



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

Date: March 18, 2024

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Chris Berger
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1058872 - deck demolition, building addition, and deck construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the March 6, 2024, HPC meeting with six conditions:

1. The applicant shall provide specifications for the door.
2. The windows shall be either wood or wood with aluminum cladding, and the grilles shall be either full divided lite or simulated divided lite with permanent exterior and interior grilles.
3. The applicant shall label the infill material below the windows on the rear elevation.
4. The applicant shall revise the existing south elevation to accurately show the existing deck stairs.
5. The applicant shall add the dimensions of the addition to the proposed floor plan.
6. The MDO paneling shall be painted.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Scott Plunkett and Jasleen Kaur
Address: 7328 Piney Branch Road, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Chris Berger at 301-495-4571 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.





APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

FOR STAFF ONLY: HAWP# DATE ASSIGNED

APPLICANT:

Name: Scott Plunkett and Jasleen Kaur E-mail: scottplunkett.ltd@gmail.com Address: 7328 Piney Branch Road City: Takoma Park, MD Zip: 20912 Daytime Phone: 202-415-3961 Tax Account No.: 01058197

AGENT/CONTACT (if applicable):

Name: Eric Saul E-mail: eric@saularchitects.com Address: 8... Takoma Park, MD Zip: 20912 Daytime Phone: 714 552 1750 Contractor Registration No.: n/a

REVIEWED By Chris Berger at 3:42 pm, Mar 18, 2024

LOCATION

APPROVED Montgomery County of Historic Property Historic Preservation Commission

Is the Property...? [X] Yes/District Name Takoma Park [] No/Individual Site Name Is there an... Environmental Easement on the Property? If YES, include a map of the... in the Easement Holder supporting this application. Are other... Approvals /Reviews Required as part of this Application? (Conditional Use, variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 7328 Street: Piney Branch Road Town/City: Takoma Park, MD Nearest Cross Street: Takoma Avenue Lot: 15 Block: 11 Subdivision: 0025 Parcel: 0000

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction [] Addition [X] Demolition [] Grading/Excavation [] Deck/Porch [X] Fence [] Hardscape/Landscape [] Roof [] Shed/Garage/Accessory Structure [] Solar [] Tree removal/planting [] Window/Door [X] Other: []

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Eric C. Saul

2/13/24

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

7328 Piney Branch Road
Takoma Park, MD 20912

Owner's Agent's mailing address

8114 Carroll Avenue
Takoma Park, MD 20912

Adjacent and confronting Property Owners mailing addresses

7330 Piney Branch Road
Takoma Park, MD 20912

7324 Piney Branch Road
Takoma Park, MD 20912

7329 Piney Branch Road
Takoma Park, MD 20912

7319 Baltimore Ave
Takoma Park, MD 20912

REVIEWED

By Chris Berger at 3:42 pm, Mar 18, 2024

7325 Baltimore Ave
Takoma Park, MD 20912

APPROVED

Montgomery County

Historic Preservation Commission



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Existing property is a historic craftsman style bungalow located in the Takoma Park historic district. The property slopes steeply towards the rear where there is a walk-out basement condition.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Proposed is a small addition on the rear of the house to fill in the existing inset covered porch in order to expand the existing kitchen. The existing deck will be replaced and expanded. Also proposed are new windows and a new door leading onto the deck from the kitchen.

REVIEWED

By Chris Berger at 3:42 pm, Mar 18, 2024

APPROVED

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Work Item 1: <u>Rear Addition</u>	
Description of Current Condition: Inset covered porch	Proposed Work: New addition to expand kitchen

Work Item 2: <u>New Deck</u>	
Description of Current Condition: Existing pressure treated deck	Proposed Work: New 10' x 15' pressure treated deck

<div style="border: 1px solid black; background-color: #e6f2ff; padding: 5px; display: inline-block;"> REVIEWED <i>By Chris Berger at 3:42 pm, Mar 18, 2024</i> </div>	
<div style="border: 1px solid black; padding: 10px; text-align: center;"> <p>APPROVED</p> <p>Montgomery County</p> <p>Historic Preservation Commission</p>  </div>	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

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By Chris Berger at 3:42 pm, Mar 18, 2024

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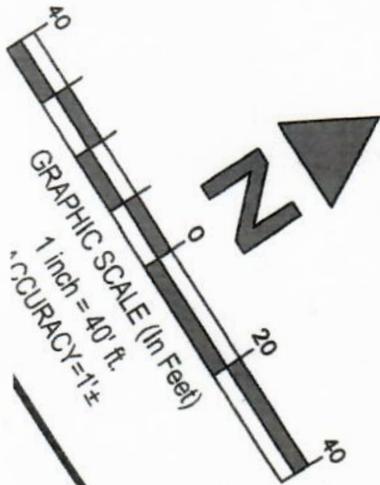


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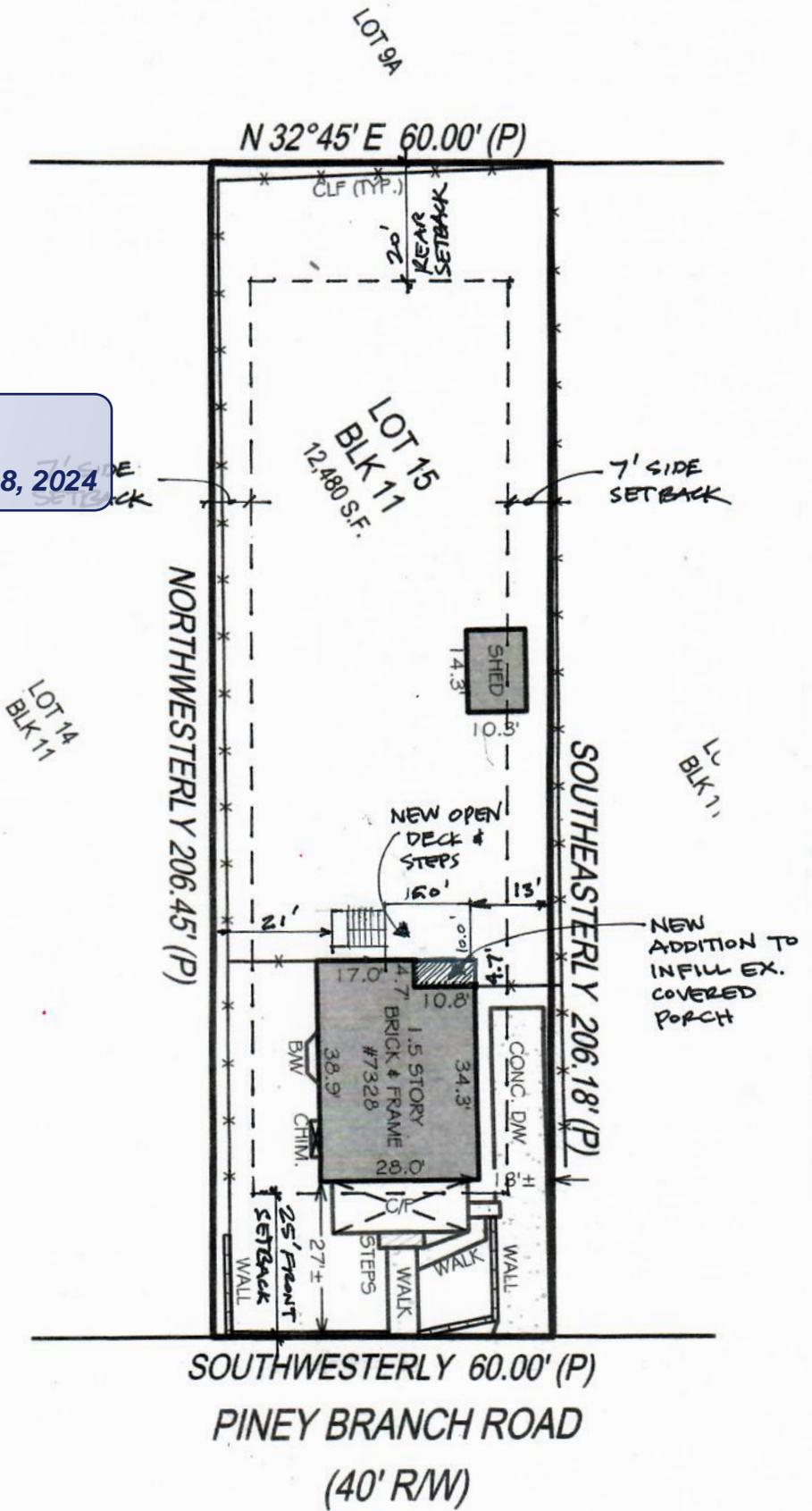
By Chris Berger at 3:42 pm, Mar 18, 2024

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POINTS OF INTEREST
NONE VISIBLE



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By Chris Berger at 3:43 pm, Mar 18, 2024



MUNICIPAL STAMPS

PLUNKETT/KAUR RESIDENCE

ADDITION AND RENOVATION

7328 PINEY BRANCH ROAD | TAKOMA PARK, MD 20912

SAUL ARCHITECTS
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
www.saularchitects.com

REVISIONS

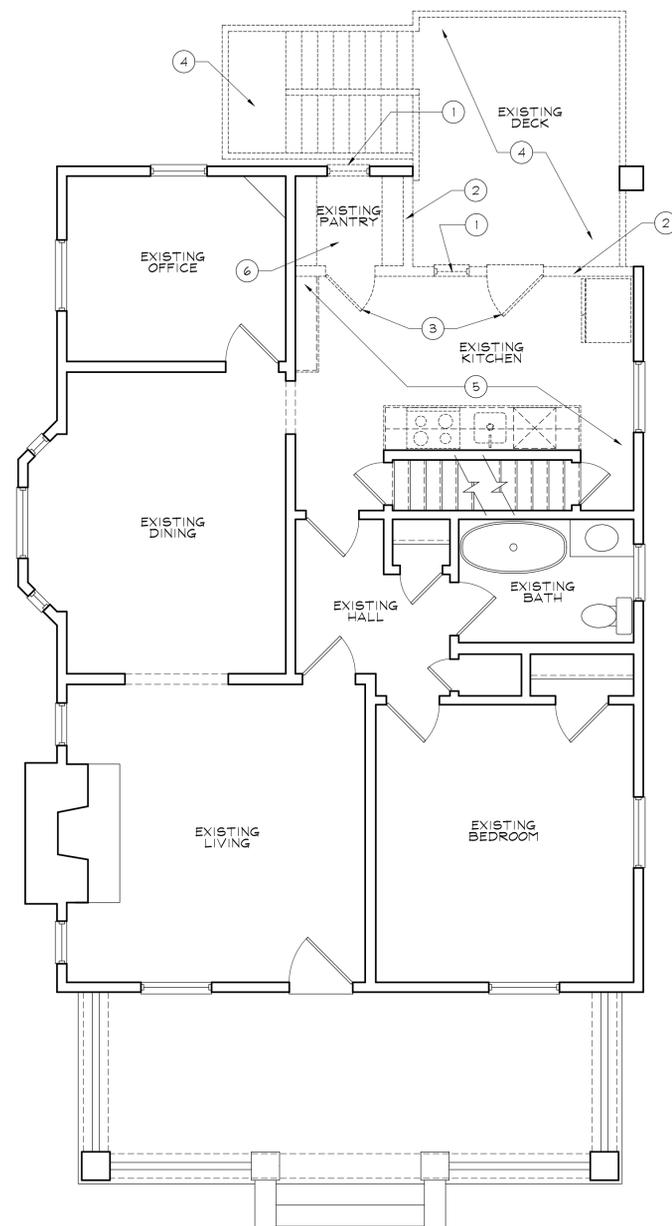
PROJECT TEAM	SHEET INDEX	GRAPHIC SYMBOLS	CODE ANALYSIS	SITE PLAN: 1" = 20'-0"
<p>OWNERS: SCOTT PLUNKET AND JASLEEN KAUR 7328 PINEY BRANCH ROAD TAKOMA PARK, MD 20912 (202) 415-3961</p> <p>ARCHITECT: ERIC C. SAUL, RA SAUL ARCHITECTS 8114 CARROLL AVENUE TAKOMA PARK, MD 20912 (301) 270-0395</p>	<p>ARCHITECTURAL</p> <p>CS COVER SHEET</p> <p>A1 EXISTING/DEMO FLOOR PLANS A1.1 PROPOSED FLOOR PLANS AND WINDOW/DOOR SCHEDULES</p> <p>A2 EXTERIOR ELEVATIONS</p> <p>A3 BUILDING SECTION AND DETAILS</p> <p>S1 FRAMING PLANS AND STRUCTURAL NOTES</p> <p>E1 ELECTRICAL PLAN</p>	<p>SECTION CALLOUT SHEET NUMBER</p> <p>DETAIL CALLOUT SHEET NUMBER</p> <p>ELEVATION CALLOUT SHEET NUMBER</p> <p>DETAIL NUMBER SHEET NUMBER</p> <p>INTERIOR ELEVATION SHEET NUMBER</p> <p>SPOT ELEVATION</p> <p>WINDOW IDENTIFIER</p> <p>DOOR IDENTIFIER</p> <p>FLOOR HEIGHT IDENTIFIER</p> <p>KEYNOTE</p> <p>REVISION INDICATOR</p>	<p>SCOPE OF WORK: SMALL REAR ADDITION TO FILL-IN THE EXISTING COVERED PORCH WITH HABITABLE SPACE TO EXPAND THE EXISTING KITCHEN AND A NEW REAR DECK AND STEPS.</p> <p>LOT: 15 BLOCK: 11 SUBDIVISION: 0025</p> <p>CODE: IRC 2018 ZONE: R-60 CONSTRUCTION TYPE: 5B NO. OF STORIES: 2 PLUS BASEMENT SPRINKLERED: NO</p> <p>DESIGN CRITERIA: GROUND SNOW LOAD 30 PSF WIND SPEED 115 MPH SEISMIC DESIGN CATEGORY B WEATHERING SEVERE FROST DEPTH LINE 30 IN. TERMITE MODERATE TO HEAVY DECAY SLIGHT TO MODERATE WINTER DESIGN TEMP. 13° F ICE SHIELD UNDERLAYMENT REQ'D YES FLOOD HAZARDS JULY 2, 1979 AIR FREEZING INDEX 300 MEAN ANNUAL TEMP. 55° F</p> <p>ALLOWED HEIGHT: 2 1/2 STORIES; 30'-0" MEAN HEIGHT PROPOSED HEIGHT: UNCHANGED</p> <p>SETBACKS: FRONT YARD 25'-0" SIDE YARD 7'-0" REAR YARD 20'-0"</p> <p>LOT AREA CALCULATIONS: LOT SIZE 12,480.0 SQ. FT. (100.0%) MAX. LOT COVERAGE 4,368.0 SQ. FT. (35.0%) EXISTING COVERAGE 1,236.5 SQ. FT. (9.9%) PROPOSED COVERAGE 1,236.5 SQ. FT. (9.9%) INCREASED COVERAGE 0.0 SQ. FT. (0.0%)</p> <p>ADDITIONAL LOT COVERAGE 0.0 SQ. FT.</p> <p>FLOOR LIVING AREA CALCULATIONS: EXISTING FLOOR AREA BASEMENT 1,038.4 SQ. FT. FIRST FLOOR 1,038.4 SQ. FT. SECOND FLOOR 568.0 SQ. FT. TOTAL EXISTING 2,644.8 SQ. FT.</p> <p>PROPOSED FLOOR AREA BASEMENT 1,038.4 SQ. FT. FIRST FLOOR 1,089.2 SQ. FT. SECOND FLOOR 568.0 SQ. FT. TOTAL PROPOSED 2,695.6 SQ. FT. % INCREASE 50.8 SQ. FT. (10.1%) DECK ADDITION 150 SQ. FT.</p> <p>TOTAL ADDITION 58 SQ. FT.</p> <p>REMODELED FLOOR AREA BASEMENT 0 SQ. FT. FIRST FLOOR 161.2 SQ. FT. SECOND FLOOR 0 SQ. FT.</p> <p>TOTAL RENOVATION 161 SQ. FT.</p>	<p>LOT 15 BLK 11 12,480 S.F.</p> <p>LOT 14 BLK 11</p> <p>LOT 9A</p> <p>LOT 16 BLK 11</p> <p>LOT 17 BLK 11</p> <p>LOT 18 BLK 11</p> <p>LOT 19 BLK 11</p> <p>LOT 20 BLK 11</p> <p>LOT 21 BLK 11</p> <p>LOT 22 BLK 11</p> <p>LOT 23 BLK 11</p> <p>LOT 24 BLK 11</p> <p>LOT 25 BLK 11</p> <p>LOT 26 BLK 11</p> <p>LOT 27 BLK 11</p> <p>LOT 28 BLK 11</p> <p>LOT 29 BLK 11</p> <p>LOT 30 BLK 11</p> <p>LOT 31 BLK 11</p> <p>LOT 32 BLK 11</p> <p>LOT 33 BLK 11</p> <p>LOT 34 BLK 11</p> <p>LOT 35 BLK 11</p> <p>LOT 36 BLK 11</p> <p>LOT 37 BLK 11</p> <p>LOT 38 BLK 11</p> <p>LOT 39 BLK 11</p> <p>LOT 40 BLK 11</p> <p>LOT 41 BLK 11</p> <p>LOT 42 BLK 11</p> <p>LOT 43 BLK 11</p> <p>LOT 44 BLK 11</p> <p>LOT 45 BLK 11</p> <p>LOT 46 BLK 11</p> <p>LOT 47 BLK 11</p> <p>LOT 48 BLK 11</p> <p>LOT 49 BLK 11</p> <p>LOT 50 BLK 11</p> <p>LOT 51 BLK 11</p> <p>LOT 52 BLK 11</p> <p>LOT 53 BLK 11</p> <p>LOT 54 BLK 11</p> <p>LOT 55 BLK 11</p> <p>LOT 56 BLK 11</p> <p>LOT 57 BLK 11</p> <p>LOT 58 BLK 11</p> <p>LOT 59 BLK 11</p> 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REVIEWED
By Chris Berger at 3:43 pm, Mar 18, 2024

APPROVED
Montgomery County
Historic Preservation Commission



MUNICIPAL STAMPS



DEMOLITION KEYNOTES:

- ① EXISTING WINDOW TO BE REMOVED
- ② NON-BEARING EXTERIOR WALL TO BE REMOVED
- ③ EXISTING DOOR TO BE REMOVED
- ④ DEMO EXISTING EXTERIOR DECK AND STEPS
- ⑤ COMPLETE DEMO OF EXISTING KITCHEN: REMOVE ALL CABINETS, PLUMBING FIXTURES, HARDWARE, FINISHES AND FLOORING, CAP ALL PLUMBING AND EXPOSE ALL MECHANICAL AND ELECTRICAL.
- ⑥ EXISTING PANTRY TO BE DEMOLISHED

SAUL ARCHITECTS
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
www.saularchitects.com

REVISIONS

PLUNKETT/KAUR RESIDENCE
ADDITION AND RENOVATION
7328 PINNEY BRANCH ROAD | TAKOMA PARK, MD 20912

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GENERAL DEMO NOTES

- 1. DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
- 2. EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
- 3. SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
- 4. EXISTING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
- 5. ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
- 6. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.



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PROJECT NUMBER: 24002

PRINTING LOG	
DATE	PURPOSE
03.06.24	PERMIT SET

EXISTING/DEMO FLOOR PLANS

FLOOR PLAN LEGEND	
	EXISTING WALL TO REMAIN
	NEW INT. 2X4 STUD WALL, U.N.O.
	NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
	NEW EXTERIOR 2X6 STUD WALL; R-20 MIN. INSULATION
	NEW 8" CONC. MASONRY WALL
	NEW BRICK MASONRY WALL OR PIER
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED
	CEILING HEIGHT INDICATOR

1 EXISTING/DEMO FIRST FLOOR PLAN
A1 1/4" = 1'-0"

A1

REVIEWED
By Chris Berger at 3:43 pm, Mar 18, 2024

APPROVED
Montgomery County
Historic Preservation Commission



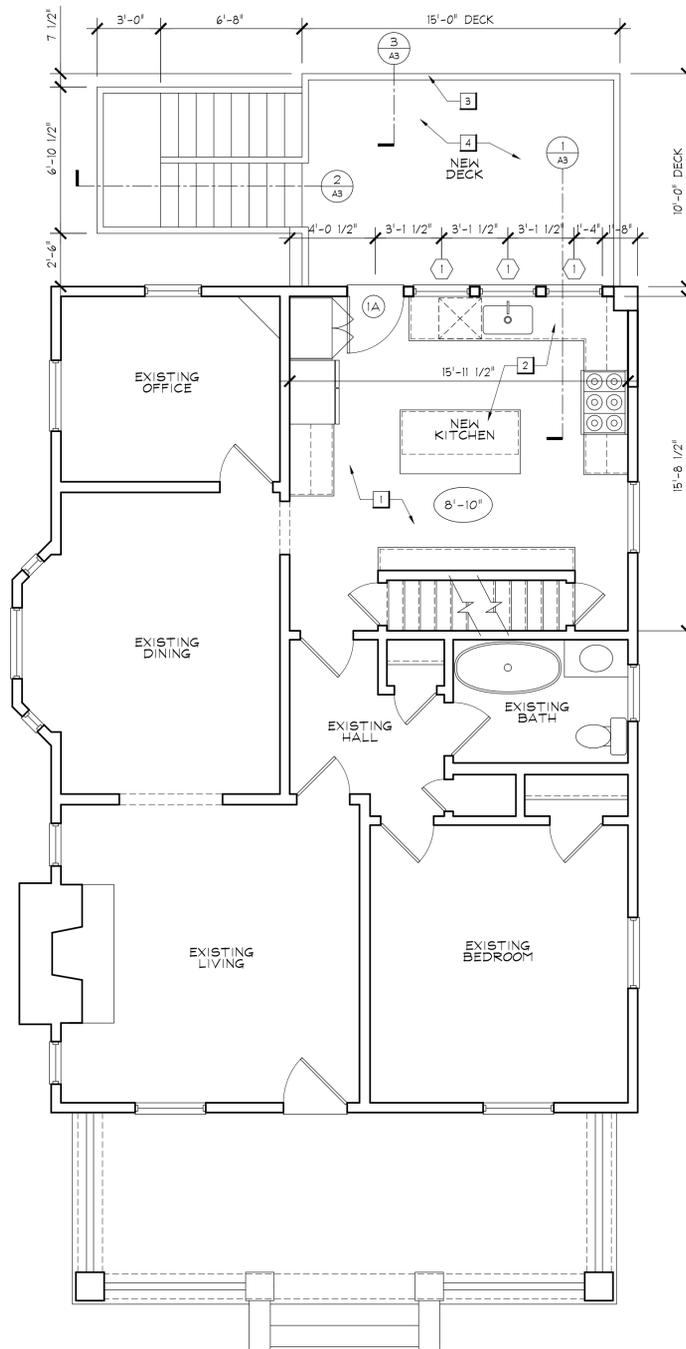
MUNICIPAL STAMPS

WINDOW SCHEDULE								
SYMB	MANUFACTURER	TYPE	MATERIAL	APPROX. UNIT SIZE	WINDOW DETAILS			REMARKS
					HEAD	JAMB	SILL	
(1)	TBD	DOUBLE HUNG	WOOD	32" X 48"				QUANTITY = 3

- HARDWARE AND FINISH TO BE SELECTED BY OWNER
- ALL WINDOWS TO HAVE 7/8" SIMULATED DIVIDED LITES AS SHOWN IN THE ELEVATION DRAWINGS
- DOUBLE GLAZING, LOW E GLASS WITH ARGON
- ARCHITECT TO REVIEW FINAL WINDOW ORDER BEFORE PURCHASING

DOOR SCHEDULE									
DOOR NO.	ROOM NAME	DOOR SIZE	DOOR TYPE	HDWR SET	THRESH	DOOR DETAILS			REMARKS
						HEAD	JAMB	SILL	
FIRST FLOOR									
1A	KITCHEN	3'-0" x 6'-8"	SWING	1	ALUM.	-	-	-	EXTERIOR DOOR TO BE SELECTED BY OWNER

HARDWARE SETS: (ALL HARDWARE FINISHES TO BE SELECTED BY OWNER)
1. (3) 3.5" HINGES; ENTRY LOCK AND DEADBOLT



FLOOR PLAN KEYNOTES:

- NEW HARDWOOD FLOORING TO MATCH DIRECTION OF EXISTING - ADD BLOCKING UNDER FLOOR AS NEEDED
- NEW KITCHEN CABINETS PER SEPARATE KITCHEN DESIGN DRAWINGS
- NEW 36" HIGH DECK GUARDRAIL
- PT DECKING BOARDS

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
- ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.
- DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.

AIR LEAKAGE:

PER IRC: 402.4.2
BUILDING THERMAL ENVELOPE, THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:
1. ALL JOINTS, SEAMS AND PENETRATIONS
2. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS
3. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING
4. UTILITY PENETRATIONS
5. DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE
6. KNEE WALLS
7. WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES
8. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS
9. COMMON WALLS BETWEEN DWELLING UNITS
10. ATTIC ACCESS OPENINGS
11. RIM JOIST JUNCTION
12. OTHER SOURCES OF INFILTRATION

M1601.4 INSTALLATION.
DUCT INSTALLATION SHALL COMPLY WITH SECTIONS M1601.4.1 THROUGH M1601.4.7

M1601.4.1 JOINTS AND SEAMS
JOINTS OF DUCT SYSTEMS SHALL BE MADE SUBSTANTIALLY AIRTIGHT BY MEANS OF TAPES, MASTICS, LIQUID SELANTS, GASKETING OR OTHER APPROVED CLOSURE SYSTEMS. CLOSURE SYSTEMS USED WITH RIGID FIBROUS GLASS DUCTS SHALL COMPLY WITH UL181A AND SHALL BE MARKED 181A-P FOR PRESSURE SENSITIVE TAPE, 181A-M FOR MASTIC OR 181A-H FOR HEAT-SENSITIVE TAPE. CLOSURE SYSTEMS USED WITH FLEXIBLE AIR DUCTS AND FLEXIBLE AIR CONNECTORS SHALL COMPLY WITH UL 181B AND SHALL BE MARKED 181B-FX FOR PRESSURE-SENSITIVE TAPE OR 181B-M FOR MASTIC. DUCT CONNECTIONS TO FLANGES OF AIR DISTRIBUTION SYSTEM EQUIPMENT OR SHEET METAL FITTINGS SHALL BE MECHANICALLY FASTENED. MECHANICAL FASTENERS FOR USE WITH FLEXIBLE NONMETALLIC AIR DUCTS SHALL COMPLY WITH UL 181B AND SHALL BE MARKED 181B-C. CRIMP JOINTS FOR ROUND METAL DUCTS SHALL HAVE A CONTACT LAP OF AT LEAST 1 1/2 INCHES (38MM) AND SHALL BE MECHANICALLY FASTENED BY MEANS OF AT LEAST THREE SHEET-METAL SCREWS OR RIVETS EQUALLY SPACED AROUND THE JOINT. CLOSURE SYSTEMS USED TO SEAL METAL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

- EXCEPTIONS:
- SPRAY POLYURETHANE FOAM SHALL BE PERMITTED TO BE APPLIED WITHOUT ADDITIONAL JOINT SEALS.
 - WHERE A DUCT CONNECTION IS MADE THAT IS PARTIALLY INACCESSIBLE, THREE SCREWS OR RIVETS SHALL BE EQUALLY SPACED ON THE EXPOSED PORTION OF THE JOINT SO AS TO PREVENT A HINGE EFFECT.
 - CONTINUOUSLY WELDED AND LOCKING TYPE LONGITUDINAL JOINTS AND SEAMS IN DUCTS OPERATING AT STATIS PRESSURES LESS THAN 2 INCHES OF WATER COLUMN (500 PA) PRESSURE CLASSIFICATION SHALL NOT REQUIRE ADDITIONAL CLOSURE SYSTEMS.

FLOOR PLAN LEGEND	
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	NEW EXTERIOR 2X6 STUD WALL; R-20 MIN. INSULATION
	NEW 8" CONC. MASONRY WALL
	NEW BRICK MASONRY WALL OR PIER
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED
	CEILING HEIGHT INDICATOR

1
A1.1
PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

SAUL ARCHITECTS
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
www.saularchitects.com

REVISIONS

PLUNKETT/KAUR RESIDENCE
ADDITION AND RENOVATION
7328 PINNEY BRANCH ROAD | TAKOMA PARK, MD 20912



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LICENSE NO. 14248, EXPIRATION DATE: JUNE 30, 2025

PROJECT NUMBER: 24002	
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PROPOSED FIRST AND SECOND FLOOR PLANS

A1.1

REVIEWED
By Chris Berger at 3:43 pm, Mar 18, 2024

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. ...

MUNICIPAL STAMPS

SAUL ARCHITECTS
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
www.saularchitects.com

REVISIONS

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ADDITION AND RENOVATION
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EXTERIOR ELEVATIONS

A2



3 PROPOSED SIDE (SOUTH) ELEVATION
A2 1/4" = 1'-0"



2 PROPOSED SIDE (NORTH) ELEVATION
A2 1/4" = 1'-0"



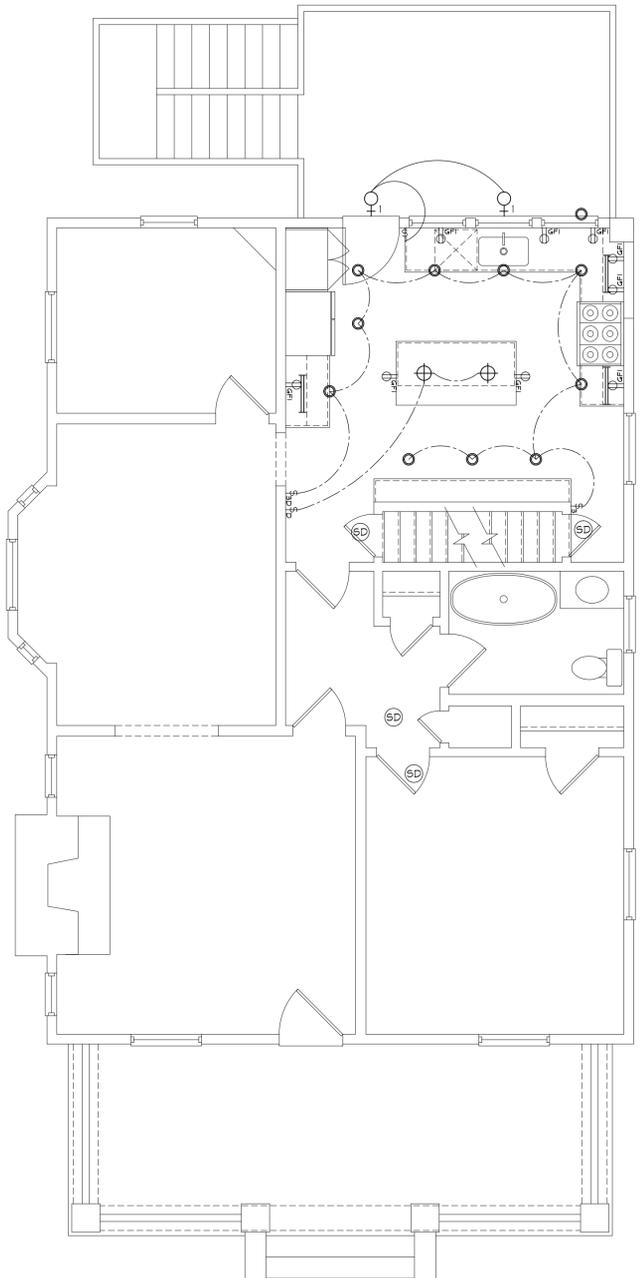
1 PROPOSED REAR ELEVATION
A2 1/4" = 1'-0"

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By Chris Berger at 3:43 pm, Mar 18, 2024

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MUNICIPAL STAMPS



ELECTRICAL SYMBOLS

- ⌘ SWITCH
- ⌘₃ THREE-WAY SWITCH
- ⌘_J JAMB SWITCH
- ⌘_D SWITCH WITH DIMMER
- ⌘_{AS} AIR SWITCH FOR DISPOSAL
- ⌘ DUPLEX RECEPTACLE
- ⌘_{USB} DUPLEX RECEPTACLE W/ USB PORTS
- ⌘_Q QUADRUPLE RECEPTACLE
- ⌘_S SWITCHED OUTLET
- ⌘_{GFP} GROUND FAULT PROTECTED RECEPTACLE
- ⌘_{WP} WATERPROOF RECEPTACLE
- ⌘_{220V} 220V RECEPTACLE
- ⌘_{FLR} FLOOR MOUNTED DUPLEX RECEPTACLE
- ⌘_{CLG} CEILING MOUNTED WIRELESS ACCESS POINT JACK
- ⌘_{TV} CABLE TELEVISION JACK W/ DUAL CAT6 DATA WIRING
- ⌘_T TELEPHONE JACK/INTERNET/DATA
- ⊕ SMOKE DETECTOR
- ⊕ SURFACE MOUNTED CEILING FIXTURE (OSCI)
- RECESSED CEILING FIXTURE
- ₁ RECESSED CEILING FIXTURE - RATED FOR WET LOCATION
- RECESSED WALL WASH FIXTURE
- ⊕ WALL MOUNTED FIXTURE
- ⊕₁ EXTERIOR WALL MOUNTED FIXTURE
- ₁ WALL SCONCE
- ⚡ FLOODLIGHT
- ⊕_B BATHROOM EXHAUST FAN
- ⊗ CEILING FAN (OSCI)
- UNDER CABINET/OVER DOOR LED STRIP LIGHT

- GENERAL ELECTRICAL NOTES:**
- ELECTRICAL LAYOUT TO MEET REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE.
 - SMOKE DETECTORS ARE TO BE HARDWIRED TOGETHER SO THAT ACTIVATION OF ONE DETECTOR ACTIVATES ALL. PROVIDE BATTERY BACK-UPS.
 - INSTALL CARBON MONOXIDE DETECTOR ON EACH FLOOR.
 - WIRE ENTIRE HOUSE FOR INTERNET SERVICE.

SAUL ARCHITECTS
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
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**PLUNKETT/KAUR RESIDENCE
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7328 PINEY BRANCH ROAD | TAKOMA PARK, MD 20912

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ELECTRICAL PLANS

E1

1 FIRST FLOOR ELECTRICAL PLAN
E1 1/4" = 1'-0"

REVIEWED
By Chris Berger at 3:43 pm, Mar 18, 2024

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Montgomery County
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MUNICIPAL STAMPS

STRUCTURAL NOTES:

- USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.
- LOADS- LIVE -FLOOR RESIDENTIAL - 40PSF; ROOF - 30 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE I
- FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL. EXISTING FOUNDATIONS ARE ADEQUATE FOR NEW LOADS
- CONCRETE - 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS. CONC. FOUNDATION WALL REINFORCEMENT: #4 BARS @ 24" O.C. HORIZ. AND VERTICAL - EMBED 8" INTO FOOTING.
- FRAMING LUMBER SHALL BE STRUCTURAL GRADE, DOUGLAS FIR #2 OR STRONGER. F_b = 1200 PSI MINIMUM. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S F_b=2650PSI, E=1.9M PSI
- BRACED WALL PANELS (BWP): 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.11.
- CONC. BLOCK REINFORCEMENT: USE 9 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. - NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
- STRUCTURAL STEEL SHALL BE ASTM A-36. USE AISC STANDARDS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.

ALL NEW EXTERIOR OPENINGS TO HAVE DOUBLE (3) 2X8 HEADERS, U.N.O.
POSTS UNDER HEADERS TO BE ONE KING AND ONE JACK STUD, U.N.O.
NEW DOUBLE WINDOWS TO HAVE TWO JACK STUDS BETWEEN.
EXISTING EXTERIOR OPENINGS TO HAVE A MINIMUM (3) 2X6 UP TO 36" WIDE, (3) 2X8 UP TO 48" WIDE AND (3) 2X10 UP TO 60" WIDE.

NOTE: USE CONTINUOUS WALL BRACING METHOD (#3) PER IRC: R602.10.4
CS-WSP = 1/2" WOOD STRUCTURAL PANEL (SEE STRUCTURAL NOTE #6 FOR CONNECTION CRITERIA)

SAUL ARCHITECTS
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
www.saularchitects.com

REVISIONS

PLUNKETT/KAUR RESIDENCE
ADDITION AND RENOVATION
7328 PINEY BRANCH ROAD | TAKOMA PARK, MD 20912

DO NOT SCALE THE DRAWINGS. THE DESIGNER SHALL BE RESPONSIBLE FOR A CORRECT AND ACCURATE SCALE. ANY CHANGES TO THE DRAWINGS SHALL BE MADE ON A REVISION SHEET. THE ORIGINAL DRAWINGS SHALL BE KEPT ON FILE AND MADE AVAILABLE TO THE CLIENT. ANY USE OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED.



PROFESSIONAL CERTIFICATION:
I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14248, EXPIRATION DATE 6/30/2025

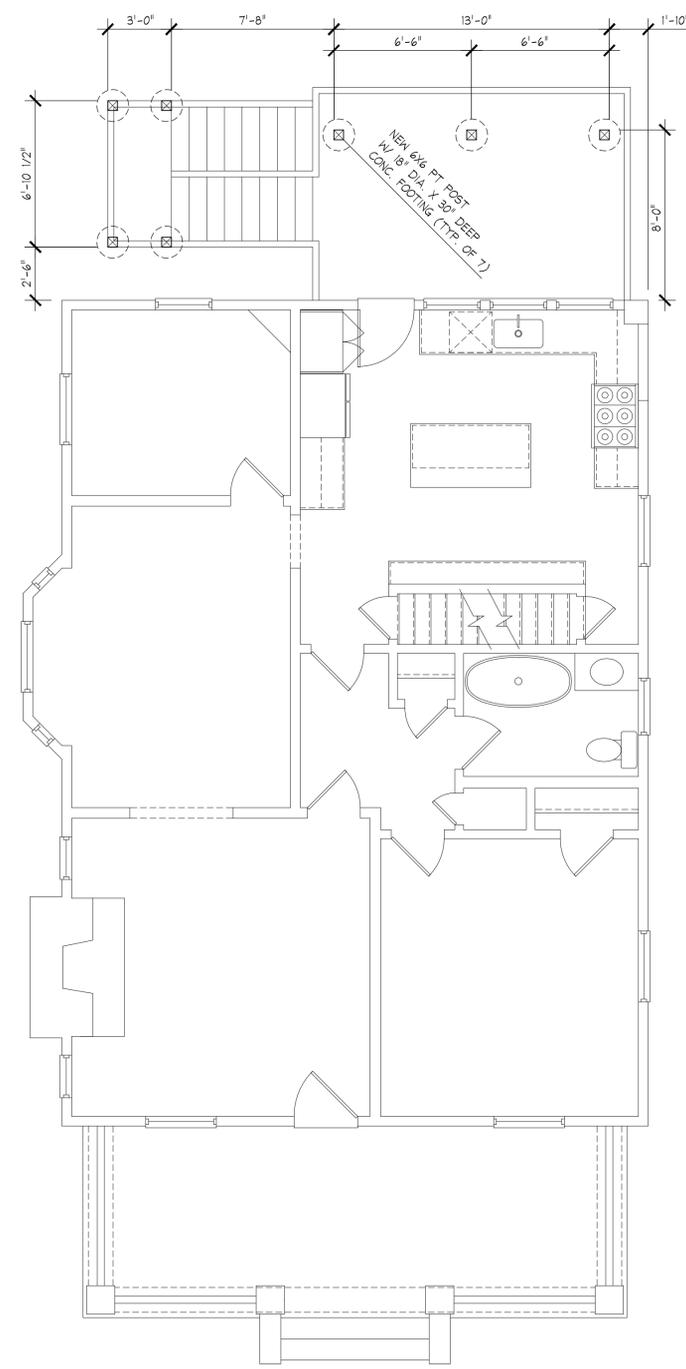
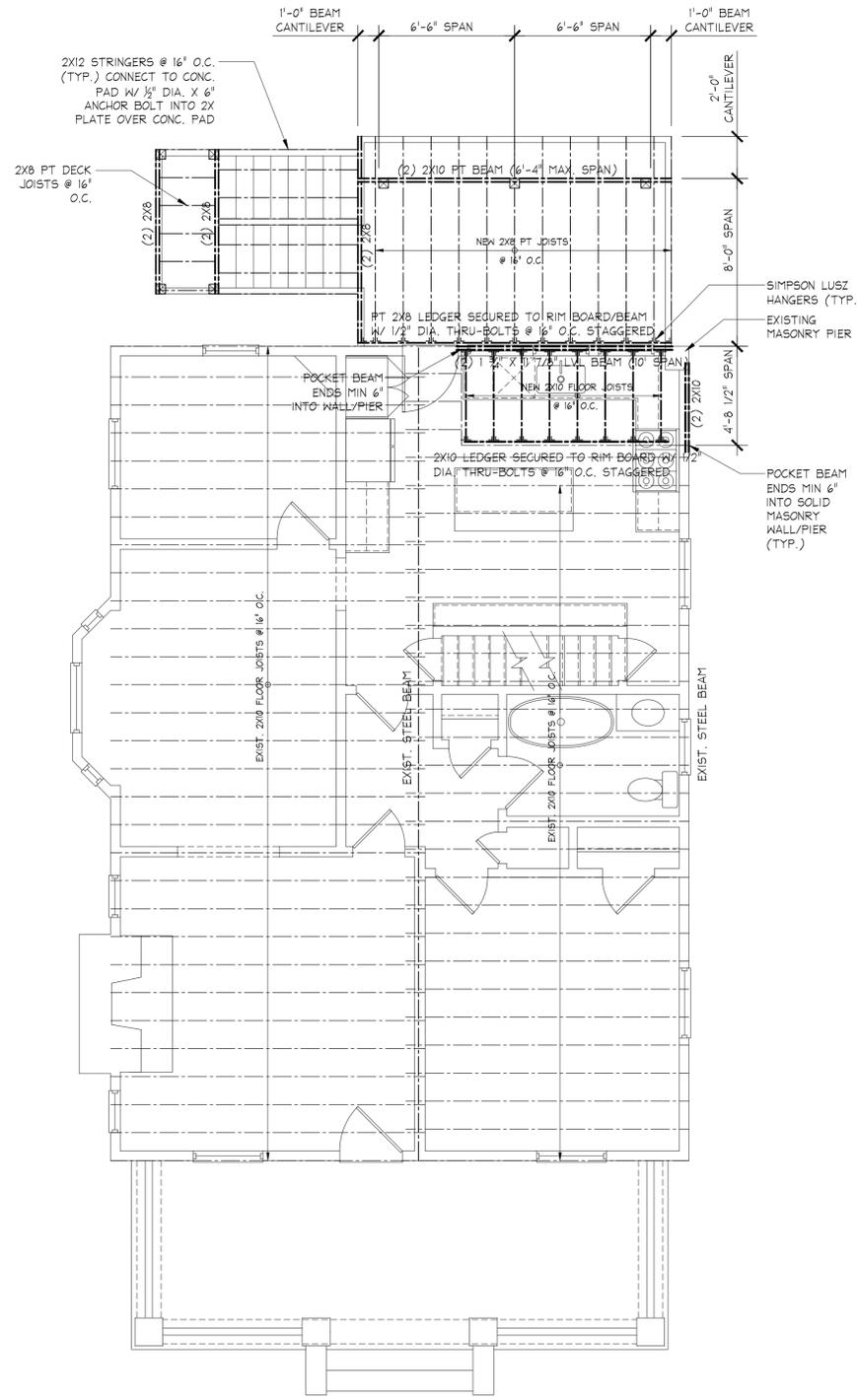
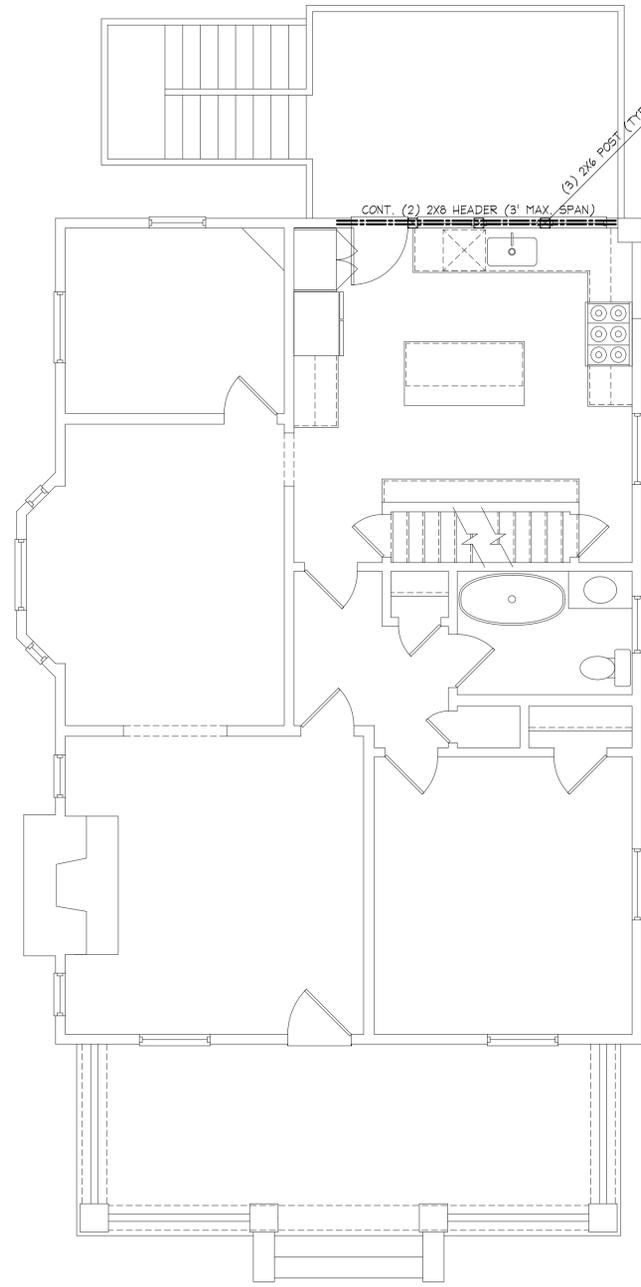
PROJECT NUMBER: 24002

PRINTING LOG

DATE	PURPOSE
03.06.24	PERMIT SET

STRUCTURAL PLANS

S1



3 SECOND FLOOR FRAMING PLAN
SI 1/4" = 1'-0"

2 FIRST FLOOR FRAMING PLAN
SI 1/4" = 1'-0"

1 FOUNDATION PLAN
SI 1/4" = 1'-0"

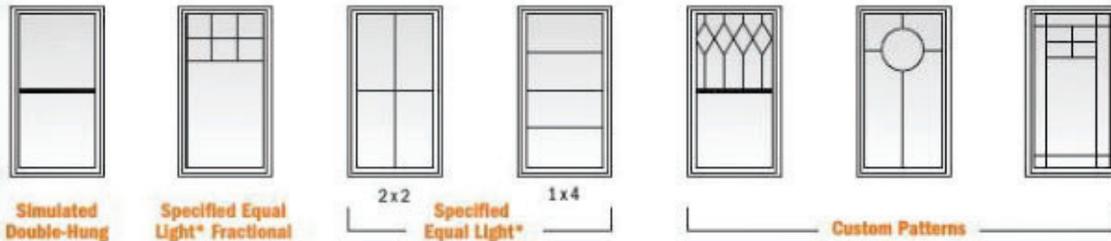
GRILLE OPTIONS

With Andersen, you'll find grille patterns, widths and configurations to fit a... or the taste of any homeowner. If you're replacing windows and doors, w... any existing grille. We'll even work with you and your customers to creat...

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 Montgomery County
 Historic Preservation Commission



Note: Some grille patterns not available in all configurations and products.



Our 2 1/4-inch-wide grille can make a casement window look like a double-hung.

Contact your Andersen supplier for your custom needs.

To see all of the standard patterns available for a specific window or door, refer to the detailed sections in this book for each product or contact your Andersen supplier.

GRILLE CONFIGURATIONS

Full Divided Light

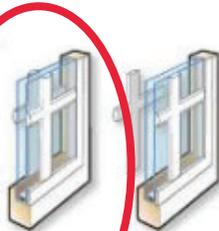
For an authentic look, full divided light grilles are permanently applied to the interior and exterior of the window with a spacer between the glass.



Permanent Exterior
 Permanent Interior
 with Spacer

Simulated Divided Light

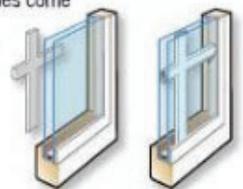
Simulated divided light offers permanent grilles on the exterior and interior with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles in natural wood or prefinished white.



Permanent Exterior
 Permanent Interior
 Permanent Exterior
 Removable Interior

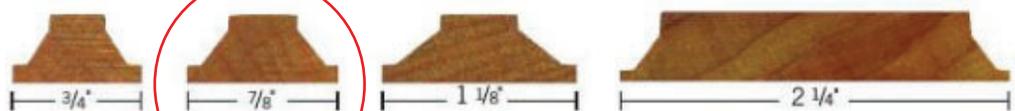
Convenient Cleaning Options

Removable interior grilles come off for easy cleaning. Andersen® Finelight™ grilles are installed between the glass panes and feature a contoured 1" or 3/4" profile.



Removable
 Interior Grille
 Finelight™ Grilles-
 Between-the-Glass

Grille Widths (actual size shown)



*Specify number of same-size rectangles across or down. 11

OPTIONS & ACCESSORIES





REVIEWED
By Chris Berger at 3:42 pm, Mar 18, 2024

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By Chris Berger at 3:42 pm, Mar 18, 2024

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Robert A. Jones



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