



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
County Executive

Robert Sutton  
Chairman

Date: August 5, 2024

### MEMORANDUM

TO: Rabbiah Sabbakhan  
Department of Permitting Services

FROM: Chris Berger  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1072012 - Partial Demolition and Construction of New Two-Story Addition, and Other Alterations

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with eight conditions** at the July 24, 2024, HPC meeting:

1. Applicant must draw and label the downspouts on both the existing and proposed elevations.
2. Applicant must label the type of asphalt shingle roof (three-tab or architectural) and label all the materials on the existing elevations.
3. Applicant must label the material of the proposed porch piers; porch stairs treads and risers; rear door; rear stairways; and screened porch posts on the proposed elevations.
4. Applicant must provide a door and window schedule.
5. Applicant must show the HVAC pad location on the site plan.
6. The selected front porch decking must adhere to HPC Policy No. 24-01 for the Appropriateness of Substitute materials for Porch and Deck Flooring.
7. Applicant must provide specification sheets for all building features, including the doors, windows, siding, soffit, trim, roofing, porch columns, railing, decking, lighting, and gutters and downspouts.
8. Applicant must provide a copy of Tree Impact Assessment and Protection Plan.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: James Ogorzalek  
Address: 13 Montgomery Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Chris Berger at 301-495-4571 or [chris.berger@montgomeryplanning.org](mailto:chris.berger@montgomeryplanning.org) to schedule a follow-up site visit.



















**REVIEWED**  
By Chris Berger at 10:16 am, Aug 05, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert A. Hoover*

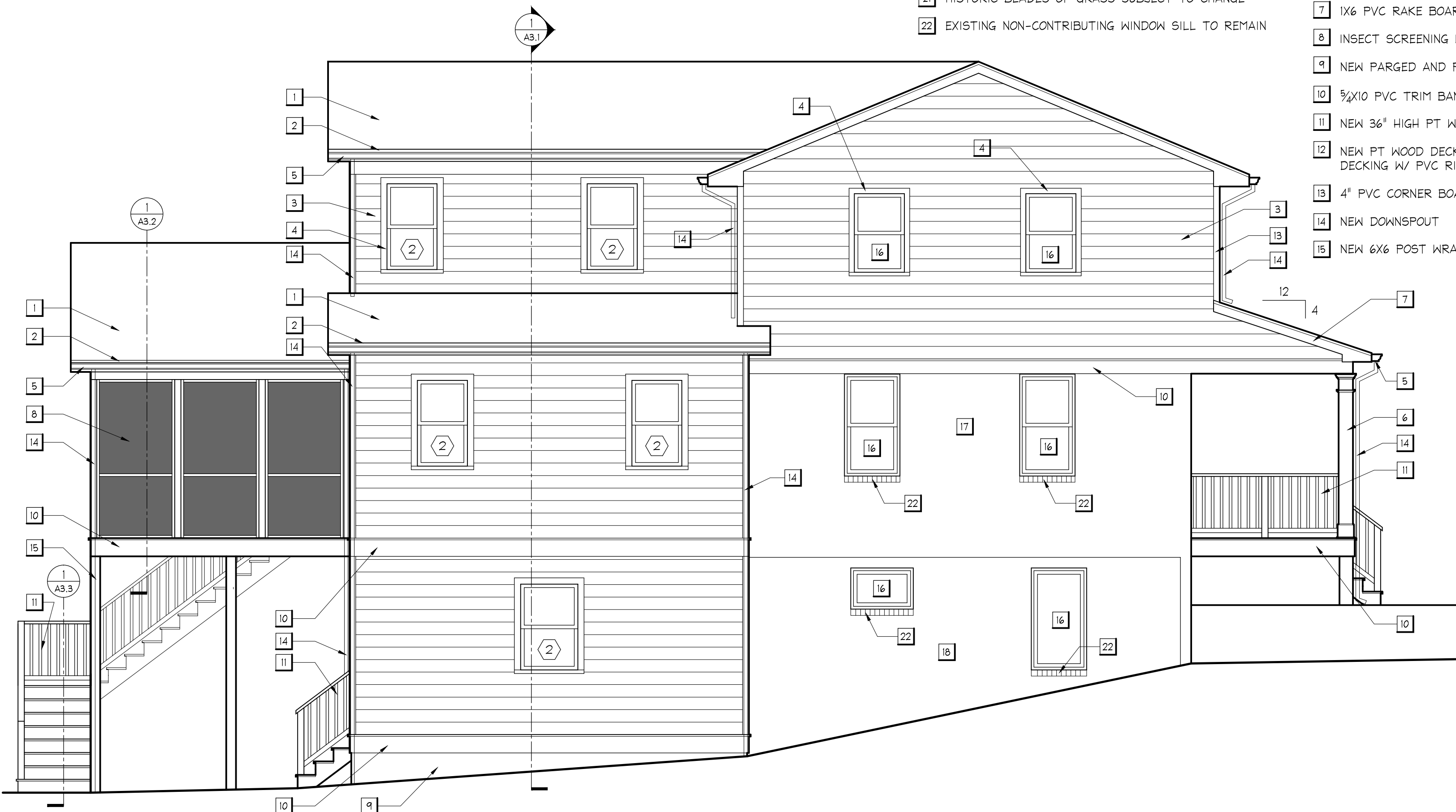
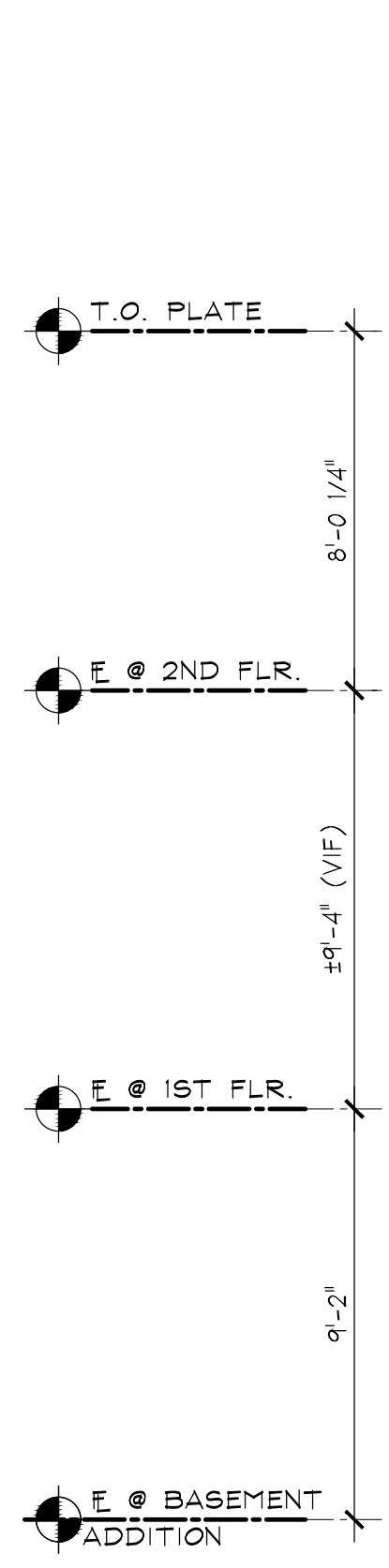
MUNICIPAL STAMPS

- ADDITIONAL KEYNOTES REQUIRED BY HPC:**
- 16 EXISTING NON-CONTRIBUTING WINDOW TO REMAIN
  - 17 EXISTING NON-CONTRIBUTING BRICK TO REMAIN
  - 18 EXISTING NON-CONTRIBUTING PARING TO REMAIN
  - 19 EXISTING NON-CONTRIBUTING CHIMNEY TO REMAIN
  - 20 EXISTING NON-CONTRIBUTING FRONT DOOR TO REMAIN
  - 21 HISTORIC BLADES OF GRASS SUBJECT TO CHANGE
  - 22 EXISTING NON-CONTRIBUTING WINDOW SILL TO REMAIN

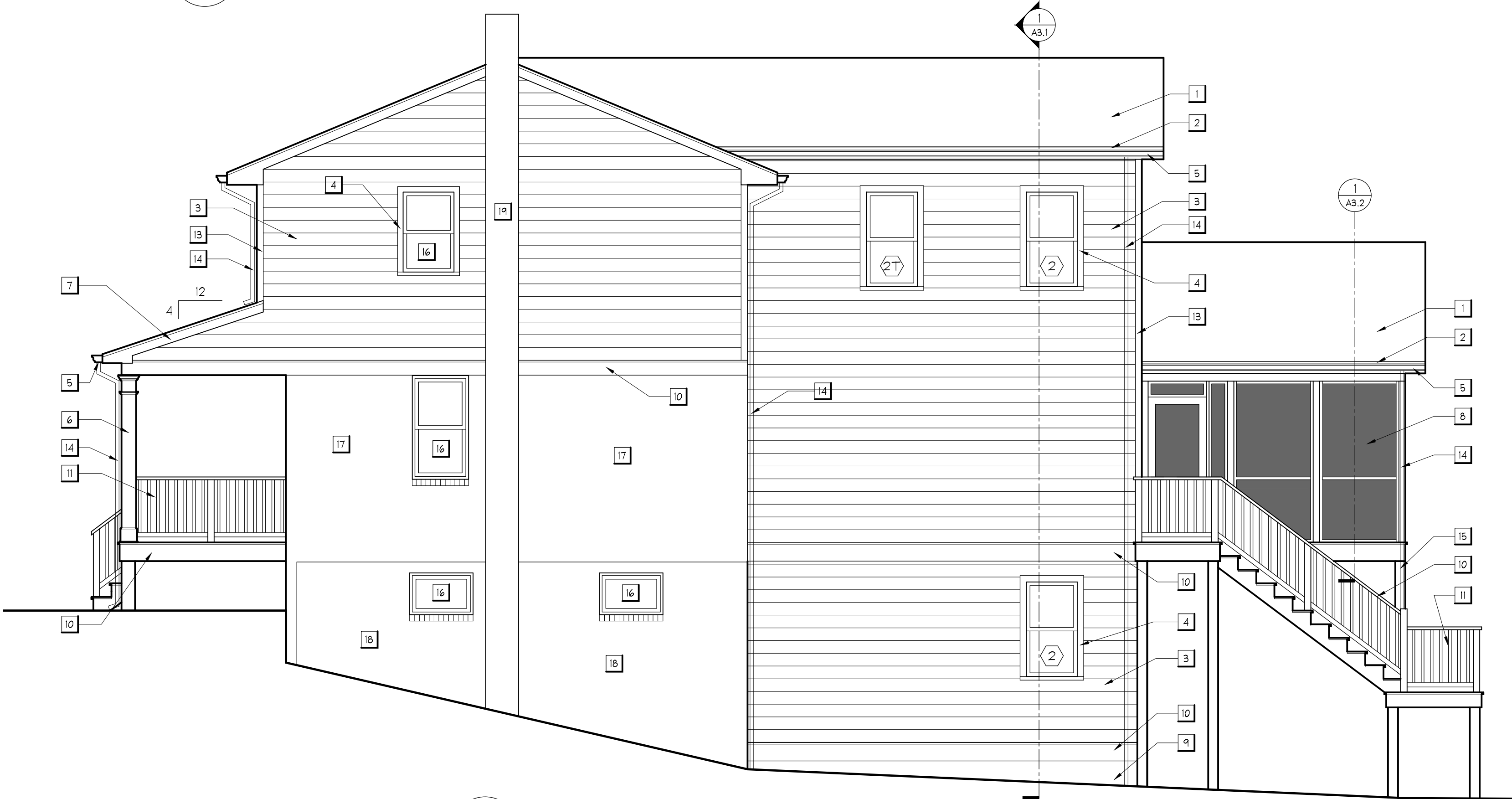
- ELEVATION KEYNOTES:**
- 1 30 YR. ARCHITECTURAL ASPHALT SHINGLE ROOFING
  - 2 1X6 PVC FASCIA BD - PT'D
  - 3 NEW HARDIE SIDING 1/2" EXPOSURE SMOOTH FINISH
  - 4 NEW 3/4X4 PVC WINDOW TRIM ON TOP/SIDES WITH 2" HISTORIC SILL - PT'D
  - 5 PREFINISHED ALUM. GUTTER - MATCH EXIST.
  - 6 7.5" SQ. PVC COLUMN WRAP
  - 7 1X6 PVC RAKE BOARD
  - 8 INSECT SCREENING WITH 36" HIGH RAILING ON INSIDE
  - 9 NEW PARGED AND PAINTED CMU FOUNDATION WALL
  - 10 5/8X10 PVC TRIM BAND WITH 3/8X2 DRIP CAP
  - 11 NEW 36" HIGH PT WOOD RAILING - SEE DETAILS
  - 12 NEW PT WOOD DECK AAND STAIRS - PT WOOD DECKING W/ PVC RISERS - SEE DETAIL
  - 13 4" PVC CORNER BOARD
  - 14 NEW DOWNSPOUT
  - 15 NEW 6X6 POST WRAPPED IN 1X PVC TRIM



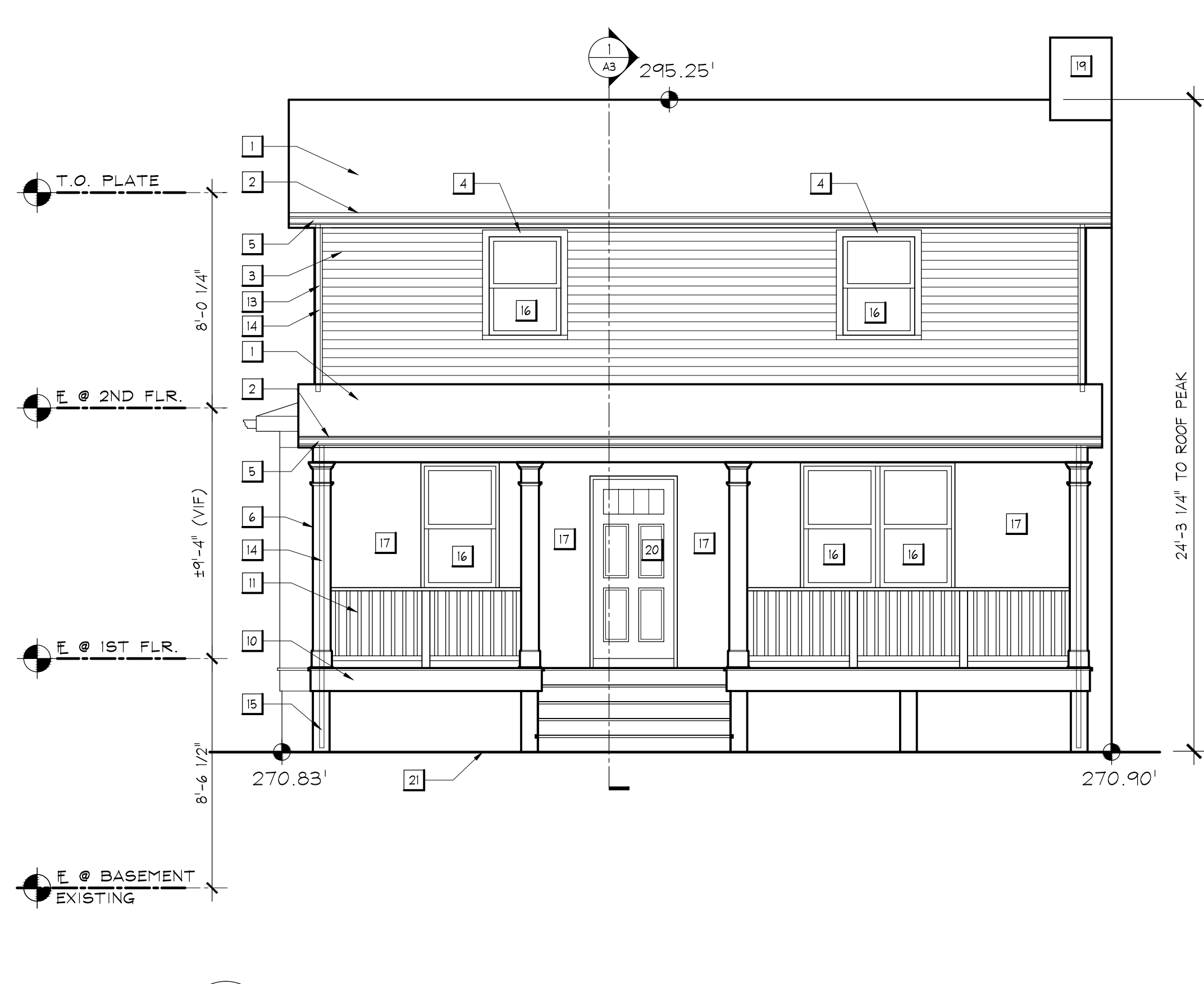
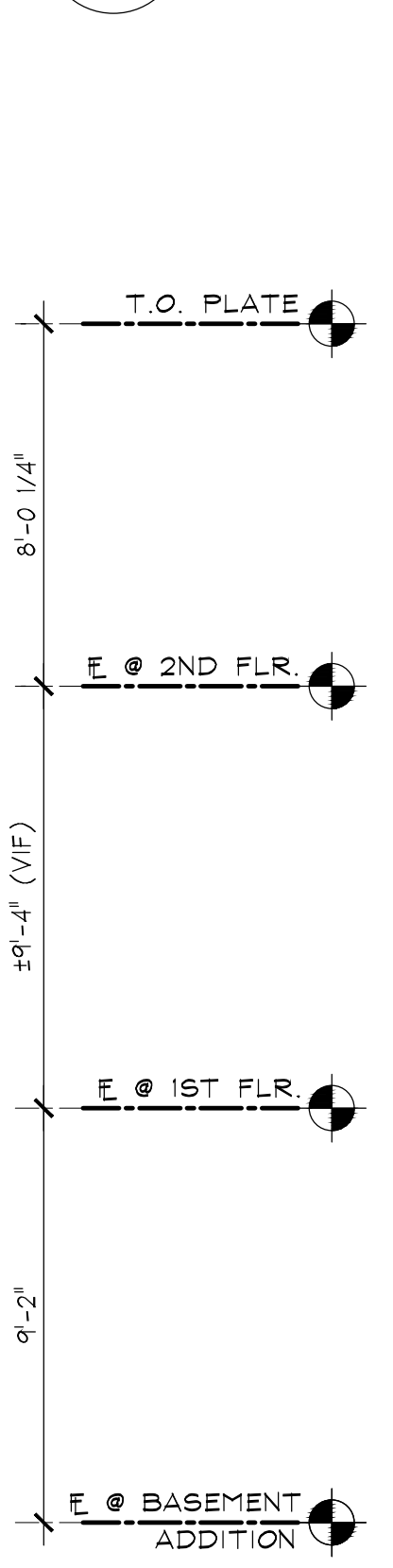
**4 PROPOSED REAR ELEVATION**  
A2 1/4" = 1'-0"



**3 PROPOSED WEST SIDE ELEVATION**  
A2 1/4" = 1'-0"



**2 PROPOSED EAST SIDE ELEVATION**  
A2 1/4" = 1'-0"



**1 PROPOSED FRONT ELEVATION**  
A2 1/4" = 1'-0"

**SAUL ARCHITECTS**  
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912  
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REVISIONS

**OGORZALEK RESIDENCE**  
ADDITION AND RENOVATION  
13 MONTGOMERY AVENUE | TAKOMA PARK, MD 20912

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PROFESSIONAL CERTIFICATION:  
I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE JUNE 30, 2025

PROJECT NUMBER: 23028

PRINTING LOG	
DATE	PURPOSE
01.17.24	PRE-DESIGN/SD MEETING 1
08.02.24	PERMIT SET

EXTERIOR ELEVATIONS

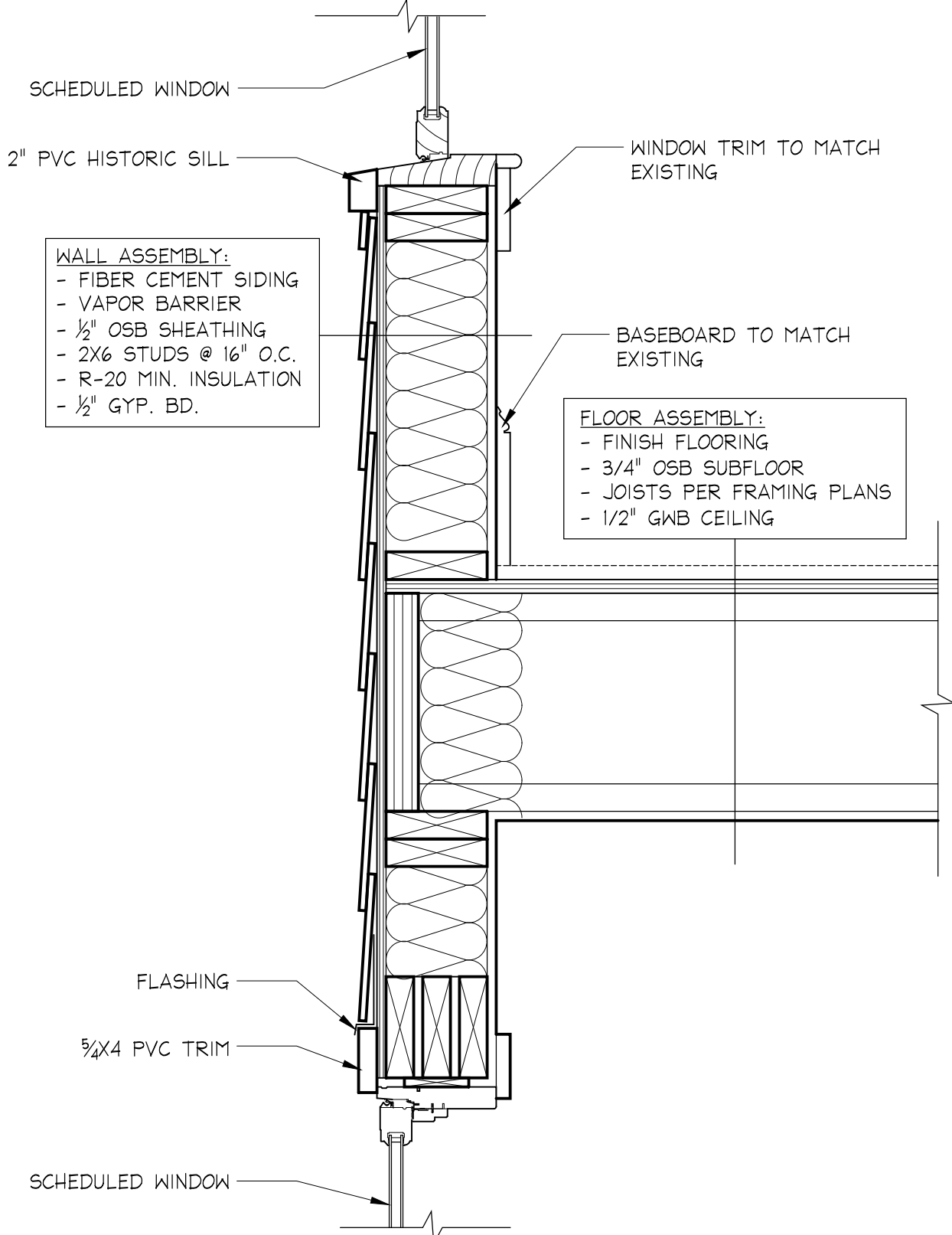
**A2**

**REVIEWED**  
By Chris Berger at 10:16 am, Aug 05, 2024

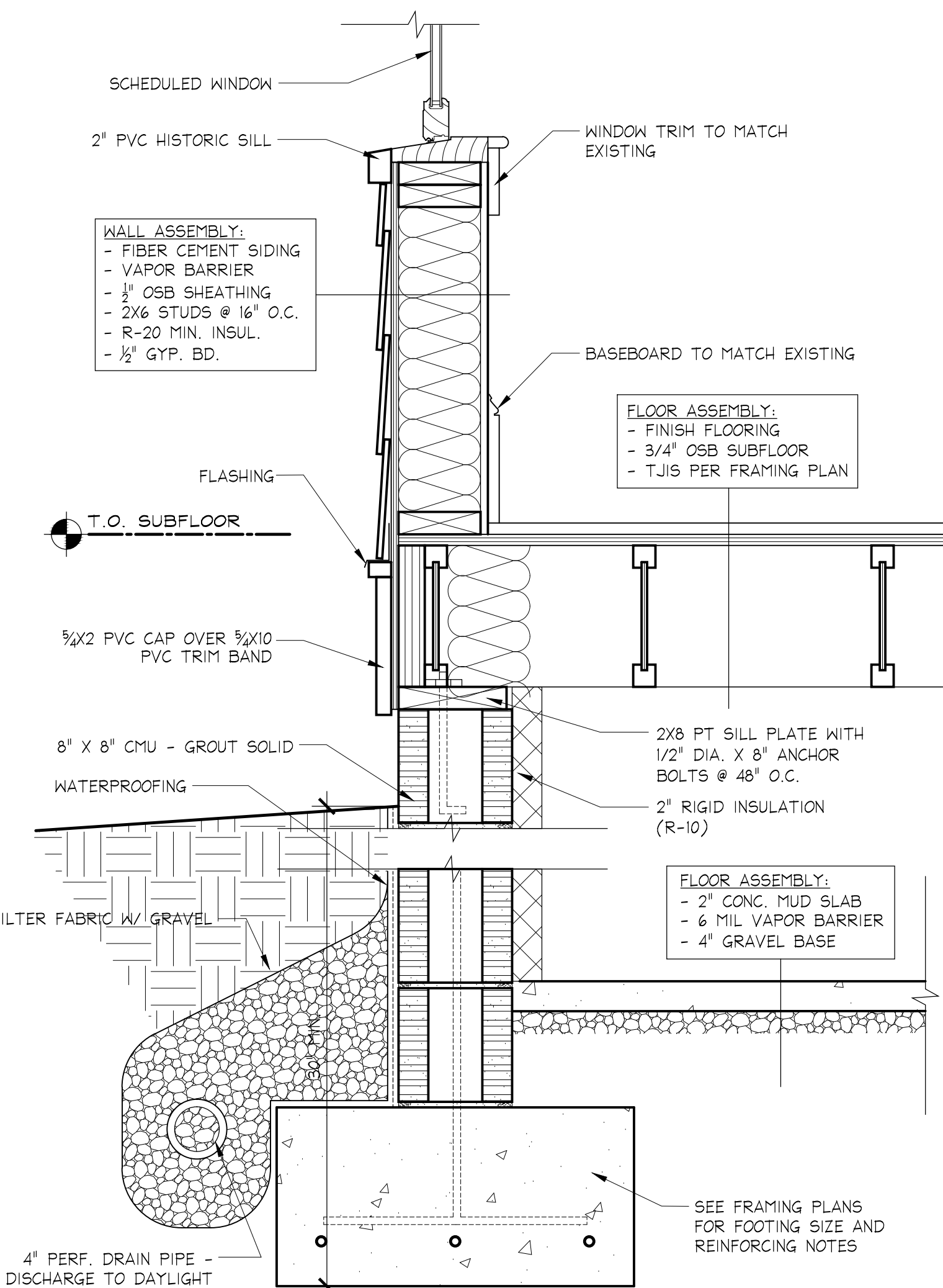
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Montgomery County  
Historic Preservation Commission

*Robert A. Berger*

MUNICIPAL STAMPS

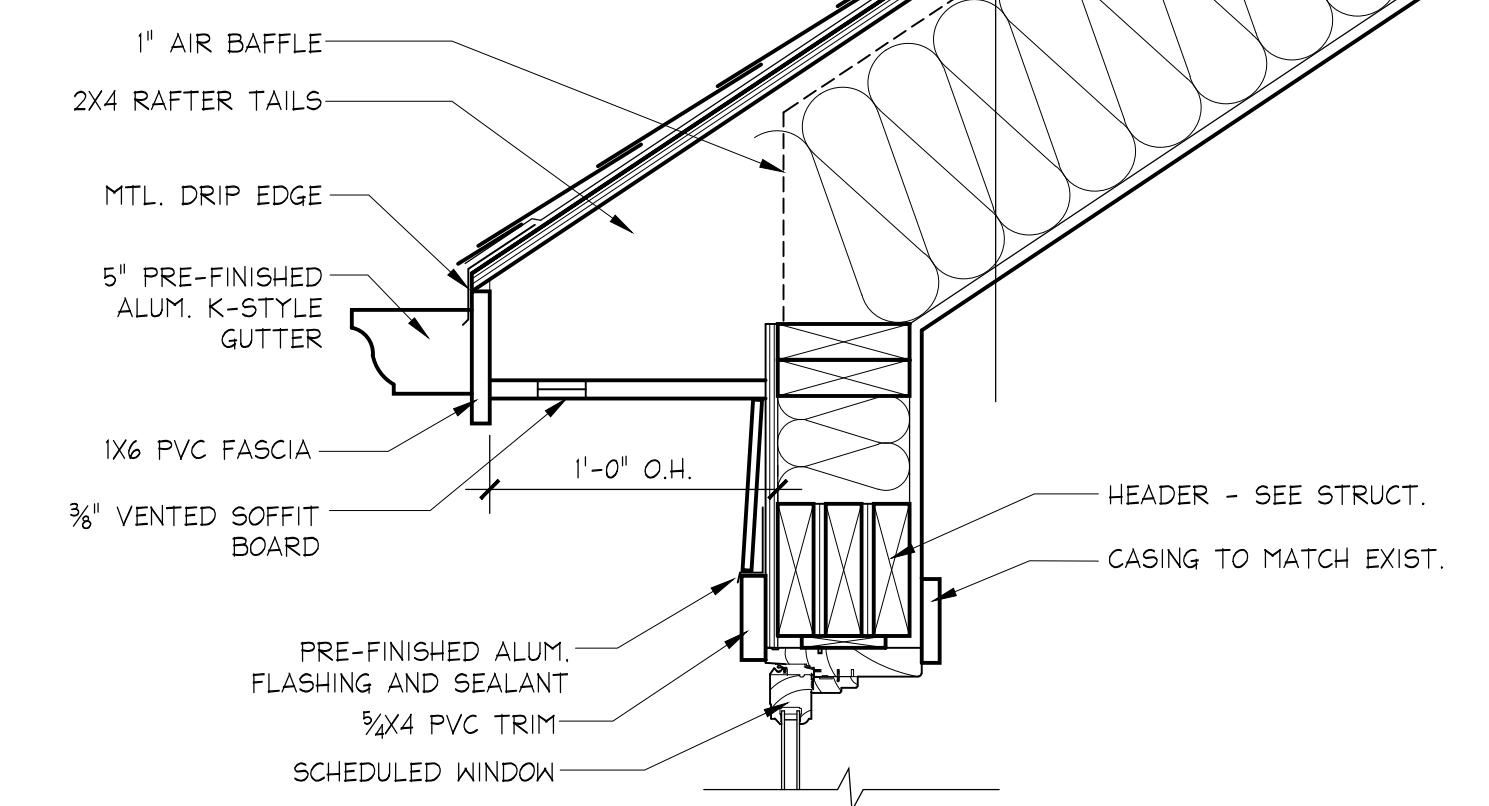


**3 TYP. FLOOR/WALL CONNECTION DETAIL**  
A3 1 1/2" = 1'-0"

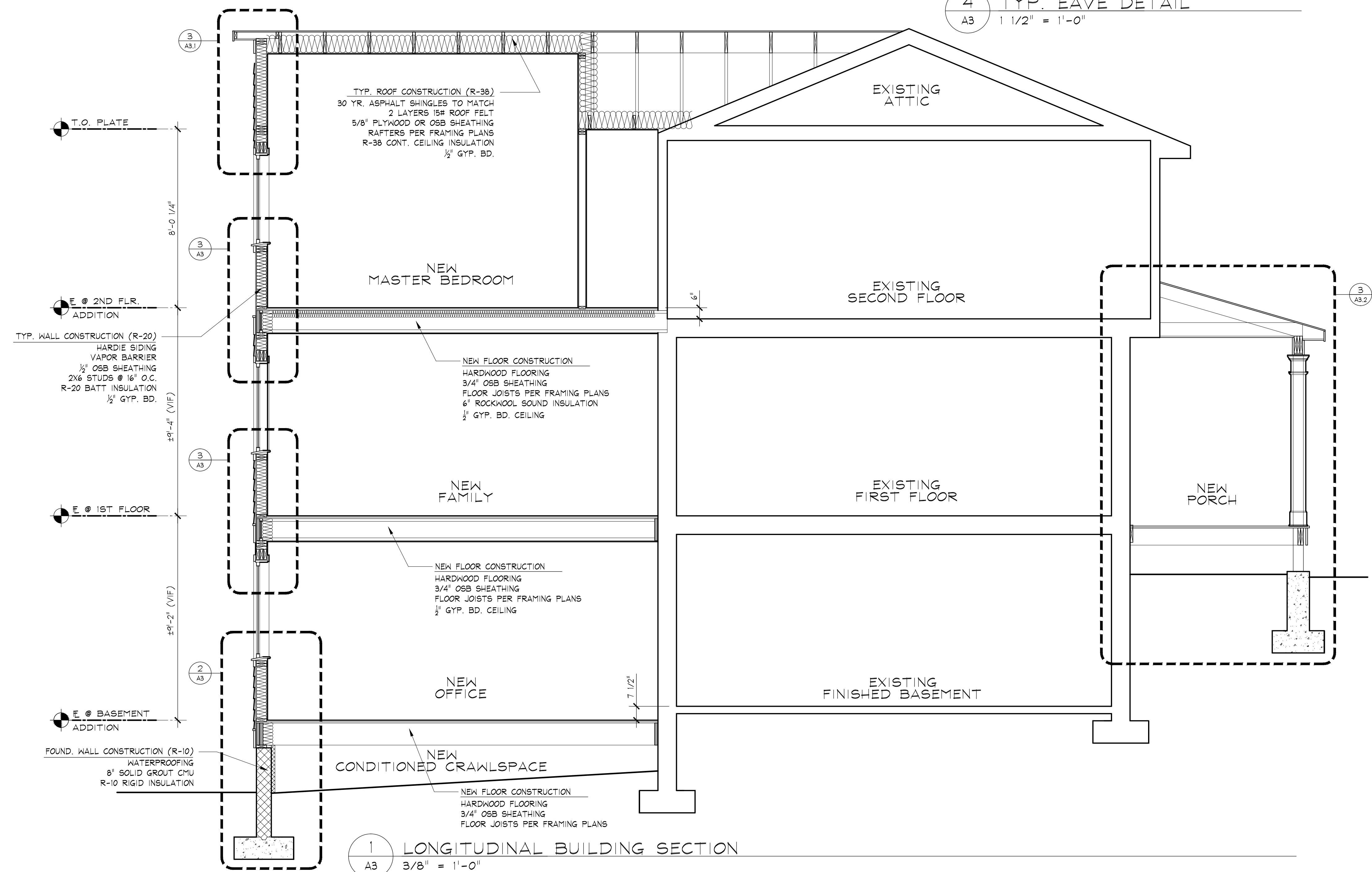


**2 TYP. FOUNDATION DETAIL**  
A3 1 1/2" = 1'-0"

**ROOF ASSEMBLY:**  
- 30 YR. ASPHALT SHINGLES  
- 2 LAYERS OF 15# ROOF FELT  
- 3/8" OSB SHEATHING  
- RAFTERS PER FRAMING PLANS  
- R-38 MIN. CONT. INSULATION  
- 1/2" GYP. BD. CEILING



**4 TYP. EAVE DETAIL**  
A3 1 1/2" = 1'-0"



**1 LONGITUDINAL BUILDING SECTION**  
A3 3/8" = 1'-0"

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BLDG. SECTIONS  
AND DETAILS

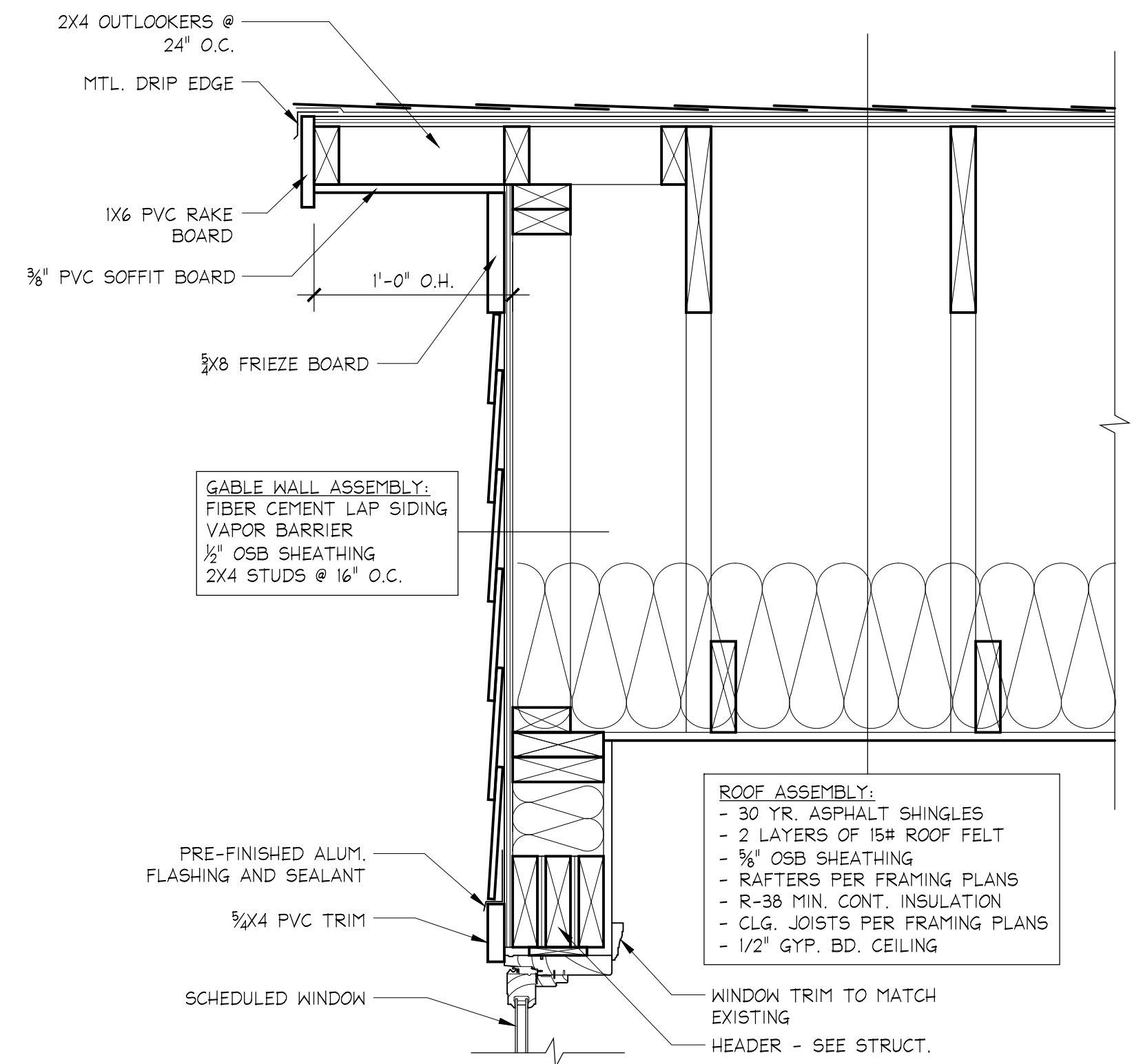
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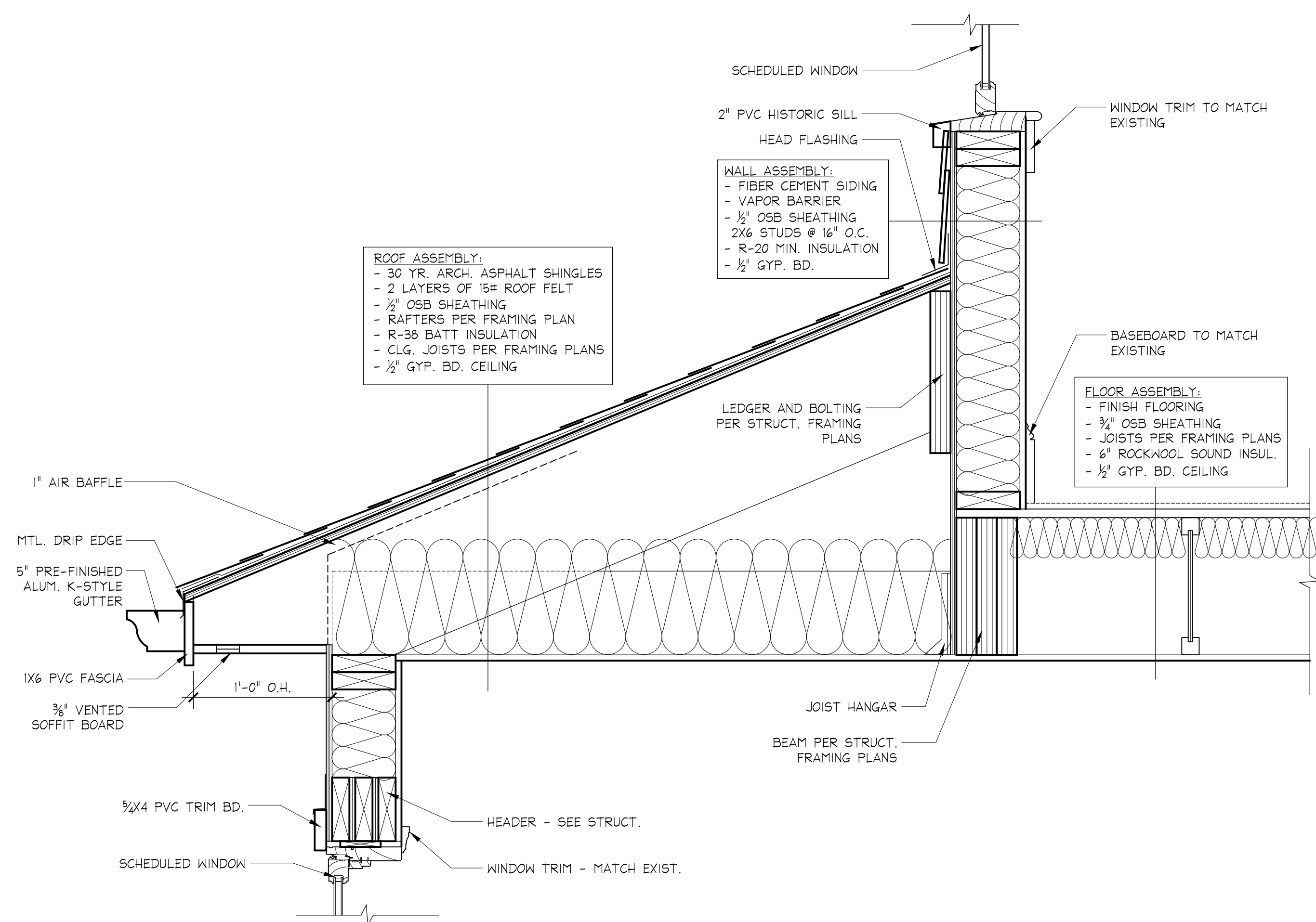
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*Robert A. Hoover*

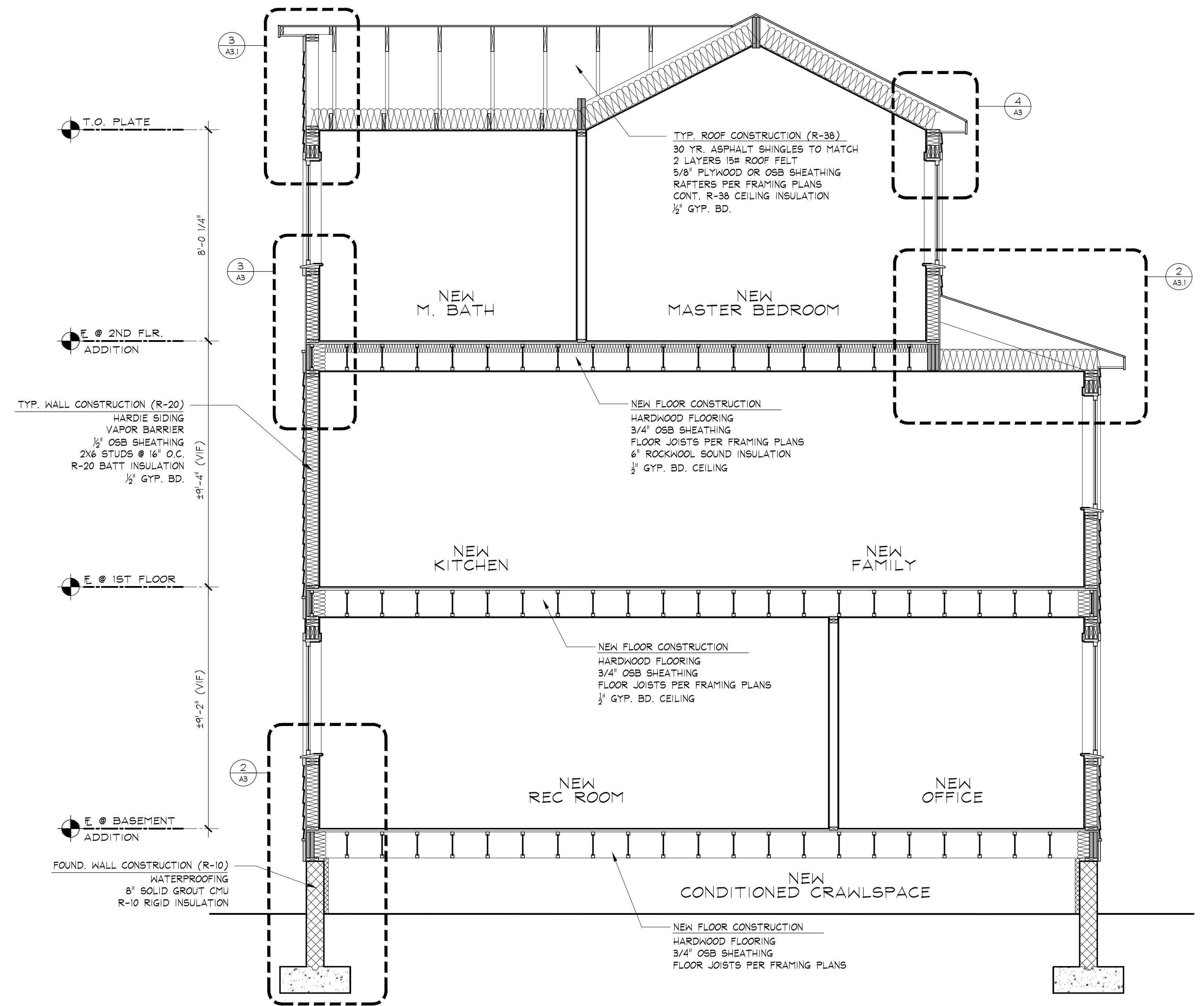
MUNICIPAL STAMPS



**3 TYP. GABLE DETAIL**  
A3.1 1 1/2" = 1'-0"



**2 FIRST FLOOR SHED ROOF DETAIL**  
A3.1 1 1/2" = 1'-0"



**1 BUILDING SECTION THRU ADDITION**  
A3.1 3/8" = 1'-0"

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BUILDING SECTION AND DETAILS

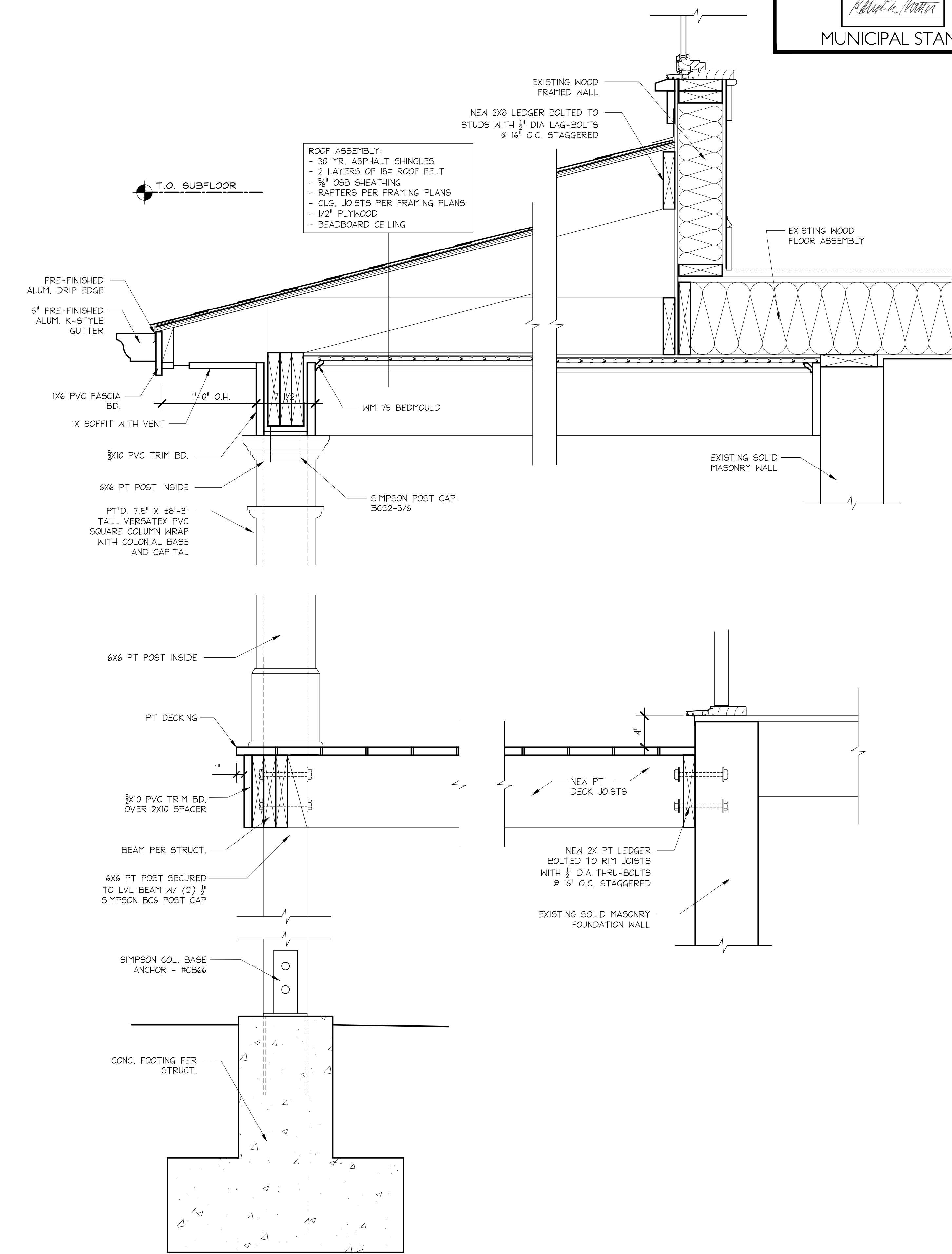
**A3.1**

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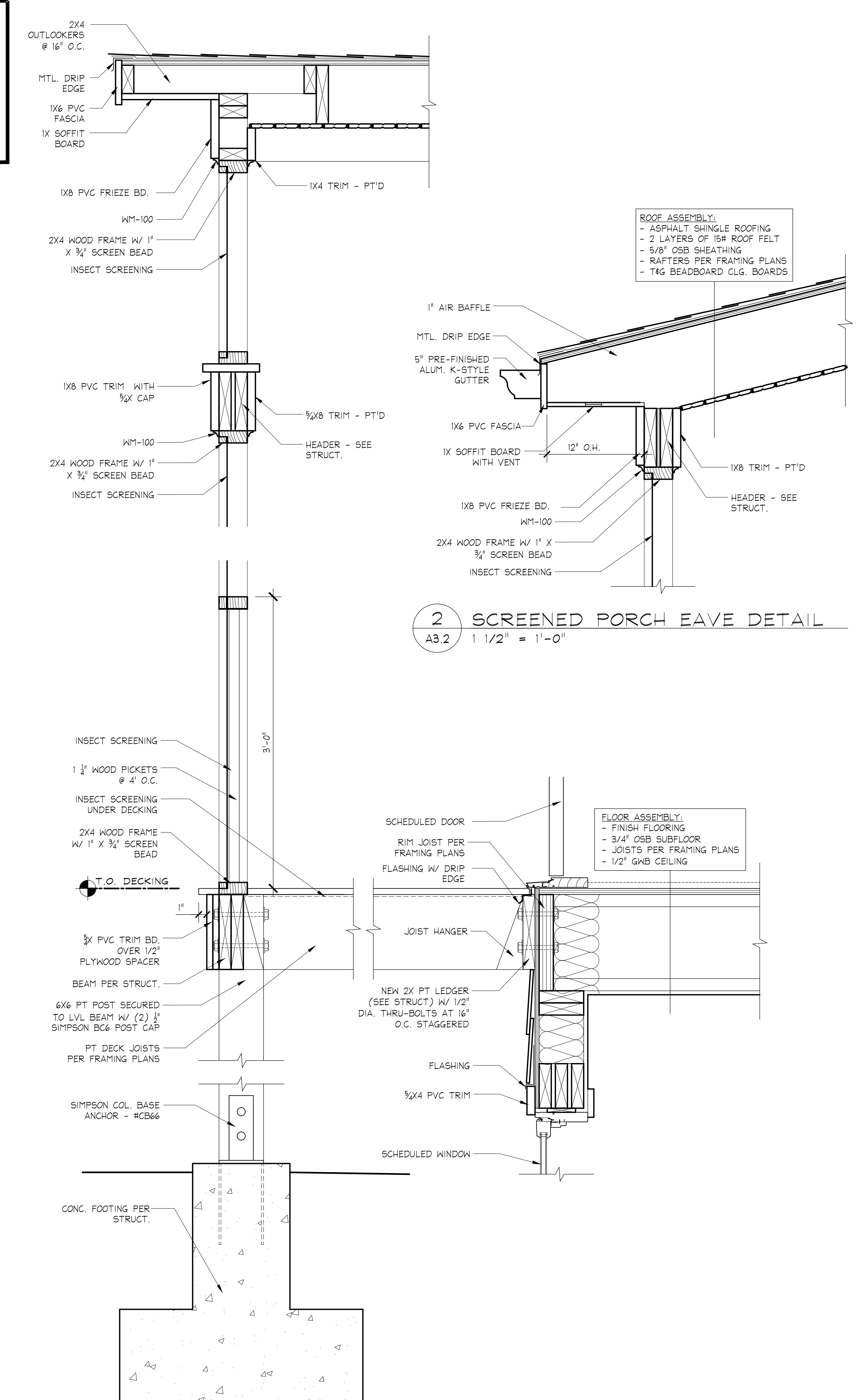
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MUNICIPAL STAMPS



**3 FRONT PORCH SECTION DETAIL**  
A3.2 1 1/2" = 1'-0"



**1 SCREENED PORCH SECTION DETAIL**  
A3.2 1 1/2" = 1'-0"

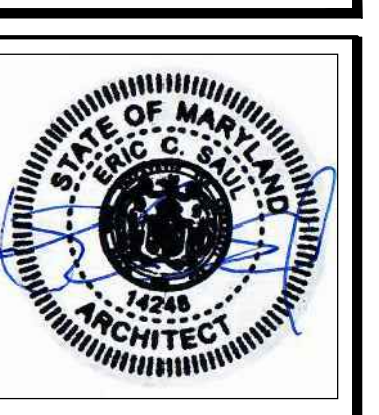
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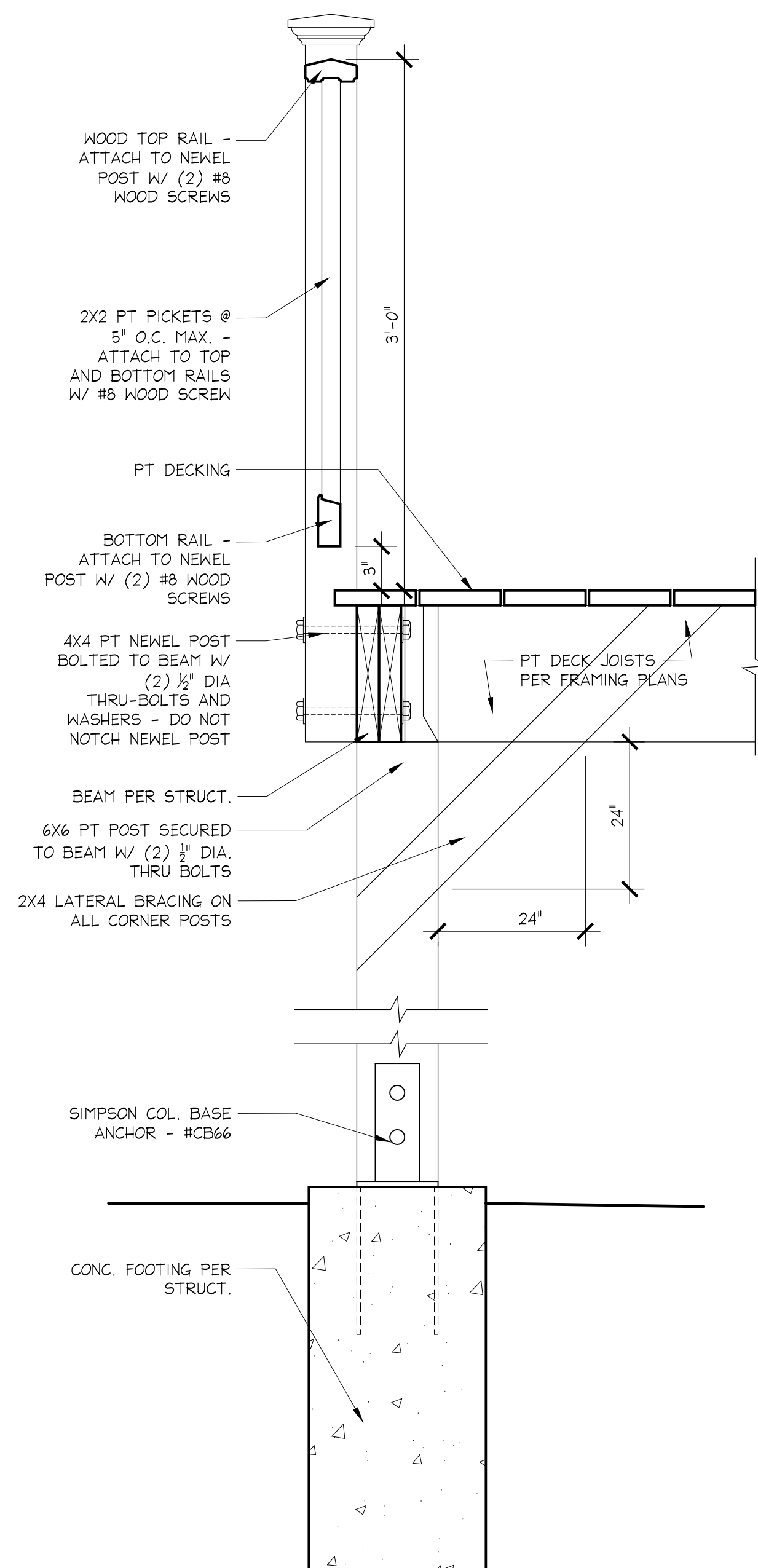
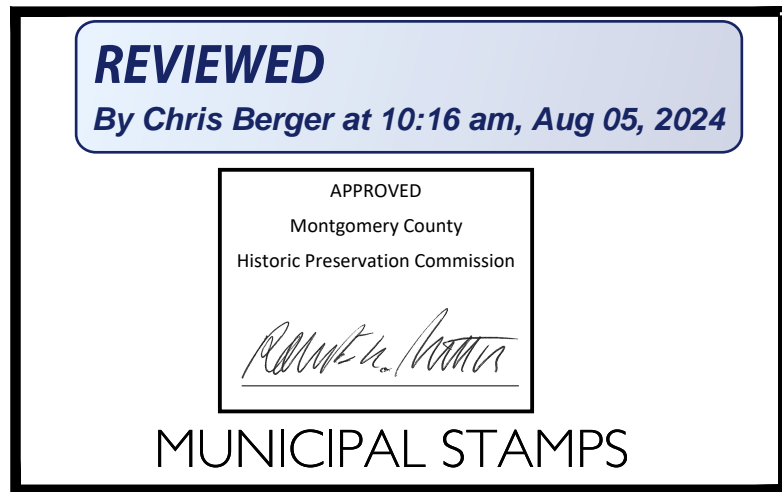
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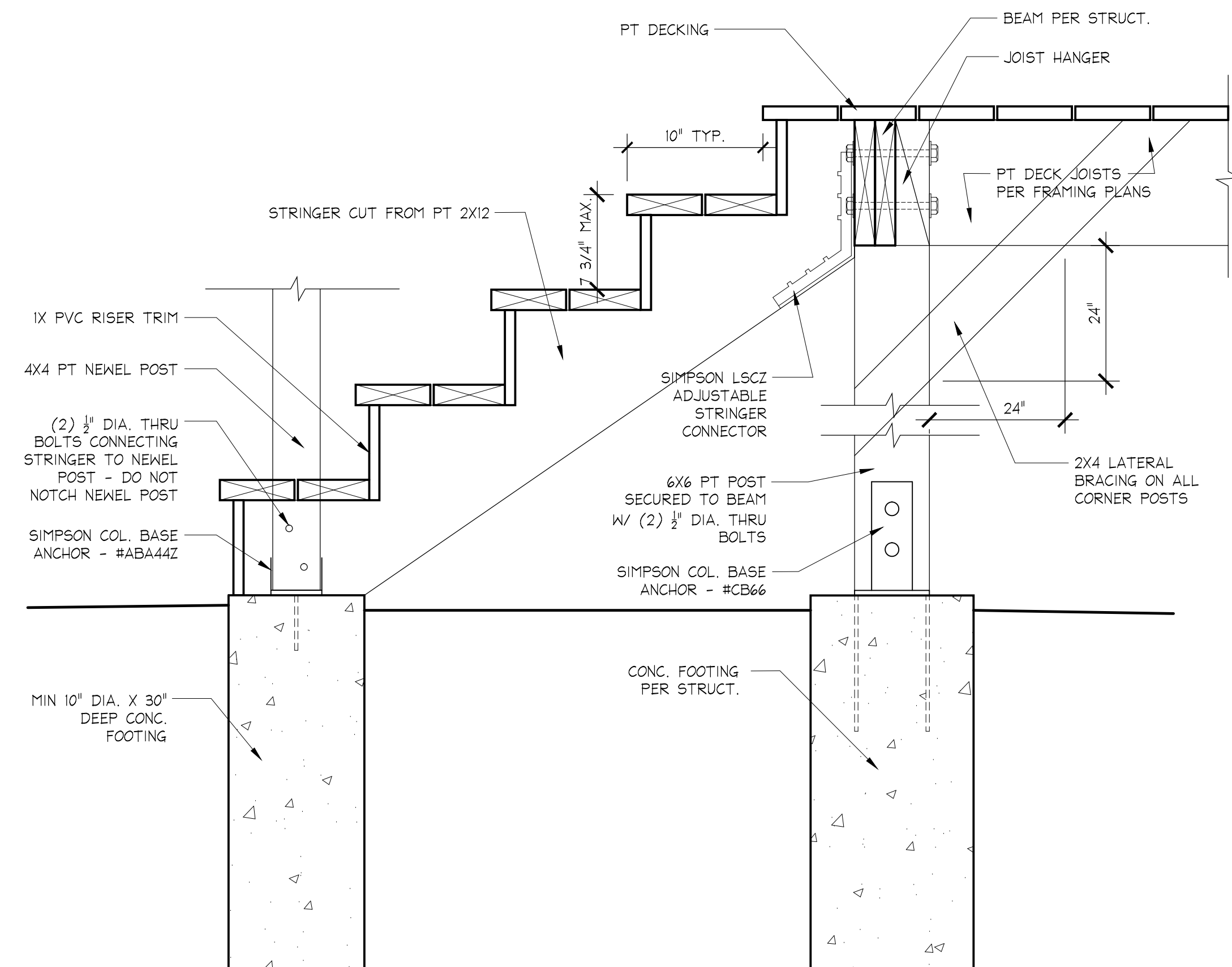
DATE	PURPOSE
01.17.24	PRE-DESIGN/SD MEETING 1
08.02.24	PERMIT SET

PORCH DETAILS

**A3.2**



2 DECK RAILING DETAIL  
A3.3 1 1/2" = 1'-0"



1 DECK STAIR DETAIL  
A3.3 1 1/2" = 1'-0"



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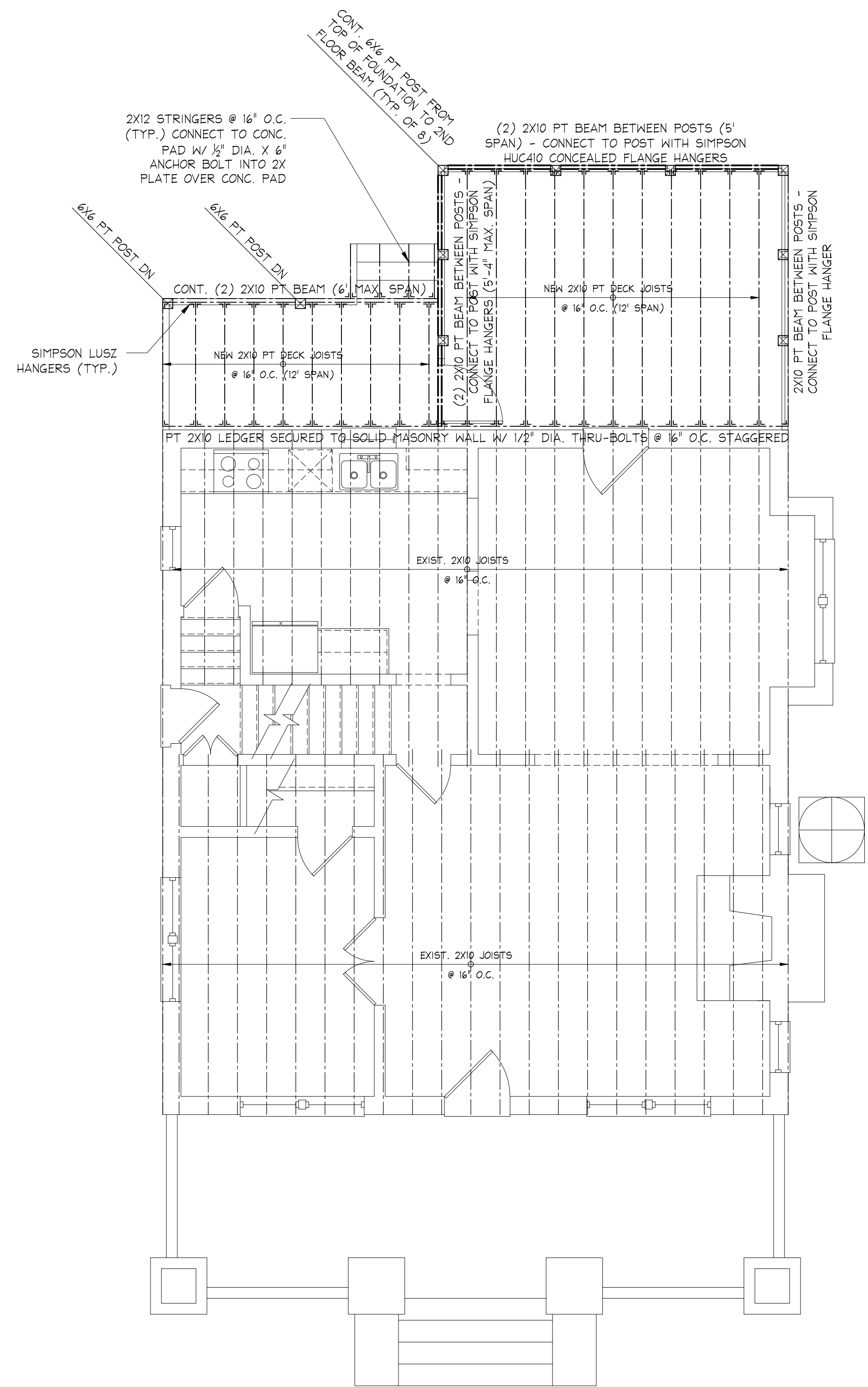
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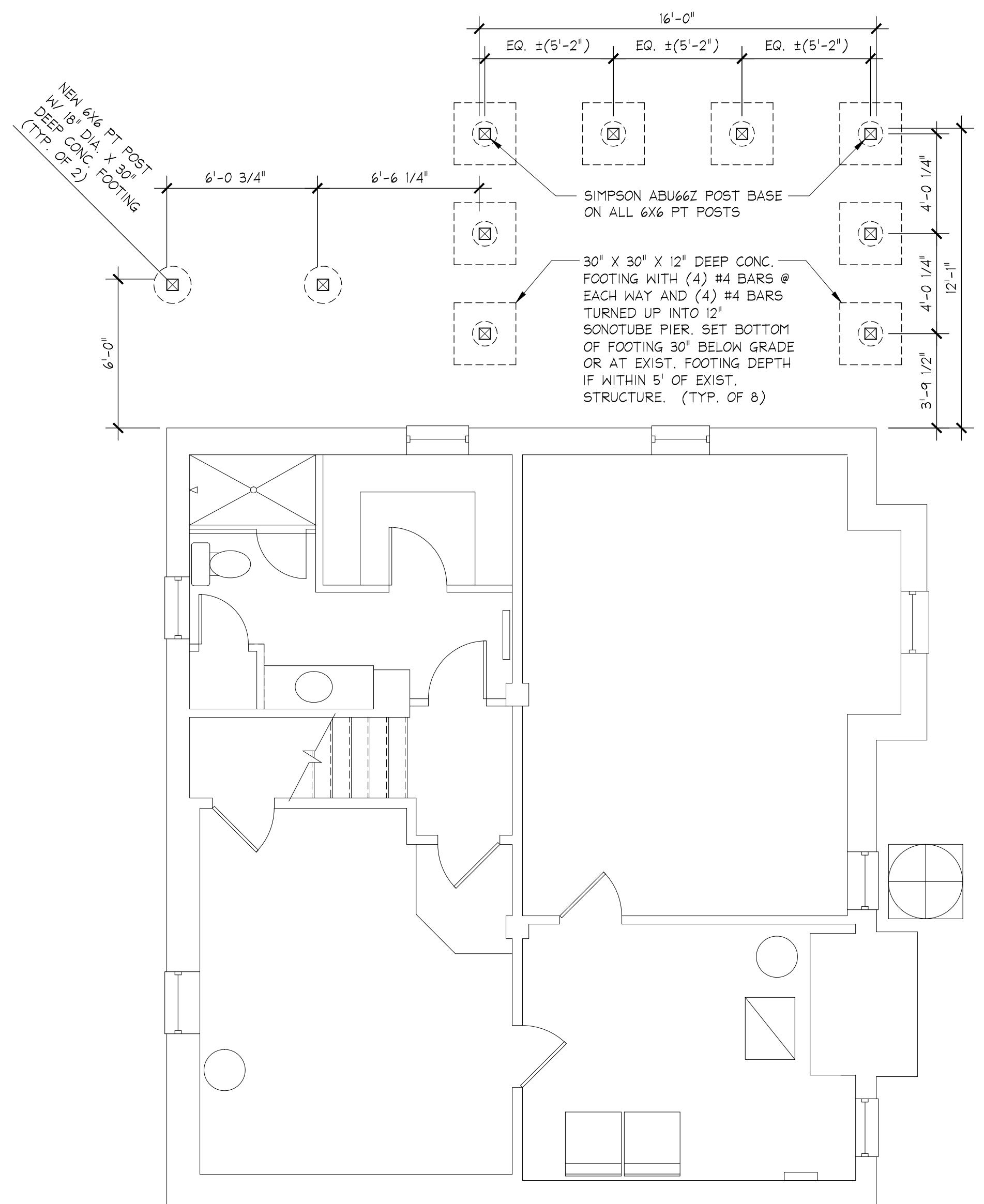
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MUNICIPAL STAMPS



2 FIRST FLOOR FRAMING PLAN  
SI 1/4" = 1'-0"



1 FOUNDATION PLAN  
SI 1/4" = 1'-0"

STRUCTURAL NOTES:

- USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.
- LOADS- LIVE -FLOOR RESIDENTIAL - 40PSF; ROOF - 30 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE 1
- FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL. EXISTING FOUNDATIONS ARE ADEQUATE FOR NEW LOADS
- CONCRETE - 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS. CONC. FOUNDATION WALL REINFORCEMENT: #4 BARS @ 24" O.C. HORIZ. AND VERTICAL - EMBED 8" INTO FOOTING.
- FRAMING LUMBER SHALL BE STRUCTURAL GRADE, DOUGLAS FIR #2 OR STRONGER, Fb = 1200 PSI MINIMUM. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURER STANDARDS FOR MANUFACTURED LUMBER. LVL'S Fb=2650PSI, e=1.9M PSI
- BRACED WALL PANELS (BWP): 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. Bd NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.1.1.
- CONC. BLOCK REINFORCEMENT: USE 9 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. - NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
- STRUCTURAL STEEL SHALL BE ASTM A-36. USE AISC STANDARDS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
- EXISTING STRUCTURE IS ADEQUATE TO HANDLE ADDITIONAL LOADS FROM THE ADDITION

ALL NEW EXTERIOR OPENINGS TO HAVE DOUBLE (3) 2X8 HEADERS, U.N.O.

POSTS UNDER HEADERS TO BE ONE KING AND ONE JACK STUD, U.N.O.

NEW DOUBLE WINDOWS TO HAVE TWO JACK STUDS BETWEEN.

EXISTING EXTERIOR OPENINGS TO HAVE A MINIMUM (3) 2X6 UP TO 36" WIDE, (3) 2X8 UP TO 48" WIDE AND (3) 2X10 UP TO 60" WIDE.

NOTE: USE CONTINUOUS WALL BRACING METHOD (#3) PER IRC: R602.10.4

CS-WSP = 1/2" WOOD STRUCTURAL PANEL (SEE STRUCTURAL NOTE #6 FOR CONNECTION CRITERIA)

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REVISIONS

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PROJECT NUMBER: 23030

PRINTING LOG

DATE	PURPOSE
02.19.24	SD MEETING 1
03.15.24	SD MEETING 2
03.22.24	PRELIMINARY BID SET
07.26.24	PERMIT SET

STRUCTURAL PLANS

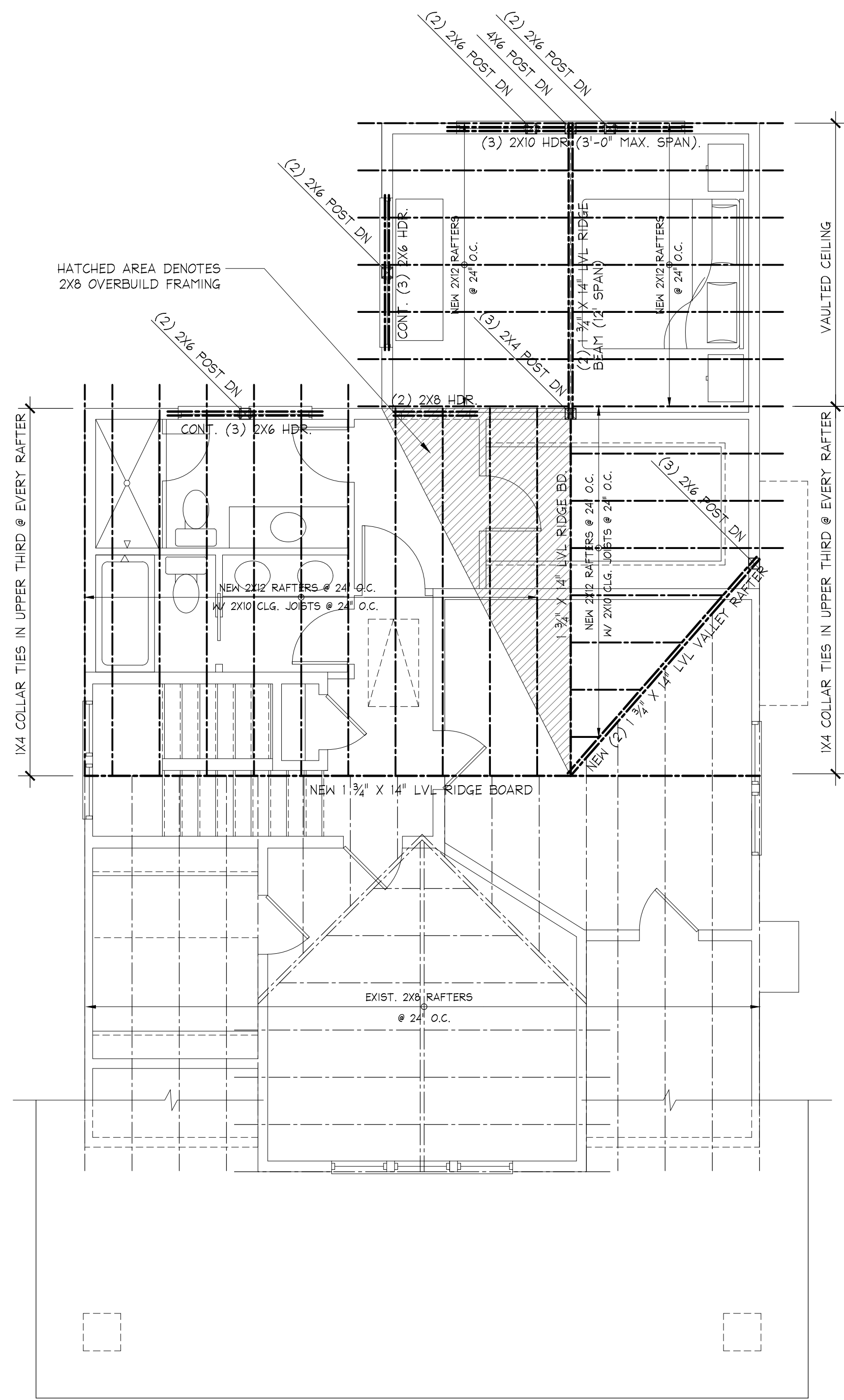
S1

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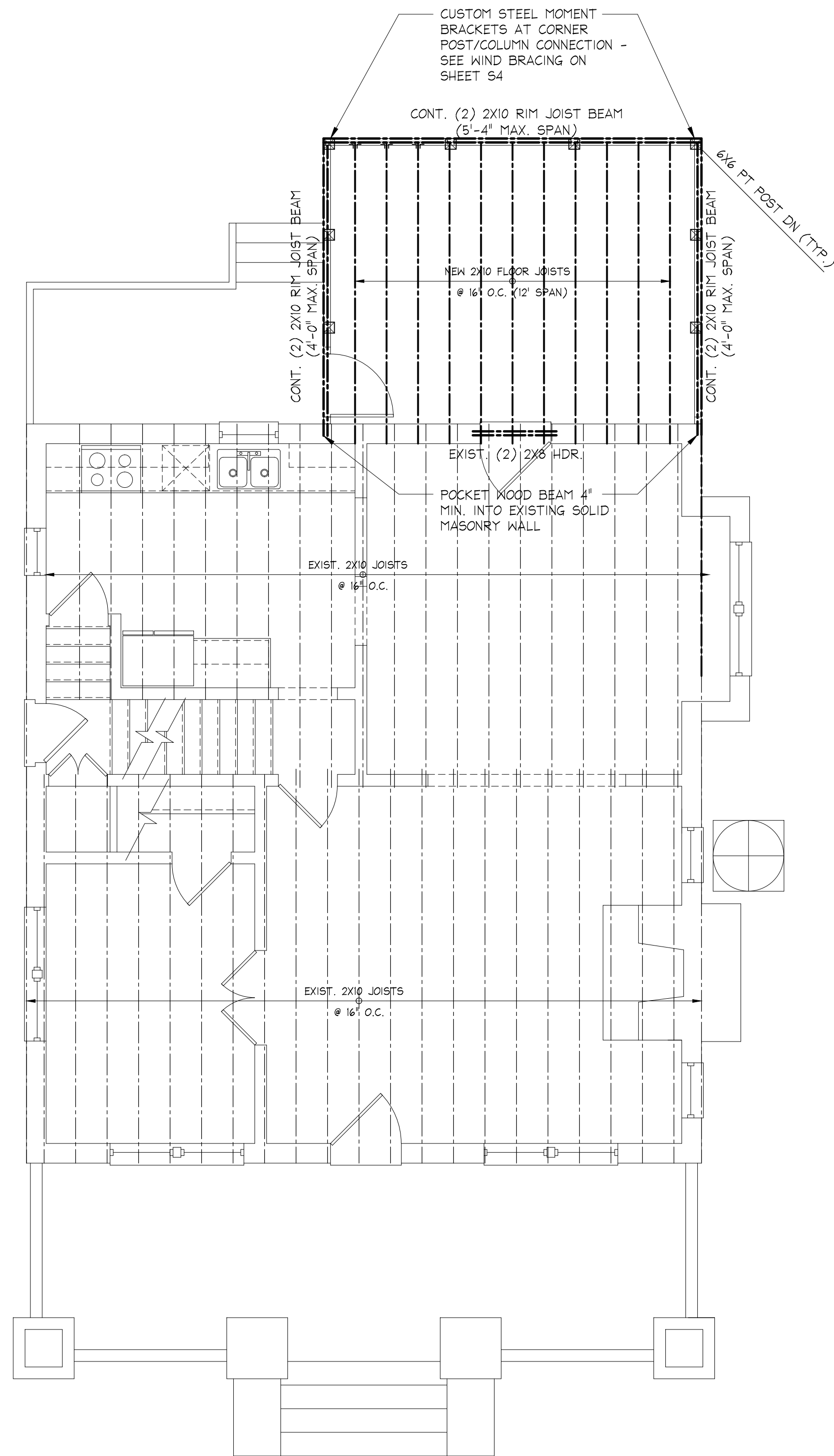
APPROVED  
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*Robert A. Hoover*

MUNICIPAL STAMPS



2 ROOF FRAMING PLAN  
1/4" = 1'-0"



1 SECOND FLOOR FRAMING PLAN  
1/4" = 1'-0"

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NOTE: USE CONTINUOUS WALL BRACING METHOD (#3) PER IRC: R602.10.4  
CS-WSP = 1/2" WOOD STRUCTURAL PANEL (SEE STRUCTURAL NOTE #6 FOR CONNECTION CRITERIA)

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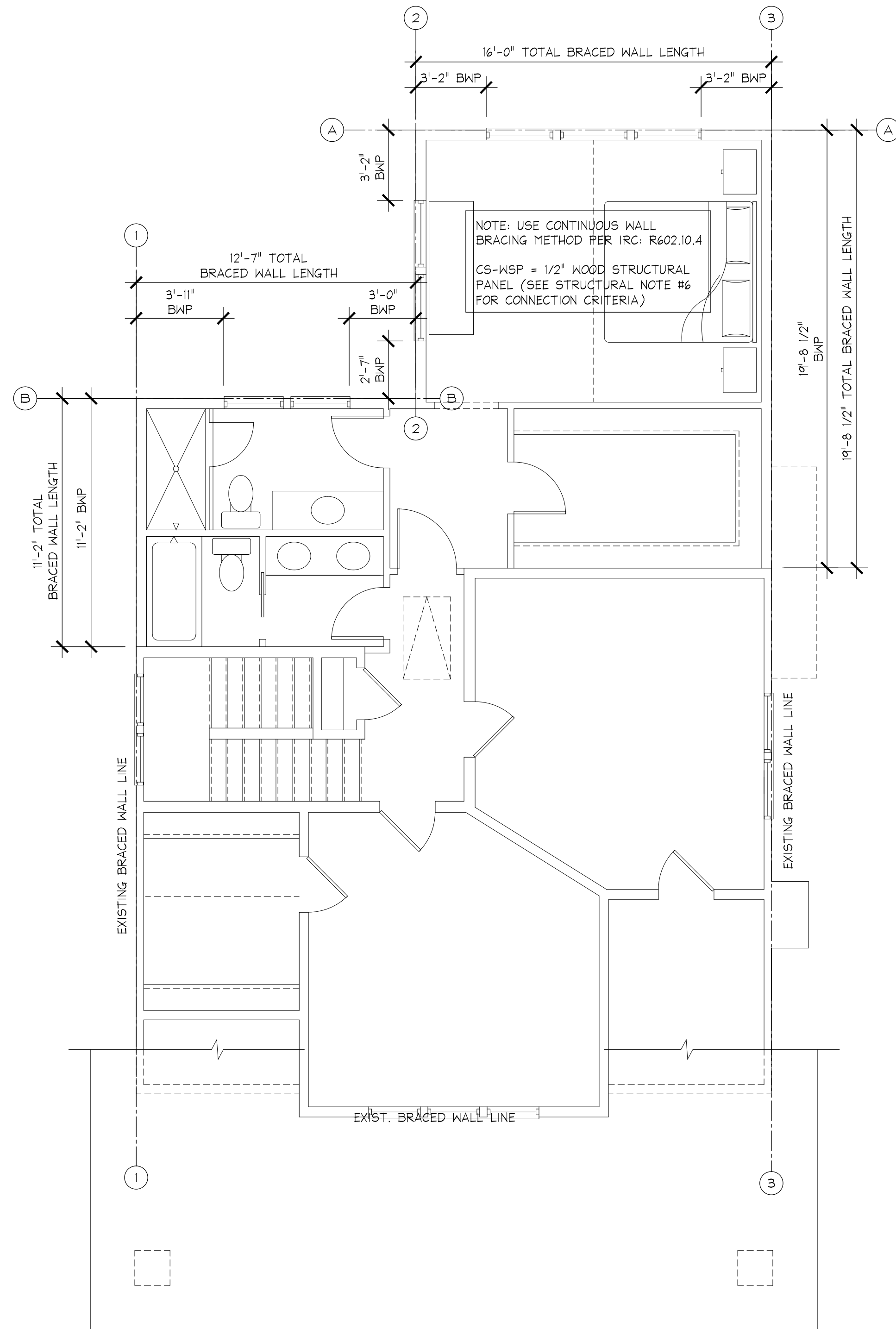
STRUCTURAL FRAMING PLANS

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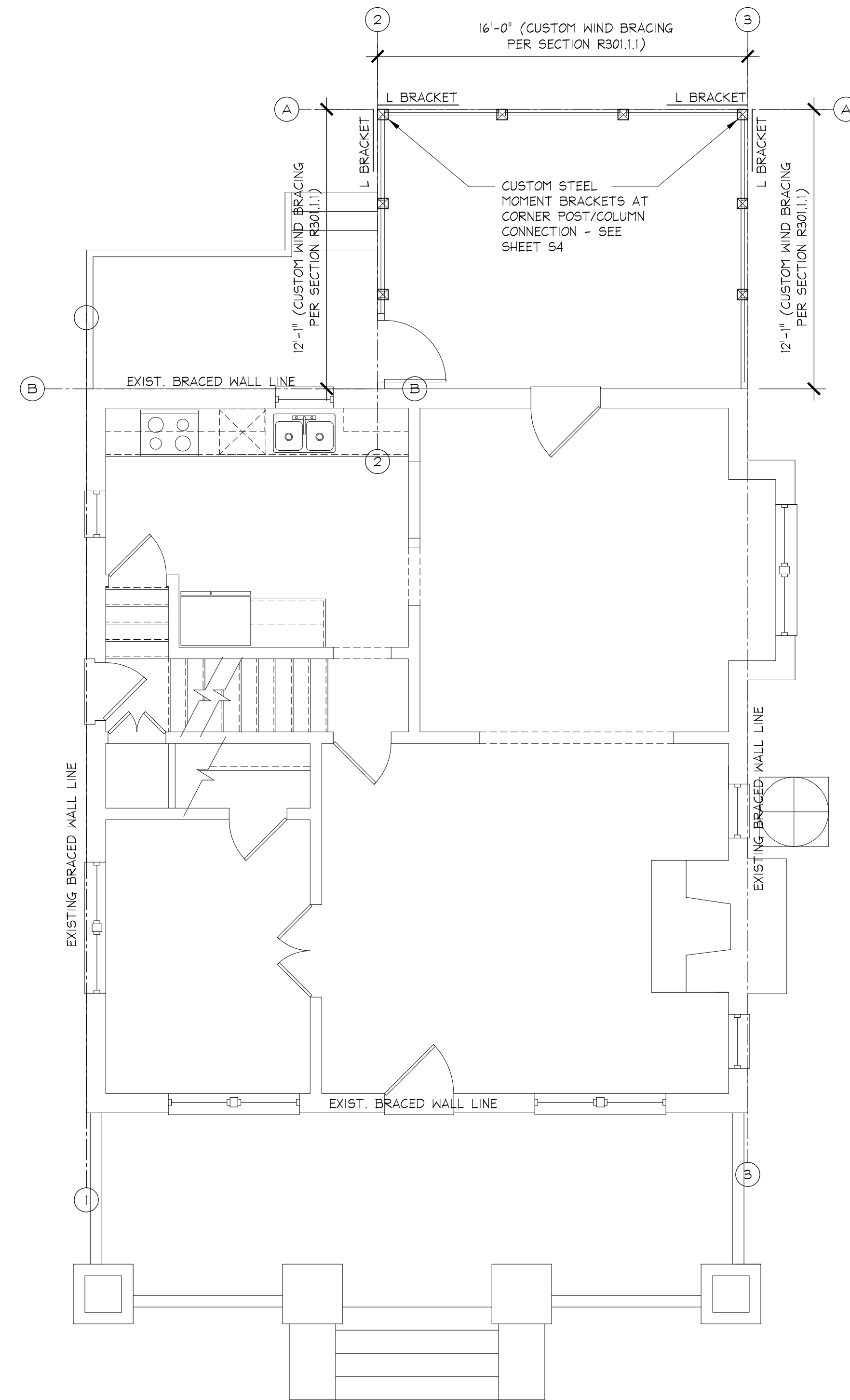
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MUNICIPAL STAMPS



2 SECOND FLOOR WIND BRACING DIAGRAM  
1/4" = 1'-0"



1 FIRST FLOOR WIND BRACING DIAGRAM  
1/4" = 1'-0"

**STRUCTURAL NOTES:**

- USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.
- LOADS- LIVE -FLOOR RESIDENTIAL - 40PSF; ROOF - 30 PSF - SNOX; WIND 115 MPH EXPOSURE B IMPORTANCE 1
- FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL. EXISTING FOUNDATIONS ARE ADEQUATE FOR NEW LOADS
- CONCRETE - 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS. CONC. FOUNDATION WALL REINFORCEMENT: #4 BARS @ 24" O.C. HORIZ. AND VERTICAL - EMBED 8" INTO FOOTING.
- FRAMING LUMBER SHALL BE STRUCTURAL GRADE, DOUGLAS FIR #2 OR STRONGER. Fb = 1200 PSI MINIMUM. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S Fb=2650PSI, E=1.9M PSI
- BRACED WALL PANELS (BWP): 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.1.1.
- CONC. BLOCK REINFORCEMENT: USE #9 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. - NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
- STRUCTURAL STEEL SHALL BE ASTM A-36. USE AISC STANDARDS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
- EXISTING STRUCTURE IS ADEQUATE TO HANDLE ADDITIONAL LOADS FROM THE ADDITION

ALL NEW EXTERIOR OPENINGS TO HAVE DOUBLE (3) 2X8 HEADERS, U.N.O.  
POSTS UNDER HEADERS TO BE ONE KING AND ONE JACK STUD, U.N.O.  
NEW DOUBLE WINDOWS TO HAVE TWO JACK STUDS BETWEEN.  
EXISTING EXTERIOR OPENINGS TO HAVE A MINIMUM (3) 2X6 UP TO 36" WIDE, (3) 2X8 UP TO 48" WIDE AND (3) 2X10 UP TO 60" WIDE.

NOTE: USE CONTINUOUS WALL BRACING METHOD (#3) PER IRC: R602.10.4  
CS-WSP = 1/2" WOOD STRUCTURAL PANEL (SEE STRUCTURAL NOTE #6 FOR CONNECTION CRITERIA)

**SAUL ARCHITECTS**  
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**REVISIONS**

**RYAN RESIDENCE  
ADDITION AND RENOVATION**  
835 RICHMOND AVENUE | SILVER SPRING, MD 20910

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PROJECT NUMBER: 23030

PRINTING LOG

DATE	PURPOSE
02.19.24	SD MEETING 1
03.15.24	SD MEETING 2
03.22.24	PRELIMINARY BID SET
07.26.24	PERMIT SET

**WIND BRACING PLANS**

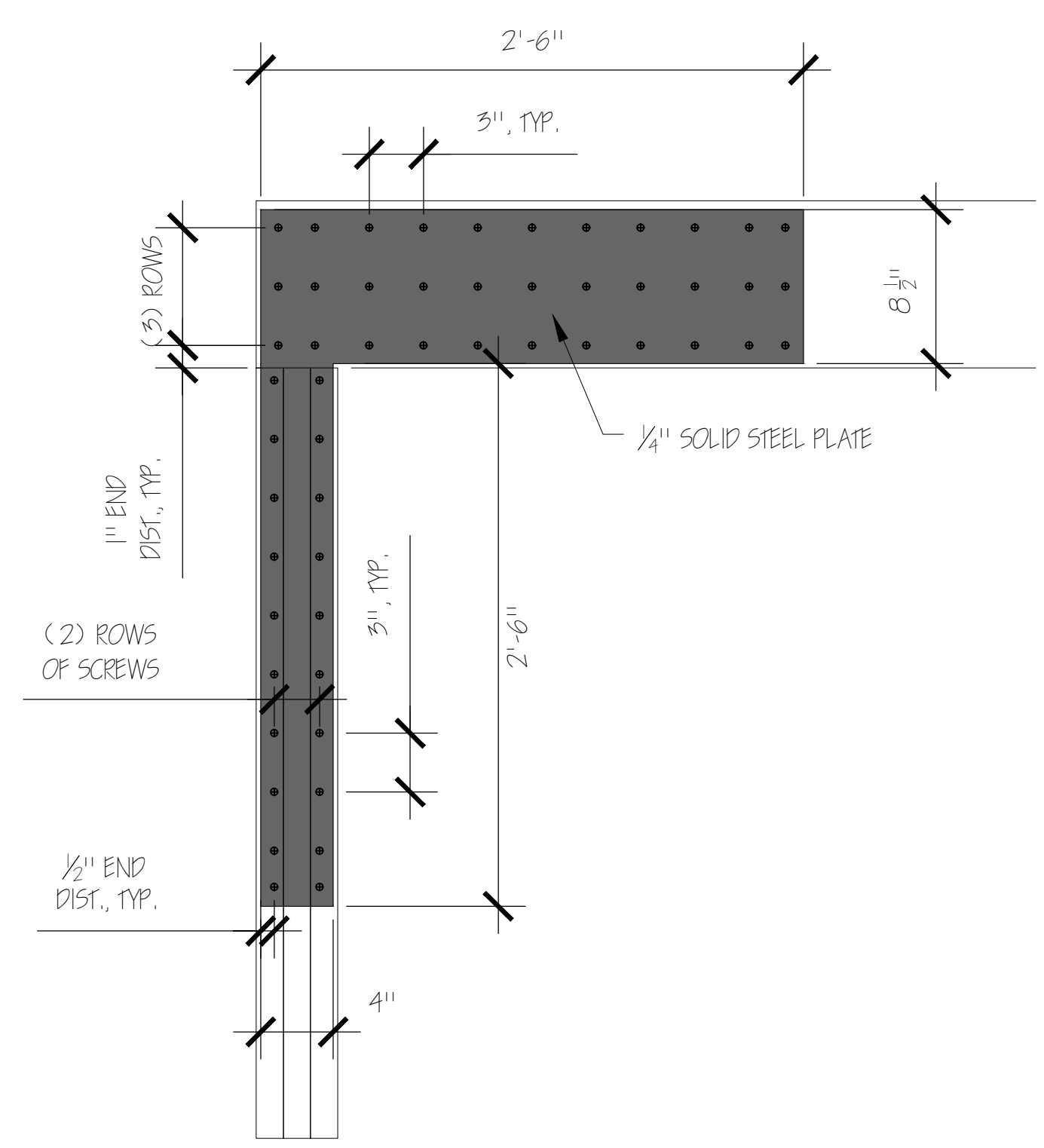


**REVIEWED**  
By Chris Berger at 10:16 am, Aug 05, 2024

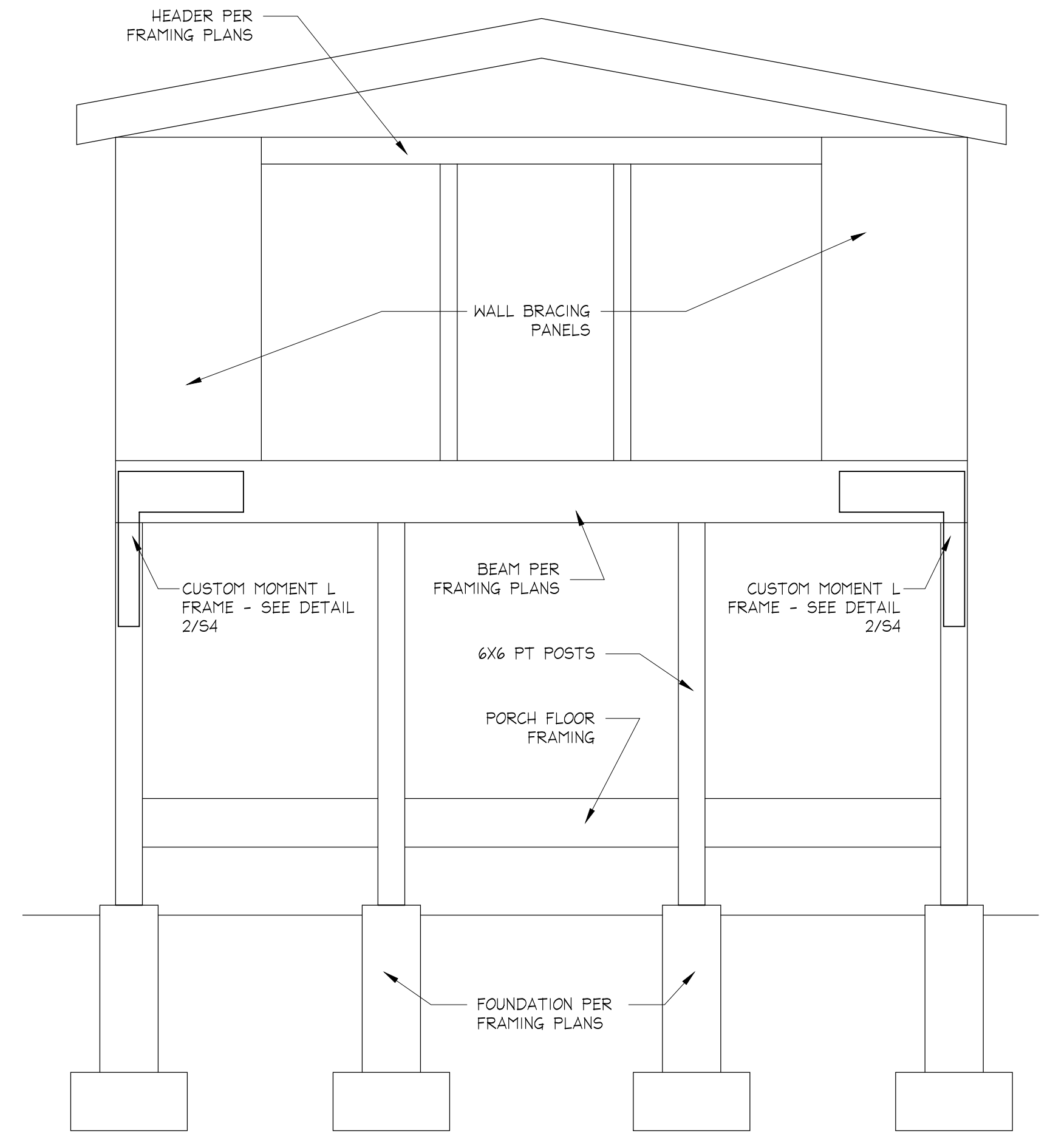
APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert A. Berger*

MUNICIPAL STAMPS



**2** CUSTOM L MOMENT BRACKET DETAIL  
S4 1/2" = 1'-0"



**3** WIND BRACING ELEVATION DIAGRAM  
S4 1/2" = 1'-0"

**STRUCTURAL NOTES:**

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**REVISIONS**

NO.	DATE	DESCRIPTION

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DATE	PURPOSE

**WIND BRACING DETAILS**

**S4**

**REVIEWED**  
By Chris Berger at 10:16 am, Aug 05, 2024

APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert A. Hoover*

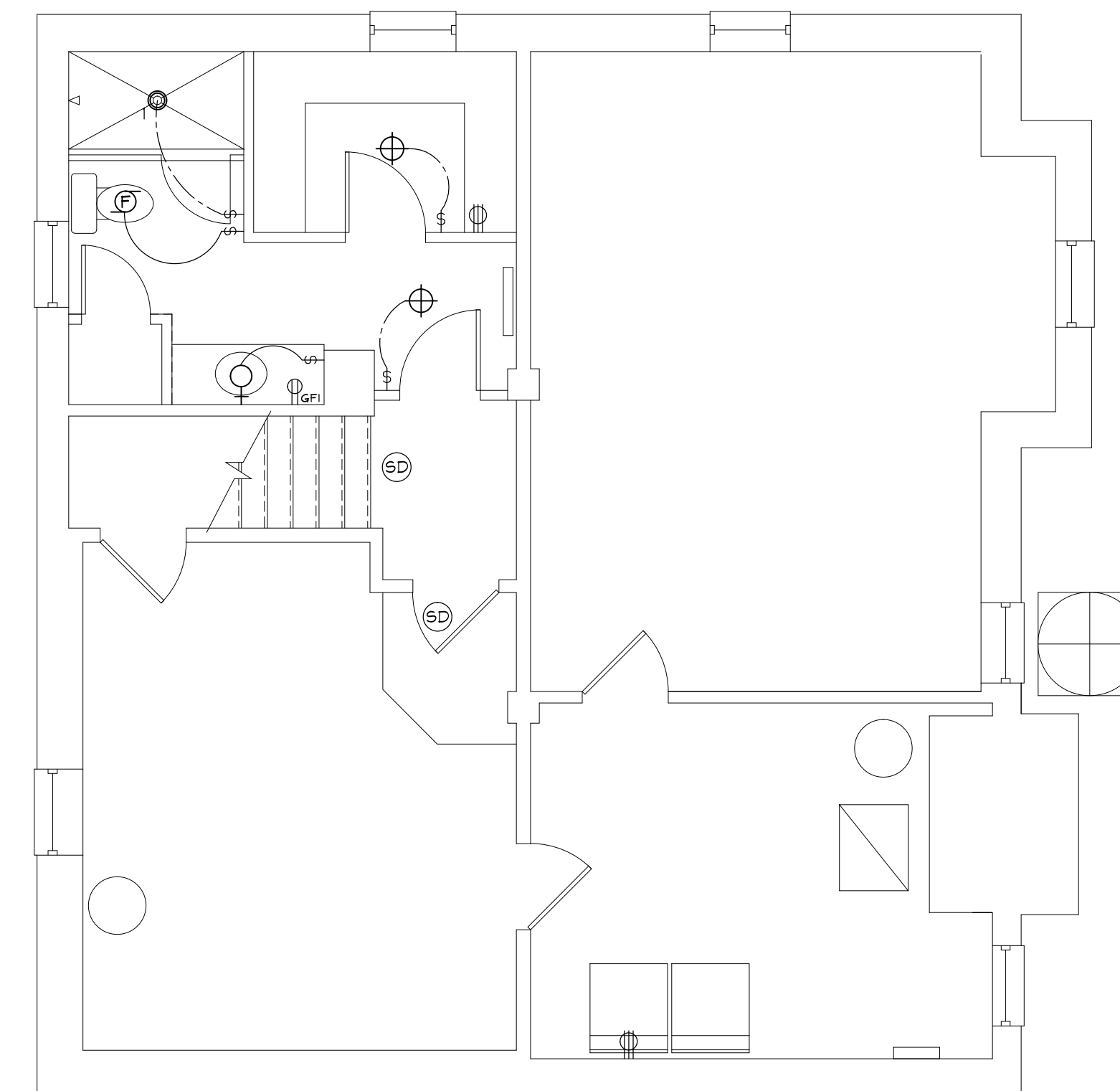
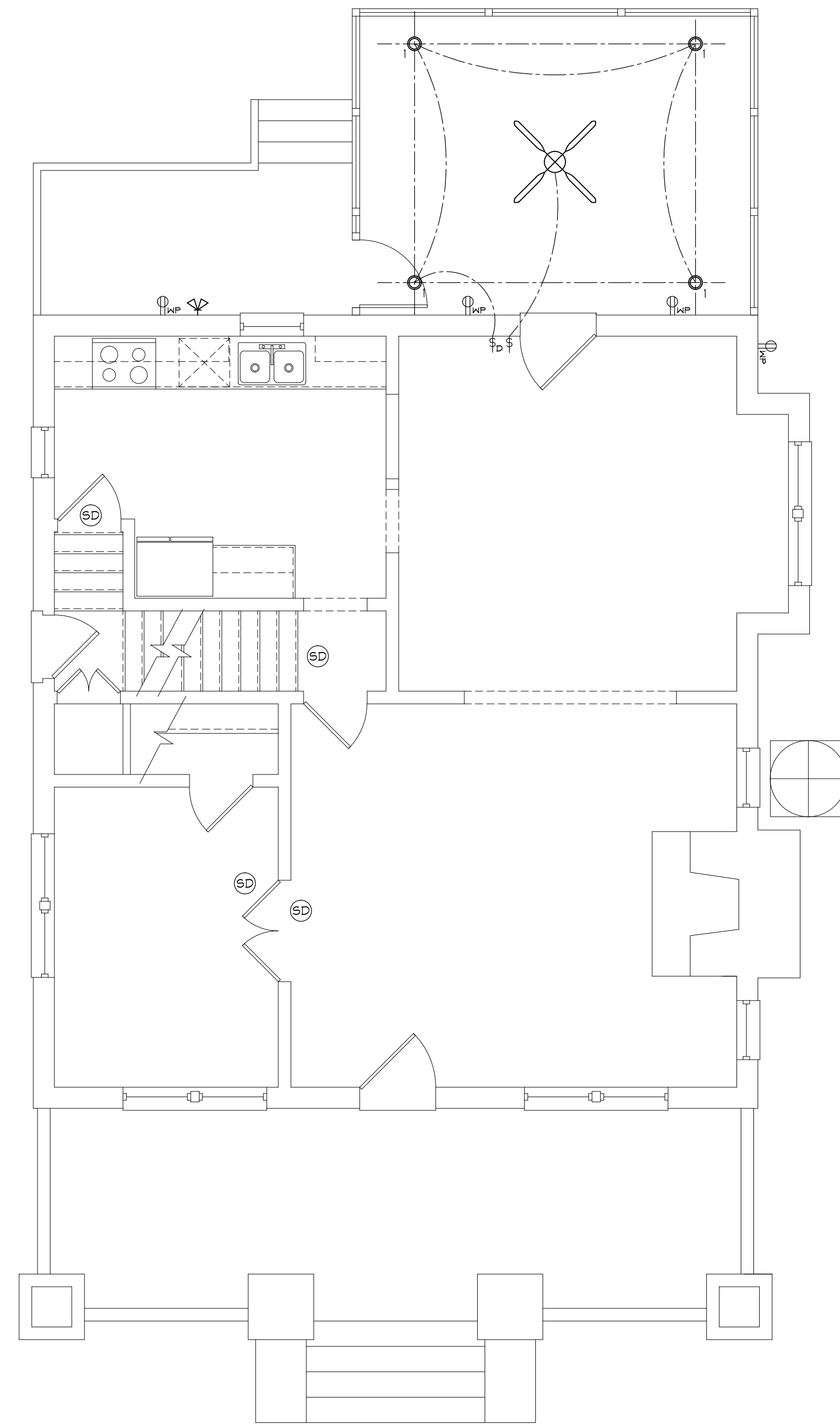
MUNICIPAL STAMPS

**ELECTRICAL SYMBOLS**

- § SWITCH
- §<sub>3</sub> THREE-WAY SWITCH
- §<sub>J</sub> JAMB SWITCH
- §<sub>D</sub> SWITCH WITH DIMMER
- §<sub>AS</sub> AIR SWITCH FOR DISPOSAL
- Ⓢ DUPLEX RECEPTACLE
- Ⓢ<sub>USB</sub> DUPLEX RECEPTACLE W/ USB PORTS
- Ⓢ<sub>4</sub> QUADRUPLUX RECEPTACLE
- Ⓢ<sub>SW</sub> SWITCHED OUTLET
- Ⓢ<sub>GFP</sub> GROUND FAULT PROTECTED RECEPTACLE
- Ⓢ<sub>WP</sub> WATERPROOF RECEPTACLE
- Ⓢ<sub>220V</sub> 220V RECEPTACLE
- Ⓢ<sub>FLR</sub> FLOOR MOUNTED DUPLEX RECEPTACLE
- Ⓢ<sub>CLG</sub> CEILING MOUNTED WIRELESS ACCESS POINT JACK
- Ⓢ<sub>TV</sub> CABLE TELEVISION JACK W/ DUAL CAT6 DATA WIRING
- Ⓢ<sub>TEL</sub> TELEPHONE JACK/INTERNET/DATA
- Ⓢ<sub>SD</sub> SMOKE DETECTOR
- Ⓢ<sub>SCF</sub> SURFACE MOUNTED CEILING FIXTURE (OSCI)
- Ⓢ<sub>RCF</sub> RECESSED CEILING FIXTURE
- Ⓢ<sub>RWF</sub> RECESSED WALL WASH FIXTURE
- Ⓢ<sub>WMF</sub> WALL MOUNTED FIXTURE
- Ⓢ<sub>EWMF</sub> EXTERIOR WALL MOUNTED FIXTURE
- Ⓢ<sub>WSC</sub> WALL SCONCE
- Ⓢ<sub>FLD</sub> FLOODLIGHT
- Ⓢ<sub>BEF</sub> BATHROOM EXHAUST FAN
- Ⓢ<sub>CF</sub> CEILING FAN (OSCI)
- UNDER CABINET/OVER DOOR LED STRIP LIGHT

**GENERAL ELECTRICAL NOTES:**

1. ELECTRICAL LAYOUT TO MEET REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE.
2. SMOKE DETECTORS ARE TO BE HARDWIRED TOGETHER SO THAT ACTIVATION OF ONE DETECTOR ACTIVATES ALL. PROVIDE BATTERY BACK-UPS.
3. INSTALL CARBON MONOXIDE DETECTOR ON EACH FLOOR.
4. WIRE ENTIRE HOUSE FOR INTERNET SERVICE.



2 SECOND FLOOR ELECTRICAL PLAN  
E1 1/4" = 1'-0"

1 FIRST FLOOR ELECTRICAL PLAN  
E1 1/4" = 1'-0"

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PROFESSIONAL CERTIFICATION:  
I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14248, EXPIRATION DATE 6/30/2025.

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ELECTRICAL  
PLANS

E1