



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: November 8, 2024

MEMORANDUM

TO: Rabbiah Sabbakhan, Director
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1073734 - Accessory Structure

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the July 10, 2024 HPC meeting; and revisions to the front stairs were approved by HPC Staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

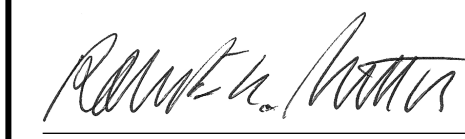
Applicant: Catherine Forster & James Clark
Address: 7213 Cedar Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301-563-3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



MUNICIPAL STAMPS

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 4:30 pm, Jul 16, 2024

FULCHER RESIDENCE FRONT PORCH RENOVATION

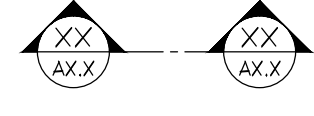
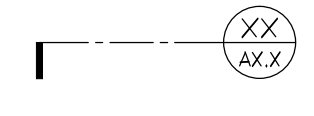
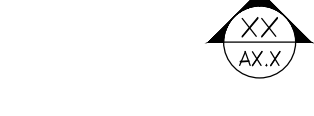

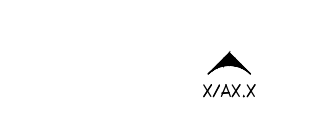






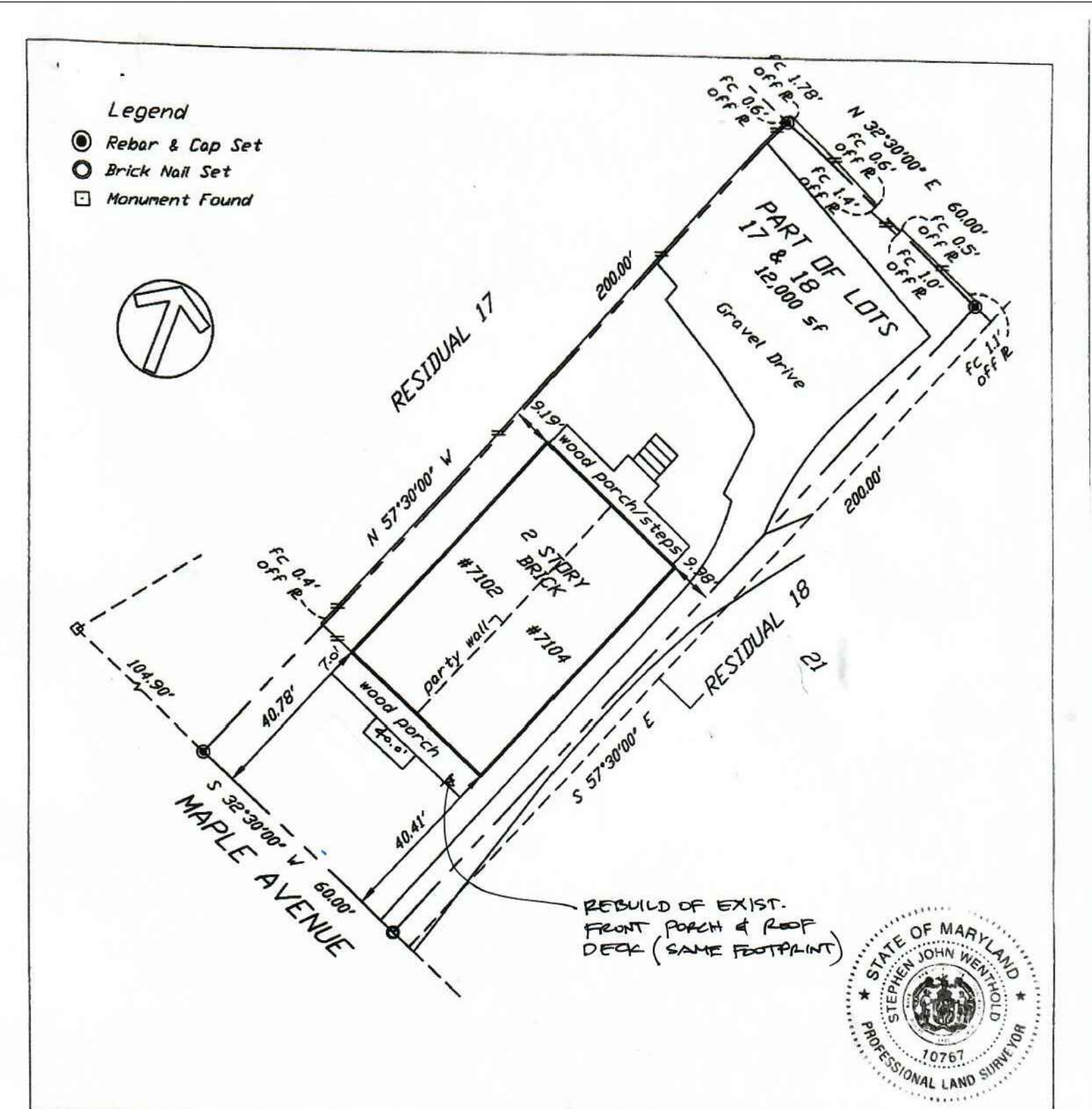
7102/7104 MAPLE AVENUE | TAKOMA PARK, MD 20912

SAUL ARCHITECTS
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
www.saularchitects.com

REVISIONS

**FULCHER RESIDENCE
FRONT PORCH RENOVATION**

7102/7104 MAPLE AVENUE | TAKOMA PARK, MD 20912
DO NOT SCALE THESE DRAWINGS. THE ORIGINAL SET OF DRAWINGS IS A COPY OF ANOTHER SET. THESE COPIES ARE NOT VALID. ANY CHANGES TO THESE DRAWINGS MUST BE MADE TO THE ORIGINAL SET. ANY CHANGES TO THESE DRAWINGS MUST BE MADE TO THE ORIGINAL SET. ANY CHANGES TO THESE DRAWINGS MUST BE MADE TO THE ORIGINAL SET. BY ANY METHOD, IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED.

PROJECT TEAM	SHEET INDEX	GRAPHIC SYMBOLS	CODE ANALYSIS	SITE PLAN: 1" = 30'-0"				
<p>OWNERS: ROXANNE FULCHER 7102/7104 MAPLE AVENUE TAKOMA PARK, MD 20912 (301) 270-5151</p> <p>ARCHITECT: ERIC C. SAUL, RA SAUL ARCHITECTS 8114 CARROLL AVENUE TAKOMA PARK, MD 20912 (301) 270-0395</p>	<p>ARCHITECTURAL</p> <p>CS COVER SHEET</p> <p>A1 EXISTING/DEMO AND PROPOSED FLOOR PLANS</p> <p>A2 EXTERIOR ELEVATIONS</p> <p>A3 BUILDING SECTION AND DETAILS</p> <p>S1 FRAMING PLANS AND STRUCTURAL NOTES</p>	<p> SECTION CALLOUT SHEET NUMBER</p> <p> DETAIL CALLOUT SHEET NUMBER</p> <p> ELEVATION CALLOUT SHEET NUMBER</p> <p> DETAIL NUMBER SHEET NUMBER</p> <p> INTERIOR ELEVATION SHEET NUMBER</p> <p> SPOT ELEVATION</p> <p> WINDOW IDENTIFIER</p> <p> DOOR IDENTIFIER</p> <p> FLOOR HEIGHT IDENTIFIER</p> <p> KEYNOTE</p> <p> REVISION INDICATOR</p>	<p>SCOPE OF WORK: TOTAL REBUILD OF EXISTING FRONT PORCH WITH ROOF DECK</p> <p>LOT: PART OF 17 AND 18 BLOCK: 12 SUBDIVISION: B.F. GILBERT'S SUBDIVISION</p> <p>CODE: IRC 2018 ZONE: R-60 CONSTRUCTION TYPE: 5B NO. OF STORIES: 2 PLUS BASEMENT SPRINKLERED: NO</p> <p>DESIGN CRITERIA: GROUND SNOW LOAD 30 PSF WIND SPEED 115 MPH SEISMIC DESIGN CATEGORY B WEATHERING SEVERE FROST DEPTH LINE 30 IN. TERMITE MODERATE TO HEAVY DECAY SLIGHT TO MODERATE WINTER DESIGN TEMP. 13° F ICE SHIELD UNDERLAYMENT REQ'D YES FLOOD HAZARDS JULY 2, 1979 AIR FREEZING INDEX 300 MEAN ANNUAL TEMP. 55° F</p> <p>ALLOWED HEIGHT: 30'-0" MEAN HEIGHT PROPOSED HEIGHT: UNCHANGED</p> <p>SETBACKS: FRONT YARD 25'-0" SIDE YARD 7'-0" REAR YARD 20'-0"</p> <p>LOT AREA CALCULATIONS: LOT SIZE 12,000.0 SQ. FT. (100.0%) MAX. LOT COVERAGE 4,200.0 SQ. FT. (35.0%) EXISTING COVERAGE 3,307.5 SQ. FT. (27.6%) PROPOSED COVERAGE 3,307.5 SQ. FT. (27.6%) INCREASED COVERAGE 0.0 SQ. FT. (0.0%)</p> <table border="1" data-bbox="1269 1420 1629 1498"> <tr> <td>ADDITIONAL LOT COVERAGE</td> <td>0.0 SQ. FT.</td> </tr> <tr> <td>FRONT PORCH ADDITION</td> <td>280 SQ. FT.</td> </tr> </table>	ADDITIONAL LOT COVERAGE	0.0 SQ. FT.	FRONT PORCH ADDITION	280 SQ. FT.	 <p>Legend</p> <ul style="list-style-type: none"> Rebar & Cap Set Brick Nail Set Monument Found <p>Surveyor's Certification My License expires on February 10, 2018 I hereby certify that the survey shown hereon is correct and that the location of the improvements shown hereon is correct and that there are no visible encroachments unless noted otherwise. Building restriction lines shown as per available information.</p> <p>Meridian Surveys MERIDIAN SURVEYS, INC. PO BOX 549 FREDERICK, MD 21705 (301) 721-9400</p> <p>BOUNDARY SURVEY PART OF LOTS 17 & 18 B.F. GILBERT'S SUBDIVISION OF TAKOMA PARK</p> <p>Date: 09-18-17 Scale: 1"=30' Dm: R.D. Plat Book: A NO TITLE REPORT FURNISHED Plat No.: 3 Work Order: 17-1430 Address: 7102 MAPLE AVENUE District: 13 Jurisdiction: MONTGOMERY COUNTY, MD</p>
ADDITIONAL LOT COVERAGE	0.0 SQ. FT.							
FRONT PORCH ADDITION	280 SQ. FT.							



PROFESSIONAL CERTIFICATION:
I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE JUNE 30, 2025

PROJECT NUMBER: 24010

PRINTING LOG

DATE	PURPOSE
07.15.24	PERMIT SET

COVER SHEET AND SITE PLAN

CS

MUNICIPAL STAMPS

APPROVED
Montgomery County
Historic Preservation Commission



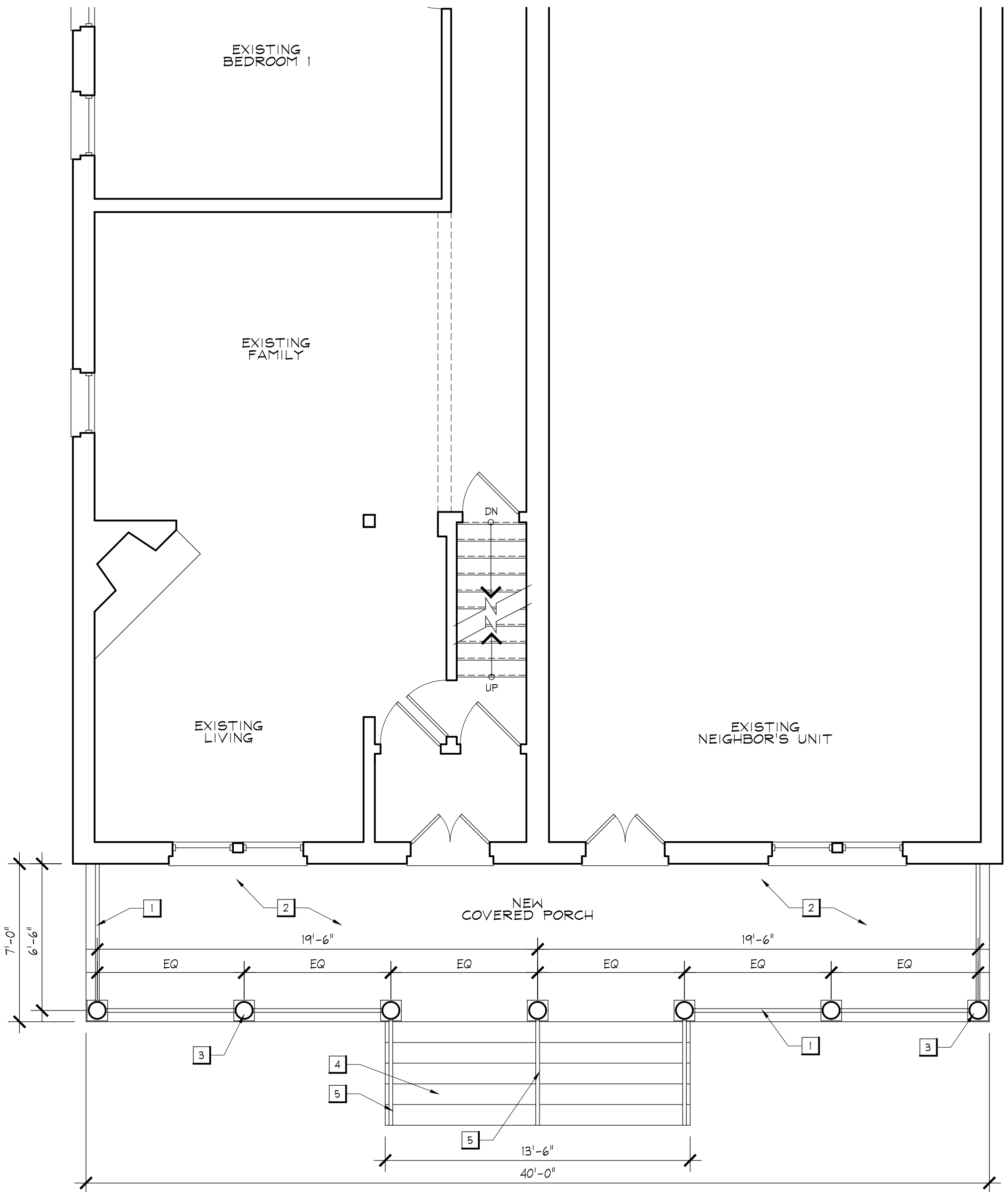
REVIEWED
By Dan.Bruechert at 4:30 pm, Jul 16, 2024

SAUL ARCHITECTS
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
www.saularchitects.com

REVISIONS

**FULCHER RESIDENCE
FRONT PORCH RENOVATION**
7102/7104 MAPLE AVENUE | TAKOMA PARK, MD 20912

DO NOT SCALE THE DRAWINGS. THE ORIGINAL SET OF DRAWINGS IS A COPY OF ANY SETS OF DRAWINGS. ANY USE OF THESE DRAWINGS FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SAUL ARCHITECTS IS PROHIBITED. BY ANY METHOD, IN WHOLE OR IN PART.



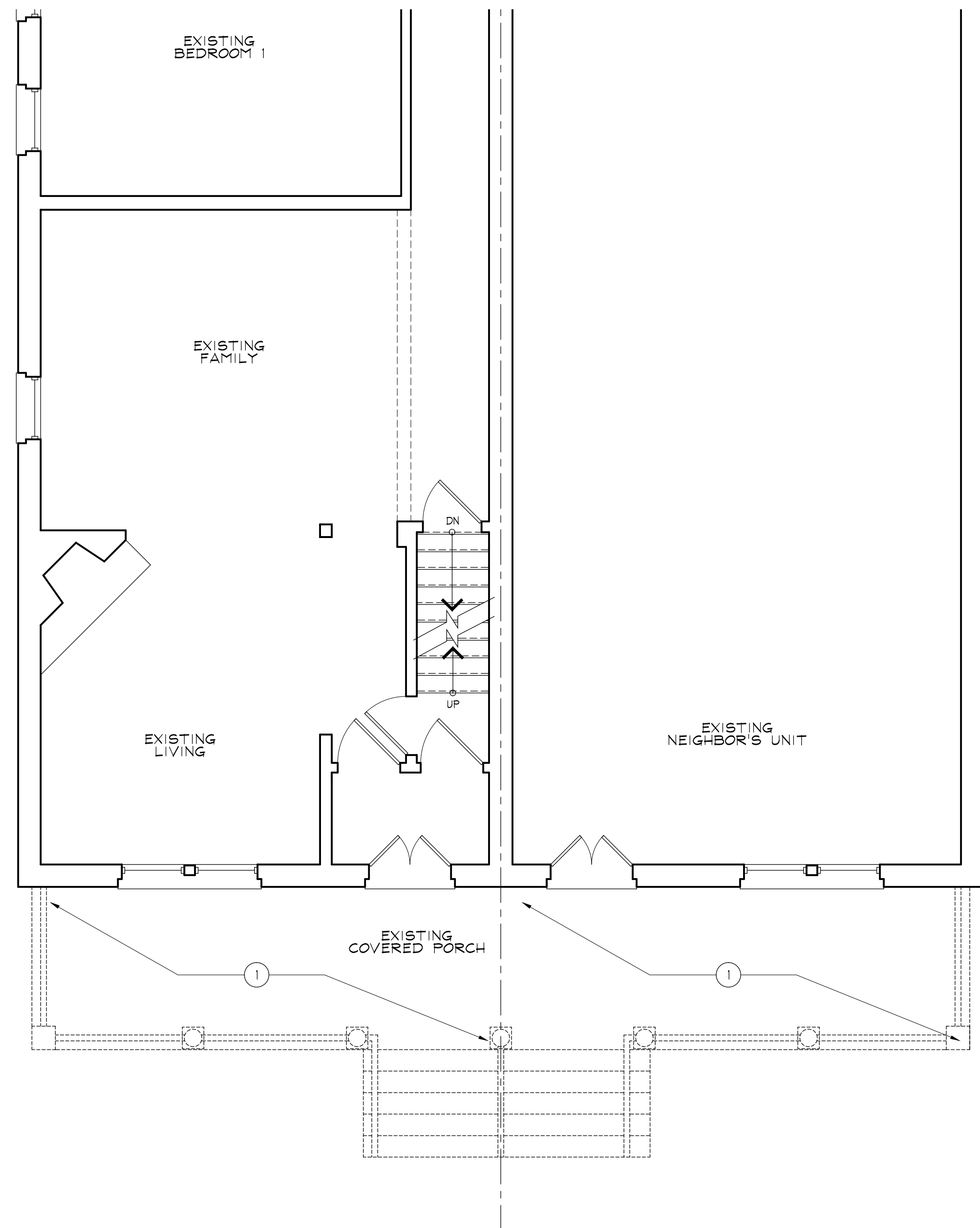
2 PROPOSED FIRST FLOOR PLAN
A1.1 1/4" = 1'-0"

FLOOR PLAN KEYNOTES:

- 1 NEW 36" HIGH DECK GUARDRAIL - SEE DETAIL
- 2 PT T&G DECKING BOARDS
- 3 NEW 9" DIA. X 9'-6" TALL DORIC STYLE FIBERGLASS COLUMN WRAP (6X6 PT POST INSIDE)
- 4 NEW STEPS PER CODE: MIN. 36" WIDTH; MAX. 7.75 RISER; MIN. 10 STAIR TREAD
- 5 MIN 36" TALL HANDRAIL

GENERAL NOTES:

- 1. ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
- 2. ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.
- 3. DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.



1 EXISTING/DEMO BASEMENT PLAN
A1 1/4" = 1'-0"

DEMOLITION KEYNOTES:

- 1 COMPLETE DEMO OF EXISTING PORCH AND ROOF DECK INCLUDING FOUNDATIONS, FRAMING, AND STEPS.

GENERAL DEMO NOTES

- 1. DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
- 2. EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
- 3. SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
- 4. EXISTING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
- 5. ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
- 6. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.

FLOOR PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW INT. 2X4 STUD WALL, U.N.O.
	NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
	NEW EXTERIOR 2X6 STUD WALL; R-20 MIN. INSULATION
	NEW 8" CONC. MASONRY WALL
	NEW BRICK MASONRY WALL OR PIER
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED
	CEILING HEIGHT INDICATOR



PROFESSIONAL CERTIFICATION:
I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE: JUNE 30, 2025.

PROJECT NUMBER: 24010

PRINTING LOG

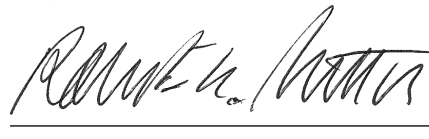
DATE	PURPOSE
07.15.24	PERMIT SET

EXISTING/DEMO FLOOR PLANS

A1

MUNICIPAL STAMPS

APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan.Bruechert at 4:30 pm, Jul 16, 2024

ELEVATION KEYNOTES:

- 1 NEW WOOD TRIM BOARDS - PT'D
- 2 PREFINISHED ALUM. GUTTER - MATCH EXIST.
- 3 NEW 9" DIA. X 9'-6" TALL DORIC STYLE FIBERGLASS COLUMNS
- 4 NEW 36" HIGH WOOD RAILING - SEE DETAILS
- 5 NEW MASONRY PIER
- 6 NEW PT HEAVY DUTY LATTICE WITH 1X4 PT FRAME

SAUL ARCHITECTS
 8114 CARROLL AVENUE | TAKOMA PARK, MD 20912

P: 301.270.0395
 info@saularchitects.com
 www.saularchitects.com

REVISIONS

**FULCHER RESIDENCE
 FRONT PORCH RENOVATION**

7102/7104 MAPLE AVENUE | TAKOMA PARK, MD 20912
DO NOT SCALE THESE DRAWINGS. THE ORIGINAL SET OF DRAWINGS IS A COPY OF ANY OTHER SET OF DRAWINGS. ANY USE OF THESE DRAWINGS FOR ANY OTHER PROJECT OR SITE ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER. ANY REUSE BY ANY METHOD, IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED.



PROFESSIONAL CERTIFICATION:
 I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE JUNE 30, 2025.

PROJECT NUMBER: 24010

PRINTING LOG	
DATE	PURPOSE
07.15.24	PERMIT SET

EXTERIOR ELEVATIONS

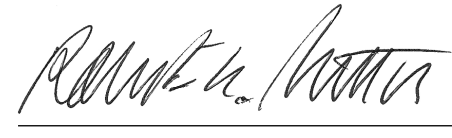
A2



2 EXISTING FRONT ELEVATION
 A2 1/4" = 1'-0"

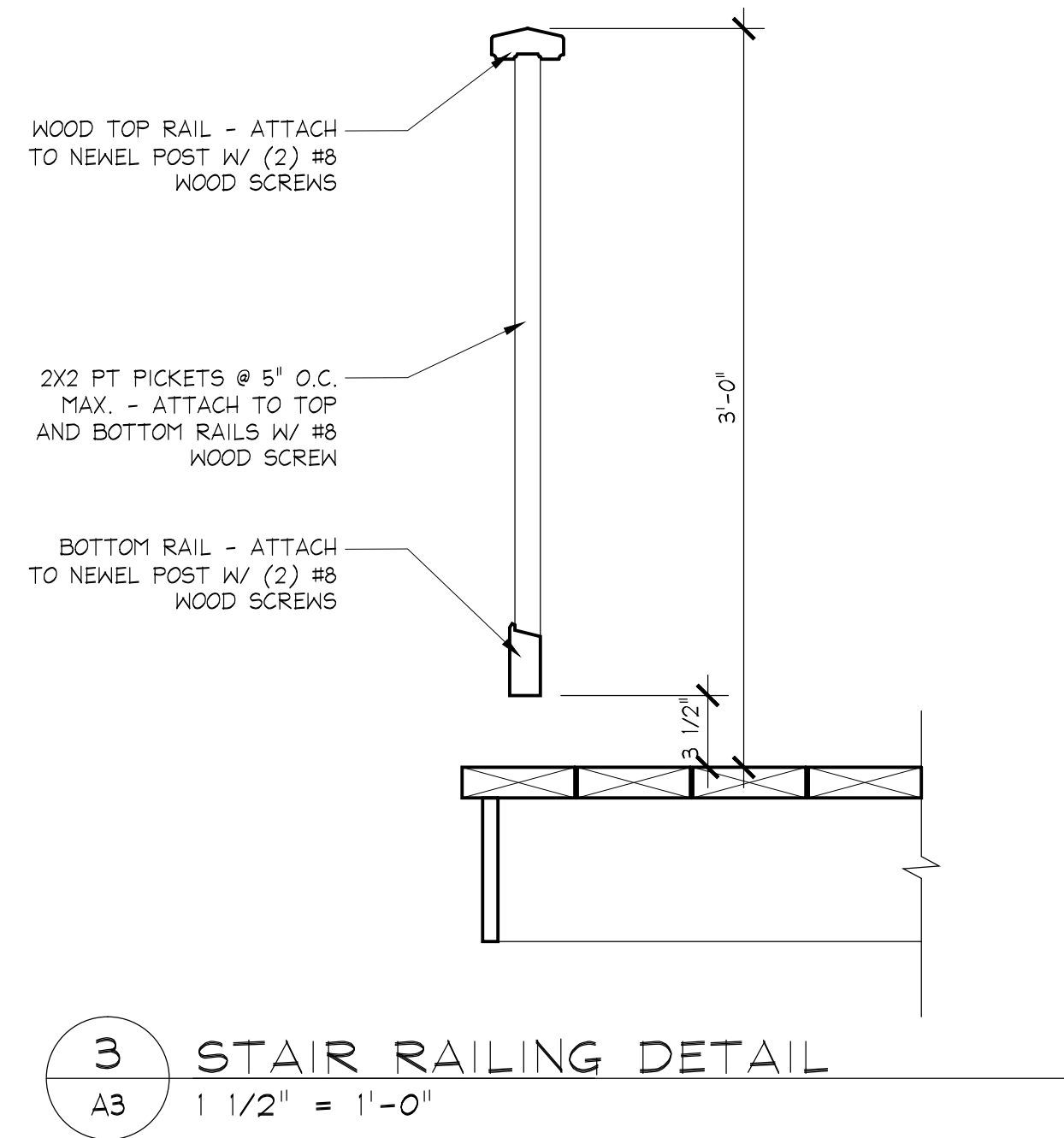


1 PROPOSED FRONT ELEVATION
 A2 1/4" = 1'-0"

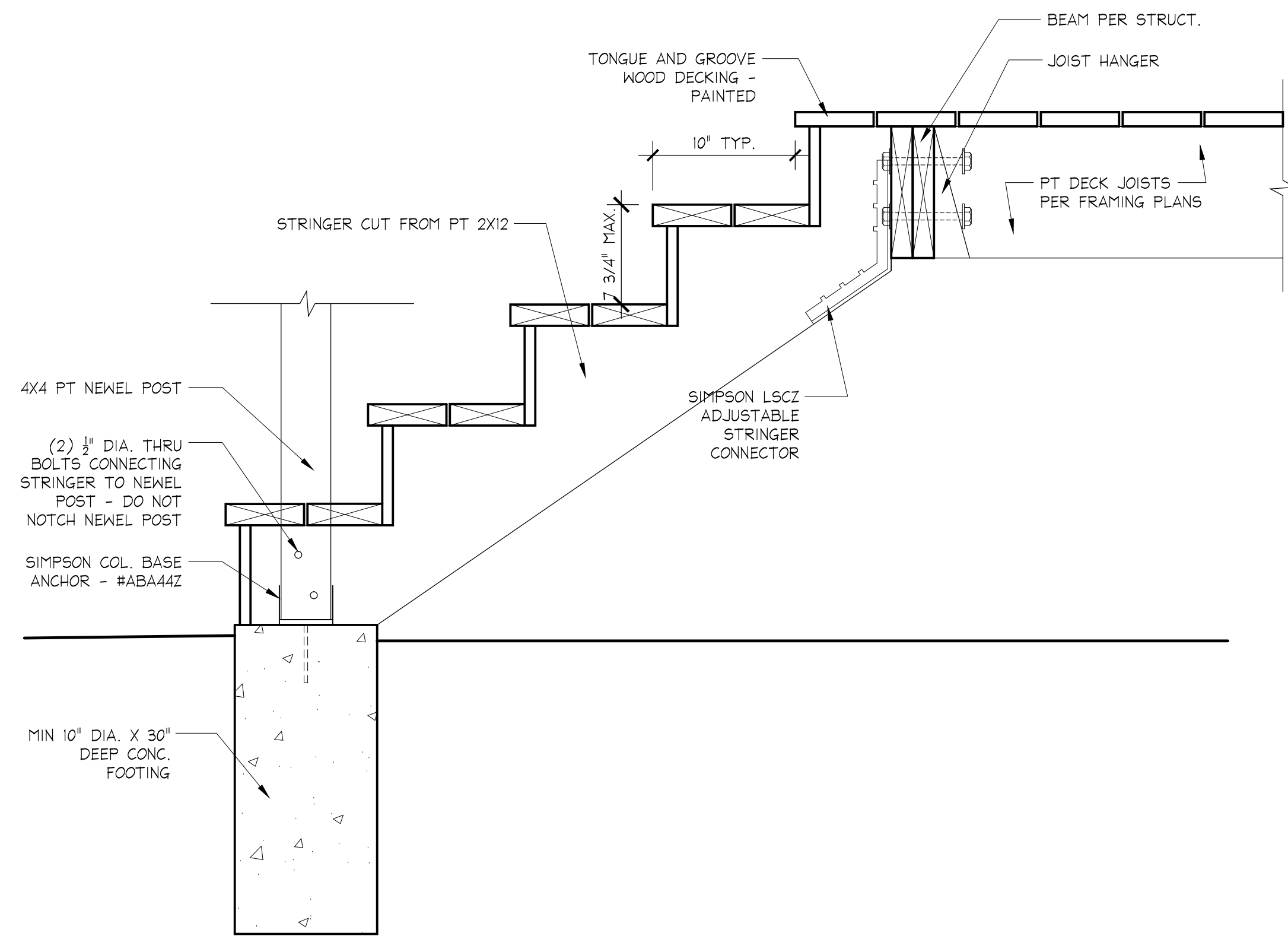


REVIEWED
By Dan.Bruechert at 4:30 pm, Jul 16, 2024

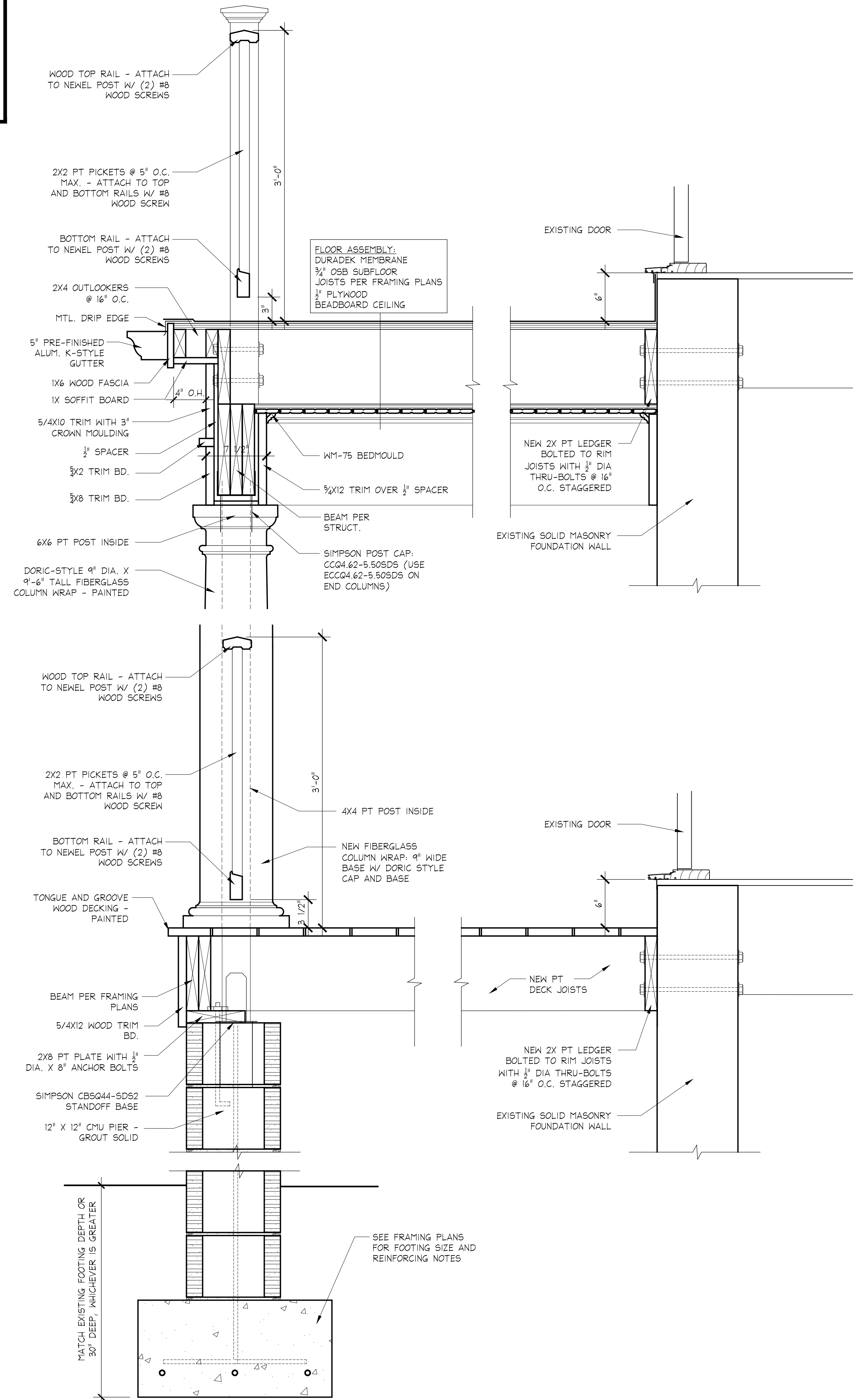
MUNICIPAL STAMPS



3 STAIR RAILING DETAIL
A3 1 1/2" = 1'-0"



2 PORCH STAIR SECTION DETAIL
A3 1 1/2" = 1'-0"



1 SECTION DETAIL @ FRONT PORCH/ROOF DECK
A3 3/8" = 1'-0"

REVISIONS

**FULCHER RESIDENCE
FRONT PORCH RENOVATION**
7102/7104 MAPLE AVENUE | TAKOMA PARK, MD 20912
DO NOT SCALE THE DRAWINGS. THE ORIGINAL SET OF THESE DRAWINGS IS THE ONLY SET OF DRAWINGS TO BE USED FOR CONSTRUCTION. ANY CHANGES OR REVISIONS TO THESE DRAWINGS MUST BE APPROVED BY SAUL ARCHITECTS IN WRITING. ANY UNAUTHORIZED CHANGES OR REVISIONS TO THESE DRAWINGS ARE PROHIBITED. BY ANY METHOD, IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED.



PROFESSIONAL CERTIFICATION:
I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE JUNE 30, 2025

PROJECT NUMBER: 24010

PRINTING LOG

DATE	PURPOSE
07.15.24	PERMIT SET

PORCH DETAILS

MUNICIPAL STAMPS

STRUCTURAL NOTES:

- USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.
- LOADS- LIVE -FLOOR RESIDENTIAL - 40PSF; ROOF - 30 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE 1
- FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL. EXISTING FOUNDATIONS ARE ADEQUATE FOR NEW LOADS
- CONCRETE - 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS. CONC. FOUNDATION WALL REINFORCEMENT: #4 BARS @ 24" O.C. HORIZ. AND VERTICAL - EMBED 8" INTO FOOTING.
- FRAMING LUMBER SHALL BE STRUCTURAL GRADE, DOUGLAS FIR #2 OR STRONGER, F_b = 1200 PSI MINIMUM. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S F_b=2650PSI, E=1,911,911 PSI
- BRACED WALL PANELS (BWP): 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R801.11.
- CONC. BLOCK REINFORCEMENT: USE 9 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. - NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
- STRUCTURAL STEEL SHALL BE ASTM A-36. USE AISC STANDARDS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.

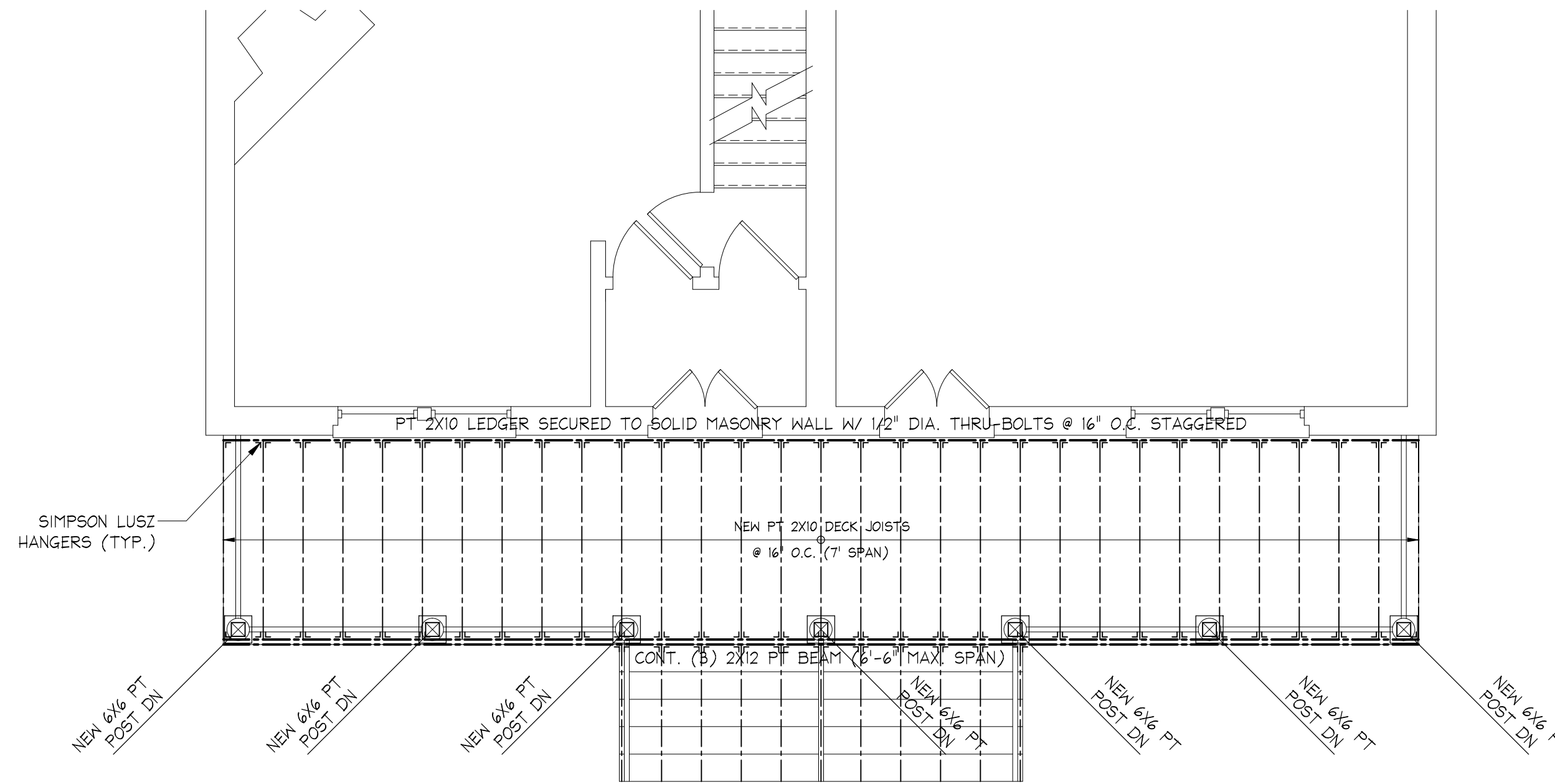
SAUL ARCHITECTS
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
www.saularchitects.com

REVISIONS

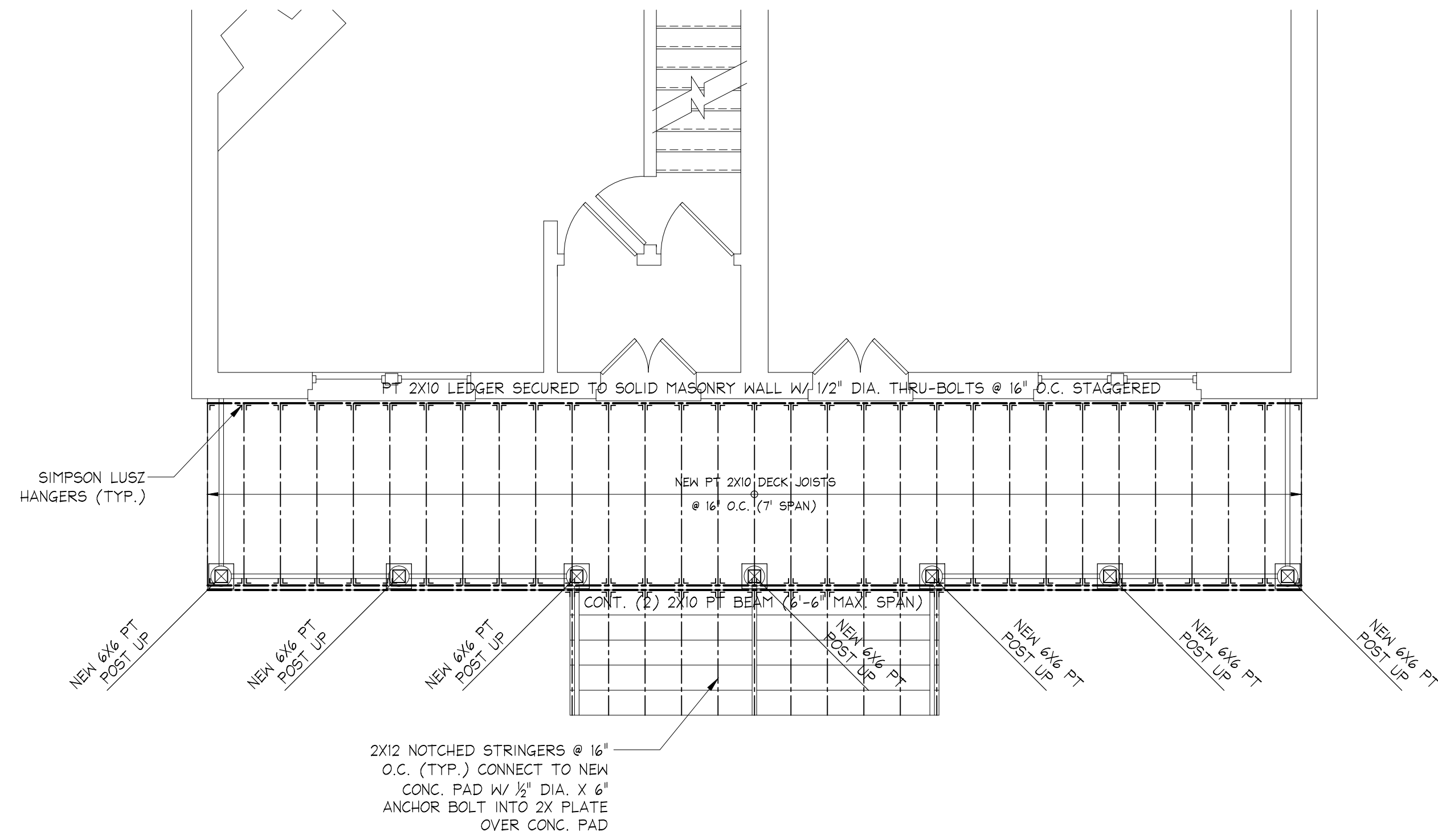
**FULCHER RESIDENCE
FRONT PORCH RENOVATION**
7102/7104 MAPLE AVENUE | TAKOMA PARK, MD 20912
DO NOT SCALE THE DRAWINGS. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY CHANGES TO THE DRAWINGS SHALL BE MADE BY A CORRECTED INSTRUMENT SET. ANY USE OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF SAUL ARCHITECTS IS PROHIBITED. BY ANY METHOD, IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

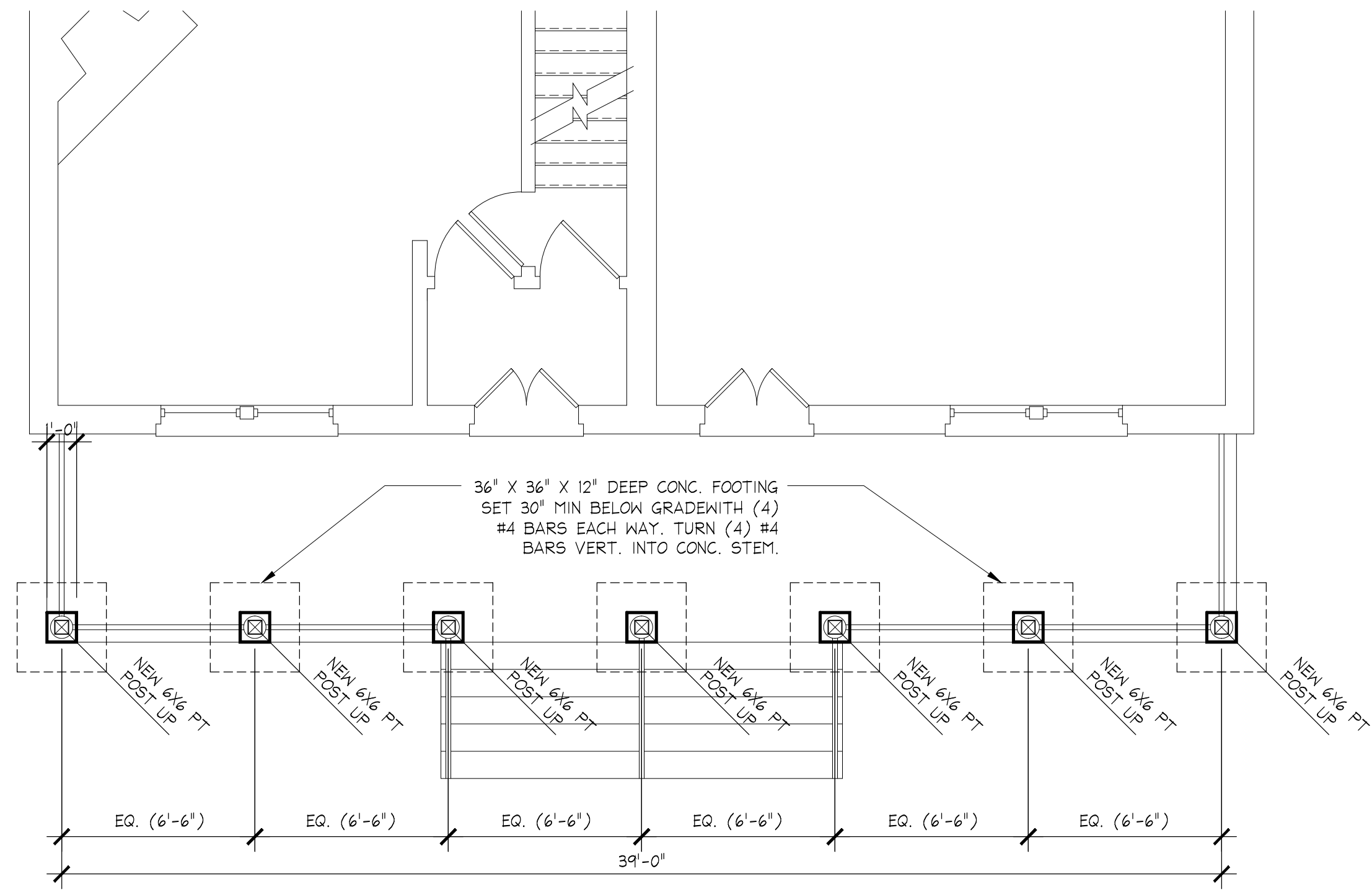
REVIEWED
By Dan.Bruechert at 4:31 pm, Jul 16, 2024



3 SECOND FLOOR DECK FRAMING PLAN
SI 1/4" = 1'-0"



2 FIRST FLOOR DECK FRAMING PLAN
SI 1/4" = 1'-0"



1 FOUNDATION PLAN
SI 1/4" = 1'-0"

PROJECT NUMBER: 24010

PRINTING LOG	
DATE	PURPOSE
07.15.24	PERMIT SET

STRUCTURAL PLANS

S1



HISTORIC PRESERVATION COMMISSION

HAWP #: _____ at: _____

submitted on: _____

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

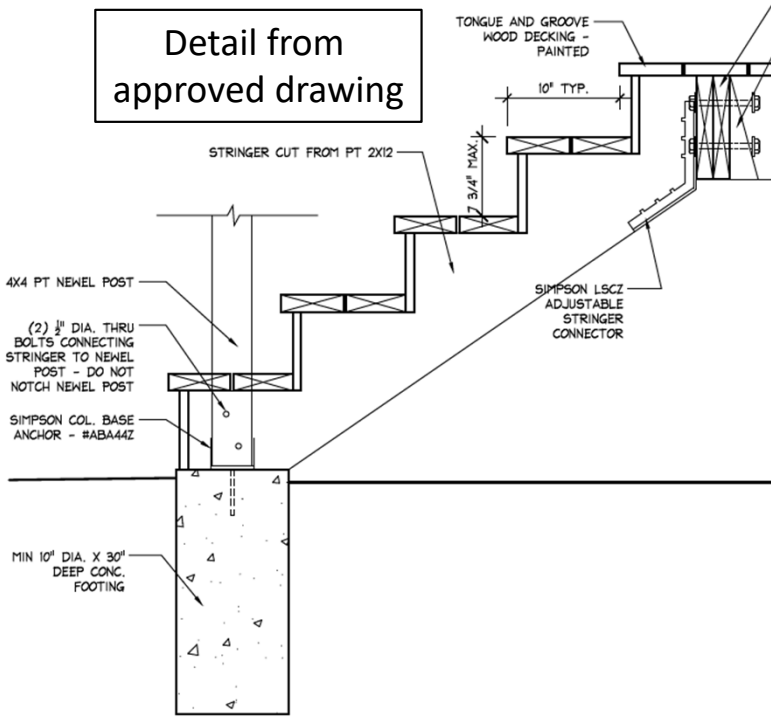
Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by J. Brueckert on _____. The approval memo and stamped drawings follow.

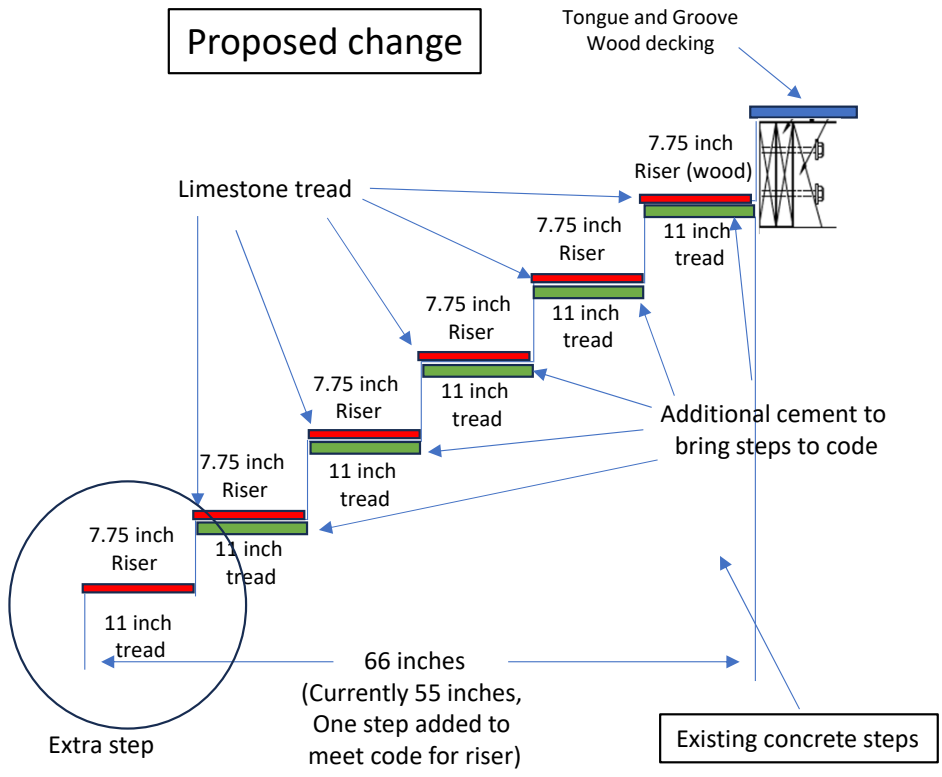
7102 Maple Ave Steps

Detail from approved drawing



2 PORCH STAIR SECTION DETAIL
A3 1 1/2" = 1'-0"

Proposed change



APPROVED
Montgomery County
Historic Preservation Commission

Robert A. [Signature]

REVIEWED
By Dan.Bruechert at 10:28 am, Nov 08, 2024