



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: March 12, 2024

MEMORANDUM

TO: Rabbiah Sabbakhan, DPS Director Department of
Permitting Services

FROM: Chris Berger
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1059899 - Deck

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** by the HPC staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Alexander Adams
Address: 10108 Meadowneck Court, Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Chris Berger at 301-495-4571 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: 1059899 at: 10108 Meadowneck Court, Silver Spring

submitted on: 2/21/2024

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

X Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by Christopher J. Berger on 3/12/2024. The approval memo and stamped drawings follow.



FOR STAFF ONLY:
HAWP# 1059899
DATE ASSIGNED

APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

ALEXANDER ADAMS
Name:
Address: 10108 MEADOWNECK CT
Daytime Phone: 301-603-1080

ANAPERMITS@GMAIL.COM
E-mail:
City: SILVER SPRING Zip: 20910
Tax Account No.:

AGENT/CONTACT (if applicable):

MICHELLE CLANCY - GREEN FUTURE
Name:
Address: PO BOX 310
Daytime Phone: 4436107514

MICHELLE@APPLIEDANDAPPROVED.COM
E-mail:
City: LISBON Zip: 21765
Contractor Registration No.: HP53

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property CAPITOL VIEW PARK

Is the Property Located within an Historic District? X Yes/Dis No/Ind

Is there an Historic Preservation/Land Trust/Environmental E map of the property and documentation from the Easement

REVIEWED
By Chris Berger at 9:51 am, Mar 12, 2024

Are other Planning and/or Hearing Examiner Approvals /Revi (Conditional Use, Variance, Record Plat, etc.?) If YES, include supplemental information.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

Building Number: 10108 Street: MEADOWNECK
Town/City: SILVER SPRING Nearest Cross Street: CAPITOL VIEW PARK
Lot: 29 Block: 1 Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction [checked] Deck/Porch
Addition [] Fence
Demolition [] Hardscape/Landscape
Grading/Excavation [] Roof
Shed/Garage/Accessory Structure []
Solar []
Tree removal/planting []
Window/Door []
Other: []

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date 2/21/24

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Alexander & Stephanie Adams 10108 MEADOWNECK CT SILVER SPRING MD 20910	Michelle Clancy PO BOX 310 LISBON MD 201765
Adjacent and confronting Property Owners mailing addresses	
KEVIN & MELISSA COBB 10104 MEADOWNECK CT SILVER SPRING 20910-1069	STUART & KATHLEEN HUNT 10112 MEADOWNECK CT SILVER SPRING MD 20910-1069
AUSTIN & DANNIELLE HAWK 10128 MEADOWNECK CT SILVER SPRING MD 20910	MARCEL SCHMIDT & LUCIANA LAGUINGE 10124 MEADOWNECK CT SILVER SPRING MD 20910
BARNWELL ROBERT J JR & LEZLIE S LAWSON 10120 MEADOWNECK CT SILVER SPRING MD 20910	

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Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

SFD IN HEAVLY WOODED RESIDENTIAL NEIGHBORHOOD

Description of Work Proposed: Please give an overview of the work to be undertaken:

REMOVE EXISTING WOOD DECK AND REPLACE WITH 24'X12' WOOD DECK WITH STEPS.

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APPROVED

Montgomery County

Historic Preservation Commission




Robert A. Patton

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

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Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/Door Changes	*	*	*	*	*		*
Masonry Repair/Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

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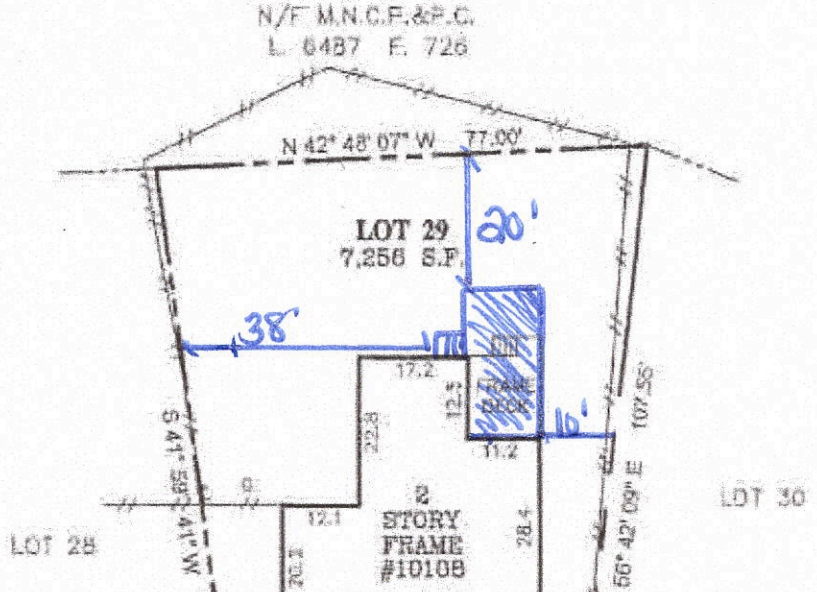
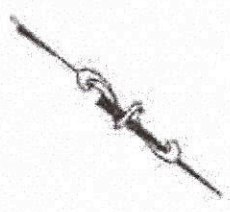


agent in connection with contemplated transfer, financing or re-financing.

2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.

Notes:

1. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1 foot.
2. Fences have been located by approximate methods.



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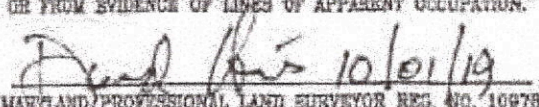
Robert A. ...



MEADOWNECK COURT
(R/W VARIES)

SPH AA

LOCATION DRAWING
LOT 29, BLOCK 1
CAPITOL VIEW PARK
MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE		REFERENCES		SNIDER & ASSOCIATES LAND SURVEYORS	
"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."		PLAT BK. 121 PLAT NO. 14192		19544 Amaranth Drive Germantown, Maryland 20874 301/948-6100 Fax 301/948-1288 WWW.SNIDERSURVEYS.COM	
 MARYLAND PROFESSIONAL LAND SURVEYOR REG. NO. 10978 Expires: 07-28-2020	LIBER	DATE OF LOCATIONS	SCALE:	1" = 30'	
	FOLIO	WALL CHECK:	DRAWN BY:	K.W.L.	
		HSE. LOC.:	9-30-19	JOB NO.:	19-0373E

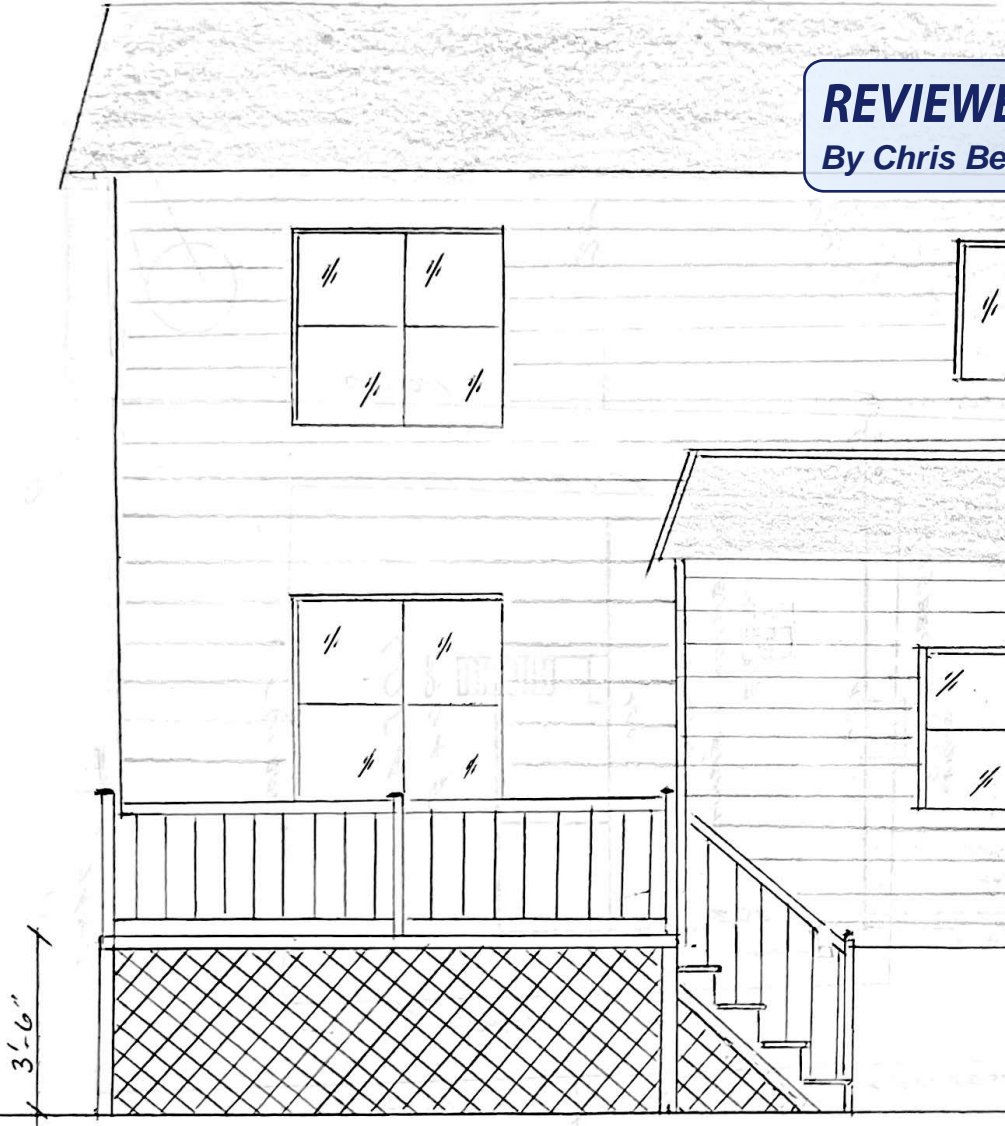
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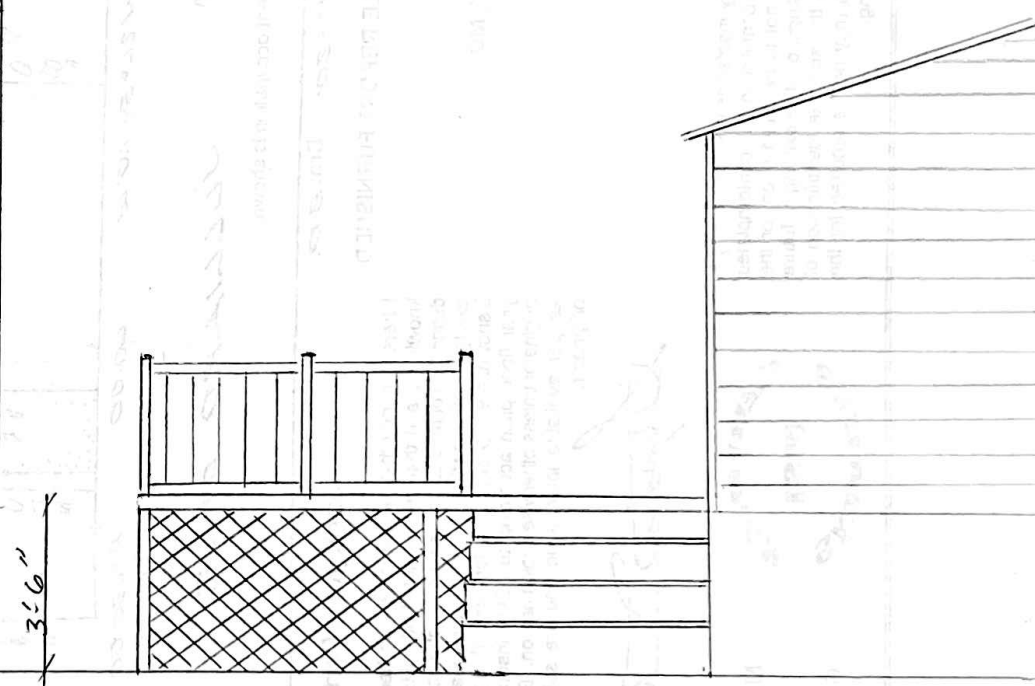
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REAR ELEVATION

(scale '4"=1'0")



RIGHT ELEVATION

(scale '4"=1'0")

LEFT ELEVATION

(Scale 1/4" = 1'-0")

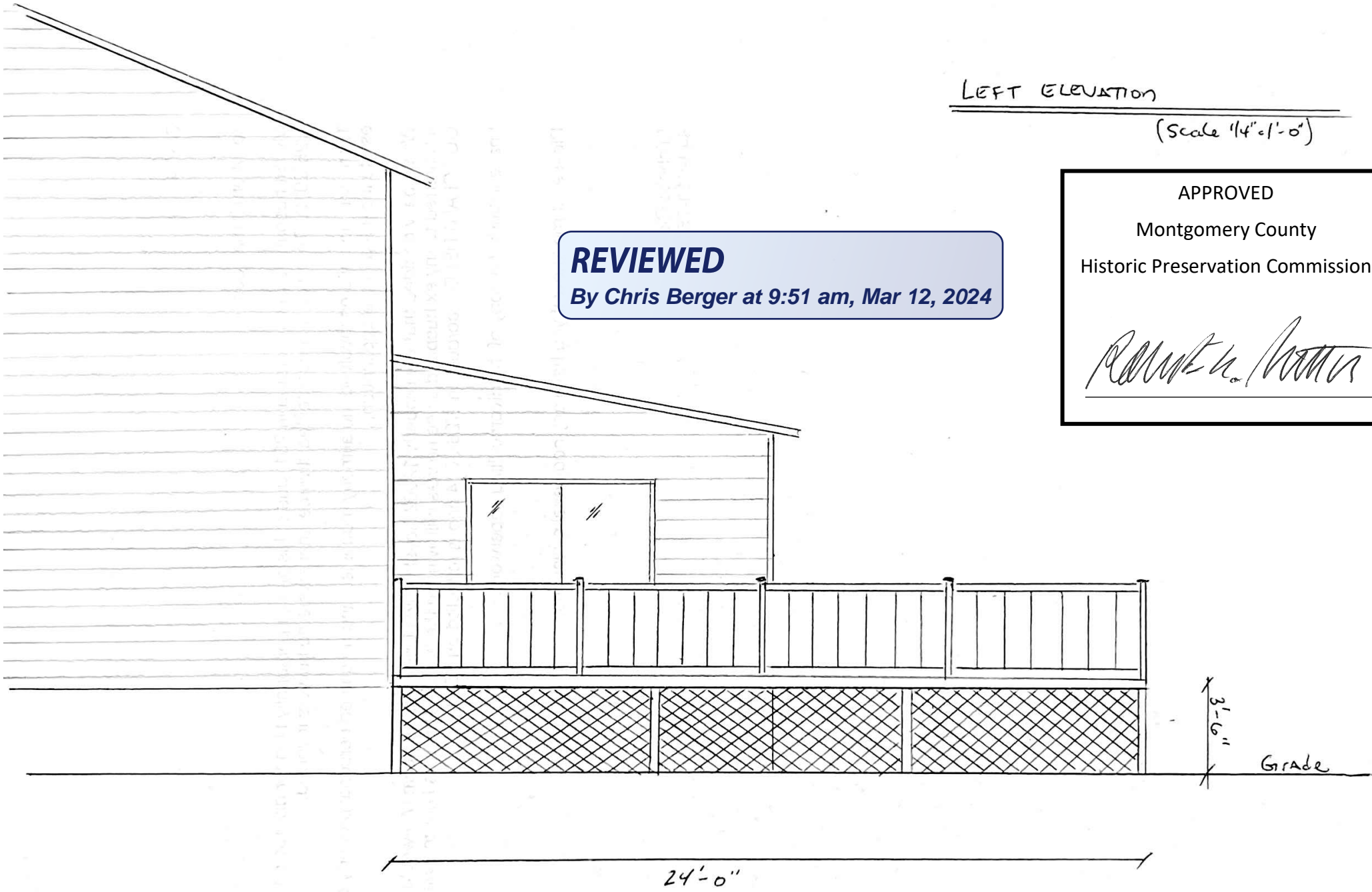
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Ronald A. Norton



REVIEWED

By Chris Berger at 9:51 am, Mar 12, 2024

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Ronald H. [Signature]