 CLARKSBURG RD., BOYDS, MD 20841  
**BUILDING SECTIONS**

PRODUCTION MANAGER	CURRENT RELEASE DATE
JM	03/20/2024
REV #	DATE / DESCRIPTION

PROJECT TYPE	<b>SINGLE FAMILY</b>
GARAGE HANDING	
PLAN NAME	<b>CEPAS</b>
NPC PLAN NUMBER	2818.600.00
LAWSON PLAN ID	51002

SHEET **A6.0**

NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES.

PLOTTED: April 8, 2024 / Sarah Wilcome / CEPAS - ARCH.DWG

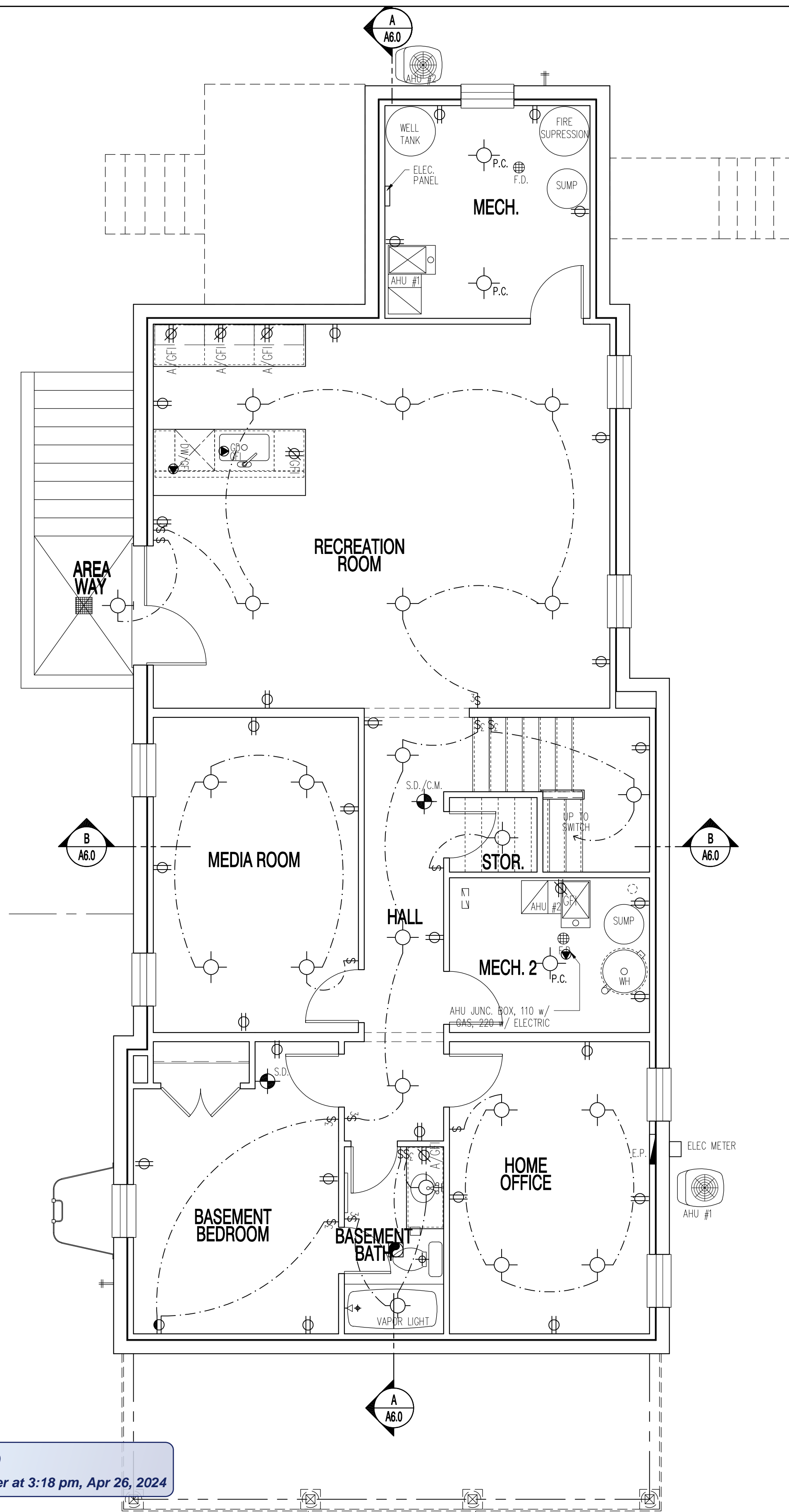
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

(c) Copyright Pulte Home Corporation - 2022

PLOTTED: April 8, 2024 / Sarah Wilcome / CEPHAS - ARCH.DWG

**REVIEWED**  
By Chris Berger at 3:18 pm, Apr 26, 2024

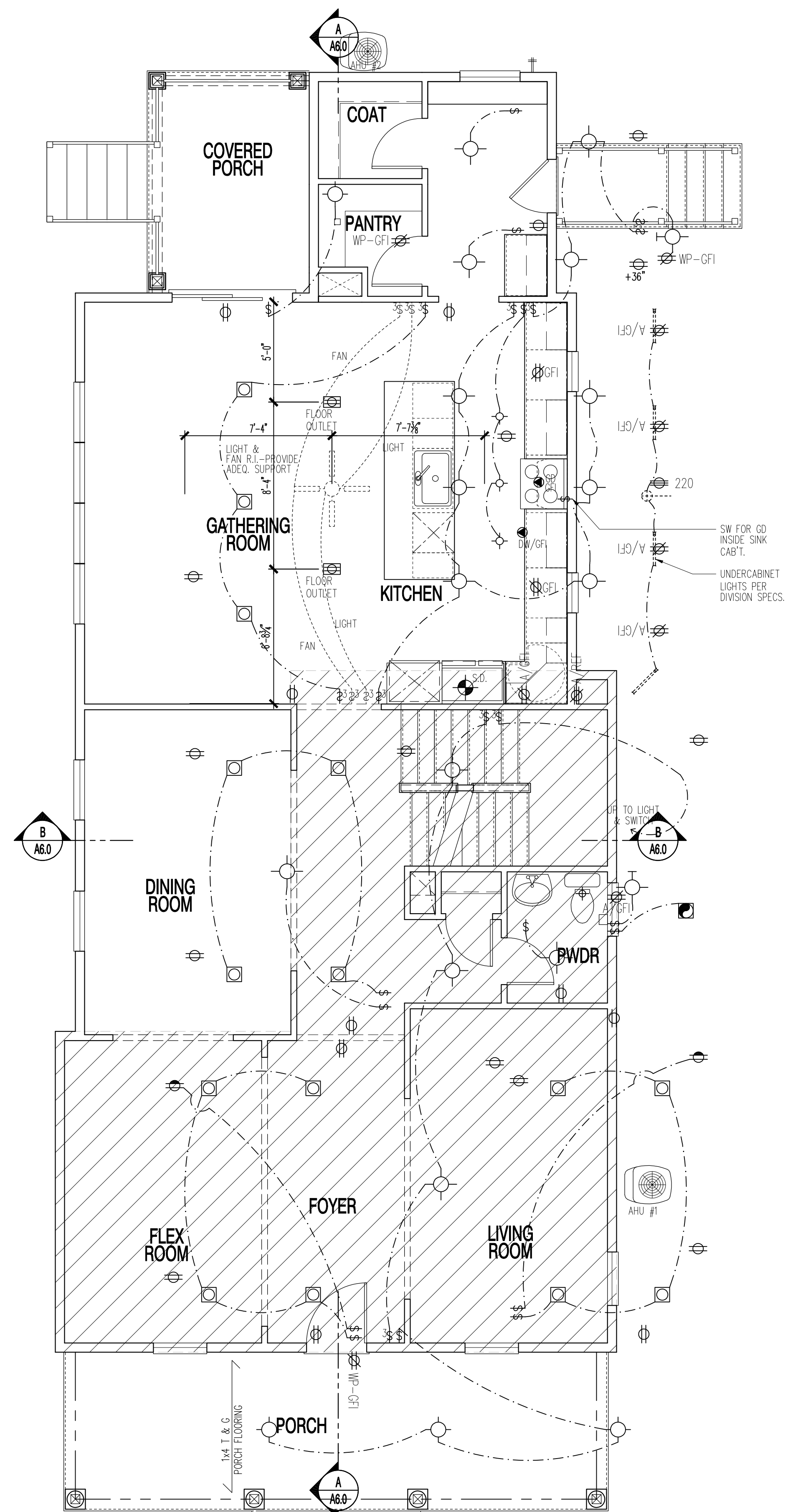
APPROVED  
Montgomery County  
Historic Preservation Commission



**BASEMENT FLOOR PLAN**

SCALE: 1/4" = 1'-0"

EXISTING 0 SQ. FT.  
PROPOSED 1404 SQ. FT. = 1404 ADDED  
STORAGE 92 SQ. FT. = 92 ADDED



**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

EXISTING 740 SQ.  
PROPOSED 1496 SQ.  
211 SQ. FT. PORC

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS (S = 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS)

PRODUCTION MANAGER  
JM  
CURRENT RELEASE DATE: 03/20/2024  
REV # | DATE | DESCRIPTION

REV #	DATE	DESCRIPTION

PROJECT TYPE  
**SINGLE FAMILY**

GARAGE HANDING  
XXX XXXXX

PLAN NAME  
**CEPHAS**  
NPC PLAN NUMBER  
**2818.600.00**  
LAWSON PLAN ID  
**51002**

SHEET  
**E0.1**

NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES.



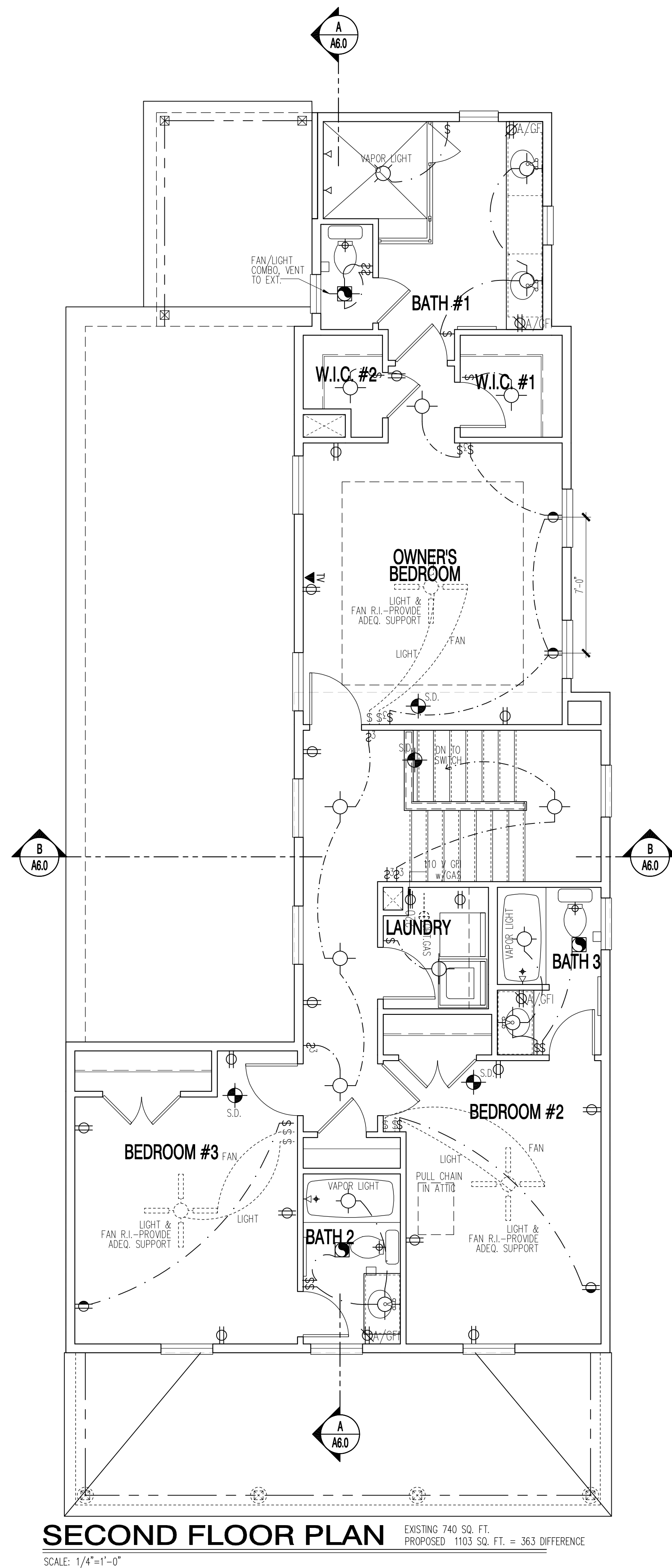
**PULTE - CEPHAS - SUMMER HOUSE**  
22200 CLARKSBURG RD., BOYDS, MD 20841  
**BASEMENT & FIRST ELECTRICAL PLANS**

**Mid-Atlantic Division**  
9302 Lee Highway - Suite 1000  
Fairfax, Virginia - 22031

(c) Copyright Pulte Home Corporation - 2012



PLOTTED: April 8, 2024 / Sarah Wilcome / CEPHAS - ARCH.DWG



**SECOND FLOOR PLAN** EXISTING 740 SQ. FT.  
 PROPOSED 1103 SQ. FT. = 363 DIFFERENCE  
 SCALE: 1/4"=1'-0"

**REVIEWED**  
 By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]*

Mid-Atlantic Division  
 9302 Lee Highway - Suite 1000  
 Fairfax, Virginia - 22031



PULTE - CEPHAS - SUMMER HOUSE  
 22200 CLARKSBURG RD., BOYDS, MD 20841  
 SECOND FLOOR ELECTRICAL PLAN

PRODUCTION MANAGER  
 JM  
 CURRENT RELEASE DATE: 03/20/2024  
 REV # DATE / DESCRIPTION

△	
△	
△	
△	
△	
△	
△	
△	
△	
△	
△	
△	
△	
△	
△	
△	
△	
△	

PROJECT TYPE  
**SINGLE FAMILY**

GARAGE HANDING  
 VVV XXXXX

PLAN NAME  
**CEPHAS**  
 NPC PLAN NUMBER  
**2818.600.00**  
 LAWSON PLAN ID  
**51002**

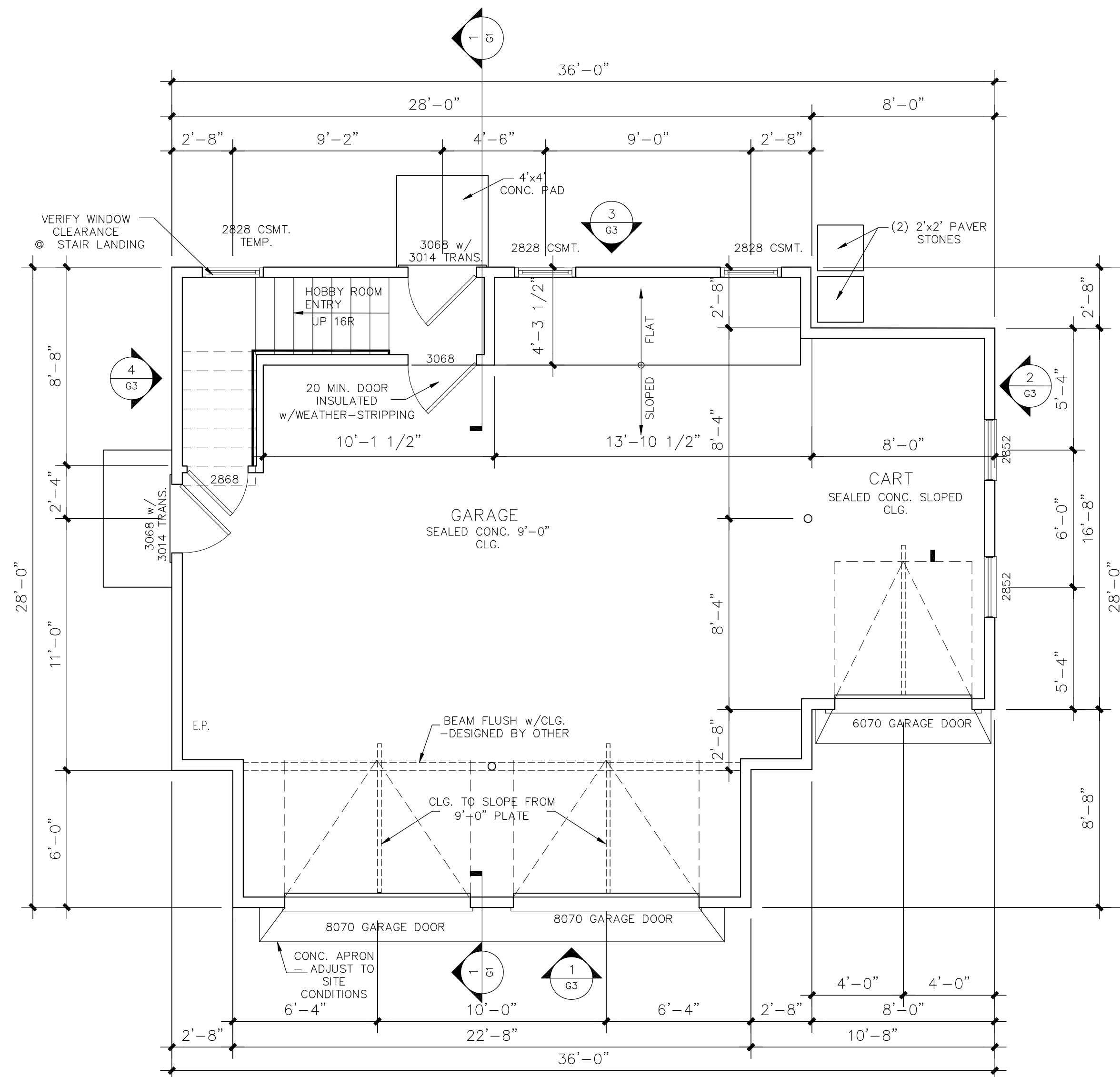
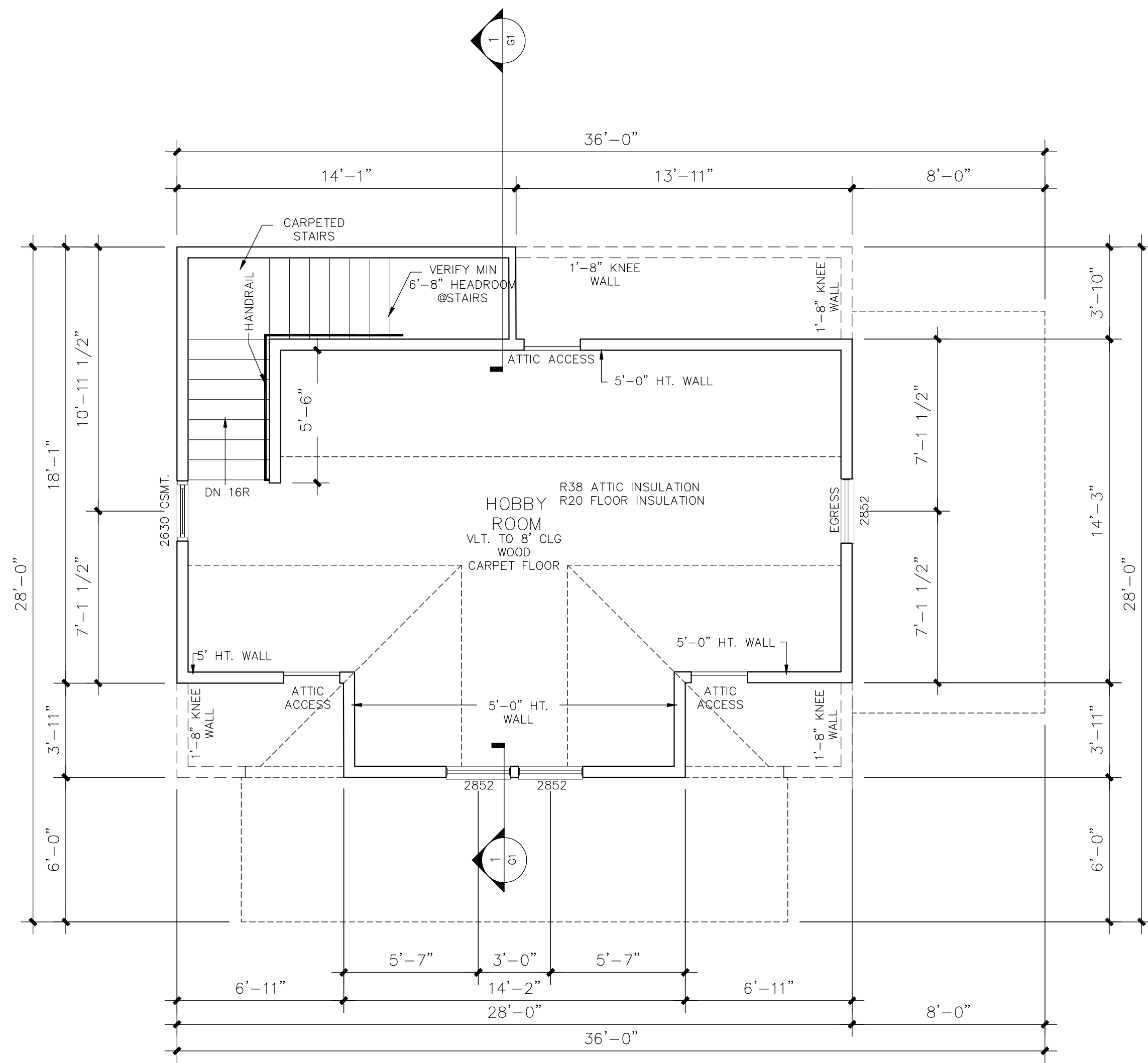
SHEET  
**E1.1**

NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES.

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

(c) Copyright Pulte Home Corporation - 2012

PLOTTED: March 19, 2024 / Sarah Wilcome / CEPHAS GARAGE\_03-18-2024.DWG



**REVIEWED**  
By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert H. [Signature]*

(c) Copyright Pulte Home Corporation - 2023

**Mid-Atlantic Division**  
9302 Lee Highway - Suite 1000  
Fairfax, Virginia - 22031



**PULTE - CEPHAS - SUMMER HOUSE**  
22200 CLARKSBURG RD., BOYDS, MD 20841

REV #	DATE	DESCRIPTION

PROJECT TYPE  
**SINGLE FAMILY**

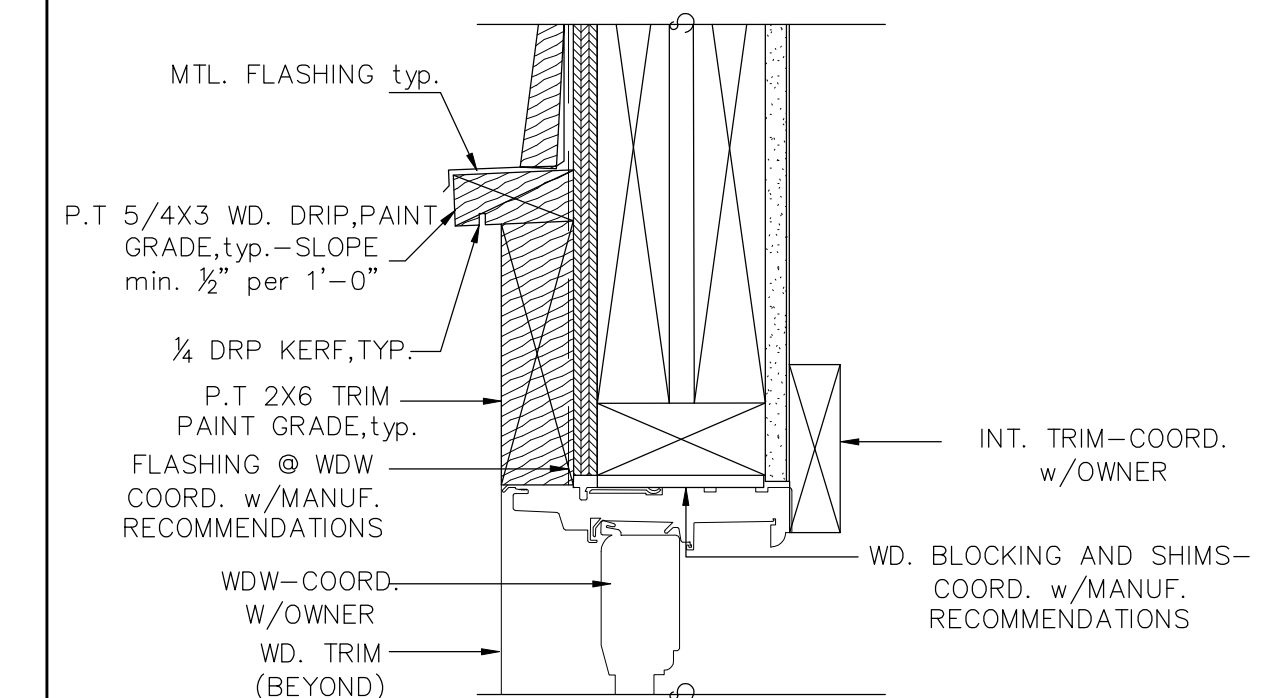
GARAGE HANDING  
**DETACHED**

PLAN NAME  
**CEPHAS**  
NPC PLAN NUMBER  
**2818.600.00**  
LAWSON PLAN ID  
**51002**

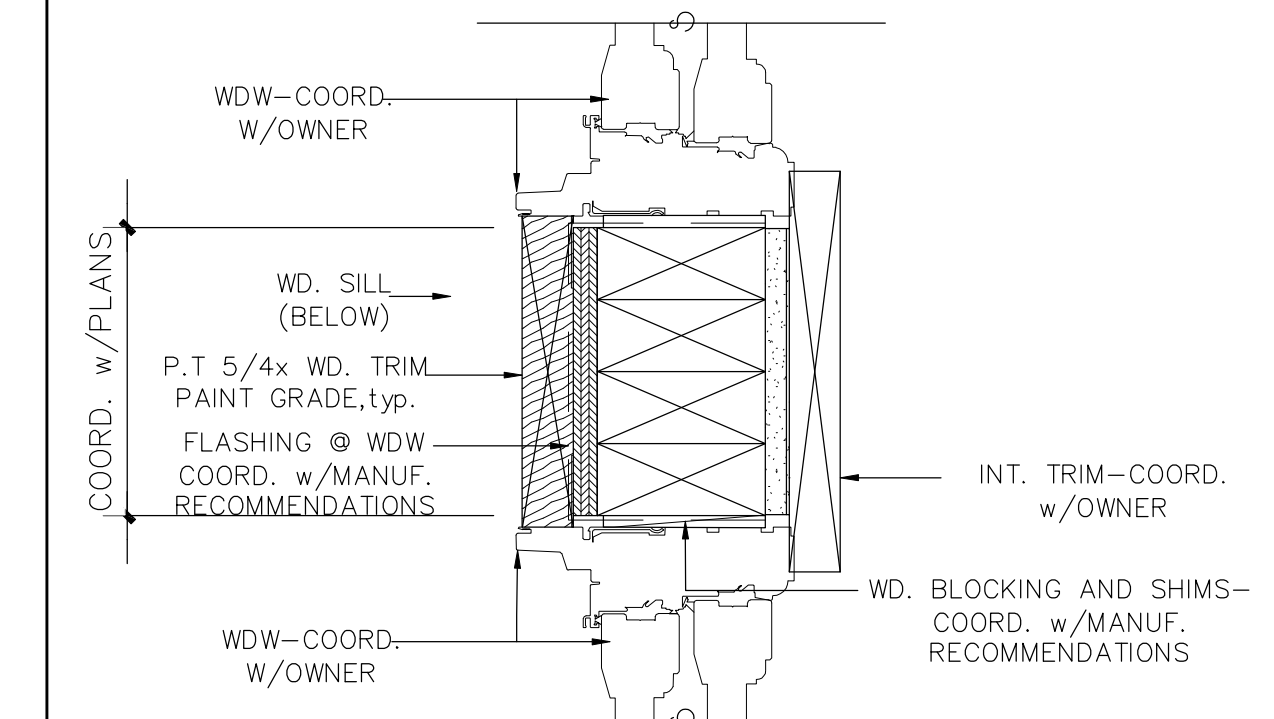
SHEET  
**G1**



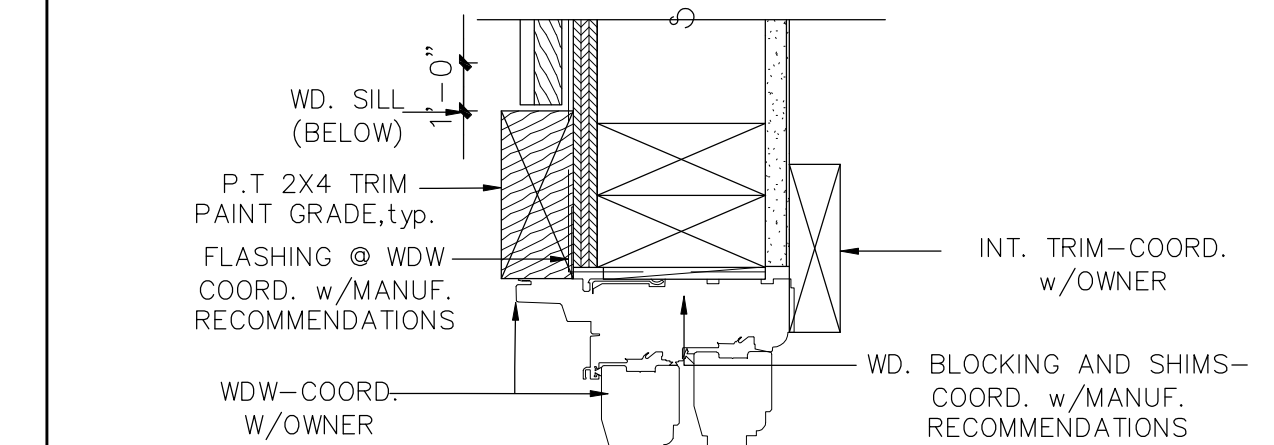
PLOTTED: March 19, 2024 / Sarah Wilshire / CEPHAS GARAGE\_Q3-18-2024.DWG



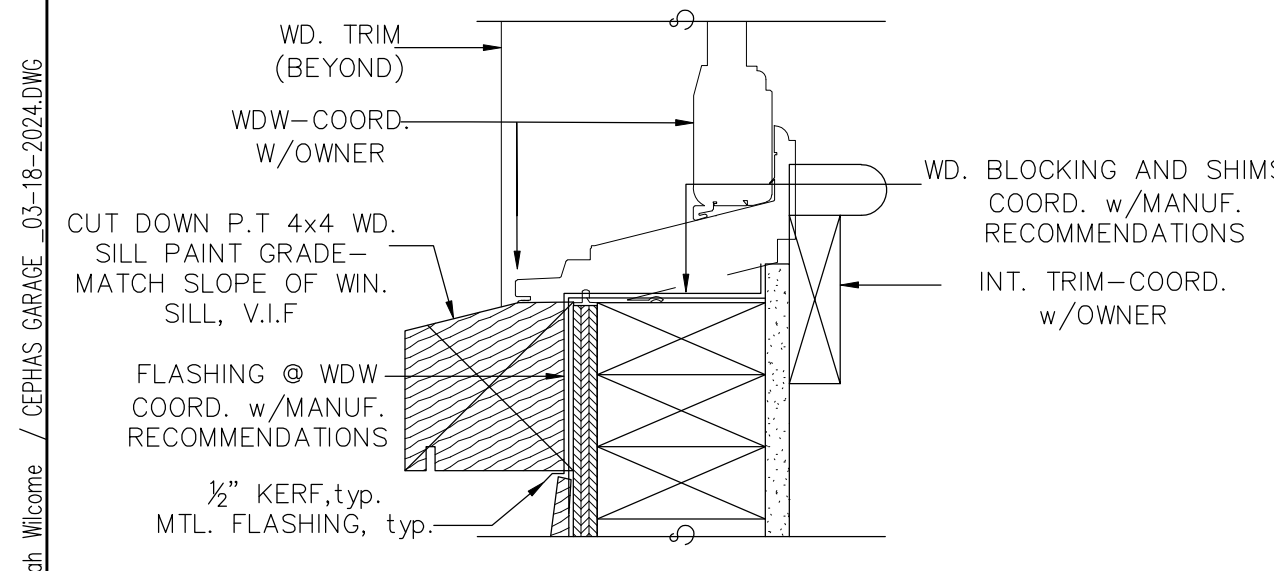
8 TYPICAL WINDOW & DOOR HEAD SCALE: 3"=1'-0"



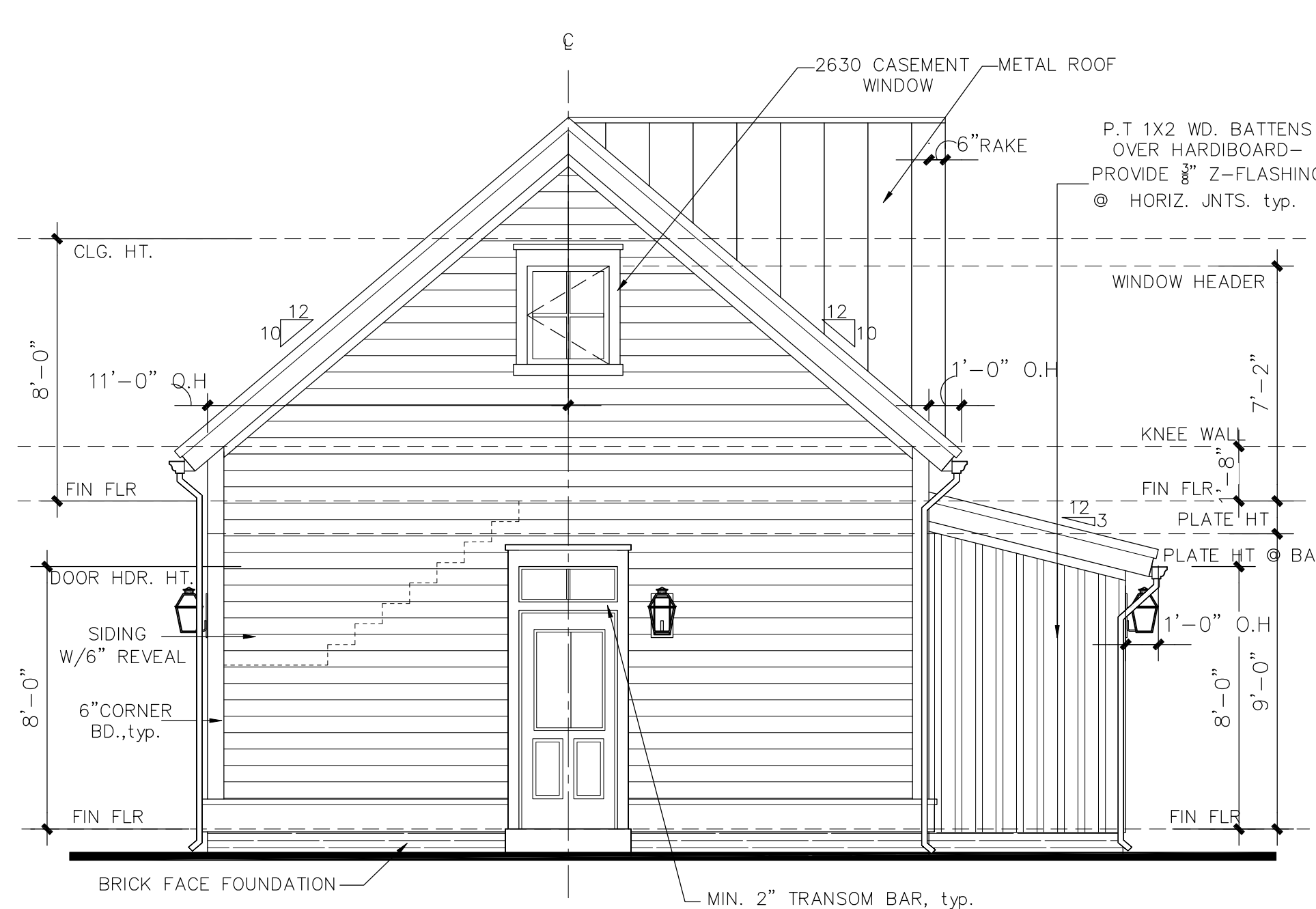
7 TYPICAL WINDOW JAMB @ MULL SCALE: 3"=1'-0"



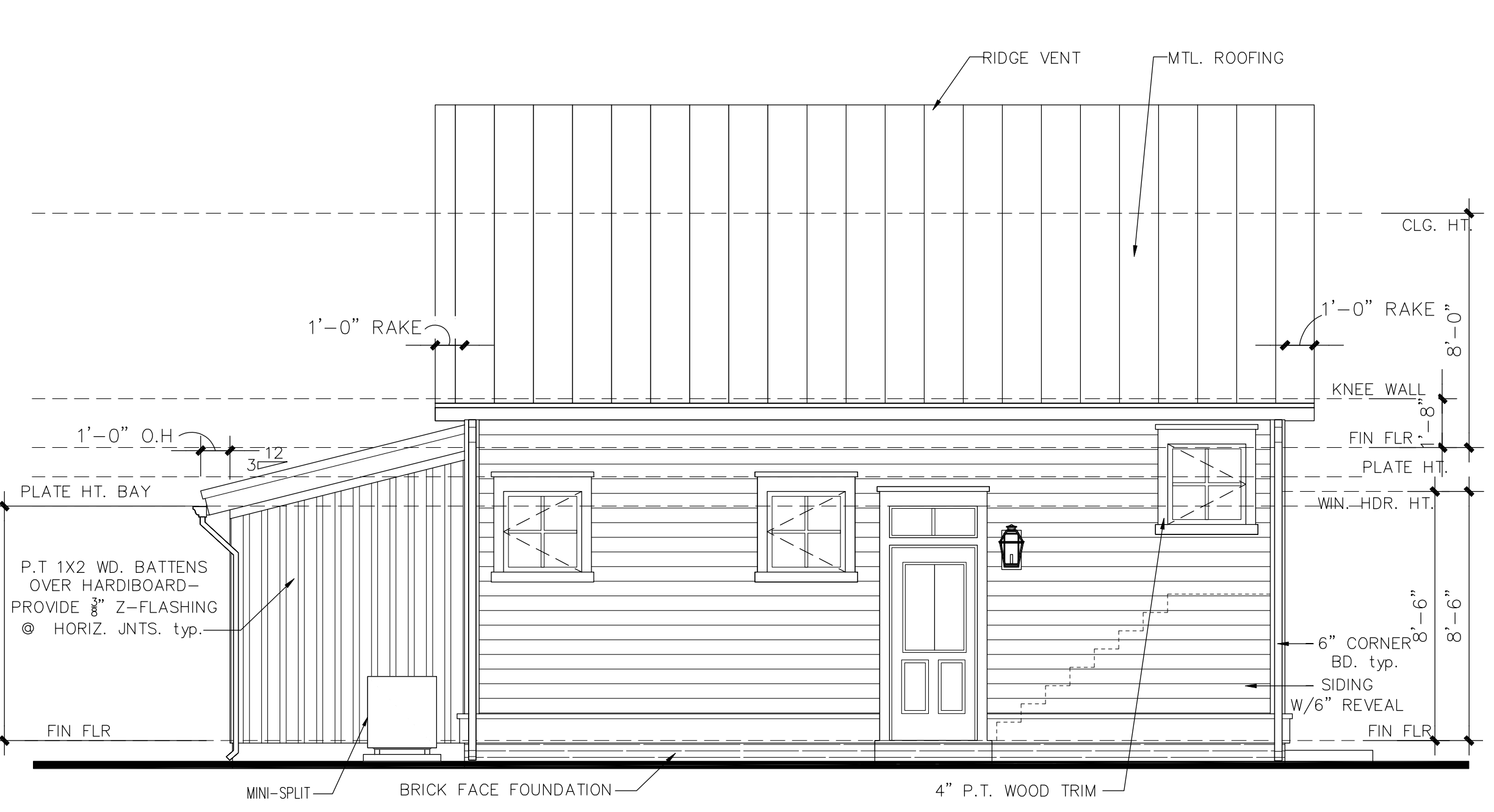
6 TYPICAL WINDOW & DOOR JAMB SCALE: 3"=1'-0"



5 TYPICAL WINDOW SILL SCALE: 3"=1'-0"



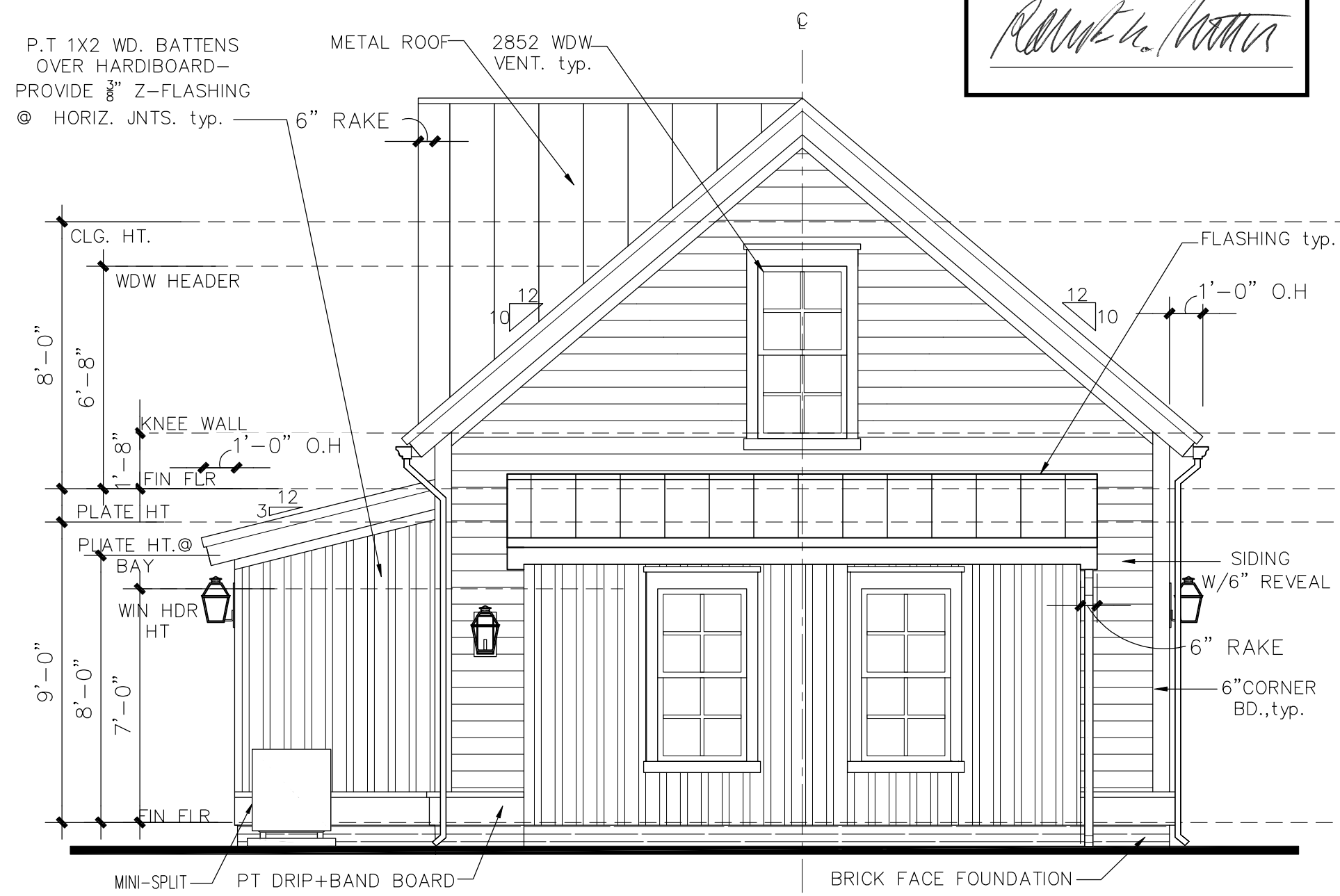
4 LEFT ELEVATION SCALE: 1/4"=1'-0"



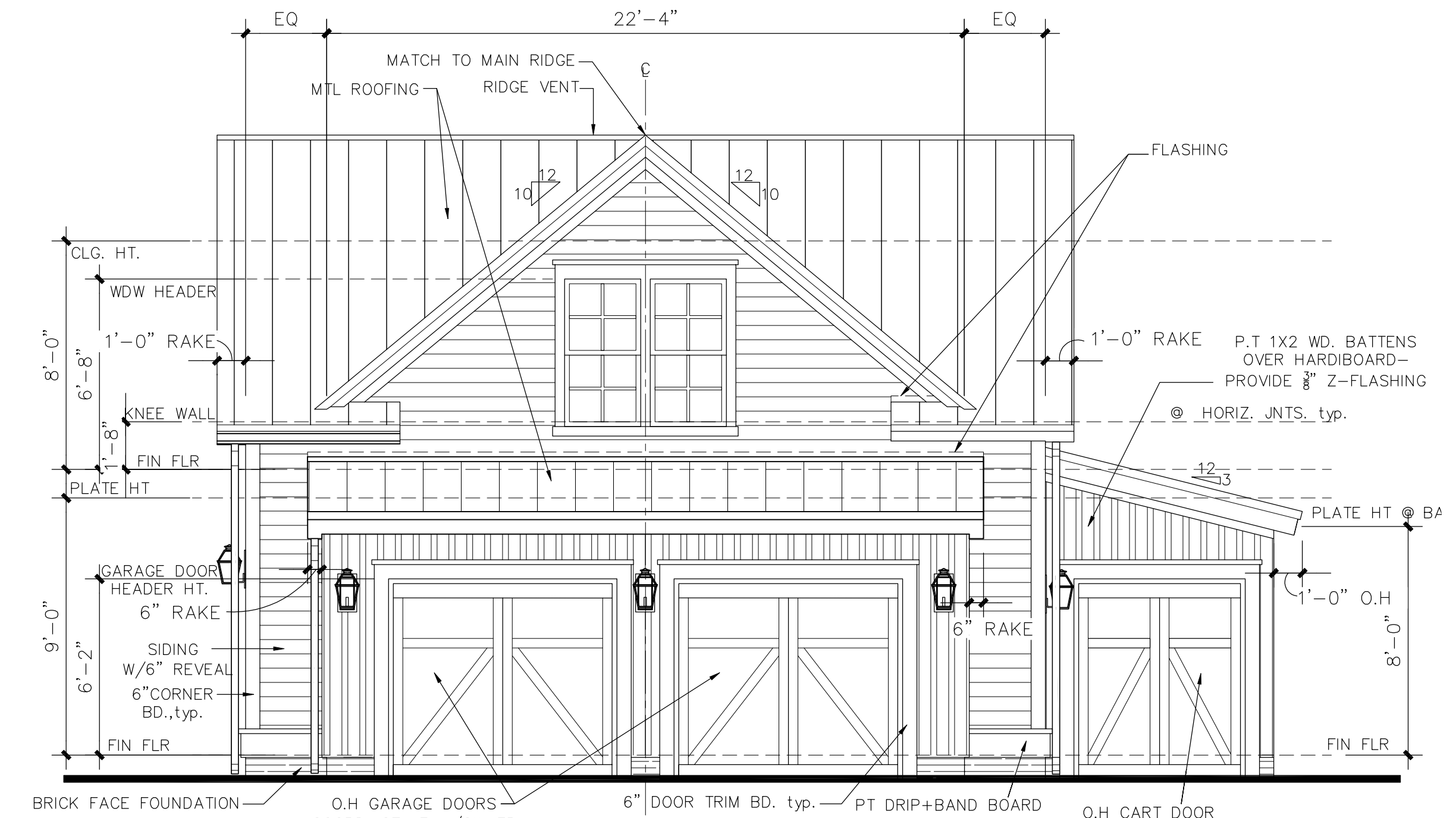
4 REAR ELEVATION SCALE: 1/4"=1'-0"

REVIEWED By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED Montgomery County Historic Preservation Commission



2 RIGHT ELEVATION SCALE: 1/4"=1'-0"



1 FRONT ELEVATION SCALE: 1/4"=1'-0"

(c) Copyright Pulte Home Corporation - 2012

Mid-Atlantic Division 9902 Lee Highway - Suite 1000 Fairfax, Virginia - 22031



PULTE - CEPHAS - SUMMER HOUSE 22200 CLARKSBURG RD., BOYDS, MD 20841

PRODUCTION MANAGER CURRENT RELEASE DATE: XX/XX/XX REV # | DATE / DESCRIPTION

Table with 2 columns: REV #, DATE / DESCRIPTION

PROJECT TYPE SINGLE FAMILY

GARAGE HANDING DETACHED

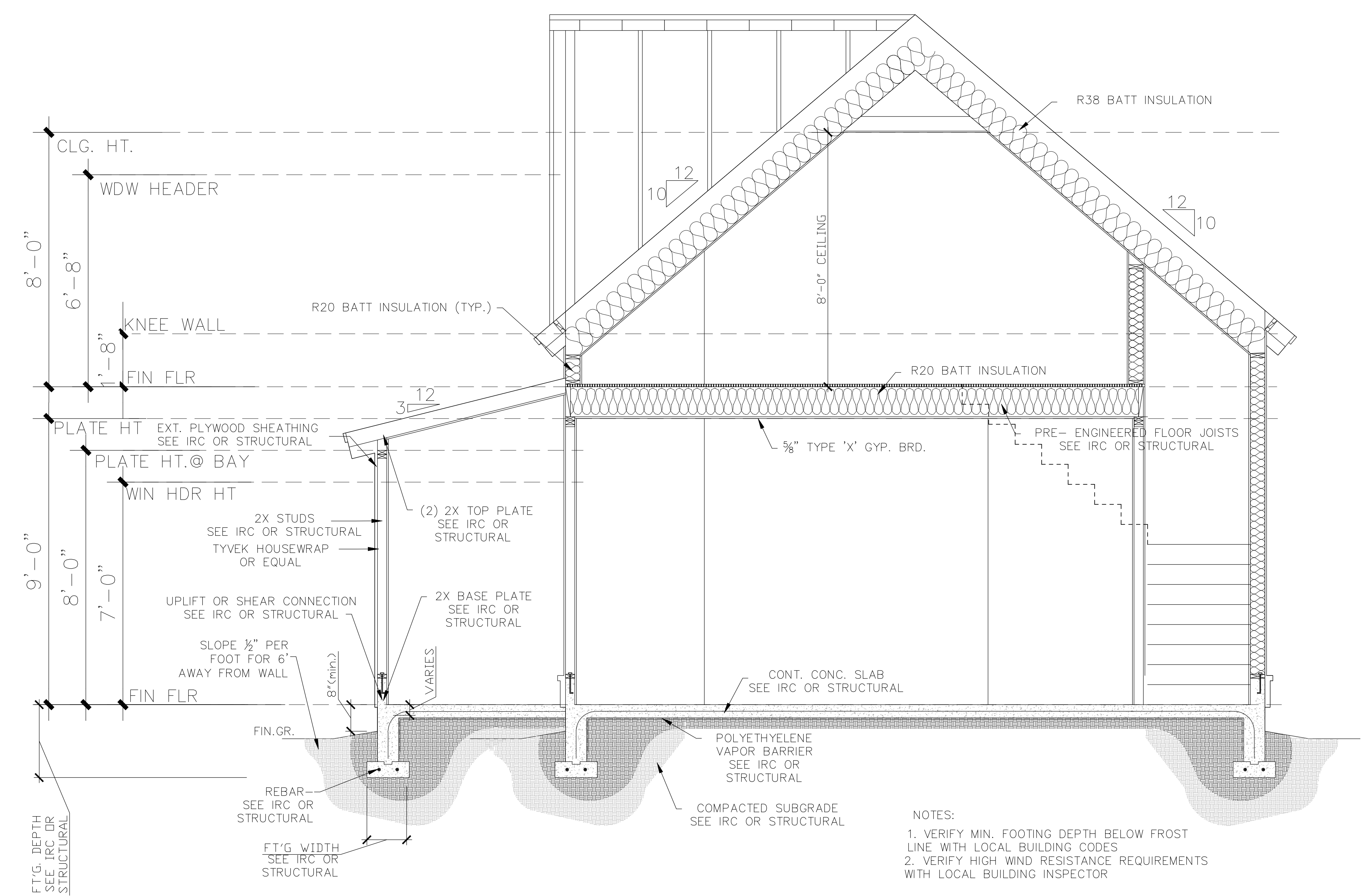
PLAN NAME CEPHAS NPC PLAN NUMBER 2818.600.00 LAWSON PLAN ID 51002

SHEET G2

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



PLOTTED: March 19, 2024 / Sarah Wilcome / CEPHAS GARAGE\_Q3-18-2024.DWG



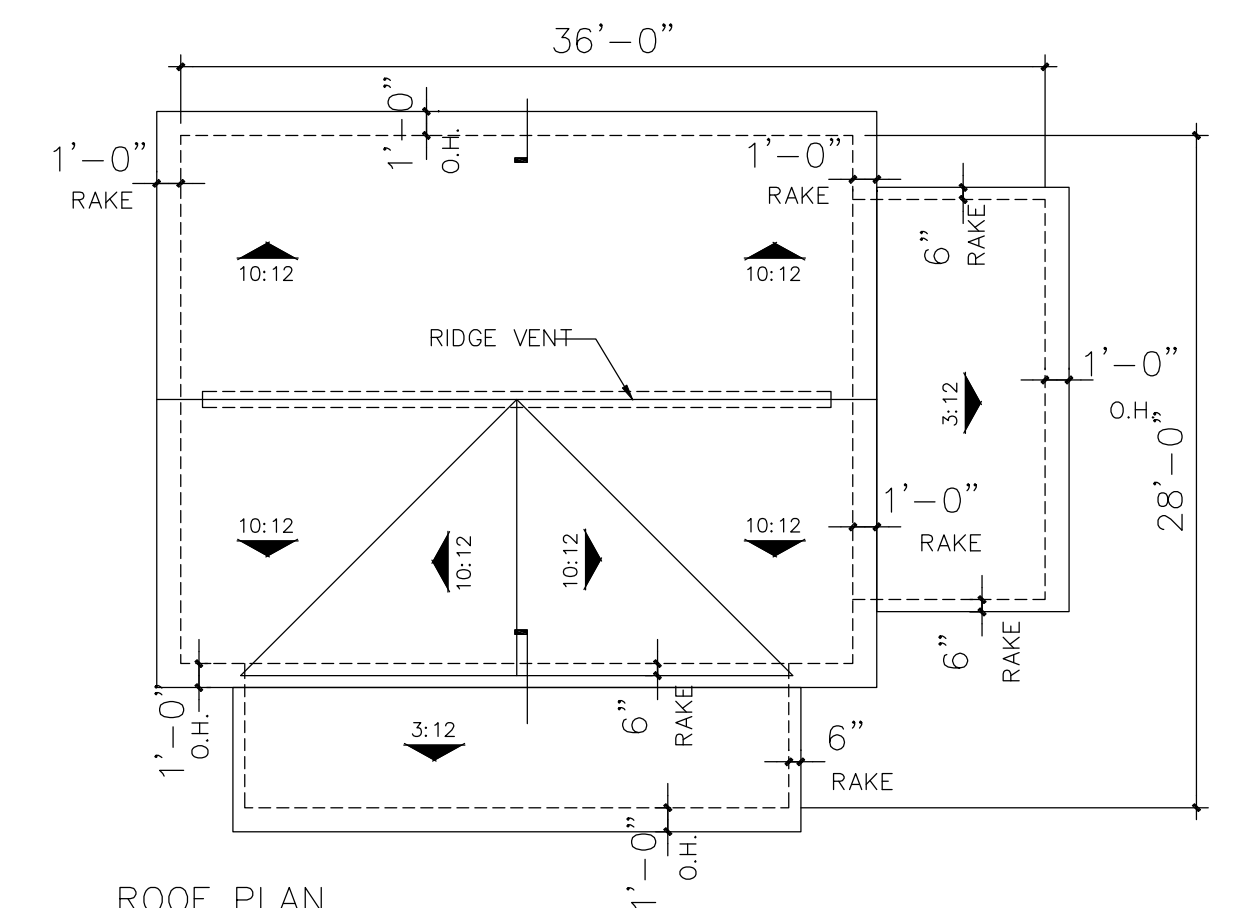
- NOTES:
1. VERIFY MIN. FOOTING DEPTH BELOW FROST LINE WITH LOCAL BUILDING CODES
  2. VERIFY HIGH WIND RESISTANCE REQUIREMENTS WITH LOCAL BUILDING INSPECTOR

2 RIGHT ELEVATION

SCALE: 1/2" = 1'-0"

**REVIEWED**  
By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*

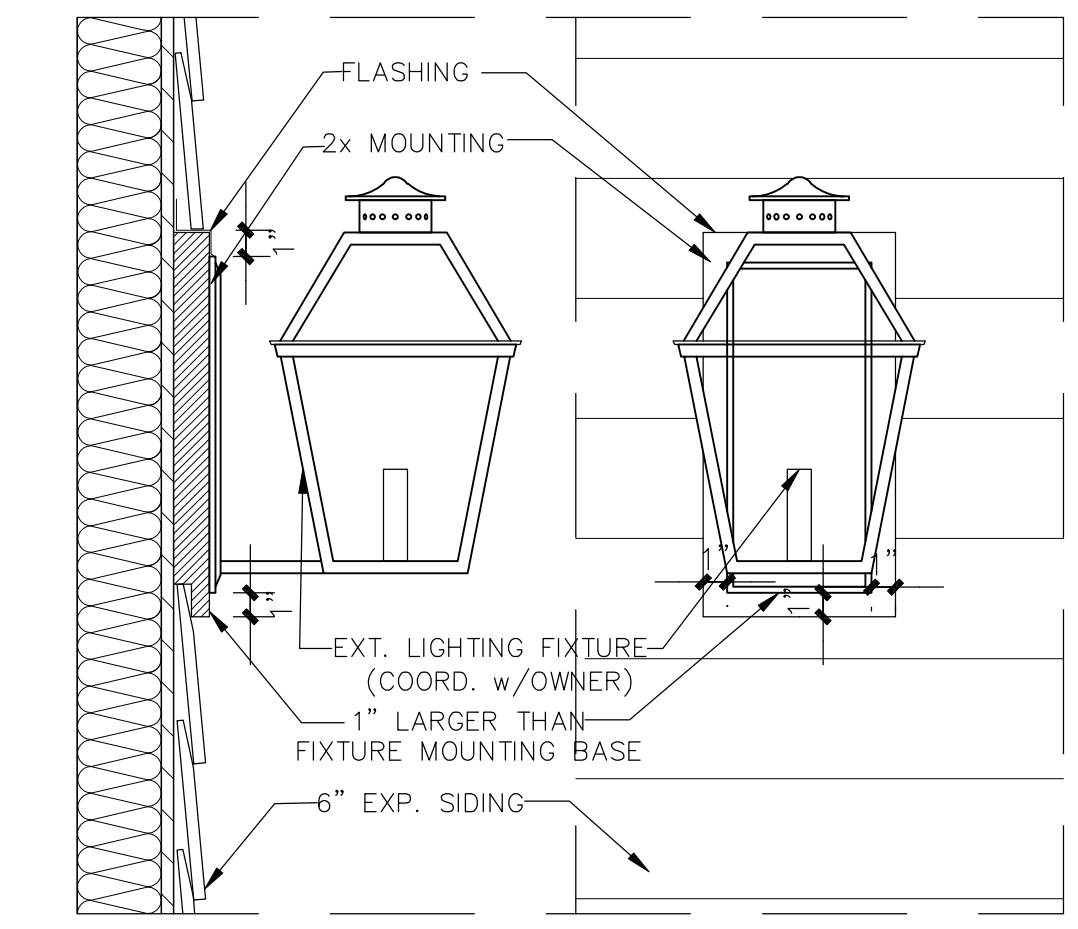


ROOF PLAN

SCALE: 1/8" = 1'-0"

\*NOTE:

1. ALL PENETRATIONS TO BE LOCATED AS INCONSPICUOUSLY AS POSSIBLE, @ REAR OR SIDES OF HOUSE AS POSSIBLE
2. ROOF PENETRATIONS NEED TO BE KEPT TO A MINIMUM, (COMBINED WHEN POSSIBLE).
3. ALL ROOF/WALL PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR
4. TWO (2) LAYERS UNDERLAYMENT REQUIRED WHEN 4:12 ROOF PITCH OR LOWER
5. METAL ROOF SEAMS NOT TO EXCEED 16" O.C
6. METAL ROOF SEAMS TO BE 1 1/2" TO 1 3/4" IN HEIGHT



2 EXTERIOR LIGHTING MOUNT DETAIL

SCALE: 1 1/2" = 1'-0"

\*NOTE:

1. VERIFY MINIMUM FINISHED FLOOR ELEVATION WITH LOCAL CODES.
2. VERIFY MINIMUM FOOTING DEPTH BELOW FROST LINE WITH LOCAL BUILDING INSPECTOR.
3. VERIFY HIGH WIND RESISTANCE REQUIREMENTS WITH LOCAL BUILDING INSPECTOR.
4. VERIFY DBL. JST. LOCATIONS WITH ENG. FLR. SYSTEM DESIGN

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**Mid-Atlantic Division**  
9302 Lee Highway - Suite 1000  
Fairfax, Virginia - 22031



**PULTE - CEPHAS - SUMMER HOUSE**  
22200 CLARKSBURG RD., BOYDS, MD 20841

PRODUCTION MANAGER  
CURRENT RELEASE DATE: XX/XX/XX  
REV # | DATE / DESCRIPTION


PROJECT TYPE  
**SINGLE FAMILY**

GARAGE HANDLING  
**DETACHED**

PLAN NAME  
**CEPHAS**  
NPC PLAN NUMBER  
**2818.600.00**  
LAWSON PLAN ID  
**51002**

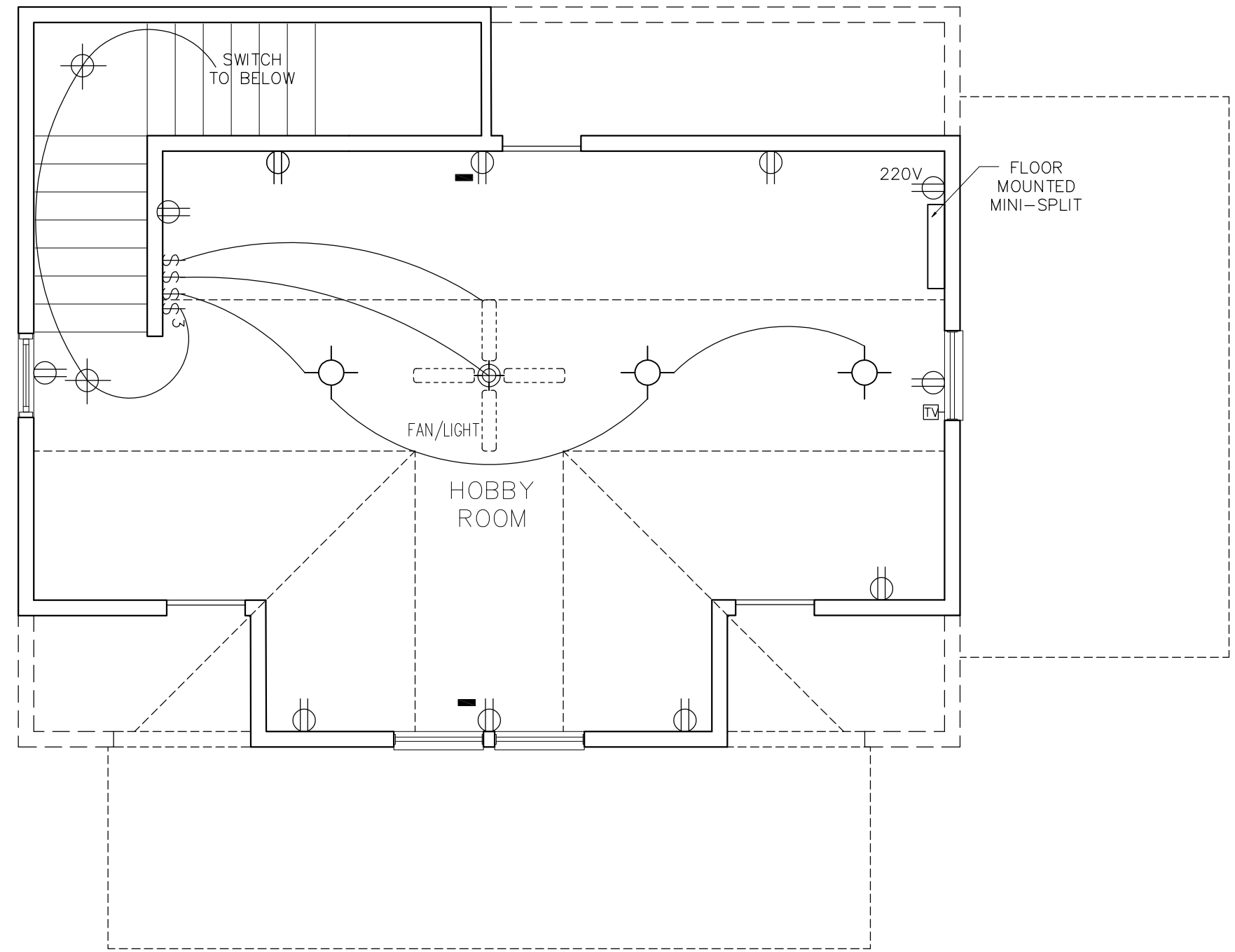
SHEET  
**G3**

(c) Copyright Pulte Home Corporation - 2012

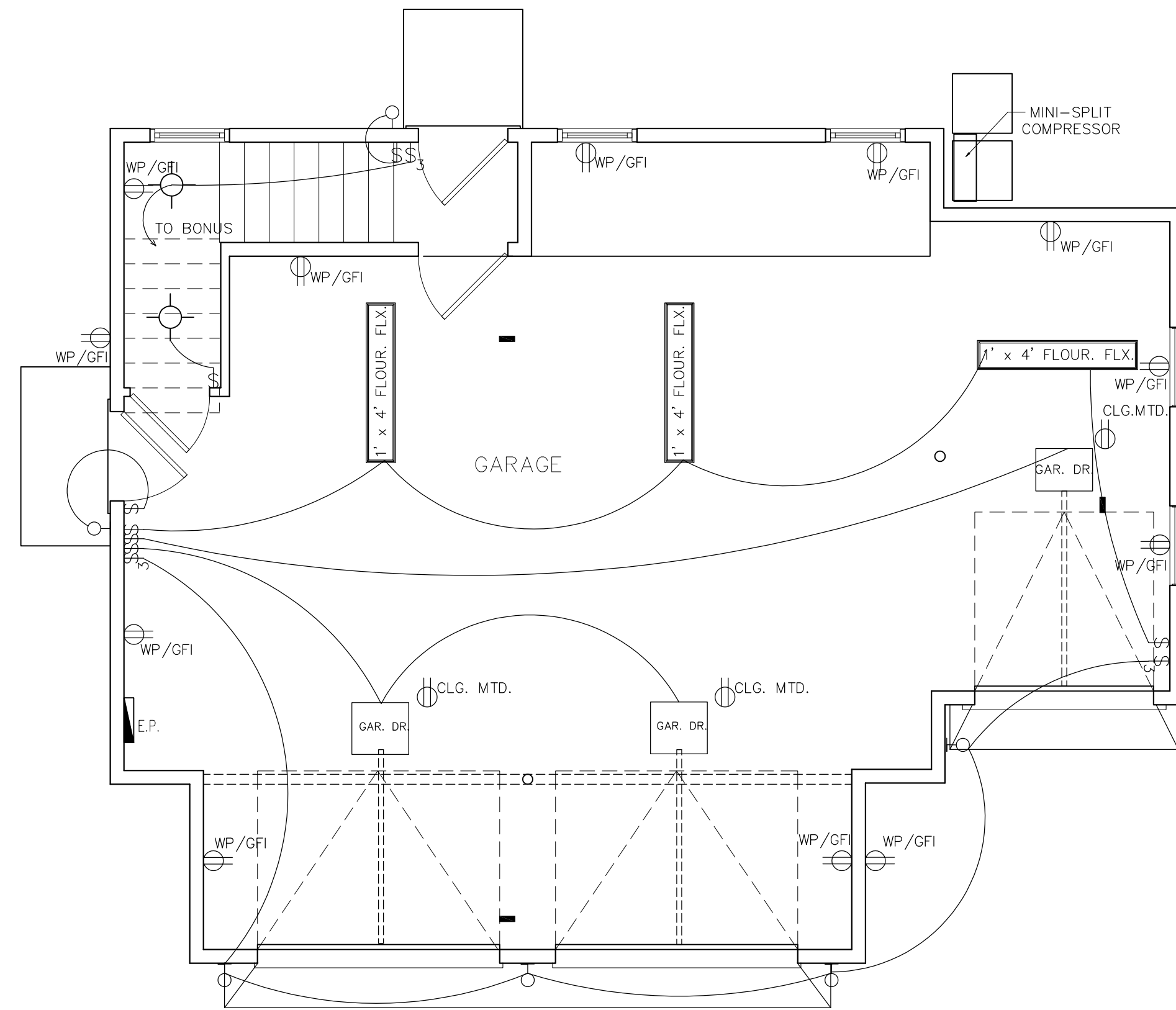


PLOTTED: March 19, 2024 / Sarah Wilcome / CEPHAS GARAGE\_Q3-1B-2024.DWG

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	SPEED CONTROL
	DUPLEX OUTLET
	1/2 HOT OUTLET
	WATER PROOF OUTLET
	GROUND FAULT OUTLET
	QUADPLEX OUTLET
	SPECIALTY OUTLET
	FLOOR OUTLET
	TELEPHONE JACK
	THERMOSTAT
	TELEVISION JACK
	VENT
	VENT W/LIGHT
	SURFACE MOUNTED FIXTURE
	RECESSED FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	FLUORESCENT FIXTURE
	CEILING FAN
	STRIP LIGHTING
	CEILING BOX
	DOOR CHIME
	ELECTRICAL PANEL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR



SECOND FLOOR ELECTRICAL LAYOUT  
SCALE: 1/4"=1'-0"



FIRST FLOOR ELECTRICAL LAYOUT  
SCALE: 1/4"=1'-0"

**REVIEWED**  
By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission



NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

(c) Copyright Pulte Home Corporation - 2012

**PULTE - CEPHAS - SUMMER HOUSE**  
22200 CLARKSBURG RD., BOYDS, MD 20841

PRODUCTION MANAGER  
CURRENT RELEASE DATE: XX/XX/XX  
REV # | DATE | DESCRIPTION

△		
△		
△		
△		
△		
△		
△		
△		
△		
△		
△		

PROJECT TYPE  
**SINGLE FAMILY**

GARAGE HANDING  
**DETACHED**

PLAN NAME  
**CEPHAS**

MPIC PLAN NUMBER  
**2818.600.00**

LAWSON PLAN ID  
**51002**

SHEET  
**GE1**



**Mid-Atlantic Division**  
9302 Lee Highway - Suite 1000  
Fairfax, Virginia - 22031



**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:  
HAWP# \_\_\_\_\_  
DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Tax Account No.: \_\_\_\_\_

**AGENT:**

APPROVED

Montgomery County

Historic Preservation Commission



Name: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Contractor Registration No.: \_\_\_\_\_  
**LOCAL** P # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District?  Yes / District Name \_\_\_\_\_  
 No / Individual Site Name \_\_\_\_\_  
Is there a **REVIEWED** Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.  
*By Chris Berger at 3:14 pm, Mar 21, 2024*

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: \_\_\_\_\_ Street: \_\_\_\_\_  
Town/City: \_\_\_\_\_ Nearest Cross Street: \_\_\_\_\_  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence               | <input type="checkbox"/> Solar                           |
| <input type="checkbox"/> Demolition         | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting           |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                | <input type="checkbox"/> Window/Door                     |
|   |  | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

\_\_\_\_\_  
Signature of owner or authorized agent \_\_\_\_\_  
Date



**REVIEWED**

By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED

Montgomery County  
Historic Preservation Commission



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b>	<b>Owner's Agent's mailing address</b>
<b>Adjacent and confronting Property Owners mailing addresses</b>	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

**REVIEWED**

*By Chris Berger at 3:14 pm, Mar 21, 2024*

APPROVED

Montgomery County

Historic Preservation Commission



Robert G. Patton



Work Item 1: \_\_\_\_\_


Description of Current Condition:	Proposed Work:
-----------------------------------	----------------

Work Item 2: \_\_\_\_\_

Description of Current Condition:	Proposed Work:
-----------------------------------	----------------

**REVIEWED**  
By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission



---

Work Item 3: \_\_\_\_\_

Description of Current Condition:	Proposed Work:
-----------------------------------	----------------

**REVIEWED**

By Chris Berger at 3:14 pm, Mar 21, 2024

HISTORIC AREA  
CHECK  
APPLICATION

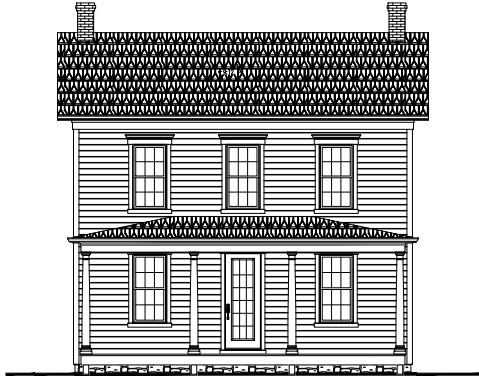
APPROVED  
Montgomery County  
Historic Preservation Commission



Proposed Work	Required Attachments 1. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Addendum 1  
Staff Comments Emailed to Applicants 12.5.23

ATTACHMENT #3

	DESCRIPTION OF WORK/SITE INFORMATION	DRAWING INDEX	
	<p>NEW SINGLE FAMILY RESIDENCE</p> 	<p>CS.01 GENERAL NOTES AND COVER SHEET A01 BASEMENT &amp; FIRST FLOOR PLANS A1.1 SECOND FLOOR &amp; ROOF PLANS WALL BRACING &amp; HEADERS A4.1 EXISTING &amp; PROPOSED FRONT ELEVATIONS A4.2 RIGHT SIDE ELEVATION A4.3 LEFT SIDE ELEVATION A4.4 EXISTING &amp; PROPOSED REAR ELEVATIONS A5.1 DETACHED GARAGE PLANS &amp; ELEVATIONS A5.2 DETACHED GARAGE PLANS &amp; ELEVATIONS</p>	<p style="writing-mode: vertical-rl; transform: rotate(180deg);">MMERS HOME SPECIFICATIONS</p>
	<p>As part of the revised HAWP, the applicant shall submit a site plan and specifications for all hardscaping, driveways, paths, etc. Staff recommends that the driveway be gravel and the paths brick. The applicant should avoid the use of concrete. <span style="border: 1px solid red; padding: 2px;">1</span></p>		<p style="writing-mode: vertical-rl; transform: rotate(180deg);">PULTE - CEPHA GENERAL NOT</p>
		<p>BUILDING ADDRESS PROPERTY ADDRESS PULTE OES LARS RG ROAD GERANTON D</p>	<p>CS.01</p>

REVIEWED

By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED

Montgomery County  
Historic Preservation Commission





# Staff's Comments for Cephas Summers (House)

---

Page: 1

---

Number: 1 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:06:47 AM

---

As part of the revised HAWP, the applicant shall submit a site plan and specifications for all hardscaping, driveways, paths, etc. Staff recommends that the driveway be gravel and the paths brick. The applicant should avoid the use of concrete.

**REVIEWED**

*By Chris Berger at 3:14 pm, Mar 21, 2024*

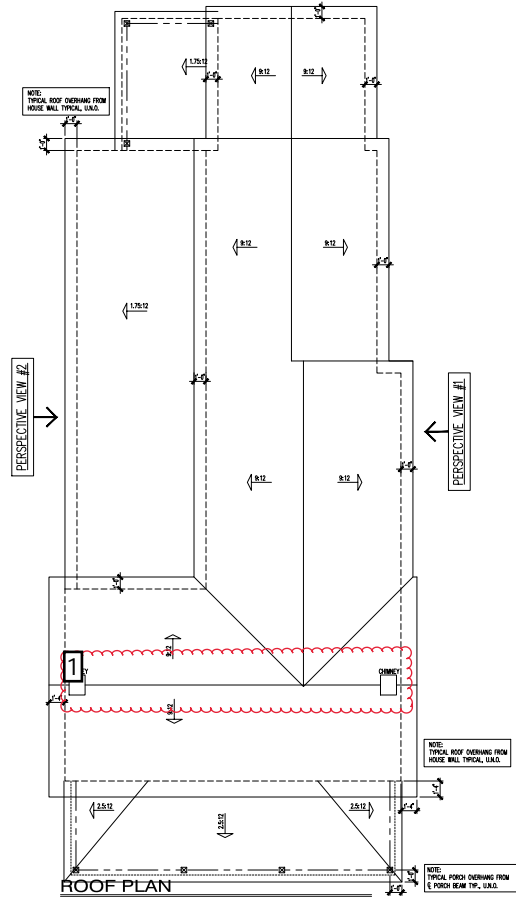
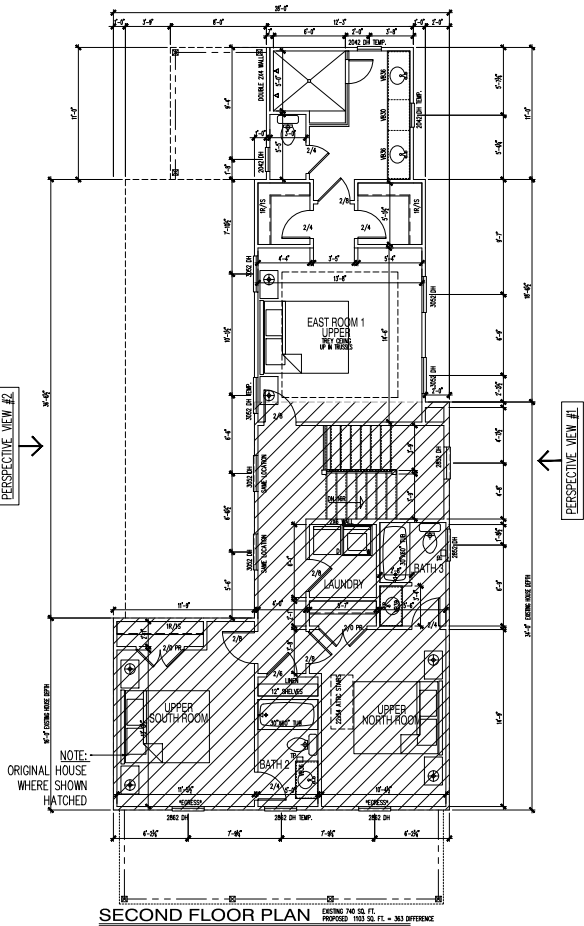
APPROVED

Montgomery County

Historic Preservation Commission



---



PULTHE - CEPHAS - SUMMERS HOME  
SECOND FLOOR & ROOF PLANS

XXX XXX-XX

A1.1

**REVIEWED**  
 By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED  
 Montgomery County  
 Historic Preservation Commission



As part of the revised HAWP, the applicant will submit documentation (drawing/photographs) for the relocation of the rebuilt chimneys. Please include the distance from the rake/edge of the roof to the chimney. Include a written narrative that outlines the structural reasons for their current position.

**REVIEWED**

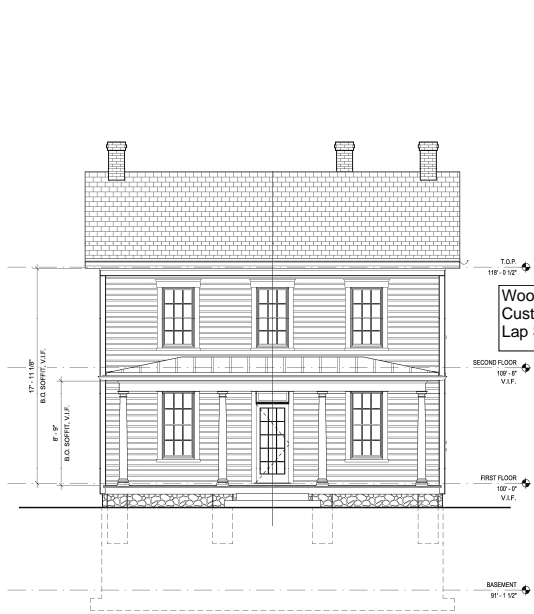
*By Chris Berger at 3:14 pm, Mar 21, 2024*

APPROVED

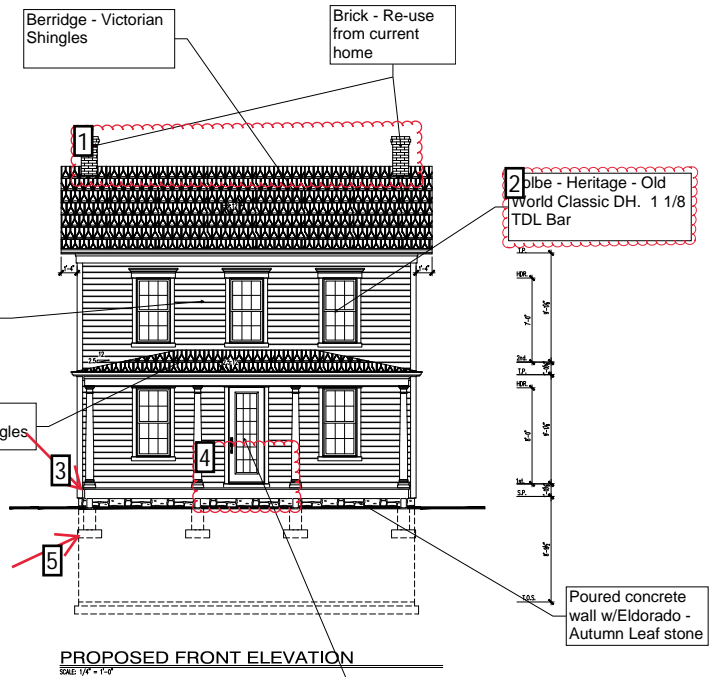
Montgomery County

Historic Preservation Commission





EXISTING FRONT ELEVATION  
SCALE 1/4" = 1'-0"



PROPOSED FRONT ELEVATION  
SCALE 1/4" = 1'-0"








PULTE - CEPHAS - SUMMERS HOME  
EXISTING & PROPOSED FRONT ELEVATION

6  
As part of the revised HAWP, include locations and specifications for all lighting.

7  
As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.

**REVIEWED**  
By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Ronald H. Potter*

- 
-  Number: 1 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:07:00 AM  
As part of the revised HAWP, the applicant will submit documentation (drawing/photographs) for the relocation of the rebuilt chimneys. Please include the distance from the rake/edge of the roof to the chimney. Include a written narrative that outlines the structural reasons for their current position.
- 
-  Number: 2 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:07:13 AM  
As part of the revised HAWP, the applicant will submit revised specifications and photographs that show the 1 3/4" muntin width of the installed window.
- 
-  Number: 3 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:07:17 AM  
The applicant will remove the installed TREX and install wood, tongue-and-groove, porch flooring. The floor should run perpendicular to the house.
- 
-  Number: 4 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:07:22 AM  
As part of the revised HAWP, the applicant will submit revised drawings that show the design and specifications of the porch including all balustrades, railings, stair (including material of treads/risers), and posts at the stair landing. Staff recommends that the stair rail attaches directly to the existing columns. All profiles should be simple.
- 
-  Number: 5 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:07:26 AM  
As part of the revised HAWP, the applicant will submit revised drawings that show the final grade, height of the porch floor, and pier foundation/posts. Staff recommends that the pier foundation/posts be clad with stone. Please include a written narrative about the final grade (code compliance, etc.).
- 
-  Number: 6 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:07:31 AM  
As part of the revised HAWP, include locations and specifications for all lighting.
- 
-  Number: 7 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:07:44 AM  
As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.

**REVIEWED**  
*By Chris Berger at 3:14 pm, Mar 21, 2024*

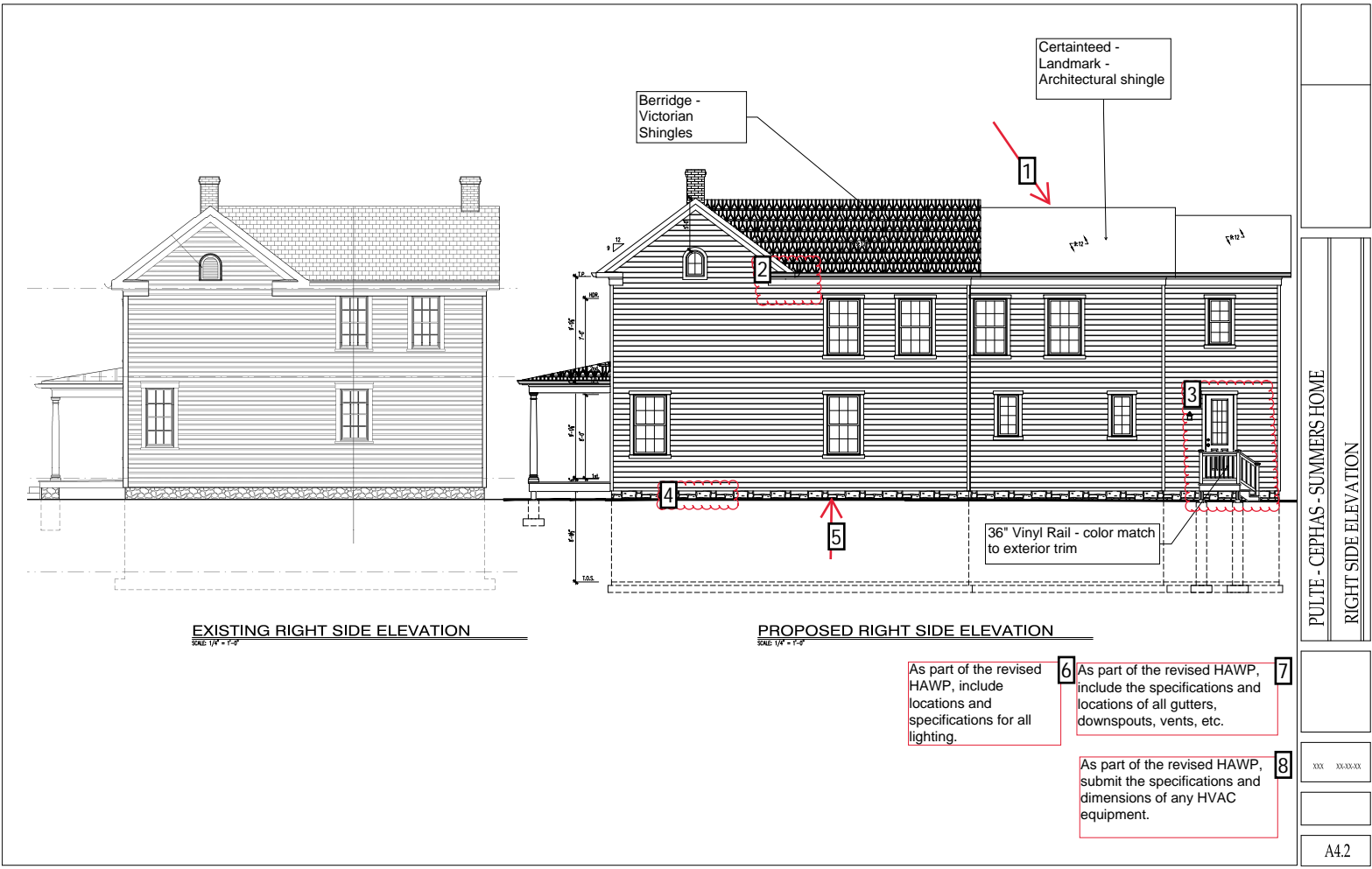
APPROVED  
Montgomery County  
Historic Preservation Commission



---

**REVIEWED**  
 By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED  
 Montgomery County  
 Historic Preservation Commission

PULTE - CEPHAS - SUMMERS HOME  
 RIGHT SIDE ELEVATION

- 6 As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.
- 7
- 8 As part of the revised HAWP, submit the specifications and dimensions of any HVAC equipment.



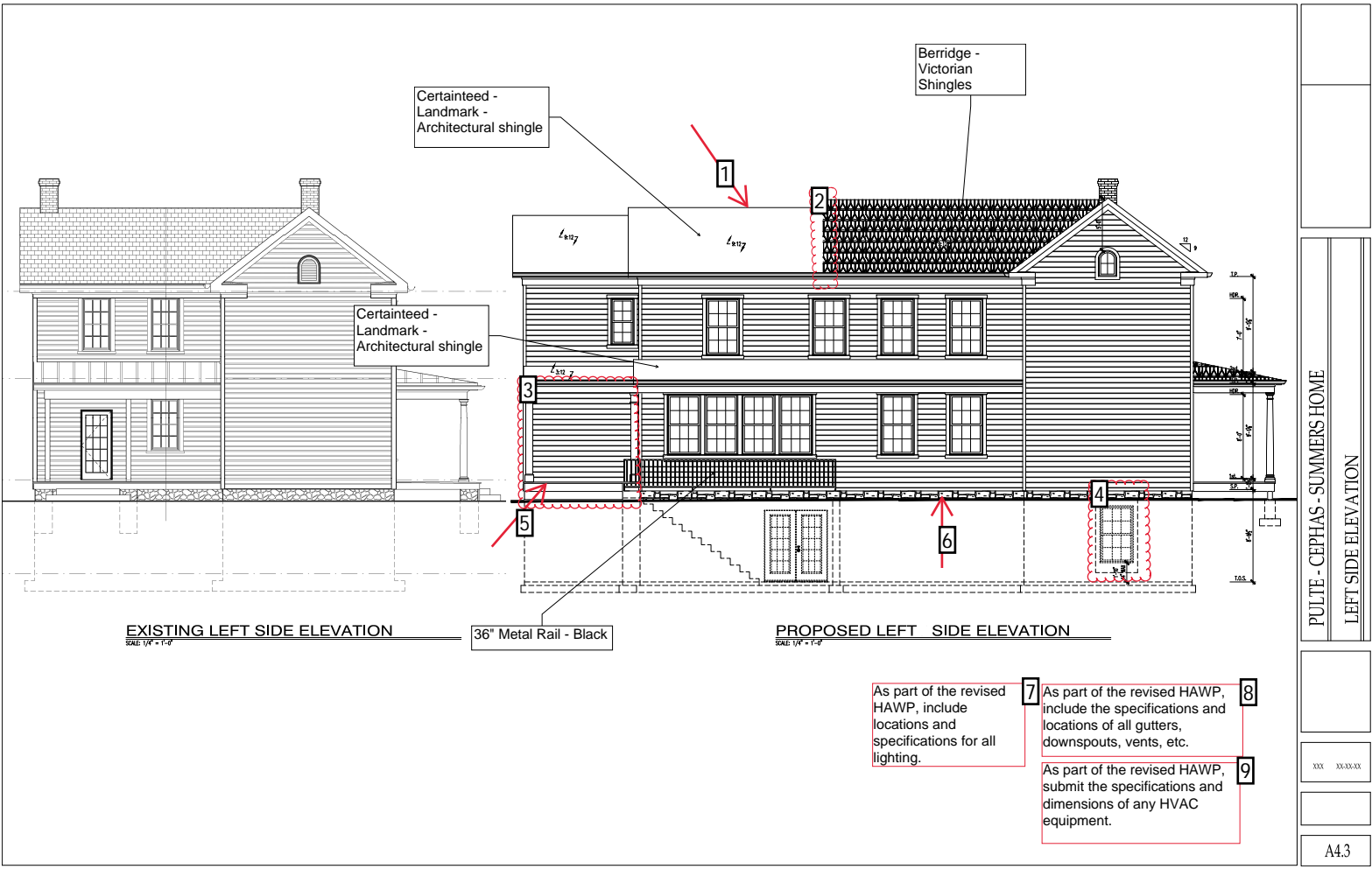
- 
- Number: 1 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:07:55 AM  
As part of the revised HAWP, include specifications and locations of all ridge vents.
- 
- Number: 2 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:08:00 AM  
As part of the revised HAWP, submit documentation (photographs) that show the as-built condition of the roof/cornice. If known, include a narrative that explains the discrepancy between approved and as-built condition.
- 
- Number: 3 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:08:04 AM  
As part of the revised HAWP, submit revised drawings that show the proposed change to the orientation of the stair.
- 
- Number: 4 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:08:09 AM  
As part of the revised HAWP, submit a detailed drawing/specification that shows the transition between the stone veneer foundation and siding.
- 
- Number: 5 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:08:13 AM  
As part of the revised HAWP, include the location and specifications for all foundation-level windows.
- 
- Number: 6 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:08:21 AM  
As part of the revised HAWP, include locations and specifications for all lighting.
- 
- Number: 7 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:08:25 AM  
As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.
- 
- Number: 8 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:08:30 AM  
As part of the revised HAWP, submit the specifications and dimensions of any HVAC equipment.

**REVIEWED**  
By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission



---



PULTE - CEPHAS - SUMMERS HOME  
LEFT SIDE ELEVATION

XXX XX-XX-XX  
A4.3

**REVIEWED**  
By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission

*Ronald A. ...*

**REVIEWED**  
By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission  


Number: 1 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:08:46 AM  
As part of the revised HAWP, include specifications and

Number: 2 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:09:35 AM  
As part of the revised HAWP, submit specifications/drawings for tin and asphalt shingle roofs.

Number: 3 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:08:46 AM  
As part of the revised HAWP, the applicant will submit revised drawings that show the design and specifications of the rear porch including all balustrades, railings, stair (including material of treads/risers), posts at the stair landing, and treatment of the pier foundations/posts. Staff recommends that all profiles should be simple.

Number: 4 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:09:35 AM  
As part of the revised HAWP, the applicant will submit drawings/specifications for the window well.

Number: 5 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:09:40 AM  
The applicant will remove the installed TREX and install wood, tongue-and-groove, porch flooring. The floor should run perpendicular to the house.

Number: 6 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:09:44 AM  
As part of the revised HAWP, the applicant shall submit the location and specifications for all foundation-level windows.

Number: 7 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:09:48 AM  
As part of the revised HAWP, include locations and specifications for all lighting.

Number: 8 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:09:52 AM  
As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.

Number: 9 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:09:58 AM  
As part of the revised HAWP, submit the specifications and dimensions of any HVAC equipment.

g the stamped

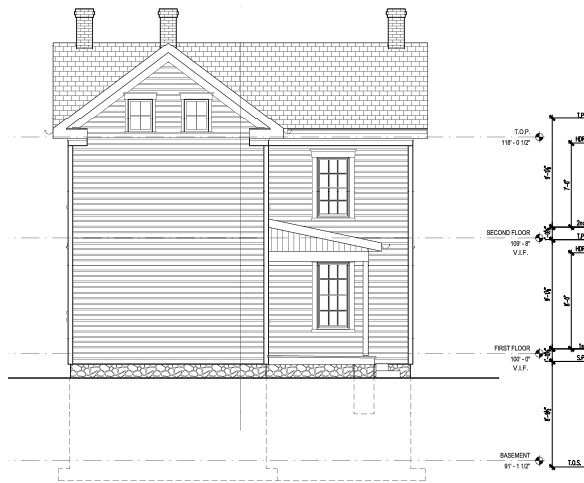


**REVIEWED**

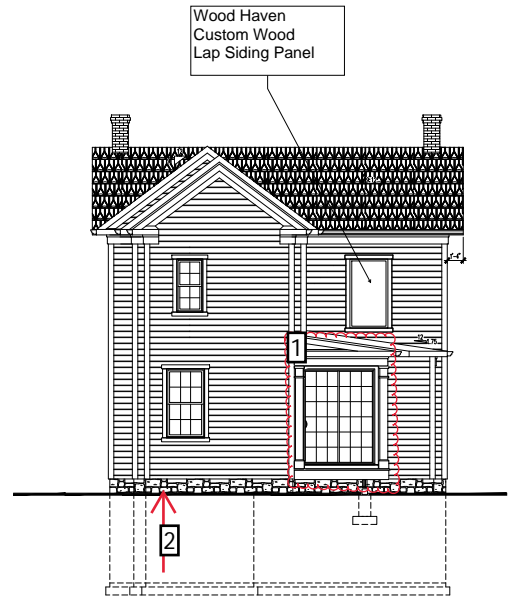
By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED

Montgomery County  
Historic Preservation Commission



EXISTING REAR ELEVATION  
SCALE: 1/8" = 1'-0"



PROPOSED REAR ELEVATION  
SCALE: 1/8" = 1'-0"

As part of the revised HAWP, include the locations and specifications for all lighting.

As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.


As part of the revised HAWP, submit the specifications and dimensions of any HVAC equipment.

PULTE - CEPHAS - SUMMERS HOME  
EXISTING & PROPOSED REAR ELEVATIONS


XXX XXX-XX

A44


---

 Number: 1 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:10:11 AM  
For staff comments on rear porch, see Sheet A4.3.


---

 Number: 2 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:10:15 AM  
As part of the revised HAWP, the applicant shall submit the location and specifications for all foundation-level windows.


---

 Number: 3 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:10:19 AM  
As part of the revised HAWP, include locations and specifications for all lighting.

---

 Number: 4 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:10:23 AM  
As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.

---

 Number: 5 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:10:29 AM  
As part of the revised HAWP, submit the specifications and dimensions of any HVAC equipment.

**REVIEWED**  
By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission



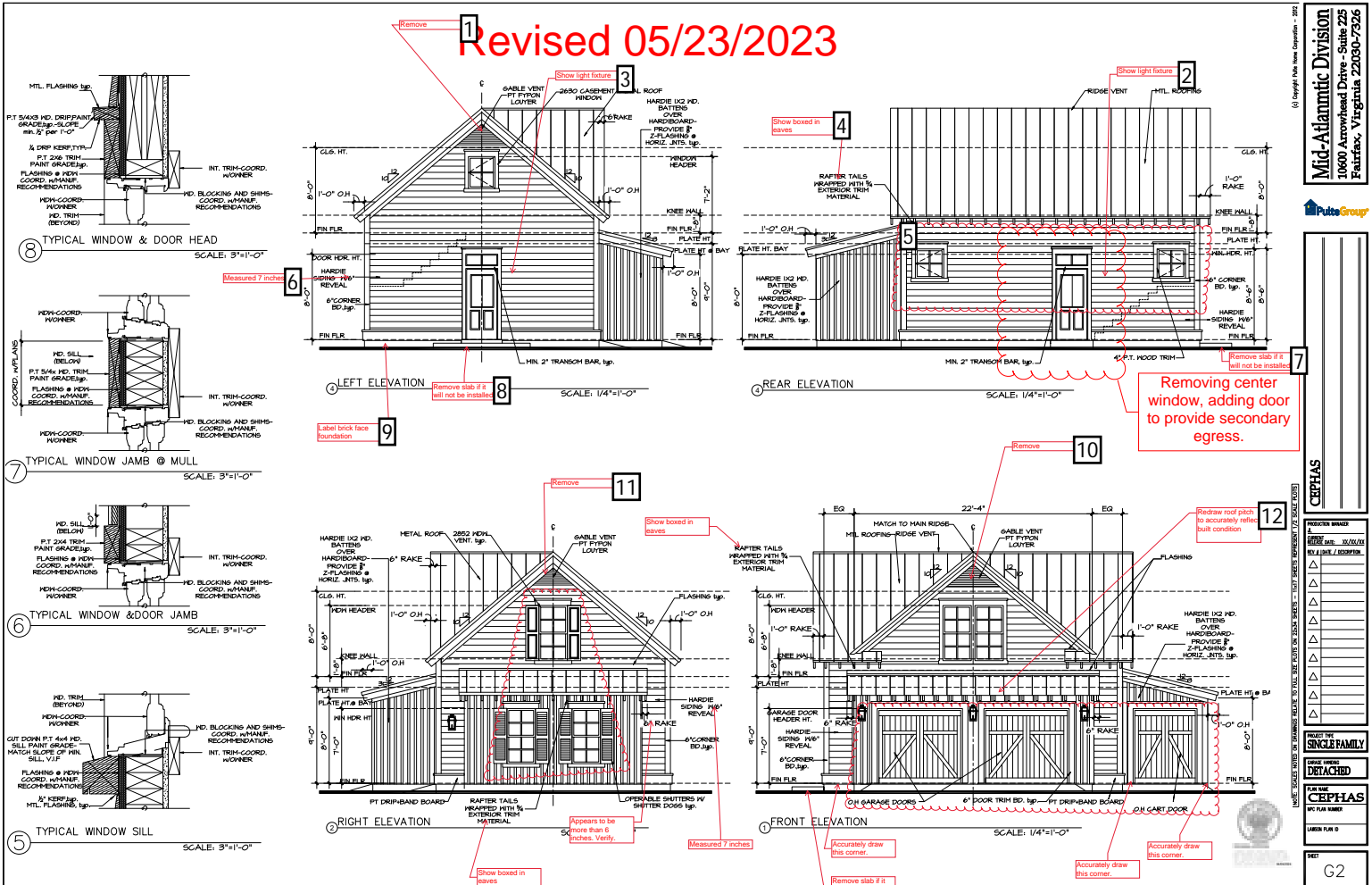
---

**REVIEWED**

By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission

Revised 05/23/2023



Mid-Atlantic Division  
10600 Arrowhead Drive - Suite 225  
Fairfax, Virginia 22030-7236

PublGrouP

CEPHAS

PROJECT NO.	20/001
DATE	05/23/2023
BY	J. L. / R. P.
CHECKED BY	
DATE	
PROJECT NAME	CEPHAS FAMILY
PROJECT TYPE	DETACHED
DATE	
PROJECT NO.	
DATE	

CEPHAS  
62



Staff Comments for Cephas S  
**REVIEWED**  
By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission  


- Number: 1 Author: Christopher.Berger Subject: Callout Date: [unreadable]  
As part of the revised HAWP, remove the upper gable end vents from all locations. Include photographs of as-built conditions.
- Number: 2 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:01:41 AM  
As part of the revised HAWP, show the location and specifications for all light fixtures.
- Number: 3 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:01:46 AM  
As part of the revised HAWP, show the location and specifications for all light fixtures.
- Number: 4 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:01:53 AM  
As part of the revised HAWP, amend the drawing/notes to show boxed-in eaves.
- Number: 5 Author: Christopher.Berger Subject: Polygon Date: 12/5/2023 8:02:03 AM  
As part of the revised HAWP, accurately show all 3 windows on the rear elevation.
- Number: 6 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:19 AM  
As part of the revised HAWP, submit an amendment for the siding (7" exposure instead of 6" exposure).
- Number: 7 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:24 AM  
As part of the revised HAWP, remove the slab if it will not be installed.
- Number: 8 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:31 AM  
As part of the revised HAWP, remove the slab if it will not be installed.
- Number: 9 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:41 AM  
As part of the revised HAWP, label and submit specifications for the brick veneer on the foundation.
- Number: 10 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:46 AM  
As part of the revised HAWP, remove the upper gable end vents from all locations. Include photographs of as-built conditions.
- Number: 11 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:53 AM  
As part of the revised HAWP, remove the upper gable end vents from all locations. Include photographs of as-built conditions.
- Number: 12 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:57 AM  
As part of the revised HAWP, amend the roof to reflect the as-built condition (if needed).

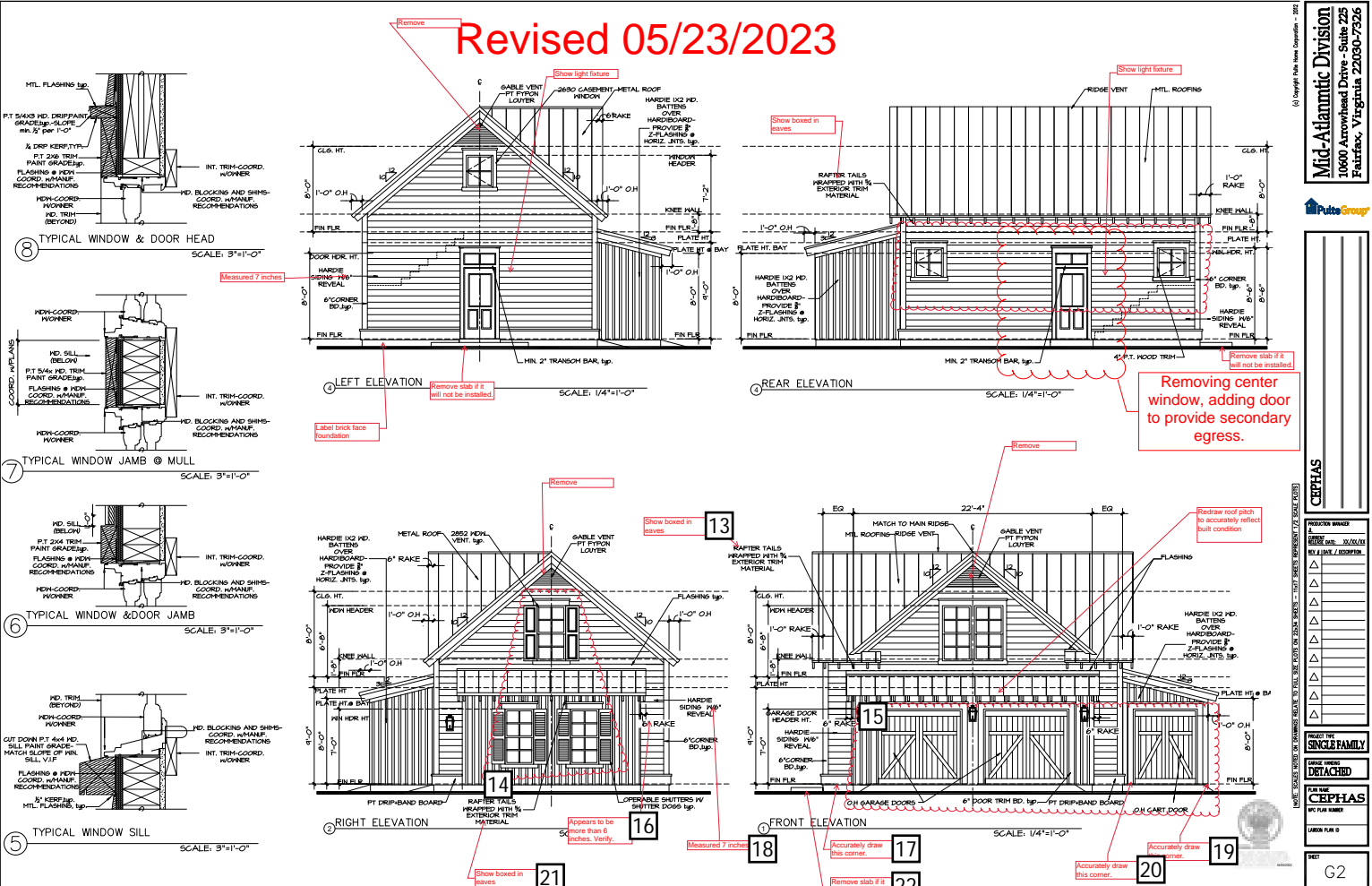
Comments from page 1 continued on next page

**REVIEWED**

By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission

**Revised 05/23/2023**



Mid-Atlantic Division  
10600 Arrowhead Drive - Suite 205  
Fairfax, Virginia 22030-7236

Pulse Group

CEPHAS

REVISION	DATE	BY	CHK	APP

PROJECT: THE SPENCE FAMILY  
DATE: 05/23/2023  
TYPE: DETACHED  
CEPHAS  
ARCHITECT  
PLAN NO: 62  
PLOT: 62

- Number: 13 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:02 AM  
As part of the revised HAWP, amend the drawing/notes to show boxed-in eaves.
- Number: 14 Author: Christopher.Berger Subject: Polygon Date: 12/5/2023 8:03:06 AM  
Staff recommends that the applicant omit all shutters on the right elevation. Of note, the approved plans call for "operable shutters with shutter dogs." Therefore, if installed, the shutters should not be bolted to the siding.
- Number: 15 Author: Christopher.Berger Subject: Polygon Date: 12/5/2023 8:03:12 AM  
As part of the revised HAWP, change the design of the door to the as-built/approved door or add a note.
- Number: 16 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:16 AM  
As part of the revised HAWP, field verify and amend the dimensions of the rake (if needed).
- Number: 17 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:22 AM  
As part of the revised HAWP, amend the elevations to reflect the as-built condition.
- Number: 18 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:26 AM  
As part of the revised HAWP, submit an amendment for the siding (7" exposure instead of 6" exposure).
- Number: 19 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:30 AM  
As part of the revised HAWP, amend the elevations to reflect the as-built condition.
- Number: 20 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:34 AM  
As part of the revised HAWP, amend the elevations to reflect the as-built condition.
- Number: 21 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:38 AM  
As part of the revised HAWP, amend the drawing to show boxed-in eaves.
- Number: 22 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:43 AM  
As part of the revised HAWP, remove the slab if it will not be installed.

**REVIEWED**

*By Chris Berger at 3:14 pm, Mar 21, 2024*

APPROVED

Montgomery County

Historic Preservation Commission



**REVIEWED**

By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission



ys, paths

Page 1/CS.01

1. Refer to Exhibit 1 - Resite/Lot Grading Plan for etc. Refer to Exhibit 2 for pavers and gravel dri

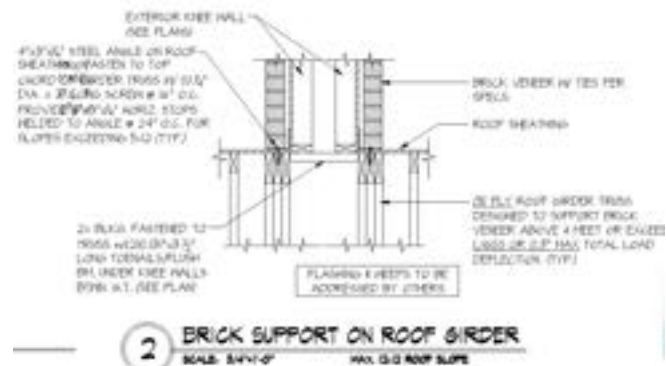
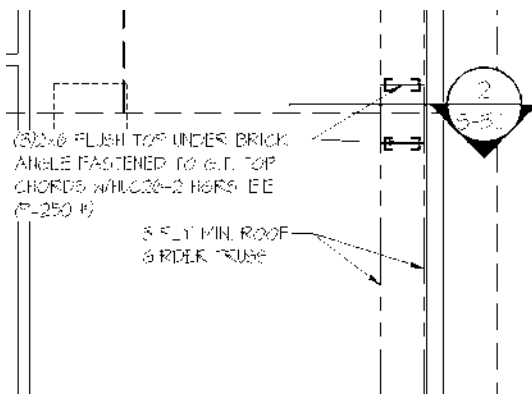
Page 2/A1.1

1. Refer to the photographs below detailing the location for the rebuilt chimneys. They are located 12" from the edge of the roof. In order to provide structural support for the chimneys, steel angles lintels were required. These loads associated were transferred down to the roof girder trusses below.

Facing the house this is the left side. Facing the house this is the right side.



Structural details for the chimney's :





**REVIEWED**

**By Chris Berger at 3:14 pm, Mar 21, 2024**

Page 37/A4.1

APPROVED  
Montgomery County  
Historic Preservation Commission



1. Chimney's – addressed above.
2. Photos below detail the 1 ¾" muntin width of the updated window specifications.
3. The trex decking flooring will be removed. It will be replaced with solid wood. The floor will run perpendicular to the house as detailed on the revised drawings. Refer to Exhibit 2 for specifications.
4. At this time balustrades and railings will not be required on the front porch.
5. The final grade, height of the porch floor and pier/foundation posts can be found on the Resite/Lot Grading Plan and updated drawings. The pier/foundation posts will be clad with the same stone as approved on the foundation.
6. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
7. The locations of the gutters, downspouts and vents have been added to the updated drawings. Specifications can be found in Exhibit 2.

Photos of Windows Detailing 1 ¾" Muntins



Page 4/A4.2

1. The location of all box vents are shown on the updated drawings. Specifications for the box vents can be found in Exhibit 2.
2. The roof/cornice as-built condition is a result of the two different roof overhang dimensions (1'-4" and 1'-0"). Photos are below.

**REVIEWED**  
By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission



3. The change to the orientation of the back door drawings and the Resite/Lot Grading Plan.
4. The stone veneer to siding detail has been updated below. This cap was required for the installation.
5. The location of all basement/foundation level drawings. The window specifications can be found in Exhibit 2.
6. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
7. The locations of the gutters, downspouts and vents have been added to the updated drawings. Specifications can be found in Exhibit 2.
8. The HVAC condensers have located on the updated drawings.

Roof/Cornice As-Built Condition



Siding to Stone Transition



**REVIEWED**

By Chris Berger at 3:14 pm, Mar 21, 2024

Page 5/A4.3

APPROVED  
Montgomery County  
Historic Preservation Commission



1. The location of all box vents are shown on the drawings. The location of the vents can be found in Exhibit 2.
2. The curb/parapet that was required for the terrace has been added to the updated drawings.
3. The updated drawings show the design of the rear porch balustrades, railings, and stair. Balustrade and railing specifications can be found in Exhibit 2.
4. The window well specifications can be found in Exhibit 2.
5. The trex decking flooring will be removed. It will be replaced with 1"x 4" tongue and groove wood. The floor will run perpendicular to the house as detailed on the revised drawings. Refer to Exhibit 2 for specifications.
6. The location of all basement/foundation level windows have been shown on the updated drawings. The window specifications can be found in Exhibit 2.
7. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
8. The locations of the gutters, downspouts and vents have been added to the updated drawings. Specifications can be found in Exhibit 2.
9. The HVAC condensers have been located on the updated drawings.

Page 6/A4.4

1. Rear porch – see above.
2. The location of all basement/foundation level windows have been shown on the updated drawings. The window specifications can be found in Exhibit 2.
3. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
4. The locations of the gutters, downspouts and vents have been added to the updated drawings. Specifications can be found in Exhibit 2.
5. The HVAC condensers have been located on the updated drawings.

Cephas Garage

Page 1/G2

1. All gable vents have been removed. Pictures can be found below.
2. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
3. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
4. The drawings have been updated to show the boxed-in eaves.
5. The drawings have been revised to accurately show all three windows on the rear elevation.
6. The drawings have been updated to show 7" siding exposure.

- 
7. The drawings have been updated to remove the slab at the door.
  8. The drawings have been updated to remove the slab at the door.
  9. The drawings have been updated to show the brick stamped foundation.
  10. All gable vents have been removed. Pictures can be found below.
  11. All gable vents have been removed. Pictures can be found below.
  12. The roof has been updated on the drawings to accurately reflect the as built conditions.
  13. The drawings have been updated to show the boxed-in eaves.
  14. The shutters will be removed from the right elevation and the drawings have been updated accordingly.
  15. The design of the door has been updated on the drawings. Please note this was a discrepancy between the drawings and the approved door specifications.
  16. The drawings have been updated to reflect the dimensions of the rake.
  17. The drawings have been updated to reflect the as-built condition.
  18. The drawings have been updated to show 7" siding exposure.
  19. The drawings have been updated to reflect the as-built condition.
  20. The drawings have been updated to reflect the as-built condition.
  21. The drawings have been updated to show the boxed-in eaves.
  22. The drawings have been updated to remove the slab at the door.

**REVIEWED**

*By Chris Berger at 3:14 pm, Mar 21, 2024*

APPROVED

Montgomery County

Historic Preservation Commission



---



---

Garage Photos



**REVIEWED**

*By Chris Berger at 3:14 pm, Mar 21, 2024*

APPROVED

Montgomery County  
Historic Preservation Commission

A handwritten signature in black ink, reading "Robert A. Potter". The signature is written in a cursive style and is positioned above a horizontal line.

**REVIEWED**

*By Chris Berger at 3:14 pm, Mar 21, 2024*

APPROVED

Montgomery County

Historic Preservation Commission

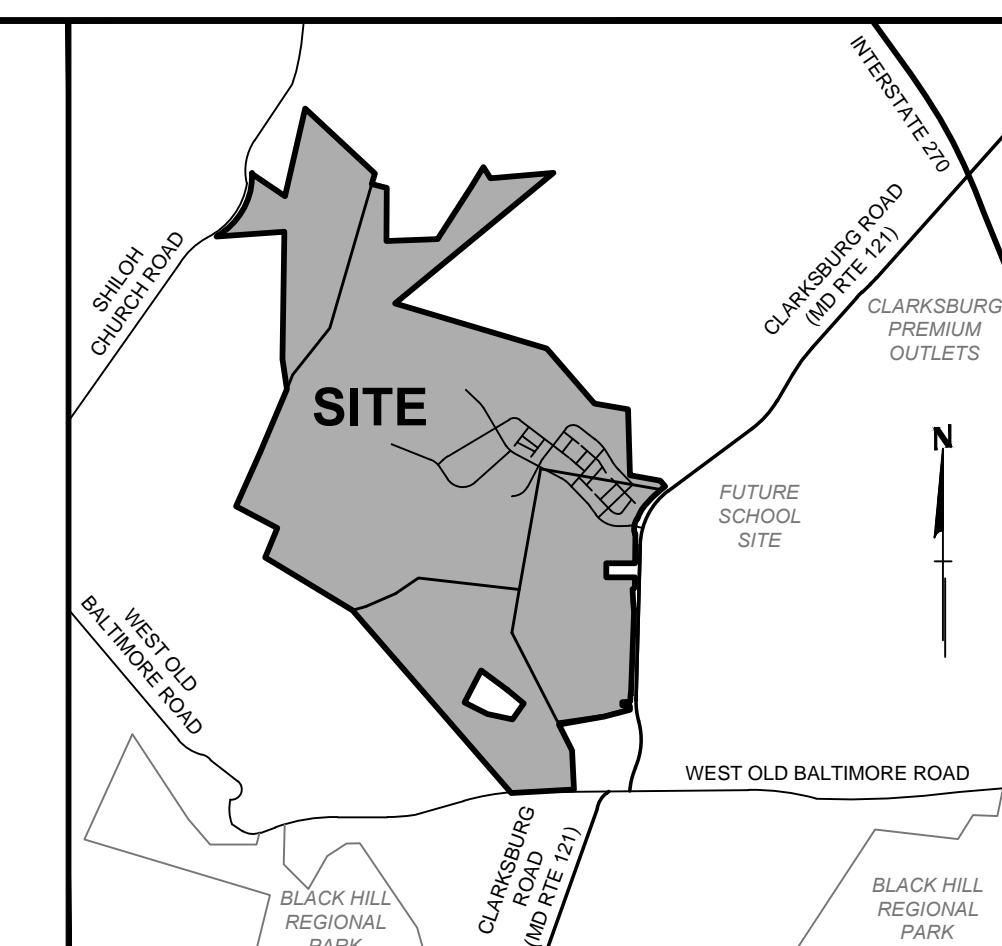


Robert H. Patton

**Exhibit 1 – Resite/Lot Grading Plan**

---





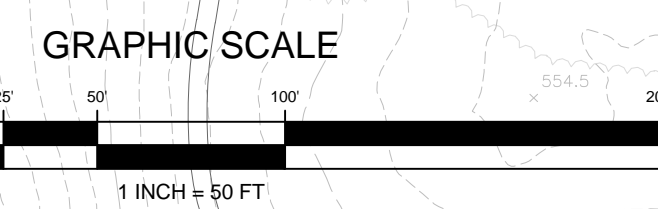
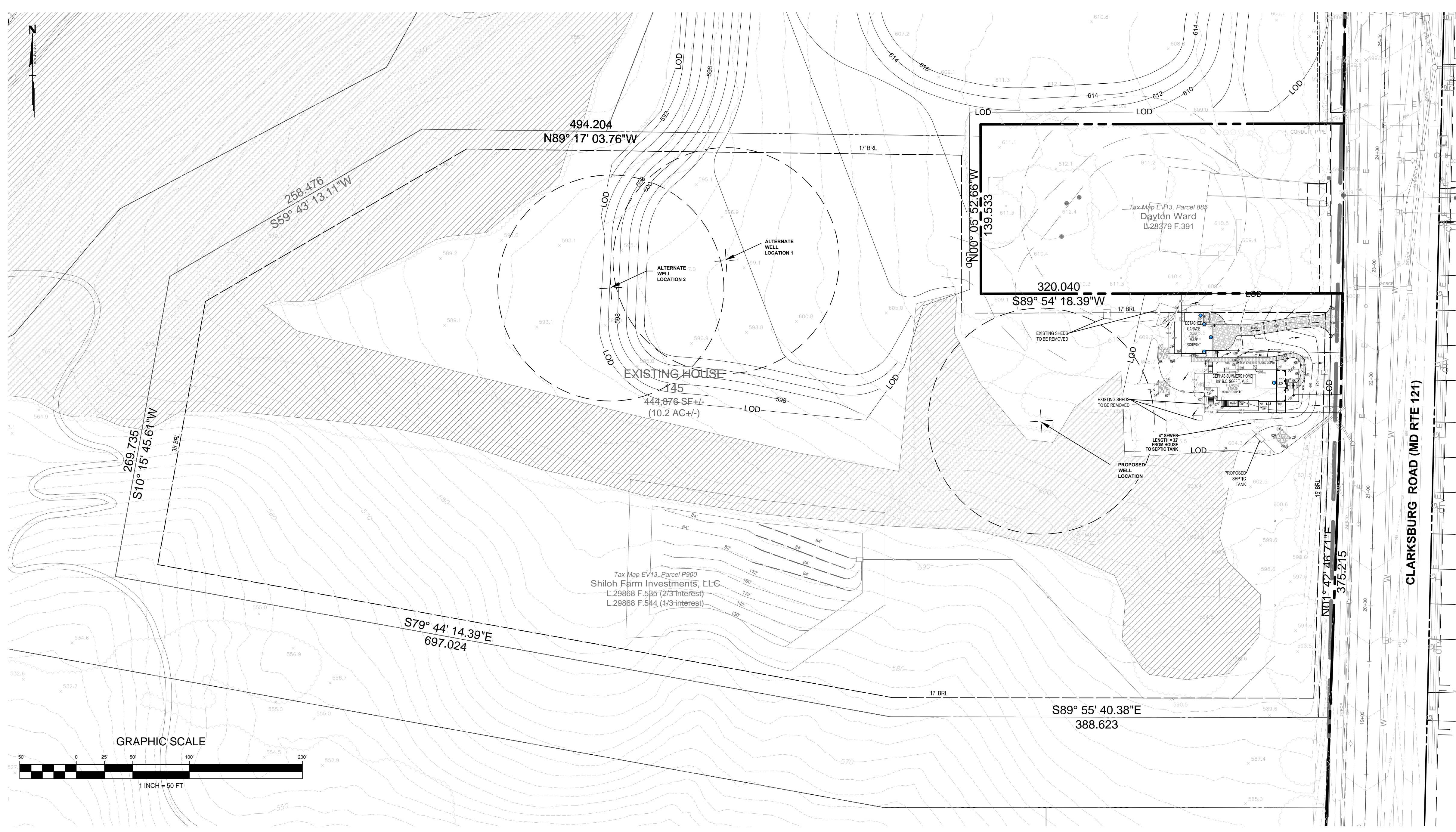
**VICINITY MAP**  
1" = 2000'

- NOTES:**
- THE HEIGHT OF THESE BUILDINGS, AS DEFINED BY THE MONTGOMERY COUNTY ZONING ORDINANCE, COMPLIES WITH SITE PLAN NO. 820200160 APPROVED BY THE MONTGOMERY COUNTY PLANNING BOARD WITH A MAXIMUM OF 35 FEET.
  - THE CEPHAS SUMMERS AND GARAGE BUILDING HEIGHTS ARE MEASURED FROM THE AVERAGE GRADE TO THE MIDPOINT BETWEEN THE EAVES AND RIDGE OF THE GABLE.
  - THE MINIMUM SETBACKS FOR THIS BUILDING, AS DEFINED BY THE MONTGOMERY COUNTY ZONING ORDINANCE:
- |                |          |
|----------------|----------|
| FRONT ROW      | 15' FEET |
| REAR           | 35' FEET |
| SIDE           | 17' FEET |
| ROW TRUNCATION | 0' FEET  |
- THESE SETBACKS COMPLY WITH THE SITE PLAN NO. 820200160, APPROVED BY THE MONTGOMERY COUNTY PLANNING BOARD.
- THE LOT GRADING SHOWN HEREON IS INTENDED FOR THE CONSTRUCTION AND DRAINAGE FOR THE SPECIFIC LOT ONLY. ADJACENT LOT GRADING AND HOUSE LOCATION IS ILLUSTRATIVE AND SUBJECT TO CHANGE WITHOUT NOTICE.
  - BUILDING FOOTPRINT SQUARE FOOTAGE (SF)  

PROPOSED CEPHAS SUMMERS HOUSE	885 SF
PROPOSED DETACHED GARAGE	1,828 SF
<b>TOTAL SF</b>	<b>2,713 SF</b>

**LEGEND**

- SITE LIMITS
- PUBLIC STREET RIGHT OF WAY
- EXISTING CONTOURS
- PROPOSED CONTOURS
- LOD
- EXISTING TREE CANOPY, HEDGEROW
- FOREST PLANT
- PROPOSED STRUCTURE
- EXISTING STRUCTURE
- PROPOSED DRYWELL AND GRAVEL MATERIAL ON DRIVEWAY
- PROPOSED WELL
- BRICK PAVERS MATERIAL ON LEAD WALKS



**BUILDING HEIGHT - AVERAGE GRADE CALCULATIONS**

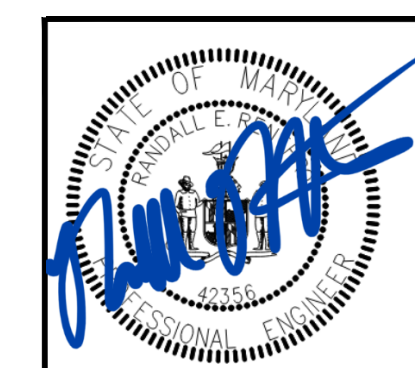
UNIT TYPE	ARCH BUILDING HEIGHT ELEV	BUILDING FACE	EX. START ELEVATION	EX. END. ELEVATION	EX. AVERAGE GRADE	DISTANCE (ft)	EX. AVG. ELEV. x DIST	TOTAL / WALL SIDES	* PROPOSED BLDG. HT. (ft)
SFD	637.19	(E)	606.00	605.50	605.75	28.00	16,961	16,961/28.00 = 605.75	*31.44
Detached Garage	628.90	(A)	608.00	608.00	608.00	8.00	4,864	21,894/36.01 = 608.00	*20.90
		(B)	608.00	608.00	608.00	2.67	1,623		
		(C)	608.00	608.00	608.00	22.67	13,783		
		(D)	608.00	608.00	608.00	2.67	1,623		

UNIT TYPE	ARCH BUILDING HEIGHT ELEV	BUILDING FACE	PROP. START ELEVATION	PROP. END. ELEVATION	PROP. AVERAGE GRADE	DISTANCE (ft)	PROP. AVG. ELEV. x DIST	TOTAL / WALL SIDES	* PROPOSED BLDG. HT. (ft)
SFD	637.19	(E)	609.00	609.00	609.00	28.00	17,052	17,052/28.00 = 609.00	*28.19
Detached Garage	628.90	(A)	610.00	610.00	610.00	8.00	4,880	21,966/36.01 = 610.00	*18.90
		(B)	610.00	610.00	610.00	2.67	1,629		
		(C)	610.00	610.00	610.00	22.67	13,829		
		(D)	610.00	610.00	610.00	2.67	1,629		

\* BUILDING HEIGHT MEASURED FROM THE FINISHED FLOOR TO THE MIDPOINT OF ROOF FOR THE SINGLE-FAMILY DETACHED UNIT AND THE DETACHED GARAGE.

**PROFESSIONAL CERTIFICATION**

"I hereby certify that these documents were prepared or approved by me in accordance with the Montgomery County Department of Public Works and Transportation 'Storm Drain Design Criteria', dated June 10, 2014, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 42356. Expiration Date: 12/19/24"



FOR LOCATION OF UTILITIES CALL "MISS UTILITY" AT 1-800-257-7777 OR LOG ON TO <http://www.missutility.net/tic/> 48 Hours in Advance of Any Work in This Vicinity

REVISION	DATE	REVISION	DATE

DEVELOPER/APPLICANT:  
**PULTE HOMES**  
9302 LEE HIGHWAY, SUITE 1000  
FAIRFAX, VA 22031  
ATTN: CHRIS SPAHR

**CREEKSIDE AT CABIN BRANCH**  
PARCEL 222, L.29581 F.499, PARCEL 900, L.29581 F.499  
PARCEL 600, L.29581 F.508, & PARCEL 900, L. 29868 F.544  
ELECTION DISTRICT No. 2  
MONTGOMERY COUNTY, MARYLAND

**RODGERS CONSULTING**  
19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fax: 301.948.6256 <http://www.rodgers.com>

BASE DATA	BY	DATE
DESIGNED		
DRAWN		
REVIEWED		
RODGERS CONTACT:		
RELEASE FOR	<input type="checkbox"/>	
BY		DATE

**CEPHAS HOUSE RESITE EXHIBIT**  
22200 CLARKSBURG ROAD  
BOYDS, MARYLAND 20841

SCALE:	<b>1:50</b>
JOB No.	0377AB10
DATE:	DECEMBER, 2023
SHEET No.	1 OF 1



---

## Exhibit 2 – Updated Specifications

**REVIEWED**

*By Chris Berger at 3:14 pm, Mar 21, 2024*

APPROVED

Montgomery County

Historic Preservation Commission



*Robert H. Potter*

---

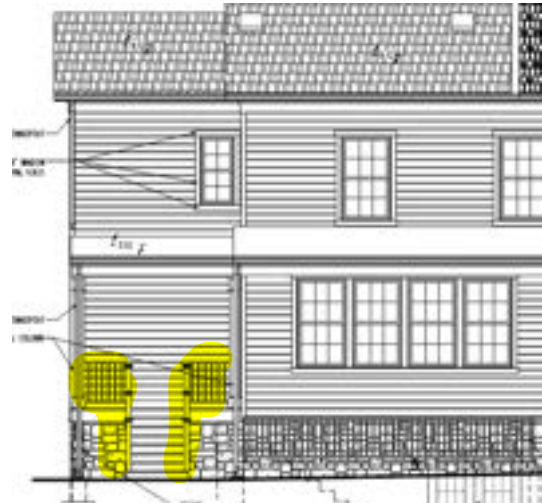




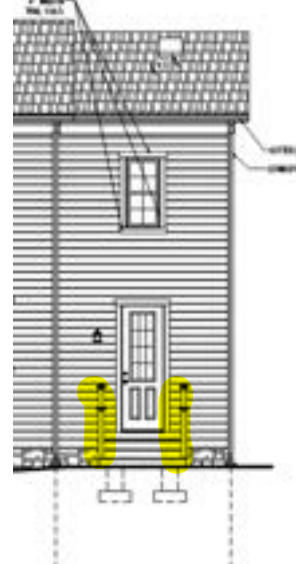
Links:

Tongue and Groove Floor

Handrail and Balusters



Exterior Handrail



**REVIEWED**  
 By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED  
 Montgomery County  
 Historic Preservation Commission

**SPECIFICATIONS**

**Garage**

**Certifications/Qualifications**

[www.kichler.com/warranty](http://www.kichler.com/warranty)

**Dimensions**

Base Backplate	4.50" X 6.75"
Extension	7.75"
Weight	2.80 LBS
Height from center of Wall opening (Spec Sheet)	2.00"
Height	10.25"
Width	6.50"

**Light Source**

Dimmable	Yes
Lamp Included	Not Included
Lamp Type	A19
Light Source	Incandescent
Max or Nominal Watt	60.00
# of Bulbs/LED Modules	1
Socket Type	Medium
Socket Wire	150"

**Mounting/Installation**

Interior/Exterior	Exterior
Location Rating	Wet
Mounting Weight	1.70 LBS

**FIXTURE ATTRIBUTES**



**Housing**

Diffuser Description	Clear Water
Primary Material	ALUMINUM
Shade Dimensions	4.50" SQ X 7.50"

**Product/Ordering Information**

SKU	49924BKT
Finish	Textured Black
Style	Transitional
UPC	783927540414

**Finish Options**

-  Olde Bronze
-  Textured Black



**ALSO IN THIS FAMILY**



WEB LINK

**REVIEWED**

*By Chris Berger at 3:14 pm, Mar 21, 2024*



**SPECIFICATIONS**

**Rear and sides**

<b>Certifications/Qualifications</b>	
	<a href="http://www.kichler.com/warranty">www.kichler.com/warranty</a>
<b>Dimensions</b>	
Base Backplate	5.50" X 8.25"
Extension	12.00"
Weight	7.10 LBS
Height from center of Wall opening (Spec Sheet)	2.25"
Height	16.00"
Width	10.50"
<b>Light Source</b>	
Dimmable	Yes
Lamp Included	Not Included
Lamp Type	A19
Light Source	Incandescent
Max or Nominal Watt	100.00
# of Bulbs/LED Modules	1
Socket Type	Medium
Socket Wire	150"
<b>Mounting/Installation</b>	
Interior/Exterior	Exterior
Location Rating	Wet
Mounting Weight	3.90 LBS



**FIXTURE ATTRIBUTES**

<b>Housing</b>	
Diffuser Description	Clear Water
Primary Material	ALUMINUM
Shade Dimensions	7.00" SQ X 12.00"
<b>Product/Ordering Information</b>	
SKU	49926BKT
Finish	Textured Black
Style	Transitional
UPC	783927540438

<b>Finish Options</b>	
	Olde Bronze
	Textured Black

**ALSO IN THIS FAMILY**



WEB LINK

APPROVED

Montgomery County  
Historic Preservation Commission



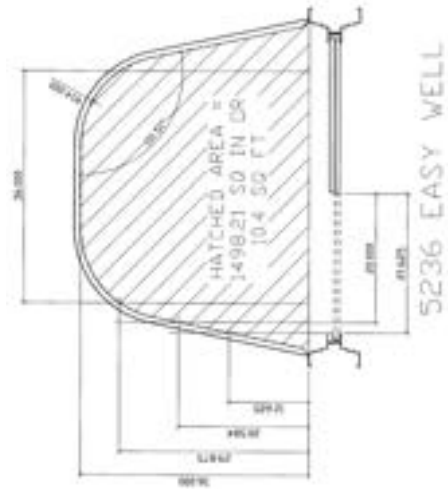
**REVIEWED**  
By Chris Berger at 3:14 pm, Mar 21, 2024

Egress Window Well



Roman Kemp 4040 Basement Window System Specification Sheet

Components	Model #	Notes
Easy-Buck	4040 (48" x 48")	Four in place frame
Easy-Well	5236-60"	Corrugated well
Vinyl Window	4040	Insulated double pane.
Safety Grate	5236	Sits atop the well for fall in protection
Grate Cover	5236	Keeps debris from entering well from top
Escape Ladder	4'-0"	Permanently attaches for emergency escape



WEB LINK

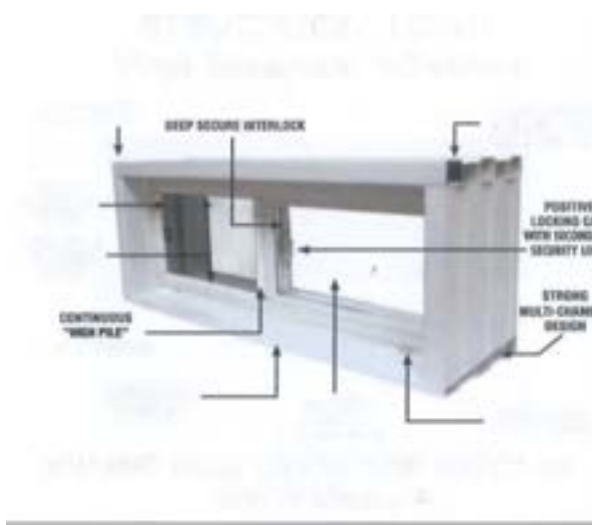
APPROVED  
Montgomery County  
Historic Preservation Commission



---

**REVIEWED**  
By Chris Berger at 3:14 pm, Mar 21, 2024

## Basement Hopper Window



- All vinyl mainframe and sashes provide a structural base with no maintenance;
- Steel reinforcement in header profile for added structural strength;
- Strategically designed multi-chambered mainframe profiles allowing for added thermal performance;
- 6 degree sloped frame sill providing proper water drainage;
- Window frame includes a wood buck support and plastic UV film on both sides of the window allowing for better structural support during the concrete pour and protection on job sites;
- Sash (glass) installed in the window prior to applying the wood buck and protective film;
- Frame extensions available at 1" and 2";
- Fully tested and certified for NAFS, NFRC and AAMA qualifications.

APPROVED

Montgomery County

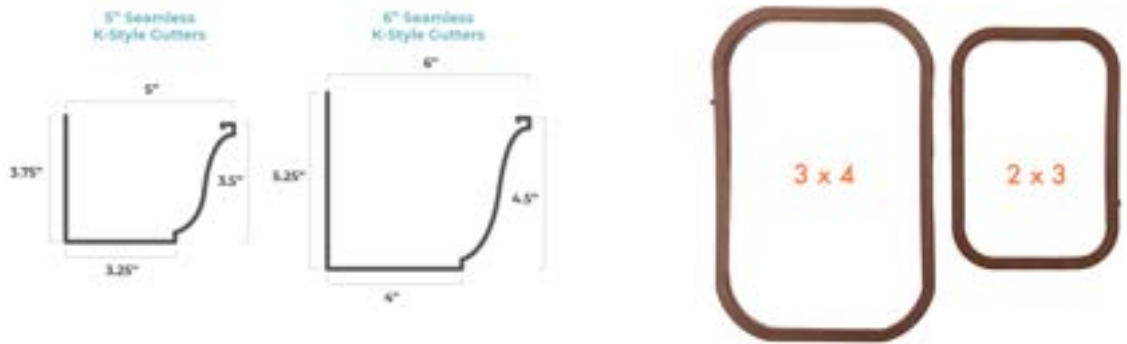
Historic Preservation Commission

**REVIEWED**

By Chris Berger at 3:14 pm, Mar 21, 2024



Gutters and Downspouts



- Manufacture: Central Aluminum
- Size: 5" kstyle with 2x3 (Gauge .027 gutter and .019 for downspouts) / 6" kstyle with 3x4 (Gauge .032 gutter and .019 for downspouts)
- Material: Aluminum with Zinc screws (color to match gutter color)

APPROVED  
Montgomery County  
Historic Preservation Commission



---

**REVIEWED**  
By Chris Berger at 3:14 pm, Mar 21, 2024

## Static Roof Vents

### Lomanco® 700 Series Slant Back



- Designed to prevent roof discoloration.
- Three sides louvered for greater air flow.
- Embossed aluminum finishes for added strength, extended paint life, and blending appearance with shingles.
- 700 has neoprene damper for use as kitchen/bathroom exhaust vent.
- 730 is a smaller version of a 750 and included in the EVA Combo vent package.
- 750-E is a 750 with an extended flange size.
- 750-ES is a 750 with an extended flange size and provides enhanced weather protection.
- 750-G; heavy duty galvanized steel construction.
- 750-GS; provides enhanced weather protection.
- 750-GES; heavy duty galvanized steel construction and provides enhanced weather protection.
- 750-S provides enhanced weather protection.
- Lifetime Limited Warranty – 750 Series.
- 770 is larger version of a 750.
- 770-D is a twin 770; off-ridge vent

WEB LINK

APPROVED

Montgomery County  
Historic Preservation Commission



**REVIEWED**

By Chris Berger at 3:14 pm, Mar 21, 2024

# Masonry Pavers

## WatsonTown Brick

### MODENA PAVER



Clay pavers are natural products, excellent for defining an elegant pathway to a beautiful patio or outdoor dining area. Highly durable, clay pavers provide a multitude of options in an earthy color palette to help you complete your outdoor living space.

2 1/4 x 3 5/8 x 7 5/8

APPROVED

Montgomery County  
Historic Preservation Commission

WEB LINK

**REVIEWED**

By Chris Berger at 3:14 pm, Mar 21, 2024

Driveway Stone



21A Gravel  
(Crusher Run)  
installed 8" deep  
(2x 4" lifts)

21A Gravel is a mix consisting of Bluestone Powder Fines and 3/4 inch Crushed Stone. It is great for driveways, walkways, as a paver base, and numerous other outdoor projects.

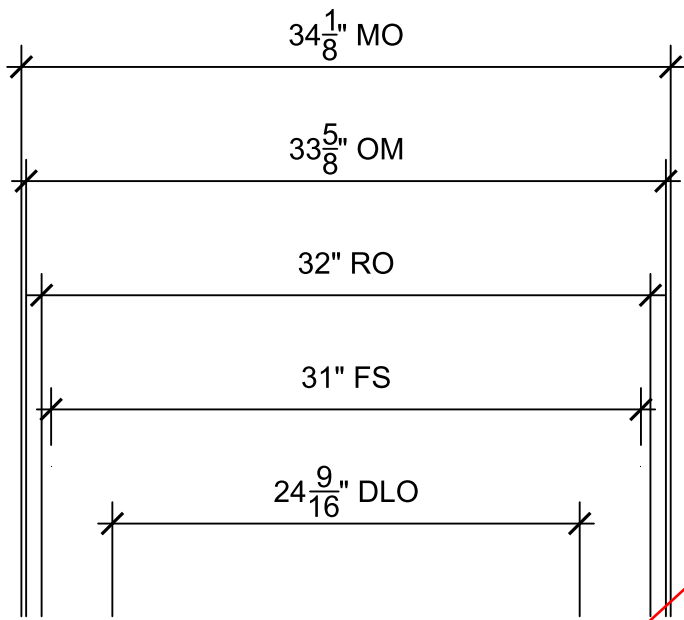
APPROVED

Montgomery County  
Historic Preservation Commission

A handwritten signature in black ink, appearing to read "Robert H. Patton". The signature is written in a cursive style and is positioned above a horizontal line.

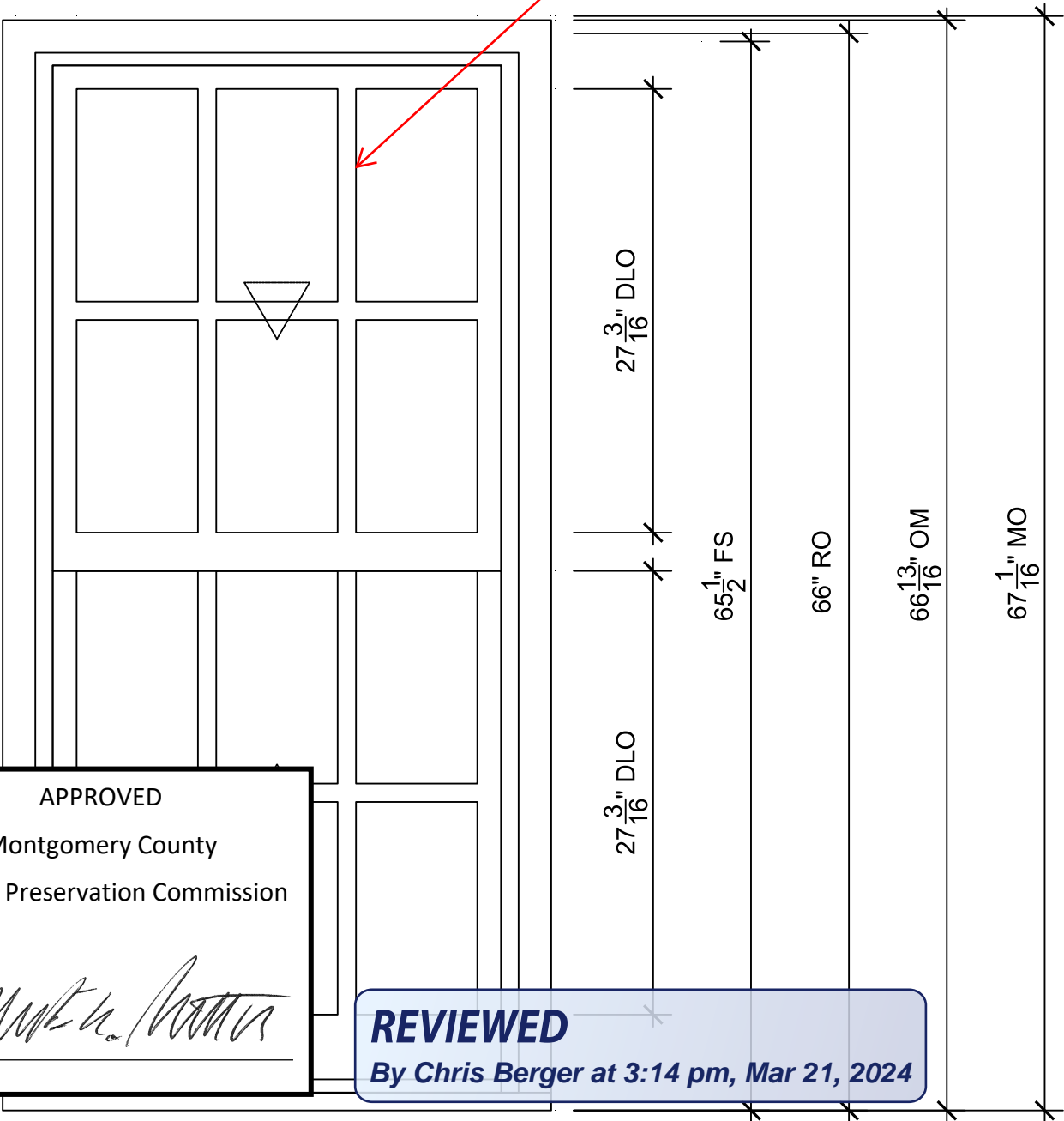
**REVIEWED**

By Chris Berger at 3:14 pm, Mar 21, 2024



Window Specifications

1 3/4" Muntin



APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Robert H. [Signature]*

**REVIEWED**  
 By Chris Berger at 3:14 pm, Mar 21, 2024



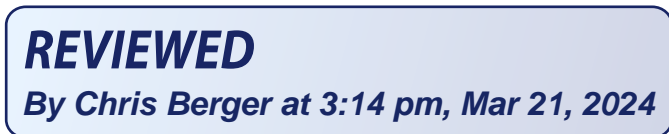
## UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.  
Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 1

TOTAL UNIT QTY: 1

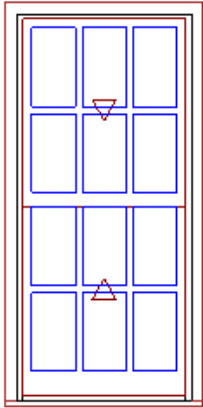
LINE	MARK UNIT	PRODUCT LINE	ITEM	QTY
1		Ultimate Wood	Double Hung Magnum RO 32" X 66" Entered as RO 32" X 66"	1



## LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit:			
Qty: 1				




As Viewed From The Exterior

Entered As: RO  
 MO 34 1/8" X 67 1/16"  
 FS 31" X 65 1/2"  
 OC 33 5/8" X 66 13/16"  
 RO 32" X 66"

Primed Pine Exterior  
 Primed Pine Interior  
 Back Prime  
 Ultimate Wood Double Hung Magnum  
 Rough Opening w/ Subsill  
 32" X 66"  
 Top Sash  
 Primed Pine Sash Exterior  
 Primed Pine Sash Interior  
 IG  
 Low E2 w/Argon  
 Black Perimeter and Spacer Bar  
 1 1/8" SDL - With Spacer Bar - Black  
 Rectangular - Special Cut 3W2H  
 Primed Pine Ext - Primed Pine Int  
 Ovolo Exterior Glazing Profile  
 Ovolo Interior Glazing Profile  
 Bottom Sash  
 Primed Pine Sash Exterior  
 Primed Pine Sash Interior  
 IG  
 Low E2 w/Argon  
 Black Perimeter and Spacer Bar  
 1 1/8" SDL - With Spacer Bar - Black  
 Rectangular - Special Cut 3W2H  
 Primed Pine Ext - Primed Pine Int  
 Ovolo Exterior Glazing Profile  
 Ovolo Interior Glazing Profile  
 Non Finger-Jointed Blindstop  
 1 Per Unit White Sash Lock  
 Beige Jamb Hardware  
 Extruded Aluminum Screen  
 Stone White Surround  
 Bright View Mesh  
 4 9/16" Jambs  
 Primed Pine Non Finger-Jointed BMC  
 Primed Pine Standard Subsill  
 Non Finger-Jointed Subsill  
 Non Finger-Jointed Sill  
 No Installation Method  
 \*\*\*Note: Unit Availability and Price is Subject to Change

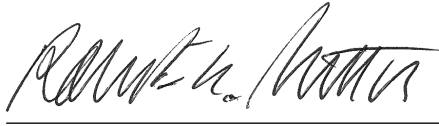
APPROVED  
 Montgomery County  
 Historic Preservation Commission



**REVIEWED**  
 By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED

Montgomery County  
Historic Preservation Commission



Window And Door Collections > Signature Collection >  
Ultimate Wood Double Hung Magnum

**REVIEWED**

*By Chris Berger at 3:14 pm, Mar 21, 2024*

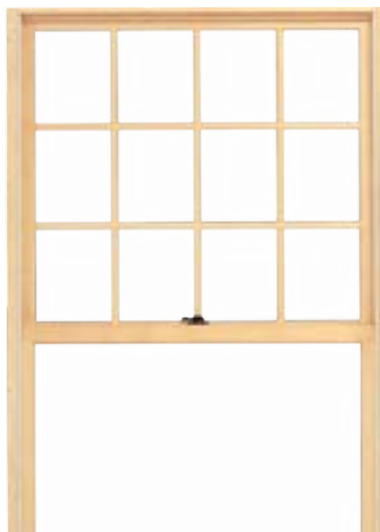
## Ultimate Wood Double Hung Magnum



The Marvin Signature<sup>®</sup> Ultimate Wood Double Hung Magnum window is designed for use in residential, commercial and historic projects where expansive sizes and the natural look of a wood exterior is needed.

Find Marvin products in your area. Connect with a dealer near you to get started.

[FIND A DEALER](#)



# FEATURES OF THE ULTIMATE WOOD DOUBLE HUNG MAGNUM WINDOW



- Available in heights up to 10 feet or widths up to 5 feet
- Engineered for smooth operation at every size
- Multiple exterior woods and finishes available
- Also available as a round top, single hung, stationary transom or picture window
- Triple hung is available by special order for additional design options
- Available with IZ3 coastal/hurricane certification

## DESIGN OPTIONS

Exterior Finish

### Wood Options



Mahogany

For projects that call for the natural or historic beauty of wood exteriors, we offer a selection of high-quality exterior wood options, including Pine, Vertical Grain Douglas Fir, Mahogany and Primed Pine.



*\*Finish samples are approximate and colors on screen can vary. Visit your local retailer to see actual color samples.*

*\*\*Western Red Cedar is available as a trim package option*

Interior Finish

APPROVED

Montgomery County  
Historic Preservation Commission

with natural, stained or painted wood. With Marvin factory-applied  
order beautifully finished windows and doors that are ready to install the  
able time on the job site.

**REVIEWED**

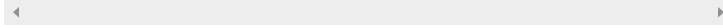
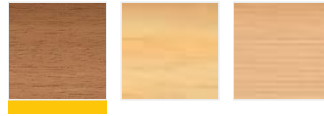
**By Chris Berger at 3:14 pm, Mar 21, 2024**





Honduran Mahogany

Choose from a selection of high-quality standard wood options, including Pine, Mahogany, and Vertical Grain Douglas Fir.



*\*Wood is a product of nature and will vary in color, texture and grain. Wood options shown are to demonstrate the approximate look of each species only, and stain samples are shown on Pine. Photos are not intended to reflect a product's interior or exterior profile.*

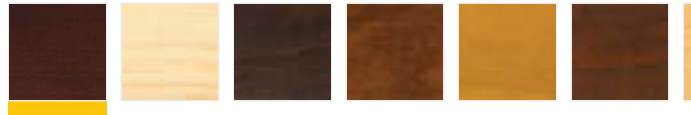
### Stained Wood

When compared to painting or staining on the job site, factory-stained finishes offer consistent quality and performance resulting from our expertise with wood as a material and years of perfecting our staining process.

Every piece of wood receives even coats of conditioning and stain, two coats of clear finish, and is sanded and baked twice in an oven before your window or door is built to create a consistent, durable and high-quality finish that brings out the natural beauty, texture, and grain of the wood. Our stained wood products meet industry standards and arrive ready to install.



Cabernet



*\*Stain and clear coat is available on all offered interior wood species.*

### Painted Wood

Painting on the job site or scheduling off-site finishing is an extra step that takes time and coordination. Choose our primed white or white painted interior finish option on any Marvin pine windows and doors with a wood exterior, or an additional designer black paint option for products with an aluminum clad exterior. Your windows and doors will arrive factory-painted and ready to install.

You can count on consistency with our process, as every piece of wood receives a coat of prime and is sanded before being painted. Each piece is then baked in an oven before your window or door is built to create a consistent, durable and high-quality painted finish that performs to the industry standard.

**APPROVED**  
**Montgomery County**  
**Historic Preservation Commission**



**REVIEWED**  
**By Chris Berger at 3:14 pm, Mar 21, 2024**



*\*Finish samples are approximate and colors on screen can vary. Visit your local dealer to see actual color samples.*

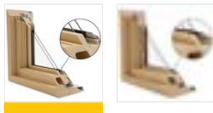
*\*\*Black only available on clad.*

### Sticking Options



Square

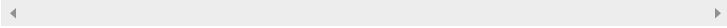
The interior edge detail where glazing meets wood is called sticking, sometimes referenced as bead. Ogee and Ovolo sticking offer a more traditional profile, and square sticking can be specified for a clean, crisp, more contemporary look.



*\*Not all sticking styles are available on every product. Ask your window and door dealer for specifics. Square sticking shown here on a casement window.*

### Hardware

Marvin hardware is far more than functional - it's engineered to be both durable and elegant. From traditional to contemporary, our hardware comes in a variety of architectural styles and finishes to meet your aesthetic needs and design goals. It's designed for effortless operation even at large sizes and is built to last, with optional PVD finishes for door hardware to resist fading and discoloration in even the harshest environments.



APPROVED  
 Montgomery County  
 Historic Preservation Commission



*...e available in all finish options below.*

**REVIEWED**  
 By Chris Berger at 3:14 pm, Mar 21, 2024



Antique Brass



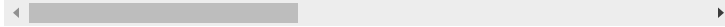
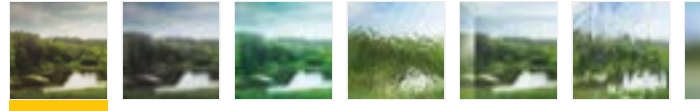
## Glass

### Decorative Glass



Bronze Tint

A variety of decorative glass options are available to meet the unique needs of each project, and laminated glazing is also available in clear, bronze, gray, or green with tinted interlayers.



*\*Not all decorative glass is compatible with all products. Check with your dealer for a recommendation on which glass is right for your project. Images may not be an accurate representation.*

*Color tint images represent color tint example only. Please inquire about obscure glass treatments separately.*


### Energy Efficiency

Glass is an important aspect for managing the energy efficiency of your home. Our standard glazing is dual pane: two panes of glass with Low E coatings and argon insulating gas. We offer variations to help meet climate and code requirements across the country, described in more detail on our [glass page](#).

### Specialty Glass Options

APPROVED

Montgomery County  
Historic Preservation Commission



...s include glass for unique project needs like sound management  
Sea Turtle Conservation Codes and California fire zones. We also offer  
...s designed specifically for hurricane zones.

**REVIEWED**

By Chris Berger at 3:14 pm, Mar 21, 2024

The look of multiple, individual panes of glass in a window sash is popular in a wide range of architectural styles - from historic replications to modern farmhouses. Simulated divided lites, available in a number of different styles, mimic the look of individual panes of glass in a window

sash without sacrificing the energy efficiency of a single pane of glass. For true historical accuracy, authentic divided lites utilize individual glass panes, and are available as a custom order on select all-wood windows.

**Authentic Divided Lite (ADLs) on the façade of the house and exterior muntins on the remaining SDLs throughout**

### Authentic Divided Lite (ADL)



Separate pieces of glass are glazed between muntin bars - the way windows have been made since the beginning but with Marvin's updated design to increase energy efficiency.

### Grilles-between-the-Glass (GBGs)



Grilles are permanently installed between the glass panes for a low-maintenance, smooth exterior and easy cleaning. Choose from 6 exterior colors and 3 interior colors.

APPROVED  
Montgomery County  
Historic Preservation Commission

### Simulated Divided Lite with Spacer Bar (SDLS)



**REVIEWED**

By Chris Berger at 3:14 pm, Mar 21, 2024

An energy-efficient way to create the look of authentic divided lites, SDL bars are permanently adhered to both sides of the glass and are available with or without a spacer bar installed between the glass to create even more depth that resembles an ADL.

Paired with SDL bars on the exterior of the glass, a spacer bar is installed between the glass, creating an even closer match to the Authentic Divided Lite look.

[SUPPORT CENTER](#)

[FIND A DEALER](#)

[TECHNICAL SPECIFICATIONS](#)

[CAREERS](#)

[SEARCH](#)



[Products](#) ▾

[Solutions](#) ▾

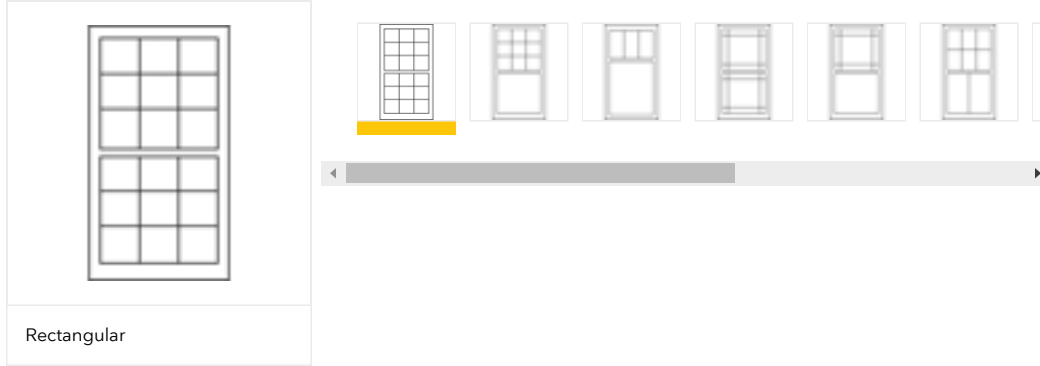
[Inspiration](#) ▾

[Why Marvin](#) ▾

[For Pros](#)

in creating a pattern for your needs.





Rectangular

*\*These are some of our most frequently-requested divided-lite patterns.*

### Casings

An instant boost to curb appeal, optional exterior casing adds architectural detail and character to the profile of your home. Various profiles are available for our all-wood window products.

### Subsills

Choose from several subsill options to best match your sill thickness and depth with your casing and window style. Custom wood subsills are also available.

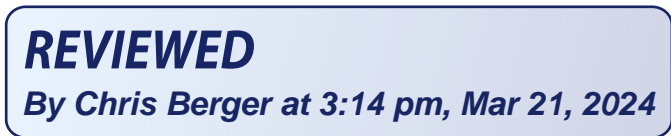
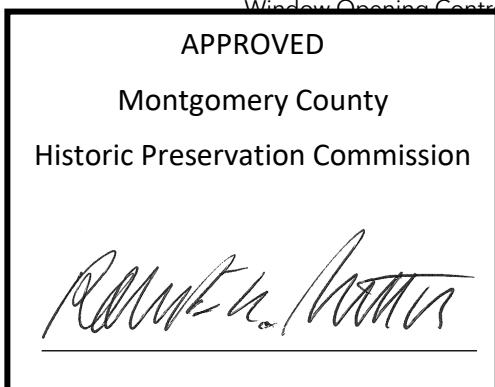
### Coastal Performance



Marvin offers windows and doors specifically designed for the requirements of coastal and impact zone construction. From Nor'easters on the Cape to hurricanes down South that bring extreme rain, salt, and wind, the windows and doors you choose are critical and can help preserve a home's structural seal. Our hurricane-rated product options are certified for energy efficiency and rigorously tested by third party agencies to meet or exceed the most stringent coastal codes.

Learn more about Marvin's [Coastal Solutions](#) that help protect the longevity of your product and the structural integrity of your home.

### Window Opening Control Devices



Front elevations of Cephas Summer House and Garage  
Chris Berger Site Visit 1.11.24



APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert H. Norton*

**REVIEWED**  
By Chris Berger at 3:14 pm, Mar 21, 2024



Front and Right-Side Elevations of Cephas Summer House  
Chris Berger Site Visit 1.11.24



APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert H. Norton*

**REVIEWED**  
By Chris Berger at 3:14 pm, Mar 21, 2024



Right-Side Elevation of the Cephas Summers House  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**

By Chris Berger at 3:11 pm, Mar 21, 2024





Right-Side and Rear Elevations of the Cephas Summers House  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission

A white rectangular box with a black border containing the text 'APPROVED', 'Montgomery County', and 'Historic Preservation Commission'. Below the text is a handwritten signature in black ink, which appears to be 'Robert H. ...'. The signature is written on a white background with a thin black line underneath it.

**REVIEWED**  
By Chris Berger at 3:11 pm, Mar 21, 2024





Rear Elevation of the Cephass Summers House  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**

By Chris Berger at 3:11 pm, Mar 21, 2024



Rear Elevation of the Cephass Summers House and Garage  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Chris Berger at 3:11 pm, Mar 21, 2024





Rear and Left Side Elevation of the Cephas Summers House  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



---

**REVIEWED**  
By Chris Berger at 3:11 pm, Mar 21, 2024





Left-Side Elevation of the Cephas Summers House  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**

By Chris Berger at 3:11 pm, Mar 21, 2024





Front and Left-Side Elevations of the Cephas Summers House  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Chris Berger at 3:11 pm, Mar 21, 2024





Window Well Detail  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



---

**REVIEWED**  
By Chris Berger at 3:11 pm, Mar 21, 2024





Window Detail of the Cephas Summer House  
Chris Berger Site Visit 1.11.24



APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert A. ...*

**REVIEWED**  
By Chris Berger at 3:14 pm, Mar 21, 2024

Left-side Elevation Windows Detail  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Chris Berger at 3:11 pm, Mar 21, 2024



Left-Side Elevation Areaway  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Chris Berger at 3:11 pm, Mar 21, 2024



Roof Eaves Detail  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



---

**REVIEWED**  
By Chris Berger at 3:11 pm, Mar 21, 2024

Right Side Elevation Porch Under Construction  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**

By Chris Berger at 3:11 pm, Mar 21, 2024



Garage Front Elevation  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Chris Berger at 3:11 pm, Mar 21, 2024





Garage Front and Left Side Elevations  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Chris Berger at 3:11 pm, Mar 21, 2024





Garage Left Side Elevations  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Chris Berger at 3:11 pm, Mar 21, 2024





Garage Rear Elevation  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Chris Berger at 3:11 pm, Mar 21, 2024





Garage Right-Side Elevation  
Chris Berger Site Visit 1.11.24

APPROVED

Montgomery County  
Historic Preservation Commission



**REVIEWED**

By Chris Berger at 3:14 pm, Mar 21, 2024



Garage Front and Right-Side Elevations  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Chris Berger at 3:11 pm, Mar 21, 2024





Garage Front Elevation Detail  
Chris Berger Site Visit 1.11.24

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Chris Berger at 3:11 pm, Mar 21, 2024