



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
County Executive

Robert K. Sutton  
Chairman

Date: July 12, 2024

### MEMORANDUM

TO: Rabbiah Sabbakhan, Director  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1074329 - Egress Window & Rear Deck Alteration

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the July 10, 2024 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Jessica & Eli Williams-Szenes  
Address: 7120 Maple Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301-563-3408 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



# 2327 WILLIAMS-SZENES REMODEL

7120 Maple Ave, Takoma Park, MD 20912 - Project # 2327

## PROJECT DESCRIPTION

KITCHEN REMODEL AND NEW REAR SCREEN PORCH.

## BENNETT FRANK MCCARTHY

architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755  
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

### SPECIFICATIONS

### ZONING SITE PLAN

SCALE: 1/8" = 1'-0"

#### SITE PLAN SUMMARY- LOT COVERAGE

DESCRIPTION	AREA (SF)	PERCENTAGE (%)
TOTAL LOT AREA	6125 SF	100.0%
EXISTING LOT COVERAGE	1177 SF	19.2%
---FOOTPRINT OF EXISTING HOUSE	624.0 SF	10.2%
---EXISTING COVERED FRONT PORCH	165.0 SF	2.7%
---EXISTING REAR EXTENSION	288.0 SF	4.7%
---EXISTING OUTBUILDINGS	48.0 SF	0.8%
PROPOSED INCREASE	174.0 SF	2.8%
---SCREEN PORCH ADDITION	174.0 SF	2.8%
---	0.0 SF	0.0%
---	0.0 SF	0.0%
---	0.0 SF	0.0%
---	0.0 SF	0.0%
PROPOSED LOT COVERAGE	1351.0 SF	22.1%

#### BUILDING FLOOR AREA - STORIES

LEVEL	EX. AREA	ALTERED AREA	NEW AREA	TOTAL AREA
BASEMENT	624 SF	0 SF	0 SF	624 SF
FIRST	263 SF	313 SF	174 SF	1177 SF
SECOND	263 SF	0 SF	0 SF	263 SF
TOTALS	1645 SF	313 SF	174.0 SF	2732.0 SF

#### BUILDING HEIGHT (ABOVE AVERAGE FRONT GRADE)

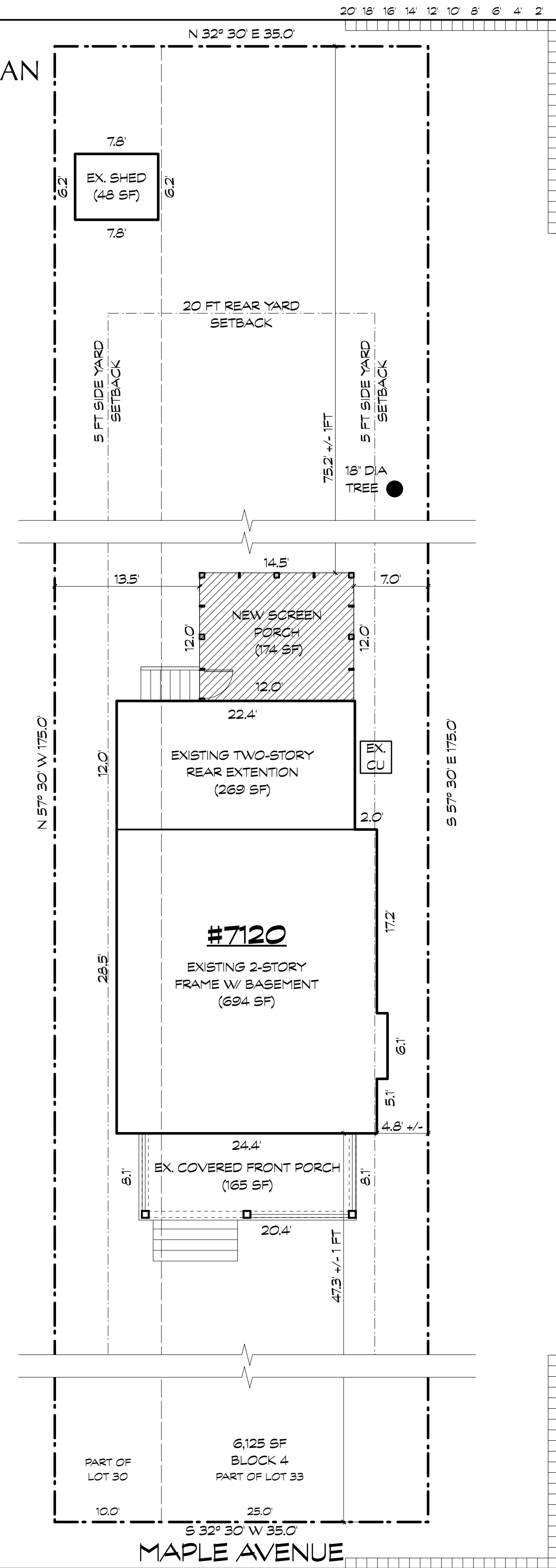
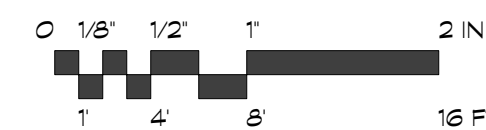
EDGE	EXISTING	ADDITION
ROOF	25'-8 1/4"	
MEAN	24'-4 3/4"	
EAVE	20'-1 1/4"	

SITE PLAN BASED ON BOUNDARY SURVEY BY SURVEYORS DATED , AND FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.

LOT P30, BLOCK 4  
PLAT BOOK A, PAGE 3  
TAKOMA PARK  
MONTGOMERY COUNTY, MD  
SUBDIVISION B.F. GILBERT  
ZONE: R-60

#### ZONING SITE PLAN LEGEND

WOOD FENCE	--- --- --- ---
SETBACK LINE	-----
PROPERTY LINE	-----
EXISTING FOOTPRINT	▭
FIRST FLOOR ADDITION	▨



#### OWNER

Jessican & Eli Williams-Szenes  
7120 Maple Ave  
Takoma Park, MD 20912 (347) 601-7715

#### STRUCTURAL ENGINEER

Robert Wixson, APAC Engineering, Inc  
8555 16th St, Suite 200  
Silver Spring, MD 20910 (301) 565-0543

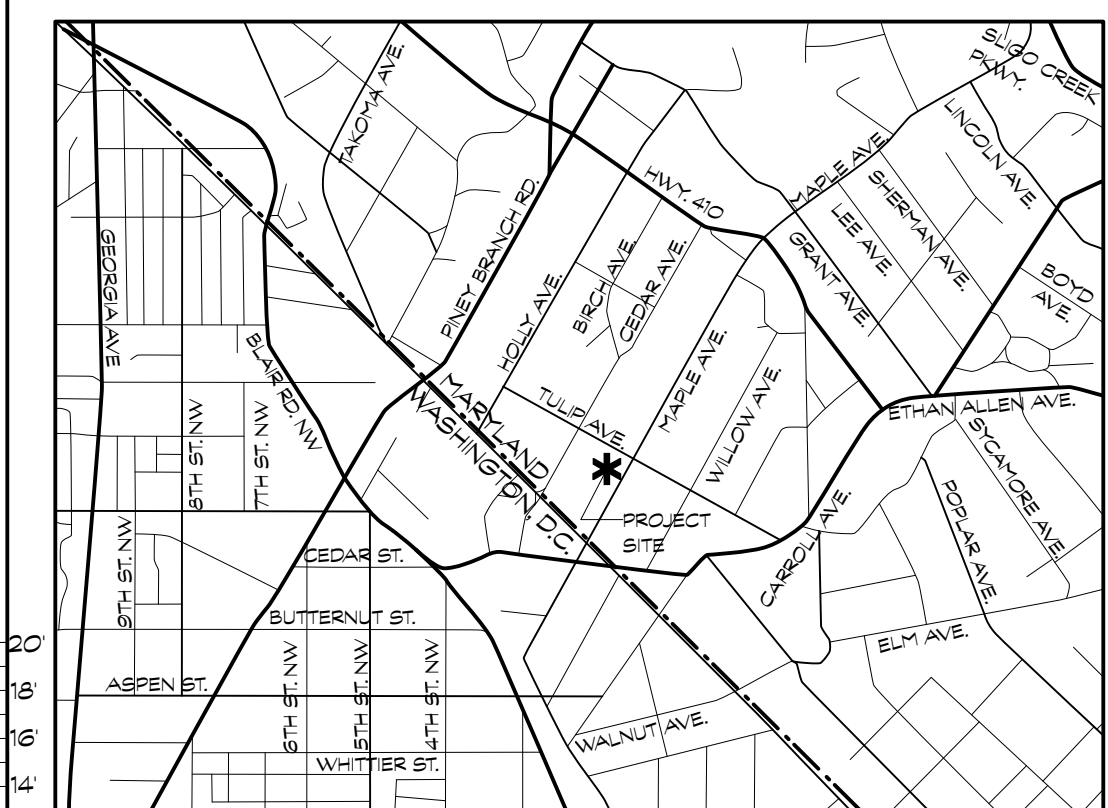
#### MECHANICAL CONSULTANT

Gallant Mechanical  
13001 Cleveland Drive  
Rockville, Maryland 20850 (240) 750-4988

#### DRAWING LIST

REV.	SHEET	TITLE
	0000	COVER SHEET
	D100	DEMOLITION PLANS
	D200	DEMOLITION ELEVATIONS
	A100	FLOOR PLANS
	A200	ELEVATIONS
	A300	BUILDING SECTIONS & DETAILS
	A301	WALL SECTIONS
	A400	INTERIOR ELEVATIONS
	S100	FOUNDATION & FIRST FLOOR FRAMING PLANS
	S101	ROOF FRAMING PLAN
	MPI00	MECHANICAL PLANS
	E100	ELECTRIC PLANS

#### VICINITY MAP



#### REVIEWED

By Dan.Bruechert at 4:08 pm, Jul 12, 2024

DATE	ISSUE
6/18/2024	PROGRESS SET

© 2024 Bennett Frank McCarthy Architects, Inc.

#### ABBREVIATIONS

AND	CONC	CONCRETE	ELEC	ELECTRICAL	LBW	LOAD BEARING WALL	OSB	ORIENTED STRAND BOARD	SPRK	SPRINKLER
AT	CONC	CONCRETE	EXP	EXPANSION	LVL	LAMINATED VENEER LUMBER	PLAM	PLASTIC LAMINATE	STL	STEEL
ABOVE	CONT	CONTINUOUS	EQ	EQUAL	MARB	MARBLE	PLYWD	PLYWOOD	TBD	TO BE DETERMINED
FINISHED FLOOR	D	DRYER	ETR	EXISTING TO REMAIN	MATL	MATERIAL	PT	PRESSURE TREATED	T&G	TONGUE AND GROOVE
APARTMENT	DH	DOUBLE HUNG	EX	EXISTING	MDO	MEDIUM DENSITY OVERLAY	PTD	PAINTED	TOS	TOP OF SLAB
BUILDING	DIA	DIAMETER	FF	FINISH FLOOR	MAX	MAXIMUM	R	RISER	UNO	UNLESS NOTED OTHERWISE
BASMENT	DN	DOWN	FIN	FINISH	MDO	MEDIUM DENSITY OVERLAY	REF	REFRIGERATOR	VIF	VERIFY IN FIELD
CONTROL JOINT	DR	DOOR	GA	GALVE	MIN	MINIMUM	RQD	REQUIRED	W	WASHER
CABINET	DS	DOWNSPOUT	GWB	GYPSUM WALL BOARD	MANU	MANUFACTURER	RM	ROOM	W	WITH
CENTER LINE	DTL	DETAIL	HB	HOSE BIB	MTL	METAL	SC	SOLID CORE	WC	TOILET / WATER CLOSET
CEILING	DW	DISHWASHER	HC	HOLLOW CORE	MECH	MECHANICAL	SHT	SHEET	WD	WOOD
CLEAR	DWG	DRAWING	HT	HEIGHT	NIC	NOT IN CONTRACT	SHR	SHOWER	W/O	WITHOUT
CONCRETE	EIFS	EXTERIOR INSULATION FINISHING SYSTEM	HDWR	HARDWARE	NTS	NOT TO SCALE	SHR	SHOWER	W/O	WITHOUT
MASONRY UNIT	ELEV	ELEVATION	JB	JUNCTION BOX	OC	ON CENTER	SIM	SIMILAR	W/O	WITHOUT
	EL	ELEVATION	LB	LOAD BEARING	OH	OPPOSITE HAND	SPEC	SPECIFICATION	W/W	WELDED WIRE MESH

#### SYMBOLS

⊕	CENTERLINE	⊗	DRAWING CALL-OUT: DRAWING NUMBER
①	DOOR TAG: DOOR REFERENCE (SEE DOOR SCHEDULE)	⊗	DRAWING CALL-OUT: SHEET REFERENCE
⊕	WINDOW TAG: WINDOW REFERENCE (SEE WINDOW SCHEDULE)	⊗	ELEVATION CALL-OUT: VIEW DIRECTION
⊕	WALL TAG: WALL TYPE REFERENCE (SEE WALL / PARTITION TYPES)	⊗	ELEVATION CALL-OUT: SHEET REFERENCE
		⊗	DRAWING CALL-OUT: SHEET REFERENCE
		⊗	DRAWING CALL-OUT: SHEET REFERENCE

#### ELEVATION MARKER

XXX-XX X'X"	ELEVATION
BENCHMARK	LOCATION REFERENCE
SPOT LOCATION	
DRAWING REFERENCE	
SECTION CUT LOCATION	
DRAWING REFERENCE	
SHEET REFERENCE	
DIRECTION OF VIEW	

#### PROJECT DATA

JURISDICTION:	MONTGOMERY COUNTY, MD
BUILDING CODE:	2018 IRC & MONTGOMERY COUNTY AMENDMENTS
BUILDING USE GROUP:	SINGLE-FAMILY, DETACHED
CONSTRUCTION TYPE:	5B - COMBUSTIBLE, UNPROTECTED
FIRE SUPPRESSION SYSTEM:	NA

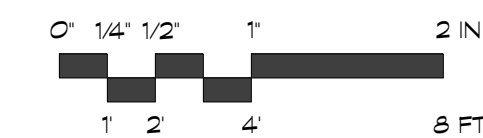
#### CERTIFICATION

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_

EXPIRATION DATE: \_\_\_\_\_

#2327 WILLIAMS-SZENES



**WALL LEGEND**

	EXISTING WALLS AND PARTITIONS TO REMAIN
	EXISTING WALLS AND PARTITIONS TO BE REMOVED
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS
	NEW CMU WALLS

- GENERAL NOTES:**
- DO NOT SCALE THE DRAWINGS
  - NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O)
  - EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O)

APPROVED  
Montgomery County  
Historic Preservation Commission

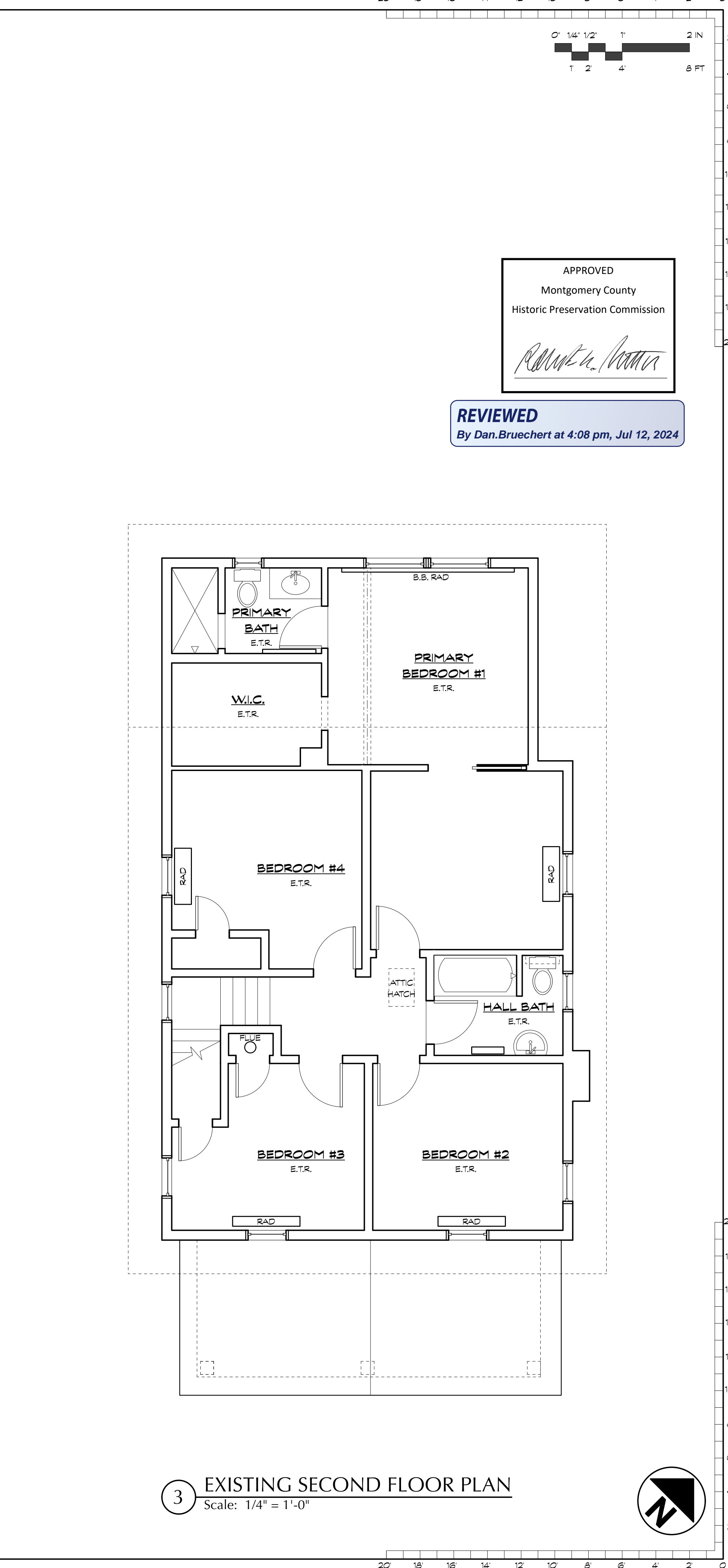
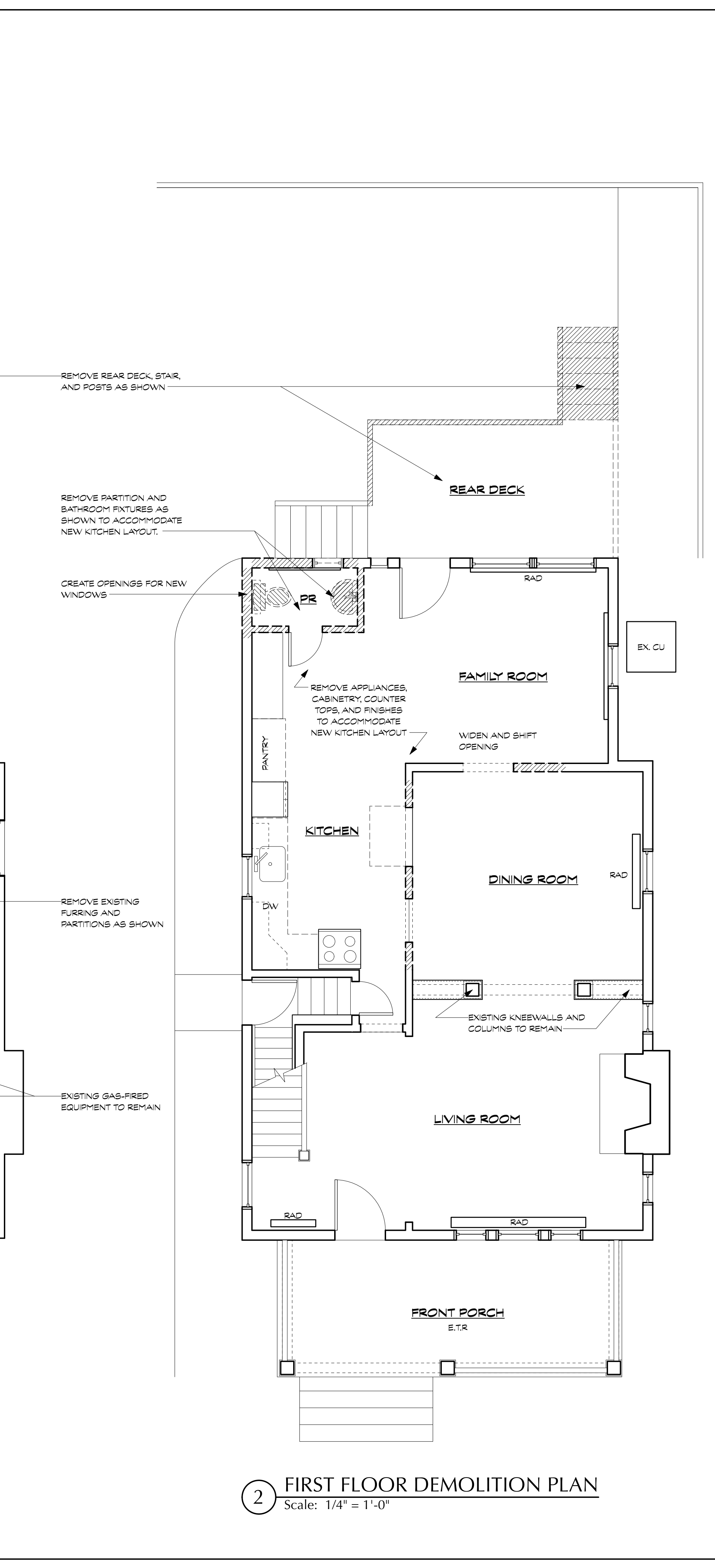
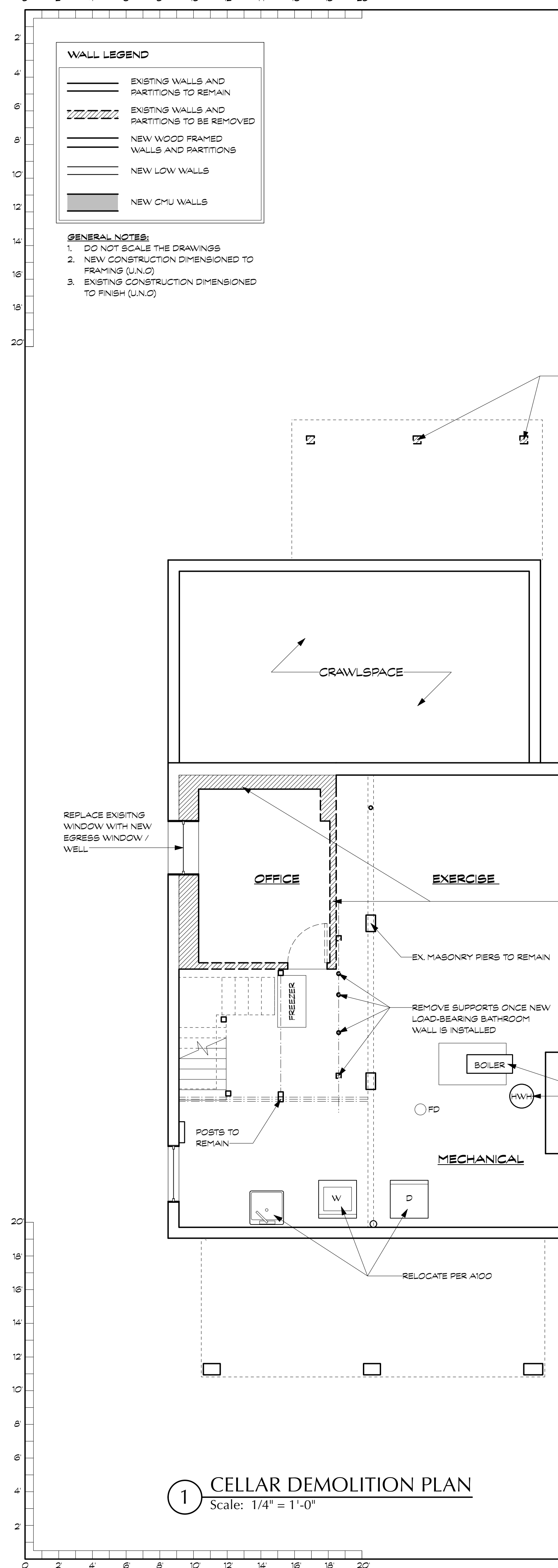
*[Signature]*

**REVIEWED**  
By Dan.Bruechert at 4:08 pm, Jul 12, 2024

DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

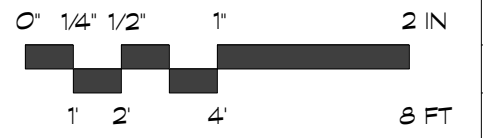
LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_



**WILLIAMS-SZENES REMODEL**  
7120 Maple Ave, Takoma Park, MD 20912  
Project # 2327

18 JUNE 2024 - PROGRESS

DEMOLITION PLANS  
**D100**

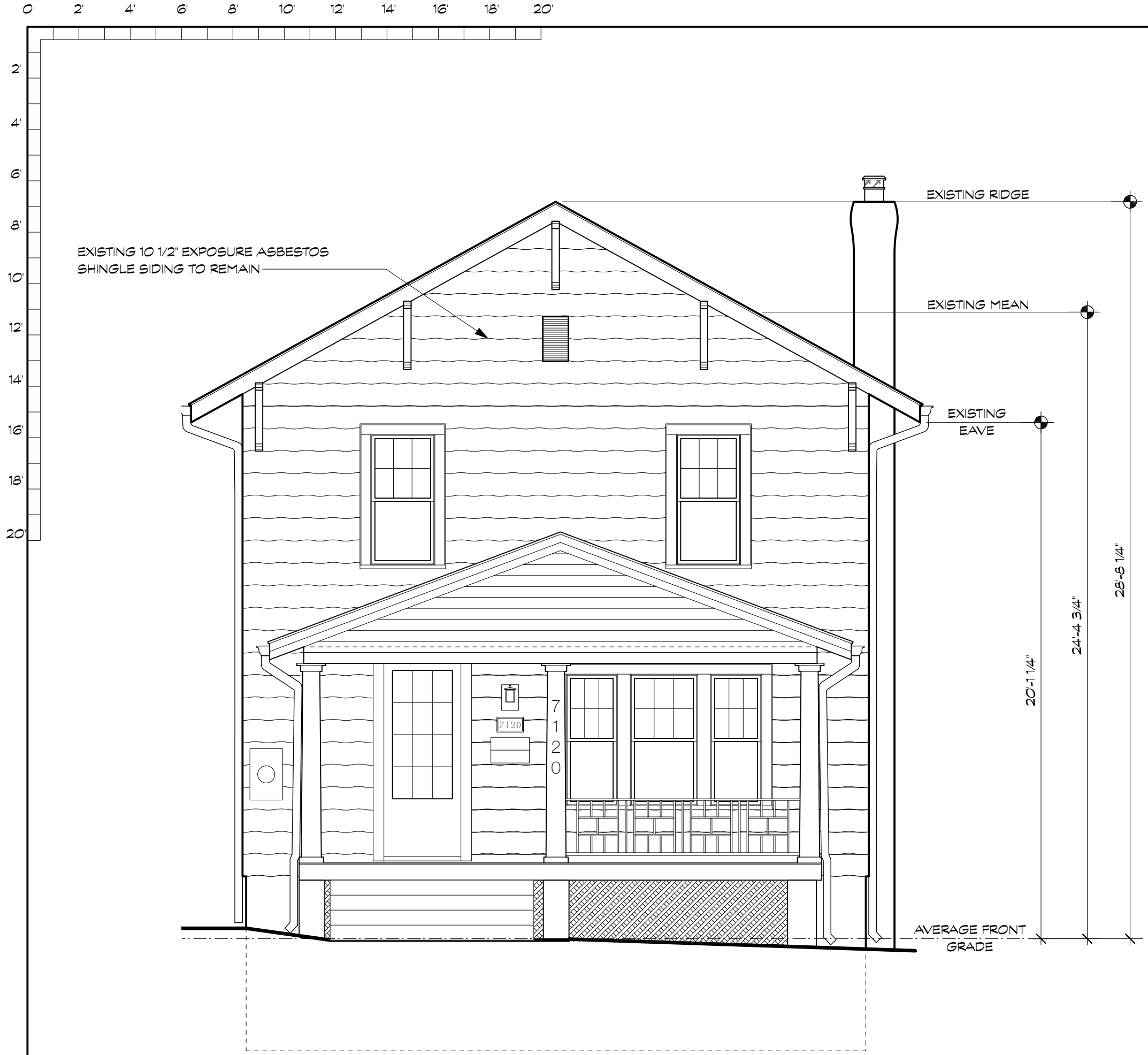


DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

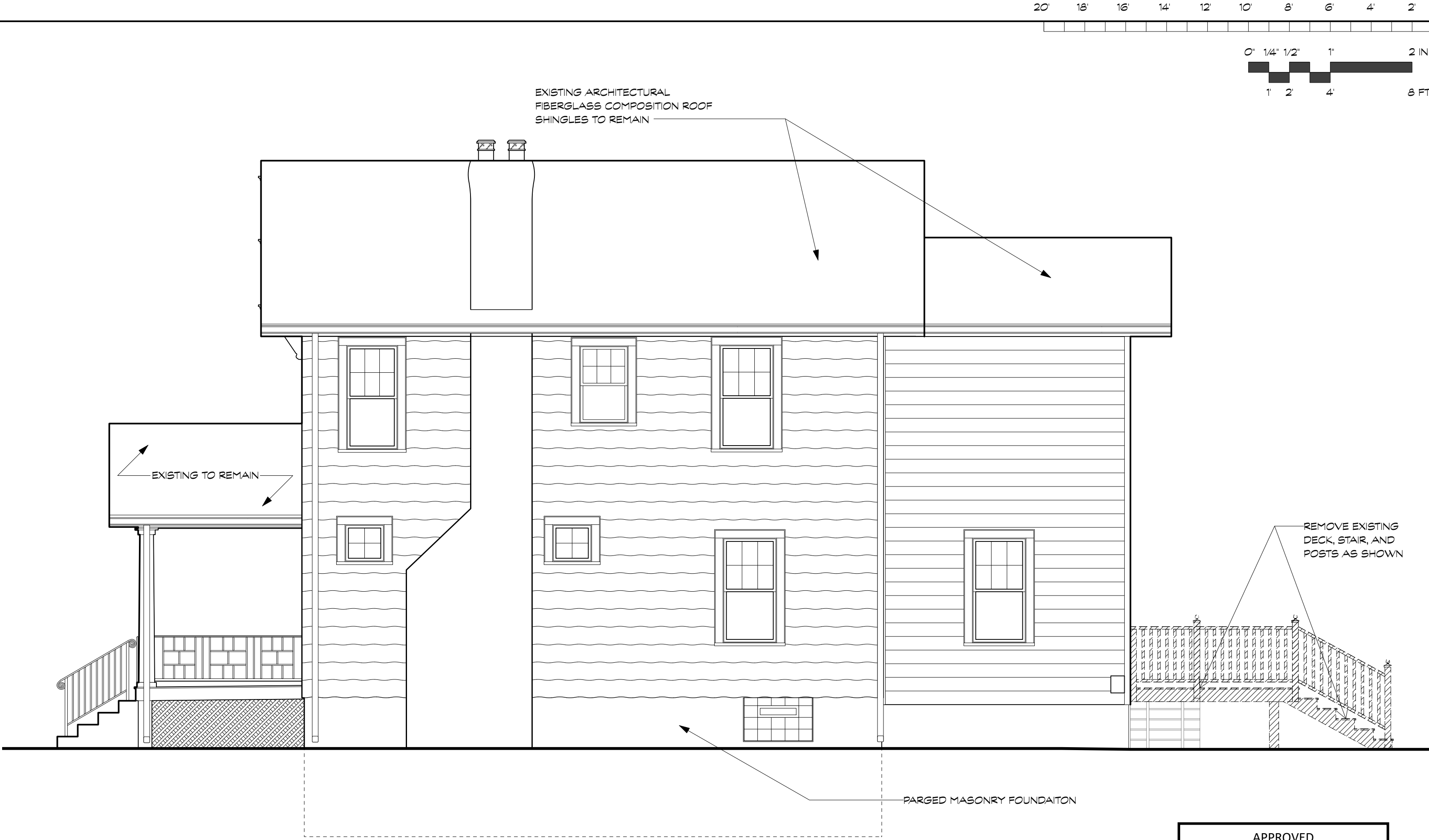
LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2024 Bennett Frank McCarthy Architects, Inc.



1 EXISTING FRONT ELEVATION

Scale: 1/4" = 1'-0"



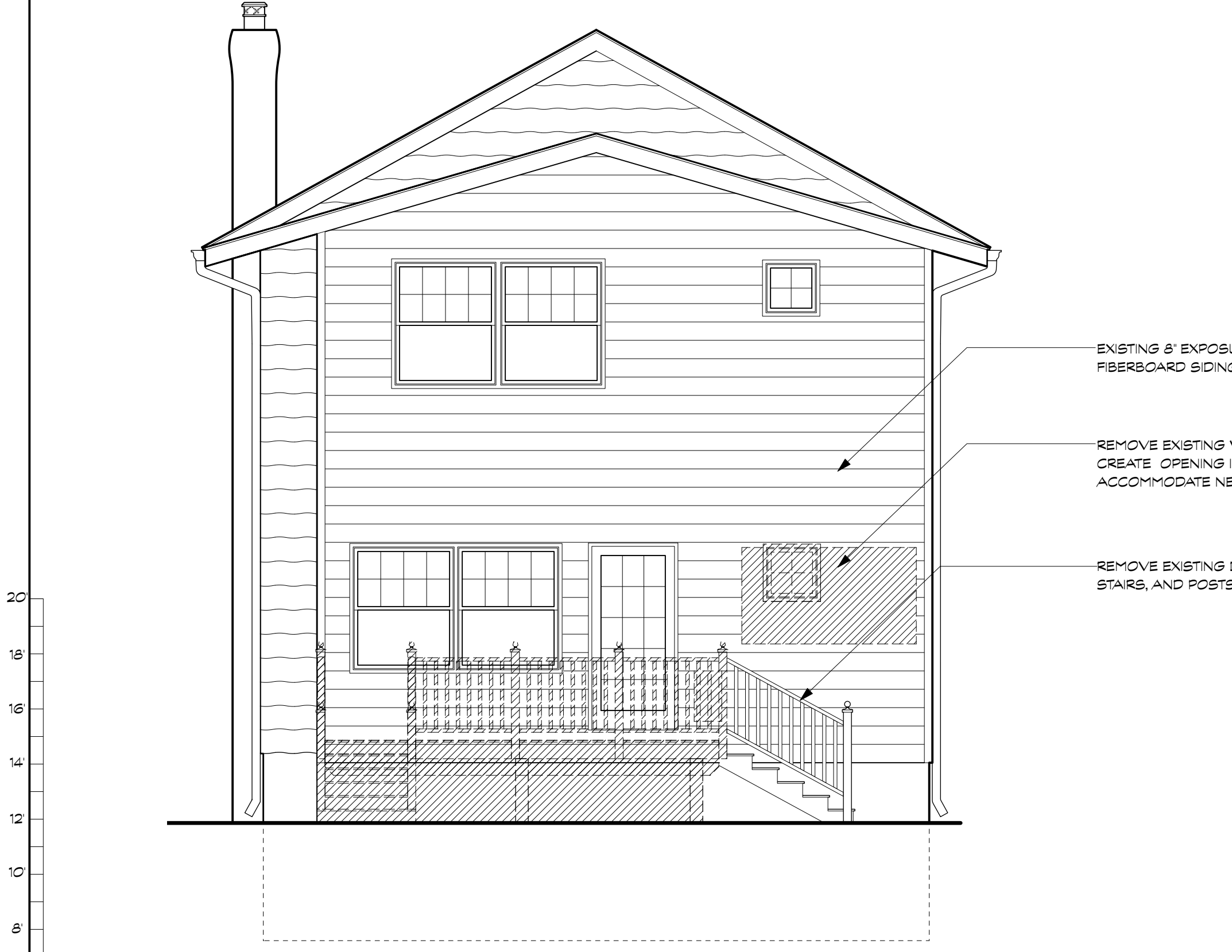
2 SIDE DEMOLITION ELEVATION

Scale: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

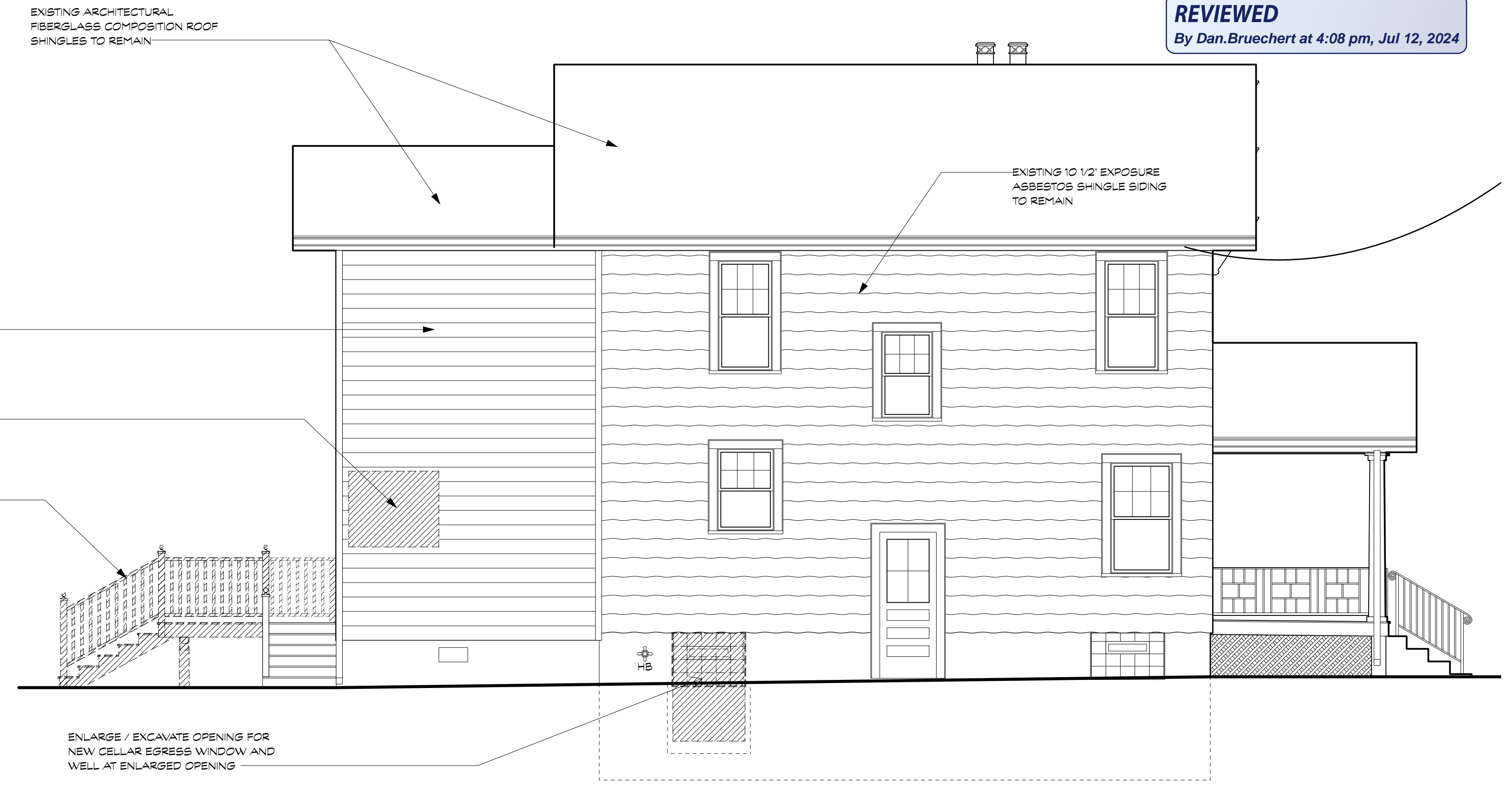
*[Signature]*

REVIEWED  
By Dan.Bruechert at 4:08 pm, Jul 12, 2024



3 REAR DEMOLITION ELEVATION

Scale: 1/4" = 1'-0"



4 SIDE DEMOLITION ELEVATION

Scale: 1/4" = 1'-0"

WILLIAMS-SZENES REMODEL

7120 Maple Ave, Takoma Park, MD 20912  
Project # 2327

18 JUNE 2024 - PROGRESS

DEMOLITION  
ELEVATIONS

**D200**

DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2024 Bennett Frank McCarthy Architects, Inc.

# WILLIAMS-SZENES REMODEL

7120 Maple Ave, Takoma Park, MD 20912  
Project # 2327

18 JUNE 2024 - PROGRESS

FLOOR PLANS

# A100

**WALL LEGEND**

- EXISTING WALLS AND PARTITIONS TO REMAIN
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
- NEW WOOD FRAMED WALLS AND PARTITIONS
- NEW LOW WALLS
- NEW CMU WALLS

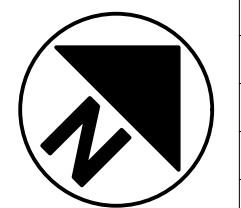
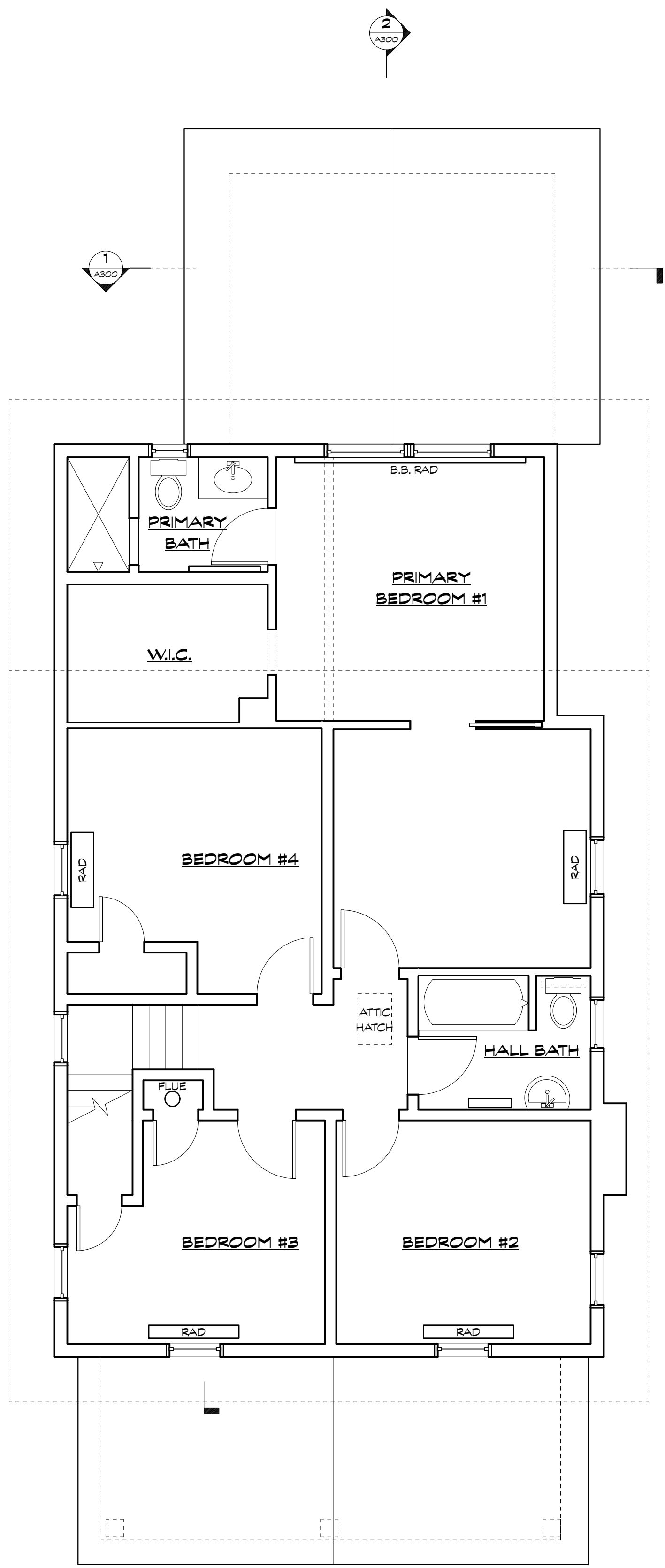
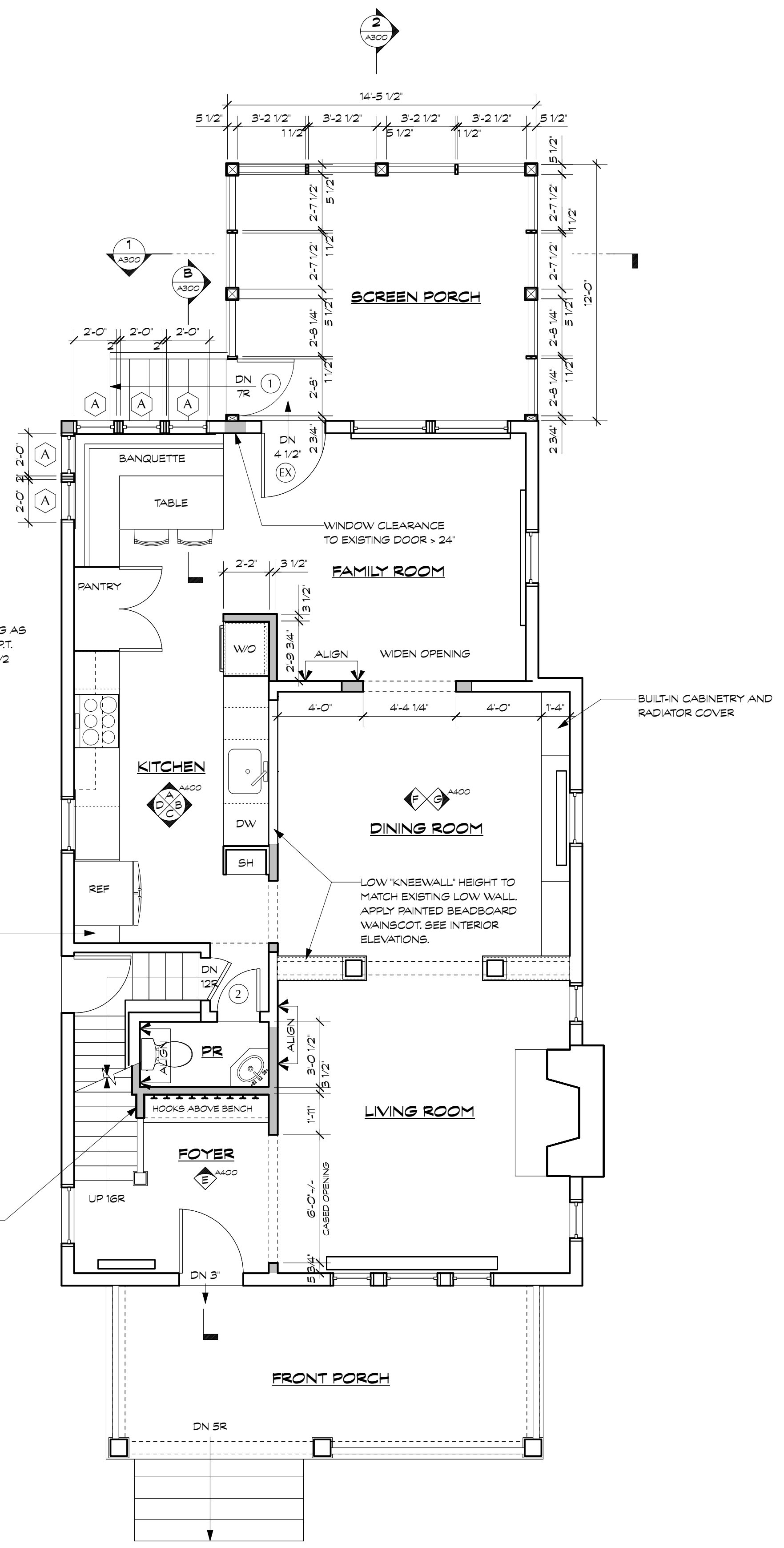
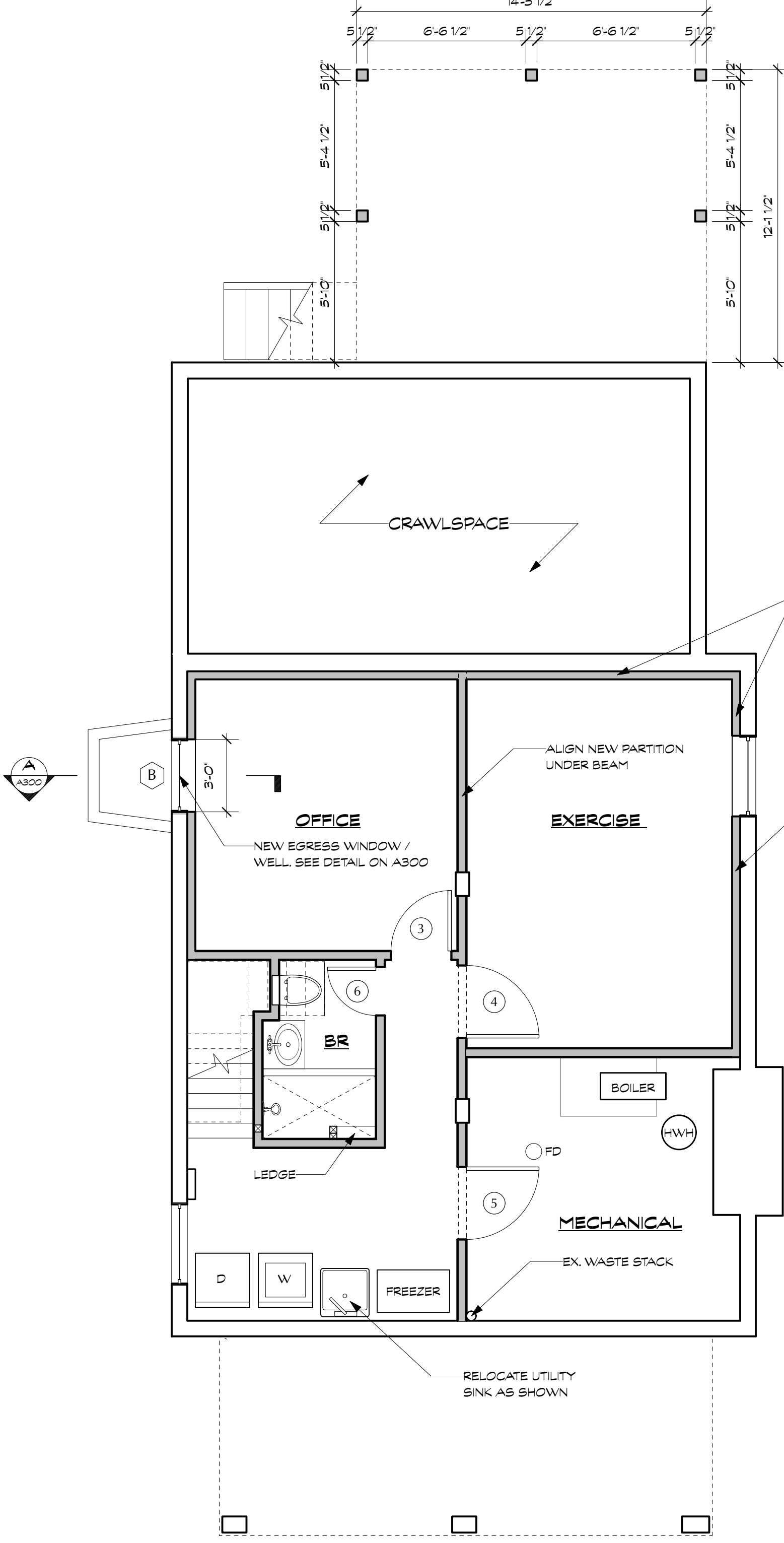
APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Dan.Bruechert at 4:08 pm, Jul 12, 2024

**GENERAL NOTES:**

- DO NOT SCALE THE DRAWINGS
- NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O)
- EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O)

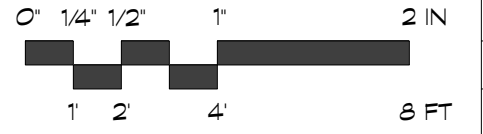


DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2024 Bennett Frank McCarthy Architects, Inc.



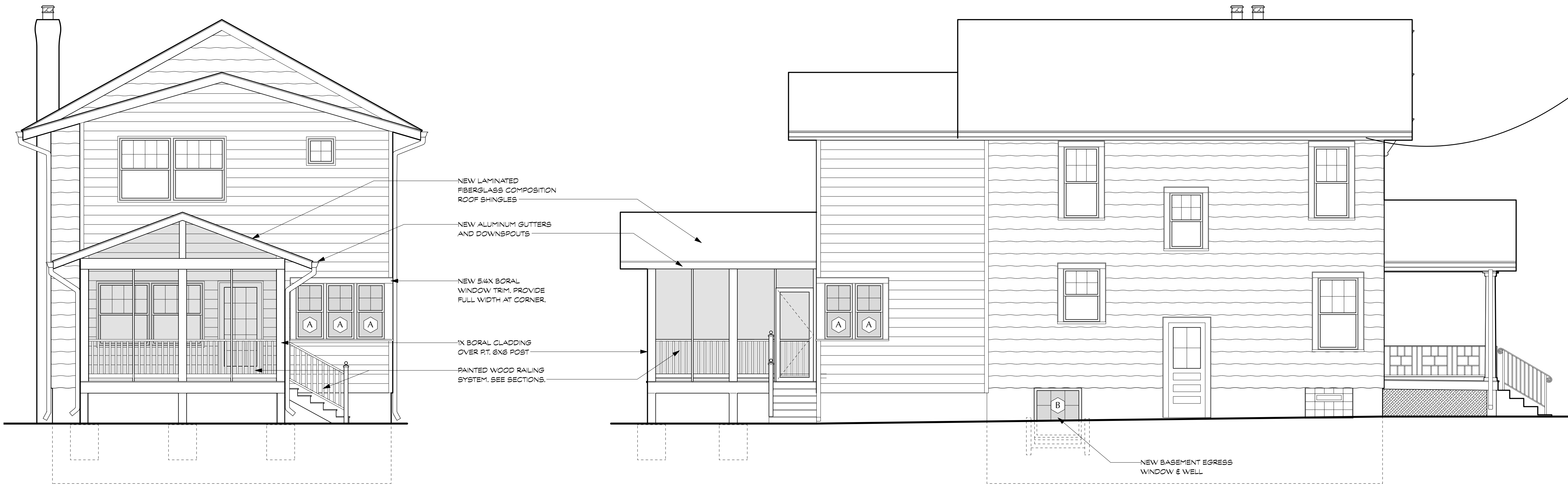
APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Dan.Bruechert at 4:08 pm, Jul 12, 2024



1 SCHEMATIC SIDE ELEVATION  
Scale: 1/4" = 1'-0"



2 SCHEMATIC REAR ELEVATION  
Scale: 1/4" = 1'-0"

3 SCHEMATIC SIDE ELEVATION  
Scale: 1/4" = 1'-0"

**WILLIAMS-SZENES REMODEL**  
7120 Maple Ave, Takoma Park, MD 20912  
Project # 2327

ELEVATIONS  
**A200**

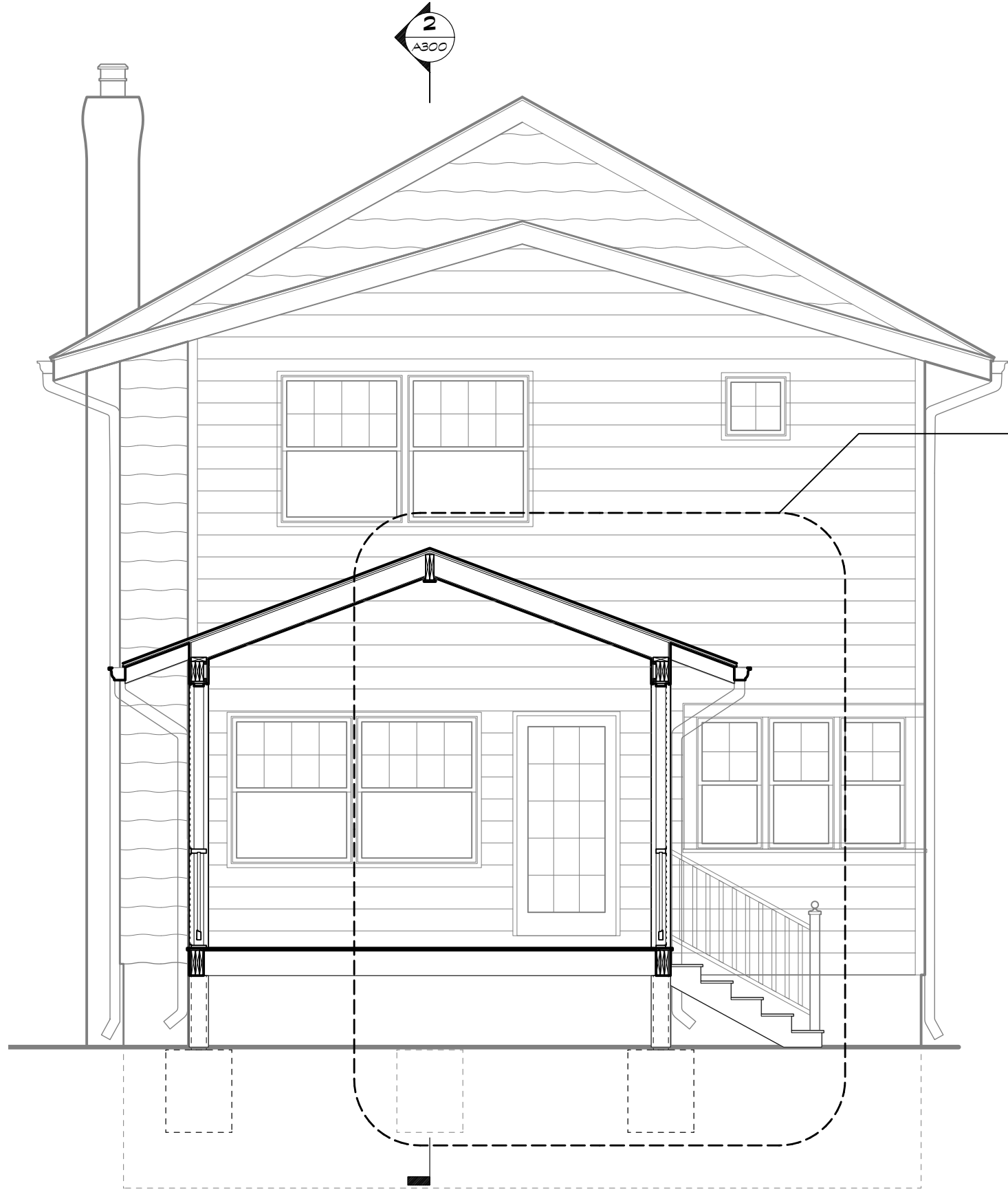
18 JUNE 2024 - PROGRESS

DATE	ISSUE - REMARKS

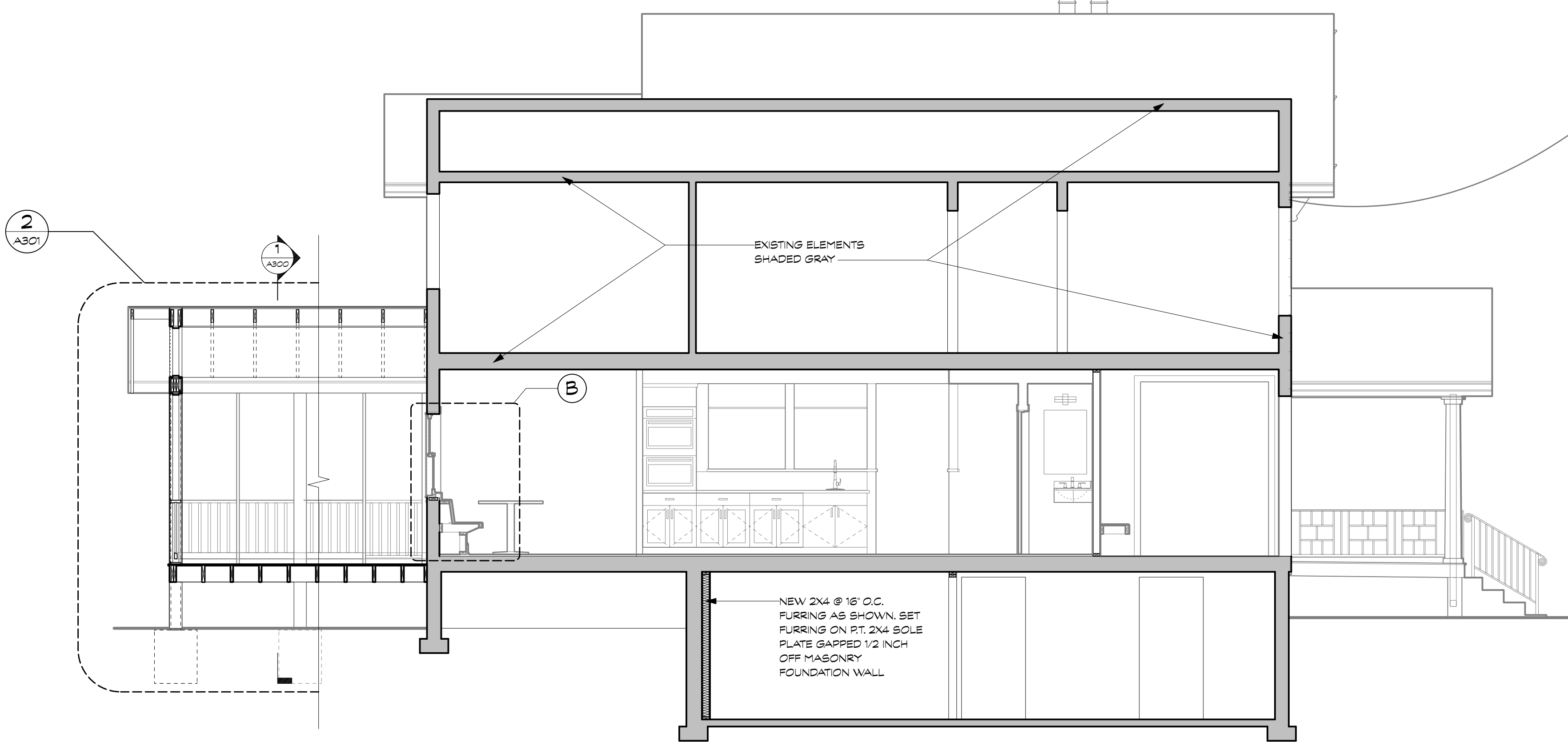
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

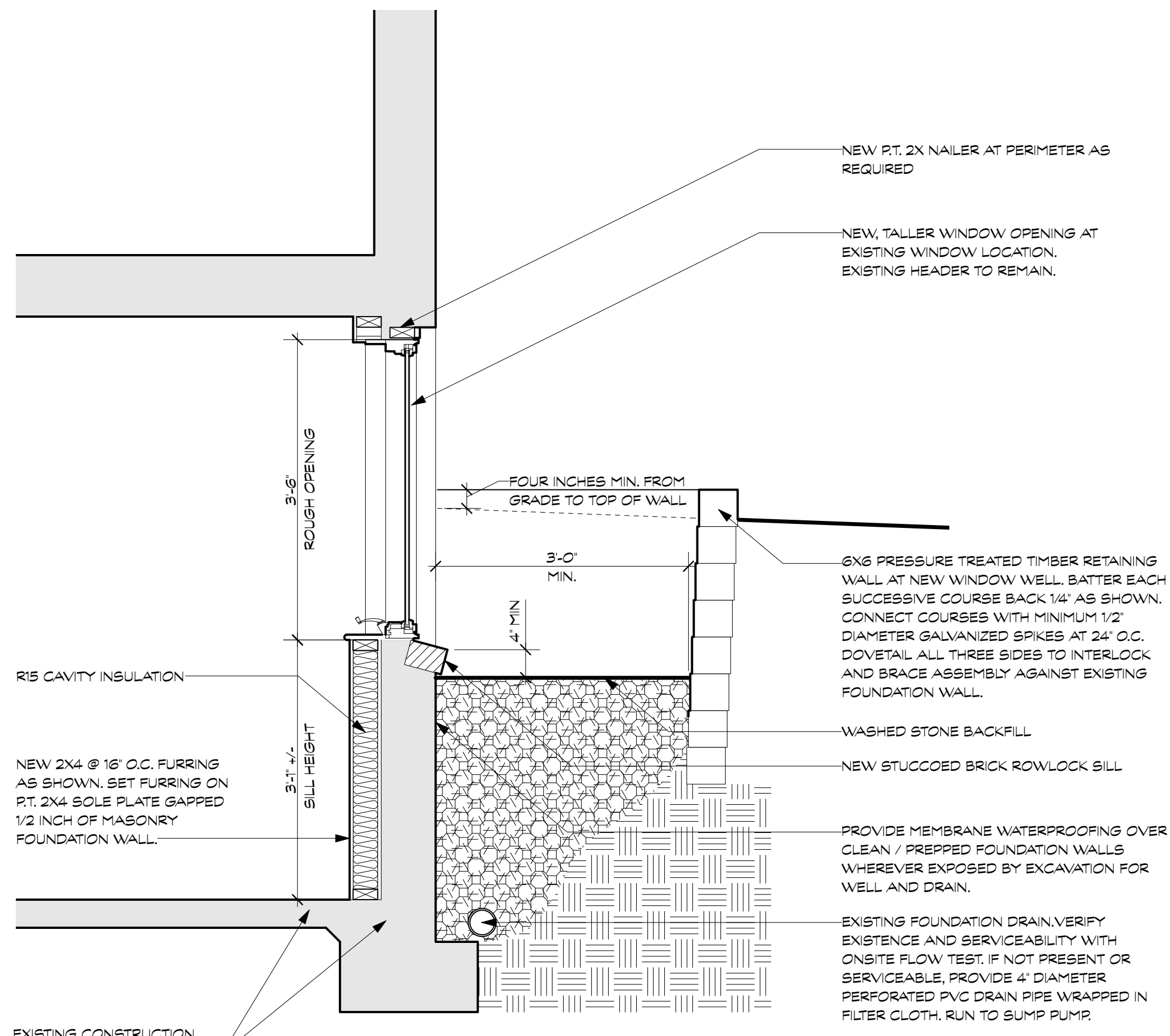
© 2024 Bennett Frank McCarthy Architects, Inc.



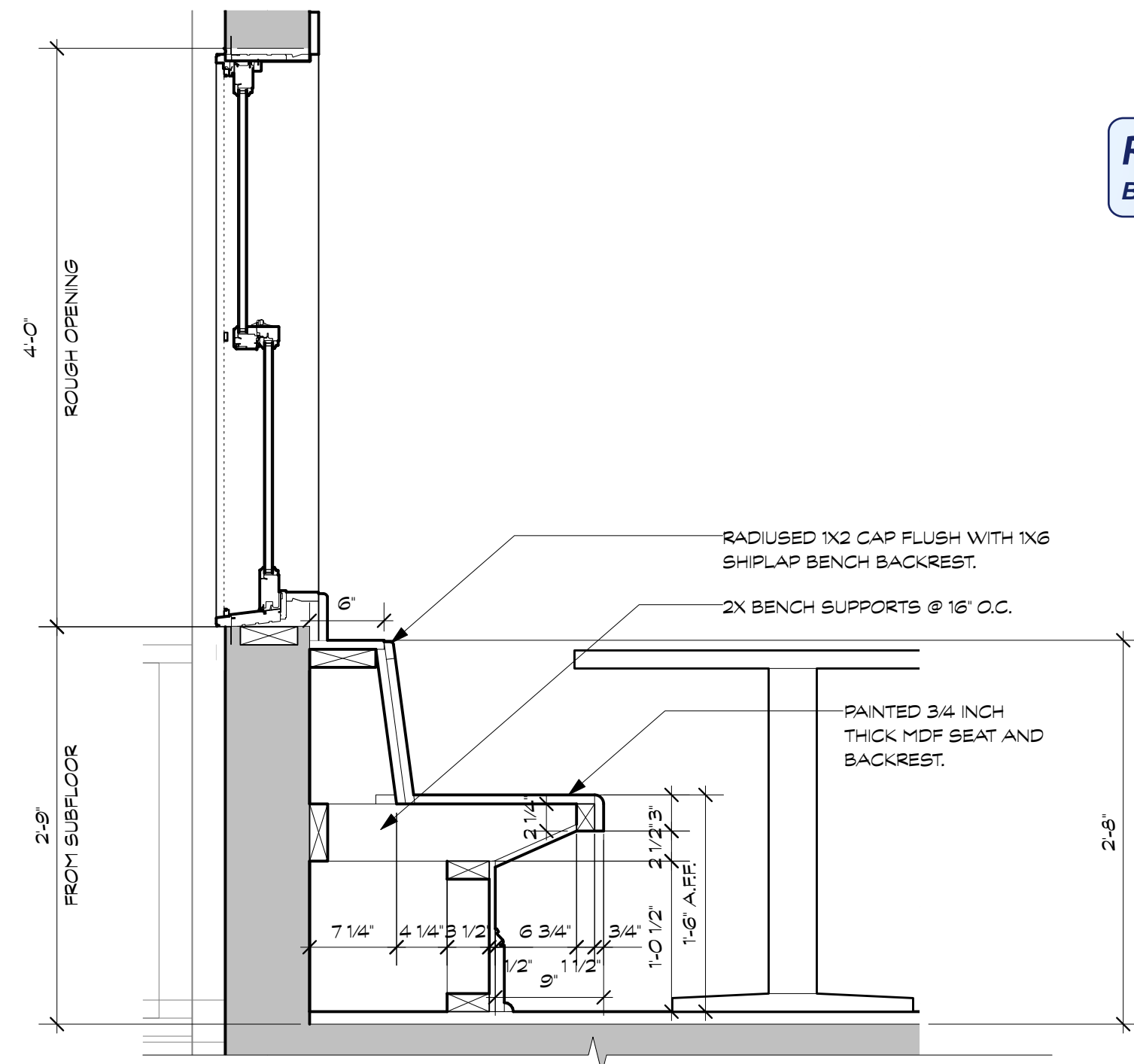
**1 PORCH SECTION**  
Scale: 1/4" = 1'-0"



**2 BUILDING SECTION**  
Scale: 1/4" = 1'-0"



**A EGRESS WINDOW WELL**  
Scale: 3/4" = 1'-0"



**B BENCH DETAIL**  
Scale: 1" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Dan.Bruechert at 4:08 pm, Jul 12, 2024

**WILLIAMS-SZENES REMODEL**

7120 Maple Ave, Takoma Park, MD 20912  
Project # 2327

18 JUNE 2024 - PROGRESS

BUILDING SECTIONS & DETAILS  
**A300**

DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2024 Bennett Frank McCarthy Architects, Inc.

APPROVED  
Montgomery County  
Historic Preservation Commission



REVIEWED  
By Dan.Bruechert at 4:08 pm, Jul 12, 2024

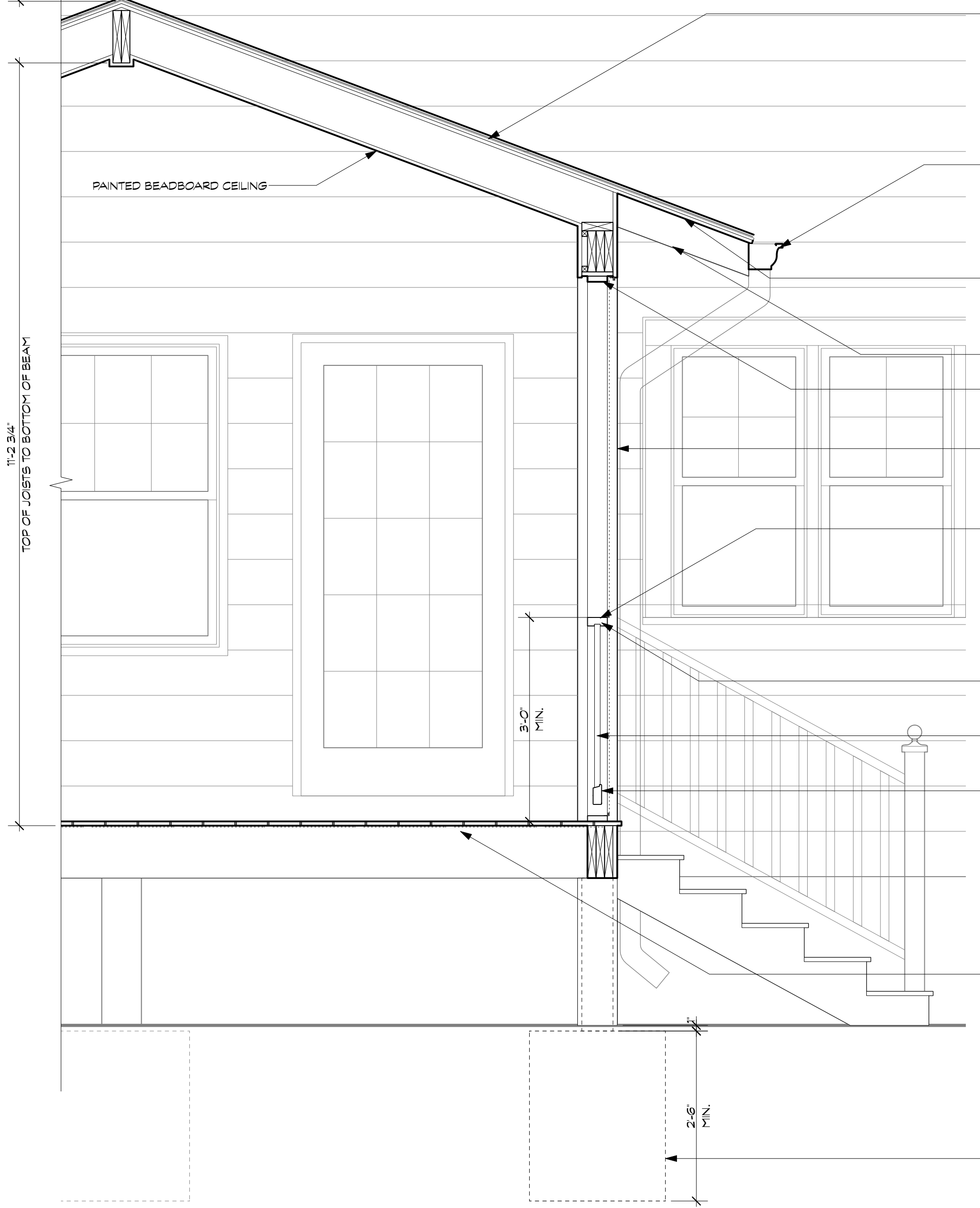
**WILLIAMS-SZENES REMODEL**

7120 Maple Ave, Takoma Park, MD 20912  
Project # 2327

18 JUNE 2024 - PROGRESS

WALL SECTIONS

**A301**



TYPICAL PORCH ROOF CONSTRUCTION  
PROVIDE FIBERGLASS ROOF SHINGLES  
OVER UNDERLAYMENT OVER 5/8 INCH THICK  
PLYWOOD SHEATHING OVER INVERTED  
BEADBOARD AT EAVES / RAKES AND  
COMPARABLY THICK FURRING WHERE NOT  
VISIBLE

ALUMINUM GUTTER STRAPPED / SUSPENDED FROM  
ROOF SHEATHING (NO FASCIA BOARD)

INVERTED BEADBOARD UNDER ROOF SHEATHING AT  
ALL EXPOSED EAVES & RAKES. RUN BEADBOARD  
GROOVES PERPENDICULAR TO FRAMING.

2x6 RAFTER TAILS EVENLY SPACED @ 24" O.C.

5/4x4 BORAL SCREEN SUPPORTS ABOVE AND  
BELOW BORAL WRAPPED BEAM.

2x6 POSTS WRAPPED / CLAD WITH 1x  
BORAL TRIM (7 INCH FINISH DIMENSION)  
SQUARE CORNER COLUMNS. BEAM WRAP  
SHALL BE FLUSH WITH COLUMN WRAP.

PAINTED CONTINUOUS 2x4 CEDAR CAP RAIL  
CENTERED ON 7 INCH COLUMNS.

1/4 INCH DEEP DADO JOINT / GROOVE TO  
RECEIVE TOP OF BALUSTERS

PAINTED 2x2 PICKETS / BALUSTERS EVENLY  
DISTRIBUTED BETWEEN POSTS AT 5 INCHES  
(+/-) ON CENTER

PAINTED WOOD BOTTOM RAIL

5/4x4 BORAL BASE SCREEN SUPPORT

1x BORAL HORIZONTAL TRIM BAND

INSTALL INSECT SCREEN UNDER GAPPED  
FLOOR PLANKS. FOR COMPOSIT PLANKS GAP  
THE MATERIAL PER THE MANUFACTURERS  
RECOMMENDATIONS. FOR WOOD DECK  
BOARDS, SET WET WOOD WITH NO GAPS  
AND DRIED WOOD WITH GAPS FROM 1/8 TO  
3/16 INCHES.

CONCRETE PIER FOOTING.  
SEE STRUCTURAL DRAWINGS.

**1 PORCH SECTION**  
Scale: 3/4" = 1'-0"

**2 PORCH SECTION**  
Scale: 3/4" = 1'-0"

MARK	WEATHER SHIELD SIG. SERIES MODEL NO. / TYPE	TYPE	UNIT SIZE (W x H)	ROUGH OPENING (W x H)	OPER.	EGRESS	GLAZING	REMARKS	MARK
A	2040 / 8122	DOUBLE HUNG	1-11 1/2' X 3-11 1/2'	2'-0" X 4'-0"	Y	N	LOW-E		A
B	3036 / 8219	CASEMENT	2-11 1/2' X 3-5 1/2'	3'-0" X 3'-6"	Y	Y	LOW-E		B
C									C
D									D

NOTES:  
1. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE THE SILLS ARE LESS THAN 18" ABOVE THE FINISH FLOOR.  
2. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS WITHIN 24" OF A DOOR OPENING.  
3. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS ADJACENT TO BATHTUB & SHOWER ENCLOSURES.  
4. PROVIDE ONE EMERGENCY EGRESS WINDOW CONFORMING W/ CODE IN EACH SLEEPING AREA & BEDROOM:  
THE MINIMUM NET CLEAR OPENING SHALL BE 5.7 SQUARE FEET. THE MINIMUM NET CLEAR WIDTH SHALL BE 20 INCHES.  
THE MINIMUM NET CLEAR HEIGHT SHALL BE 24 INCHES. THE MAXIMUM SILL HEIGHT SHALL BE 44 INCHES ABOVE THE FINISH FLOOR.  
5. SEE ELEVATIONS FOR MUNTIN / GRILLE PATTERNS, AND UNIT OPERATION.

NO.	LOCATION	SIZE	THICKNESS	MATERIAL		TYPE/STYLE	CONFIG	OPER.	HARDWARE	REMARKS	NO.
				DR	FR						
1	SCREEN PORCH	2'-8" X 6'-8"	1 1/2"	WD	WD	SCREEN	SINGLE	SWING			1
2	POWDER ROOM	2'-0" X 6'-8"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING	PRIVACY		2
3	OFFICE	2'-6" X 6'-8"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING	PRIVACY		3
4	EXERCISE	3'-0" X 6'-8"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING	PASSAGE		4
5	MECHANICAL	3'-0" X 6'-8"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING	PASSAGE		5
6	BATHROOM	2'-0" X 6'-8"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING	PRIVACY		6

ROOM	FLOORING	BASE	WALLS	PAINT	CEILING	TRIM	REMARKS
CELLAR							
LAUNDRY							
BATHROOM							
OFFICE							
EXERCISE							
MECHANICAL							
FIRST FLOOR							
FRONT PORCH	ETR.	ETR.	ETR.	ETR.	ETR.	ETR.	
FOYER							
LIVING ROOM	ETR.	ETR.	ETR.	ETR.	ETR.	ETR.	
DINING ROOM							
KITCHEN							
FAMILY ROOM							
SCREEN PORCH	ETR.	ETR.	ETR.	ETR.	ETR.	ETR.	
SECOND FLOOR							
BEDROOM #3	ETR.	ETR.	ETR.	ETR.	ETR.	ETR.	
BEDROOM #2	ETR.	ETR.	ETR.	ETR.	ETR.	ETR.	
BEDROOM #4	ETR.	ETR.	ETR.	ETR.	ETR.	ETR.	
PRIMARY BEDROOM	ETR.	ETR.	ETR.	ETR.	ETR.	ETR.	
PRIMARY BATH	ETR.	ETR.	ETR.	ETR.	ETR.	ETR.	
W.I.C.	ETR.	ETR.	ETR.	ETR.	ETR.	ETR.	

NOTES:  
1. PATCH TO MATCH EXISTING WOOD FLOOR AS NECESSITATED BY NEW WORK. SAND / REFINISH ENTIRE FLOOR TO UNIFORM APPEARANCE. TAKE CARE TO MINIMIZE BANDING AT ALL ORIGINAL / HISTORIC WOOD FLOORS.  
2. TILE SHOWER SURROUND  
3. TILE BACKSLASH  
4. PATCH / RESTORE / EXTEND EXISTING WHERE DISTURBED BY NEW WORK  
5. REVIEW OPTIONS FOR LEVELING UNEVEN FLOOR WITH OWNER AND ARCHITECT  
6. APPLY NEW G.W.B. VENEER TO CEILING  
7. REMOVE / REPLACE CROWN MOLDING

ETR. = EXISTING TO REMAIN  
G.W.B. = GYPSUM WALLBOARD (DRYWALL)



DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2024 Bennett Frank McCarthy Architects, Inc.

**WILLIAMS-SZENES REMODEL**

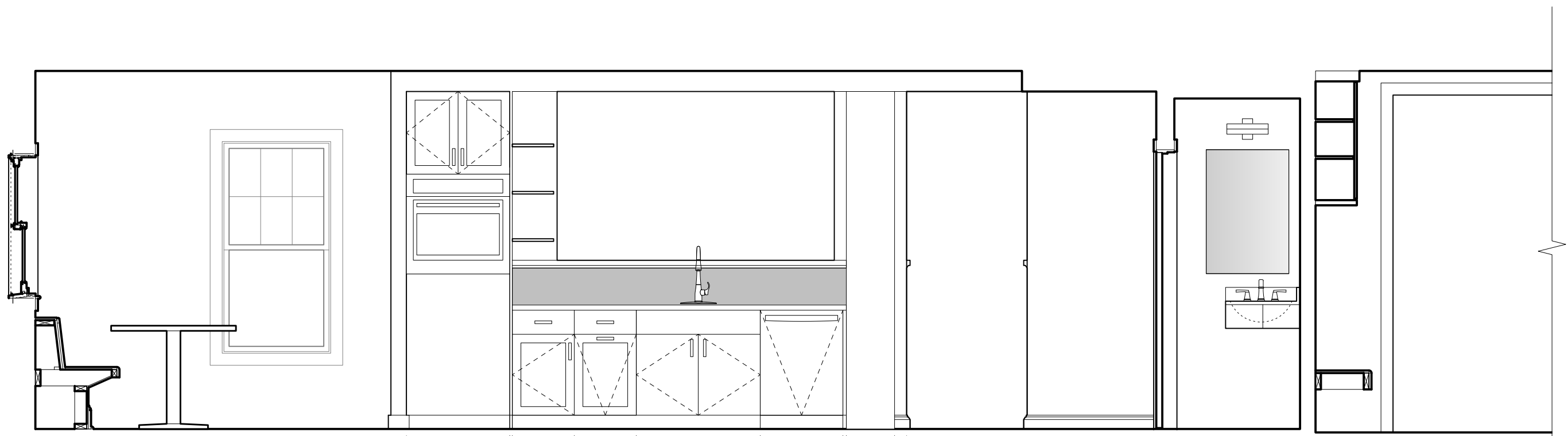
7120 Maple Ave, Takoma Park, MD 20912  
Project # 2327

18 JUNE 2024 - PROGRESS

INTERIOR ELEVATIONS  
**A400**

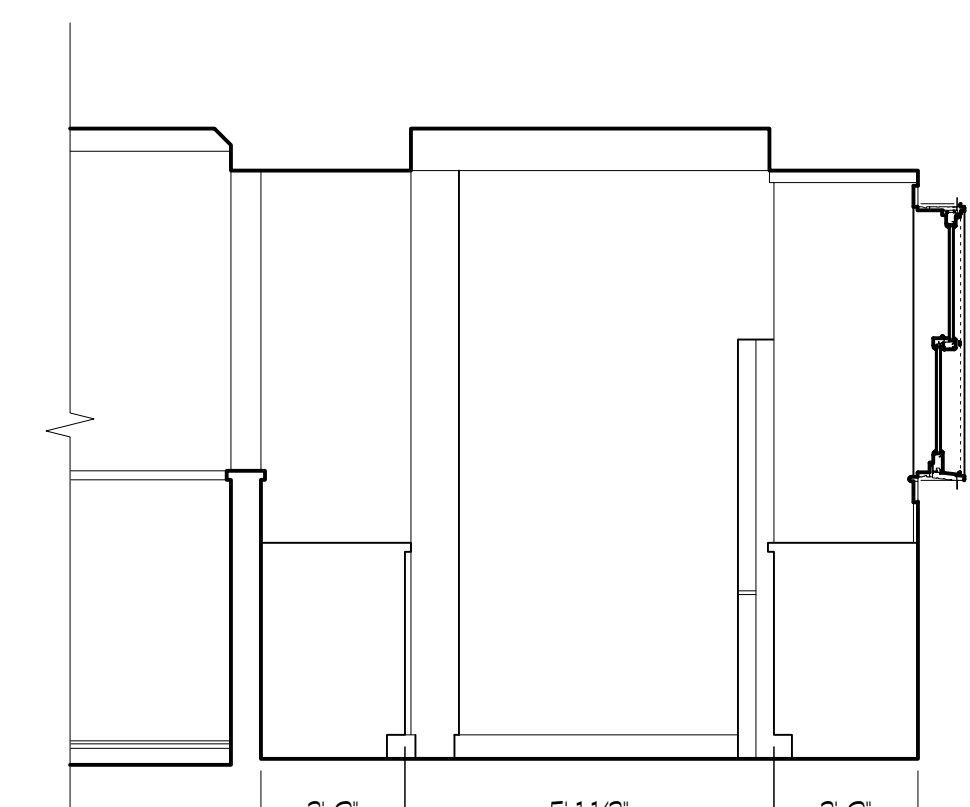


A

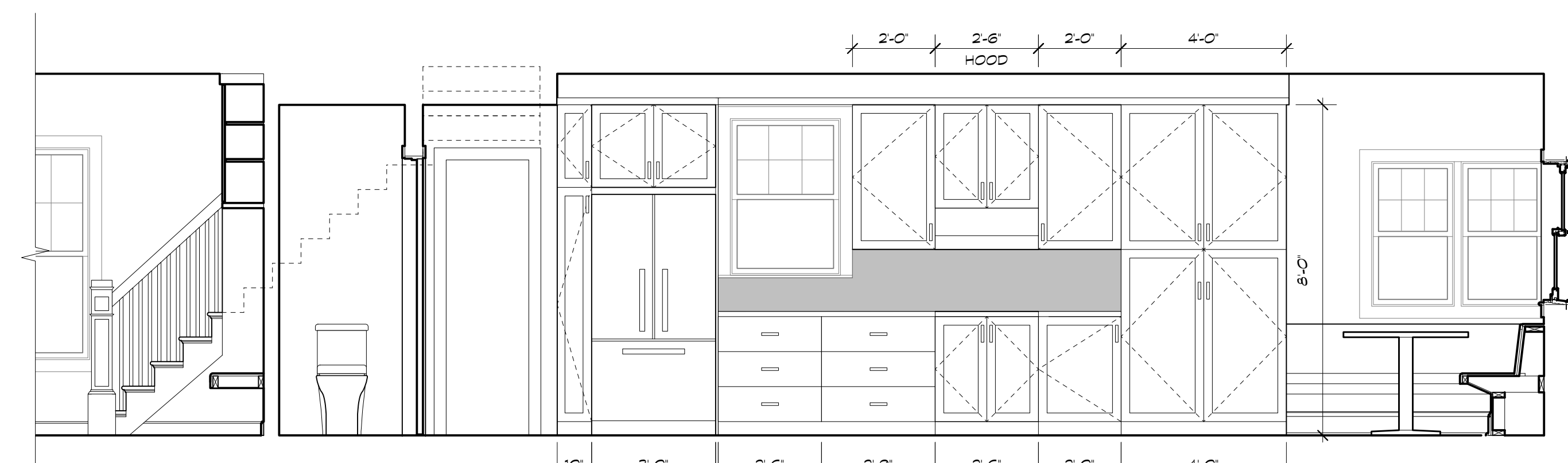


B

2'-6" WALL OVEN 15.4" 1'-6" TRASH 1'-6" SINK BASE 3'-0" 2'-0" DW 1'-2" SH 3 1/2"

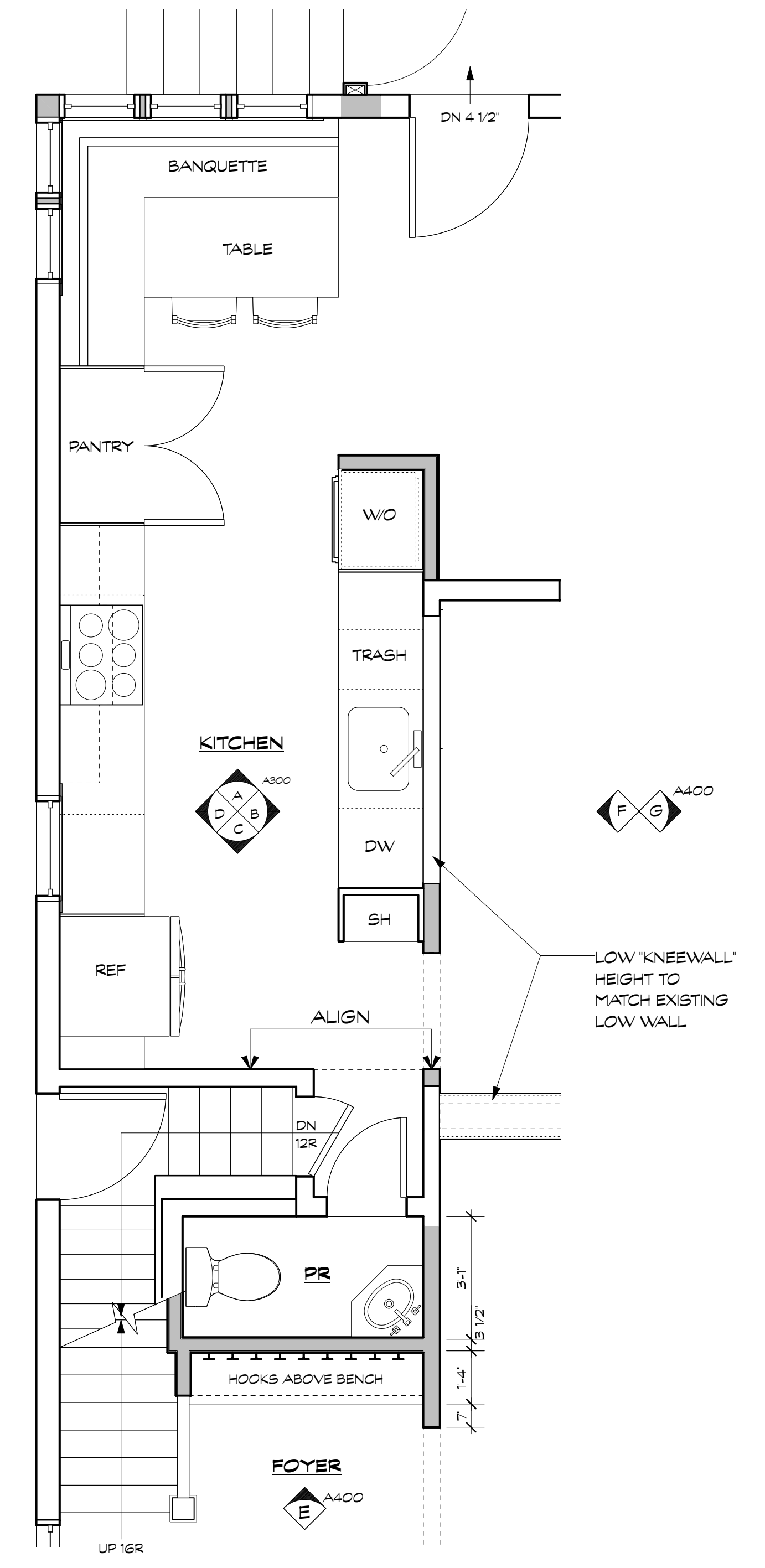


C

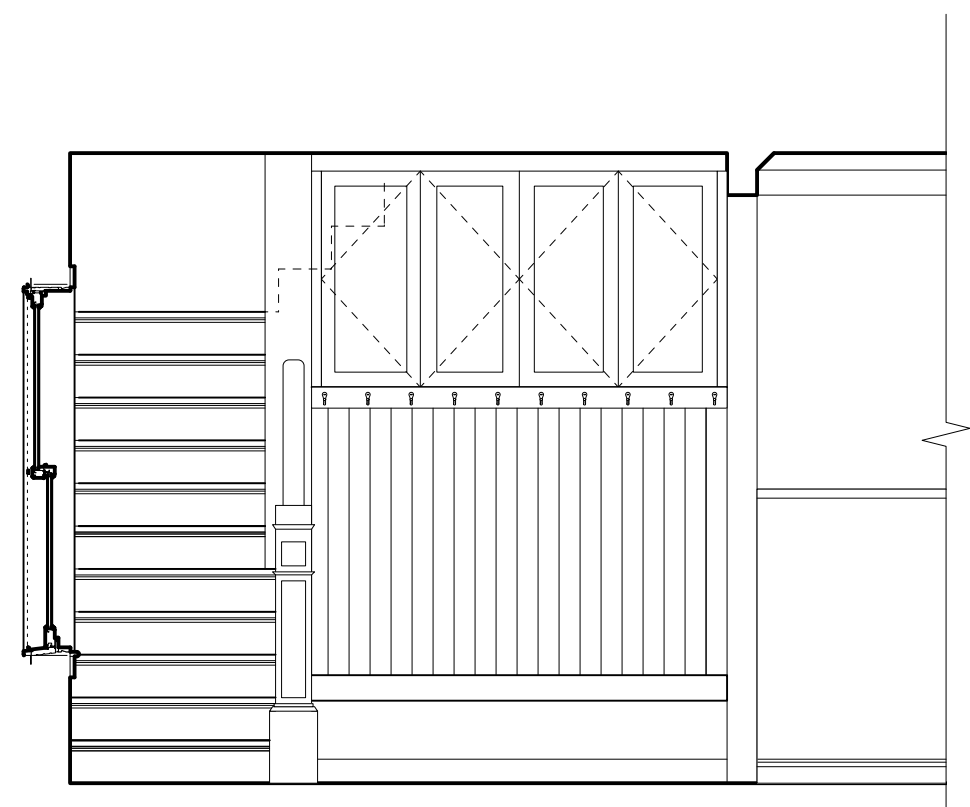


D

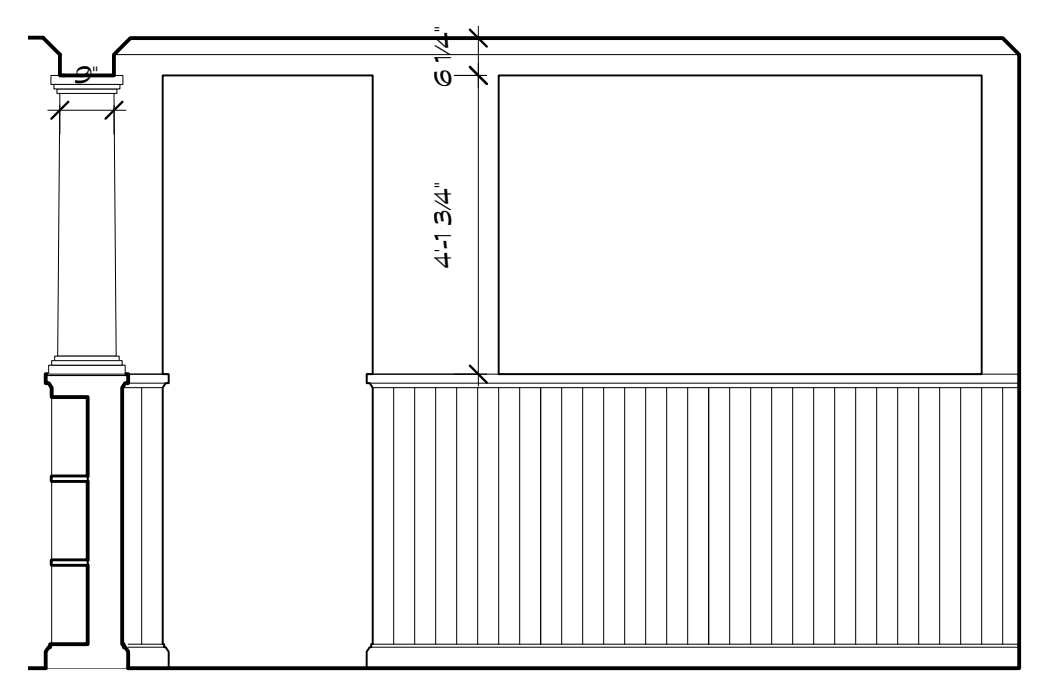
2'-0" 2'-6" HOOD 2'-0" 4'-0" 1'-0" REFRIGERATOR 13.4" 2'-6" 2'-8" COOKTOP 2'-0" 4'-0" PANTRY



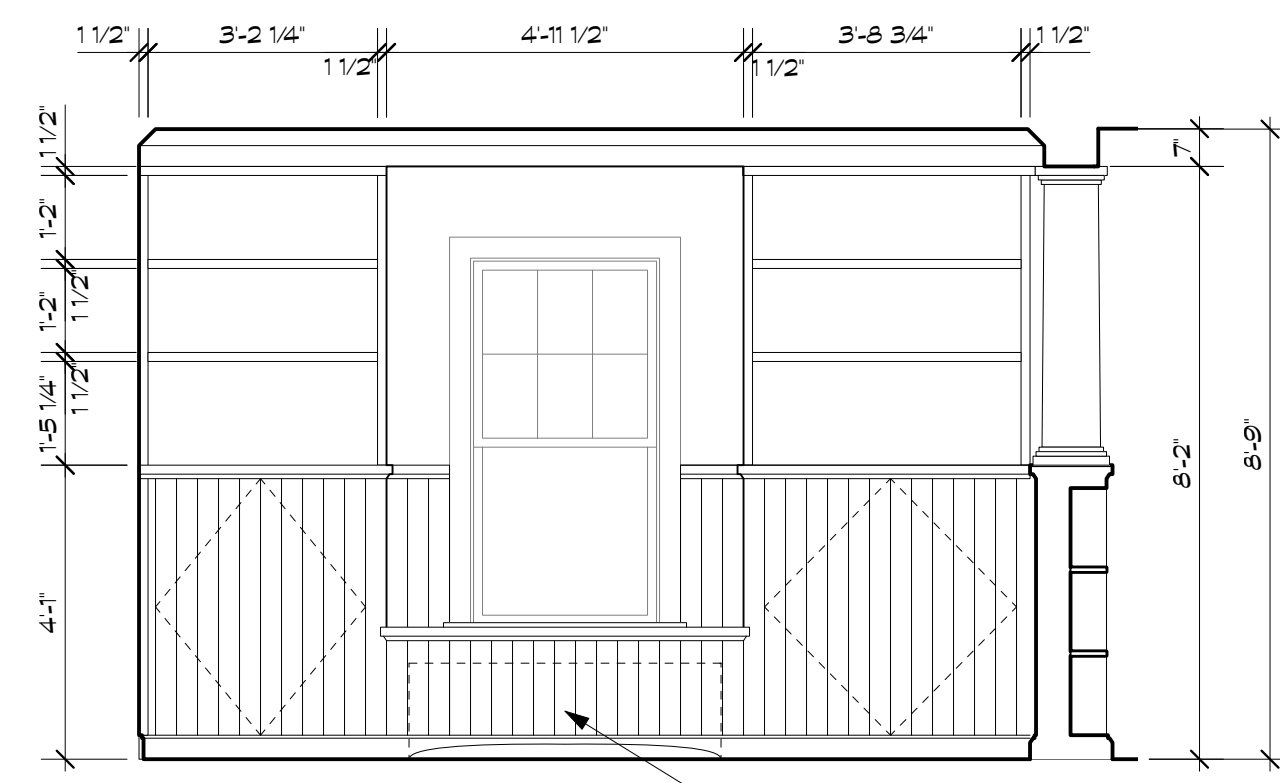
2 KITCHEN /MUDROOM PLAN  
Scale: 3/8" = 1'-0"



E



F



G

EXISTING RADIATOR

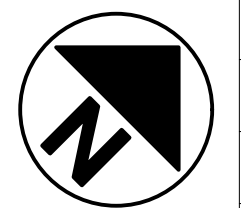
1 KITCHEN ELEVATIONS  
Scale: 3/8" = 1'-0"

3 MUDROOM ELEVATION  
Scale: 3/8" = 1'-0"

4 DINING ROOM ELEVATIONS  
Scale: 3/8" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

REVIEWED  
By Dan.Bruechert at 4:09 pm, Jul 12, 2024

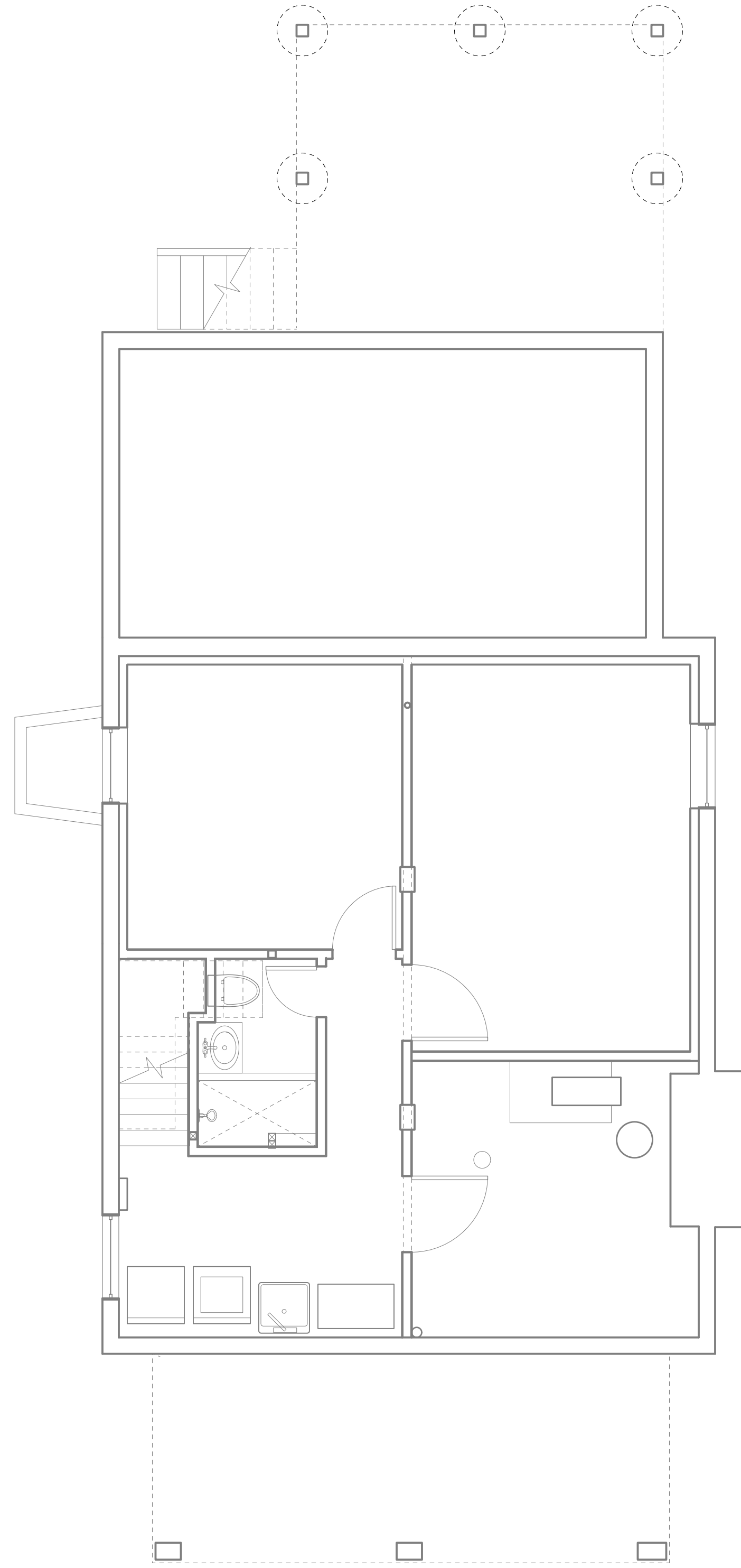


DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED STRUCTURAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2022 Bennett Frank McCarthy Architects, Inc.

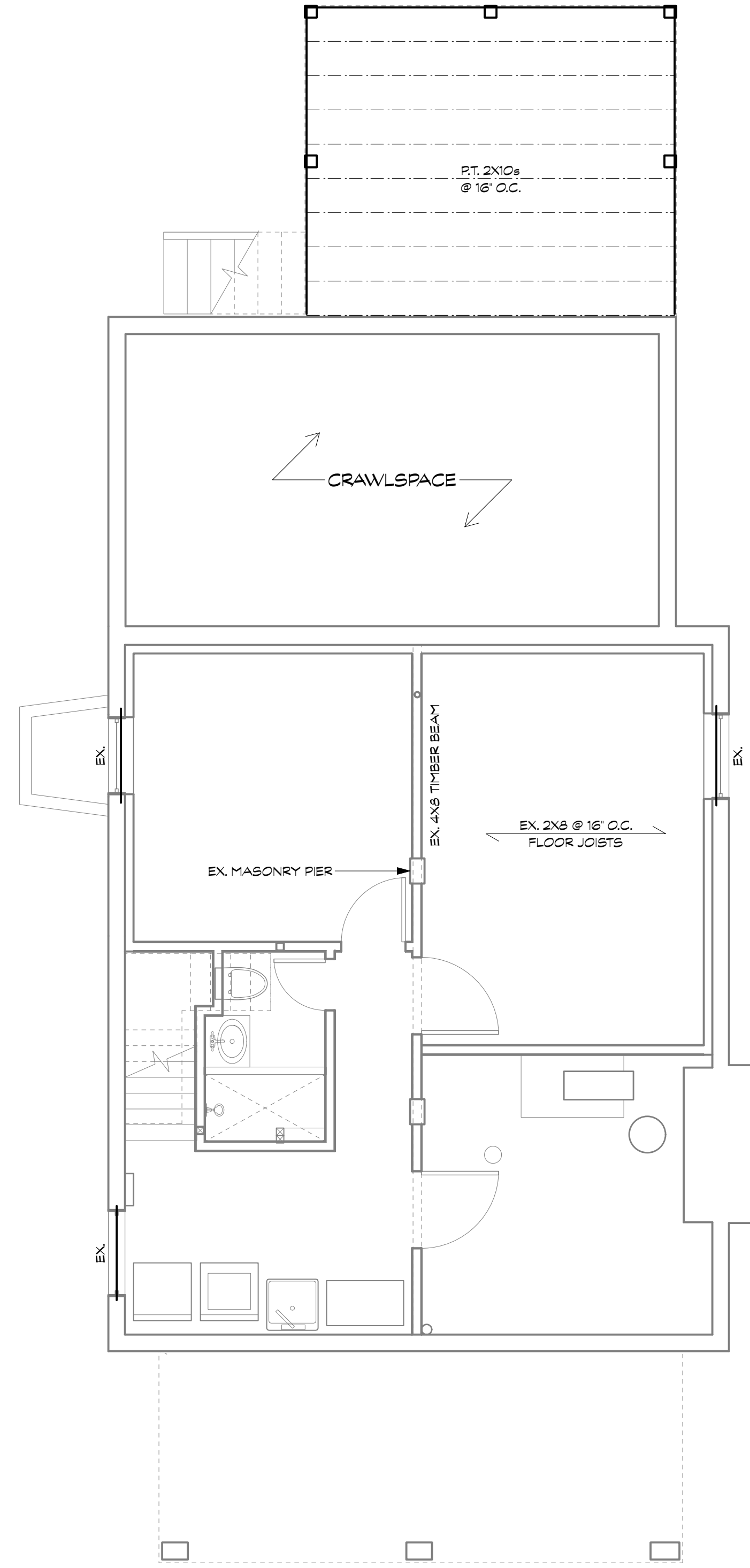


**1 FOUNDATION PLAN**  
Scale: 1/4" = 1'-0"

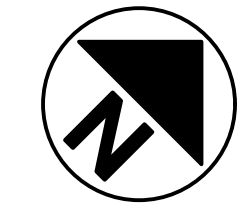
APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Dan.Bruechert at 4:09 pm, Jul 12, 2024



**2 FIRST FLOOR FRAMING PLAN**  
Scale: 1/4" = 1'-0"



**WILLIAMS-SZENES REMODEL**

7120 Maple Ave, Takoma Park, MD 20912  
Project # 2327

**FOUNDATION & FIRST FLOOR FRAMING PLANS**  
**S100**

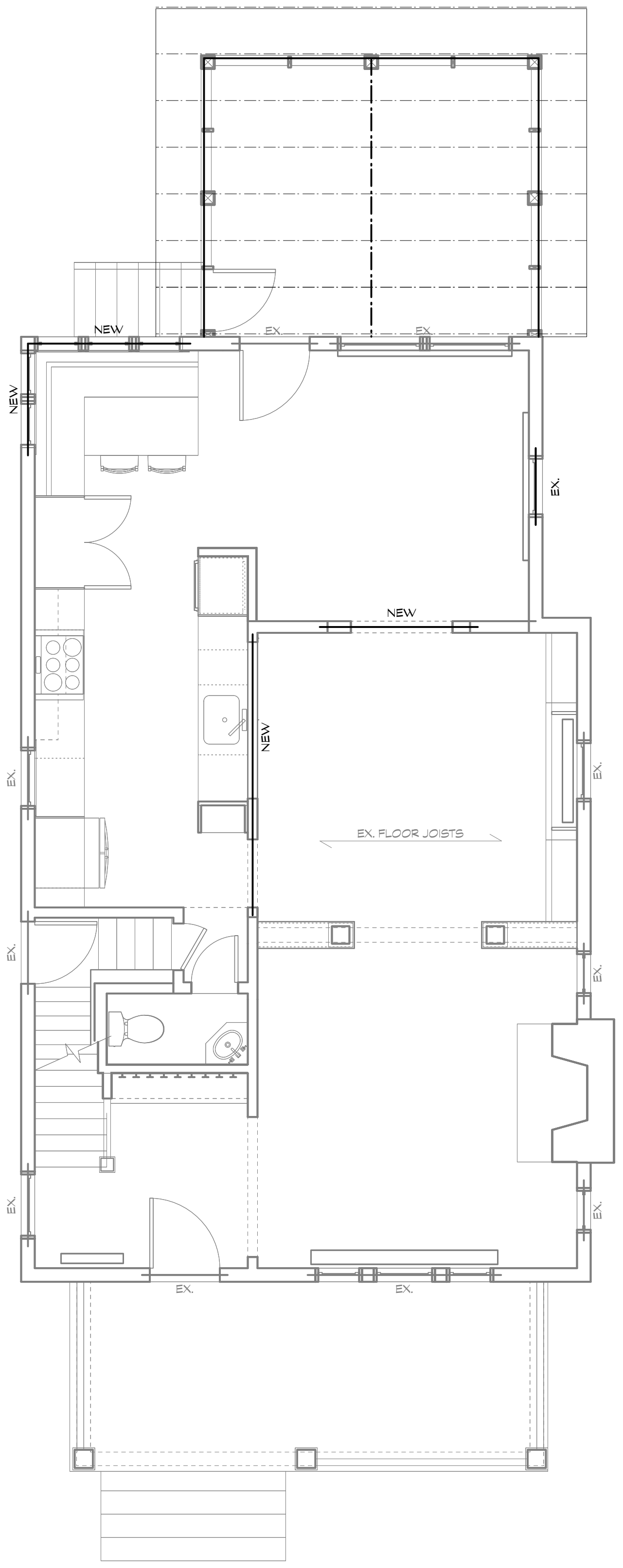
18 JUNE 2024 - PROGRESS

DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED STRUCTURAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2022 Bennett Frank McCarthy Architects, Inc.

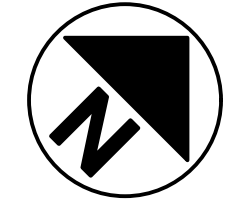


**1 SECOND FLOOR / ROOF RAMING PLAN**  
Scale: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

**REVIEWED**  
By Dan.Bruechert at 4:09 pm, Jul 12, 2024



**WILLIAMS-SZENES REMODEL**  
7120 Maple Ave, Takoma Park, MD 20912  
Project # 2327

**ROOF FRAMING PLAN**  
**S101**

18 JUNE 2024 - PROGRESS

SPECIFICATIONS (CONTINUED FROM SP100)

DATE	ISSUE - REMARKS

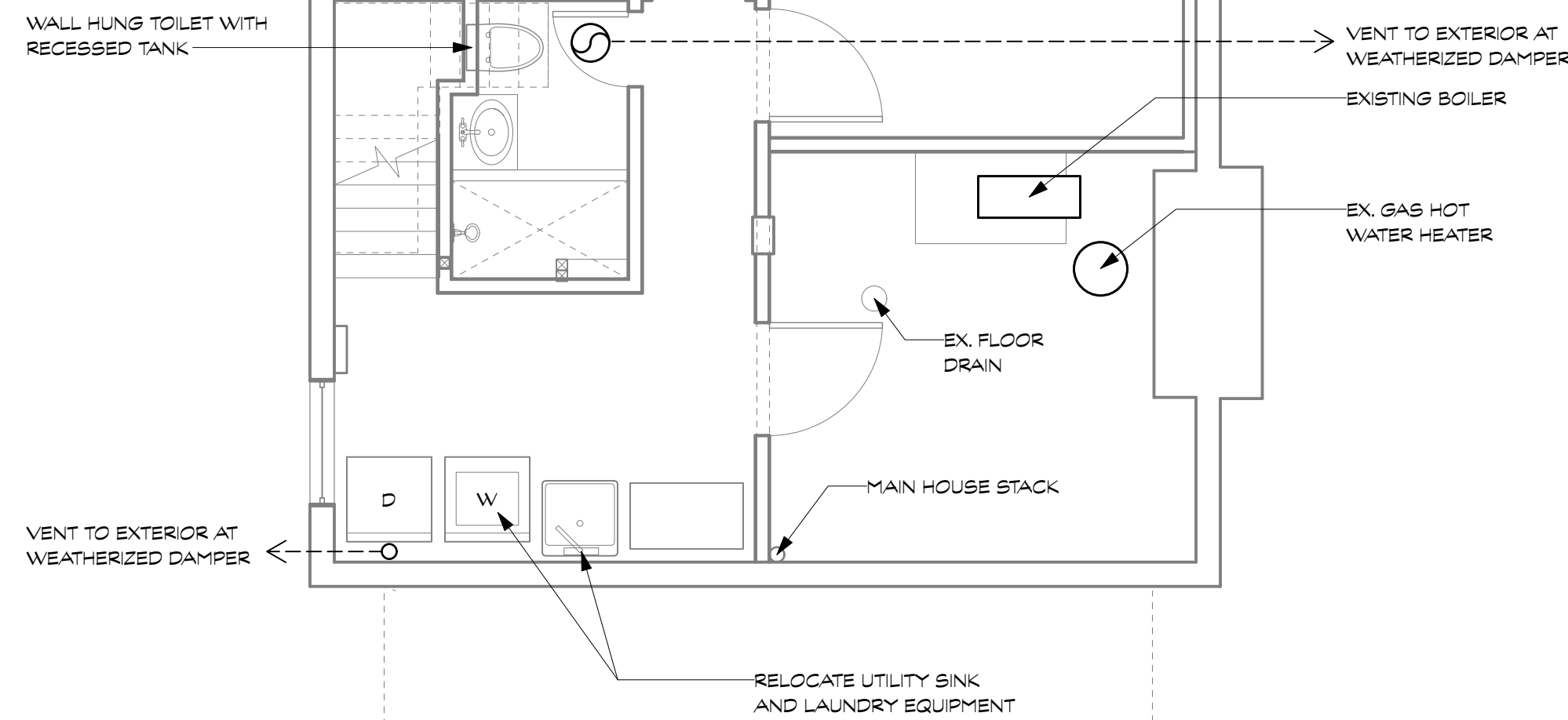
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2024 Bennett Frank McCarthy Architects, Inc.

MECHANICAL CONSULTANT

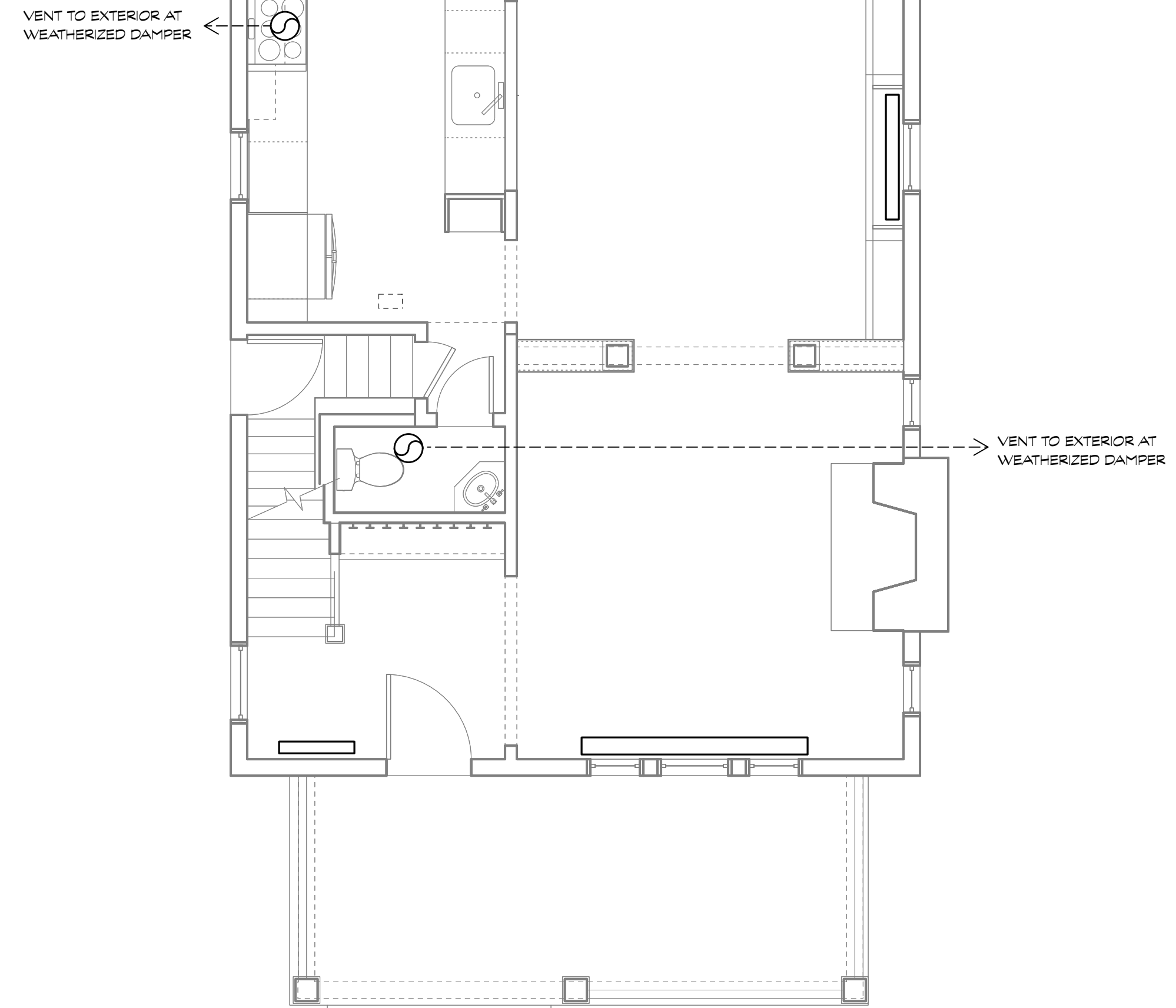
Ron Gallant, Gallant Mechanical  
13001 Cleveland Drive  
Rockville, Maryland 20850 (240) 750-4988



1 CELLAR MECHANICAL PLAN  
Scale: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

**REVIEWED**  
By Dan.Bruechert at 4:09 pm, Jul 12, 2024



2 FIRST FLOOR MECHANICAL PLAN  
Scale: 1/4" = 1'-0"

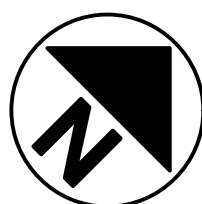
WILLIAMS-SZENES REMODEL

7120 Maple Ave, Takoma Park, MD 20912  
Project # 2327

18 JUNE 2024 - PROGRESS

MECHANICAL / PLUMBING

MP100



**SPECIFICATIONS** (CONTINUED FROM SP100)

DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2024 Bennett Frank McCarthy Architects, Inc.

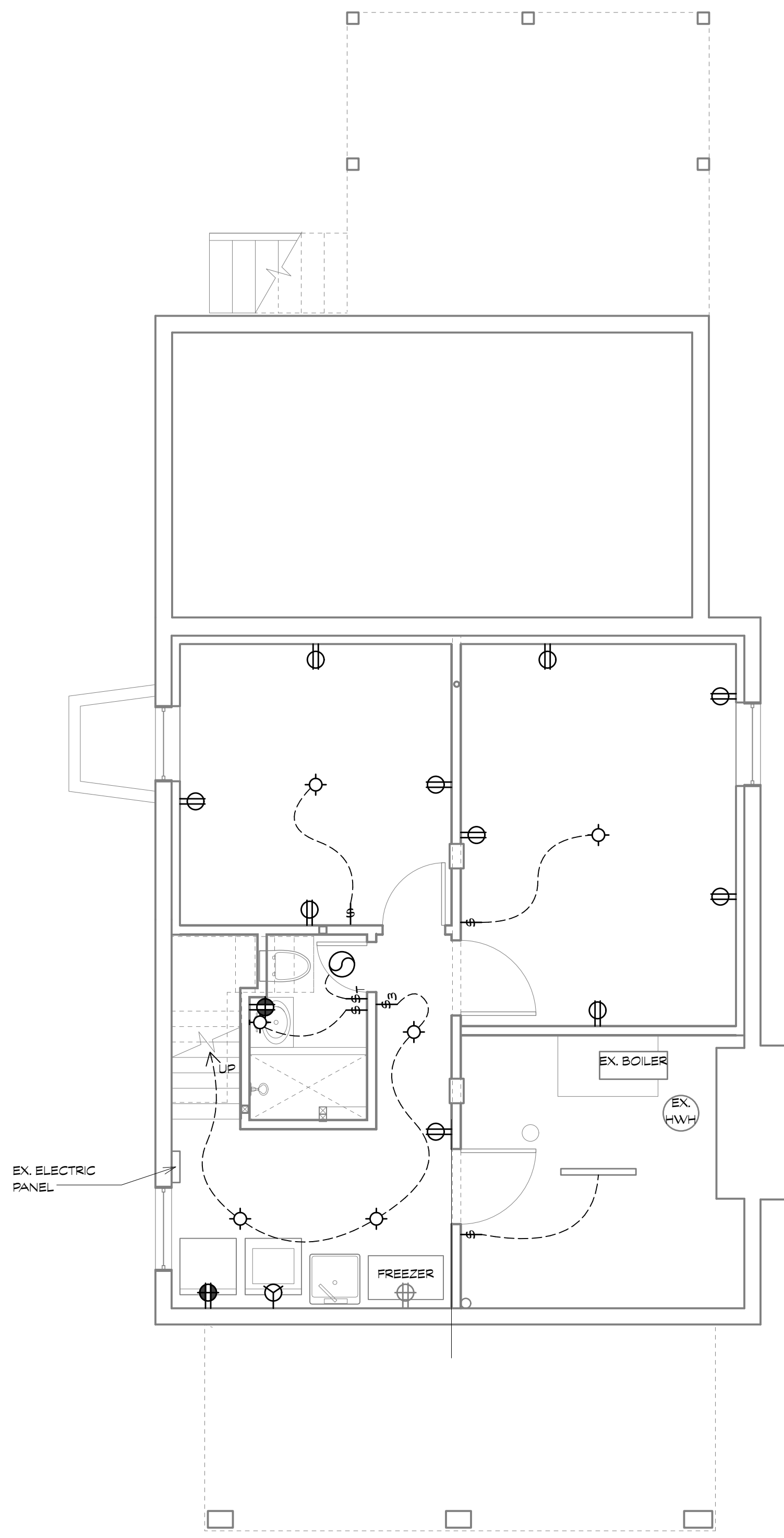
**LIGHTING SYMBOLS**

	SURFACE MOUNTED CEILING LIGHT FIXTURE
	FULLY RECESSED LED LIGHT
	UNDER CABINET MOUNTED FIXTURE
	SUSPENDED PENDANT FIXTURE
	FULLY RECESSED INCANDESCENT WALL WASH LIGHT - MOUNT 2'-0" FROM WALL U.N.O.
	PENDANT FIXTURE
	VANITY LIGHT
	WALL-MOUNTED LIGHT FIXTURE
	SCONCE FIXTURE
	CEILING FAN/LIGHT
	LED LIGHT FIXTURE
	SWITCH
	THREE WAY SWITCH
	TIMER SWITCH
	DIMMER SWITCH
	DIMMER THREE WAY SWITCH
	JAMB SWITCH
	SECURITY FLOODLIGHT ON MOTION DETECTOR

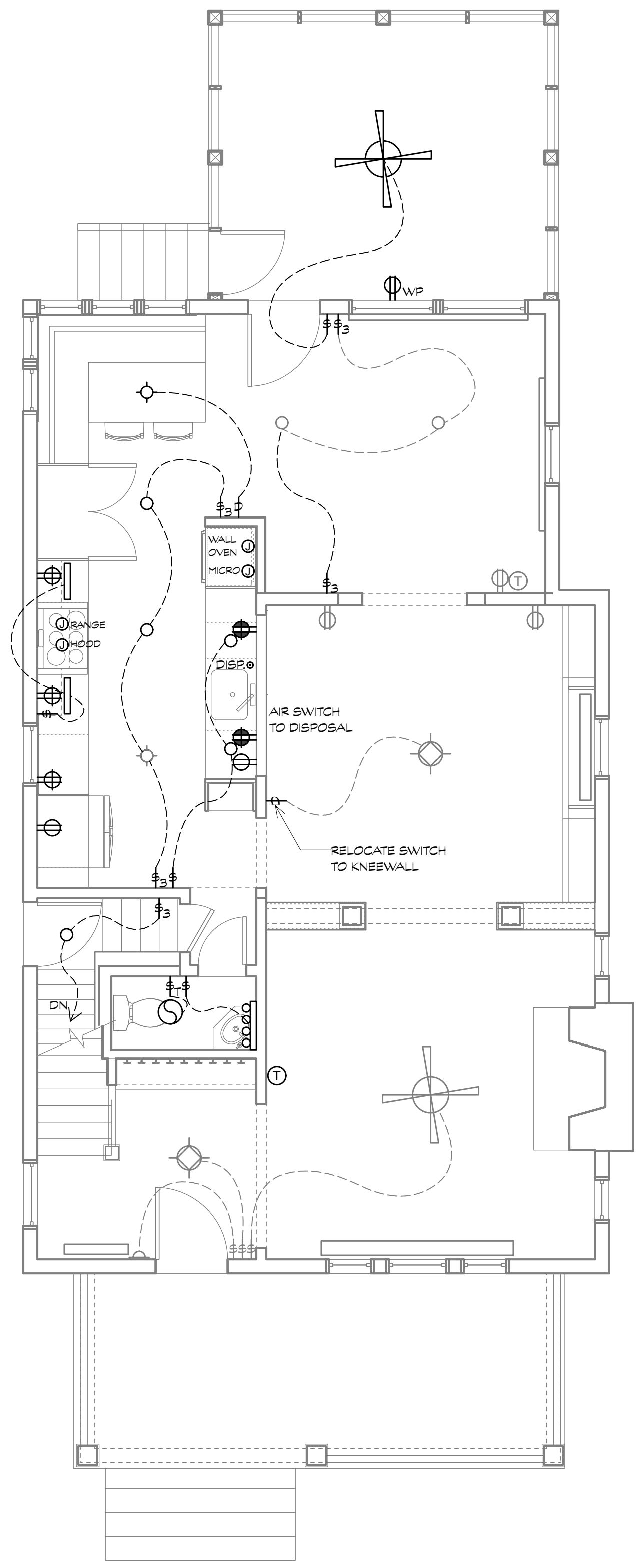
GENERAL: PROVIDE 1/2" HOUSING AS NECESSARY IN INSULATED CAVITIES

**ELECTRICAL SYMBOLS**

	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 18" A.F.F. COORDINATE W/ PANEL & EQUIP.
	GFI DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP EXTERNALLY MOUNTED IN WATERPROOF HOUSING
	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 45" A.F.F. COORDINATE W/ PANEL & EQUIP.
	GFI OUTLET - 20 AMP @ 18" A.F.F.
	GFI OUTLET - 20 AMP @ 45" A.F.F.
	HALF-SWITCH OUTLET - 20 AMP @ 18" A.F.F.
	QUAD RECEPTACLE 15/20 AMP @ 18" A.F.F. (U.N.O.)
	FLOOR MOUNTED DUPLEX RECEPTACLE W/ FLUSH DECORATIVE COVER
	JUNCTION BOX - SIZE AS REQUIRED
	ELECTRIC DRYER RECEPTACLE
	DATA/TELEPHONE JACK - MOUNT @ 18" A.F.F. (U.N.O.)
	CABLE TV OUTLET
	EXISTING SMOKE DETECTOR - REPLACE/RELOCATE AS NECESSARY TO MEET CODE
	SMOKE DETECTOR - HARDWIRED INTERCONNECT PER CODE
	EXHAUST FAN-CEILING MOUNTED
	EXHAUST FAN-WALL MOUNTED



**1 CELLAR ELECTRICAL PLAN**  
 Scale: 1/4" = 1'-0"



**2 FIRST FLOOR ELECTRICAL PLAN**  
 Scale: 1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission

**REVIEWED**  
 By Dan.Bruechert at 4:09 pm, Jul 12, 2024

**WILLIAMS-SZENES REMODEL**

7120 Maple Ave, Takoma Park, MD 20912  
 Project # 2327

18 JUNE 2024 - PROGRESS

CELLAR & FIRST FLOOR ELECTRICAL

**E100**

