



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction
Addition
Demolition
Grading/Excavation
Deck/Porch
Fence
Hardscape/Landscape
Roof
Shed/Garage/Accessory Structure
Solar
Tree removal/planting
Window/Door
Other:

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b>	<b>Owner's Agent's mailing address</b>
<b>Adjacent and confronting Property Owners mailing addresses</b>	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Our home is an outstanding historical resource located in the Takoma Park Historic District. Built between 1904-12, it is one of three nearly identical brick, Italianate style, 2-story, 4-unit apartment buildings with two-story porches, front and rear, that the Lamond family built. Originally named *The Wallace*, it sits next door to one, *The Bruce*, and cross-diagonally behind its other sibling, 7103-05 Cedar Avenue. Additional adjacent neighbors include single family homes, next door and behind, and the parking lot of a high-rise office building, directly across Maple.

Our proposed work will restore and repair our property's two-story front porch.

The assessment of the porch, existing and original, is underpinned with consultations with numerous professionals, including contractors and architects.

The existing porch has been significantly altered and repaired, most likely due to a fire that began on the upper-level and traveled below to damage columns and balustrades but did not reach the tongue and groove (T&G) on the lower floor.

Alterations/repairs were made with charred, water-damaged, irregularly cut, and painted pieces; both planed and un-planed wood; OSB plywood, roofing materials (tar-paper, asphalt, flashing), and decking as well as off-the-shelf materials. Repairs and alterations are cobbled together, rather than planned, and appear to be made with either at-hand and or inexpensive materials, which suggests structural changes to the upper-level were made install less-expensive, shorter, and wider columns.

#### Existing Upper-Level

- (1) Joists extending from the house and T&G are charred. And approximately 3 x 42 ft. of T&G and a joist that ran the length of the house upon which T&G was installed are missing from its front. About 3 feet has been cut from the ends of all joists (extending outward from the house).
- (2) One-inch thick OSB plywood was installed on top of the remaining T&G as well as over the area where T&G was removed. A beam that would have run lengthwise likely burned, and a 2x4 was installed to replace it. OSB was attached to the 2x4.
- (3) The 3-foot joist segments cut from original joists were reattached to them at an angle toward the columns. The joist portions were made long enough to reach and be attached to the beam resting on top of the columns by sistering longer 2x4s to them.
- (4) To compensate for structural support lost at the front of the floor when original joists were removed (shortened by ~3'), fascia was made to provide some structural support: 2x4s were installed behind the fascia, which were connected to the two horizontal beams.
- (5) Roofing materials (tar paper, asphalt, flashing, etc.), not intended to withstand heavy foot traffic or the placement of furniture, were installed over the OSB plywood (that had been installed over as well as to replace some T&G).
- (6) The original balustrades have been replaced with existing, made from pressure treated 2x4s and 5/4" decking materials, of which some are tagged *Hechinger*, and of which non were installed with structural support. In addition to lacking structural support, all wobble, and wood is deteriorating and paint peeling. Note: Square balusters are appropriate for the architectural style of the house and its construction period.

### Existing Lower-Level

- (1) All original columns (7) have been replaced. Existing columns consist of five fiberglass columns and two brick piers that were made taller to serve as a column at each end of the porch.
- (2) An approximately 42' beam—two segments, one made of un-planed (old) and the other new lumber, has been installed on top of the columns. (Upper-porch joists connect to the beam.)
- (3) T&G, underpinning frame (joists, etc.), likely original, are significantly deteriorated. They are chipped, squishy in places, missing wood pieces and nails as well as have protruding nails.
- (4) Front fascia, likely original, is missing large segments, and has been covered with synthetic wood in an effort to protect it from additional damage.
- (5) Fascia, likely original, along the porch sides as well as T&G in the same area are in poor condition, at least partially due to being exposed to weather.
- (6) Original balustrades have been replaced. Existing have various-sized, turned spindles that have been shortened at their bases. The height of railings has been increased, probably to compensate for shortening of the balusters (lumber has been added horizontally at the bottom of railings). Note: The turned spindle is inappropriate for the architectural style of the house and a completely different style from those on the porch's upper-level.

### Impact of Alterations

- (1) Compromised structural integrity
  - a. Joists have been cut short. Consequently, structural support is missing at the front portion of the upper-floor where balustrades have been installed.
  - b. Replacement columns are too short to reach/support the upper-level.
- (2) Caused or exacerbated water damage
  - a. Water does not flow away from the house because the upper-floor's original slope has been eliminated: water puddles, sits on porch, and leaks into the house.
  - b. Water leaks into the house through two doors because plywood was installed to be level with the thresholds of those doors.
  - c. The width of the upper-level floor has been reduced, which removed the original floor's slight overhang that directed water away from the porch below: water drops directly onto the lower- from the upper-floor to exacerbate the deterioration (erosion) of the T&G on the lower-floor.
  - d. Roofing material that was installed on upper-floor is not suitable for foot-traffic, etc.: material has become compromised, so water travels into the upper structure to cause damage as well as to drip onto the lower-floor.

*Description of Work Proposed: Please give an overview of the work to be undertaken:*

Our work plans shifted from repair to existing to restore after we received estimates upward of \$85K and concerns about hidden deterioration, existing (original) material lifespan, and the structural integrity due to significant alterations.

The work proposed will reinstate the porch's original architectural design and structure, inclusive of *whole* joists, *functional* columns and balustrades, and (sloped away from house) floors. Restored design elements will include: columns, balustrades (posts, railings, balusters), beadboard ceilings, lattice, fascia, ceiling, and T&G (lower-level). The uncovered (no roof) upper floor will retain its existing because the floor must withstand foot-traffic and usage (placement of furniture, etc.).

Two existing sibling properties provide models of original architectural design and elements to support the proposed work (see photos and table include herein).

The work proposed will retain existing ceiling fans, and electric outlets.

The work proposes repair to existing (original) of the following: brick piers, concrete foundations and steps., front doors and thresholds, and windows and their trim.

The footprint of the porch will not be changed.



**Comparison of 3 Sibling Properties’ Existing Porches:  
Existing Architectural Design @ 7102-04 Maple Compared to 7106-08 Maple @ 7103-05 Cedar**

	<b>7102-04 Maple Avenue</b>	<b>7106-08 Maple Avenue</b>	<b>7103-05 Cedar Avenue</b>	<b>7102-04 Maple Avenue PROPOSAL</b>
<b>Building Height</b>				
<b>Lower Porch Ceiling Height</b>	*			
<b>Column Height</b>	102”	108”	112”	~112”
<b>Column Diameter @ base</b>	10”	8”	10”	~8”
<b>Column Style (PHOTOS)</b>				
<b>Upper-Lower Fascia Height</b>	33”	15”	15”	~15”

Notes:

1. Fascia @ 7102-04 Maple is more than twice as tall as others.
2. Columns @ 7102-04 Maple are shorter than others.
3. 7102-04 portion of ceiling closest to building is likely original as it is below original joists. Also, brick is below ceiling is clean—no paint to indicate ceiling has been raised.
4. 7106-08 Maple ceiling is shorter but columns are taller than 7102-04 Maple.

## Work Item 1: reinstate original architectural design and elements on upper-level

### Description of Current Condition:

The entire upper-level has been altered, most likely due to a fire that began there and traveled below to damage columns and balustrades but did not reach the tongue and groove (T&G) on the lower floor. (Photos 1,2)

Alterations/repairs were cobbled together with charred, water-damaged, irregularly cut, and painted pieces; planed and un-planed wood; OSB plywood; roofing materials (tar-paper, asphalt, flashing), decking; and off-the-shelf products. Structural changes were likely made to install shorter, wider, and less-expensive columns. (Photo 1).

The porch's structural integrity has been compromised. (Photos 2,3,4,5)

- (1) Upper-level joists extending from the house as well as T&G are charred. And approximately 3 x 42 ft. of T&G and a joist that ran the length of the house upon which T&G was installed are missing from its front. About 3 feet has been cut from the ends of all joists (extending outward from the house). (Photo2)
- (2) One-inch thick OSB plywood was installed on top of the remaining T&G as well as over the area where T&G was removed.
- (3) An original slope on the upper-floor causing water to move away from the house was eliminated when OSB was installed level with the thresholds of two doors. This alteration resulted in watering puddling on the floor as well as leaking through the doors into the house. (Photo 6,9)
- (4) The upper-level floor has been shortened, which removed a slight overhang. Consequently, water drips from the upper- directly onto the lower-floor, causing T&G deterioration.
- (5) A beam that would have run lengthwise likely burned, and a 2x4 was installed to replace it. OSB was attached to the 2x4. (Photo6)
- (6) Joist segments (3') cut from original joists were reattached to them at an angle toward the columns. The joists portions were made long enough to reach and be attached to the beam resting on top of the columns by sistering longer 2x4s to them. (Photo19)
- (7) A gap between the upper-floor and columns was addressed by increasing the height of the original 15" fascia by 18" to create the existing 33" fascia. To compensate for structural support lost at the front of the floor when original joists were

### Proposed Work:

- I. The proposed work will reinstate original architectural design, align with 2024 building code, and use materials approved by the Montgomery County Historic Commission.

### Proposed work includes:

- a) Installation of architectural elements of original style including balustrades with square balusters, and 15" fascia.
  - b) Reinstatement of original structural design to include installation of straight, *unbroken* joists that support entire floor, and floor that slopes away from the house.
  - c) Priming and painting (2 coats) all appropriate surfaces/elements.
- II. The work proposed will not change existing upper porch floor elements (roofing materials) as they best enable the porch to sustain challenges from the weather and usage (people, foot-traffic, placement of furniture, etc.).

<p>removed (shortened by ~3'), fascia was made to provide some structural support: 2x4s were installed behind the fascia, which were connected to the two horizontal beams. (Photo A, 1)</p> <p>(8) Roofing materials (tar paper, asphalt, flashing, etc.), not intended to withstand heavy foot traffic or the placement of furniture, were installed over the OSB plywood (that had been installed over and in areas where T&amp;G was missing). (Photo 6,7)</p> <p>(9) The original balustrades have been replaced, Existing are made from pressure treated 2x4s and 5/4" decking materials. Some are tagged <i>Hechinger</i>. Installed without structural support, all wobble. All are deteriorating. Balusters are square, which is the appropriate architectural style for the house and its construction period. (Photo A,7)</p>	
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**Work Item 2: reinstate original architectural design/elements on lower-level**

<p>Description of Current Condition:</p> <p>(1) All original columns (7) were replaced with existing—five fiberglass and two brick piers that were made taller to serve as a column at each end of the porch. An approximately 42' foot beam—two segments of which one is made of un-planed (old) and the new lumber, was installed on top of the columns. (Photo9)</p> <p>(2) The existing balustrades have various-sized, turned spindles, which have been shortened. The height of railings has been increased, probably to compensate for shortening the balusters (lumber has been added horizontally at the bottom of railings). The turned spindle is inappropriate for the architectural style of the house and a completely different style from those on the upper-level. (Photo 12)</p> <p>(3) T&amp;G, underpinning frame (joists, etc.) and fascia, all likely original, have deteriorated significantly; they are chipped, squishy in places, missing portions and nails, and have protruding nails. (Photo 13)</p> <p>(4) Large segments are missing from the fascia along the front, which has been covered with synthetic wood in an effort to prevent additional damage. Fascia (and T&amp;G) at each end of the porch are in very bad condition. (Photo 12)</p>	<p>Proposed Work:</p> <p>The proposed work will reinstate original architectural design and elements with materials approved by the Montgomery County Historic Commission. Proposed work will meet 2024 building codes.</p> <p>Proposed work includes:</p> <ul style="list-style-type: none"> <li>a) Reconstructing structural framework,</li> <li>b) Replacing T&amp;G flooring, beadboard ceiling, lattice.</li> <li>c) Installing seven ~112" tall, 8" wide @ base, tapered columns, and balustrades with square balusters,</li> <li>d) Prime and paint (2 coats) all surfaces.</li> </ul>
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**Work Item 3: repair to existing; resolve problems**

**Description of Current Condition:**

- (1) Brick piers and their foundations (6) are missing mortar or/and brick. (Photo 13,18)
- (2) Wood is deteriorating or missing and paint is peeling on and around doors (4 (2 double)), thresholds, eight windows and trim.
- (3) Railings along steps are unsafe (no fall protection between railing posts). (Photo 14)

**Proposed Work:**

Proposed work will to reinstate original architectural design and elements with materials approved by the Montgomery County Historic Commission. And meet 2024 building codes.

Proposed work includes:

- (1) Repoint/repair brick piers and their foundations.
- (2) Repair two double doors and windows.
- (3) Repair stair railings to 2024 code.
- (4) Prime and paint (2 coats).

Note: Proposed work emphasize sustainability. This includes resolving water issues as well as those sun-related—the east-facing porch is beaten by morning sun.



**Photo A - 7102 Maple Ave – Front Elevation**



**Photo B - 7102 Maple Ave – Side Elevation-North**



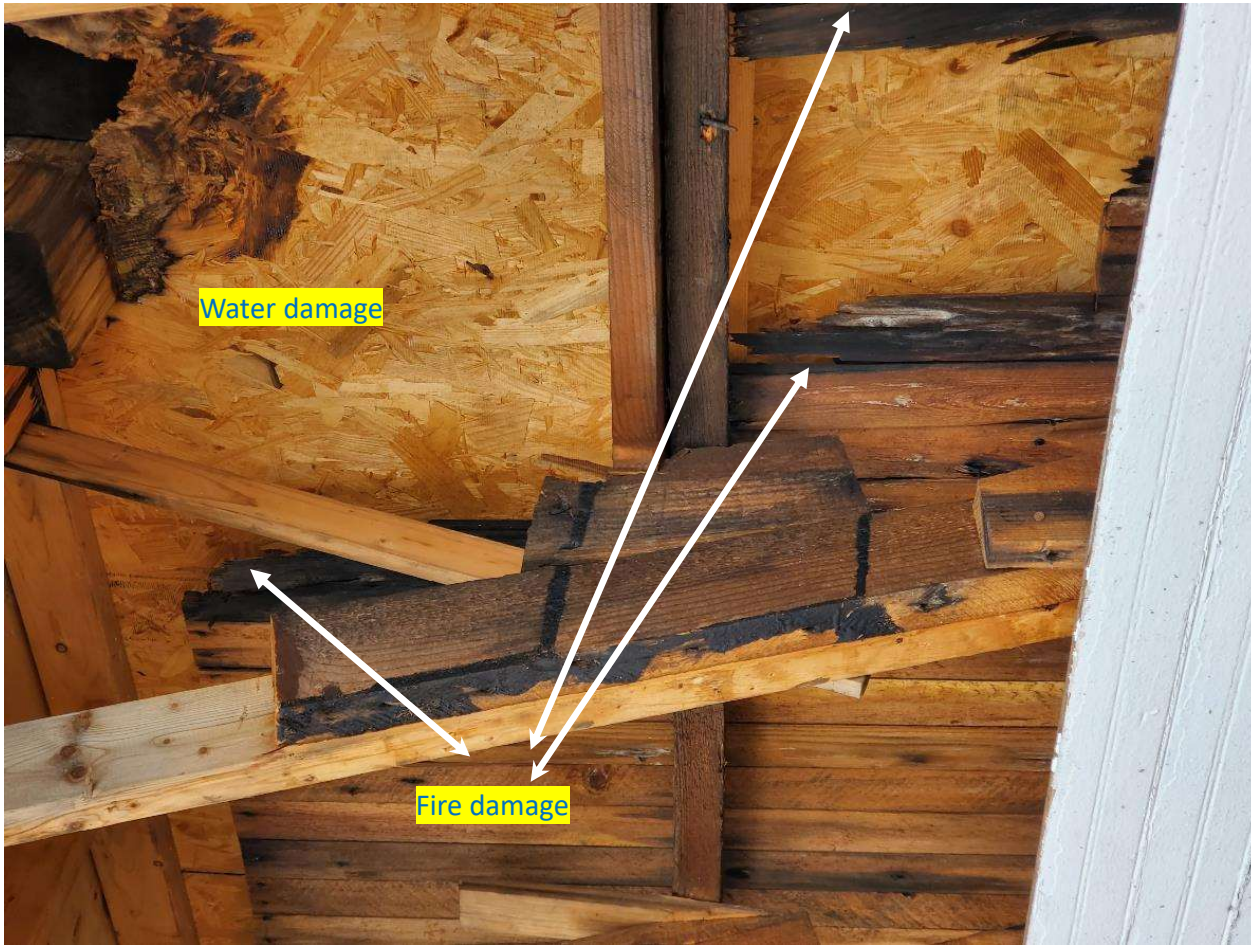
**Photo C - 7102 Maple Ave – Side Elevation-South**



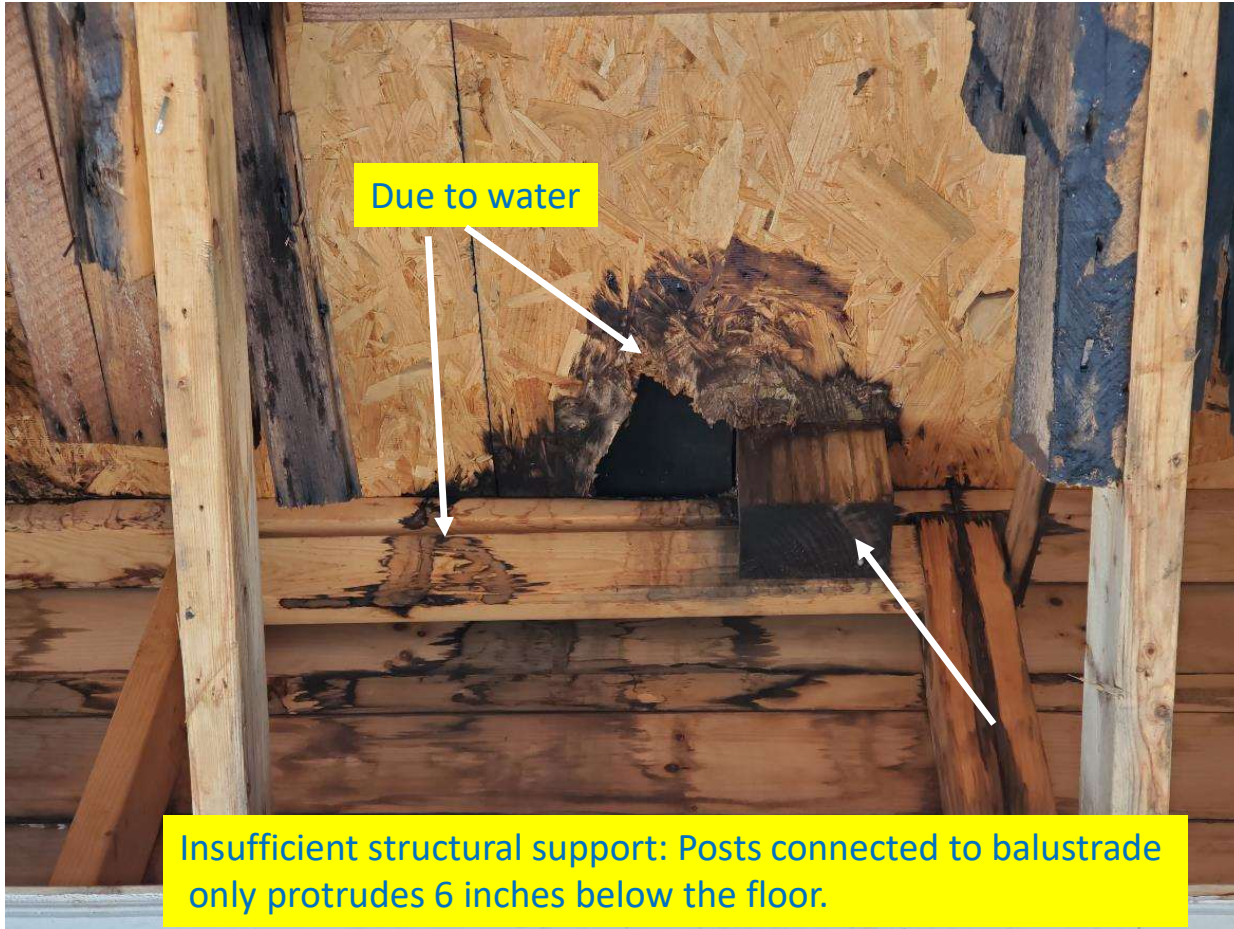
**Photo 1 - 7102 Maple Ave – cut joists too short**



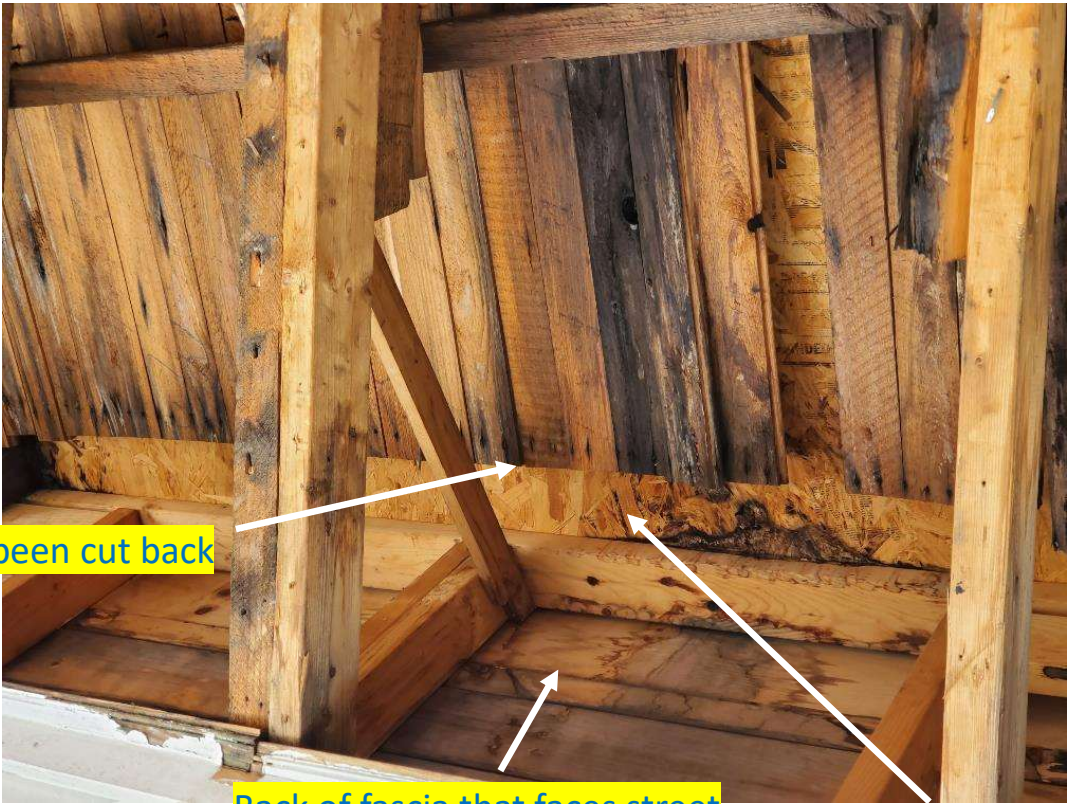
Photo 2 - 7102 Maple Ave – fire damage



**Photo 3 - 7102 Maple Ave – deteriorated post upper porch**



Side 4 - 7102 Maple Ave – OSB flooring and original tongue and groove cut



Original T&G has been cut back

Back of fascia that faces street

OSB

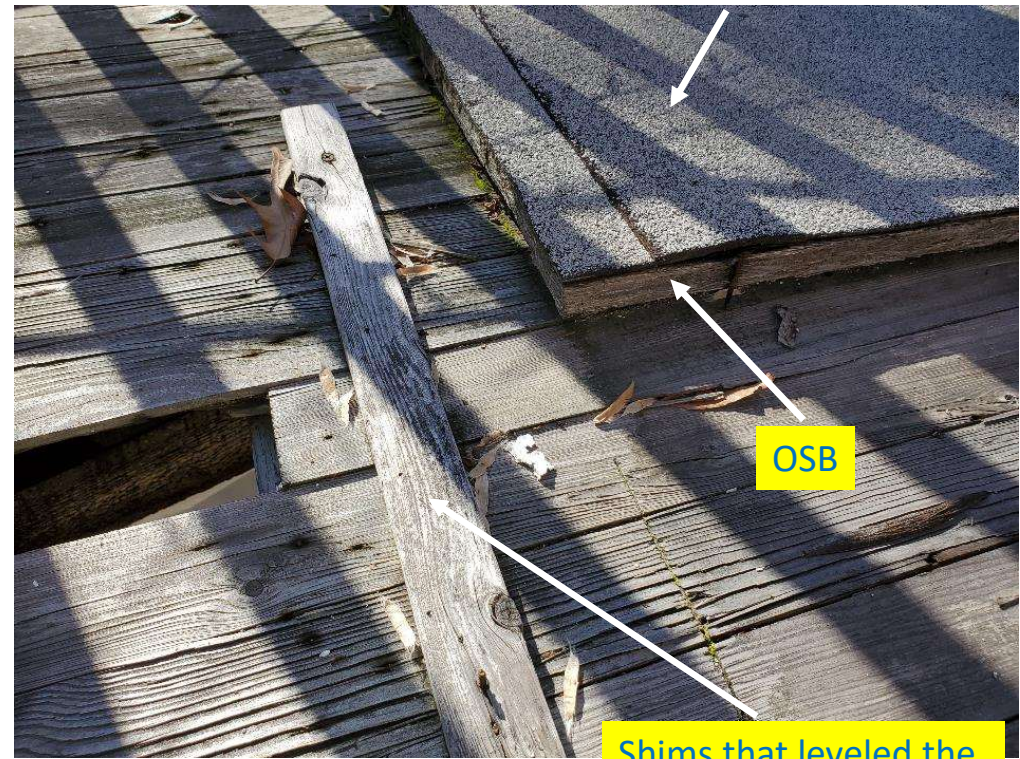
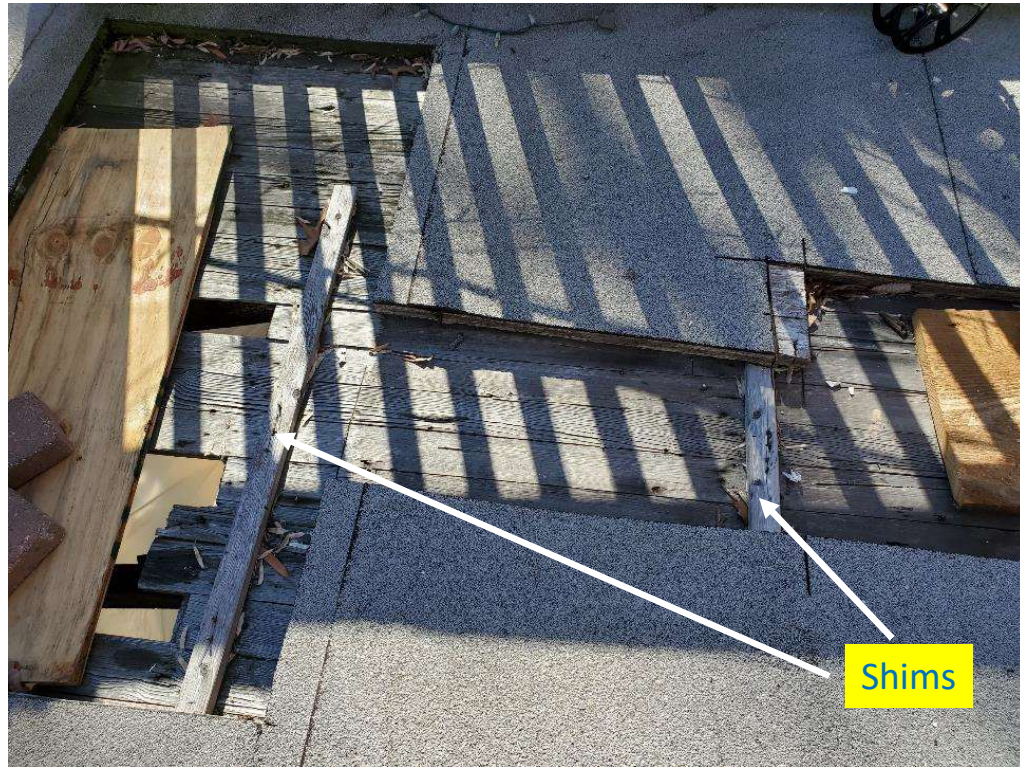
View of upper porch from underneath

**Photo 5 - 7102 Maple Ave – odd shaped shims holding up 20 Foot long 2x4s**





Photo 6 - 7102 Maple Ave – Upper Porch-T&G-OSB-Shims



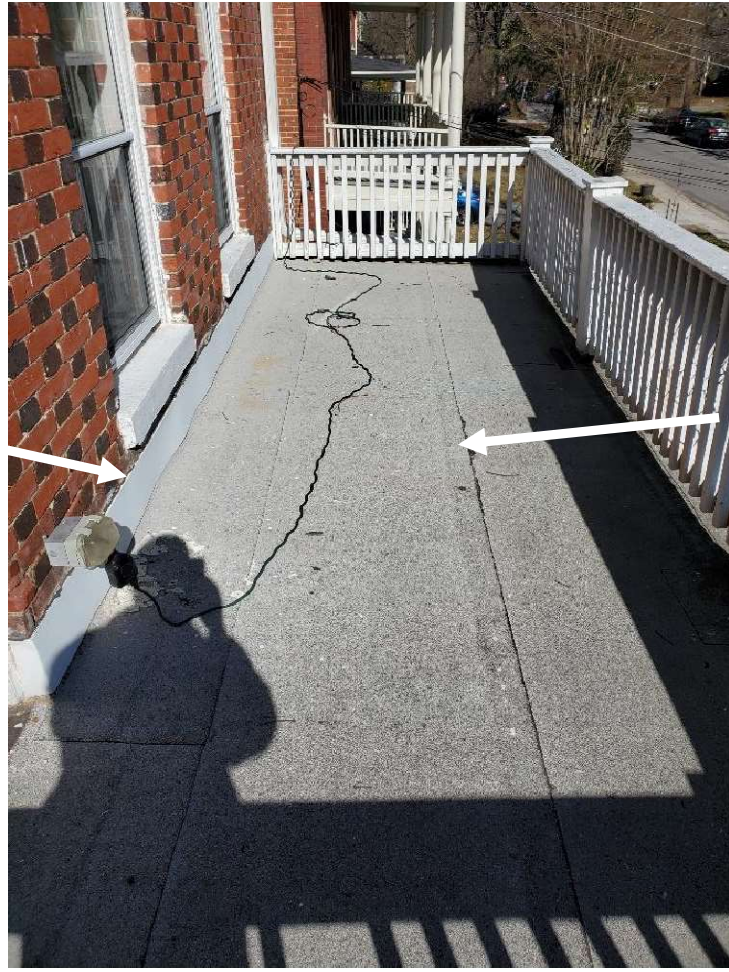
Close up

Asphalt roofing material

OSB

Shims that leveled the altered flooring

**Photo 7 - 7102 Maple Ave – Asphalt roofing material**



Flashing

Asphalt roofing material  
Unsuitable for foot traffic

## Photo 8 Fascia Comparisons

7102-4 Maple Ave – Fascia



7106-8 Maple Ave – Fascia

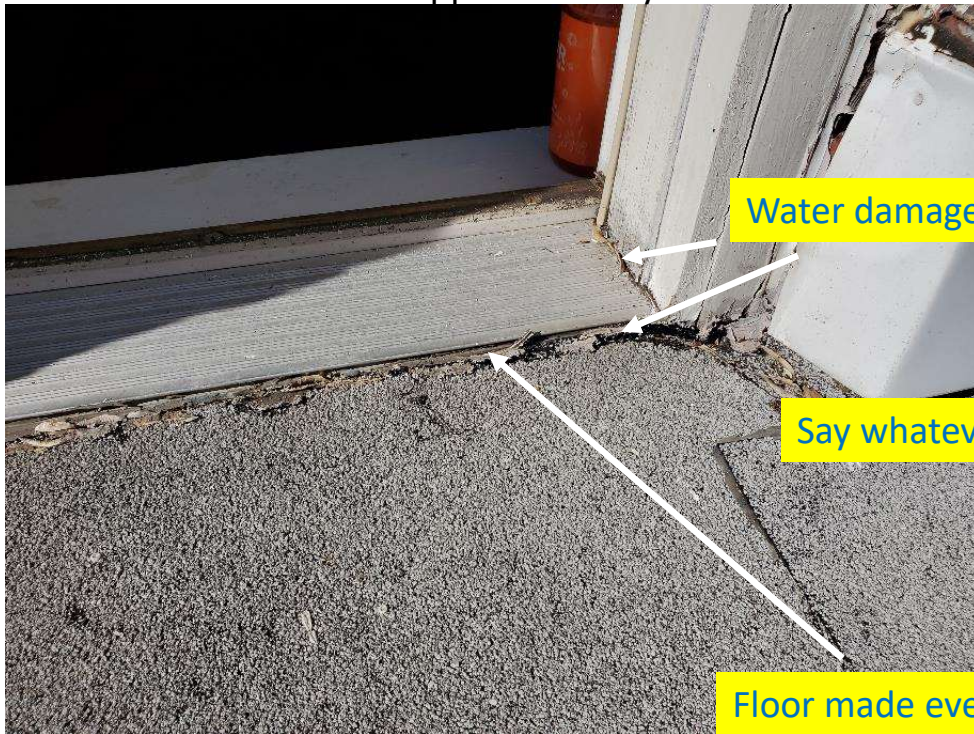


7103-5 Cedar Ave – Fascia

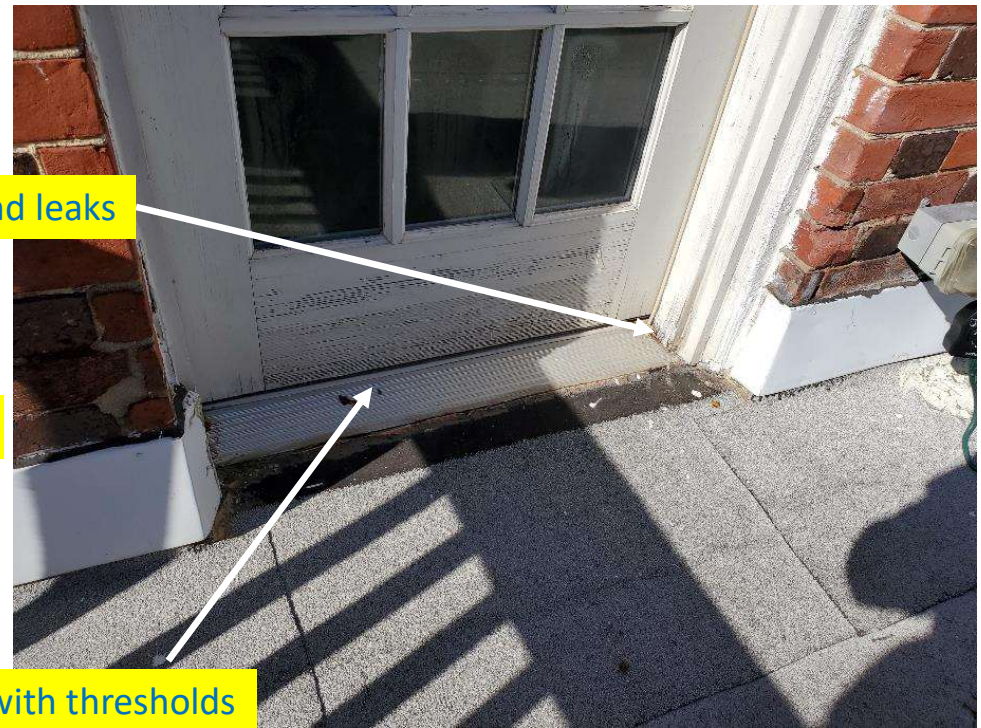


**Photo 9 - 7102 Maple Ave – Upper porch doorways**

7102 Upper Doorway



7104 Upper Doorway



**Photo 10 - 7102 Maple Ave – off center beam**



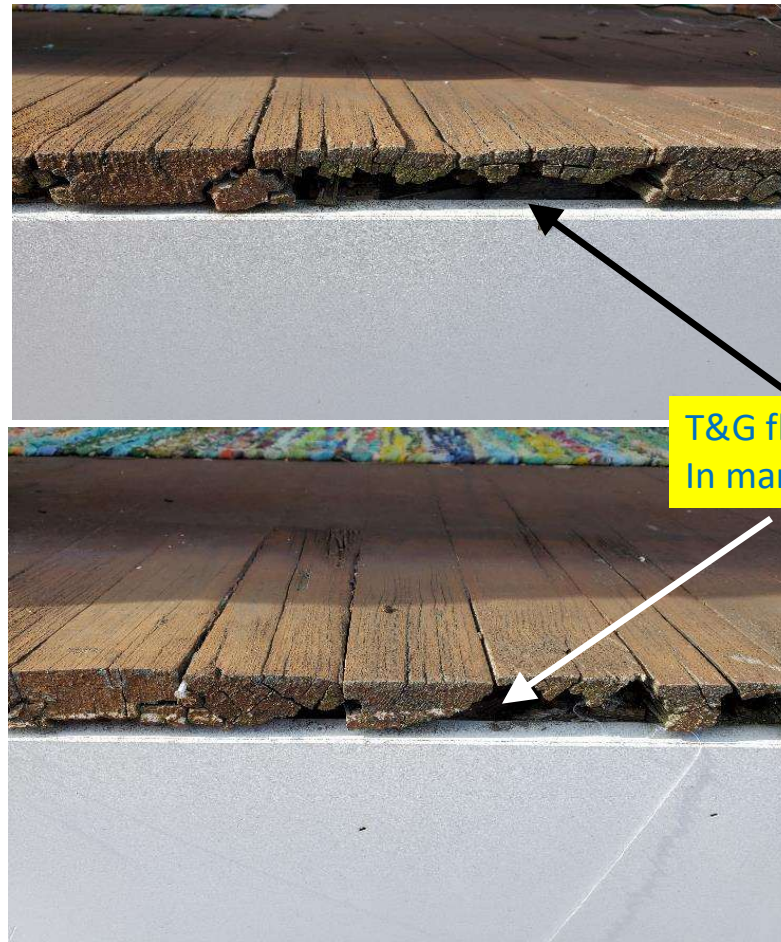
**Photo 11 - 7102 Maple Ave – lower porch floor joist rot**



Photo 12 - 7102 Maple Ave – lower porch floor rot



Pieces of T&G flooring missing  
In several places



T&G flooring deteriorating  
In many places

**Photo 13 - 7102 Maple Ave – brick pier base**





**Photo 14 - 7102 Maple Ave – steps showing no fall protection**



Needs fall protection between posts

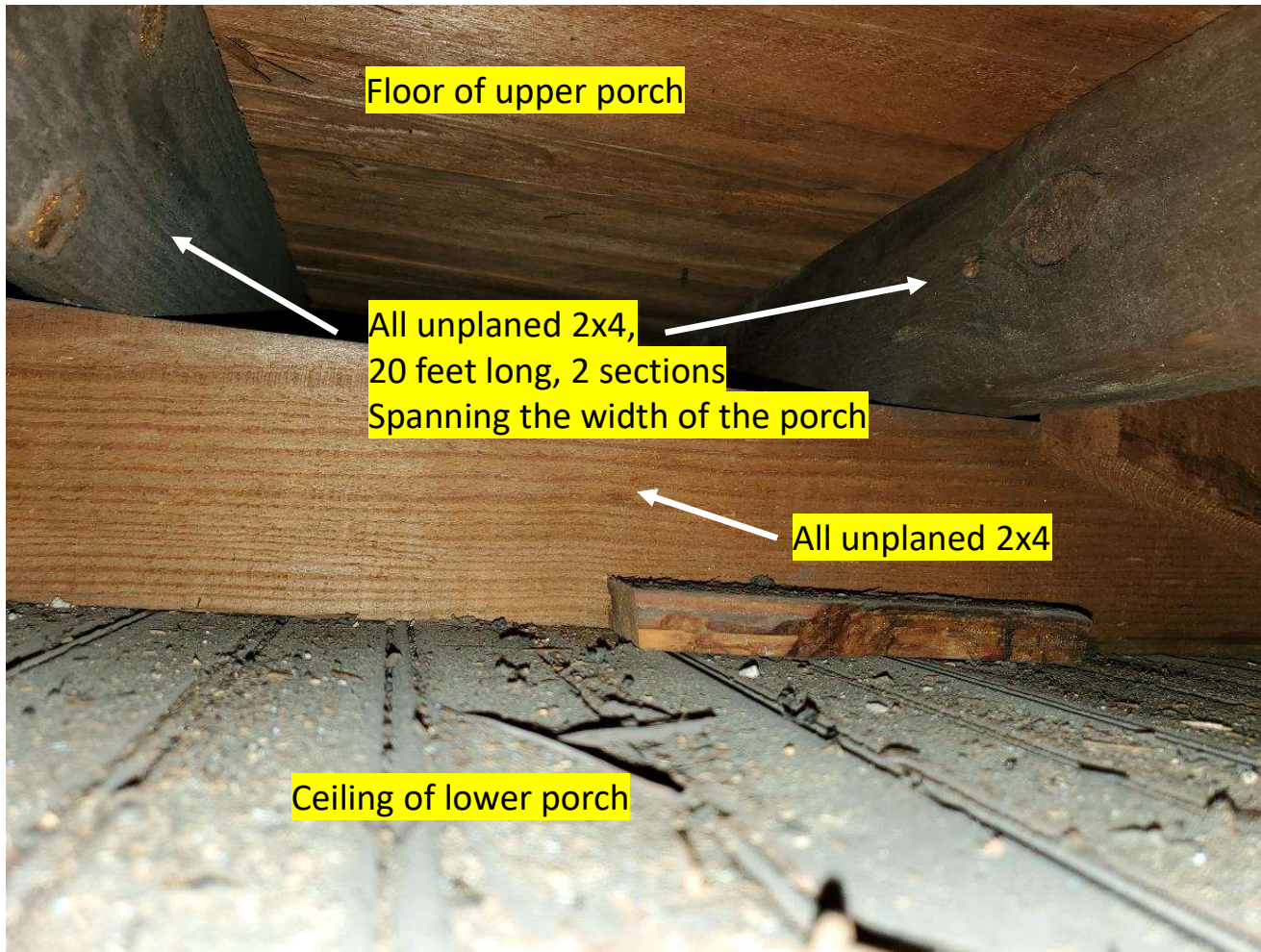
**Photo 15 - 7102 Maple Ave – odd shaped shims holding up 20 Foot long 2x4s**



**Photo 16 - 7102 Maple Ave – ‘wall’ above support beam**



Photo 17 - 7102 Maple Ave – original joists



**Photo 18 - 7102 Maple Ave – brick pier**



Photo 19 - 7102 Maple Ave – Hechinger label, junk wood



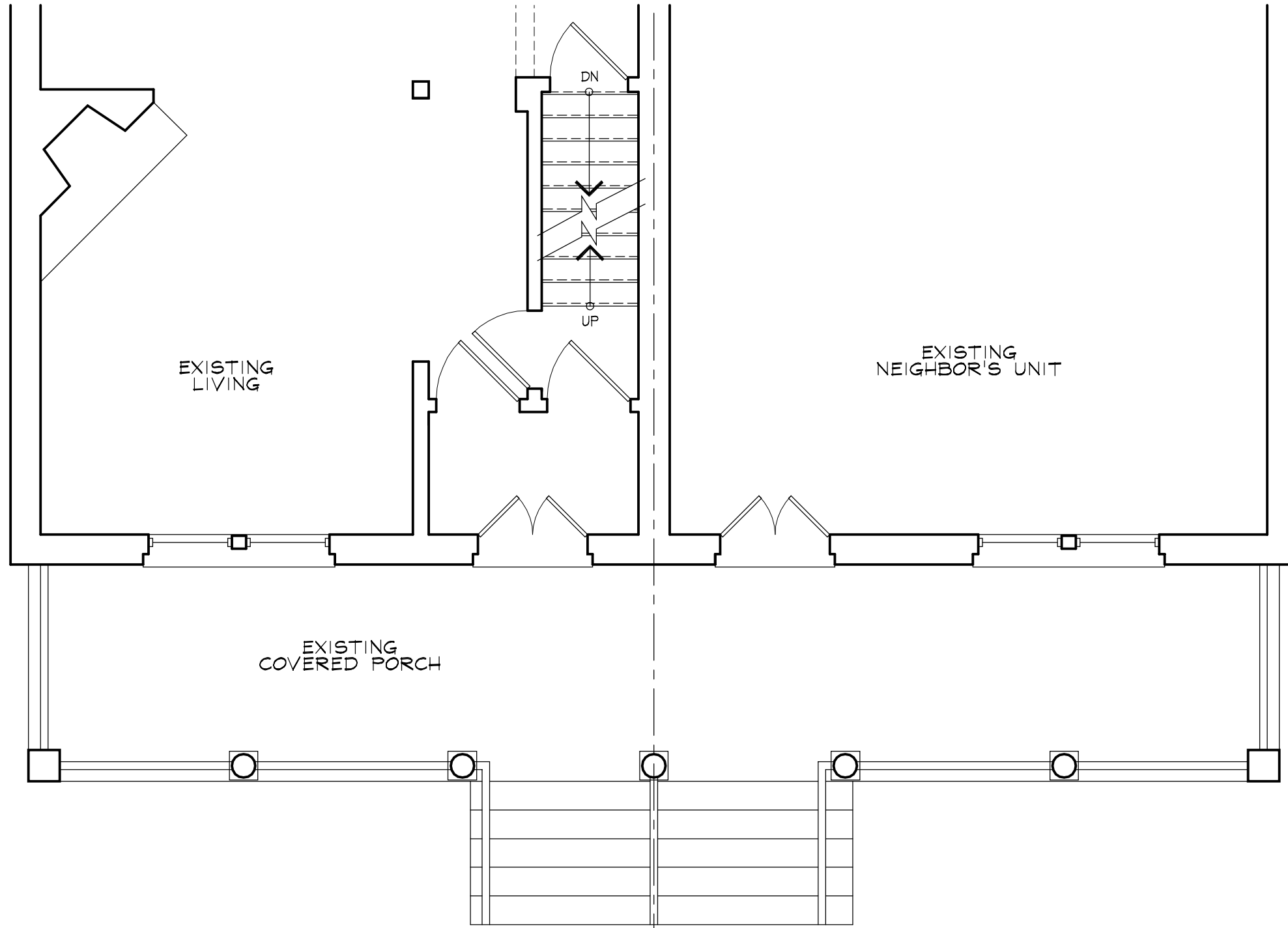
**Table 1 - Column Information**

	<b>7102-04 Maple Avenue</b>	<b>7106-08 Maple Avenue</b>	<b>7103-05 Cedar Avenue</b>	<b>7102-04 Maple Avenue PROPOSAL</b>
<b>Column Height</b>	102"	108"	112"	~112"
<b>Column Diameter @ base</b>	10"	8"	10"	~8"
<b>Column Style (PHOTOS)</b>				
<b>Upper-Lower Fascia Height</b>	33"	15"	15"	~15"
<p>Notes:</p> <ol style="list-style-type: none"> <li>1. Fascia @ 7102-04 Maple is more than twice as tall as others.</li> <li>2. Columns @ 7102-04 Maple are shorter than others.</li> <li>3. 7102-04 portion of ceiling closest to building is likely original as it is below original joists. Also, brick is below ceiling is clean—no paint to indicate ceiling has been raised.</li> <li>4. 7106-08 Maple ceiling is shorter but columns are taller than 7102-04 Maple.</li> </ol>				



2 EXISTING FRONT ELEVATION  
 A2 1/4" = 1'-0"





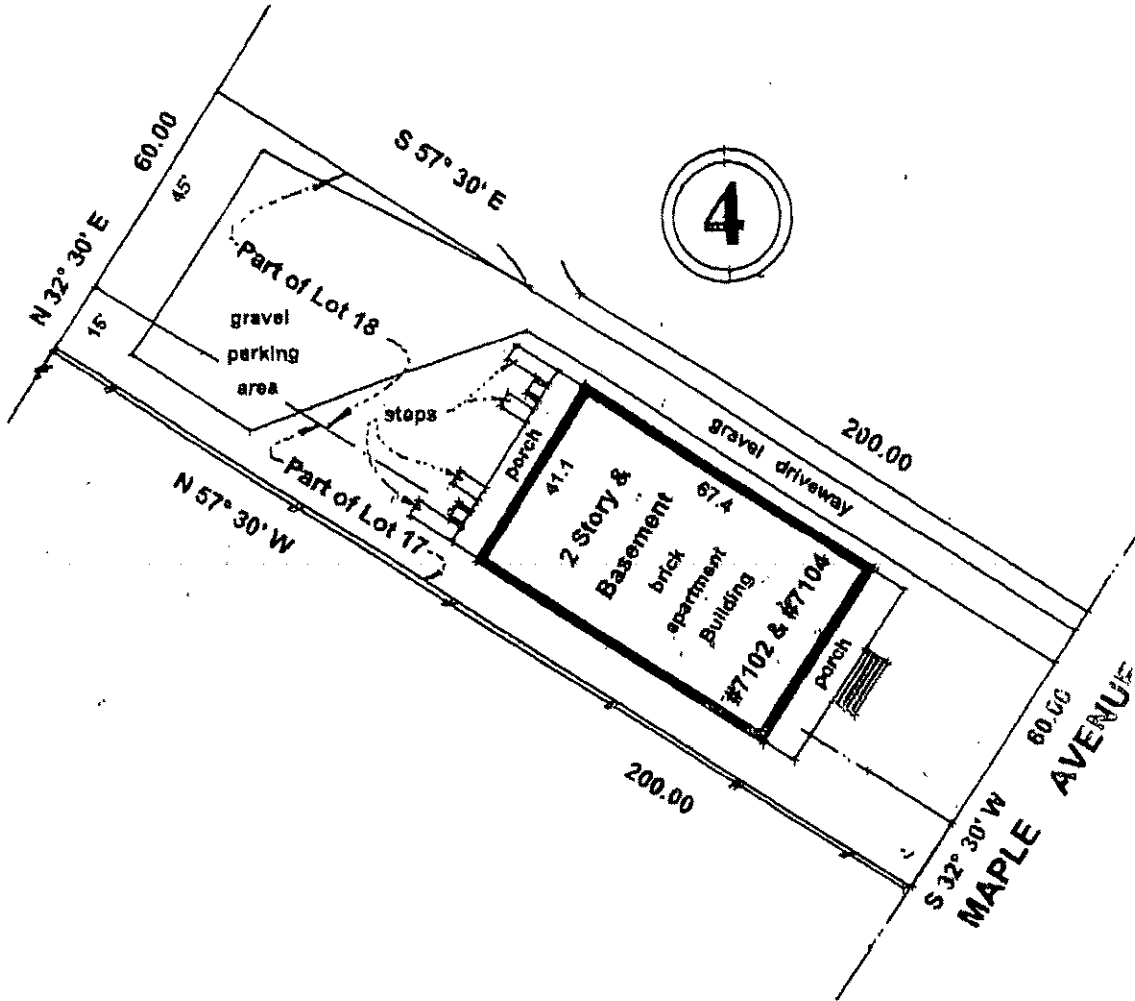
1  
AI

EXISTING/DEMO BASEMENT PLAN

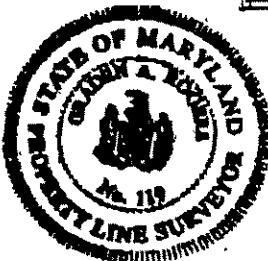
1/4" = 1'-0"

**LANDTECH ASSOCIATES, INC.**

10260 OLD COLUMBIA ROAD SUITE J  
 COLUMBIA, MARYLAND 21046-1721  
 PHONE: 410-290-8099 TOLL FREE: 888-290-1920  
 FAX: 410-290-8299 TOLL FREE 888-290-1922



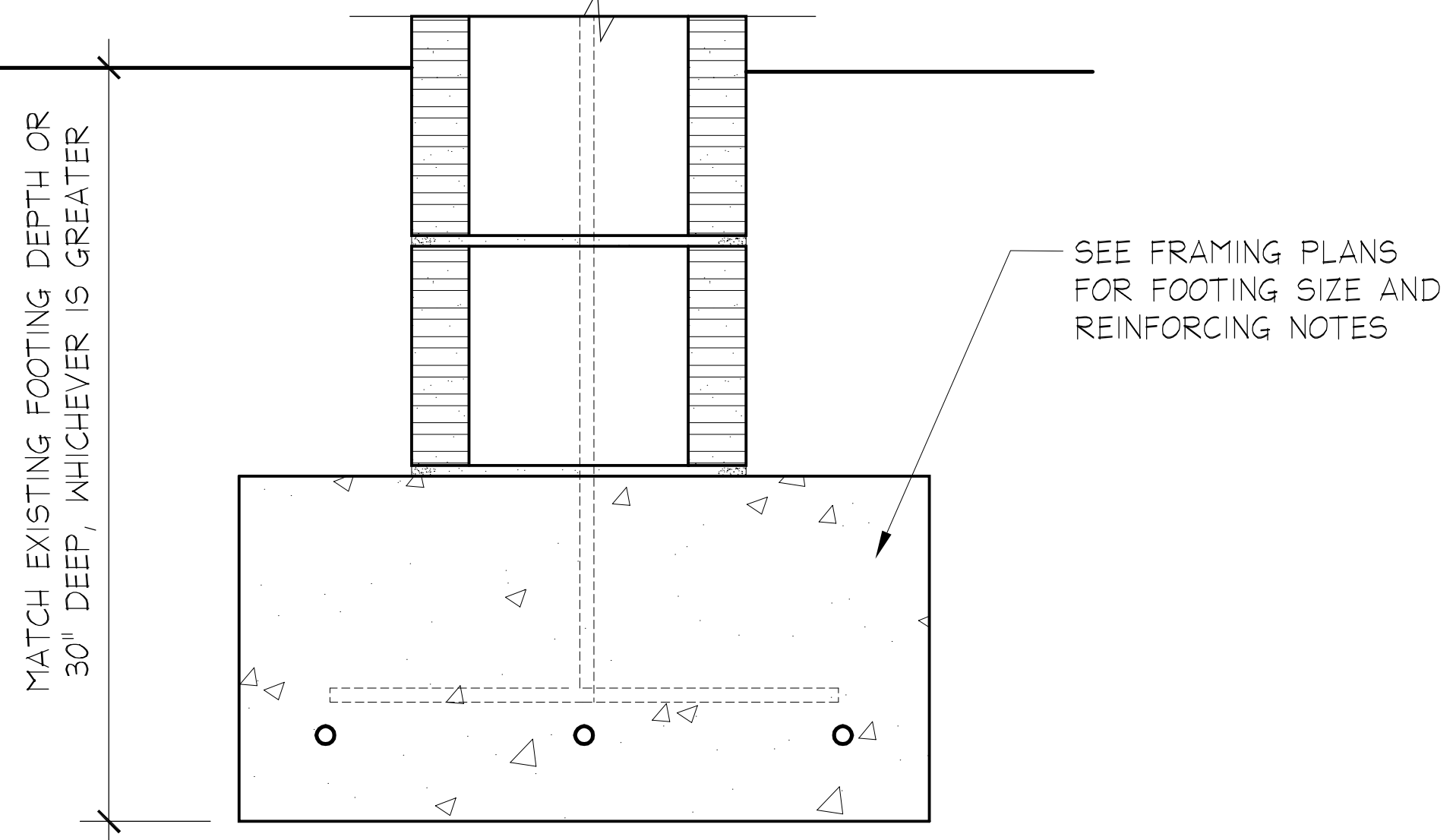
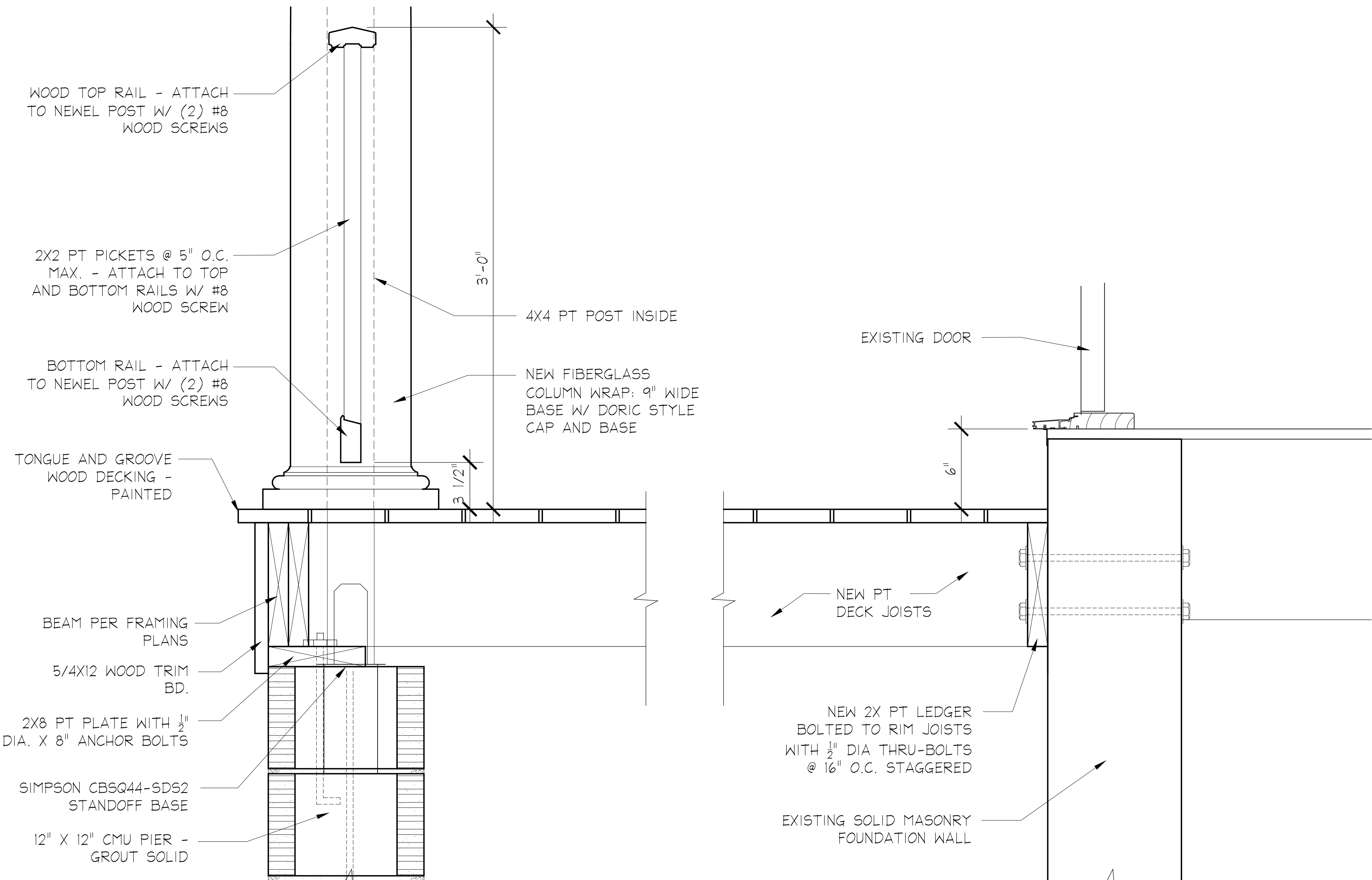
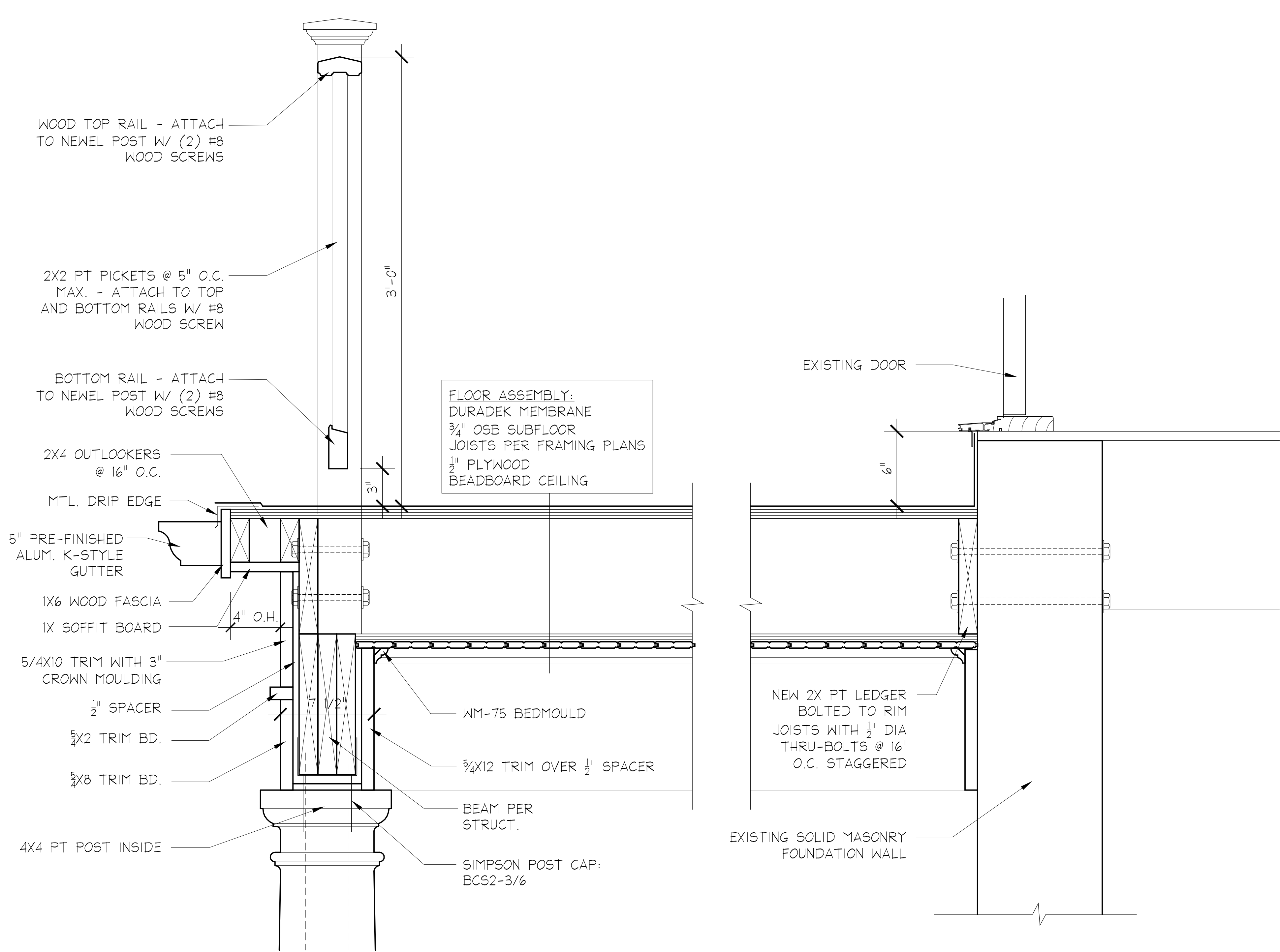
Location Survey of:	LOT: Pt.17, Pt.18	BLOCK: 4
#7102-7104 Maple Ave.	PLAT BK: "A"	PLAT#: 3
B.F. Gilbert's Addition to <b>Takoma Park</b> Montgomery Co., MD	DATE: 2-14-08	SCALE: 1"=30'
	CASE NUMBER: 0813542-MP	
	FILE NUMBER: LT-2080197	



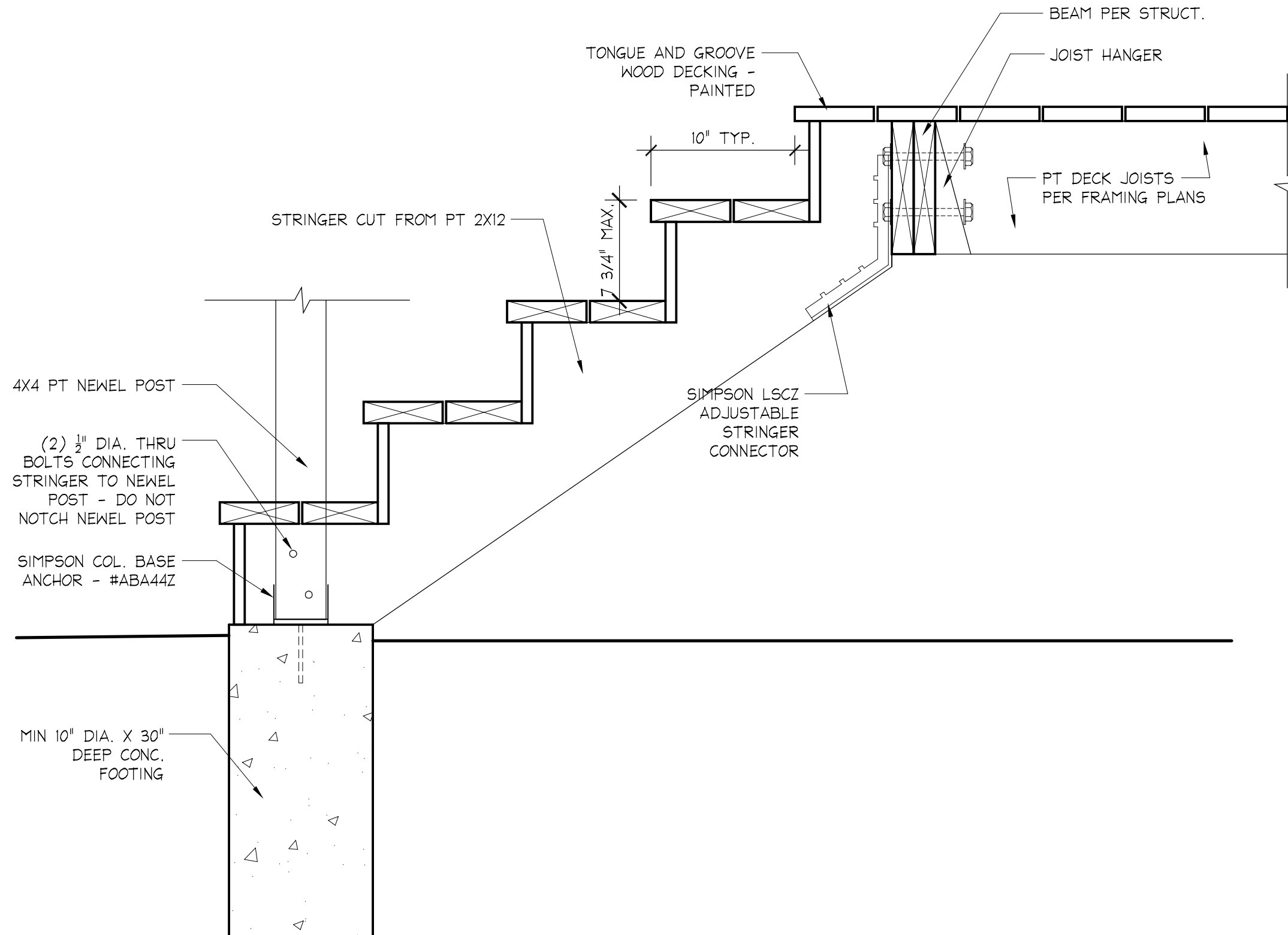
**NOTES:**

1. This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plat is not to be relied upon for the establishment or location of fences, garages, buildings or other existing or future improvements.
3. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Property line survey recommended to determine the exact location of improvements and/or encroachments, if any.
5. Property subject to any/all rights-of-way, easements, and/or covenants of record and/or imposed by law.
6. This plat is not to be used for the issuance of permits.
7. No title report furnished.

**CERTIFICATION:** I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.



1 SECTION DETAIL @ FRONT PORCH/ROOF DECK  
 A3 3/8" = 1'-0"



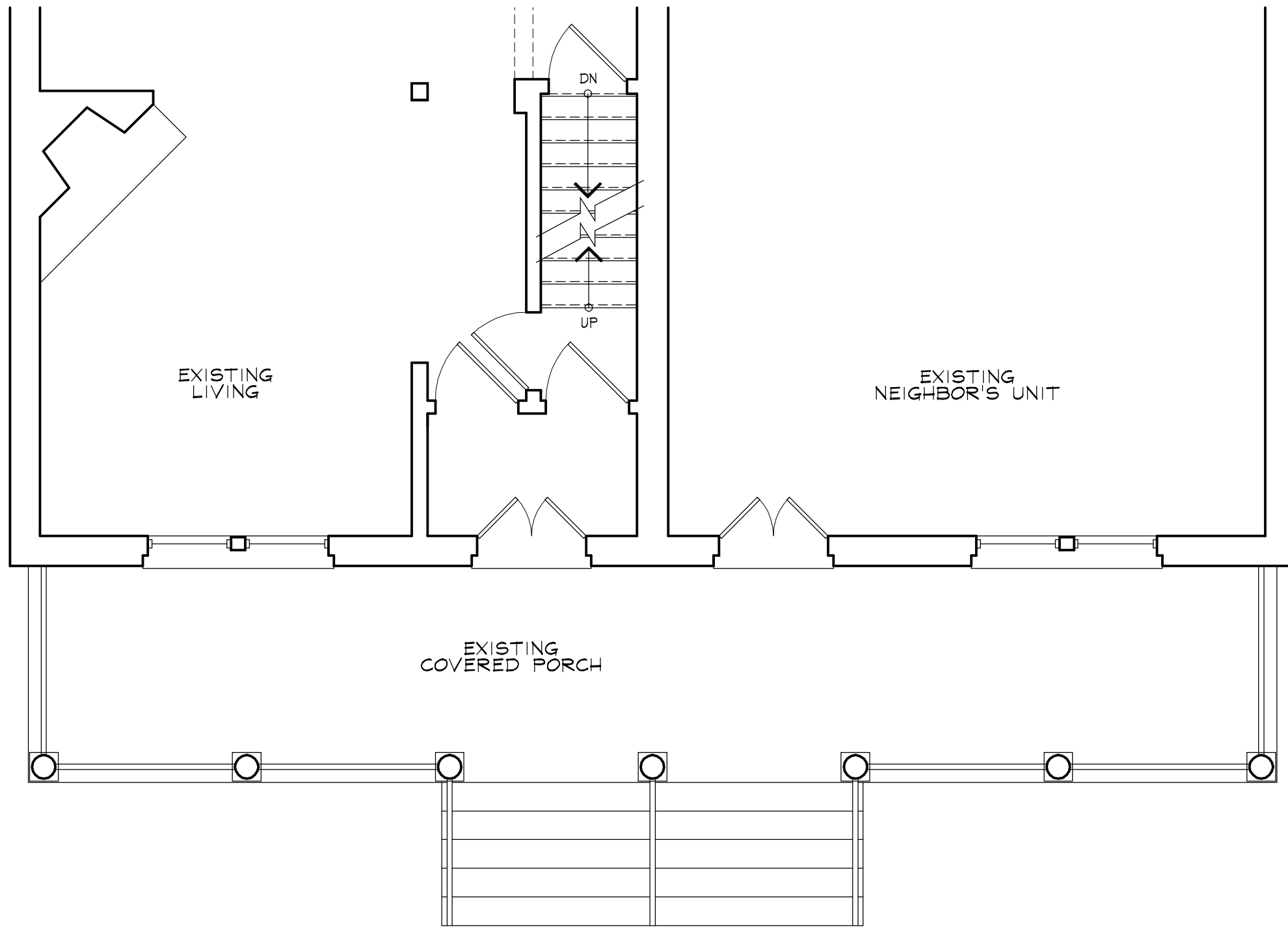
2 PORCH STAIR SECTION DETAIL  
 A3 1 1/2" = 1'-0"



1  
A2

PROPOSED FRONT ELEVATION

1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN  
A1.2 1/4" = 1'-0"

# City of Takoma Park

Housing and Community Development Department

Main Office 301-891-7119  
Fax 301-270-4568  
www.takomaparkmd.gov



7500 Maple Avenue  
Takoma Park, MD 20912

## MUNICIPALITY LETTER

February 22, 2024

**To:** Roxanne Fulcher & Keith Chamberlin  
7102-04 Maple Avenue  
Roxy@pheared.net 3012705151

**To:** Department of Permitting Services  
2425 Reedie Drive, 7<sup>th</sup> floor  
Wheaton, Maryland 20902

**From:** Planning and Development Services Division

### **THIS IS NOT A PERMIT – For Informational Purposes Only**

VALID FOR ONE YEAR FROM DATE OF ISSUE

The property owner is responsible for obtaining all required permits from Montgomery County and the City of Takoma Park. If this property is in the **Takoma Park Historic District**, it is subject to Montgomery County Historic Preservation requirements.

**Representative Name:** Roxanne Fulcher Roxy@pheared.net 301-270-5151  
**Location of Project:** 7102-04 Maple Avenue  
**Proposed Scope of Work:** Repair 2-story front porch

The purpose of this municipality letter is to inform you that the City of Takoma Park has regulations and city permit requirements that may apply to your project. This municipality letter serves as notification that, in addition to all Montgomery County requirements, you are required to comply with all City permitting requirements, including:

- Tree Impact Assessment/Tree Protection Plan
- Stormwater management
- City Right of Way

Failure to comply with these requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law. Details of Takoma Park's permit requirements are attached on page 2.

The issuance of this letter does not indicate approval of the project nor does it authorize the property owner to proceed with the project. The City retains the right to review and comment on project plans during the Montgomery County review process.

# City Of Takoma Park

## The City of Takoma Park permits for the following issues:

### Tree Impact Assessment/Tree Protection Plan/Tree Removal Application:

Construction activities that occur within 50 feet of any urban forest tree (7 and 5/8" in trunk diameter or greater), located on the project property or on an adjacent property, may require a Tree Impact Assessment and possibly a Tree Protection Plan Permit. Make sure to submit a request for a Tree Impact Assessment and schedule a site visit with the City's Urban Forest Manager if any urban forest tree is in the vicinity of proposed construction activities. See the Tree Permits section of the City website for the specific conditions in which a Tree Impact Assessment is required. Depending on the Urban Forest Manager's conclusion following the Tree Impact Assessment, you may need to prepare a full Tree Protection Plan and apply for a Tree Protection Plan Permit as well. Separately, the removal of any urban forest tree will require a Tree Removal Permit application. The tree ordinance is detailed in the City Code, section 12.12. For permit information check: <https://takomaparkmd.gov/services/permits/tree-permits>. The City's Urban Forest Manager can be reached at 301-891-7612 or [urbanforestmanager@takomaparkmd.gov](mailto:urbanforestmanager@takomaparkmd.gov).

### Stormwater Management:

If you plan to develop or redevelop property, you may be required to provide appropriate stormwater management measures to control or manage runoff, as detailed in City Code section 16.04. All commercial or institutional development in the city must apply for a Stormwater Management Permit regardless of the size of the land disturbance. Additions or modifications to existing detached single-family residential properties do not require a Stormwater Management permit if the project does not disturb more than 5,000 square feet of land area. For more information on visit: <https://takomaparkmd.gov/government/public-works/stormwater-management-program/>. The City Engineer should be contacted to determine if a City permit is required. The City Engineer can be reached at 301-891-7620.

### City Right of Way:

- To place a **construction dumpster or storage container** temporarily on a City right of way (usually an adjacent road), you will need to obtain a permit. A permit is not required if the dumpster is placed in a privately-owned driveway or parking lot.
- If you plan to install a new **driveway apron**, or enlarge or replace an existing driveway apron, you need a Driveway Apron Permit.
- If you plan to construct a **fence** in the City right of way, you need to request a Fence Agreement. If approved, the Agreement will be recorded in the Land Records of Montgomery County.

For more information and applications for City permits, see: <https://takomaparkmd.gov/services/permits/> or contact the Department of Public Works at 301-891-7633.

**Failure to comply with the City's permitting requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law.**

eSigned via SeamlessDocs.com  
*RoxyAnne Fulcher*  
Key: 38bf2056622713c0b979ea7ee94776a

RoxyAnne Fulcher

02-22-2024

eSigned via SeamlessDocs.com  
*Takoma Park Planning Division*  
Key: 19fe64f123e96a3ff4576219059d5fba

02-22-2024





DEPARTMENT OF PERMITTING SERVICES

Marc Elrich  
*County Executive*

Rabbiah Sabbakhan  
*Director*

# HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 6/16/2024

Application No: 1074837  
AP Type: HISTORIC  
Customer No: 1495580

## Affidavit Acknowledgement

The Homeowner is the Primary applicant  
This application does not violate any covenants and deed restrictions

## Primary Applicant Information

Address 7102 Maple AVE  
Takoma Park, MD 20912

Homeowner Fulcher (Primary)

## Historic Area Work Permit Details

Work Type RESREP

Scope of Work Restore two-story front porch.