

HISTORIC PRESERVATION COMMISSION

Marc Elrich County Executive Robert Sutton
Chairman

Date: August 5, 2024

MEMORANDUM

TO: Rabbiah Sabbakhan

Department of Permitting Services

FROM: Chris Berger

Historic Preservation Section

Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1072012 - Partial Demolition and Construction of New Two-Story

Addition, and Other Alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with eight conditions** at the July 24, 2024, HPC meeting:

- 1. Applicant must draw and label the downspouts on both the existing and proposed elevations.
- 2. Applicant must label the type of asphalt shingle roof (three-tab or architectural) and label all the materials on the existing elevations.
- 3. Applicant must label the material of the proposed porch piers; porch stairs treads and risers; rear door; rear stairways; and screened porch posts on the proposed elevations.
- 4. Applicant must provide a door and window schedule.
- 5. Applicant must show the HVAC pad location on the site plan.
- 6. The selected front porch decking must adhere to HPC Policy No. 24-01 for the Appropriateness of Substitute materials for Porch and Deck Flooring.
- 7. Applicant must provide specification sheets for all building features, including the doors, windows, siding, soffit, trim, roofing, porch columns, railing, decking, lighting, and gutters and downspouts.
- 8. Applicant must provide a copy of Tree Impact Assessment and Protection Plan.

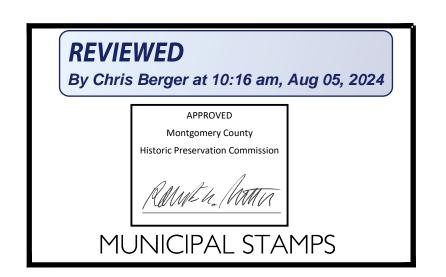
The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: James Ogorzalek

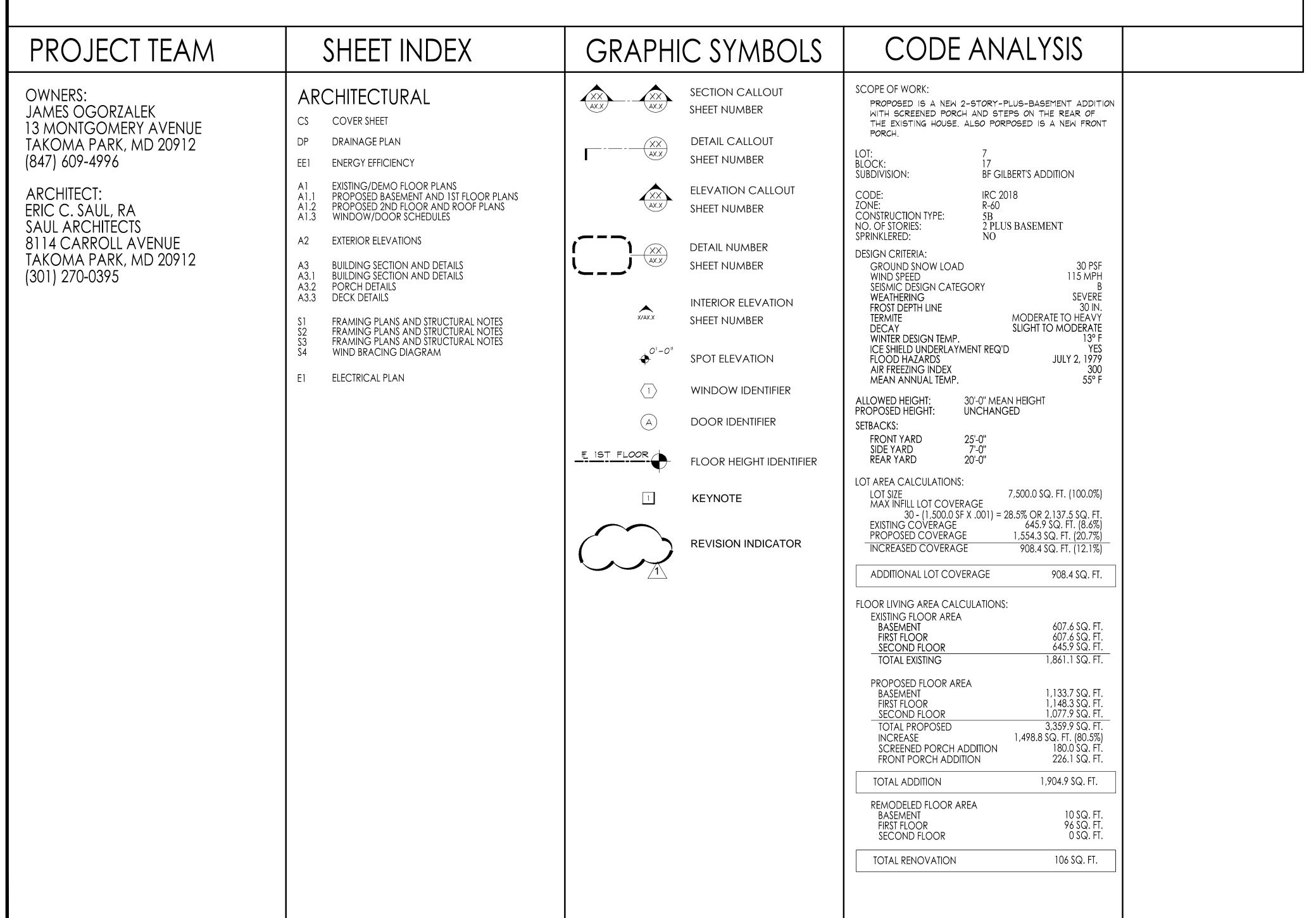
Address: 13 Montgomery Ave., Takoma Park

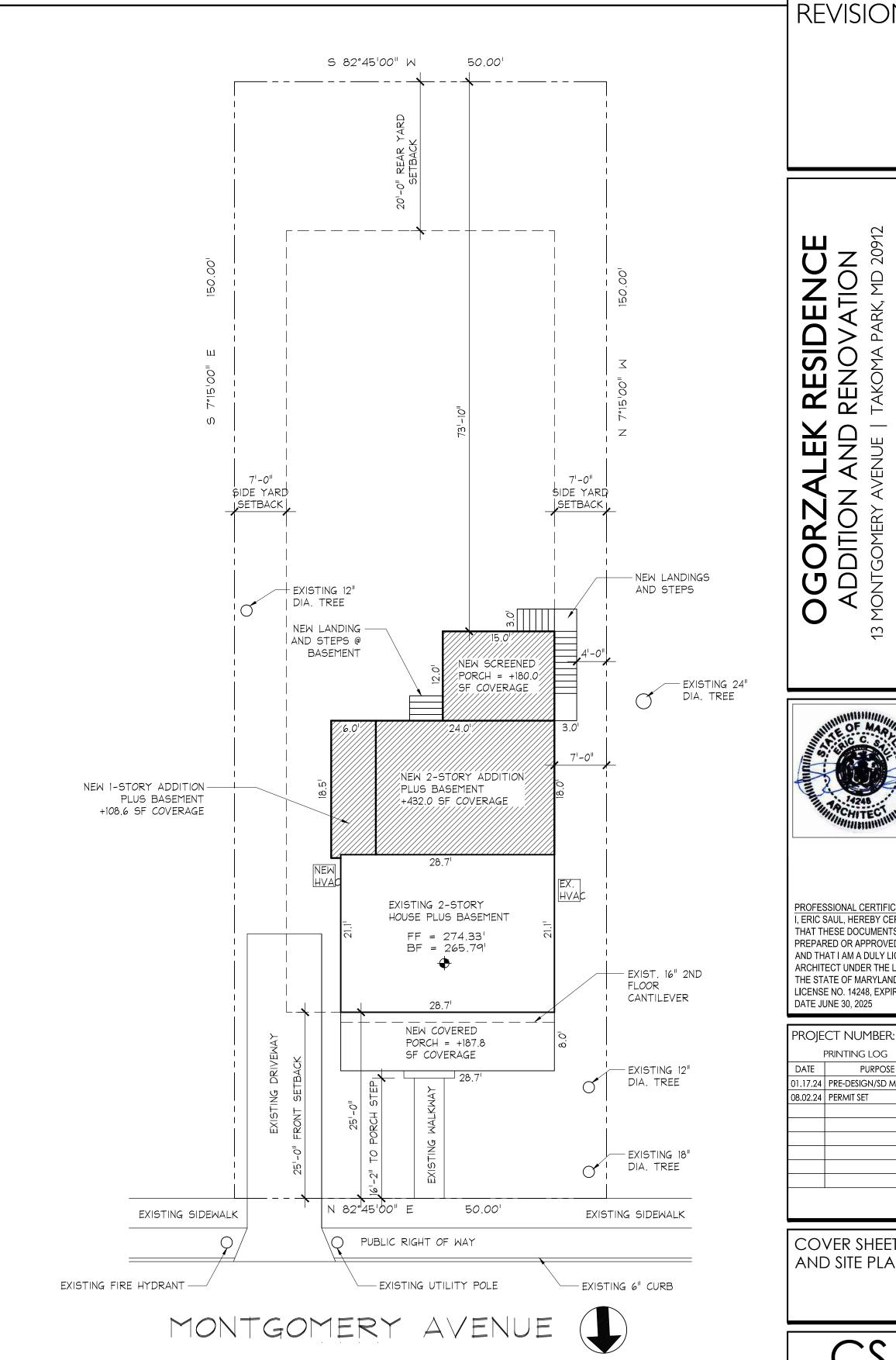
This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Chris Berger at 301-495-4571 or the applicant will contact Chris Berger at 301-495-4571 or the applicant will contact Chris Berger at 301-495-4571 or the applicant will obtain all other applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Chris Berger at 301-495-4571 or the applicant will obtain all other applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Chris Berger at 301-495-4571 or the applicant will obtain all other applicant must contact this Historic Preservation Office if any changes to the applicant will contact Chris Berger at 301-495-4571 or the applicant will be applicant



OGORZALEK RESIDENCE ADDITION AND RENOVATION

13 MONTGOMERY AVENUE | TAKOMA PARK, MD 20912





SITE PLAN: 1" = 10'-0"

▲RCHITE SAUL

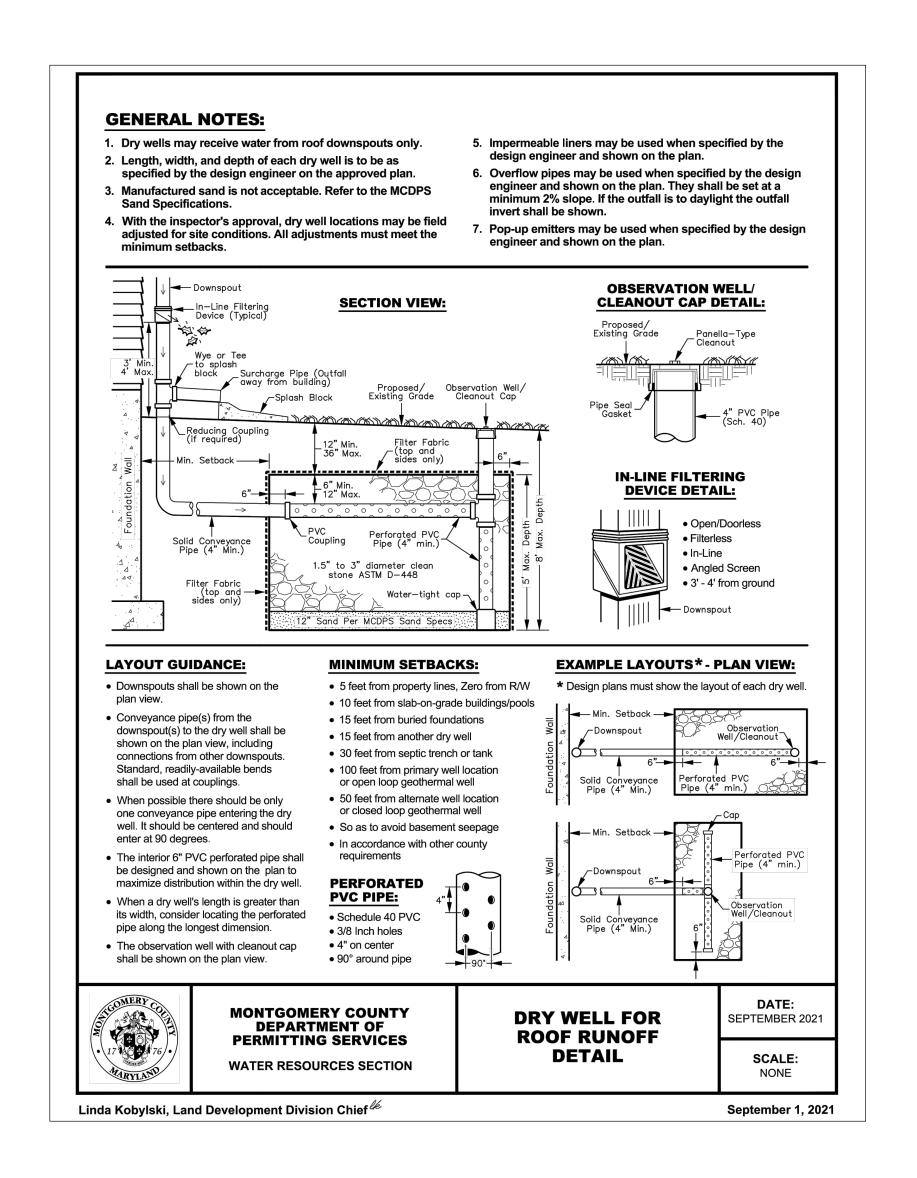
REVISIONS

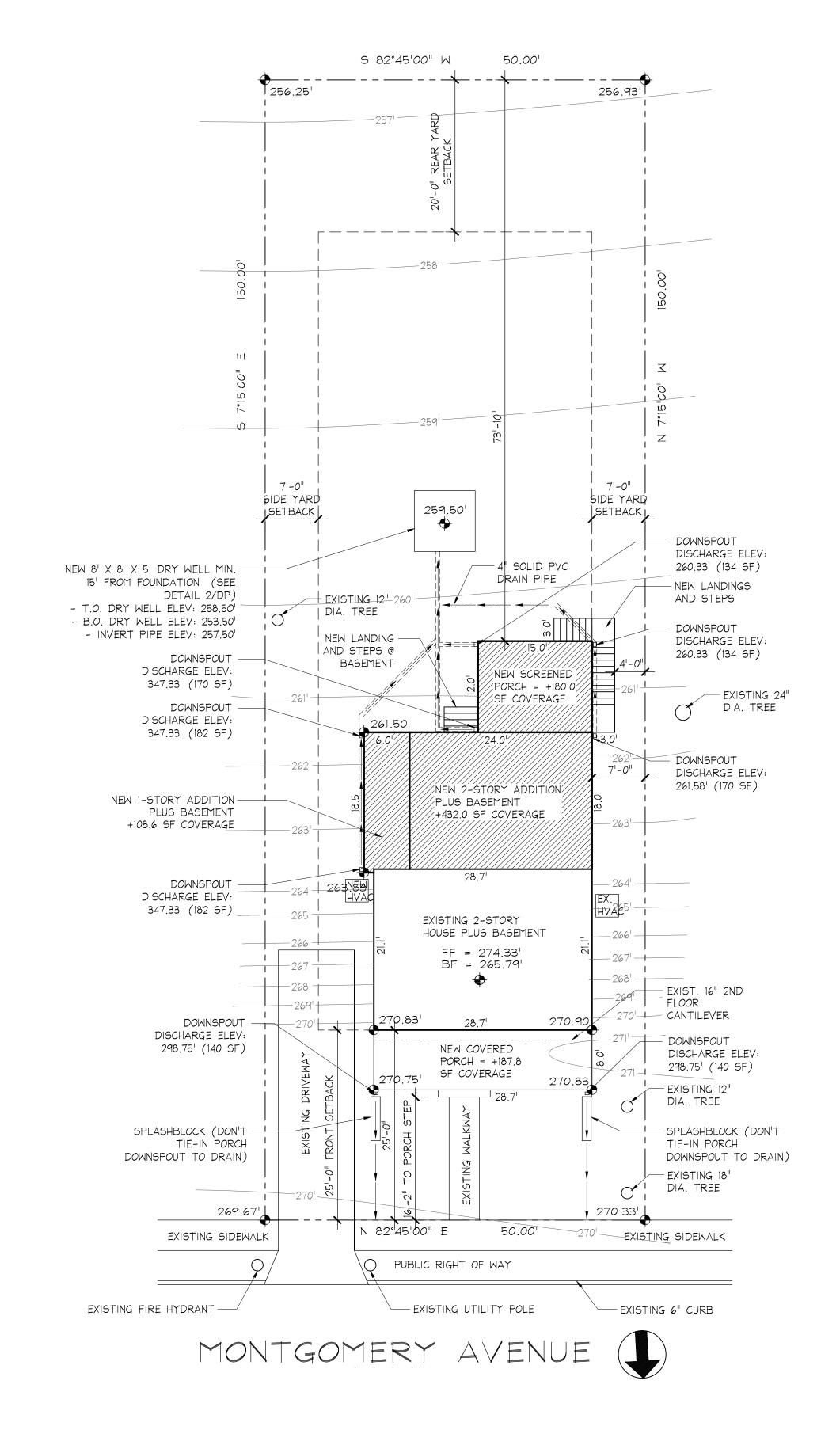
PROFESSIONAL CERTIFICATION: I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION

PROJECT NUMBER: 23028 PRINTING LOG DATE PURPOSE 1.17.24 PRE-DESIGN/SD MEETING

COVER SHEET AND SITE PLAN









LOT SIZE 7,500.0 SQ. FT.

ADDITIONAL LOT COVERAGE 908.4 SQ. FT.

TOTAL NEW DOWNSPOUT ROOF COVERAGE 972.0 SQ. FT.

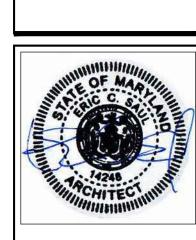
MIN. DRY WELL STORAGE 972/12 X 1.5 = 121.5 CF

PROPOSED DRY WELL SIZE (8' X 8' X 5') X 0.4 = 128 CF

SARROLL AVENUE | TAKOMA PARK, MD 209

REVISIONS

SORZALEK RESIDENCE
DDITION AND RENOVATION
TGOMERY AVENUE I TAKOMA PARK MD 2091



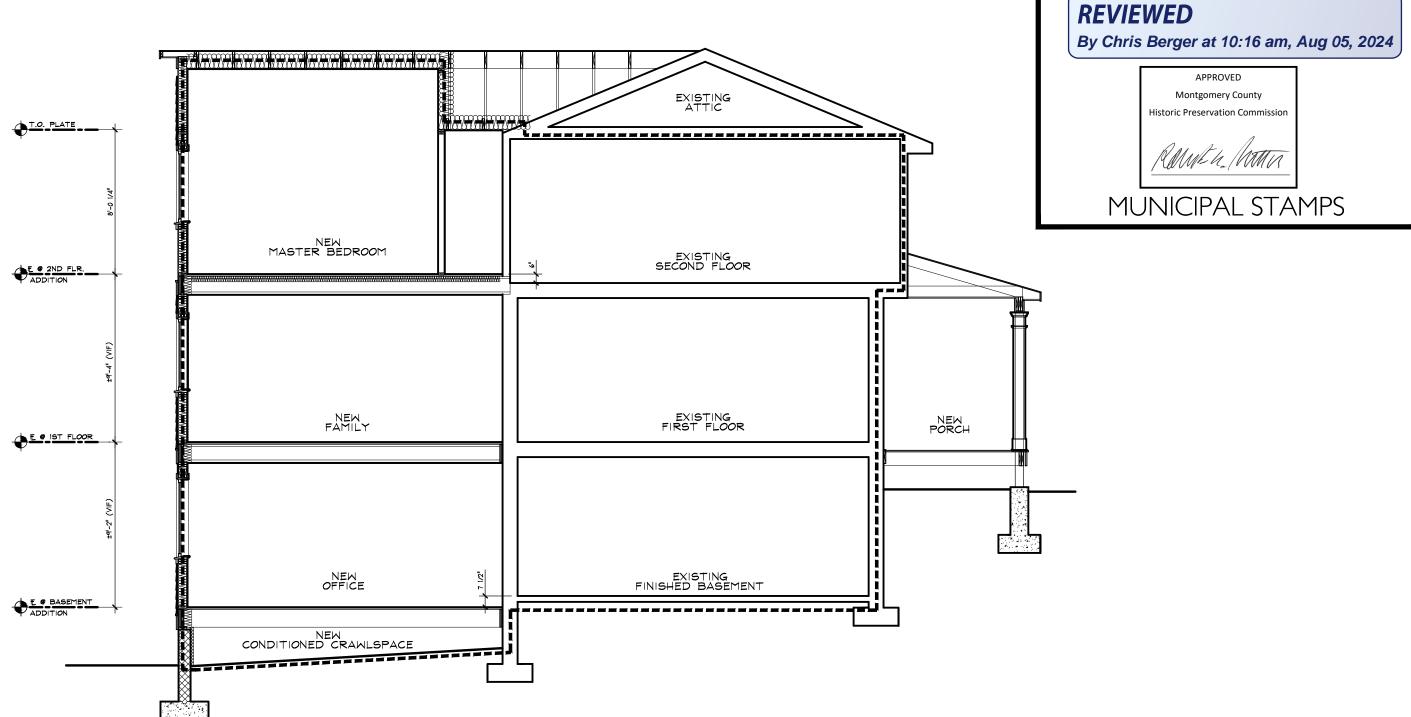
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LICENSE NO. 14248, EXPIRATION
DATE JUNE 30, 2025

PROJECT NUMBER: 23028
PRINTING LOG

DATE PURPOSE
01.17.24 PRE-DESIGN/SD MEETING 1
08.02.24 PERMIT SET

COVER SHEET AND SITE PLAN





LONGITUDINAL BUILDING ENVELOPE SECTION

BUILDING ENVELOPE SECTION THRU ADDITION EE1 / 3/16" = 1'-0"

NEW REC ROOM

NEW M. BATH

NEW MASTER BEDROOM

NEW OFFICE

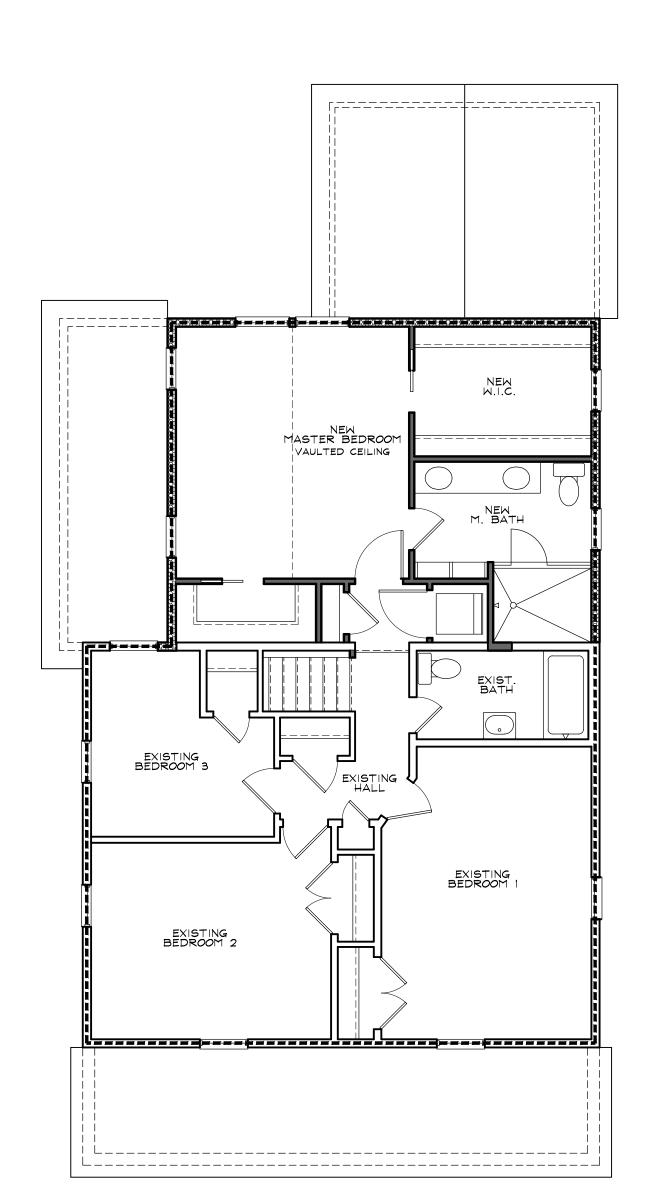
NEW CONDITIONED CRAWLSPACE

T.O. PLATE

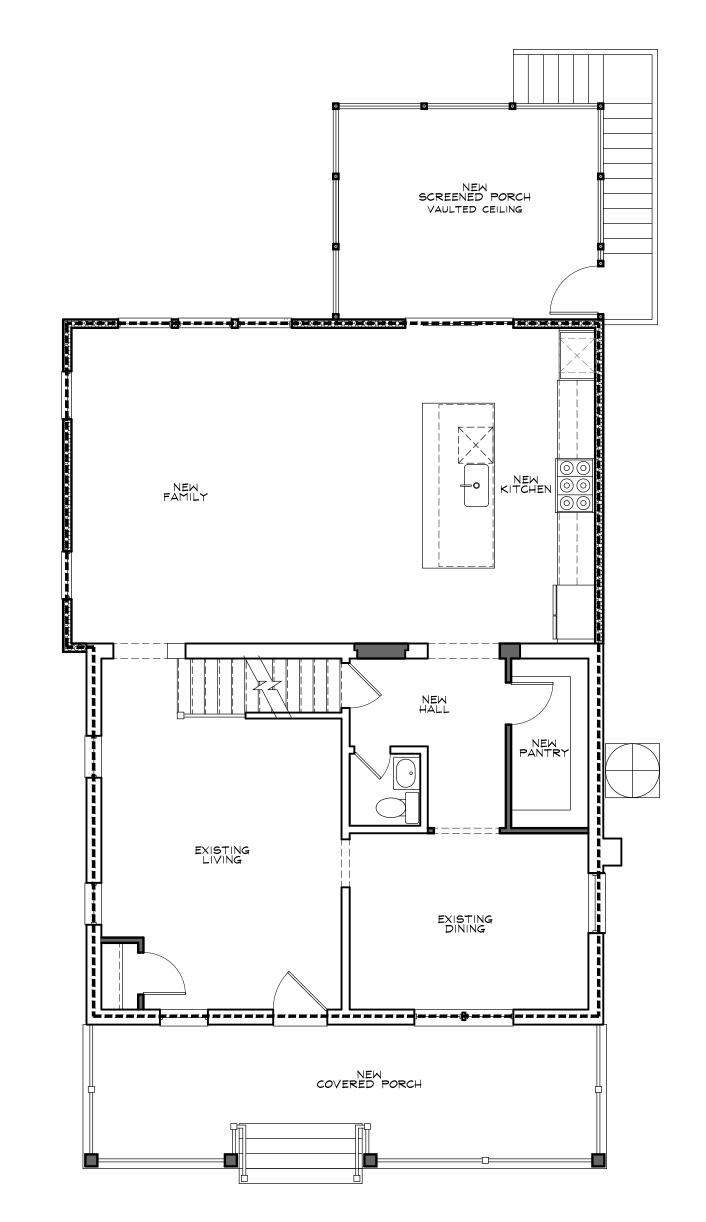
E @ 2ND FLR.

E @ IST FLOOR

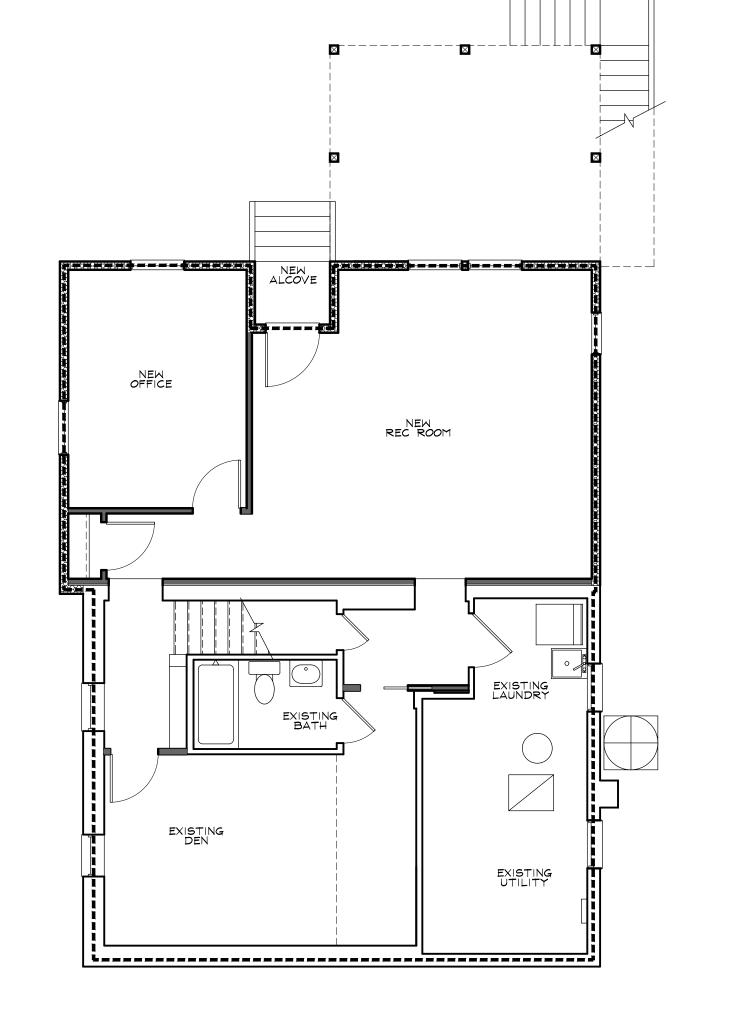
E @ BASEMENT ADDITION



EEI 3/16" = 1'-0"







BASEMENT ENERGY PLAN

AIR LEAKAGE:

PER IRC: 402.4.2

BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:

1. ALL JOINTS, SEAMS AND PENETRATIONS 2. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS 3. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING 4. UTILITY PENETRATIONS

5. DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE 6. KNEE WALLS

7. WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES

8. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS 9. COMMON WALLS BETWEEN DWELLING UNITS 10. ATTIC ACCESS OPENINGS 11. RIM JOIST JUNCTION

12. OTHER SOURCES OF INFILTRATION

M1601.4 INSTALLATION. DUCT INSTALLATION SHALL COMPLY WITH SECTIONS M1601.4.1 THROUGH M1601.4.7

M1601.4.1 JOINTS AND SEAMS

INSTALLATION INSTRUCTIONS.

JOINTS OF DUCT SYSTEMS SHALL BE MADE SUBSTANTIALLY AIRTIGHT BY MEANS OF TAPES, MASTICS, LIQUID SELANTS, GASKETING OR OTHER APPROVED CLOSURE SYSTEMS. CLOSURE SYTEMS USED WITH RIGID FIBROUS GLASS DUCTS SHALL COMPLY WITH UL181A AND SHALL BE MARKED 181A-P FOR PRESSURE SENSITIVE TAPE, 181A-M FOR MASTIC OR 181 A-H FOR HEAT-SENSITIVE TAPE. CLOSURE SYSTEMS USED WITH FLEXIBLE AIR DUCTS AND FLEXIBLE AIR CONECTORS SHALL COMPLY WITH UL 181B AND SHALL BE MARKED 181B-FX FOR PRESSURE-SENSITIVE TAPE OR 181B-M FOR MASTIC. DUCT CONNECTIONS TO FLANGES OF AIR DISTRIBUTION SYSTEM EQUIPMENT OR SHEET METAL FITTINGS SHALL BE MECHANICALLY FASTENED. MECHANICAL FASTENERS FOR USE WITH FLEXIBLE NONMETALLIC AIR DUCTS SHALL COMPLY WITH UL 181B AND SHALL BE MARKED 181B-C. CRIMP JOINTS FOR ROUND METAL DUCTS SHALL HAE A CONTACT LAP OF AT LEAST 1 1/2 INCHES (38MM) AND SHALL BE MECHANICALLY FASTENED BY MEANS OF AT LEAST THREE SHEET-METAL SCREWS OR RIVETS EQUALLY SPACED AROUND THE JOINT. CLOSURE SYSTEMS USED TO SEAL METAL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S

EXCEPTIONS:

1. SPRAY POLYURETHANE FOAM SHALL BE PERMITTED TO BE APPLIED WITHOUT ADDITIONAL JOINT SEALS.

2. WHERE A DUCT CONNECTION IS MADE THAT IS PARTIALLY INACCESSIBLE, THREE SCREWS OR RIVETS SHALL BE EQUALLY SPACED ON THE EXPOSED PORTION OF THE JOINT SO AS TO PREVENT A HINGE FFECT.

3. CONTIUOUSLY WELDED AND LOCKING TYPE LONGITUDINAL JOINTS AND SEAMS IN DUCTS OPERATING AT STATIS PRESSURES LESS THAN 2 INCHES OF WATER COLUMN (500 PA) PRESSURE CLASSIFICATION SHALL NOT REQUIRE ADDITIONAL CLOSURE SYSTEMS.

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REVISIONS



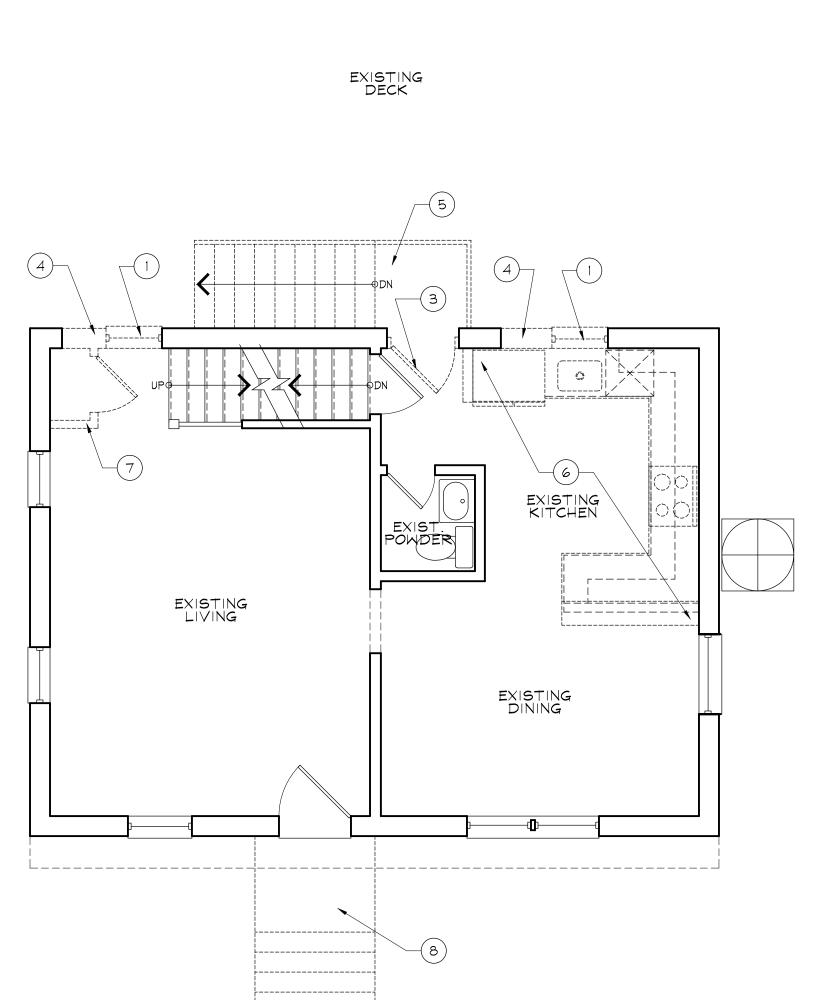
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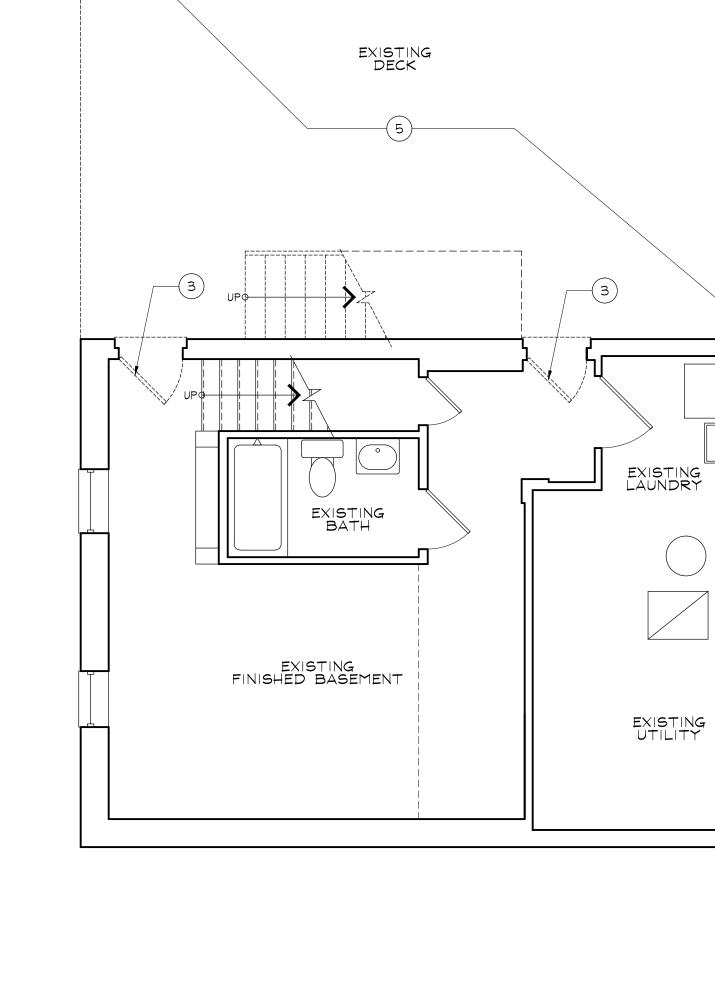
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08.02.24 PERMIT SET							

ENERGY EFFICIENCY COMPLIANCE

SECOND FLOOR ENERGY PLAN







DEMOLITION KEYNOTES:

- (1) EXISTING WINDOW TO BE REMOVED
- 2 BEARING WALL TO BE REMOVED SEE FRAMING PLANS FOR NEW BEAM
- (3) EXISTING DOOR TO BE REMOVED
- (4) DEMO EXISTING BRICK WALL FOR NEW OPENING
- (5) DEMO EXISTING EXTERIOR DECK AND STEPS
- (6) COMPLETE DEMO OF EXISTING KITCHEN: REMOVE ALL CABINETS, PLUMBING FIXTURES, HARDWARE, FINISHES AND FLOORING. CAP ALL PLUMBING AND EXPOSE ALL MECHANICAL AND ELECTRICAL.
- 7 EXISTING CLOSET TO BE DEMOLISHED
- (8) DEMO EXISTING FRONT STEPS INCLUDING FOUNDATION

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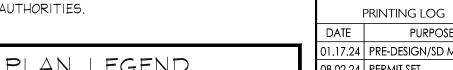
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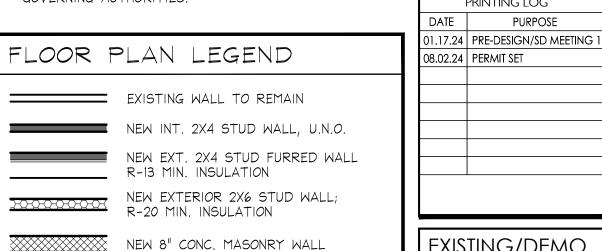
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DATE JUNE 30, 2025

GENERAL DEMO NOTES

- DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
- 2. EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
- 3. SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
- 4. EXISTING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
- 5. ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER, PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
- 6. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.





NEW BRICK MASONRY WALL OR PIER

EXISTING WALL TO BE REMOVED

CEILING HEIGHT INDICATOR

(8'-0")

EXISTING ITEM TO BE REMOVED

EXISTING/DEMO FLOOR PLANS

EXISTING/DEMO SECOND FLOOR PLAN

EXISTING /

EXISTING BEDROOM 1

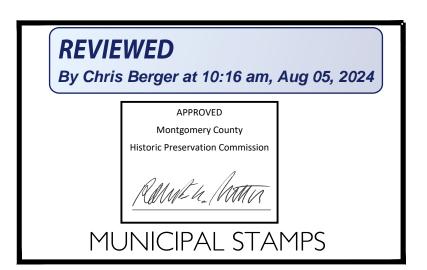
HALL

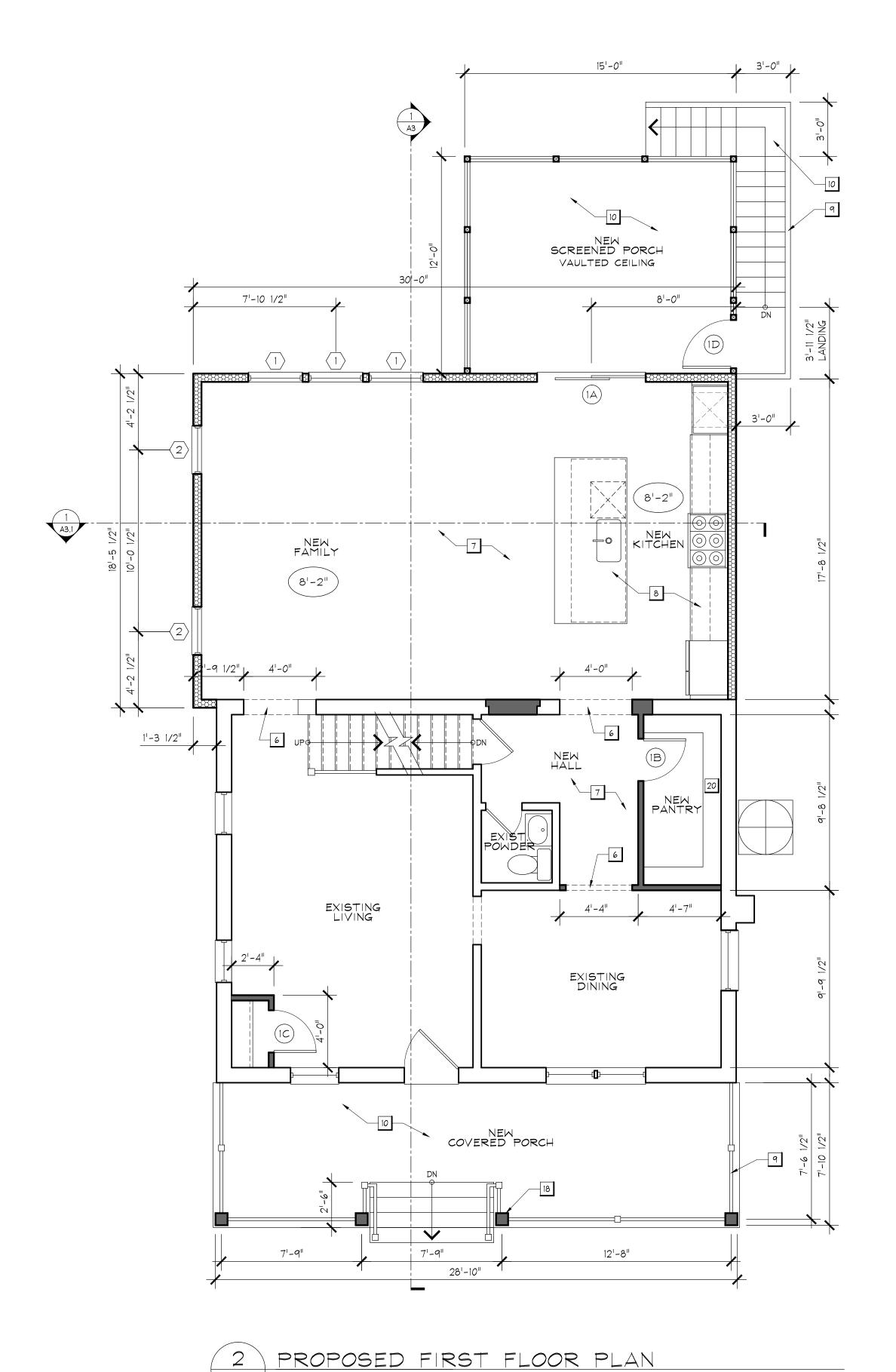
EXISTING BEDROOM 3

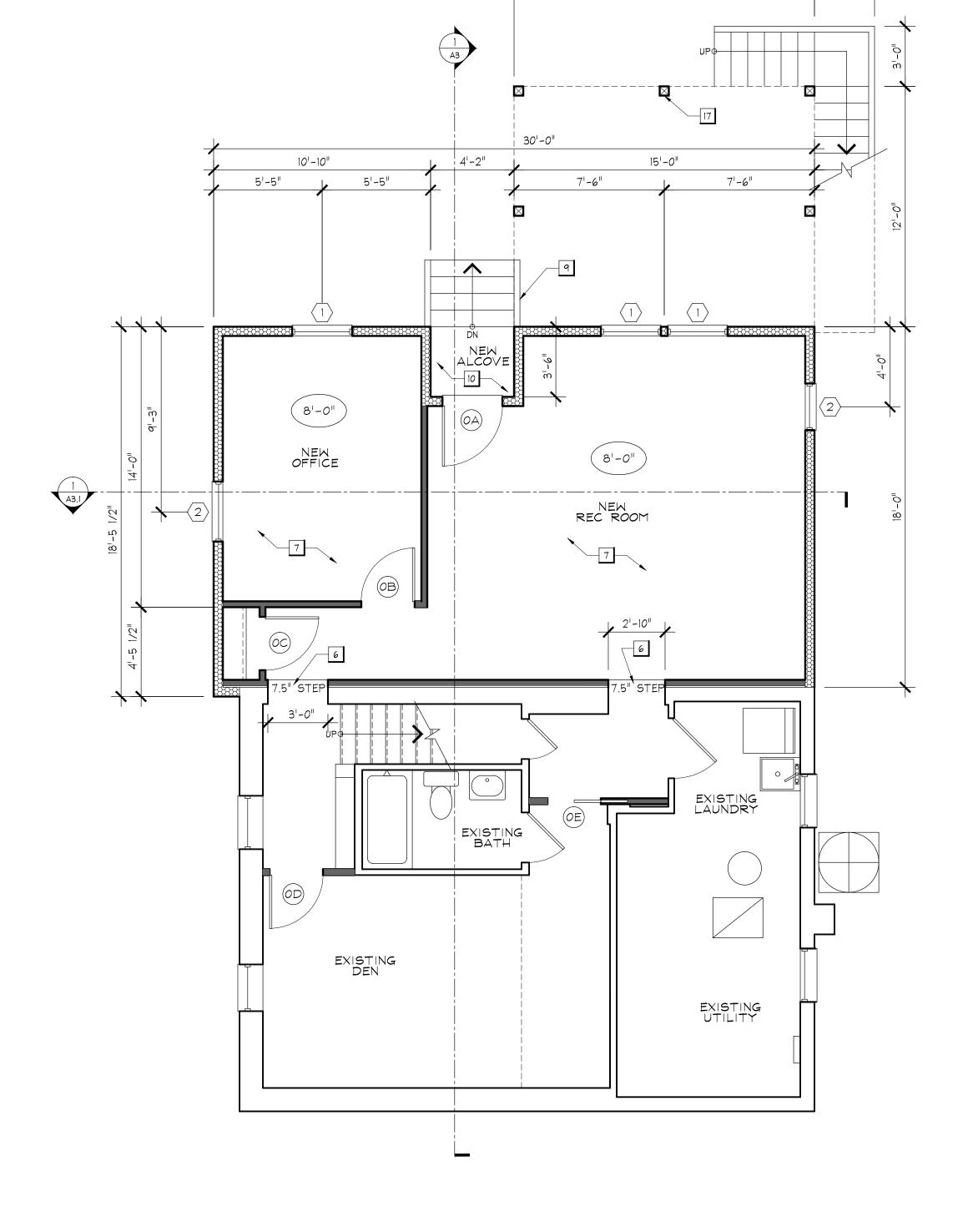
EXISTING BEDROOM 2

EXISTING/DEMO FIRST FLOOR PLAN 1/4" = 1'-0"

EXISTING/DEMO BASEMENT PLAN







15'-0"





1 NEW TOILET

2 NEW 84" VANITY SINK

3 NEW CUSTOM TILED SHOWER W/ GLASS ENCLOSURE AND TILED SOAP NICHE

4 NEW 30" VANITY

5 NEW TILE FLOORING - SELECTED BY OWNER

6 NEW CASED OPENING

7 NEW HARDWOOD FLOORING TO MATCH EXISTING

8 NEW KITCHEN CABINETS PER SEPARATE KITCHEN DESIGN DRAWINGS

9 NEW 36" HIGH PT WOOD DECK GUARDRAIL

10 PT DECKING BOARDS

11 5" PRE-FINISHED GUTTER TO MATCH EXISTING HOUSE

12 DOWNSPOUT - MATCH EXISTING HOUSE

NEW 30 Y.R ARCHITECTURAL ASPHALT ROOF SHINGLE
- COLOR SELECTED BY OWNER

14 NEW BUILT-IN

15 CUSTOM CLOSET ORGANIZING

16 NEW RIDGE VENT

17 NEW 6X6 PT POST (TYP.)

18 NEW 7.5" PVC COLUMN WRAP (6X6 PT POST INSIDE)

19 STACKABLE WASHER/DRYER UNIT

20 CLOSET/PANTRY SHELVING TO BE DESIGNED OR SELECTED BY OWNER

21 NEW PEDESTAL SINK

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SAUL

REVISIONS



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PROJECT NUMBER: 23028

THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION

DATE JUNE 30, 2025

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.

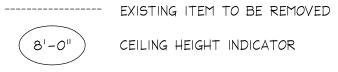
2. ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.

3. DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.

PRINTING LOG DATE PURPOSE .17.24 PRE-DESIGN/SD MEETING 1 FLOOR PLAN LEGEND 08.02.24 | PERMIT SET EXISTING WALL TO REMAIN

NEW INT. 2X4 STUD WALL, U.N.O. NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION NEW EXTERIOR 2X6 STUD WALL; R-20 MIN. INSULATION NEW 8" CONC. MASONRY WALL

NEW BRICK MASONRY WALL OR PIER EXISTING WALL TO BE REMOVED



BASEMENT AND FIRST FLOOR PLANS

PROPOSED

1'-0" O.H.

1'-0" O.H.

NEW 8:12 SLOPE

NEW 24:12 SLOPE ◆

REVISIONS

FLOOR PLAN KEYNOTES: 1 NEW TOILET

2 NEW 84" VANITY SINK

NEW CUSTOM TILED SHOWER W/ GLASS ENCLOSURE AND TILED SOAP NICHE

4 NEW 30" VANITY

5 NEW TILE FLOORING - SELECTED BY OWNER

6 NEW CASED OPENING

8 NEW KITCHEN CABINETS PER SEPARATE KITCHEN DESIGN DRAWINGS

7 NEW HARDWOOD FLOORING TO MATCH EXISTING

9 NEW 36" HIGH PT WOOD DECK GUARDRAIL

10 PT DECKING BOARDS

5" PRE-FINISHED GUTTER TO MATCH EXISTING HOUSE

12 DOWNSPOUT - MATCH EXISTING HOUSE

13 NEW 30 Y.R ARCHITECTURAL ASPHALT ROOF SHINGLE - COLOR SELECTED BY OWNER

14 NEW BUILT-IN

15 CUSTOM CLOSET ORGANIZING

16 NEW RIDGE VENT

17 NEW 6X6 PT POST (TYP.) 18 NEW 7.5" PVC COLUMN WRAP (6X6 PT POST INSIDE)

19 STACKABLE WASHER/DRYER UNIT 20 CLOSET/PANTRY SHELVING TO BE DESIGNED OR SELECTED BY OWNER

21 NEW PEDESTAL SINK

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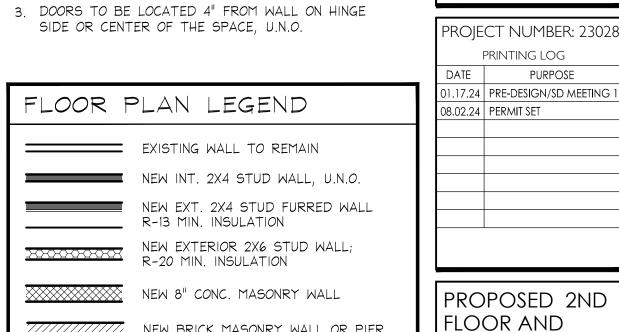
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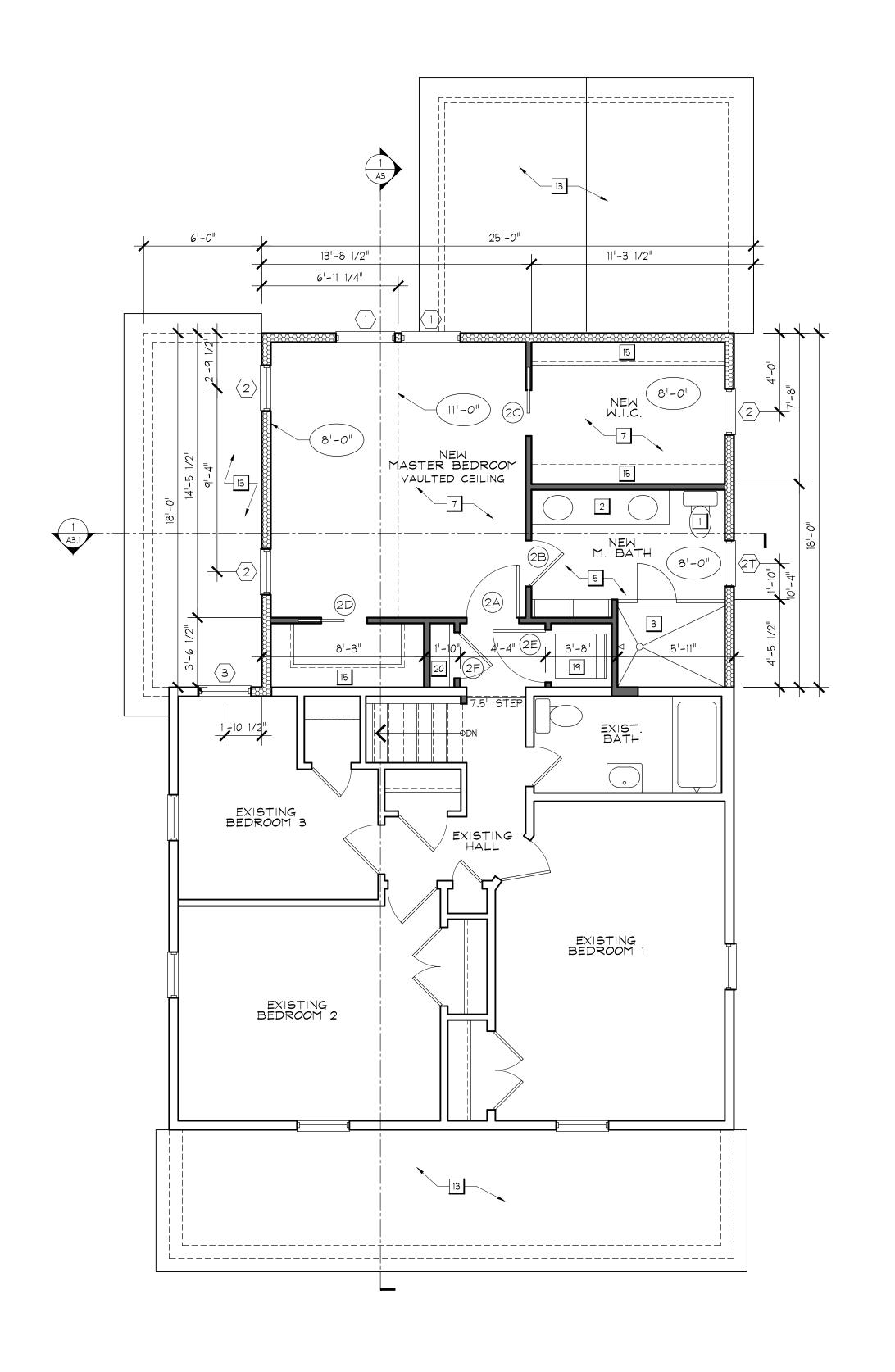
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CEILING HEIGHT INDICATOR

FLOOR AND NEW BRICK MASONRY WALL OR PIER ROOF PLANS EXISTING WALL TO BE REMOVED EXISTING ITEM TO BE REMOVED





NEW 6:12 SLOPE

1'-0" O.H.

8" O.H.

NEW 4:12 SLOPE

NEW 6:12 SLOPE



AUL ARCHITECTS CARROLL AVENUE | TAKOMA PARK, MD 20912 P: 301.270.0395 info@saularchitects.com

REVISIONS

RESIDENCE
RENOVATION
TAKOMA PARK, MD 20912
S 24" X 36", A COPY OF ANOTHER SIZE MEANS SCALES
SIGNIFICANT OF SERVICE ANY USE OR REUSE.

ADDITION AND RENOVAT

MONTGOMERY AVENUE | TAKOMA PARK,

65 HADELLE OF MADELLE OF MADELLE

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08.02.24	PERMIT SET						

DOOR/WINDOW SCHEDULE

A1.2

DOOR	DOOM NAME	2002 0175	DOOD TYPE	112112 055	#UDECL!	DOOR DETAILS			DEMARKS	
NO.	ROOM NAME	DOOR SIZE	DOOR TYPE	HDWR SET	THRESH	HEAD	JAMB	SILL	REMARKS	
BASE	EMENT									
0A	REC ROOM	3'-0" x 6'-8"	SWING	6	ALUM.	-	-	-	EXTERIOR FIBERGLASS DOOR TO BE SELECTED BY OWNER	
0B	OFFICE	2'-8" x 6'-8"	SWING	3	NONE	-	-	-	SOLID WOOD DOOR TO MATCH EXISTING	
oc	HALL CLOSET	2'-8" x 6'-8"	SWING	5	NONE	-	-	-	SOLID WOOD DOOR TO MATCH EXISTING	
0D	DEN	2'-8" x 6'-8"	SWING	3	NONE	-	-	-	SOLID WOOD DOOR TO MATCH EXISTING	
0E	DEN	2'-8" x 6'-8"	POCKET	4	NONE	_	-	-	SOLID WOOD DOOR TO MATCH EXISTING	
 FIRS	 T_FL <i>oo</i> r									
1A	KITCHEN	6'-0" x 6'-8"	SLIDING GLASS	7	ALUM.	-	-	_	SLIDING GLASS DOOR TO BE SELECTED BY OWNER	
1B	PANTRY	2'-4" x 6'-8"	SWING	1	NONE	-	-	-	SOLID WOOD DOOR TO MACTH EXISTING	
10	CLOSET	2'-4" x 6'-8"	SWING	5	NONE	-	-	_	SOLID WOOD DOOR TO MATCH EXISTING	
D	SCREENED PORCH	2'-8" x 6'-8"	SWING	8	NONE	-	-	-	SCREENED DOOR TO BE SELECTED BY OWNER	
SECC	ND FLOOR									
2A	MASTER BEDROOM	2'-8" x 6'-8"	SWING	3	NONE	-	_	_	SOLID WOOD DOOR TO MATCH EXISTING	
2B	MASTER BATH	2'-4" x 6'-8"	SWING	3	TILE	-	-	-	SOLID WOOD DOOR TO MATCH EXISTING	
2C	MASTER W.I.C	2'-4" x 6'-8"	POCKET	4	NONE	-	-	-	SOLID WOOD DOOR TO MATCH EXISTING	
2D	MASTER W.I.C	2'-4" x 6'-8"	POCKET	4	NONE	-	-	-	SOLID WOOD DOOR TO MATCH EXISTING	
2E	LAUNDRY	2'-8" x 6'-8"	SWING	5	NONE	-	-	_	SOLID WOOD DOOR TO MATCH EXISTING	
2F	LINEN	2'-4" x 6'-8"	SWING	5	NONE	_	_	-	SOLID WOOD DOOR TO MATCH EXISTING	

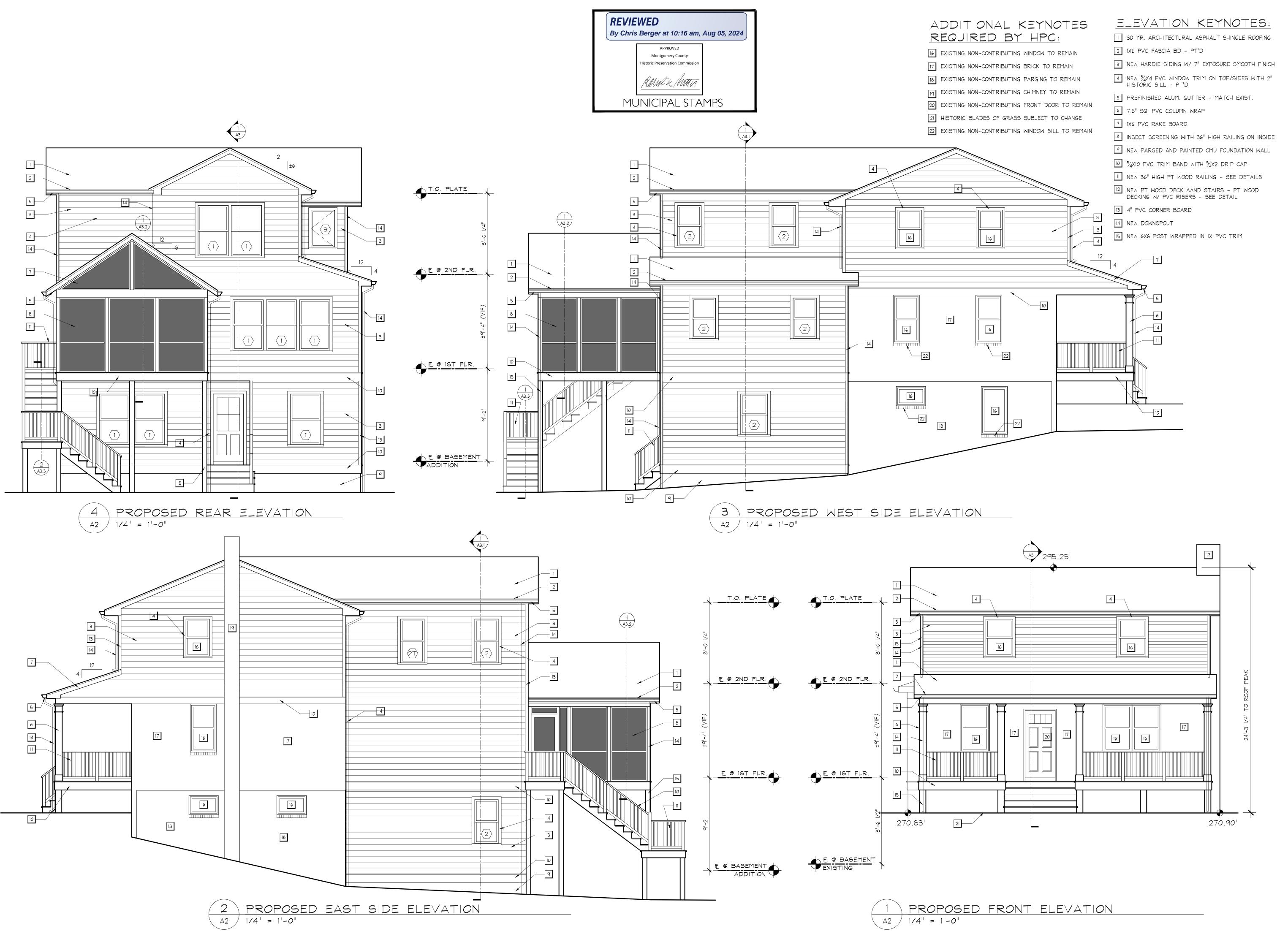
HARDWARE SETS: (ALL HARDWARE FINISHES TO BE SELECTED BY OWNER)

- 1. (2) 3.5" HINGES; PASSAGE LATCH
- 2. (2) 3.5" HINGES EACH DOOR; PLAIN DUMMY KNOB EACH DOOR
- 3. (2) 3.5" HINGES; PRIVACY LOCK
- 4. POCKET DOOR HARDWARE WITH LOCK
- 5. (2) 3.5" HINGES; PLAIN DUMMY KNOB
- 6. (3) 3.5" HINGES EACH DOOR; ENTRY LOCK AND DEADBOLT
 7. SLIDING GLASS DOOR HARDWARE PER MANUFACTURER
- 8. SCREENED DOOR HARDWARE PER MANUFACTURER

WINDOW SCHEDULE

SYMB	MANUFACTURER	TYPE	MATERIAL	APPROX. UNIT SIZE	WINDOW DETAILS			
31110	TIANOTACTORER				HEAD	JAMB	SILL	REMARKS
	TBD	DOUBLE HUNG	VINYL	36" X 62"				QUANTITY = 8; EGRESS COMPLIANT
(2)	TBD	DOUBLE HUNG	VINYL	28" X 48"				QUANTITY = 7
2T	TBD	DOUBLE HUNG	VINYL	28" X 48"				QUANTITY = 1; TEMPERED GLASS
(3)	TBD	CASEMENT	VINYL	32" X 44"				QUANTITY = 1; EGRESS COMPLIANT

- 1. HARDWARE AND FINISH TO BE SELECTED BY OWNER
- 2. ALL WINDOWS TO HAVE 7/8" SIMULATED DIVIDED LITES AS SHOWN IN THE ELEVATION DRAWINGS
- 3. TRANSOM UNITS TO HAVE 7/8" SIMULATED DIVIDED LITES AS SHOWN IN THE ELEVATION DRAWINGS
- 4. DOUBLE GLAZING, LOW E GLASS WITH ARGON
- 5. ARCHITECT TO REVIEW FINAL WINDOW ORDER BEFORE PURCHASING



▲RCHITECTS

SAUL

REVISIONS

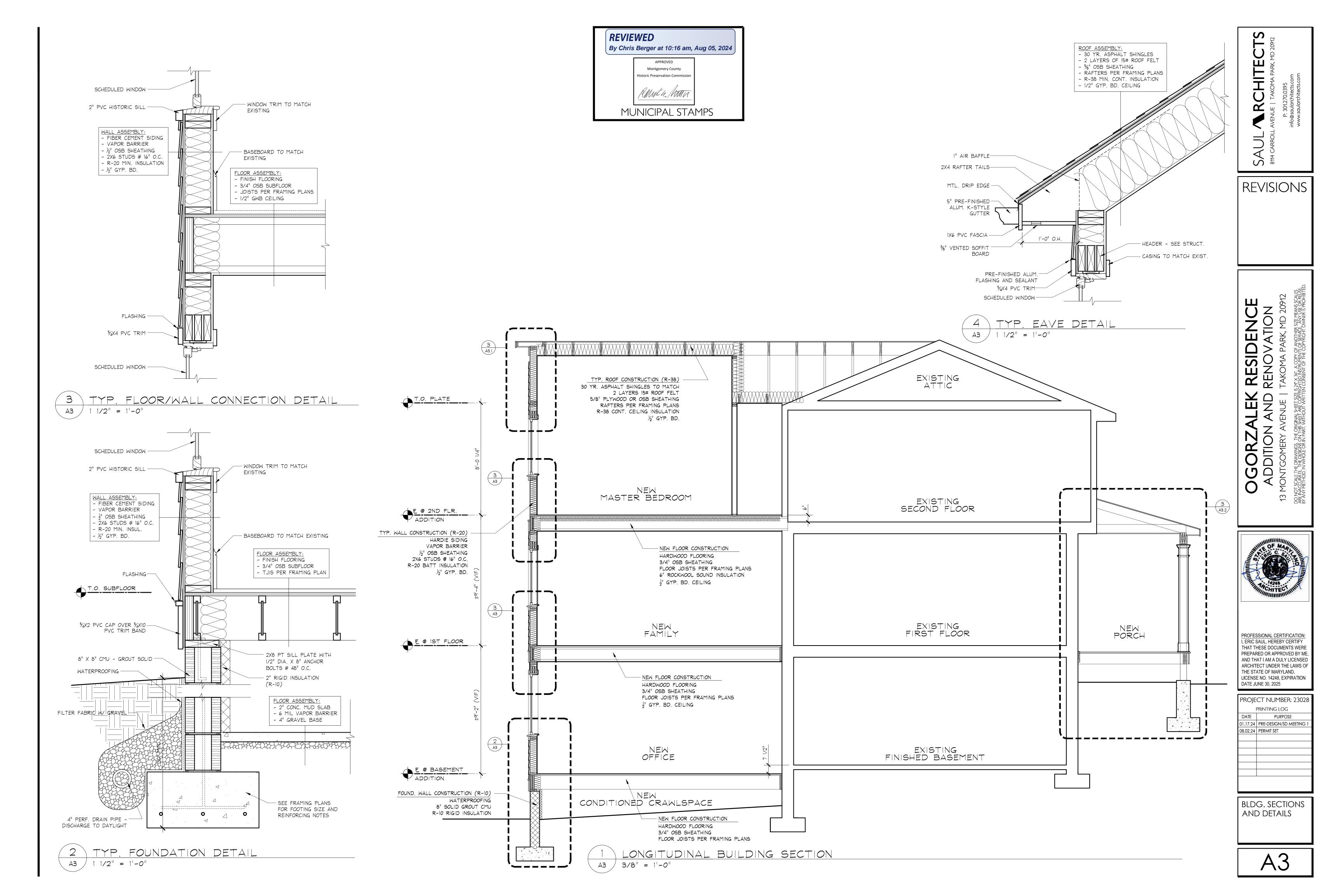
RENOVATION RENO

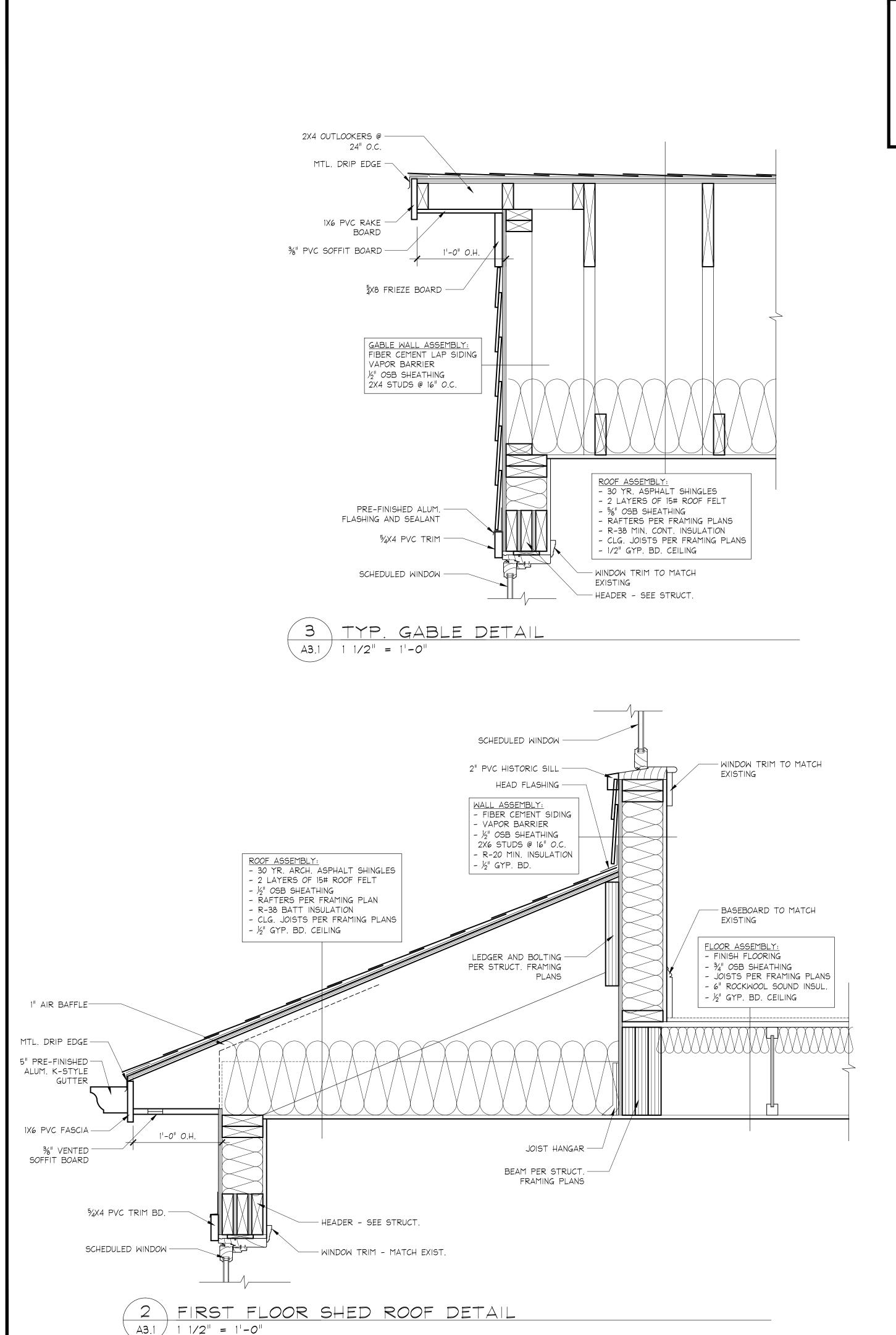
ALEK ADI MONTG

PROFESSIONAL CERTIFICATION: I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION

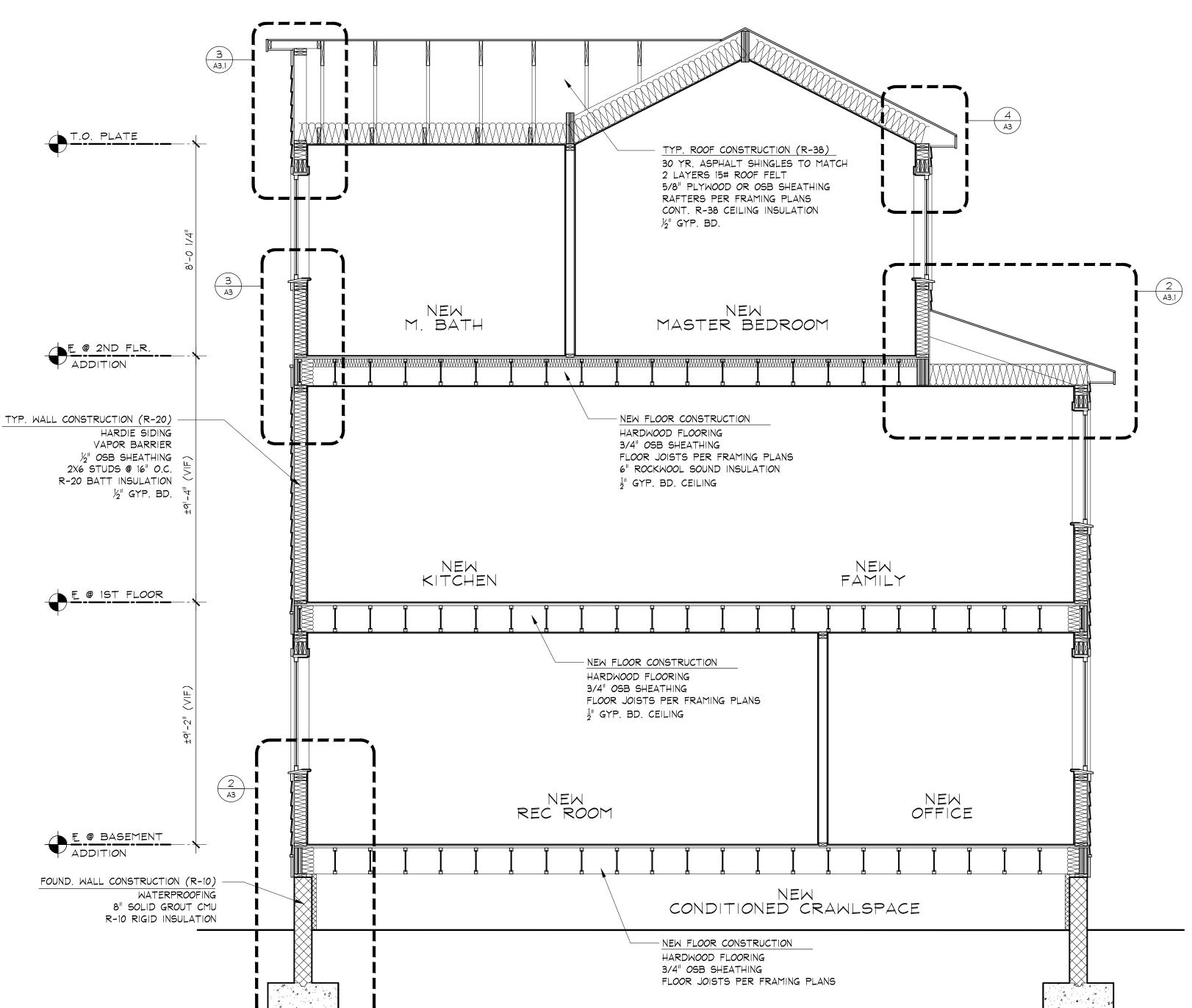
DATE JUNE 30, 2025 PROJECT NUMBER: 23028 PRINTING LOG DATE PURPOSE 1.17.24 PRE-DESIGN/SD MEETING 08.02.24 PERMIT SET

EXTERIOR ELEVATIONS









1 BUILDING SECTION THRU ADDITION
A3.1 3/8" = 1'-0"

▲RCHITECTS

REVISIONS

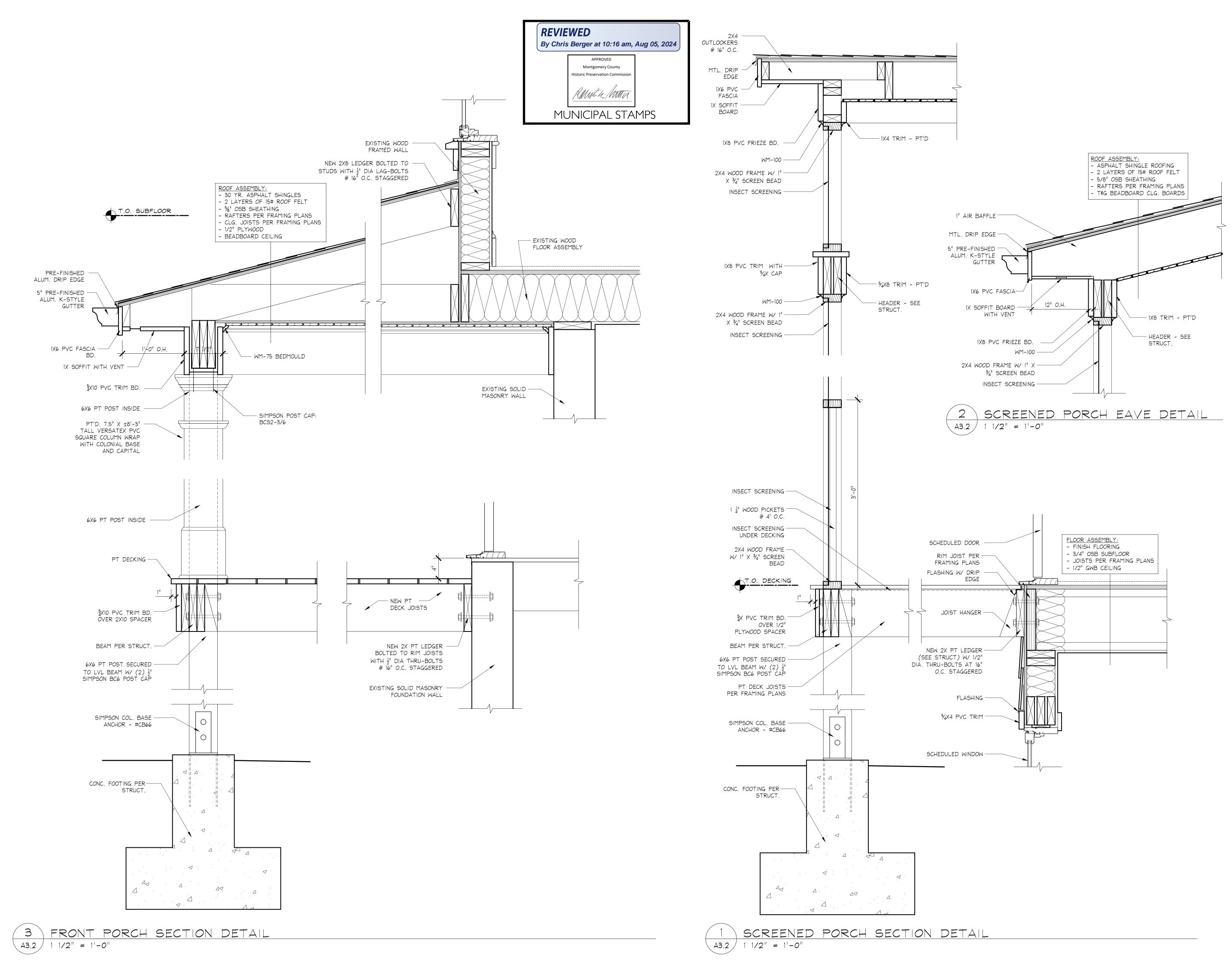
RESIDENCE

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PROJECT NUMBER: 23028 PRINTING LOG DATE PURPOSE 01.17.24 Pre-design/SD meeting 1 08.02.24 PERMIT SET

BUILDING SECTION AND DETAILS



AUL ARCHITECTS

14 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
www.saularchitects.com

REVISIONS

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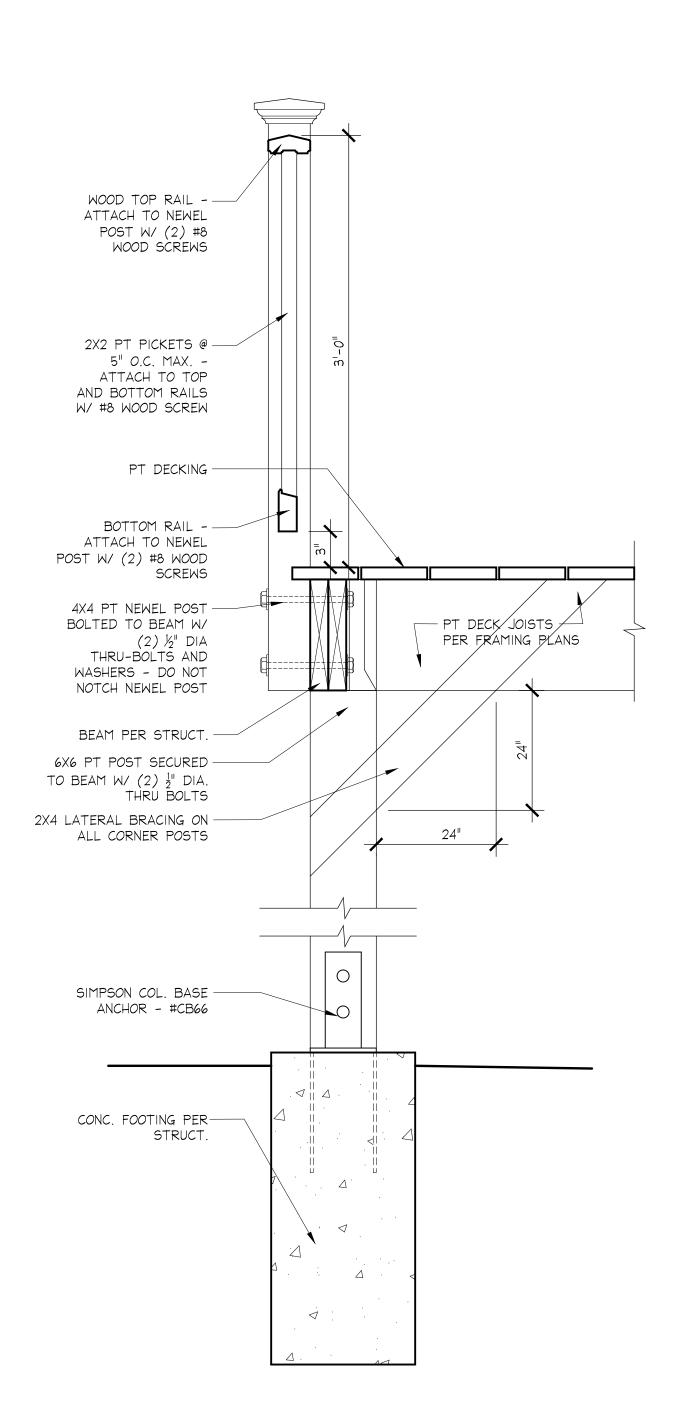
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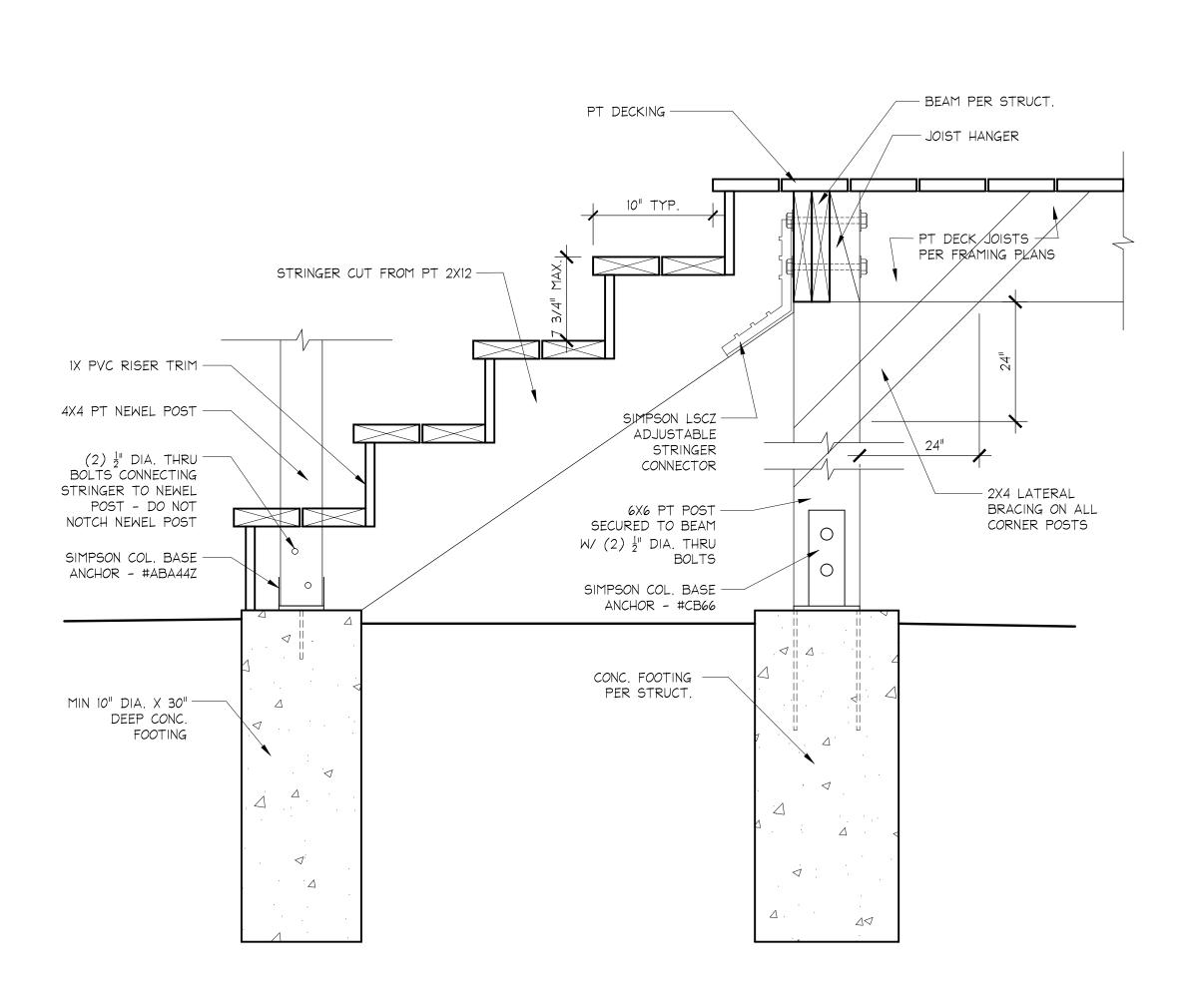
DATE PURPOSE
01.17.24 PRE-DESIGN/SD MEETING 1
08.02.24 PERMIT SET

PORCH DETAILS

A3.2









ARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saulgrabiteds.com

REVISIONS

MD 20912

OGORZALEK RESIDENCE
ADDITION AND RENOVATION
MONTGOMERY AVENUE | TAKOMA PARK, MD 2091

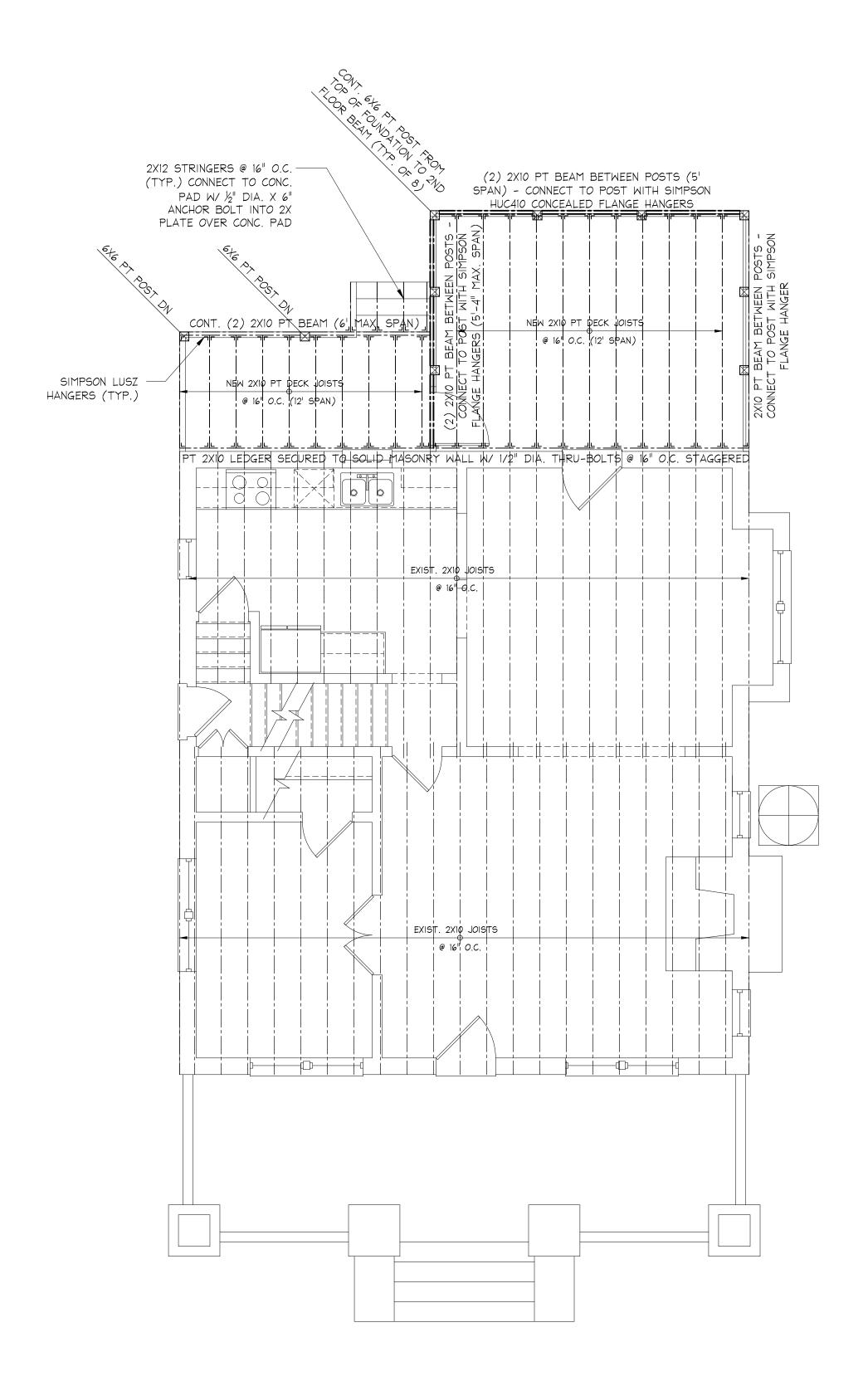
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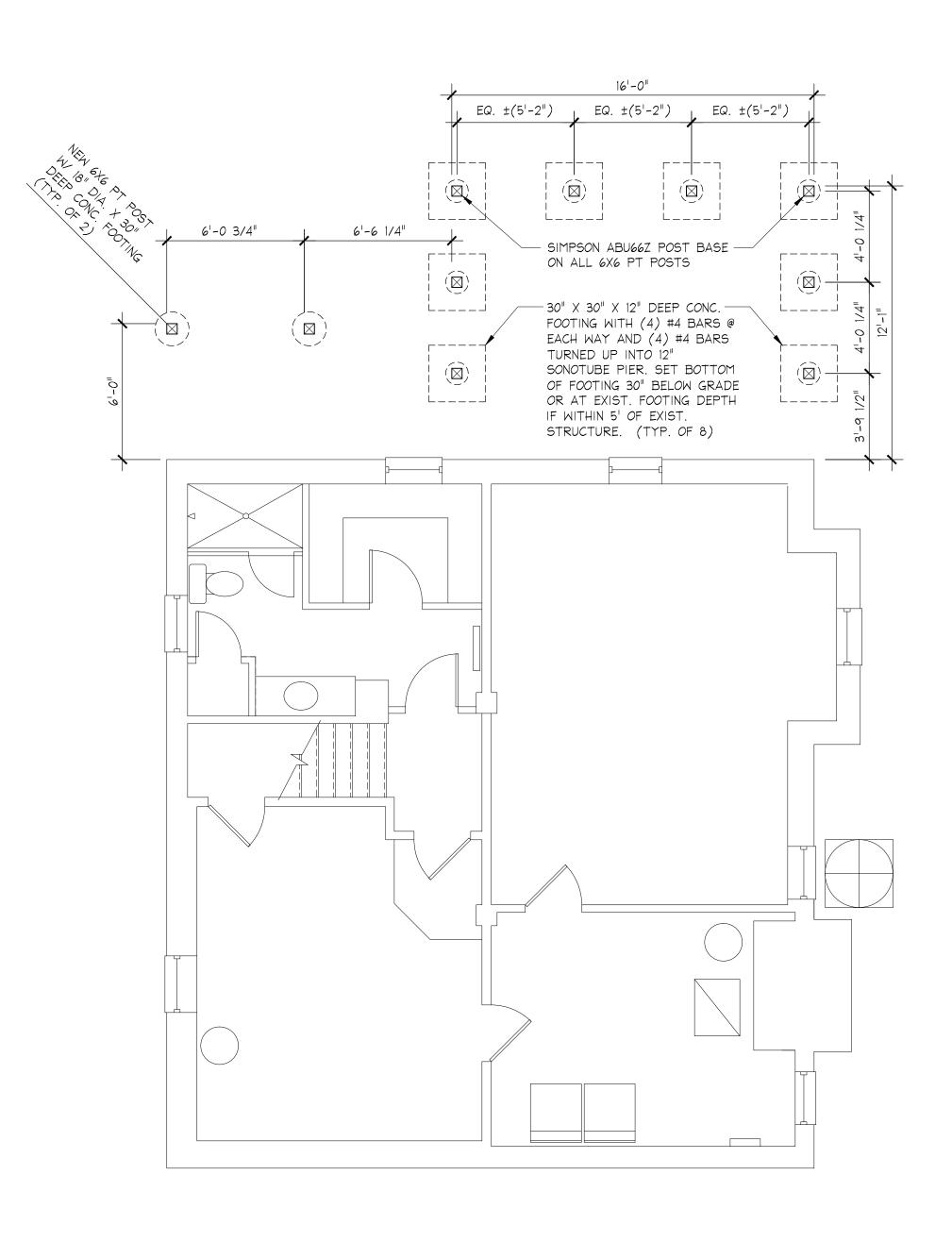
PROJECT NUMBER: 23028
PRINTING LOG
DATE PURPOSE
01.17.24 PRE-DESIGN/SD MEETING 1
08.02.24 PERMIT SET

DECK DETAILS

A3.3



FIRST FLOOR FRAMING PLAN



STRUCTURAL NOTES:

1. USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.

- LOADS- LIVE -FLOOR RESIDENTIAL 40PSF; ROOF -30 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE 1
- 3. FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL.
 FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW
 GRADE AND A MINIMUM OF 12" INTO EXISTING
 NATURAL SOIL. EXISTING FOUNDATIONS ARE
 ADEQUATE FOR NEW LOADS
- 4. CONCRETE 3000 PSI @ 28 DAYS MINIMUM.
 REINFORCING STEEL ASTM A615 GRADE 60. USE ACI
 STANDARDS. CONC. FOUNDATION WALL
 REINFORCEMENT: #4 BARS @ 24" O.C. HORIZ. AND
 VERTICAL EMBED 8" INTO FOOTING.
- 5. FRAMING LUMBER SHALL BE STRUCTURAL GRADE, DOUGLAS FIR #2 OR STRONGER. Fb = 1200 PSI MINIMUM. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S Fb=2650PSI, e=1.9M PSI
- 6. BRACED WALL PANELS (BWP): 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.1.1.
- 7. CONC. BLOCK REINFORCEMENT: USE 9 GAGE
 TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY
 OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL
 REINFORCEMENT: #5 BARS @ 32" O.C. NEEDED
 ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH.
 ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
- 8. STRUCTURAL STEEL SHALL BE ASTM A-36. USE AISC STANDARDS
- 9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
- 10. EXISTING STRUCTURE IS ADEQUATE TO HANDLE ADDITIONAL LOADS FROM THE ADDITION

ALL NEW EXTERIOR OPENINGS TO HAVE DOUBLE (3) 2X8 HEADERS, U.N.O.

POSTS UNDER HEADERS TO BE ONE KING AND ONE JACK STUD, U.N.O.

NEW DOUBLE WINDOWS TO HAVE TWO JACK STUDS BETWEEN.

EXISTING EXTERIOR OPENINGS TO HAVE A MINIMUM (3) 2X6 UP TO 36" WIDE, (3) 2X8 UP TO 48" WIDE AND (3) 2X10 UP TO 60" WIDE.

NOTE: USE CONTINUOUS WALL BRACING METHOD (#3) PER IRC: R602.10.4

CS-WSP = 1/2" WOOD STRUCTURAL
PANEL (SEE STRUCTURAL NOTE #6 FOR
CONNECTION CRITERIA)

SAUL RRCHITEC

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RYAN RESIDENCE
DITION AND RENOVATION
HMOND AVENUE | SILVER SPRING, MD 20910

PROJECT NUMBER: 23030
PRINTING LOG

DATE PURPOSE

02.19.24 SD MEETING 1

03.15.24 SD MEETING 2

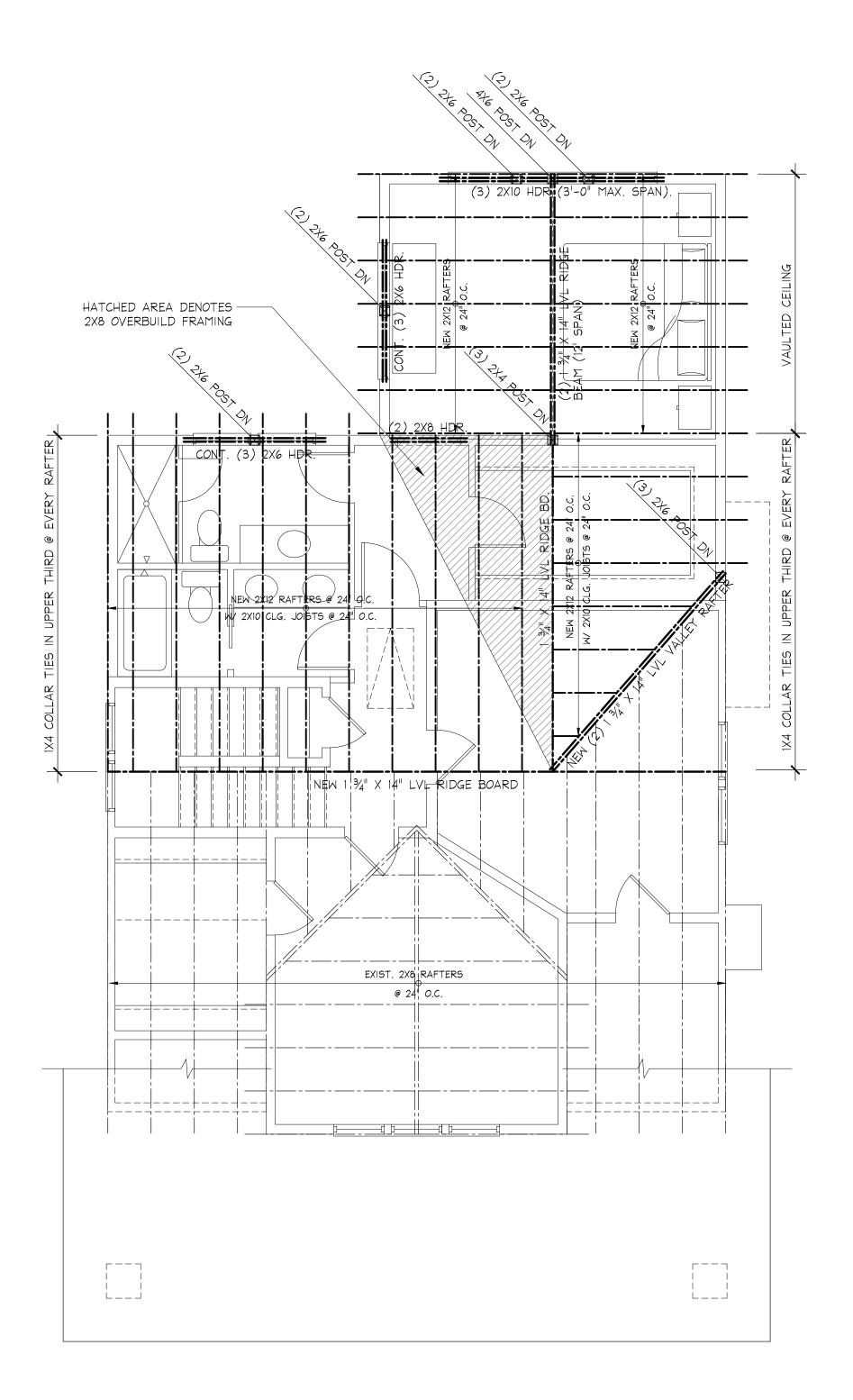
03.22.24 PRELIMINARY BID SET

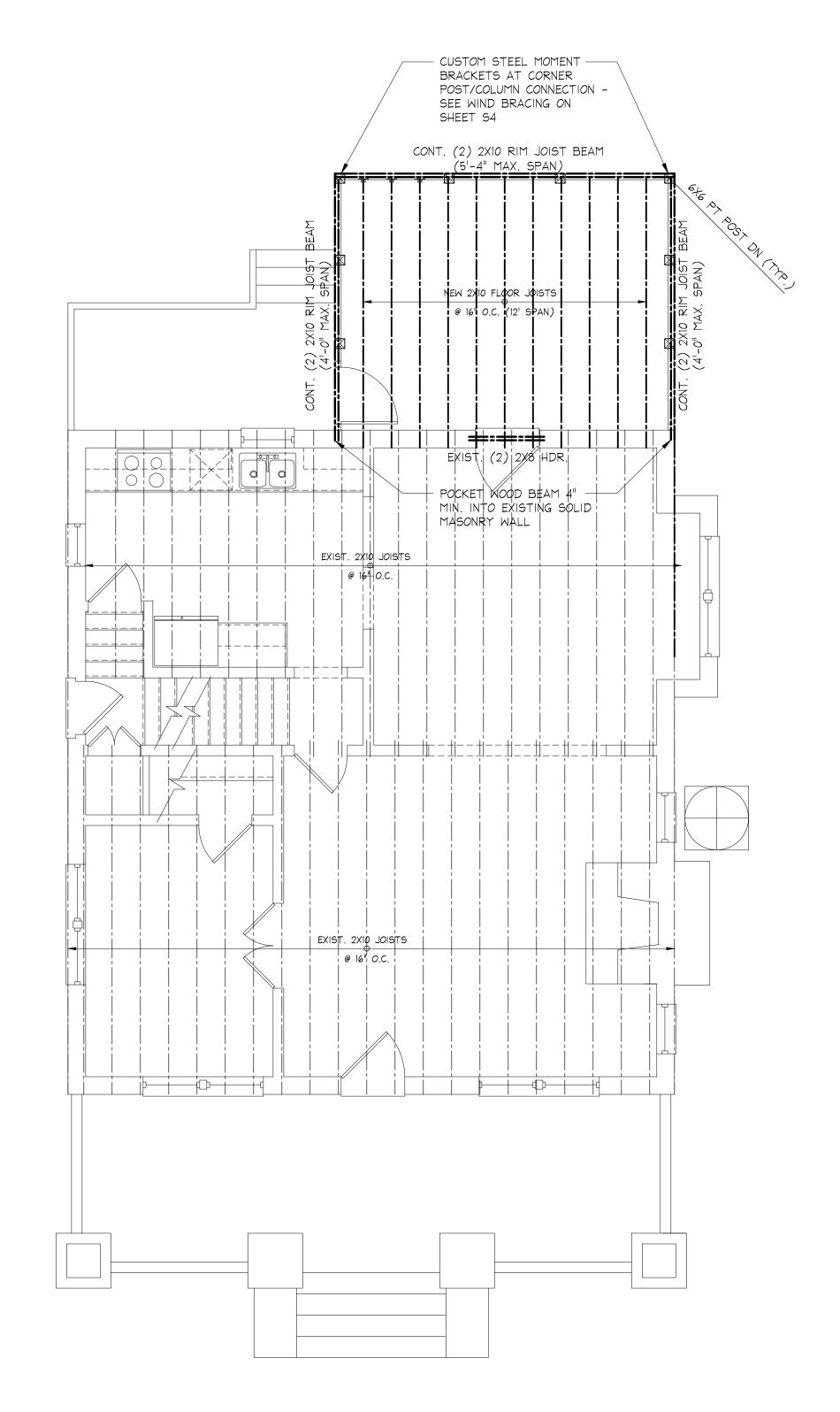
07.26.24 PERMIT SET

STRUCTURAL PLANS

S 1







1 SECOND FLOOR FRAMING PLAN

S2 1/4" = 1'-0"

STRUCTURAL NOTES:

1. USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.

 LOADS- LIVE -FLOOR RESIDENTIAL - 40PSF; ROOF -30 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE 1 **▲**RCHITEC

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REVISIONS

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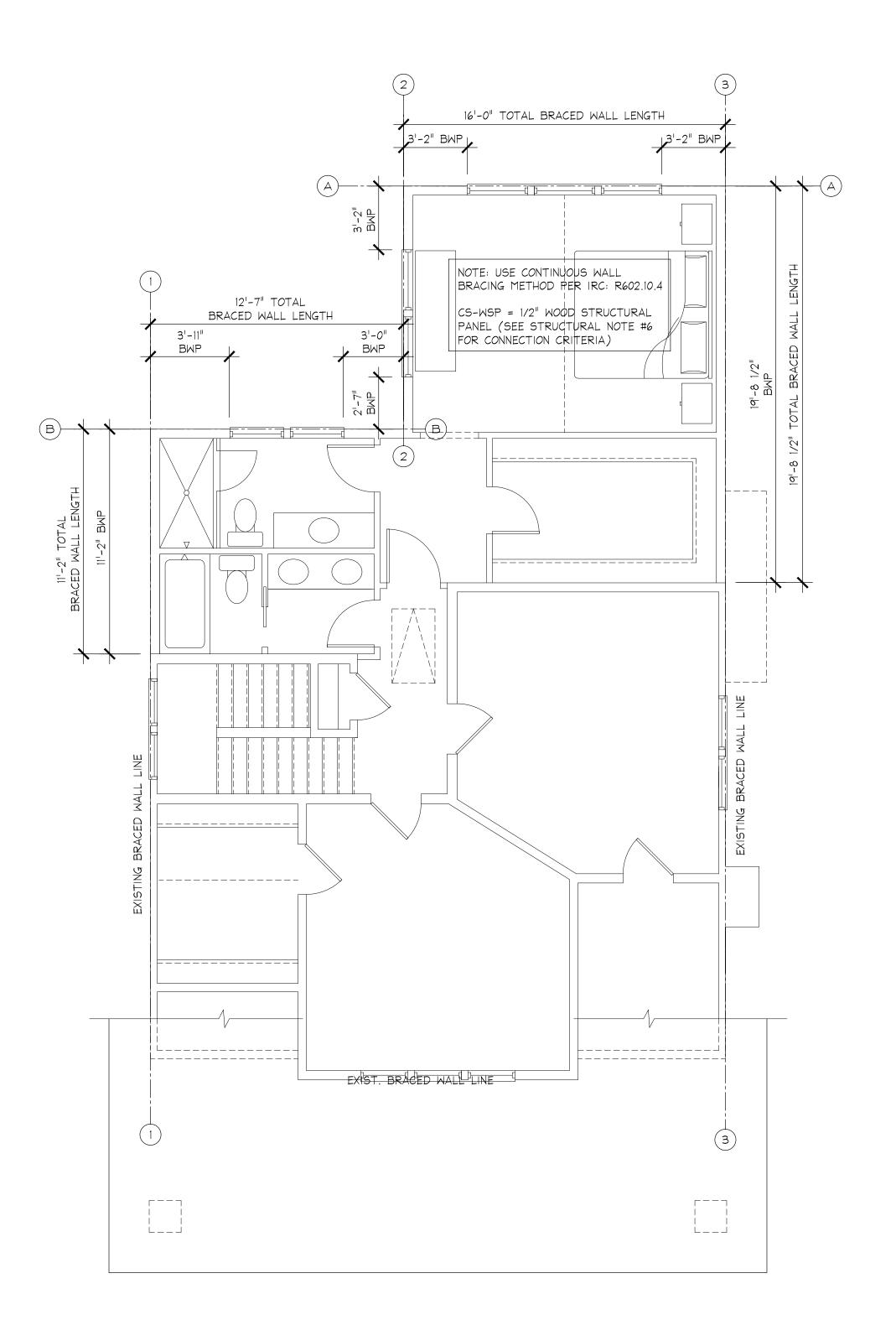
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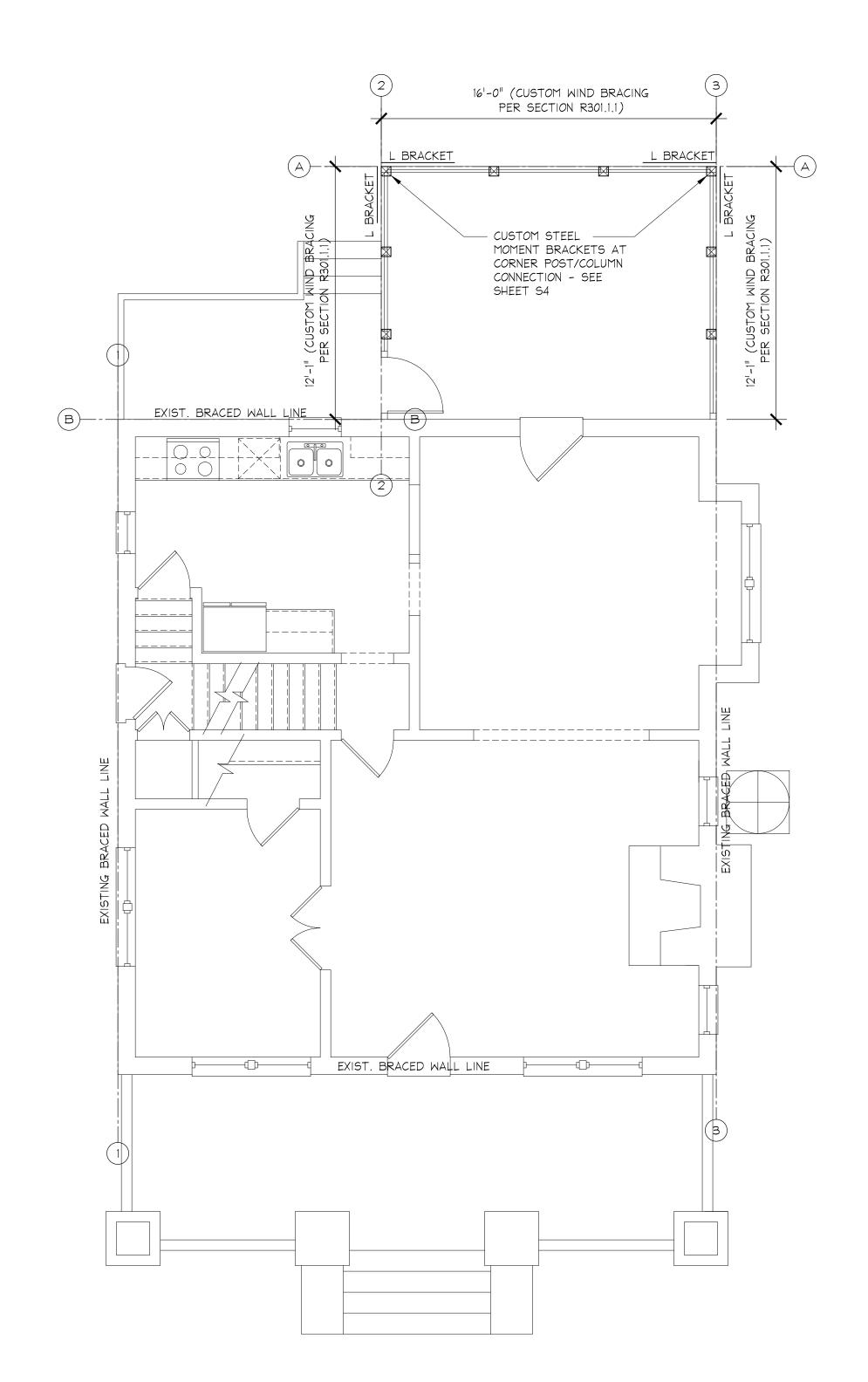
DATE PURPOSE
02.19.24 SD MEETING 1
03.15.24 SD MEETING 2
03.22.24 PRELIMINARY BID SET
07.26.24 PERMIT SET

STRUCTURAL FRAMING PLANS

52







2 SECOND FLOOR WIND BRACING DIAGRAM

53 1/4" = 1'-0"



STRUCTURAL NOTES:

1. USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.

- 2. LOADS- LIVE -FLOOR RESIDENTIAL 40PSF; ROOF -30 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE 1
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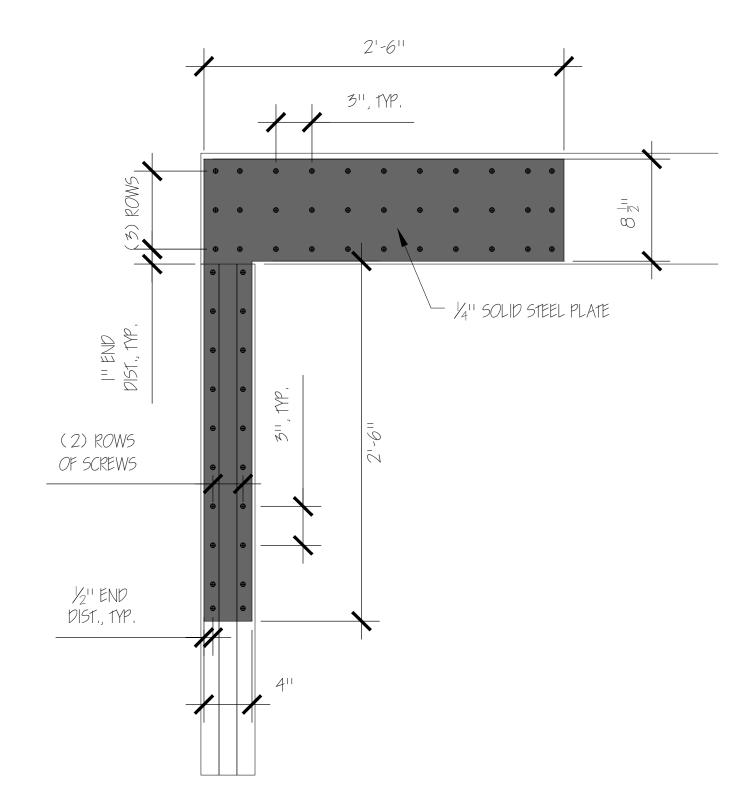
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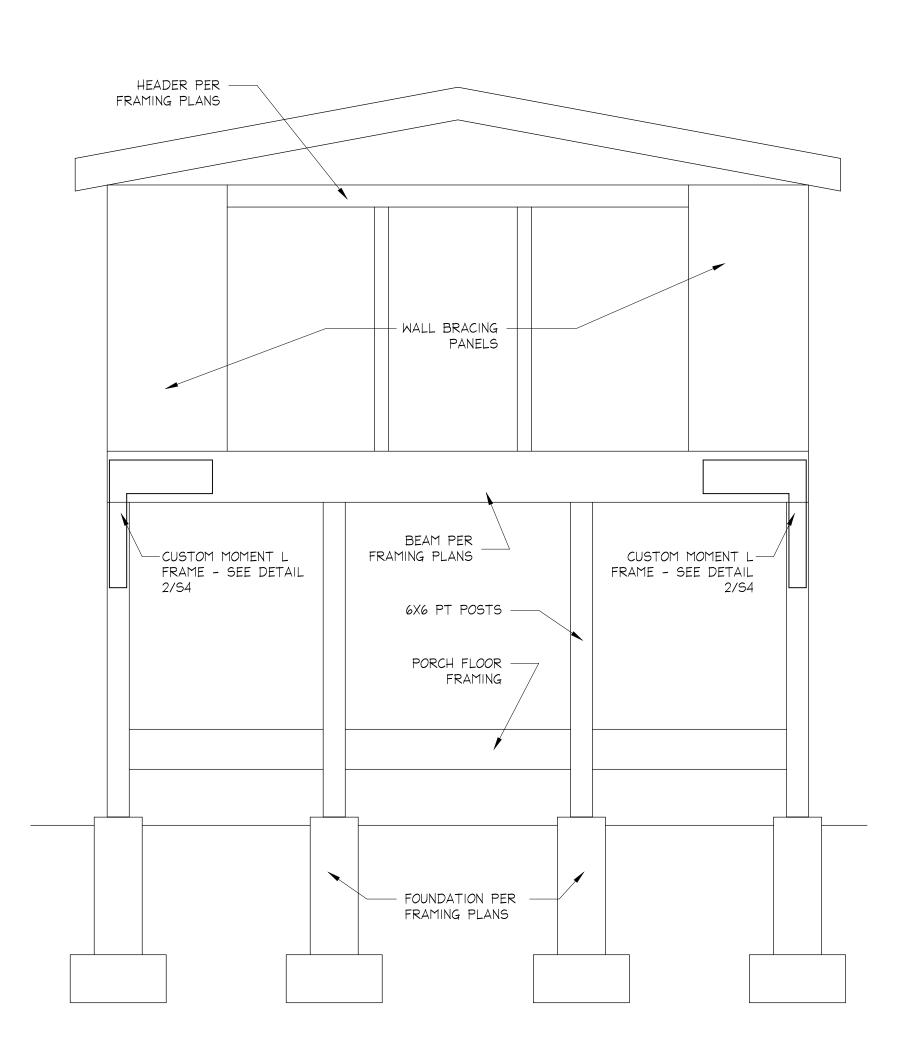
PROJECT NUMBER: 23030 PRINTING LOG 02.19.24 SD MEETING 1 03.15.24 SD MEETING 2 03.22.24 PRELIMINARY BID SET 07.26.24 PERMIT SET

WIND BRACING PLANS





2 CUSTOM 54 1 1/2" = 1'-0" CUSTOM L MOMENT BRACKET DETAIL



3 WIND BRACING ELEVATION DIAGRAM
54 1/2" = 1'-0"

STRUCTURAL NOTES:

USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.

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L AVENUE | TAKOMA PARK MD 200

SAUL

REVISIONS

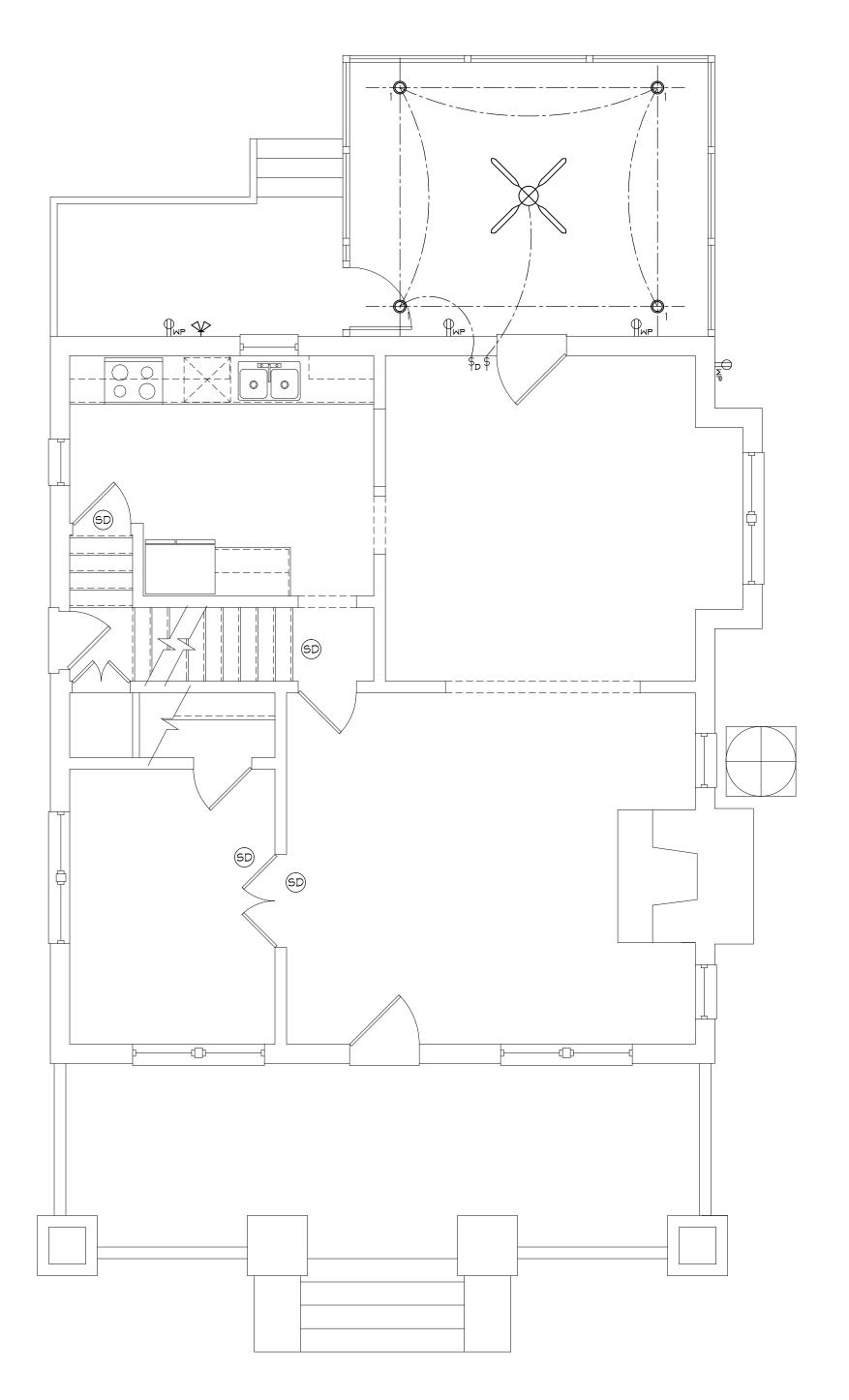
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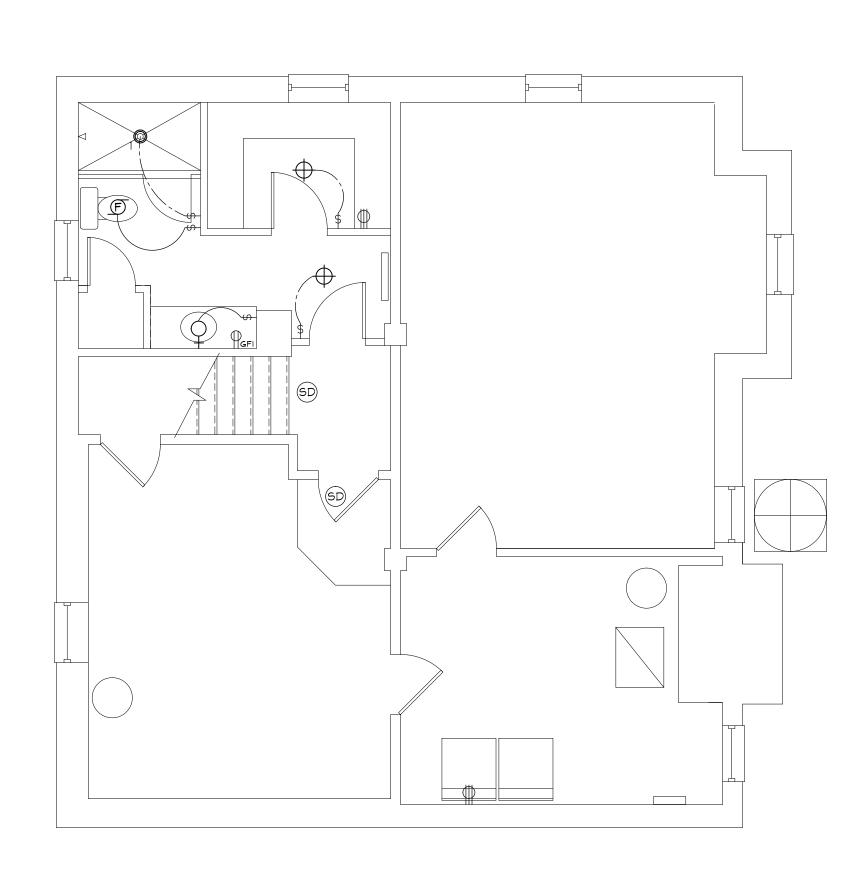
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PROJECT NUMBER: 23030 PRINTING LOG DATE PURPOSE 02.19.24 SD MEETING 1 03.15.24 SD MEETING 2 03.22.24 PRELIMINARY BID SET 07.26.24 PERMIT SET

WIND BRACING DETAILS







2 SECOND FLOOR ELECTRICAL PLAN
E1 1/4" = 1'-0"



ELECTRICAL SYMBOLS

SWITCH

THREE-WAY SWITCH

JAMB SWITCH

SWITCH WITH DIMMER

AIR SWITCH FOR DISPOSAL

DUPLEX RECEPTACLE

DUPLEX RECEPTACLE W/ USB PORTS

QUADRUPLEX RECEPTACLE

SWITCHED OUTLET

GROUND FAULT PROTECTED RECEPTACLE

WATERPROOF RECEPTACLE

220V RECEPTACLE

FLOOR MOUNTED DUPLEX RECEPTACLE

CEILING MOUNTED WIRELESS ACCESS POINT JACK

TELEPHONE JACK/INTERNET/DATA

CABLE TELEVISION JACK W/ DUAL CAT6 DATA WIRING

SMOKE DETECTOR

SURFACE MOUNTED CEILING FIXTURE (OSCI)

RECESSED CEILING FIXTURE

RECESSED CEILING FIXTURE - RATED FOR WET LOCATION

RECESSED WALL WASH FIXTURE

WALL MOUNTED FIXTURE

EXTERIOR WALL MOUNTED FIXTURE

WALL SCONCE

FLOODLIGHT

BATHROOM EXHAUST FAN

CEILING FAN (OSCI)

UNDER CABINET/OVER DOOR LED STRIP LIGHT

GENERAL ELECTRICAL NOTES:

ELECTRICAL LAYOUT TO MEET REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE.

2. SMOKE DETECTORS ARE TO BE HARDWIRED TOGETHER SO THAT ACTIVATION OF ONE DETECTOR ACTIVATES ALL. PROVIDE BATTERY BACK-UPS.

3. INSTALL CARBON MINOXIDE DETECTOR ON EACH FLOOR

4. WIRE ENTIRE HOUSE FOR INTERNET SERVICE

8 = 1

▲RCHITEC

SAUL

REVISIONS

PROFESSIONAL CERTIFICATION: I, ERIC SAUL, HEREBY CERTIFY
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ELECTRICAL PLANS