



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert Sutton  
*Chairman*

Date: June 26, 2024

### MEMORANDUM

TO: Rabbiah Sabbakhan  
Department of Permitting Services

FROM: Chris Berger  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1073431 - Deck Alteration and Expansion

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with two conditions** at the June 26, 2024, HPC meeting:

1. Applicant must revise the plans to show the existing railing will be replaced as was stated by the agent in the June 12, 2024, email included as Attachment A to the staff report.
2. Applicant must provide a specification for the composite decking and railing.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Sarah Brookshier  
Address: 7515 Carroll Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Chris Berger at 301-495-4571 or [chris.berger@montgomeryplanning.org](mailto:chris.berger@montgomeryplanning.org) to schedule a follow-up site visit.





APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

REVIEWED

By Chris Berger at 7:26 pm, Jun 27, 2024

LOCATION OF BUILDING/P

Is the Property Located within a...
Is there an Historic Preservation...
map of the easement, and docu...
Are other Planning and/or Hear...
(Conditional Use, Variance, Rec...
supplemental information.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

Name
Site Name
ent on the Property? If YES, include a
er supporting this application.
quired as part of this Application?
ation on these reviews as

Building Number:
Town/City:
Nearest Cross Street:
Lot:
Block:
Subdivision:
Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction
Addition
Demolition
Grading/Excavation
Deck/Porch
Fence
Hardscape/Landscape
Roof
Shed/Garage/Accessory Structure
Solar
Tree removal/planting
Window/Door
Other:

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]

Signature of owner or authorized agent

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

**Owner's Agent's mailing address**

**Adjacent and confronting Property Owners mailing addresses**

**REVIEWED**

*By Chris Berger at 7:26 pm, Jun 27, 2024*

APPROVED

Montgomery County

Historic Preservation Commission



*Robert G. Patton*

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

**REVIEWED**

*By Chris Berger at 7:26 pm, Jun 27, 2024*

APPROVED

Montgomery County

Historic Preservation Commission



Robert H. Adams

Work Item 1: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

Work Item 2: \_\_\_\_\_

Description of Current Condition:

Proposed Work:


**REVIEWED**  
*By Chris Berger at 7:26 pm, Jun 27, 2024*

Work Item 3: \_\_\_\_\_

Description of Current Condition:

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Montgomery County  
Historic Preservation Commission  


**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	<b>REVIEWED</b> <i>By Chris Berger at 7:26 pm, Jun 27, 2024</i>			*	*	*
Grading/Excavation/Landscaping	*					*	*
Tree Removal	*	<b>APPROVED</b> Montgomery County Historic Preservation Commission   <hr/>			*	*	*
Siding/ Roof Changes	*				*	*	
Window/ Door Changes	*				*	*	
Masonry Repair/ Repoint	*				*	*	
Signs	*				*	*	

**From:** [Michael Lucy](#)  
**To:** [Berger, Chris](#)  
**Cc:** [Sarah Brookshier SLD / JSLi & JSS Client 2019-23](#); [Ashley Evans](#)  
**Subject:** Re: HAWP Permit application # 1073431 (Moco Deck Permit application # 1072077)  
**Date:** Wednesday, June 12, 2024 3:38:05 PM

**[EXTERNAL EMAIL]** Exercise caution when opening attachments, clicking links, or responding.

Hello Mr. Berger,

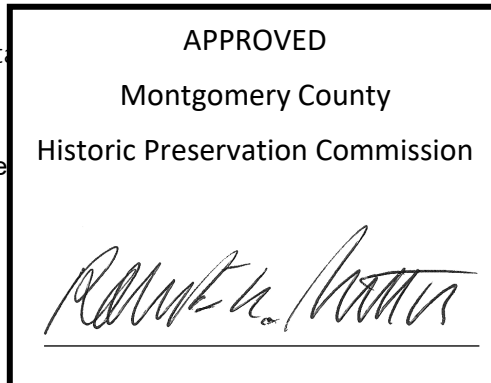
For the decking material we would now like to use a paintable composite or wood.

In response to Staff questions:

- Will the railing on the existing deck be removed or retained? Removed and replaced
- What will be the material of the new deck railing? Wood, paintable composite and stainless steel metal cable
- What will be the material of the new deck railing? Wood, paintable composite or wood
- Will railings be installed? Will meet all County Code Requirements

**REVIEWED**

By Chris Berger at 7:26 pm, Jun 27, 2024



Thanks for your assistance

is anything else you need.

Sincerely,

Michael S. Lucy  
(202) 557-5814

[www.SustainableLifeDesigns](http://www.SustainableLifeDesigns)

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Thanks

On Mon, Jun 10, 2024 at 12:52 PM Berger, Chris <[Chris.Berger@montgomeryplanning.org](mailto:Chris.Berger@montgomeryplanning.org)> wrote:

Hello,

Your Historic Area Work Permit application for the deck expansion project is tentatively scheduled for review at the June 26 Historic Preservation Commission meeting.

Staff has the following questions:

- Will the railing on the existing deck be removed or retained?
- What will be the material of the new deck railing?
- What will be the material of the proposed stair treads and risers?
- Will railings be installed to either side of the stairs?

Staff has the following comments:

- The Historic Preservation Commission has not approved non-paintable composite decking and railing such as Timbertech for contributing properties in the Takoma Park Historic District. If you would like to proceed with Timbertech, staff will recommend in the staff report denial of that material and installation instead of either wood decking and railings or a paintable composite such as Aeratis or Acre.
- If you change all the deck materials to wood, staff can approve administratively and the work would not require Historic Preservation Commission review.

Please respond to this email by Thursday, June 13.

**Chris Berger, AICP**

Cultural Resources Planner III

Montgomery County Planning Department

2425 Reedie Drive, 13<sup>th</sup> Floor, Wheaton, MD 20902

[Chris.Berger@montgomeryplanning.org](mailto:Chris.Berger@montgomeryplanning.org)

Office: 301-495-4571

**REVIEWED**

*By Chris Berger at 7:26 pm, Jun 27, 2024*

APPROVED

Montgomery County

Historic Preservation Commission



**From:** Michael Lucy <[michael@sustainablelifedesigns.com](mailto:michael@sustainablelifedesigns.com)>

**Sent:** Wednesday, June 5, 2024 4:46 PM

**To:** HAWP <[HAWP@montgomeryplanning.org](mailto:HAWP@montgomeryplanning.org)>; Berger, Chris <[Chris.Berger@montgomeryplanning.org](mailto:Chris.Berger@montgomeryplanning.org)>

**Cc:** Sarah Brookshier SLD / JSLi & JSS Client 2019-23 <[sbrooksh@gmail.com](mailto:sbrooksh@gmail.com)>

**Subject:** HAWP Permit application # 1073431 (Moco Deck Permit application # 1072077)



**[EXTERNAL EMAIL]** Exercise caution when opening attachments, clicking links, or responding.

Thanks for the opportunity to submit our HAWP Supporting Documentation,

Please let me know if there is anything else you need from us.

Sincerely,

Michael S. Lucy

(202) 557-5814

[www.SustainableLifeDesigns](http://www.SustainableLifeDesigns)

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**REVIEWED**

**By Chris Berger at 7:26 pm, Jun 27, 2024**

Thanks

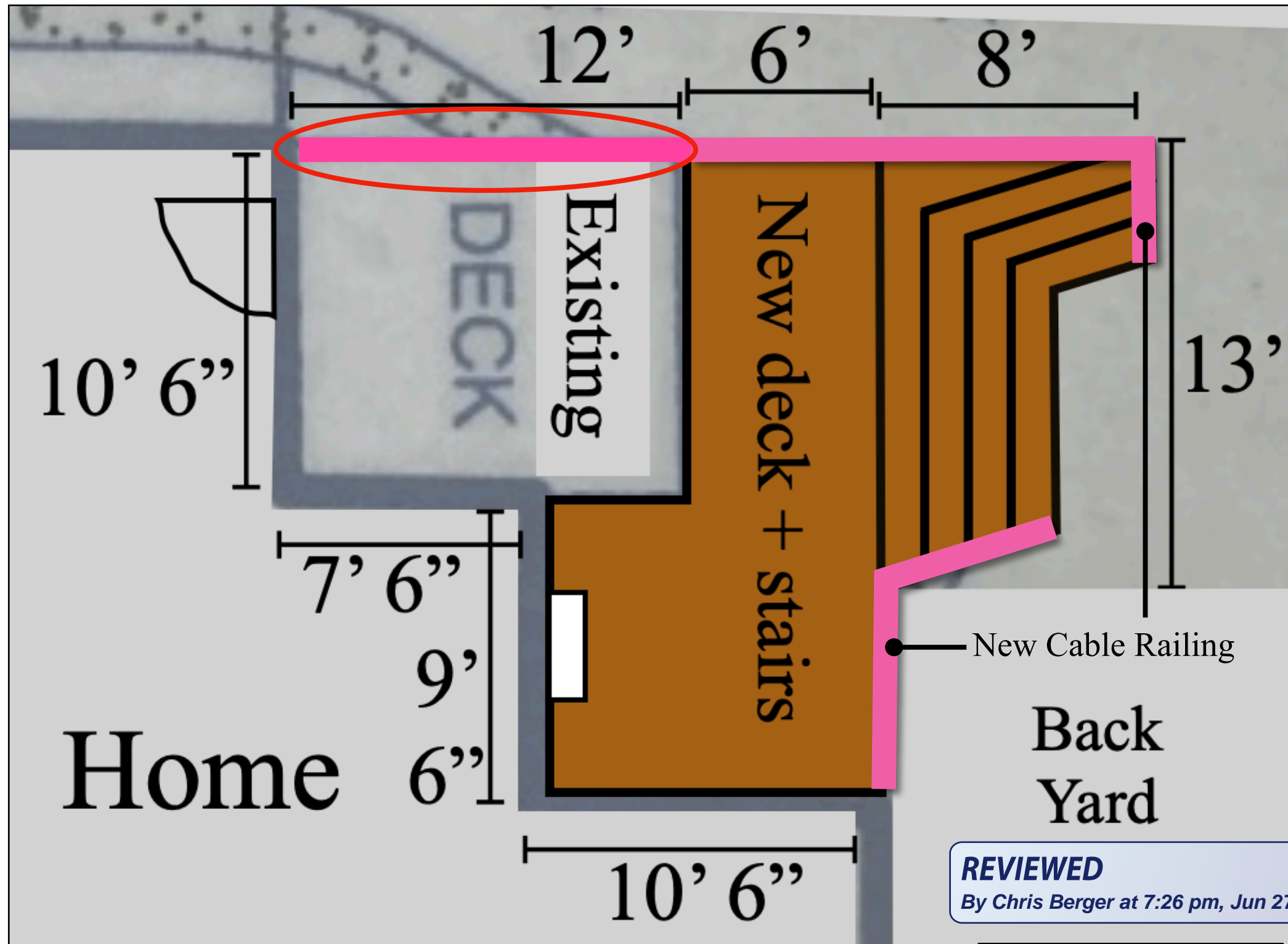
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Montgomery County

Historic Preservation Commission



Robert A. Patton



- Back Deck is NOT visible from public ROW. It sits approximately 75' from, and 15' above, the two nearest sidewalks on Carroll Ave.
- Proposing to expand deck from existing size of 120sf to 300sf as shown on left.
- Existing decking and railing to be removed.
- New decking material to be **Aeratis** paintable composite lumber.
- Railing to be made of wood posts, stainless steel cable, **Aeratis** drink rail with wooden hand rails at stairs.

**REVIEWED**  
By Chris Berger at 7:26 pm, Jun 27, 2024

**New code compliant rail to be installed along ALL edges of deck**

**Evans + Brookshier Residence**  
7515 Carroll Ave  
Takoma Park, MD 20902

**Deck + Railing Plan**  
Revised 6/20/24

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*

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**L 3.3**

# Decking

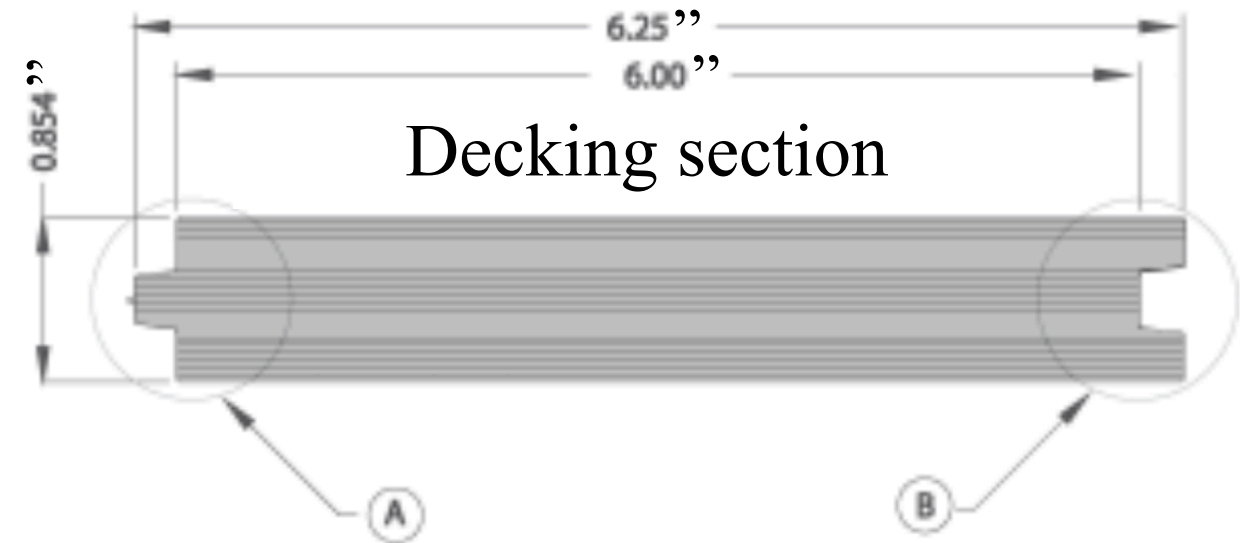
Aeratis Legacy is a 6" wide T&G porch plank. This board was engineered to match the wider planks used on many porches in the early

1800's. The wider plank not only cuts the installation time in half, it provides a richness and beauty that could only be found on historic homes crafted before the 1900's. The Aeratis Legacy product comes in 3 colors: Battleship Gray, Weathered Wood and Vintage Slate. The actual dimensions of the board are 6" wide, 7/8" thick and comes in 12', 16' and 20' lengths.



When considering the overall value and aesthetics of a porch, many property owners consider using a radius edge deck board in a porch application. This can cause a few issues on top of the fact that, aesthetically, a deck board with gaps should never be used in a porch application. One of the issues with there being gaps between the boards is it allows moisture to pass in-between the boards. This can lead to moisture problems underneath the entire structure. In addition, the lack of ventilation underneath a porch and direct sun on the surface can cause many deck boards to swell and buckle.

All too often property owners look at the cost per square foot of a deck board and compare it to a 3-1/8" wide tongue and groove board and they choose to use the deck board due to cost savings. With the introduction of the Aeratis Legacy product, and it's built in hidden fastener system property owners can receive the cost savings from installation as well as a more competitive cost per square foot. Couple these two items with the known performance characteristics and Aeratis Legacy becomes the clear choice when considering which product to use on exterior living space.



**REVIEWED**

By Chris Berger at 7:26 pm, Jun 27, 2024

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 Historic Preservation Commission

**Brookshier Residence**  
 7515 Carroll Ave  
 Takoma Park, MD 20902

**Decking Materials**  
 6/20/24

Sustainable LIFE DESIGNS  
 Conceptual Designs  
 Not for construction

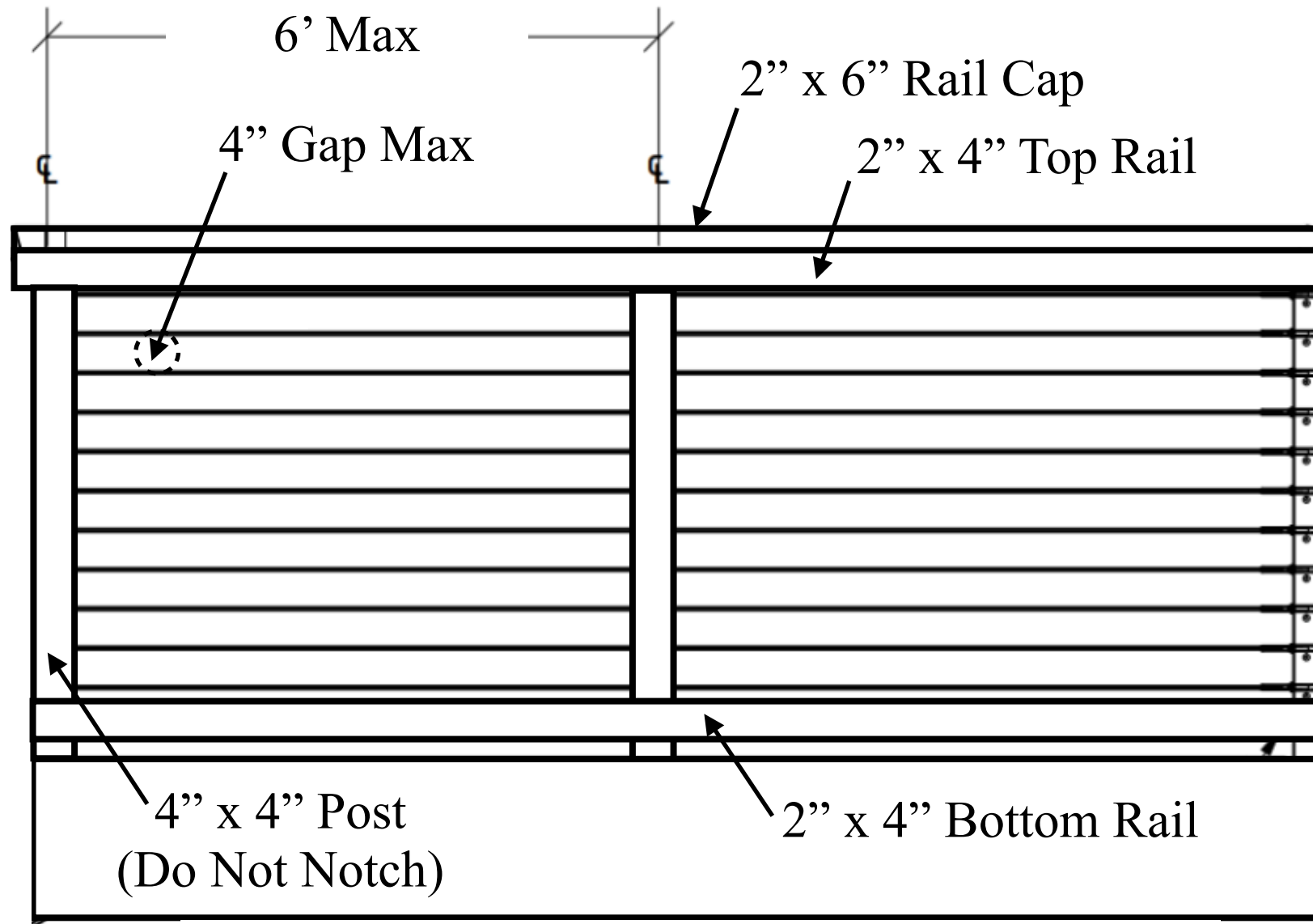
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**L 3.6**

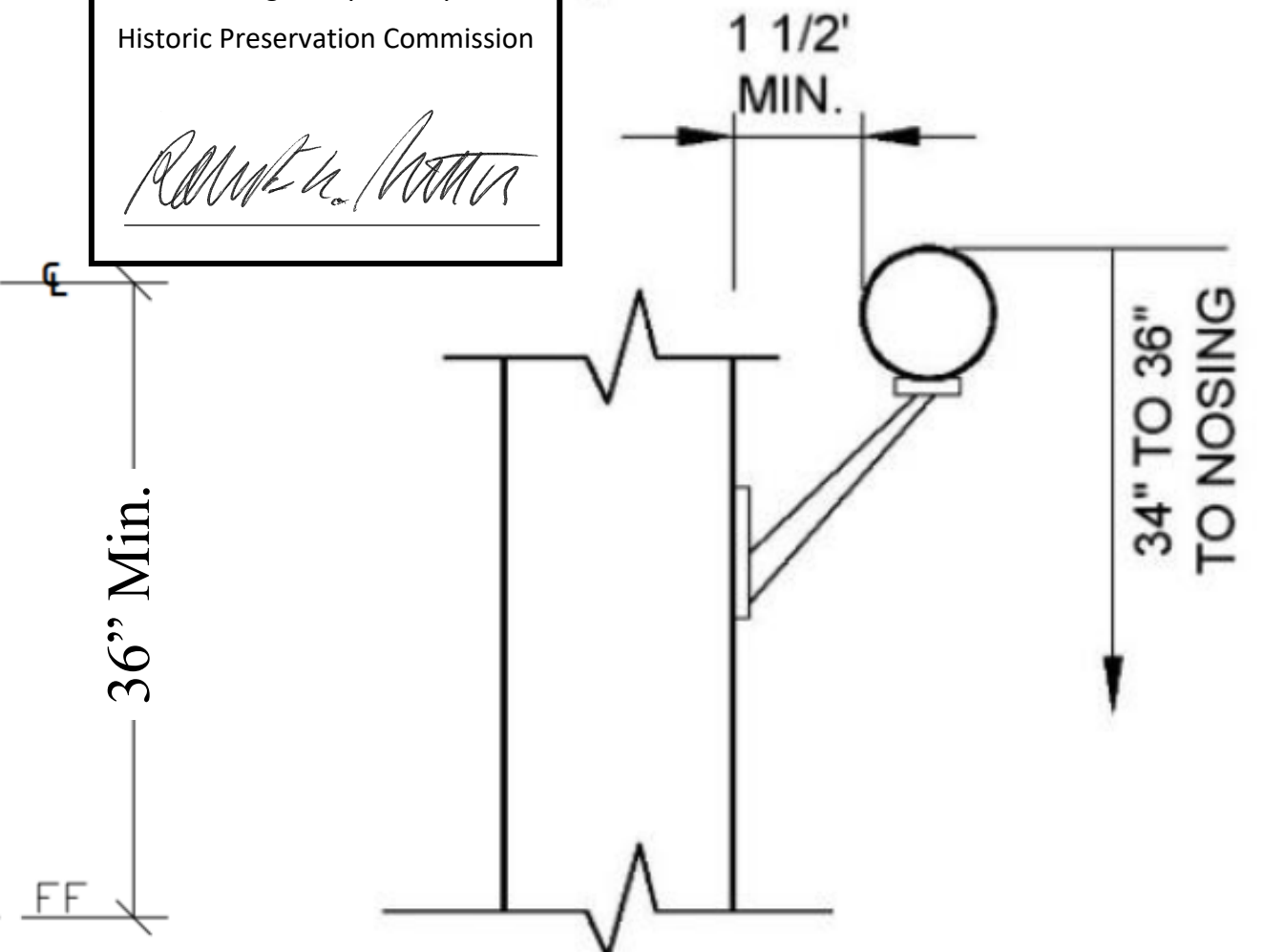
**REVIEWED**

By Chris Berger at 7:26 pm, Jun 27, 2024

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Montgomery County  
Historic Preservation Commission  
*[Signature]*



**Cable Railing Details (NTS)**



**Hand Rail Detail (NTS)**

**Brookshier Residence**  
7515 Carroll Ave  
Takoma Park, MD 20902

**Railing Details**  
6/20/24

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**L 3.7**



LOCATION DRAWING OF:  
**#7515 CARROLL AVENUE**  
**LOT 34 BLOCK 37**  
**GILBERT'S ADDITION TO**  
**TAKOMA PARK**  
**PLAT NUMBER 275**  
 MONTGOMERY COUNTY, MARYLAND  
 SCALE: 1"=30' DATE: 07-18-2019  
 DRAWN BY: JCW FILE #: 195846 - 667

**SURVEYOR'S CERTIFICATE**

I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF SURVEY WORK REFLECTED HEREIN AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS OF REGULATION 12 CHAPTER 09 13.06 OF THE CODE OF MARYLAND ANNOTATED REGULATION TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDING OR PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARIES OR IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar as it is required by ALL COMPANIES OR ITS AGENTS IN CONNECTION WITH THE CONTINGENT TRANSFER OF COMPANY SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. RESTRICTIONS AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN IF IT APPEARS ENCROACHMENTS MAY EXIST, A BOUNDARY SURVEY IS RECOMMENDED.

LICENSE EXPIRATION DATE: 12-31-2019

**LEGEND:**

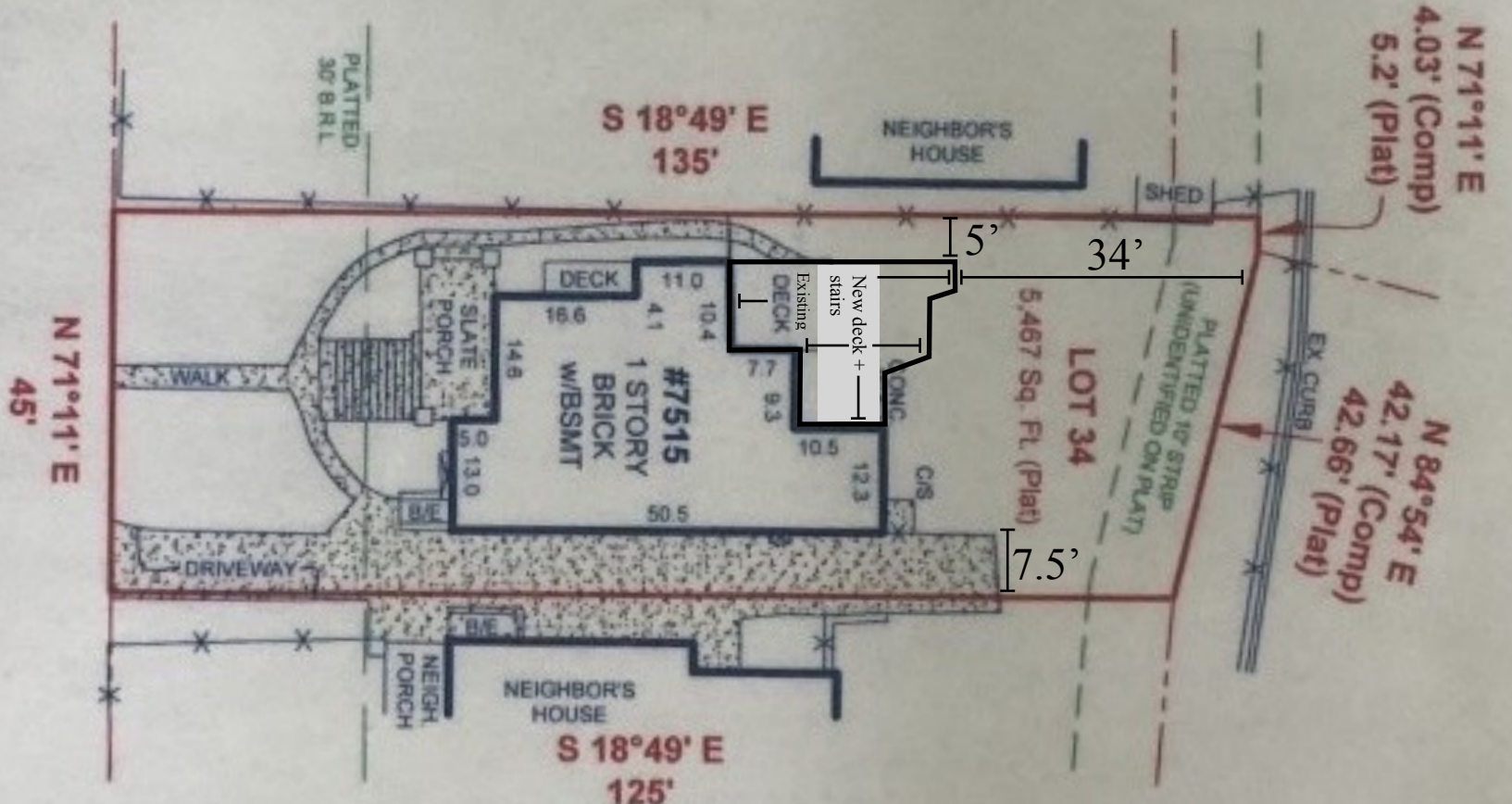
- \* - FENCE
- B/E - BASEMENT ENTRANCE
- B/W - BAY WINDOW
- BR - BRICK
- BR/L - BRICK RESTRICTION LINE
- BSMT - BASEMENT
- C/S - CONCRETE STOOP
- CONC - CONCRETE
- D/W - DRIVEWAY
- FR - FRAME
- FR - FRAMING
- M/C - MASONRY
- OH - OVERHAND
- PUE - PUBLIC UTILITY EASMT.

**COLOR KEY:**

- (RED) - RECORD INFORMATION
- (BLUE) - IMPROVEMENTS
- (GREEN) - EASEMENTS & RESTRICTION LINES

**DULEY and Associates, Inc.**  
 A Land Surveying Company  
 MD 20772  
 410-888-1114  
 www.duley.biz

Montgomery County Department of Permitting Services  
 Section 4.4.9 Residential 60 Zone (R-60)  
 Lot recorded in 1924 Width is 45' Minimum side setback = 5ft



**REVIEWED**  
 By Chris Berger at 7:26 pm, Jun 27, 2024

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Robert H. ...*

Proposing to expand deck from existing size of 120sf to 300sf as shown above

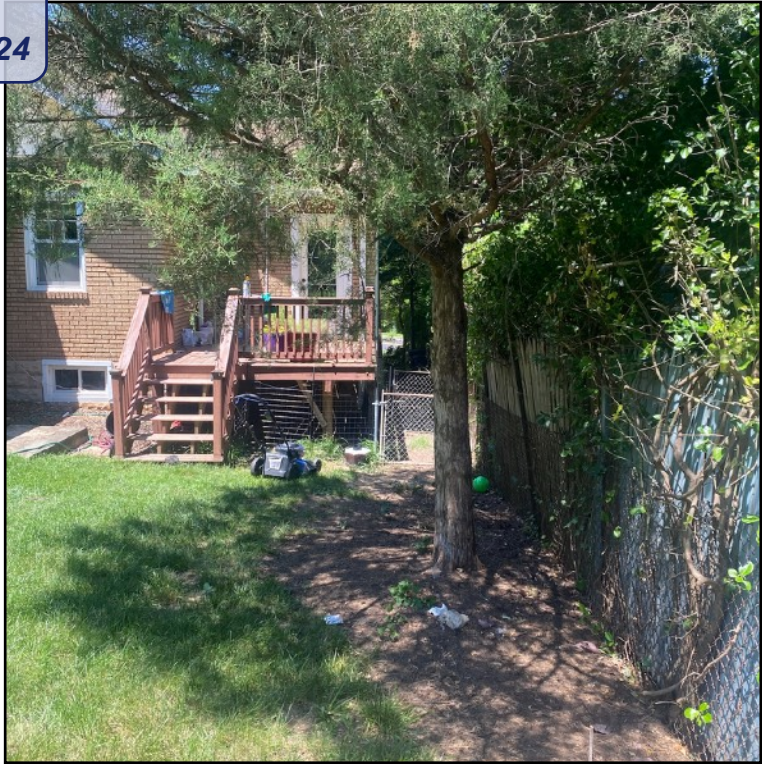
Site Plan  
 5/31/24



PLAT No. 275  
**L 3.2**

**REVIEWED**  
By Chris Berger at 7:26 pm, Jun 27, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert H. Adams*



**Brookshier Residence**  
7515 Carroll Ave  
Takoma Park, MD 20902

**Pictures of Existing Deck**  
6/5/24

  
Conceptual Designs  
Not for construction

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**L 3.3**

**Tree Protection Measures**

1. Analyze existing roots + soils
2. Install protective fencing (hand tools only - no equipment)
3. Add 6" wood mulch in critical root zone (CRZ)
4. Store all materials outside of CRZ
5. Locate footers away from large roots
6. Root prune at footer locations

See details for additional information

**Heritage Tree Calculations**

1. Trunk diameter = 10.5"
2. Critical Root Zone (@ 0.5') = 5.5'  
(@ 1.5') = 15.76'

Neighbors

Existing Heritage 10.5" dbh Eastern Red Cedar Tree to be protected

Snow fence

Remove concrete + add sod

Approx. 5% of lower limbs were pruned before we realized this is a Heritage tree.

Move some sod to top and side yard, grade and reset sod or leave as mulch.

Minimize impact to the roots of tree by taking only grass roots.

Transplant iris, dig edging, bring new soil + use exg. mulch

Home

Deck footers 2' + Stairs 1'

Root prune @ Deck + Stair footers

New Deck

Existing bed

New bed

Owner's will order Deep Root Cedar Raised Bed 3' Wide x 5 Long (14" D)  
Item#: 8609752  
<https://www.gardeners.com/buy/deep-root-cedar-raised-beds-3ft/8609752.html>

45'

Carroll Ave

**REVIEWED**

By Chris Berger at 7:26 pm, Jun 27, 2024

APPROVED

Montgomery County  
Historic Preservation Commission



Scale 1" = 10'

Watering plan: Contractor to water during construction using irrigation timer and sprinkler from existing hose bibb, slowly at rate of 10 gallons every 2-3 days. Owner's to water after construction is complete following same protocols until October.

"The design allows for flexibility in the placement of the footers by up to 12" to allow for position adjustment if sizable roots are encountered during hand digging. The foreman will oversee excavation and guarantee that major roots are not cut and footer locations are adjusted as needed. Adjustment is recommended when any root over 1" diameter is encountered and is required when any root over 2" diameter is encountered. The City of Takoma Park Urban Forest Manager will be contacted before proceeding if there is a root conflict that cannot be avoided."

**Evans + Brookshier Residence**  
7515 Carroll Ave  
Takoma Park, MD 20902

Tree Inventory + Landscaping Plan  
6/1/24



Permit Drawings  
Builder must use MoCo Deck Details

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**L 3.4**

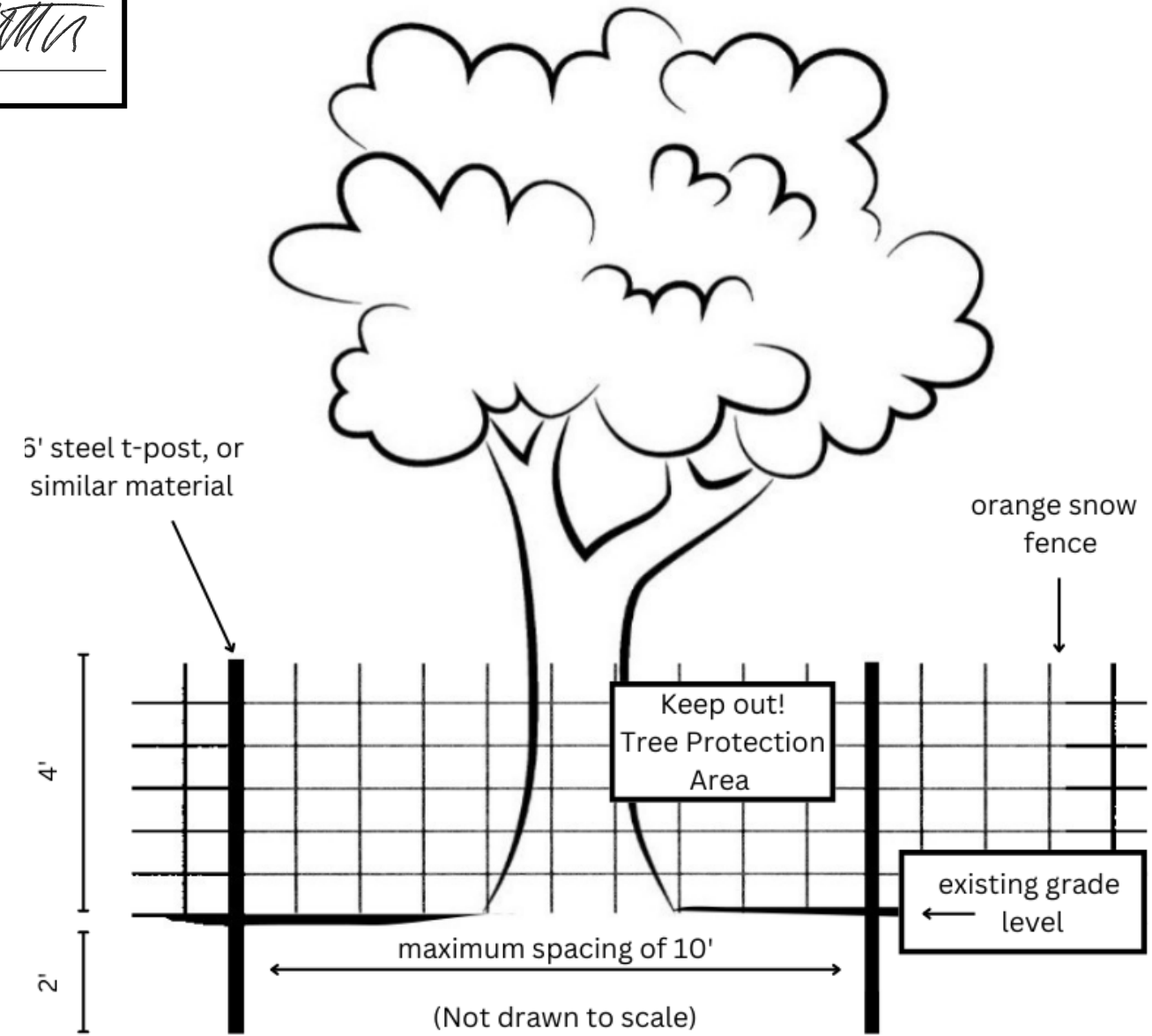
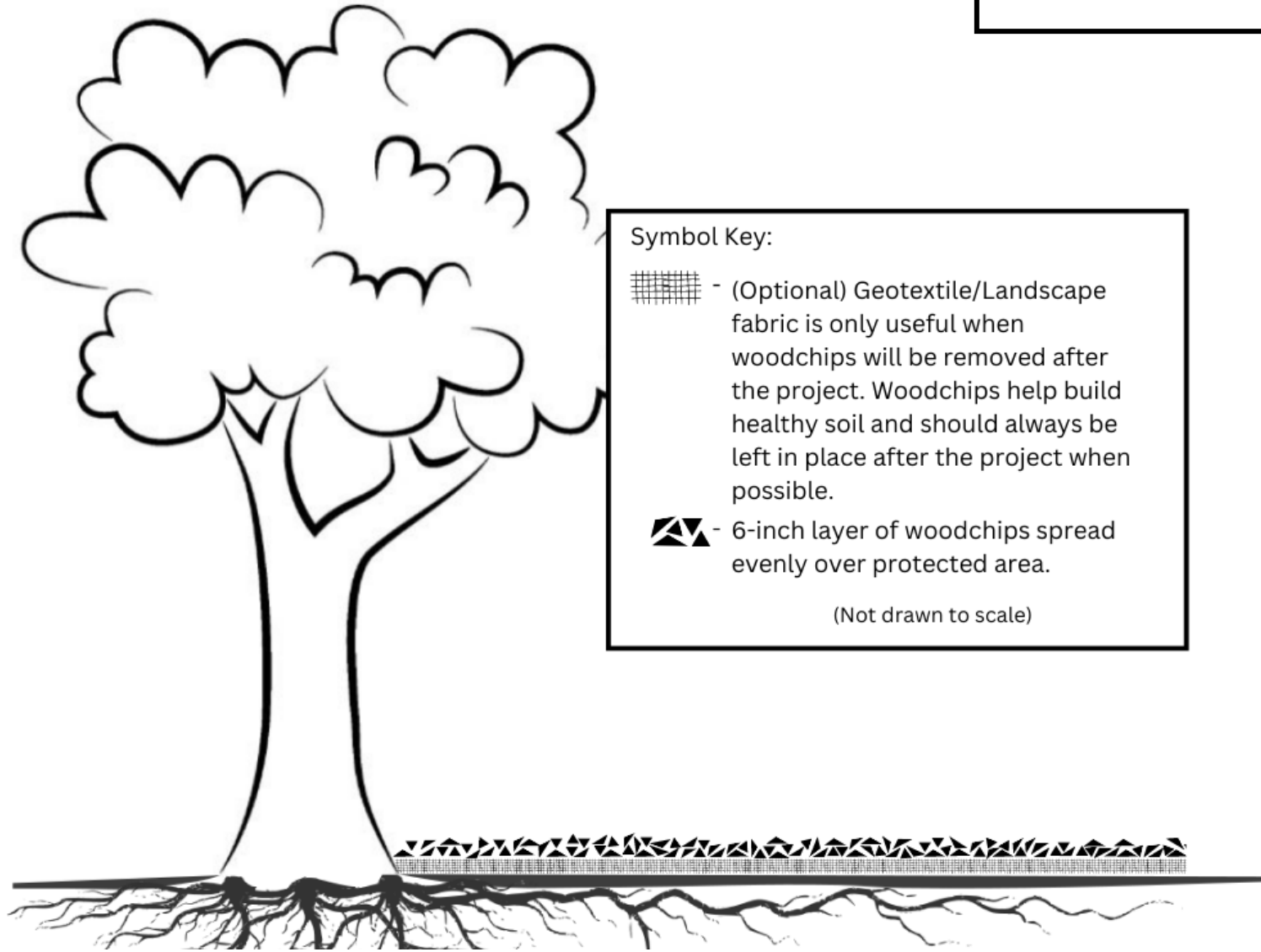
**REVIEWED**  
By Chris Berger at 7:26 pm, Jun 27, 2024

 **Root Protection Matting: Light Duty**  
Urban Forest Manager Approved Tree  
Protection Detail

APPROVED  
Montgomery County  
Historic Preservation Commission



 **Tree Protection Fence: Orange Snow Fence**  
Urban Forest Manager Approved Tree  
Protection Detail



**Evans + Brookshier Residence**  
7515 Carroll Ave  
Takoma Park, MD 20902

**Tree Protection Details**  
6/1/24

  
Permit Drawings  
Builder must use MoCo Deck Details

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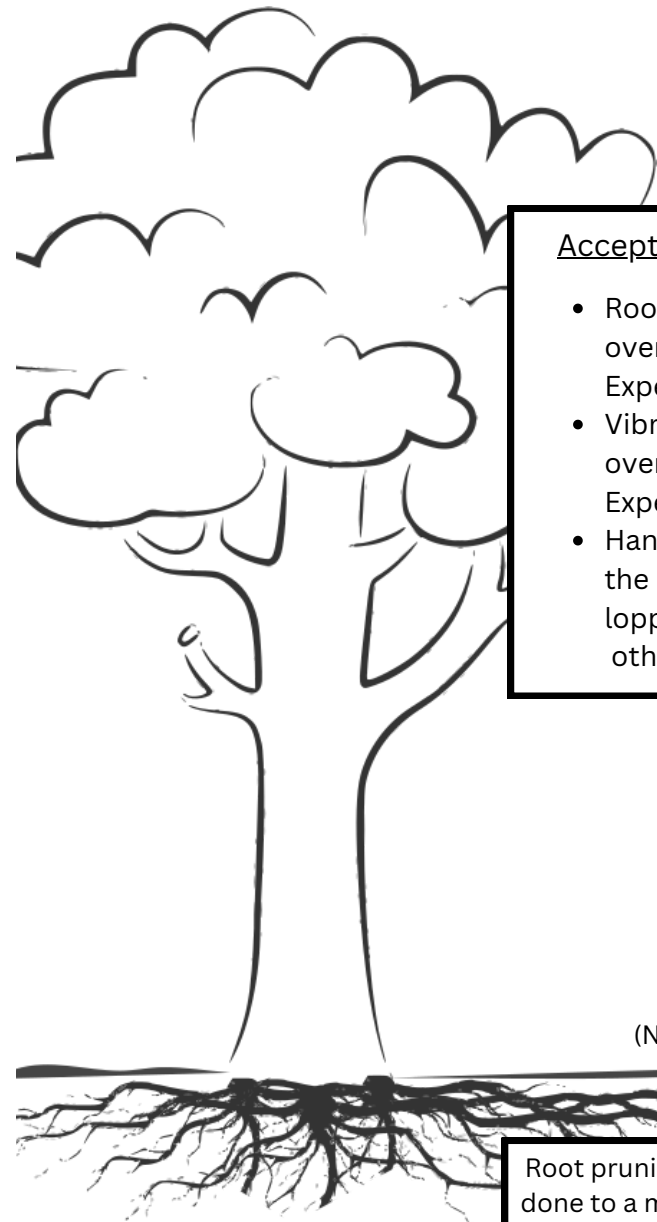
**L 3.5**





# Root Pruning

Urban Forest Manager Approved Tree Protection Detail

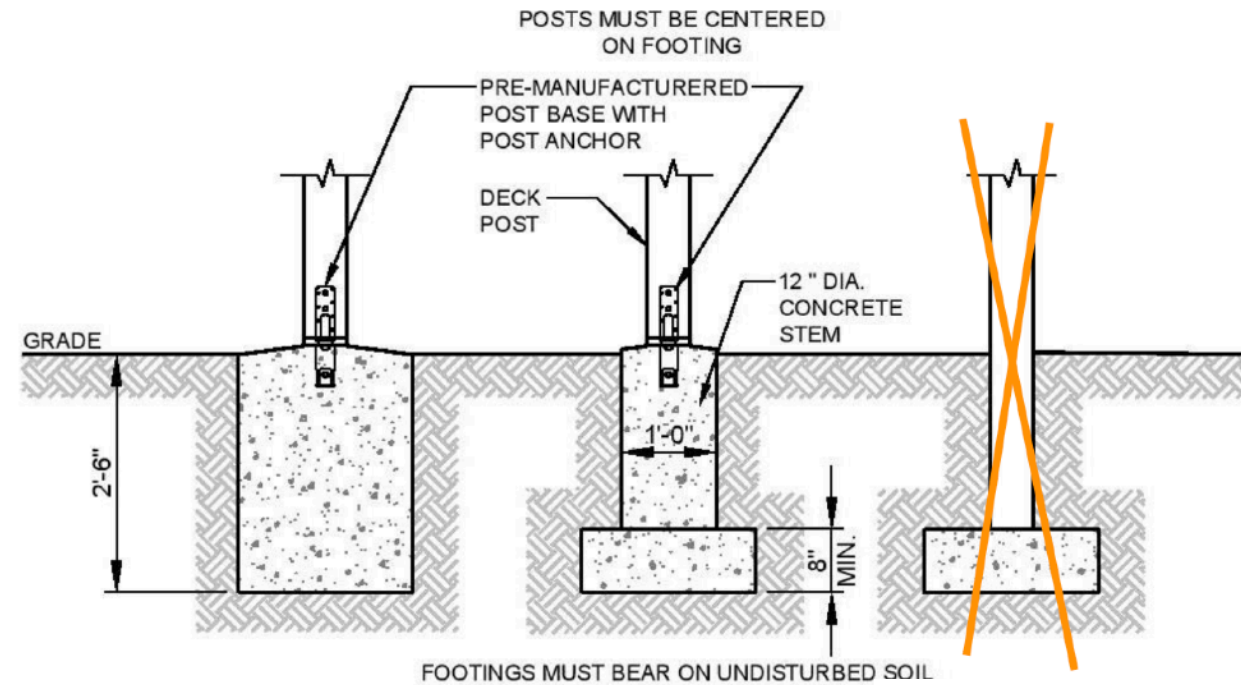


- Acceptable Methods of Root Pruning
- Root-Pruning Machine (Only with oversight of a MD Licensed Tree Expert)
  - Vibratory Plow (Only with oversight of a MD Licensed Tree Expert)
  - Hand digging and hand cutting the roots with a pruning saw, lopper, reciprocating saw, or other sharp cutting tool

The location of root pruning must be specified on the plan drawings and be at the proposed limits of excavation for the project.

Root pruning should typically be done to a minimum depth of 18". 24-36" may be required in cases where the UFM determines that roots may be growing deeper.

(Not drawn to scale)



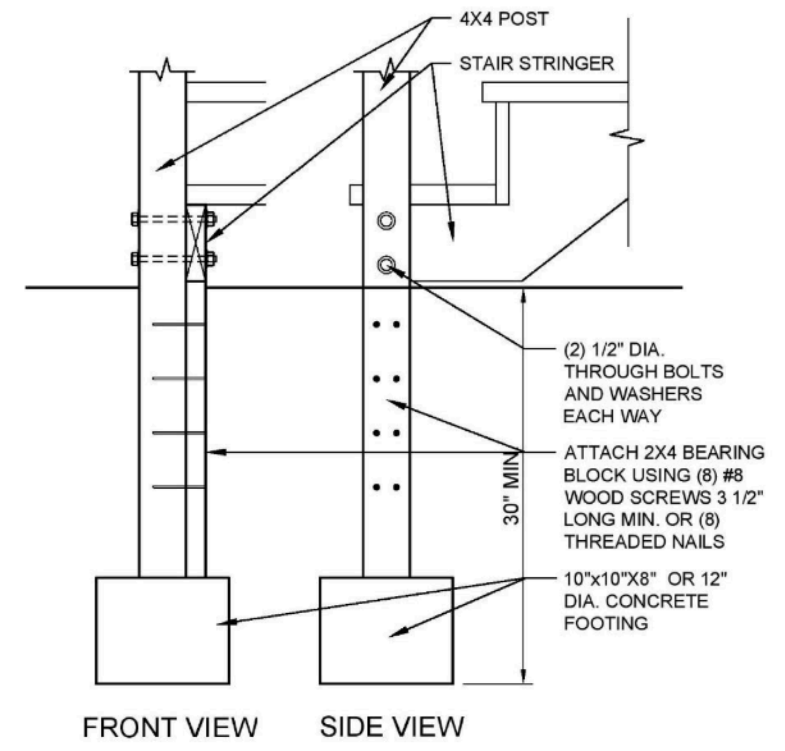
## DECK FOOTINGS

Figure 5

**REVIEWED**  
By Chris Berger at 7:26 pm, Jun 27, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission

Deck + Stair Footing details not to scale



## STAIR FOOTING DETAIL

Figure 34

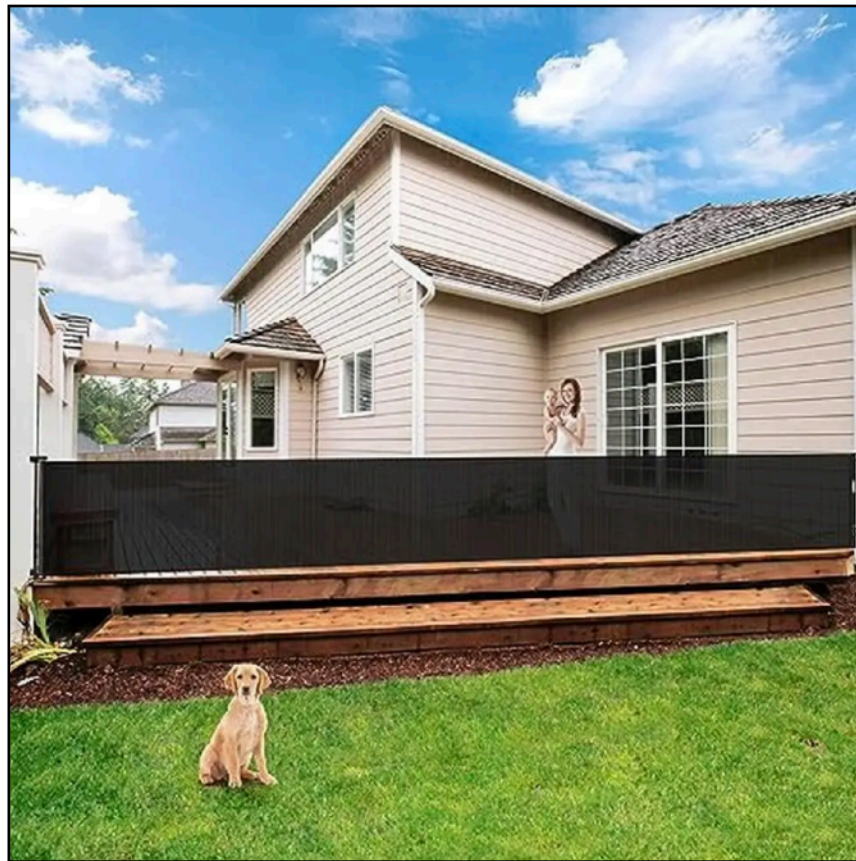
**Evans + Brookshier Residence**  
7515 Carroll Ave  
Takoma Park, MD 20902

**Tree Protection + Footer Details**  
6/1/24

Sustainable LIFE DESIGNS  
Permit Drawings  
Builder must use MoCo Deck Details

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(202) 557-5814

**L 3.6**



**Retractable Baby Gate (16' Wide + 35" tall)**

[https://www.aliexpress.us/item/3256806677605756.html?spm=a2g0o.detail.similar\\_items.1.68425fc2Bz4fWB&utp\\_aram-url=scene%3Asearch%7Cquery\\_from%3A&pdp\\_npi=4%40dis%21USD%21391.54%21144.87%21%21%212824.93%211045.22%21%402103080e17164842746643977e152c%2112000038553457238%21sea%21US%210%21](https://www.aliexpress.us/item/3256806677605756.html?spm=a2g0o.detail.similar_items.1.68425fc2Bz4fWB&utp_aram-url=scene%3Asearch%7Cquery_from%3A&pdp_npi=4%40dis%21USD%21391.54%21144.87%21%21%212824.93%211045.22%21%402103080e17164842746643977e152c%2112000038553457238%21sea%21US%210%21)



**Hinged under deck facing to allow for storage**

## ACCESSORIES Transformer

Give your customers the convenience of lighting on their schedule. Timers and photocells allow for preset hours of illumination or auto-on during low daylight hours.

PRODUCT CODE	DESCRIPTION
PT-MT1	Mechanical Timer
PT-PC1	Photocell



**REVIEWED**

By Chris Berger at 7:26 pm, Jun 27, 2024

APPROVED

Montgomery County

Historic Preservation Commission

**Brookshier Residence**  
7515 Carroll Ave  
Takoma Park, MD 20902

**Deck Details + Materials**  
5/23/24



Conceptual Designs  
Not for construction

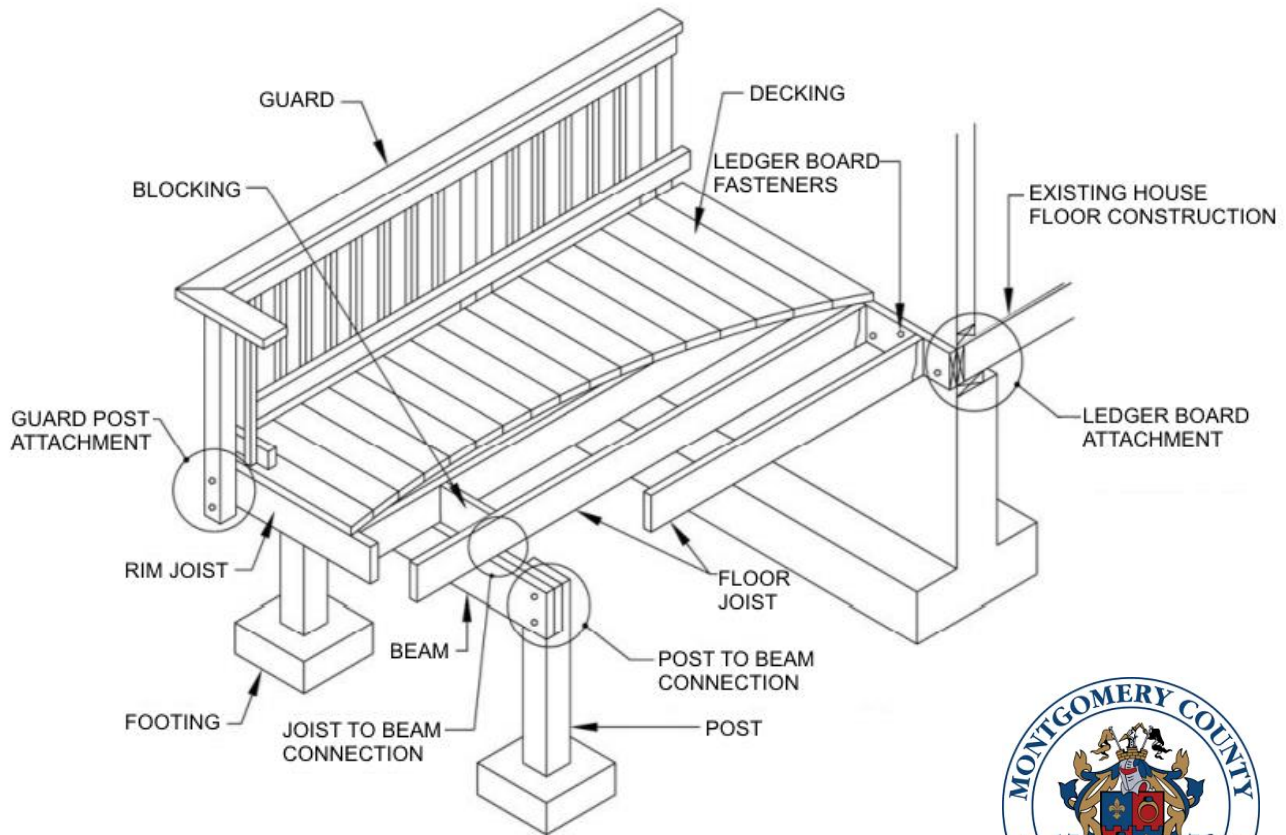
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(202) 557-5814

**L 3.3**

## MONTGOMERY COUNTY RESIDENTIAL TYPICAL DECK DETAILS

Based on the 2018 International Residential Code

Evans + Brookshier Deck Renovation + Deck Addition 2024



**REVIEWED**  
 By Chris Berger at 7:26 pm, Jun 27, 2024

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# 1. GENERAL REQUIREMENTS

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1. This document can be used in lieu of construction plans and it applies to single level – single span rectangular decks only. The overall deck length shall be equal to or less than the overall deck width. (Figures 1 or 2, page 4)
2. Band joists supporting attached decks shall be capable of supporting the new deck. If the condition can't be verified a free-standing deck or full plan submission will be required.
3. A copy of this document is required to be on the jobsite and available for inspection.
4. Deck joists shall be parallel to the house joists. When house joists are perpendicular to the deck joists a free-standing deck or full plan submission will be required.
5. Decks constructed according to these guidelines are not approved for future hot tub installations.
6. Decks shall not be attached to house overhangs, bay windows, or chimneys.
7. Deck shall not be loaded with more than 50 psf (pounds per square foot) total load. Soil bearing capacity shall be minimum 2000 psf and the minimum compressive strength of concrete shall be 3000 psi (pounds per square inch).
8. All deck lumber shall be **REVIEWED** or better. All lumber shall be pressure-treated – with an approved process and preservative in accordance with the American Wood Protection Association standard. All lumber in **By Chris Berger at 7:26 pm, Jun 27, 2024** preservative treated wood suitable for ground contact.
9. Deck post size and maximum height shall be in accordance with Table 1, page 5.
10. All screws, bolts, washers, nuts, and brackets shall be zinc-coated galvanized steel, stainless steel, silicon bronze or copper. Fasteners shall meet the requirements of ASTM A 153. Class D for fasteners with diameters up to 3/8". Stainless steel drive screws shall meet the material requirements of ASTM F 1667. Fasteners other than stainless steel shall be permitted to be of mechanically deposited zinc coating. Zinc coating shall meet ASTM B695, Class 55, minimum.
11. All connectors (joist hangers, brackets, etc.) shall be galvanized or shall be stainless steel. Hardware to be hot-dipped galvanized shall meet ASTM A653, G-185 coating. Hardware to be hot-dipped galvanized after fabrication shall meet ASTM A123.
12. Screws, spirally grooved and ring shanked nails shall be used for the deck surface and only manufacturer-specified fasteners shall be used to attach the connectors. Do not mix galvanized and stainless-steel connectors.
13. Decks 30 inches or less above grade are not required to have a guardrail. Grade measurement is at any point within 36" horizontally.
14. All decks that are accessible from the inside of the dwelling shall have at least one receptacle outlet accessible from the deck. (NEC 210.52(e)3).
15. Before you dig call MISS UTILITY 1-800-257-7777 (2-day notice is required). Please note that the Maryland High Voltage Line Act prohibits any person or object from getting closer than 10 feet to high voltage power lines.

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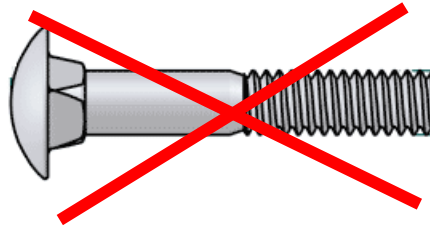


## DECK TYPES

**Attached Deck:** a deck structure that is physically attached to and supported by the house with a ledger board.

**Note:** Not all decks are permitted to be attached to the house. Ledger Board attachment to brick veneer, stone or cultured stone, house cantilever, bay windows or chimneys, and web floor trusses are not permitted. Band joists supporting attached decks shall be capable of supporting the new deck. Deck joists shall be parallel to the house joists. If the condition can't be verified a free-standing deck or full plan submission will be required

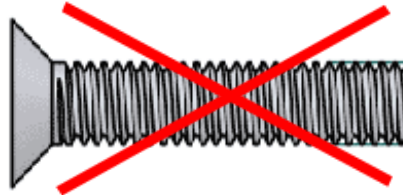
**Free-Standing Deck:** a self-supporting deck structure built independently from the house, requires two support beams.



Carriage Bolts are not Permitted

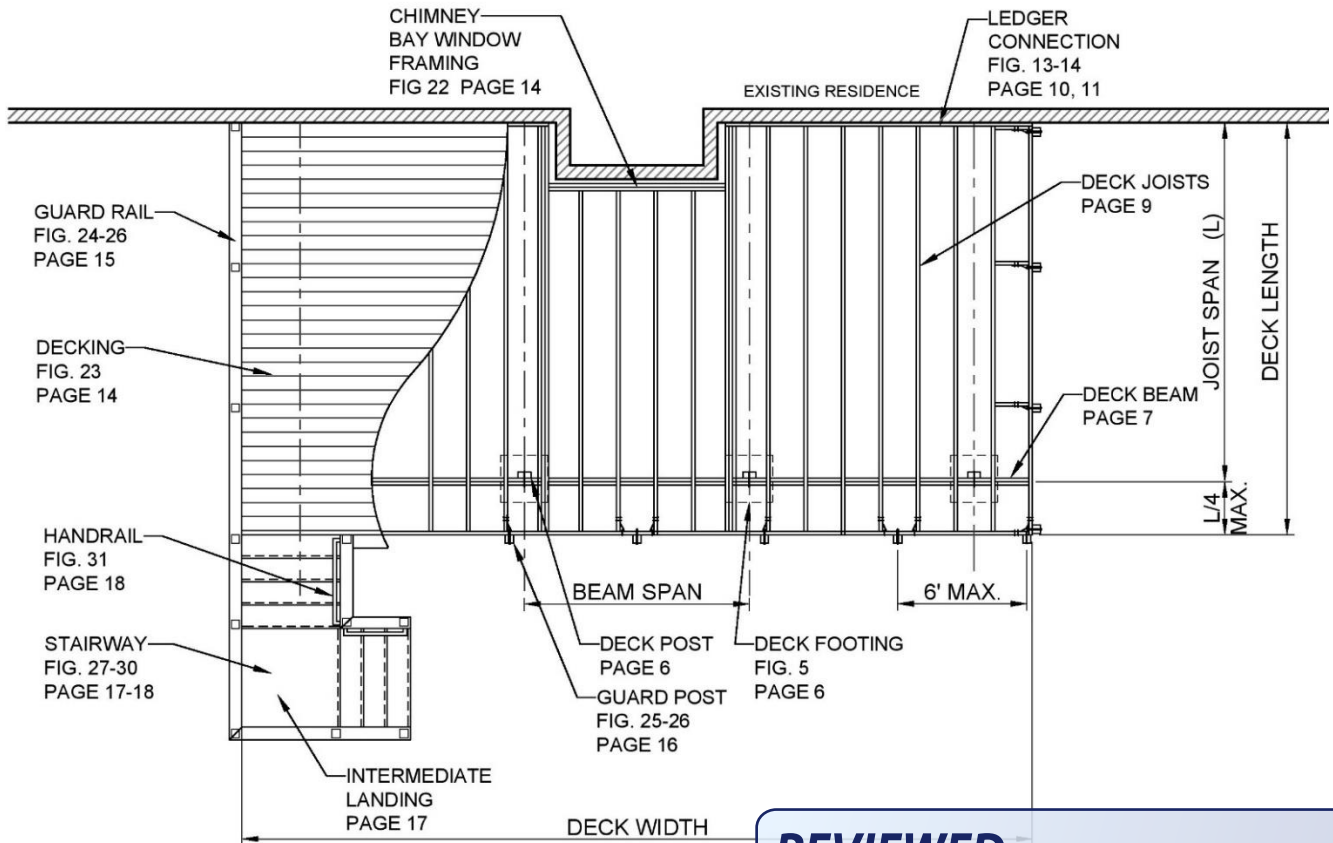
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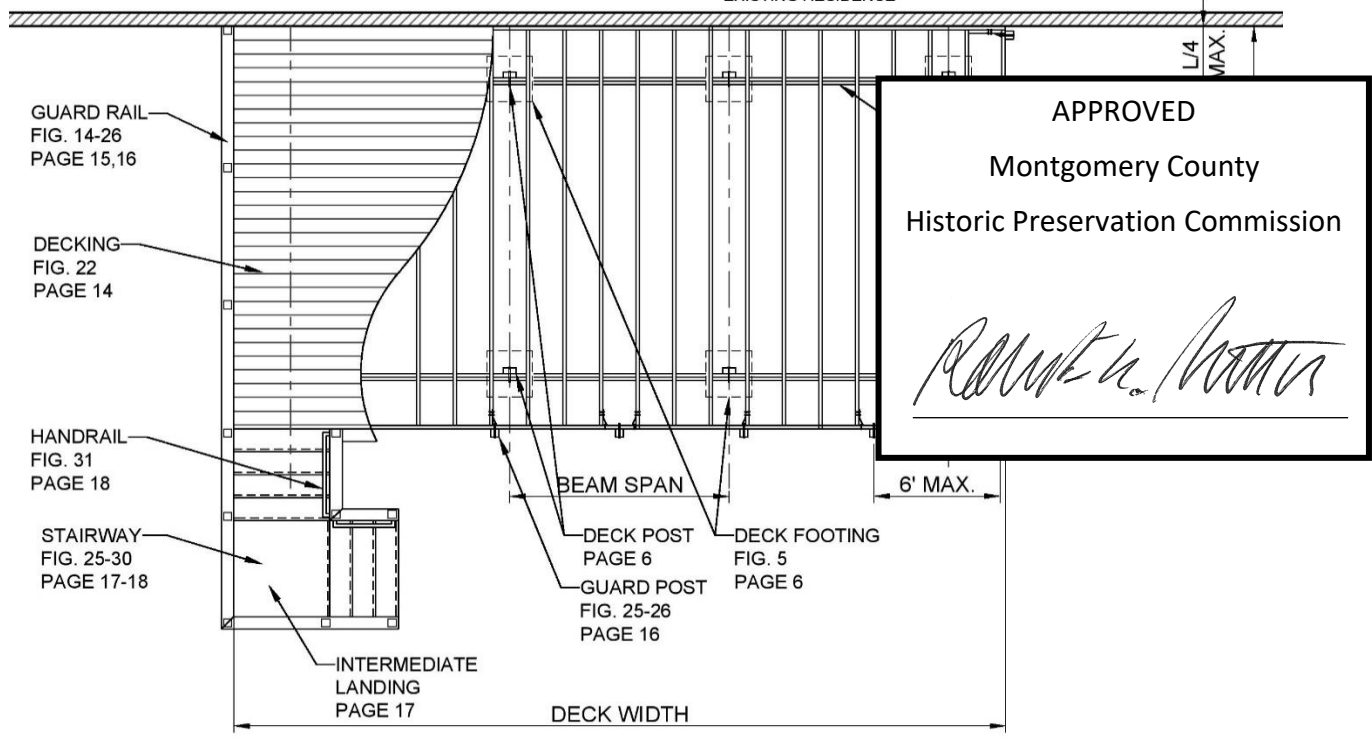
Countersunk bolts are not Permitted

## 2. DECK FRAMING PLANS AND SECTIONS



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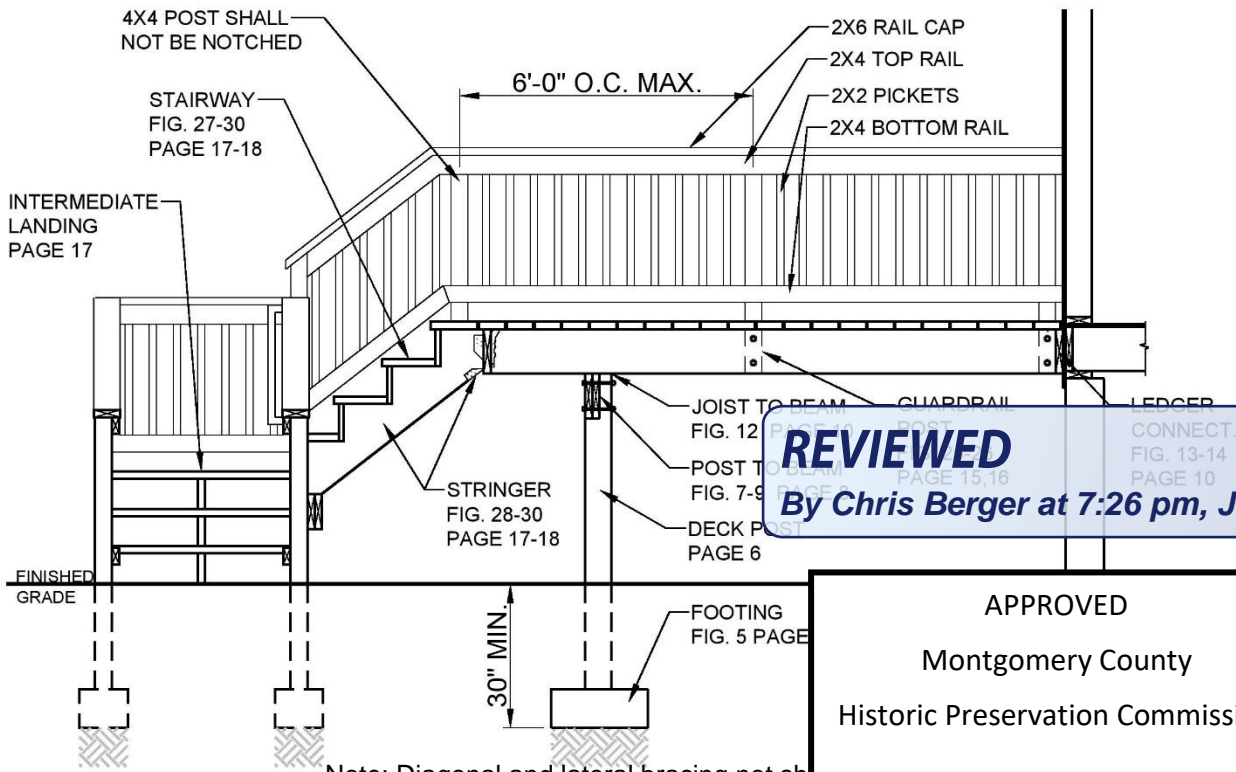
~~ATTACHED DECK~~  
 Figure 1



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**FREE STADING DECK**  
 Figure 2



Note: Diagonal and lateral bracing not shown

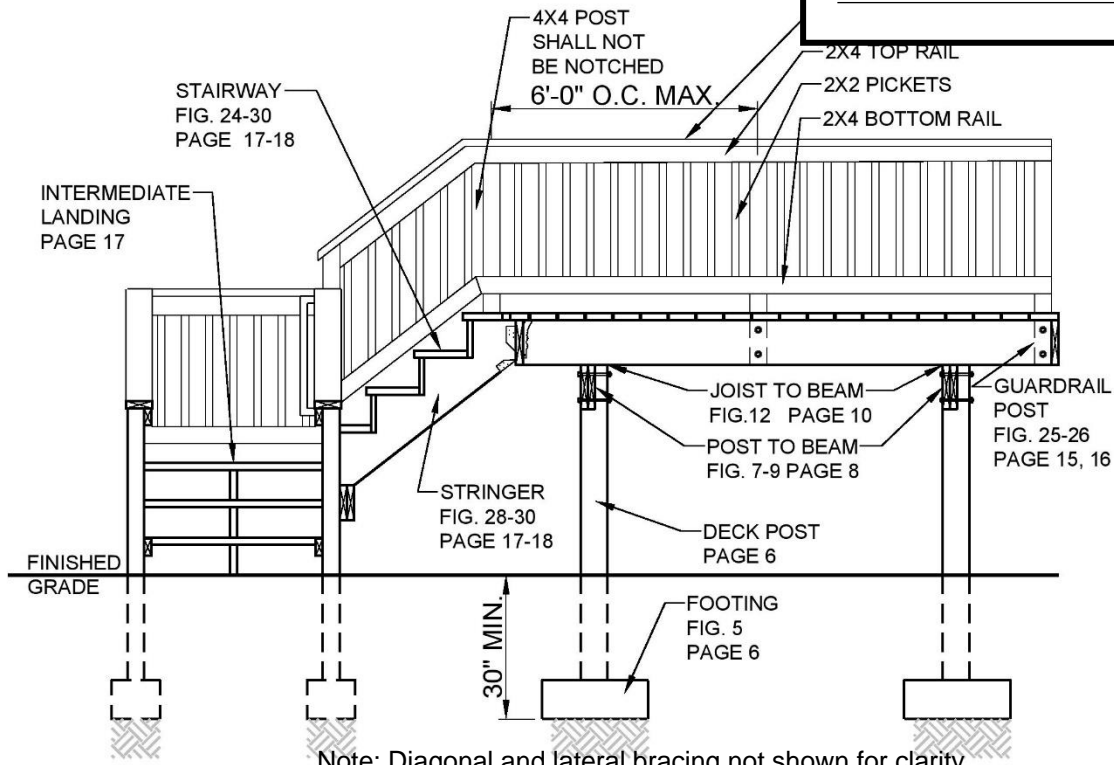
**ATTACHED DECK**

Figure 3

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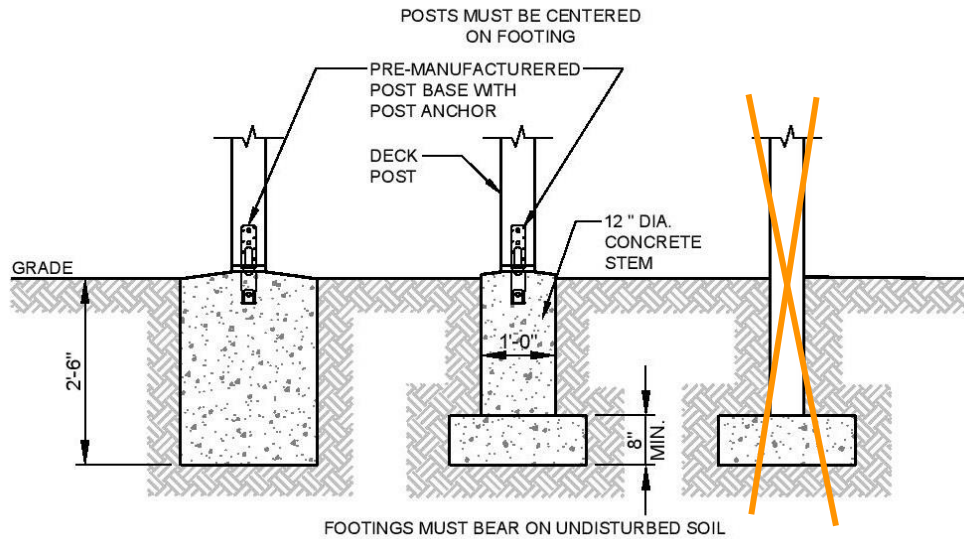
Note: Diagonal and lateral bracing not shown for clarity

**FREE STANDING DECK**

Figure 4

### 3. DECK FOOTINGS

Footings shall be minimum 20 inches square or 22 inches diameter. Bottom of footings shall be a minimum of 30 inches below grade and shall bear on undisturbed soil. **Deck footings closer than 5'-0" to an exterior house foundation wall must bear at the same elevation as the existing house foundation.** Distances to the edges of the footing and connector's embedment must be in accordance with the manufacturer's recommendations.



### DECK FOOTINGS

Figure 5

- a. Posts shall be restrained to prevent lateral displacement at the bottom support by manufacturer connectors or by a minimum of 12" in surrounding soils or concrete piers. Where expansible, compressible, shifting or other questionable soils are present, soils shall not be relied on for lateral support.
- b. Cut ends of posts shall be field treated with an approved preservative.

### 4. DECK POSTS

Deck post size shall be in accordance with Table 1. The height of the post is measured from grade or top of foundation (whichever is higher) to the underside of the beam. Post ends and notches of post shall be field treated with an approved preservative by notching as shown in Figure 7 or by providing an approved post cap in Figure 7. Where post bear on concrete footings lateral restraint shall be provided or a minimum post embedment of 12 inches in surrounding soils of concrete.

Provide diagonal bracing at each post greater than 2 feet in height as shown in Figure 6. Diagonal bracing is prohibited on center posts. Bracing shall be 1/2" dia. Lag screws. Diagonal bracing shall be located perpendicular to the post. This bracing shall not align over a post location an extra joist shall be added to the deck. For free standing decks (see Figure 4) diagonal bracing may be omitted at the beam and posts adjacent to the house.

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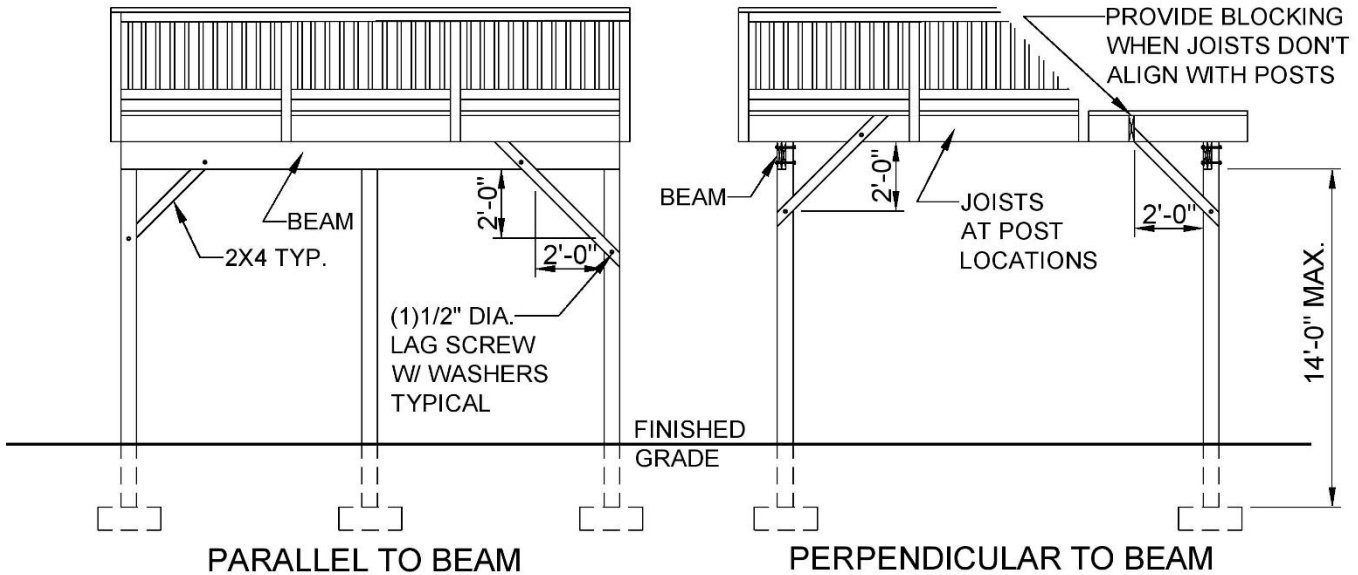
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DECK POST SIZE	MAXIMUM HEIGHT <sup>a,b</sup> (feet and inches)
4x4	6'-9"
6x6	14'-0"

- a. Measured to the underside of the beam
- b. Based on 40 psf live load

Table 1





Note: Diagonal bracing prohibited on center posts

Figure 6

## 5. DECK BEAM

Maximum allowable spans for deck beams to be as per Table 2. Beam plies shall be fastened with two rows of 10d (3 in x 0.128 in) nails minimum at 16" o.c. along each edge. Beams shall be permitted to cantilever up to 2 feet or up to one-fourth of the beam span, whichever is less. The ends of beams shall have a minimum of 1 1/2 inches of bearing.

### DECK BEAM SPANS <sup>a,b</sup>

Size	DECK JOIST SPAN LESS THAN OR EQUAL TO: (feet)							
	6	8	10	12	14	16	18	
Southern Pine No. 2	(2) 2x6	6'-11"	5'-11"	5'-4"	4'-10"	4'-6"	4'-3"	4'-0"
	(2) 2x8	8'-9"	7'-7"	6'-9"	5'-11"	5'-4"	5'-0"	4'-6"
	(2) 2x10	10'-4"	9'-0"	8'-0"	7'-4"	6'-9"	6'-4"	6'-0"
	(2) 2x12	12'-2"	10'-7"	9'-5"	8'-10"	8'-0"	7'-6"	7'-0"
	(3) 2x6	8'-2"	7'-5"	6'-8"	6'-1"	5'-6"	5'-3"	5'-0"
	(3) 2x8	10'-10"	9'-6"	8'-6"	7'-9"	7'-2"	6'-9"	6'-4"
	(3) 2x10	13'-0"	11'-3"	10'-0"	9'-0"	8'-0"	7'-6"	7'-0"
	(3) 2x12	15'-3"	13'-3"	11'-10"	10'-10"	10'-0"	9'-6"	9'-10"

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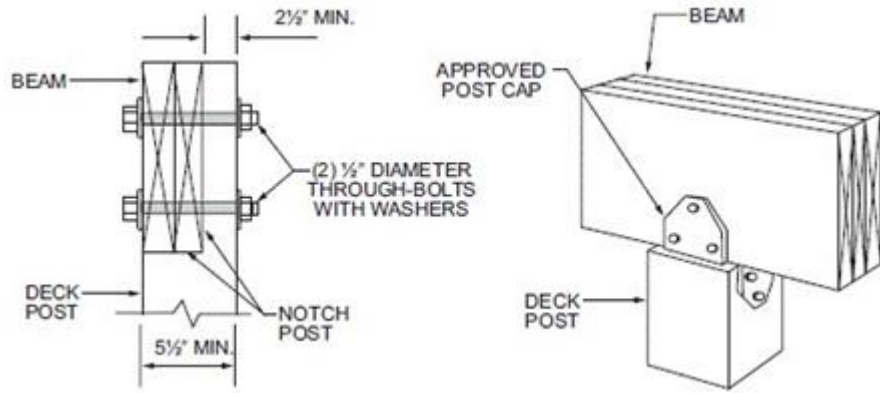
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- a. Beam depth shall be greater than or equal to the depth of the floor joist with a full bearing on the post.
- b. Beams shall be permitted to cantilever at each end 2 feet or up to one-fourth of the beam span, whichever is less.

Table 2

## 6. POST TO BEAM CONNECTION

Deck beams shall be attached to deck post in a manner capable of resisting horizontal displacement. Where multiple span beams bear on interior posts, the beams shall be attached to the post as shown on Figures 7, 8 and 9. Connections shall be as per Figures 7, 8 and 9. Manufactured post to beam connectors shall be sized for the post and beam sizes. Bolts shall have washers under the head and nut. Beam to post connection with fasteners only is prohibited, see Figure 10. Built-up beams shall be assembled in accordance with Figure 11. For triple member beams, provide the nailing pattern shown to the outside member on each side; however staggered rows shall be offset so as not to occur in the same location.



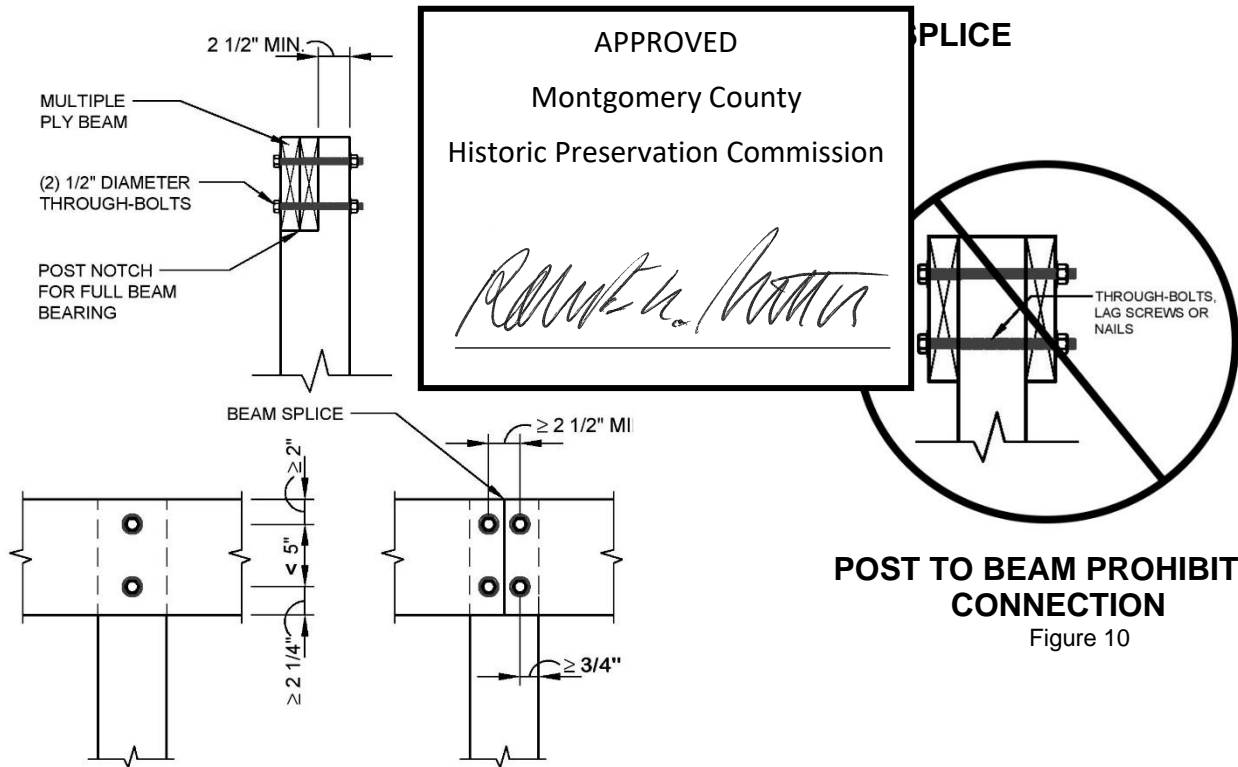
**POST-BEAM CONNECTION**

Figure 7

5 1/2" MINIMUM FOR BEAM SPLICES (IF REQUIRED)

BEAM SPLICE (IF REQUIRED) MUST OCCUR OVER POST

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**NOTCHED POST TO BEAM CONNECTION**

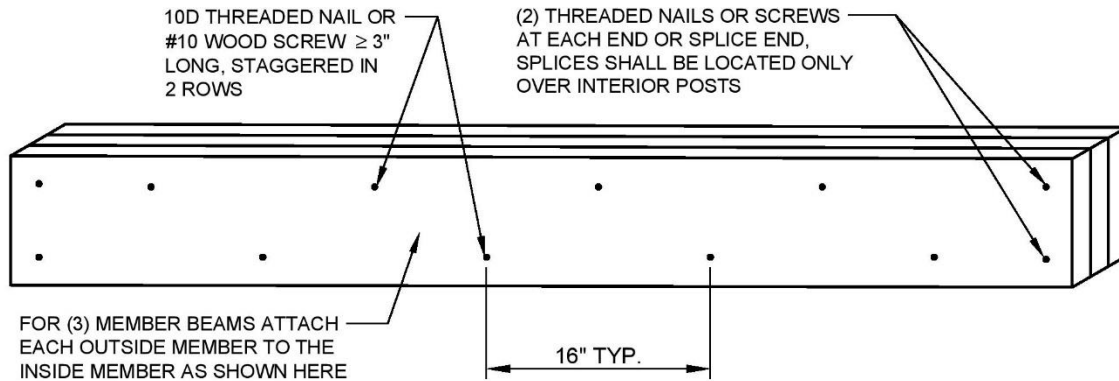
Figure 9

**POST TO BEAM PROHIBITED CONNECTION**

Figure 10

**Note:**

- a. Beams must span continuously between posts and shall be spliced at interior post locations only.
- b. Spans are measured between the centerline of bearings or supports.



**BUILT-UP BEAM CONNECTION**

Figure 11

**7. DECK JOIST**

Maximum allowable span for deck joists to be as per Table 3. The maximum cantilever shall be limited to one-fourth of the actual adjacent joist span or the maximum cantilevered length shown on table 3. Whichever is less. The ends of joists shall have a minimum 1 1/2" bearing on wood or metal. Joist framing into the side of a beam or ledger shall be supported by approved joists hangers. Joist ends and bearings shall be provided with lateral resistance to prevent racking. Joist ends shall not be less than 60% of the joist depth. Rim joists shall be secure to the end of each joist with no less than three 10d (3-in x 0.128in) nails or three No. 10 x 3-in long wood screws.

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SPECIES	SIZE	MAXIMUM CANTILEVER SPACING OF DECK JOISTS WITH CANTILEVER (inches)		
		12	16	24
Southern Pine No. 2	2x6	16'-2"	14'-0"	11'-5"
	2x8	18'-0"	16'-6"	13'-6"
	2x10			
	2x12			

Table 3

**8. JOIST TO BEAM CONNECTION**

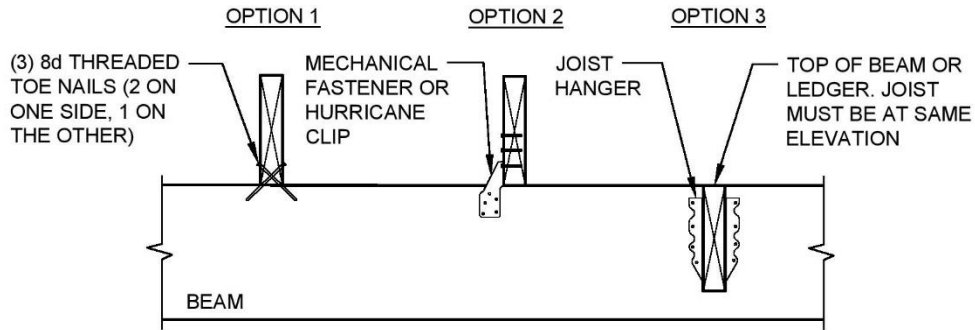
Each joist shall be attached to the beam as shown on Figure 12. Joist may bear on an overhang past the beam face when Option 1 or Option 2 is used, and blocking is provided between joists at beam bearing. Option 2 mechanical fasteners of hurricane clips must have a minimum uplift and lateral load capacity of 100 lbs in both uplift and lateral load directions. Joists may also be attached to the side of the beam with joist hangers per Option 3. Joists shall not frame in from opposite sides of the beam. Joist hangers shall be at least 60% of the ledger of beam depth. See Table 4 for minimum joist hanger capacity. Inside flange hangers can be used at edge conditions. Clip angles or brackets to support deck joists are prohibited.

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JOIST SIZE	MIN. CAPACITY
2x6	400 lbs
2x8	500 lbs
2x10	600 lbs
2x12	700 lbs

**JOIST HANGER VERTICAL CAPACITY**

Table 4



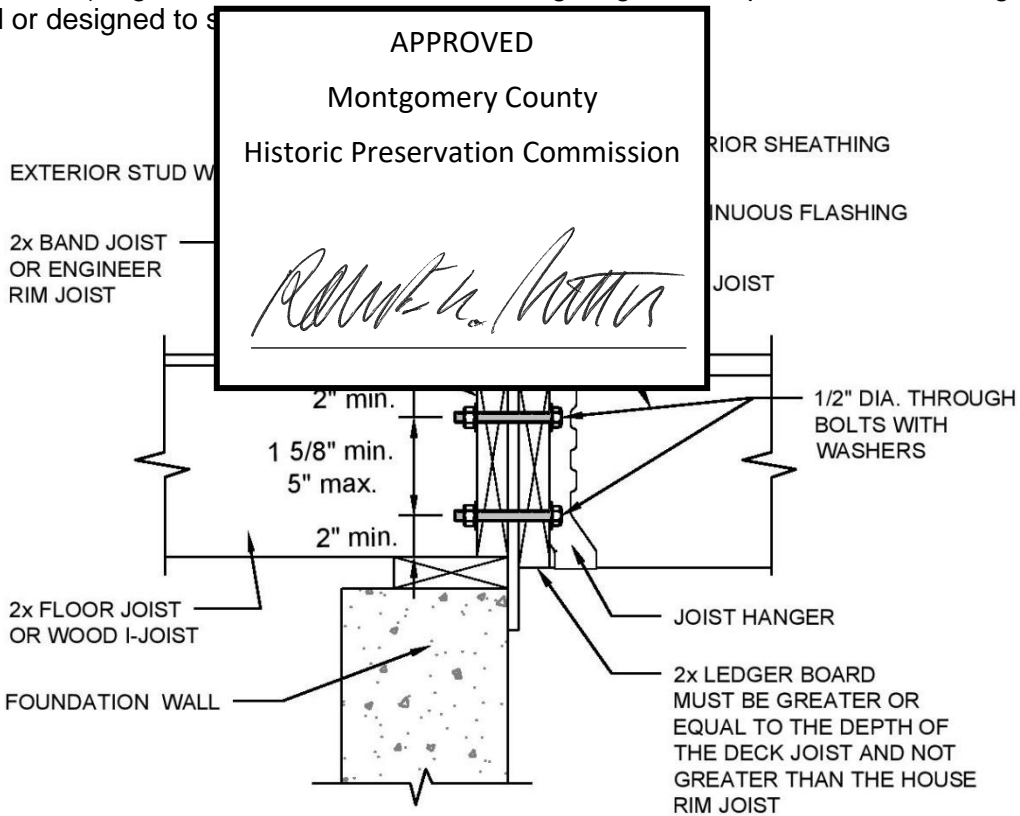
**JOIST TO BEAM CONNECTION**

Figure 12

**9. LEDGER DECK ATTACHMENT**

The ledger board shall be equal to or greater than the deck joist depth but equal or less than the house band or rim joist. Ledger board attachments to the exterior wall shall be constructed as indicated in Figure 13. The ledger shall be a minimum nominal 2x8. When attachments are made to the house band joist the connection shall be to a 2" nominal lumber band joist or LVL rim joist bearing on a sill plate or wall plate and it shall be constructed with 1/2" bolts with washers. If the existing house band joist shall be capable of supporting the new deck. If this cannot be verified or conditions are not suitable, a free-standing deck or full plan submission will be required. Ledger board attachments are attached to or through exterior veneers (Brick, Masonry, Stone) Figure 16, cantilever floor overhangs Figure 16, open web trusses Figure 16, as they are not intended or designed to support a deck.

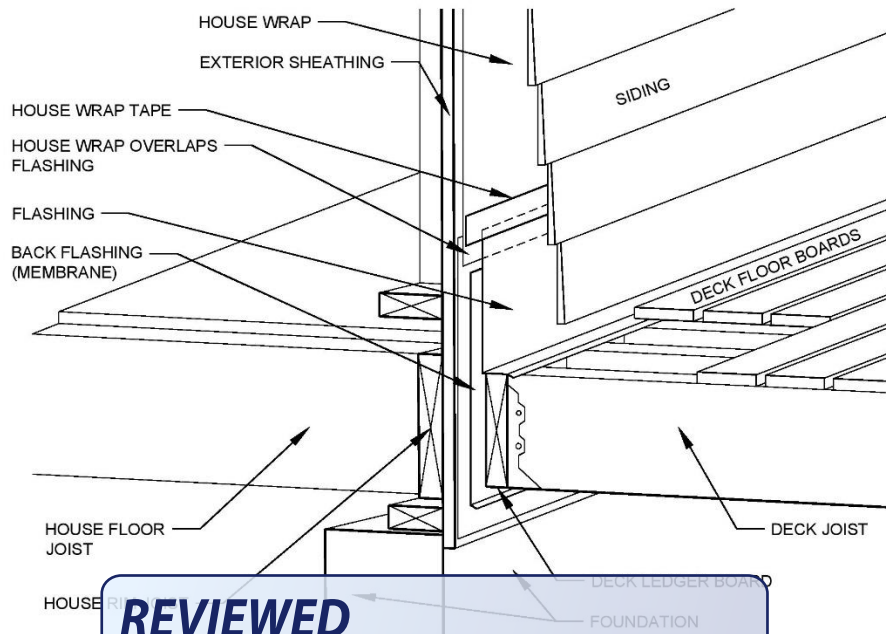
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Note: Flashing is not shown for clarity

**LEDGER BOARD TO RIM JOIST ATTACHMENT**

Figure 13

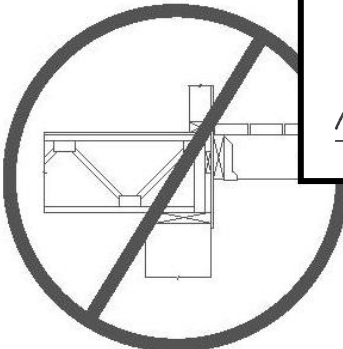


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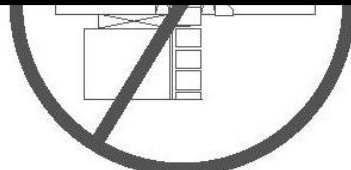
Figure 15

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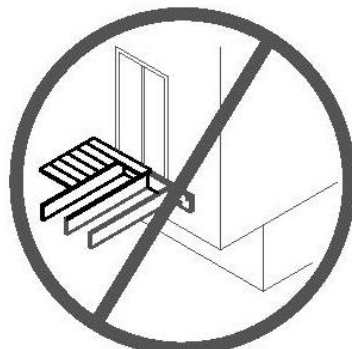
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Attachment to Open Web Trusses



Attachment to Brick, Masonry or Stone Veneers

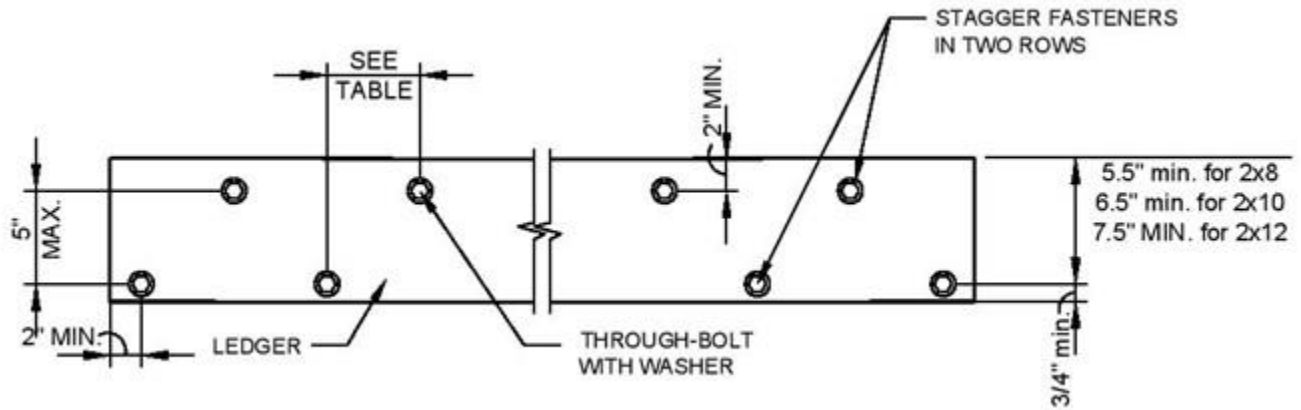


Attachment to House Overhang or Chimney

**PROHIBITED LEDGER ATTACHMENTS**

Figure 16

# 10. LEDGER BOARD FASTENERS




**LEDGER FASTENER SPACING AND CLEARANCES**

Figure 17

Connection	On-Center Spacing of Fasteners							
	Max. Joists	24"	18"	14"	12"	10"	6'-0"	18'-0"
1/2" dia. bolt	<b>REVIEWED</b> By Chris Berger at 7:26 pm, Jun 27, 2024						9"	8"

**FASTENER SPACING**

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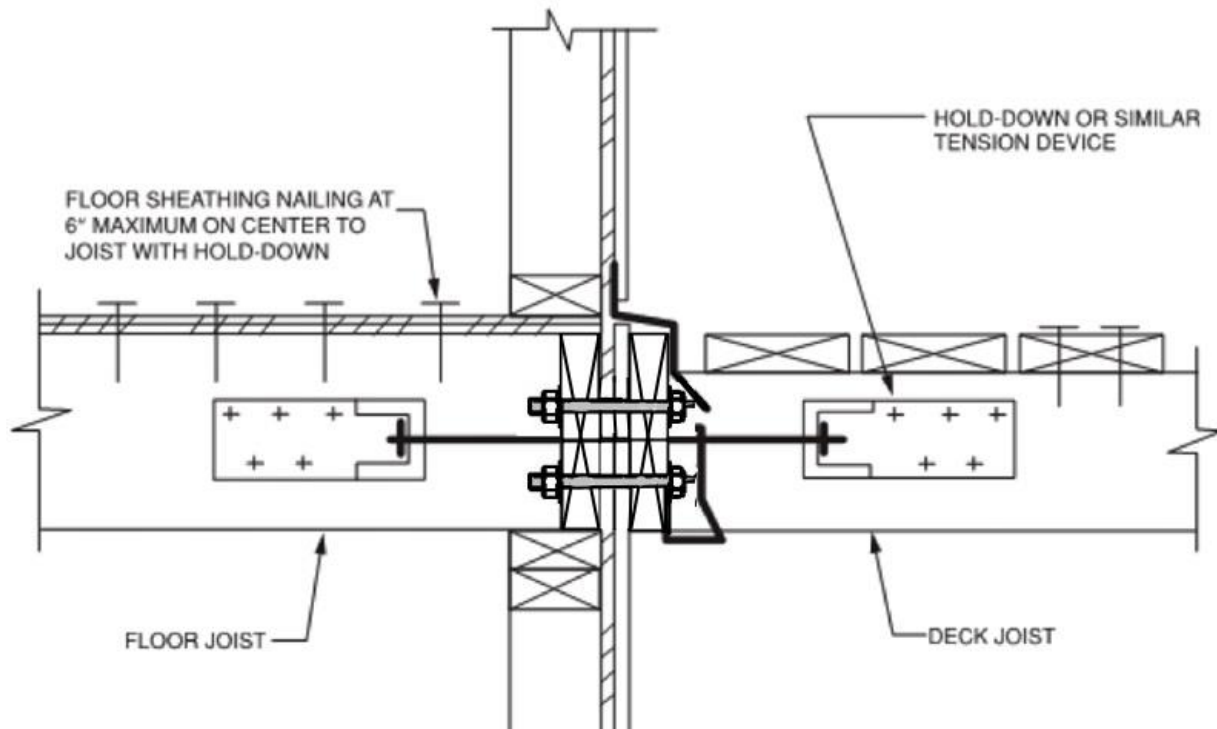
**Through-Bolts**

Through-Bolts shall have a diameter of 1/2" and shall be spaced at 24" on center. Through-Bolts require washers at each end.

Through-Bolts shall be 17/32" to 9/16" in diameter.

# 11. DECK LATERAL LOAD CONNECTION

Decks shall be positively anchored to the primary structure. The lateral connection shall be permitted in accordance with Figures 19 and 20. For conditions where the house joists are parallel to the deck joists hold-down devices shall be provided not less than two locations within two feet of the edge of the deck and shall have an allowable design capacity of not less than 1,500lbs (Figure 19); or hold down devices shall be connected to the base of the deck to house structure at not less than 4 locations, evenly distributed along deck and within 2 ft of each end and shall have an allowable design capacity of not less than 750 lbs each (figure 20).



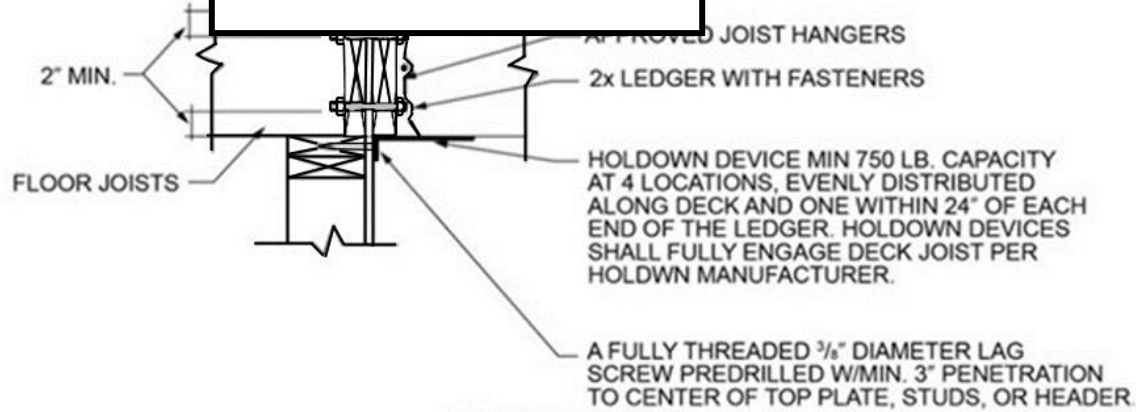
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**DECK JOISTS PARALLEL TO HOUSE JOISTS**

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**NOTE:**  
 THIS DETAIL IS APPLICABLE  
 WHERE FLOOR JOISTS ARE  
 PARALLEL TO DECK JOISTS.

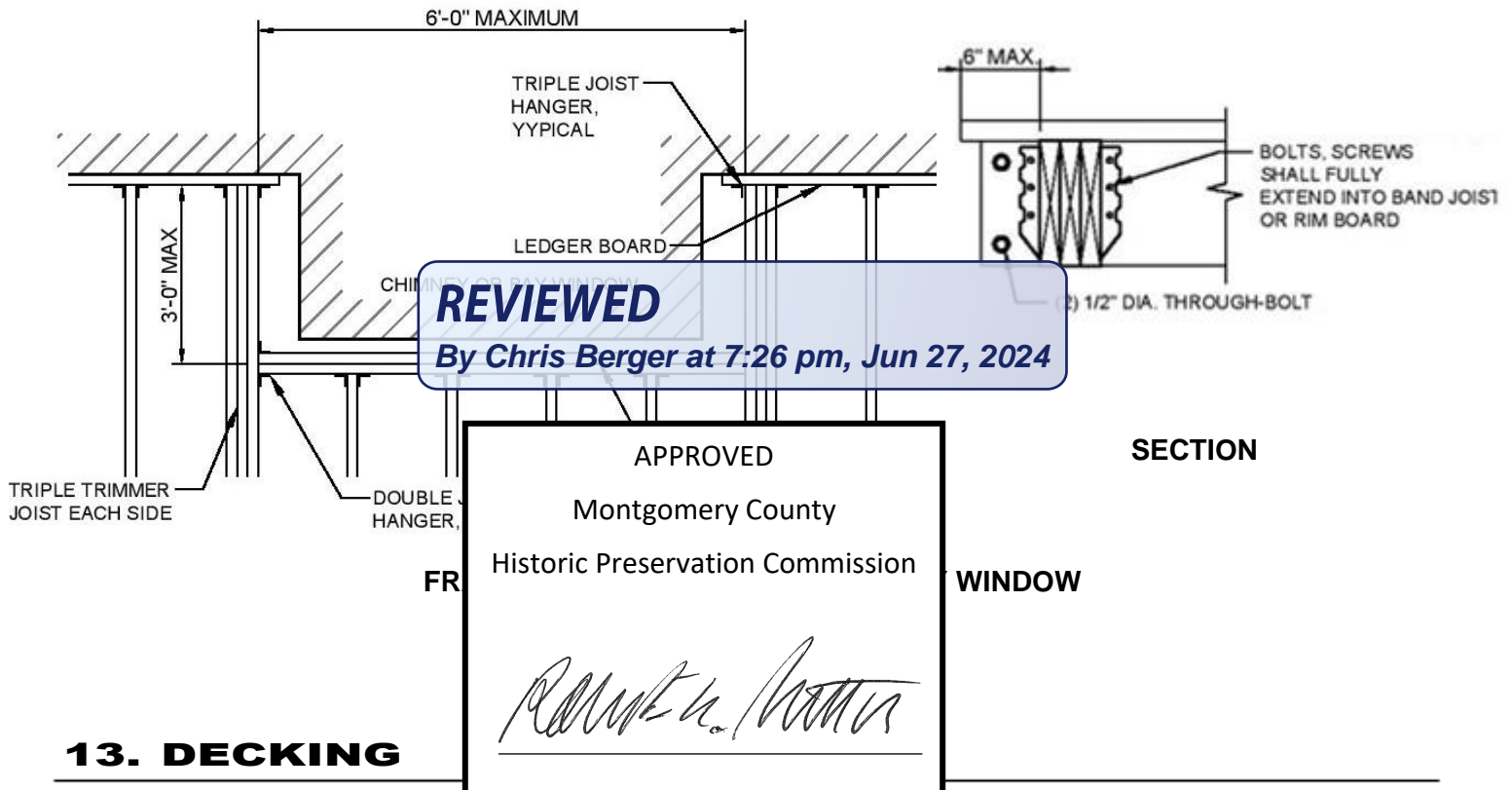


**LATERAL LOAD CONNECTION  
 DECK JOISTS PARALLEL TO HOUSE JOISTS**

Figure 20

## 12. DECK FRAMING AT CHIMNEY OR BAY WINDOW

All members at chimneys or bay windows shall be framed in accordance with Figure 22. Header may span a maximum of 6'-0". When a chimney or bay window is wider than 6'-0", one or more 6x6 post may be added to reduce header spans to less than 6'-0". In such cases, the post footing must meet the requirements in the footings section. Headers shall be located no more than 3'-0" from the end of the trimmer joist. Triple trimmer joists are required on each side of the header. Joist hangers shall each have a minimum vertical capacity in accordance with Table 4. Bolts, screws, or lag screws used to attach the hanger to the ledger shall fully extend through the ledger into the 2-inch nominal lumber band joist (1-1/2" actual) or LVL rim joist. Otherwise a free-standing deck is required.



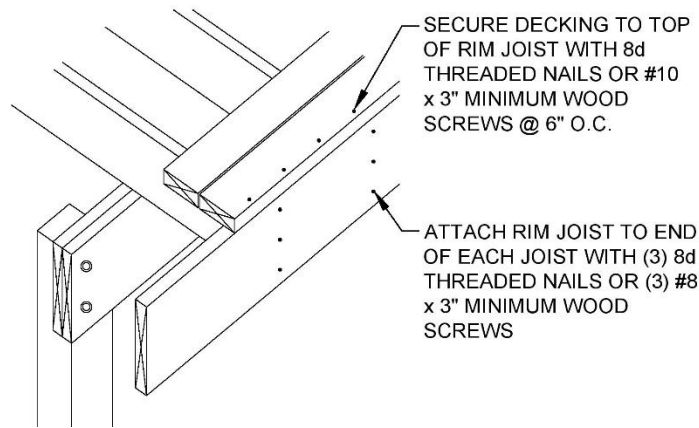
## 13. DECKING

Decking laid perpendicular to joists may consist of 2x6 structural lumber supported by joists spaced at 24" o.c. maximum or 1 1/4 inch thick wood decking supported by joists spaced 16" o.c. maximum. Attach decking to each joist with 2-8d threaded nails or 2-#10 screws. Space decking boards approximately 1/8" apart. See figure 23 for decking connection requirements to rim joist. Decking placement may range from an angle perpendicular to the joist to an angle of 45 degrees to the joist. Each segment of decking must bear on a minimum of 3 joist.

**Plastic composite deck boards and stair treads** will be accepted if they are labeled to indicate compliance with ASTM D7032. A complete current code evaluation report for the manufactured decking system that includes the maximum allowable load and span must be provided to the building inspector at the time of framing inspection. Manufactured decking systems must be installed in accordance with the code evaluation report and manufacturer's specifications.

Designer and/or builder to confirm





**RIM JOIST CONNECTION DETAIL**

Figure 23

## 14. DECK GUARDRAIL

All decks greater than 30" above grade are required to have a guard constructed as shown in Figure 24. Deck guard posts shall be a minimum 4x4 (nominal). Joists and rim joists to which guards post are attached shall be a minimum 2x8. Guard post which run parallel to the deck joist shall be attached to the outside joist as per figure 25. Guard post that run perpendicular to the deck joists shall be attached to the rim joist in accordance with figure 24. All guard rail connections shall be installed in accordance with manufacturer's instructions. A minimum allowable tension load of 1,800 lbs for a 36" maximum guard height and shall be installed in accordance with manufacturer's instructions.

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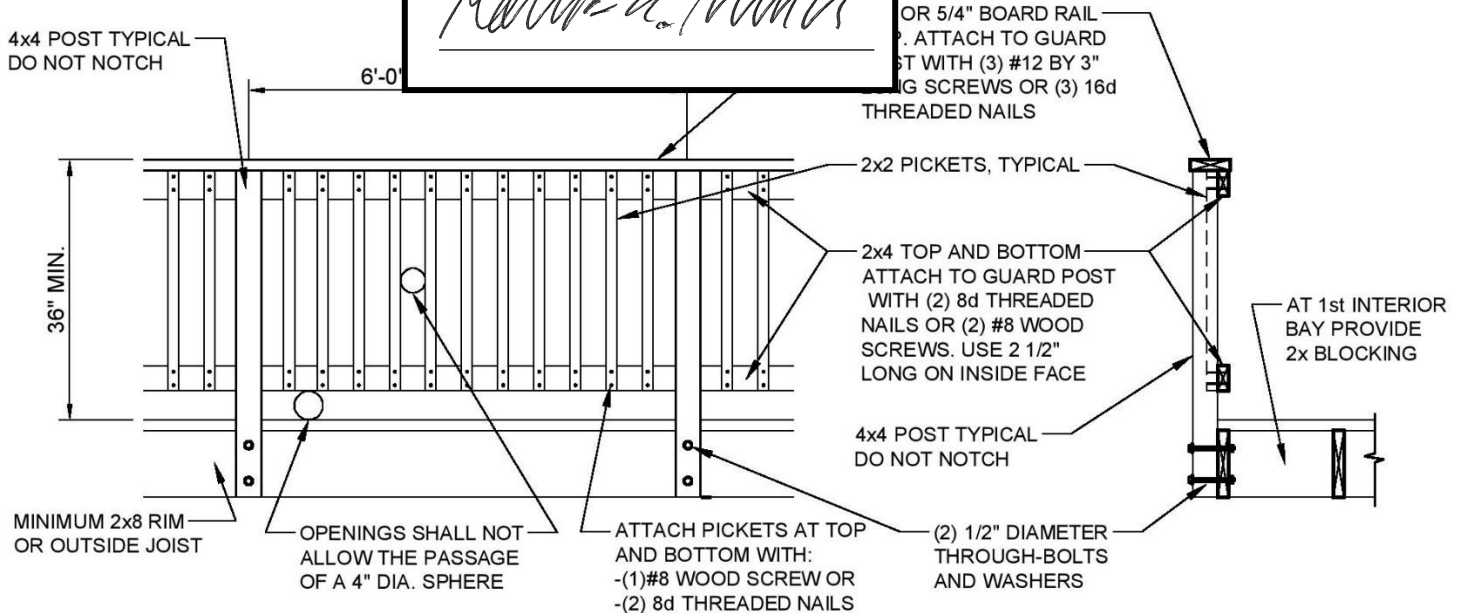
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**Manufactured railing system** shall be labeled to indicate compliance with ASTM D7032 and listed by an approved code evaluation report for the manufacturer at the time of framing inspection. The report and manufacturer's specifications for the manufactured rails, balusters or

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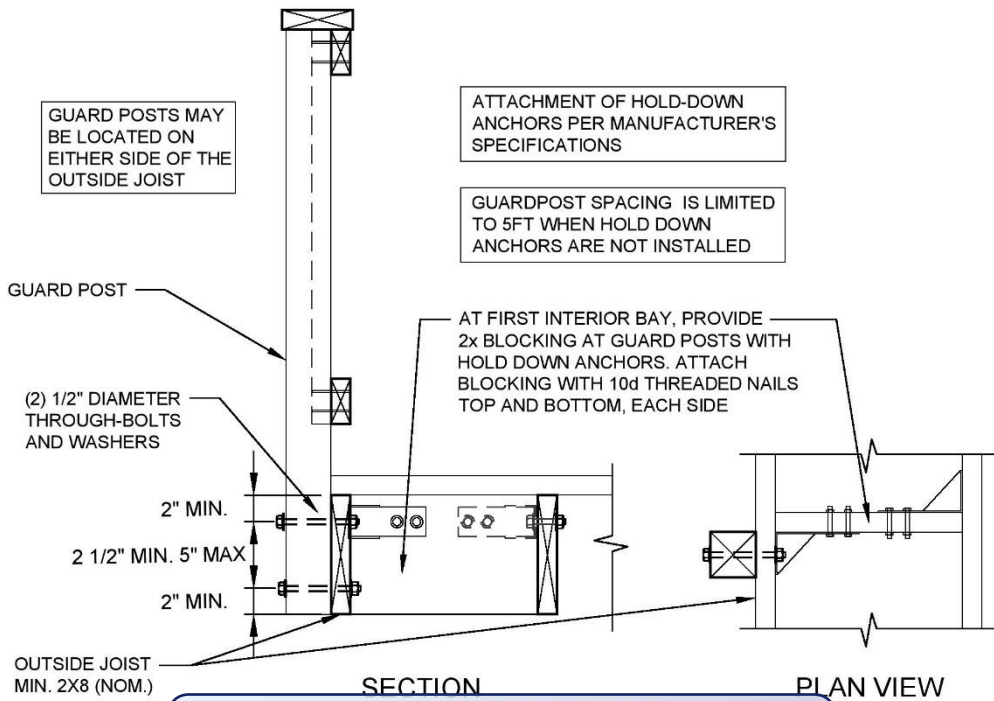
*Ronald W. Potter*

shall be labeled to indicate compliance with ASTM D7032 and listed by an approved code evaluation report. A complete current code evaluation report must be provided to the building inspector at the time of framing inspection. The report and manufacturer's specifications for the manufactured rails, balusters or

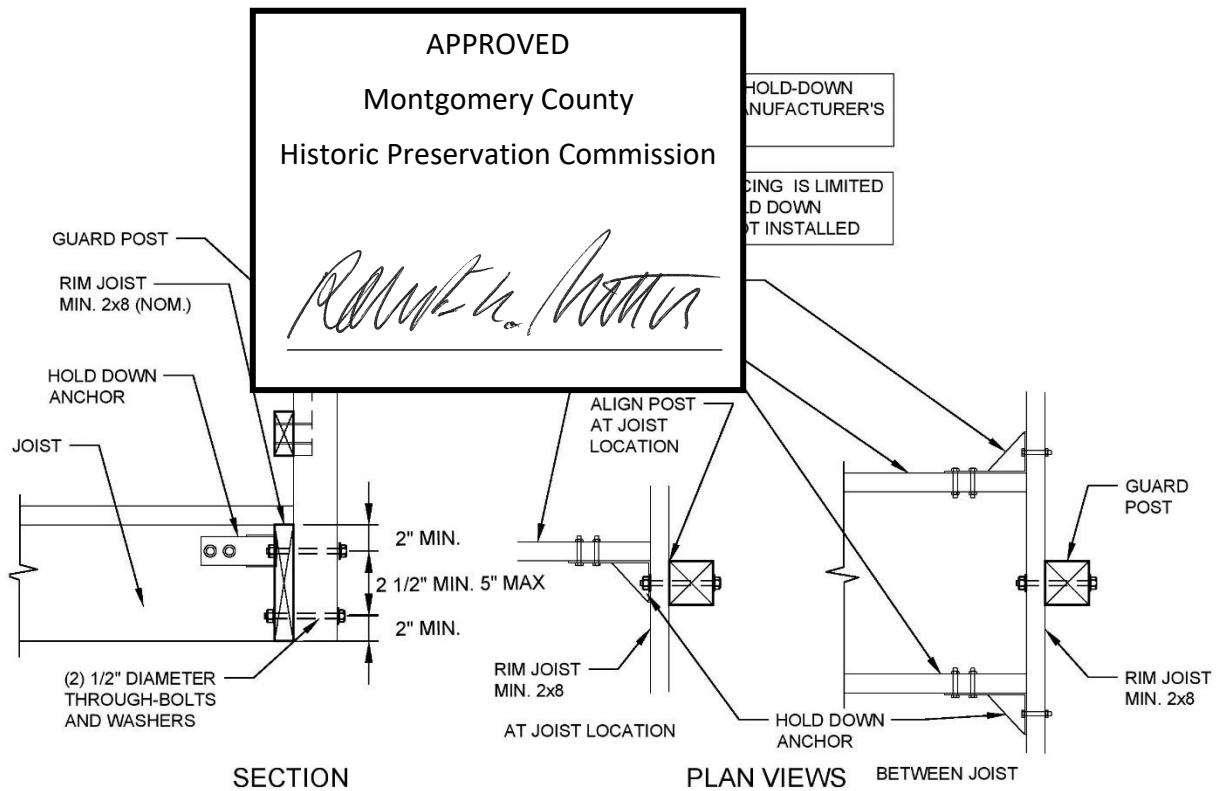


**DECK GUARD DETAIL**

Figure 24



**REVIEWED** POST TO OUTSIDE JOIST  
 Figure 25  
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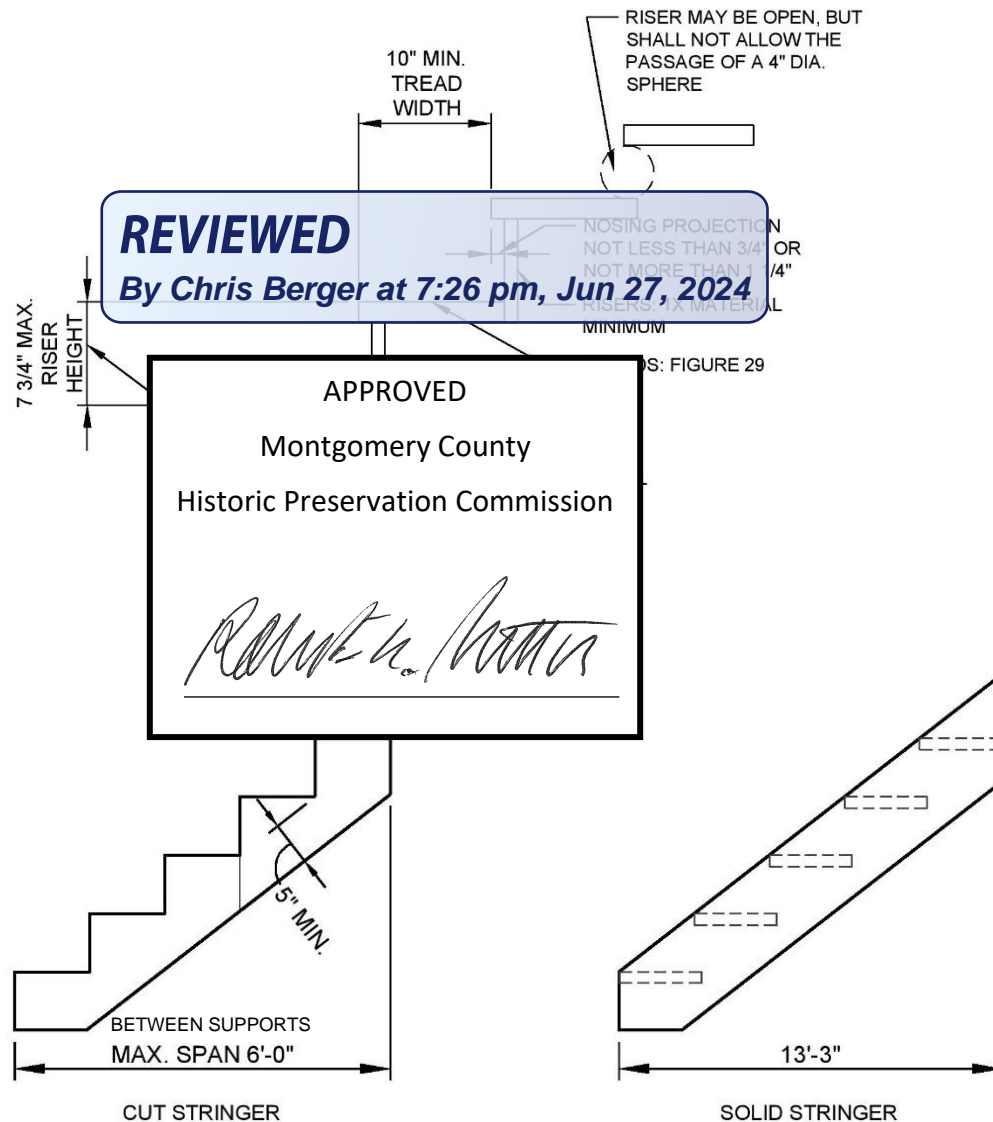


**GUARD POST TO RIM JOIST**  
 Figure 26

# 15. STAIR REQUIREMENTS

Stair, stair stringers, and guards shall meet the requirements shown in Figure 27 through Figure 34. All stringers shall be a minimum of 2x12. Stair stringers shall not span more than the dimensions shown on Figure 28. An intermediate landing may also be provided to shorten the stringer span. If the total vertical height for a stairway exceeds 12'-0" and intermediate landing will be required.

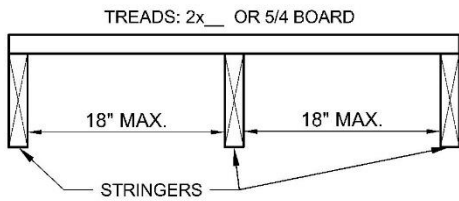
All **intermediate stair landings** must be constructed as a non-ledger deck using the details in this document. Stair shall be a minimum of 36" in width. If only cut stringers are used, a minimum of 3 stringers are required. For stairs greater than 36" in width, a combination of cut and solid stringers can be used but shall be placed at a maximum spacing of 18" on center (see Figure 29). Stair stringers must be fully supported or connected to the deck structure (see Figures 30 and 33) The width of each landing shall not be less than the width of the stairway served. Every rectangular landing shall have a minimum dimension of 36" measured in the direction of travel and not less than the width of the stair served.



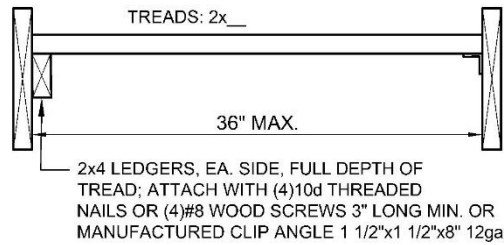
**STAIR STRINGER REQUIREMENTS**

Figure 28

ATTACHMENT PER TREAD AT EACH STRINGER OR LEDGER:  
 2x\_\_ OR 5/4" TREADS - (2)8d THREADED NAILS OR (2)#8 SCREWS 2 1/2" LONG MIN.  
 3x\_\_ TREADS - (2) 16D THREADED NAILS OR (2)#8 SCREWS 3 1/2" LONG MIN.



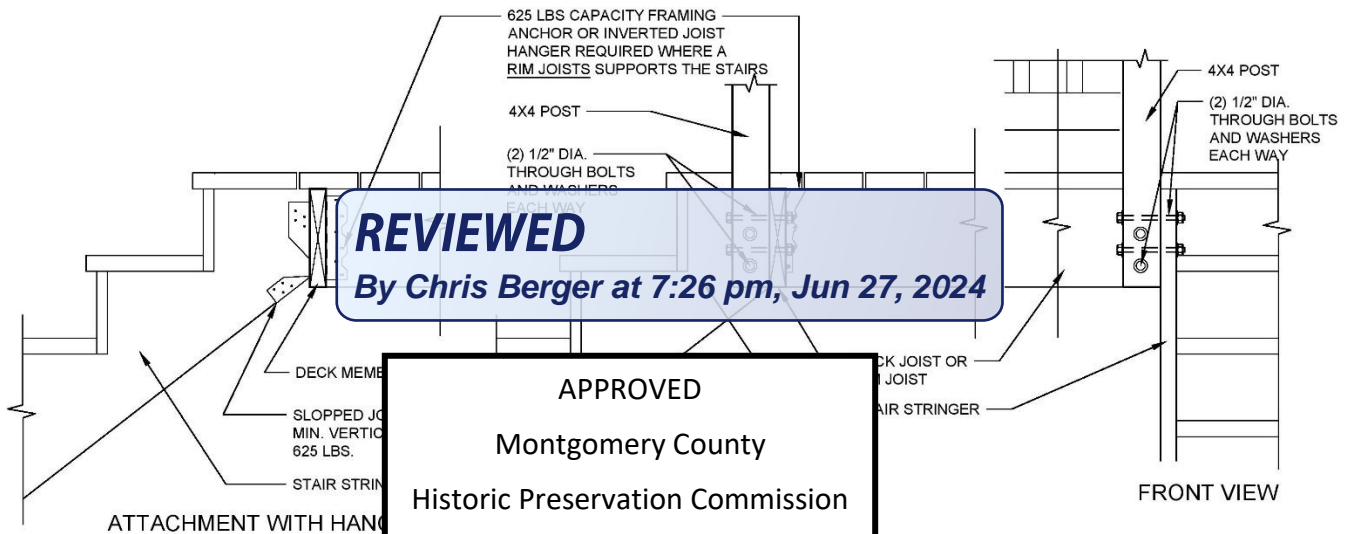
CUT STRINGER



SOLID STRINGER

**TREAD CONNECTION REQUIREMENTS**

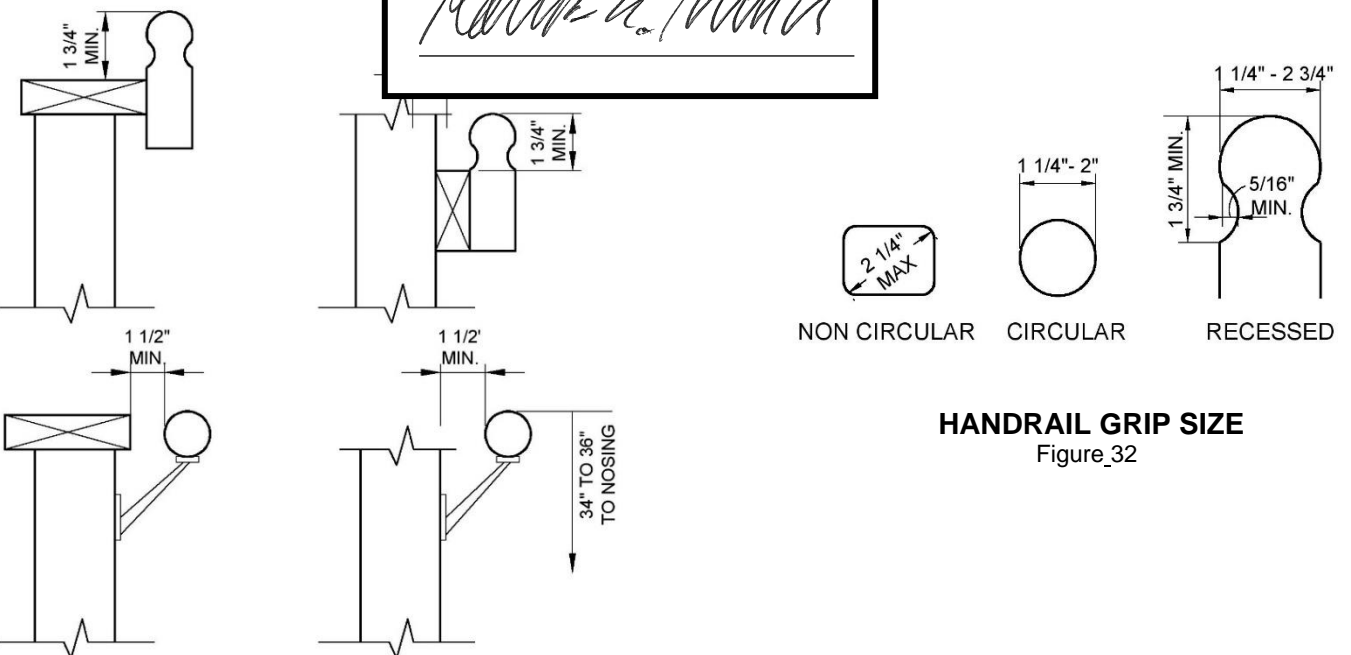
Figure 29



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 By Chris Berger at 7:26 pm, Jun 27, 2024

**APPROVED**  
 Montgomery County  
 Historic Preservation Commission

*Robert A. [Signature]*

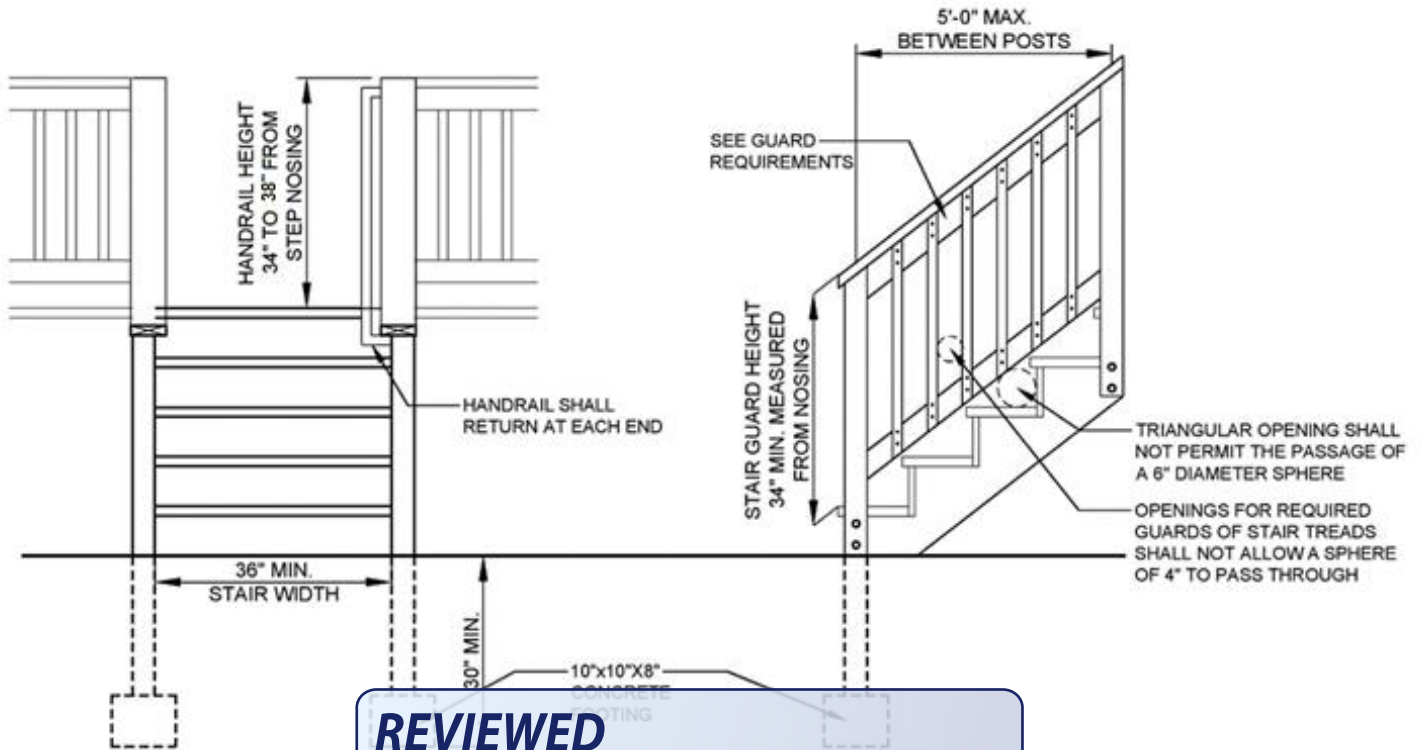


**HANDRAIL MOUNTING EXAMPLES**

Figure 31

**HANDRAIL GRIP SIZE**

Figure 32



**REVIEWED**  
 By Chris Berger at 7:26 pm, Jun 27, 2024

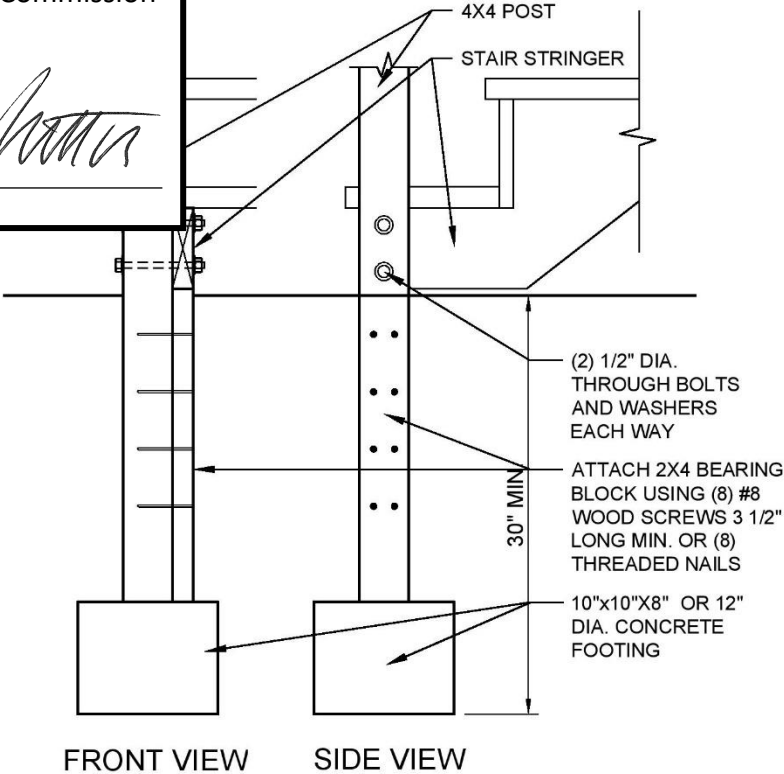
APPROVED COMMENTS  
 Montgomery County  
 Historic Preservation Commission  
*Ronald A. Potter*

**STAIR FOOTING REQUIREMENTS**

Where the stair meets the grade to the stair guard post as shown shall bear on footings. All footing ground at least 30" below grade. on 2x4 bearing block attached to the post as shown.

**STAIR LIGHTING REQUIREMENTS**

Stairways shall have a light source located at the top landing such that all stairs and landings are illuminated. The light switch shall be operated from the inside of the house. Motion detected or timed switches are acceptable



**STAIR FOOTING DETAIL**

Figure 34

# 16. DECK WORKSHEET

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This worksheet is provided to help you determine compliance with the requirements of the Montgomery County Residential Typical Deck Details

1. Attached Deck  or Free-Standing  Deck
2. Deck Dimensions (L): \_\_\_\_\_ x (W) \_\_\_\_\_ x Height \_\_\_\_\_
3. Footing Size: \_\_\_\_\_ Total #: \_\_\_\_\_ (including stairs)
4. Post Spacing: \_\_\_\_\_
5. Beam Size ( ) \_\_\_\_\_ x \_\_\_\_\_
6. Post Base/Cap Connectors:  YES  NO
7. Ledger Size: \_\_\_\_\_  
*By Chris Berger at 7:26 pm, Jun 27, 2024*
8. Joists \_\_\_\_\_ x \_\_\_\_\_ @ \_\_\_\_\_ o.c.
9. Deck Boards:  V  
(\*Provide current Code \_\_\_\_\_)
10. Guardrails:  W  
(\*Provide current Code \_\_\_\_\_)

**REVIEWED**  
*By Chris Berger at 7:26 pm, Jun 27, 2024*

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