

#### HISTORIC PRESERVATION COMMISSION

Marc Elrich County Executive Robert Sutton Chairman

Date: November 13, 2024

#### **MEMORANDUM**

TO:	Rabbiah Sabbakhan
	Department of Permitting Services
FROM:	Dan Bruechert
	Historic Preservation Section
	Maryland-National Capital Park & Planning Commission
SUBJECT:	Historic Area Work Permit #1067931 - Partial Demolition, Building Addition, Accessory
	Structure demolition and Construction, Hardscape Alteration, and Tree Removal

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was <u>Approved</u> at the May 22, 2024 HPC meeting, with revisions approved at the July 10, 2024 and September 4, 2024 HPC meetings.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant:Britt & Will WilliamsAddress:102 E. Kirke St., Chevy Chase

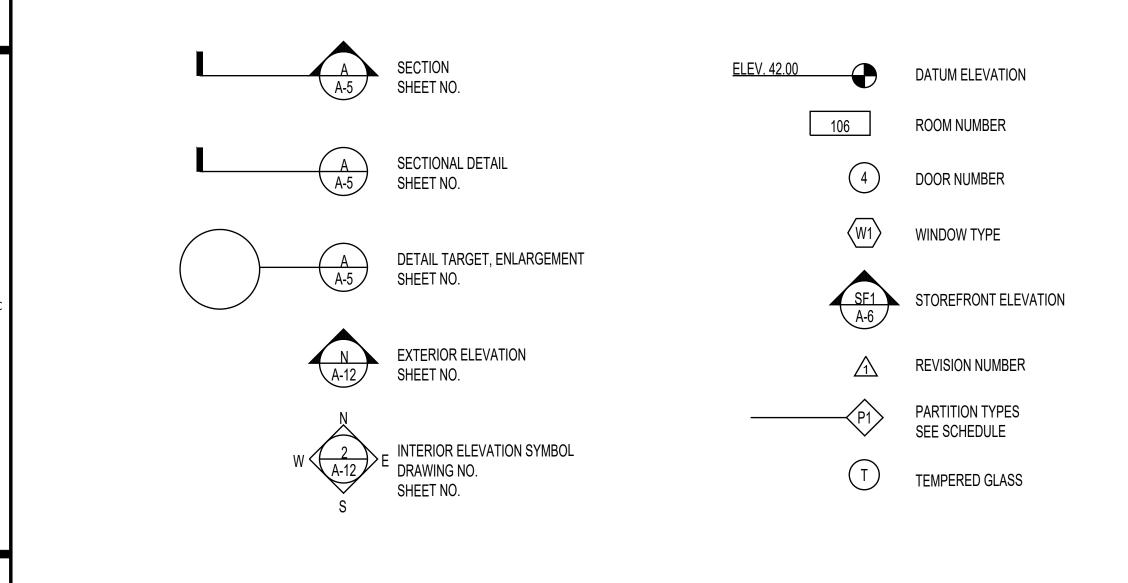
This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



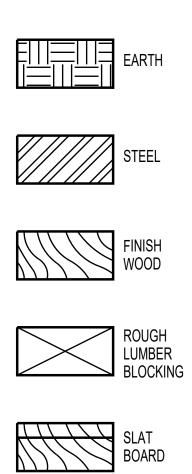
# WILLIAMS RESIDENCE 102 E. KIRKE STREET CHEVY CHASE MD, 20815

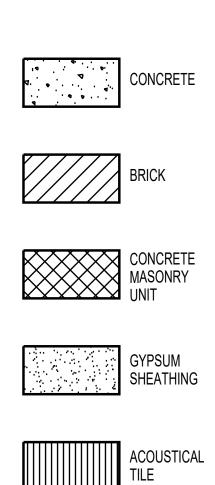
SCOPE OF WORK: CONSTRUCT 2 -STORY ADDITION + BASEMENT TO REAR OF EXISTING HOUSE W/ SIDE AND REAR

## **GRAPHIC SYMBOLS**



## MATERIAL SYMBOLS





## DECK/STOOPS/STEPS/PLANTER BOXES, UTILITIES, PATIOS, WALKS, & ASSOCIATED SITE APPURTENANCES

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Z001	SITE PLAN			S103	2ND FLOOF ATTIC FRAI ROOF FRAM	MING		
EC001 EC002	THERMAL ENVELOPE DIAGF RESCHECK	RAMS		S200 S201	STRUCTUR STRUCTUR	AL DETAILS AL DETAILS CING PLANS		
D100	DEMOLITION PLANS					CING DETAILS		
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		PLAT DA	TA	
		ZONING: R- BLOCK 34 LO PLAT 106 RECORDED DATE: 0 LOT SIZE: 17,415	T 15 09/08/1909	
	LOT AREA LOT COVERAGE	PROVIDED 17,415 S.F. 3,502.71 SF HOUSE + 476.13 SF GARAGE = 3,978.84 SF (22.84%)	REQUIRED 6,000 S.F. MIN. 6,095.25 S.F. (35%) MAX	
	FRONT YARD SETBACK SIDE YARD SETBACK REAR YARD SETBACK LOT FRONTAGE BUILDING HEIGHT		25' 7' EACH SIDE 20' MIN. ADDITION, N/A 30' TO MEAN HEIGHT OF TO HIGHEST POINT OF A	
	CHEVY (	CHASE VILLAC	GE CALCUI	LATIONS
	AND DECKS, COVERED AND U = 17,415 SF x .35 = = 3,553.37 SF MAIN	ORY BUILDINGS & RAISED STRUCTU JNCOVERES STEPS, STAIRWAYS AN 6,095.25 SF MAX LOT COVERAGE N HOUSE + 476.13 SF GARAGE I HOUSE + 476.13 SF GARAGE		
TOTAL	= 4,371.74 SF / 17,415 S	SF = 25.1% (MAX ALLOWABLE=35% )		
		CALCULA	TIONS	
EXG. SQUARE FOOTAGE LOWER LEVEL FINISHED:	2,514 SF	PROPOSED SQUARE FOOTAG LOWER LEVEL FINISHED:	<u>SE</u> 2,893 SF	ADDITIONAL SQUARE FOOTAGE LOWER LEVEL PROPOSED - EXISTING: 2,893 SF - 2,514 = 379 SF
FIRST FLOOR FINISHED (INC. COVERED PORCHES): GARAGE:	3,022 SF 476 SF	FIRST FLOOR FINISHED (INC. COVERED PORCHES): GARAGE:	3,416 SF 476 SF	FIRST FLOOR PROPOSED - EXISTING: 3,416 SF - 3,022 SF = <u>394 SF</u>
SECOND FLOOR FINISHED: THIRD FLOOR FINISHED:	2,009 SF 1,715 SF	SECOND FLOOR FINISHED: THIRD FLOOR FINISHED:	2,738 SF 1,715 SF	SECOND FLOOR PROPOSED - EXISTING: 2,738 SF - 2,009 SF = <u>729 SF</u>
TOTAL CONDITIONED:	9,260 SF 50% = 4,630 SF	TOTAL CONDITIONED:	10,762 SF	THIRD FLOOR PROPOSED - EXISTING: 1,715 SF - 1,715 SF = <u>0 SF</u> <u>TOTAL ADDITION:</u> <u>1,502 SF</u>
1,502 SF ADDITIO	O IS LESS THAN 50% C REA (SEE SPRINKLER	FRC ARE SEE PRC	IS LARGER THAN 1 M COUNTY DRAINA A OF DISTURBANC SITE PLAN SHEET DJECT EXEMPT FRO NAGEMENT REQUIR	E = 4,786 SF Z001 M STORMWATER
DEMO CALCS, SHEE HOUSE DOES NOT N PER ER 31-19 SUBS	NEED TO BE SPRINKLE		DJECT INVOLVES AP	PROX 225 CU-YDS OF EARTH MIT IS REQUIRED
	F	PROJECT INFO	RMATION	
102 E KIRKE CHEVY CHA britteldridgew	VILLAM WILLIAMS STREET SE, MD 20815 Illiams@gmail.com ningtonmortgage.com	STRUCTURAL ENGINEER RADWAN ASSOCIATES IN CONTACT: GUS RADWAN, 8609 WESTWOOD CENTER VIENNA, VA 22182 (703) 709-8435	P.E.	GENERAL CONTRACTOR CYPRESS BUILDERS CONTACT: CHRIS SMITH 7272 WISCONSIN AVE, BETHESDA MD 443-271-7342 chris@cypress-build.com
ARCHITECT GTM ARCHIT CONTACT: LU 7735 OLD GE SUITE 700 BETHESDA, f (240) 333-202 Iolson@gtmar	JKE OLSON ORGETOWN ROAD MD 20814 1	CIVIL ENGINEER CHARLES P. JOHNSON & AS CONTACT: RICH INGRAM 1751 ELTON ROAD SILVER SPRING, MD 20903 (301) 434-7000 ringram@cpja.com	SSOCIATES	

GI	MARCHI	IECIS
SUITE BETHE (240)3 (240)3	DLD GEORGETOWN ROAD 700 SDA, MD 20814 33-2000 33-2001 FAX GTMARCHITECTS.COM	GTM
Seal	OF MAG	ertify that these documents were epared or approved by me, and that I am July licensed architect under the laws of s State of Maryland, license number 8385, ipiration Date: 12-06-2024.

Consultant

WILLIAMS RESIDENCE 102 E KIRKE STREET, CHEVY CHASE MD Owner

BRITT AND WILL WILLIAMS

Developer

Project

PERMIT SET	11/05/2024
Issue Description	Date
GTM Project No.	23.0639
Checked By	
Drawn By	LEO/KBP
Scale	AS NOTED
Sheet Title	
COVER SHEET	

Sheet No.



- GENERAL REQUIREMENTS
   All work shall conform to the International Residential Code (IRC), 2018 edition and all applicable sections of the Montgomery County code for single family construction and
- applicable building codes including (but not limited to) IECC 2018.The General Contractor shall stake off area of new construction and designate trees and
- shrubs for removal as required. Protect all landscaping beyond the areas of construction.
  The General Contractor shall coordinate phasing and time limits for new construction with the Owner, so as to establish an acceptable payment schedule related to the status of the project
- Any permits required for the project shall be obtained by the General Contractor, unless informed otherwise by the Architect that the permit has been obtained.
   The General Contractor shall store materials and equipment in a safe and suitable place during the construction process. The Owner is not responsible for any losses of material. The contractor shall be responsible for damage to installed and (or) stored materials until
- All debris shall be periodically removed from the site so as to not create a physical or visual hazard to the Owner.
   The General Contractor shall be licensed in Montgomery County, Maryland, and shall
- guarantee the project labor and materials for a period of one year after the Architect determines the work to be substantially complete, as per county laws.8. The General Contractor shall provide competent daily supervision of the project.
- The General Contractor shall notify the related authorities for inspection of the work as related to the specific areas required by the county.
   The General Contractor shall Carry Workmen's Compensation Insurance for every person employed by him on the premises and shall maintain such insurance in full force during the entire time of this contract. The General Contractor shall carry Comprehensive General and Automotive Liability Insurance of \$25,000 to \$50,000 minimum. These requirements can be
- Automotive Liability insurance of \$25,000 to \$50,000 minimum. These requirements can be amended by the Owner if specified by the contract.
  All drawings, specifications, and copies furnished by the Architect are the documents for the construction of this project only and shall not be used in any other circumstance.
- The General Contractor shall carefully study the contract documents and report to the Architect any error, omission, or inconsistency they may discover.
   The General Contractor shall provide and pay for all labor, materials, equipment, tools,
- The General Contractor shall provide and pay for all labor, materials, equipment, tools, machinery and other facilities and services necessary for proper execution and completion of the work, and shall guarantee no mechanic liens against the project at completion.
   The Contract Sum is stated in the agreement and is the total amount payable by the Owner,
- which designates the addition, deletion, or revision to the contract. The Change Order must also designate the change in the original contract sum.15. At least seven days before the date of each progress payment established by the
- agreement, the General Contractor shall submit to the Architect and Owner an itemized application designating which portion of the work has been completed.16. The Contractor shall verify dimensions prior to construction, and all discrepancies shall be brought to the attention of the Architect so that clarifications can be made. The Contractor
- shall field verify all dimensions related to existing conditions. Written dimensions take precedence over scaled sizes. <u>Do not scale drawings to determine missing dimensions</u>.
  17. The Contractor shall be responsible to have new utility line services (gas, electric, telephone) installed to the house connection/meter location.

#### DEMOLITION NOTES

- 1. Every care shall be taken during demolition to protect the house by means of temporary supports and braces as necessary to prevent any structural failure during removal and replacement of existing structural members.
- Temporary walls and dust barriers shall be installed as necessary to prevent circulation of dirt and dust into portions of the house that are not part of the work.
   All dashed walls fixtures windows etc. are to be removed. See Demolition Sheets for
- All dashed walls, fixtures, windows, etc., are to be removed. See Demolition Sheets for additional information.
   Conduct all demolition operations in compliance with applicable codes and ordinances.
- Conduct all demolition operations in compliance with applicable
   Coordinate demolition with work of subcontractors.
   Maintain the existing structure in a watertight condition at all time
- Maintain the existing structure in a watertight condition at all times.
   Provide the necessary enclosures to allow the owner to maintain comfortable temperatures within the occupied portions of the home during construction.

#### GENERAL STRUCTURAL NOTES

- . Work shall be done in accordance with the International Residential Code (IRC), 2018 Edition.
- The design gravity live loads are as follows: Roof load (snow): 30 LL + 15 DL = 45 PSF Living Spaces: (1st Floor) 40 LL + 15 DL = 55 PSF
  - Sleeping Spaces: (2nd Floor) 30 LL + 15 DL = 45 PSF Exterior Decks: 60 LL + 15 DL = 75 PSF
  - Live Load Deflection Limitation for floors and stairs shall be L/360 Live Load Deflection Limitation for roofs shall be L/240

#### FOUNDATIONS

- The foundation for the structure has been designed for the assumed bearing pressure of 1,500 PSF. This is to be verified by the contractor prior to the footings being poured. It is also assumed that there is no water condition present.
   Basement walls have been designed for an assumed equivalent fluid pressure of 55 PSF.
   Excavations for spread footings and continuous footings shall be cleaned and hand tamped
- Excavations for spread footings and continuous footings shall be cleaned and hand tam to a uniform surface.
   Slabs on grade shall be underlaid by a minimum of 4" of granular material having a maximum aggregate size of 1.5 inches and no more than 2% fines. Prior to placing the
- granular material, the floor subgrade shall be properly compacted, proofrolled, free of standing water, mud, and frozen soil. Before placement of concrete, a (min. 6 mil poly) vapor barrier shall be placed on top of the granular fill and sealed to vertical foundation
- walls.
  Bottoms of all exterior footings shall be 2'-6" minimum below finished grade. Footings shall project a minimum of 12" into undisturbed existing natural ground having allowable bearing capacity stated. Depths of footings subject to change if soil conditions are other than assumed.

#### ENERGY CONSERVATION

- The following provisions for thermal resistance meet or exceed the requirements stipulated by the 2018 International Energy Conservation Code (IECC), climate zone 4A. These values are the minimum acceptable. See drawings for specific values required for the project.
- project. 2. Insulation A. Ceiling (of uppermost story) B. Vaulted Ceiling sf or 20% of total insulated ceiling area R-30
- allowance
   R-20 or 13+5 (exterior) or double glazing)

   D.
   Rim Joists

   E.
   Floors over unheated spaces

   R-38
- E.
   Floors over limitated spaces
   R-30

   (including floor overhangs)
   F.
   Masonry walls (enclosed heated
   R-13 or R-10 continuous
- F. Masonry Walls (enclosed neated R-13 or R-10 continuous living areas)
   G. Slab on grade (heated space) R-10
- G. Slab on grade (heated space) R-10 24" Perimeter Insulation
- H.WindowsU-0.32 SHGC-0.40I.DoorsSee section R402.3.4
- Air Infiltration
   A. Provide ¼" x 5.5" compressible sill sealer between foundation wall and all sill plates. Sill sealer shall be set such that no gaps exist at sealer butt joints.
- B. Windows: Not exceeding three tenths (0.3) CFM of sash crack
   C. Sliding glass doors: not exceeding three tenths (0.3) CFM per square foot of
- door areaD. Swinging doors: Not exceeding five tenths (0.5) CFM per square foot of door
- area. Provide 1" compressible sill sealer between foundation wall and all sill plates.
- E. Building thermal envelopes shall be tested per IECC R402.4.1.2 and verified as having air leakage not to exceed 3 air changes per hour.
- F. Recessed lighting in the thermal envelope shall comply with IECC R402.4.5
   G. Systems duct and piping installation shall comply with IECC R403 including Whole-House Mechanical Ventilation system installation.

### TERMITE CONTROL SOIL TREATMENT

- Treat soil with Bayer Corporation, Premise 75, in strict accordance with manufacturer's recommendations.
  Remove all extraneous sources of wood cellulose and other edible materials such as wood debris, tree stumps and roots, stakes, formwork, and construction waste wood from soil within and around foundations. Loosen, rake, and level soil to be treated except previously compacted areas under slabs and footings.
- A. Slabs-on-Grade and Basement Slabs: Under ground-supported slab construction, including footings, building, slabs, and attached slabs as an overall treatment. Treat soil materials before concrete footings and slabs are placed.
   B. Foundations: Adjacent soil including soil along the entire inside perimeter of foundation walls, along both sides of interior partition walls, around plumbing
- pipes and electric conduit penetrating the slab, and around interior column footers, piers, and chimney bases; also along the entire outside perimeter, from grade to bottom of footing. Avoid soil washout around footings.
  C. Crawlspaces: Soil under and adjacent to foundations as previously indicated.
- Treat adjacent areas including around entrance platform, porches, and equipment bases. Apply overall treatment only where attached concrete platform and porches are on fill or ground.Crawlspaces used as plenum spaces strictly follow manufacturer's recommendedations.
   D. Along driplines of roof overhangs without gutters.
- E. Where condensate lines from mechanical equipment drip or drain to soil.

## F. At plumbing penetrations through ground-supported slabs.G. Other sites and locations as determined by licensed installer.

## **WARRANTY** Special Warranty: Manufacturer's standard form, signed by Applicator and Contractor certifying that termite control work, consisting of applied termiticide treatment, will prevent infestation of subterranean termites. If subterranean termite activity or damage is discovered during warranty period of five (5) years from Substantial Completion, re-treat soil and repair or replace damage caused by termite infestation.

#### **CONCRETE** 1. All concrete construction

- All concrete construction shall conform to the latest A.C.I. code 332 and shall comply with ACI 117, "Specifications for Tolerances for Concrete Construction and Materials" unless modified by requirements in the Contract Documents.
   Concrete shall have natural sand fine aggregates and normal weight coarse aggregates
- Concrete shall have natural sand fine aggregates and normal weight coarse aggregates conforming to ASTM C33, Type 1 Portland Cement conforming to ASTM 150, and shall have a minimum 28-day compressive strength (F/C) as follows:
  - F/C = 2,500 PSI for footings, interior slabs on grade (except garages) and fill in concrete blocks
     F/C = 3,000 PSI for foundation walls exposed to weather.
- F/C = 3,000 PSI for foundation walls exposed to weather.
  F/C = 3,500 PSI for drives, porches, walks, steps, and garage slabs.
  F/C = 4,000 PSI for precast concrete units.
- F/C = 4,000 PSI for precast concrete units.
  All poured in place concrete exposed to weather conditions, including the garage floor, shall be air entrained by 6% of concrete volume. No calcium chloride or other admixtures shall be upod execute as expressed in writing hunter C.
- used except as approved in writing by the Owner.
  Slabs on grade: except where otherwise noted, shall be min. 4" thick, reinforced with 6x6 W1.4xW1.4 WWF Lap mesh 6" in each direction. Slab shall be placed on a layer of 6 mil
- polyethylene, sealed to fdn. walls, over a 4" layer of washed gravel. Refer to drawings for location of thermal insulation.5. Concrete finish: Exposed exterior steps, stoops and slabs shall first have a steel trowel
- 5. Concrete mistr. Exposed extends steps, stoops and stabs shall nist have a steel flower finish and then a very light broom finish. Exposed interior and garage shall receive a steel trowel finish.
   6. Expansion joints: Non-organic, Owner approved, expansion joint material shall be cast in
- Expansion joints: Non-organic, Owner approved, expansion joint material shall be cast in place where slabs abut masonry or concrete walls to prevent bonding between the two materials.
   Curing: Exposed concrete surfaces shall be sealed with an approved chemical curing
- Curing. Exposed concrete surfaces shall be sealed with an approved chemical curing compound within one hour of the final troweling. Curing compound label shall state that its use will not interfere with adhesion of subsequent floor finishes.
   8. Reinforcing steel: Reinforcing steel for the ties shall be intermediate grade deformed billet
- Reinforcing steel. Reinforcing steel for the ties shall be intermediate grade deformed billet steel conforming to ASTM spec. A615-40. All other reinforcing steel shall conform to ASTM spec. A615-60. Welded wire fabric to conform to ASTM A-185. Fabric shall be supplied in flat sheets and lapped to mesh at splices. All reinforcing shall be detailed, fabricated and installed in accordance with the latest detailing manual A.C.I. 315.
   Reinforcement designated as "continuous" shall lap 36 bar diameters at splices unless
- Reinforcement designated as continuous shall lap 36 bar diameters at splices unless noted otherwise.
   Horizontal footing and walls: reinforcement shall be continuous and shall have 90 degree hands and extensions, an extension of activity lant size langed 26 has diameters at sources
- bends and extensions, or corner bars of equivalent size lapped 36 bar diameters, at corners and intersections.
  11. Footings:

  A. Bottom of footings shall extend a minimum of 2'-6" below any surface subject to
- freezing: footings shall extend at least 12" into undisturbed soil or set on controlled compacted fill. Depth of footing subject to change if soil conditions are other than assumed. Bearing value of soil is assumed to be 1,500 PSF with no water condition present. Minimum bearing value of controlled fill shall be certified by a licensed geotechnical engineer.
- 12. Anchor bolts: set anchor bolts or approved straps as shown. Bolts for wood sill plates shall be  $\frac{1}{2}$ " in diameter and project 8" into concrete; set straps or bolts 12" max from end of any plate and 6'-0" max O.C. spacing, unless shown otherwise.

#### MASONR

- Brick shall conform to ASTM C-62. Mortar shall conform to federal specifications SS-C-18IE-type II. Lay brick only when outside temperature is 45° F and rising. Protect all work from cold and frost and ensure that mortar will cure without freezing. Calcium chloride and antifreeze admixture will not be acceptable.
- Bearing steel and wood beams shall be supported on solid masonry piers as indicated. Other structural members (lintels, etc.) shall be supported on 8" of solid masonry. All beams and lintels shall have minimum horizontal bearing of 4".
   Anchor bolts: Set anchor bolts or approved anchor straps as required. Bolts for wood sill
- Anchor bolts: Set anchor bolts or approved anchor straps as required. Bolts for wood sill plates shall be ½" diameter and project 16" into masonry. Set bolts or straps 12" max. from end of any plate.
   CML walls shall have horizontal wire joints reinforcement at 16" O.C. vertically, or as
- CMU walls shall have horizontal wire joints reinforcement at 16" O.C. vertically, or as indicated.
   Provide 4" solid masonry on all sides of joists or beams entering masonry party walls.
- Brick Veneer:
   A. Secure brick veneer with 16 GA hot-dipped zinc coated wall ties at 16" O.C. horizontally and vertically.
- B. Provide flashing at first course above grade, at lintels, sills and elsewhere as shown. Provide <sup>3</sup>/<sub>16</sub>" diameter tube weeps or cellular plastic head joint-type weeps at 24" O.C.
   C. Provide through-wall flashing above all unsheltered openings. Flashing shall be
- end-dammed at all terminations.
   D. Install high-density polyethylene or polyester cavity drainage material, equal to "mortar net," above all flashing. Material shall be sized to fill the width of the
- cavity. 7. Stone Veneer: A. Vapor permeable weather-resistive barriers: two-ply asphalt saturated Kraft
  - Grade D breather type sheathing paper.
    Basis of design is FortifiberΦ / two-ply super jumbo texΦ 60 minute
  - Reference standard; federal specification W-B-790A, Type I, Grade D, Style 2
    Moisture vapor transmission: 35 grams minimum; ASTM E 96
- Water resistance: 150 minutes (Professional), ASTM D 779
  8. C.M.U.'s to have water repellent block admixture; 'Dry-Block' by W.R. Grace recommended.
  9. Exterior mortar to have water repellent admixture.
- Unless noted otherwise, tool all joints concave.
   Fully bed in mortar face shells and webs of first course of CMU.

## All masonry joints shall be fully filled with mortar, including head joints. ADHERED MASONRY VENNER

- The adhered Masonry Veneer (AMV) system shall be installed in compliance with IRC R703.12 and ASTM C1780 "Standard Practice for Installation Methods for Cement-based Adhered Masonry Veneer" and The Masonry Veneer Manufacturers Associations (MVMA) "Installation Guide and Detailing Options for Compliance with ASTM C1780". The cladding
- unit manufacturers installation recommendations are also to be followed.Two separate layers of Water Resistant Barrier (WRM) shall be provided over the sheating
- substrate.Galvanized lath shall be securely fastened to the wall structure with approved fasteners. A mortar scratch coat shall fully encapsulate the lath and have a scored surface.
- 4. Cladding units shall be set over a fully cured mortar scratch coat. Cladding units shall be adjusted to comply with the cladding unit manufacturers recommendations and ASTM
- C1780. Doors and windows shall be adjusted to provide proper operation of opening.
  Joints shall be filled with "thumb-print hard" adhesive mortar with a slightly concave profile, unless noted otherwise. Prior to joint filling a field mock-up shall be provided for color and workmanship approval.

### STEEL 1. Structural steel shall conform to ASTM A36

Steel beams shall conform to ASTM A572 Grade 50.
 All steel angles, lintels, beams, columns, etc. are to be shop primed with red lead or red oxide primer or approved equal. Structural steel at or below grade shall be painted with two coats on an asphaltic base paint and protected with a minimum of 2" solid masonry or concrete.

concrete.			
	teel angle for each 4	ck or brick-faced masonry walls r " of wall thickness. Provide lintels	
Lintel		Masonry Opening	Min. Bearing
L 3-1/2 X 3-1/	2 X 1/4	Up to 3'-0"	4"
L 3-1/2 X 3-1/	2 X 5/16	3'-1" to 4'-0"	6"
L 4 X 3-1/2 X	1/4	4'-1" to 5'-0"	6"

## L 4 X 3-1/2 X 5/16 5'-1" to 6'-0" 6" L 4 X 3-1/2 X 5/16 6'-1" to 7'-0" 8" L 5 X 3-1/2 X 5/16 6'-1" to 7'-0" 8" L 6 X 4 X 3/8 7'-1" to 8'-0" 8" Note: For openings greater than 8'-0", consult with Architect and Engineer. 8"

- 1.
   Unless otherwise noted on drawings, all structural wood members shall be #2 Southern

   Pine or equal, with the following combination of unit stresses:
   Extreme fiber stress in bending
   1,200 PSI

   Compression parallel to the grain
   1,000 PSI
   Compression perpendicular to the grain
   565 PSI

   Modulus of Elasticity Shear Stress
   1,500,000 PSI
   Installation Tolerance; walls a maximum out-of-plumb limit of 1/4" in 10' vertically and
- horizontal in-plane misalignment of 1/8" from adjacent framing shall be achieved. Plates and floors shall be installed within a 1/4" maximum tolerance for straightness relative to the intended location.
- Manufactured joists and trusses (if shown on drawings) must be designed and certified by a licensed engineer and submitted to the Architect and local building department for approval.
   Roof rafters and/or trusses shall be connected at each bearing point with one prefab-90 PSI galvanized rafter tie (hurricane clip) by Simpson or approved equal. Similarly, floor joists and trusses shall be connected with one prefabricated joist hanger. Each anchor shall be 18 GA
- minimum thick.
  Provide double joists under all parallel partitions, at joists that support headers, and at headers that support joists. Use joist hangers where applicable.
  All joists and rafters shall be rigidly braced at intervals not exceeding 8'-0".
- An joists and raiters shall be rightly braced at intervals not exceeding 5-0.
   Double studs at header bearing, double joists and rafters at all openings according to schedule below (unless noted otherwise on drawings): Double 2 x 4 Up to 3'-0"

#### Double 2 x 6 Up to 4'-0" Double 2 x 8 Up to 5'-0" Double 2 x 10 Up to 7'-0" Double 2 x 12 Up to 8'-0"

- All double headers and joists shall be joined with a minimum of two rows of 16 d nails 12" on center.
  Provide blocking, banding, crush blocks, stiffeners, or rim joists, as required, at joist ends.
  Floor joists shall have a minimum bearing of 2" on framed walls. All beams shall have
- minimum bearing of 4" bearing on all supports. Provide moisture protection to end of beams pocketed into masonry walls.Wood joists, studs, and beams shall not be cut or notched unless authorized by the Architect. Drilled holes shall be centered at mid-depth of the member and the hole diameter
- shall not exceed <sup>1</sup>/<sub>3</sub> the actual depth of the member. No holes shall be drilled within 2' from the ends or within the middle <sup>1</sup>/<sub>3</sub> of the span. Provide 4" clear between holes.
  10. Existing conditions shall be verified by the Contractor. Any existing damaged wood members shall be identified and replaced by the Contractor.
- 11. Contractor shall be responsible for providing necessary bracing and shoring of existing members and walls while altering the structure
- members and walls while altering the structure.
  Provide 2x4 intermediate blocking at all bearing and non-bearing partitions.
  All plywood shall be APA span rated. Use exterior grade plywood wherever edge of face will be exposed to weather. Interior plywood exposed to weather during construction shall be Exposure I min.
  A. Exterior wall sheathing shall be ½" plywood unless noted otherwise.
- B. Subflooring shall be <sup>3</sup>/<sub>4</sub>" tongue and groove plywood, glued and screwed to the floor joists as per APA recommendations.
  C. Where spacing of roof structure members is 16" O.C., roof sheathing shall be <sup>1</sup>/<sub>2</sub>" plywood <sup>(3</sup>/<sub>4</sub>" where spacing of roof structure members is 16" O.C., roof sheathing shall be <sup>1</sup>/<sub>2</sub>"
- plywood (¾" where roofing is slate or tile). Where spacing of roof structure members is 24" O.C., roof sheathing shall be 5%" plywood (¾" where roofing is slate or tile). Provide "H" clips at butt joints of roof sheathing.
   14. MICRO-LAM L.V.L. (laminated veneer lumber) beams shall be manufactured by Trus Joist
- 4. MICRO-LAM L.V.L. (laminated veneer lumber) beams shall be manufactured by I rus Joist MacMillan or approved equal. Beams shall be installed according to manufacturer's recommendations. When fastening two or more beams together, provide a minimum of two rows of 16 d nails 12" on center.
- TJI Floor Joists are to be manufactured by Trus Joist MacMillan or approved equal. Install per manufacturer's recommendations.
- The following wood elements are to be pressure treated with preservative, bearing the AWPA standard use category label UC3B or UC4B (for ground contact):
   Sill plates resting on concrete or masonny walls
- A. Sill plates resting on concrete or masonry walls.
  B. Sill plates resting on concrete slabs on grade.
  C. Joists which enter concrete or masonry walls and have less than ½" clearance
- C. Joists which enter concrete or masonry walls ar on tops, sides, and ends.
- Sleepers resting directly on concrete slabs.
   Exterior porch and deck framing, decking, and stairs.
- Fasteners, hangers, and metal accessories used in pressure treated wood construction shall be type 304 or 316 stainless steel. Treated lumber shall not be placed in contact with aluminum flashing or other aluminum components.
   Exterior Wood Trim:
- A. All exterior wood trim shall be clear pine or redwood.
- B. All trim shall be primed on 6 sides (including cut ends) prior to installation.
   C. All outside corners shall be mitered and no end grain shall be exposed to view. No butt joints will be accepted
- Exterior Synthetic Trim shall be "AZEK," with traditional smooth surface. Fasteners, joint cement, and installation procedures shall be in accordance with manufacturer's recommendations.
   Siding: Refer to drawings for type specified.
- A. Cement board shall be non-asbestos fiber-cement material complying with ASTM Standard Specification C1186 Grade II, Type A. Materials shall be equal to those manufactured by James Hardie Building Products.
- B. Wood siding and sidewall Shingles shall be kiln dried Western Red Cedar, "Clear V.G. Heart" grade for clear and transparent stain finishes, and "A Clear" grade for semi-transparent stain or opaque finishes. Semi-transparent stain or opaque finish shall be applied in strict accordance to manufacturer's recommendations; including, but not limited to, substrate preparation and primer/sealer application to all wood surfaces (6-sides). Fasteners shall generally be type 304 stainless steel, but shall be type 316 for coastal applications. Install wood siding and shingle products over "Cedar Breather" by Benjamin Obdyke Inc. and 30# felts in accordance with manufacturer's instructions. Siding installation and finishing shall be as recommended by the Western Red Cedar Lumber Association. Siding shall be sealed prior to installation, fasteners shall be concealed where possible or arranged in a
- Coordinate all floor and wall framing with ductwork. Refer to mechanical notes.
   Folding Attic Access Ladder shall be 22 ½" x 44" with self-trimming flange, pre-finished door panel, and gas-piston counterbalance. The door panel shall have continuous integral weatherstripping, R-10 insulation, and two key operated locking pins to draw the door tight. Ladder steps shall be pine, doweled to pine stringers. Contact Resource Conservation Technology at 410-366-1146. Additional insulation hood shall be provided to meet required insulation value per IECC R402.2.4.

#### DOORS AND WINDOWS

- 1. AWI "Custom Standard" shall apply to the workmanship, installation and finishing of wood doors and windows components.
- The tops, bottoms, and edges of all doors shall be finished.
   Any defects that prevent the door or window from serving its intented purpose satisfactorily shall be rejected, such as material that is crooked, warped, bowed, chatter marked, plane or tool marked, chipped, or otherwise defective.
- 4. Doors and windows shall be adjusted to provide proper operation of opening.

uniform pattern

- RADON DETECTION AND TREATMENT
   The Contractor shall provide a venting system consisting of a minimum of 3" diameter ABS, PVC or equivalent gas-tight plumbing pipe inserted into the sub-slab gravel base (at all new concrete slabs). A 'T' fitting or equivalent method shall be used to ensure that the pipe opening remains with the sub-slab permeable material. The pipe shall terminate at least 12" above the high side of the roof penetration. Contractor shall coordinate location of pipe with Architect prior to installing the pipe.
- Install, per IRC, 2018 edition, Appendix F 'Radon Control Methods.'
   The Contractor shall provide any other measures as required by local codes.

#### VENTILATION

- Where attics are indicated to be ventilated, they are to be vented in one of the following ways (refer to drawings for specifics):

   Continuous ridge venting and continuous soffit venting. Ridge vent shall be by Cor-A-Vent or approved equal. Continuous screen soffit vents shall be a
- minimum of 2" wide. Circular louver vents between each rafter may be used at the soffit if shown on the drawings.B. Screen louvers or vents with an open area equal to one square foot for every
- 300 square feet of attic space.
   Provide foundation vents for all crawl spaces. Refer to drawings for locations.
   Venting for appliances and exhaust fans:
- A. Provide venting to the exterior as per manufacturer's recommendations for all appliances. Location of ductwork and vent on exterior shall be approved by Architect prior to installation.
- B. Provide exhaust fans for bathrooms, etc., as shown on drawings. Location of ductwork and vent on exterior shall be approved by Architect prior to installation. Ducts within unconditioned spaces shall be insulated to prevent condensation.
   4. Provide Whole-House ventilation system to comply with IECC R403.4

#### MOISTURE PROTECTION

- Appropriate sealants shall be selected for each substrate depending upon location (interior or exterior), humidity, moisture conditions, and traffic conditions. Use primers as required.
   Color of caulking shall be coordinated with adjacent materials and must be approved by
- Architect prior to application. 3. Joint fillers shall be used:
- A. To control the depth of sealants in joints.
- B. To meet the requirements for resilient separations in horizontal joints in floor, pavements, patios, sidewalks, and other light traffic areas.
   4. Bond breakers shall be used to prevent adhesion to more than two surfaces.
- Masonry foundations shall be parged to a thickness of <sup>3</sup>/<sub>4</sub>" minimum.
   Waterproof all below grade foundation walls with a polymer-modified asphalt emulsion similar to TREMCO "TUFF-N-DRI Classic". Dry/ cured membrane thickness shall be minimum 40 mil. Installation and substrate preparation shall be per manufacturer's recommendations. Install subsurface drainage composite similar to CETCO "Aquadrain 10X" over the cured membrane with asphalt emulsion adhesive similar to Henry 111 Insulbond.
- Footing drains shall be min. 4" in diameter and installed on the exterior of all foundations.
   All flashing shall be installed according to the building code. An eave flashing strip of 40 mil. self-adhering rubberized asphalt sheet membrane shall be applied to extend from the edge of the roof to a point 24" min. inside the interior wall line of the structure, and at all valleys.
- All membrane roofing to be approved by Architect prior to installation.
   All roof shingles to be approved by Architect prior to installation.
- Asphalt shingle roofs with slopes from 2 in 12 to 4 in 12 shall have two layers of #15 roofing felt applied in accordance with with the International Residential Code.
   Flashing"

   A. Through-wall and other concealed flashing shall be a composite of fiberglass
- A. Through-wan and other conceated nashing shall be a composite of inberglass fabric, 5 oz. copper and asphalt, equal to York Copper Fabric.
   B. Exposed flashing shall be 16 oz. copper.
   2. Beinted aluminum drip string shall be installed at the page and rake address of the racf.
- Painted aluminum drip strips shall be installed at the eave and rake edges of the roof sheathing for shingle roofs, and above window and door trim where indicated.
   Exterior Insulation and Finish Systems (EIFS) shall be equal to Dryvit, Residential MD System, with Dryvit drainage mat installed between the secondary weather barrier and the
- System, with Dryvit drainage mat installed between the secondary weather barrier and the insulation board.
  15. Cedar roof shingles shall be No. 1, Blue Label, red cedar. Install over "Cedar Breather" by Benjamin Obdyke Inc. and 30# felts in accordance with manufacturer's instructions.
- 16. Standing seam roofing shall be 16 ounce copper with water-tight standing seams. For slopes greater than 3 in 12 provide #30 roofing felt underlayment on solid sheathing. For slopes 3 in 12 or less provide self-adhering 40 mil ice and water guard membrane over the entire area to receive standing seam roofing.

- Regular ( $\frac{1}{2}$ "): except where noted. Water resistant  $(\frac{1}{2})$ : at bathroom ceilings and walls that are not tiled. Durock interior tile backer board  $(\frac{1}{2})$ : at all surfaces that have tile. 2. Gypsum boards shall have tapered edges to accommodate joint reinforcement. 3. Provide edge corner beads, trim, taping, and joint compounds as required for the proper completion of the job. Materials shall be by U.S. Gypsum or approved equal. 4. Finishing requirements: A. For typical walls and ceilings provide a Level 4 Finish as defined by the Gypsum Association For surfaces noted to receive semi-gloss or gloss paint provide a Level 5 Finish as defined by the Gypsum Association. Hardwood Flooring: Unless noted otherwise, provide wood strip flooring where shown on the drawings. 2. Wood strip flooring to be oak. Where abutting existing floor, new floor shall match existing in size and grain. Elsewhere, oak shall be "clear" grade, in accordance with the national Oak Flooring Manufacturer's Association. 3. Install flooring in strict accordance with the recommendation of the National Oak Flooring Manufacturer's Association. 4. After the floors have been sanded, the flooring contractor shall apply a minimum of four stain and urethane samples in two foot by two foot areas on the floor for the owner to review. The owner shall have a minimum of two days to make a selection. Ceramic Tile: Provide ceramic tile and accessories in accordance with the Tile Council of American Specifications 137.1, in colors and patterns to be specified by the owner. 2. Setting materials: comply with pertinent recommendations contained in the Tile Council of America "Handbook for Ceramic Tile Installation." 3. Installation: comply with ANSI A108.1, ANSI A108.2, and the "Handbook for Ceramic Tile Installation" of the Tile Council of America. Extend tile into recesses and under equipment and fixtures to form a complete Α. covering without interruptions. Terminate tile neatly at obstruction, edges, and corners, without disruption of pattern or joint alignment. Align joints when adjoining tiles on floor, base, trim, and walls are the same size. Layout tile work and center the tile fields in both directions in each space or on each wall area 4. Replacement reserve: Contractor shall furnish to the Owner one unopened box of additional tiles for future repairs and maintenance work.
- Provide carpeting as indicated on the drawings. Refer to allowances on schedule sheet.
   <u>Vinyl Tile:</u>
   Installation of all vinyl composition tile (VCT) shall be done in a manner which conforms

#### ASTM E 648, ASTM E 84, AND

with:

FINISHES

Gypsum Wallboard:

. Gypsum wallboard shall be ASTM C-36 as follows:

- ASTM E 662.2. Replacement reserve: Contractor shall furnish Owner with one unopened box of additional tile for future repairs and maintenance.
- Paint: 1. All paint and primers to be Benjamin Moore or approved equal. Refer to schedule for colors
- and types.All surfaces to be painted shall receive one primer coat and two finish coats.
- 3. All paint shall be applied according to manufacturer's recommendations. Architectural Woodwork and Trim:
- All millwork trim and molding shall be installed accordingly to the quality of standards of the Architectural Woodwork Institute (AWI).
   All interior trim and millwork shall conform to AWI "custom standards."
- All menor tim and minwork shall conform to Awr custom standards.
   Flat trim shall be clear pine or approved equal.
- All corners of trim and siding are to be mitered, except inside corners of interior running trim which shall be coped. Exposed end grains will not be accepted.
   All millwork and trim shall be installed by craftsmen with experience in work of this type. All work shall be first class in every regard and consistent with the best practices of the trade.

#### FIRE AND LIFE SAFETY

- Stairs: A. 7¾" max rise
- 3. 10" min tread
- C. 6'-8" min head room
  D. Height of handrails shall be continuous, 34" (min) to 38" (max) above finished stair treads. Handrails required at stairs with 3 or more risers.
- E. Guardrails shall be 36" (min) to 42" (max) above finished floor.
  Provide a clear window opening of 5.7 square feet with no less than 20" clear wide and 24" clear high for sleeping area. The sill of this windows shall be no more than 44" above the
- finished floor.Provide safety glass in all exterior doors, storm doors, sliding glass doors, shower doors, and tub enclosures above and adjacent to spas and tubs and where the glass is closer than
- 18" to the floor and exceeds 9 square feet in area.
   Ground metal siding.
   Smoke detectors shall be provided on every floor, in each bedroom and in each hall outside
- of bedrooms, and integrated with the electrical system with battery backup.
  6. If a fuel-burning appliance, fireplace, or attached garage is present, an interconnected battery back up carbon monoxide alarm or detector must be installed outside all sleeping areas <u>and</u> on all floors. If fuel-burning appliance or fireplace is present in any sleeping area, an interconnected carbon monoxide alarm or detector must also be installed in that room as
- required per local jurisdiction. 7. Flues shall be class B except solid fuel flues, which shall be class A.
- Top of flue shall be 2'-0" above any part of structure within 10'-0" of flue.
   Interior finish of walls and ceiling shall have a flame spread rating not greater than Class III.
- Carpeting shall meet federal regulation DOC FF-1.
   Prefab fireplaces shall be (U.L.) rated and installed according to manufacturer's
- specifications. 12. Provide outside air for combustion in all prefab and masonry fireplaces.

#### ELECTRICAL AND LIGHTING NOTES

- Electrical contractor shall size and arrange all circuits in accordance with the National Electric Code as well as all local codes. Service to be upgraded as required.
   Wall outlets are to be mounted 1'-6" above finished floor unless noted otherwise.
- Switches are to be mounted 4'-0" above finished floor unless noted otherwise.
   Mounting heights are to the vertical center of the equipment to the finished elevation of the floor.
- All new switch and outlet styles are to be approved by Owner prior to installation.
   Provide hardwired smoke detectors on all floors, located as per Montgomery County Code.
   Electrician shall locate all fixtures, switches, outlets, etc. prior to running wiring. Owner, Architect and Electrician to most at a mutually agreed upon time to raviow locations. The
- Architect, and Electrician to meet at a mutually agreed upon time to review locations. The purpose of which is to allow for possible relocation prior to wiring.
  8. Owner is allowed to add an additional ten (10) items (switches, cable, phone, outlet, etc., or any combination) at no additional charge to the owner.
- 9. Contractor shall determine, based on an on-site review of existing and proposed electrical systems, whether an electrical service heavy-up will be required, and shall include the costs of all required upgrades in their Contract Amount.
- Provide door bell, transformer, and chime for front door and where indicated. In lieu of Owner's selection otherwise, price shall be based on the following: Illuminated Button -Destination Lighting product number 15921; Transformer - 16V; Chimes - Teiber Model CTSB-or STPW-, in Owner's choice of finish. Verify all selections and mounting locations with Owner prior to purchasing.
   Per IECC R404.1 90% of installed lighting fixtures must contain high efficacy lamps.

#### MECHANICAL NOTES

- 1. All work shall be done in accordance with the International Residential Code (IRC), 2018 Edition, as well as IECC 2018 and other local codes including a compliant Manual J load calculation/ design in accordance with ACCA recommendations.
- 2. Unless otherwise indicated in Contract Documents, Contractor shall be delegated to design a fully functional and performing mechanical system in accordance with applicable mechanical codes and standards. Contractor shall submit all duct layouts and air handler locations (and thermostat locations) to the Owner and the Architect for approval prior to the commencement of framing. No extras will be given for any modification required to the framing due to ductwork.
- All exterior unit locations to be coordinated with Owner and Architect.
   Air conditioners shall be Energy Star rated and shall have a minimum 13 SEER rating with two zones each. Gas furnaces shall have a minimum Annual Fuel Utilization Efficiency rating of 90%.
- Equipment will be Carrier or approved equal.
   Ductwork will be galvanized sheet metal and flex.
- 7. Registers and return grilles are Hart & Cooley or equal.

#### PLUMBING NOTES

- All work shall be done in accordance with the International Residential Code (IRC), 2018 Edition, as well as IECC 2018 and other local codes.
   Contractor shall provide riser diagrams as required for permit, and shall submit to the Architect proposed locations of all waste and supply lines prior to the commencement of
- framing. No extras will be given for any modification required to the framing due to plumbing lines. Provide cast iron at vertical waste lines.Unless otherwise indicated in Contract Documents. Contractor shall be delegated to design
- a fully functional and performing water supply and waste system in accordance with applicable plumbing codes and standards. Install water heater and reserve tank per requirements of the house with recirculate system.
  4. Provide drain pans under all water heaters and washing machines, and pipe the pan to the
- sanitary drain upstream of a trap.
  Contractor shall make a count of existing and proposed fixtures to determine whether a water or sewer upgrade will be required, and shall include the costs of all required upgrades in his Contract Amount. The count of existing fixtures shall be based on an on-site
- inspection.6. Provide cast iron at vertical waste lines.

#### 7. Locate plumbing clean out plugs in bottom $\frac{1}{3}$ " of wall, typical.

- **STEAM SHOWER** 1. Wall construction: Provide ceramic tile over dryset or latex Portland cement mortar bond
- coat over tile backer board over Dow insulation board over 2x4 studs.
- Ceiling construction: Same as walls, provide continuous sloped ceiling (<sup>1</sup>/<sub>2</sub>" per foot), and provide rounded inside corner tile at joint between wall and ceiling.
- Insulate all walls, ceiling, and floor adjacent to steam shower.
   Steam shower to be watertight, including a watertight shower door.
- Steam Unit: "Mr. Steam model #MS-150, 6kw or approved equal. Provide the following connections: water inlet <sup>3</sup>/<sub>8</sub>" NPT, steam outlet NPT, drain <sup>3</sup>/<sub>8</sub>" NPT. Follow all manufacturer's specifications.

#### ROOFTOP-MOUNTED PHOTOVOLTAIC SYSTEMS

 Structural support for all rooftop-mounted photovoltaic systems and other considerations shall comply with 2018 IRC Section R324.4

#### STATIONARY STORAGE BATTERY SYSTEMS 1. The installation of battery storage systems shall comply with 2018 IRC Section R327

STUCCO FIN Part 1 - Genei	
1.1 Summary	_
A.	<ul> <li>This Section includes the following:</li> <li>Exterior Portland cement plasterwork (stucco) on metal lath.</li> </ul>
В.	See Sections "Wood and Carpentry" on Specifications Sheet (SP) and section 3.1.A this sheet for additional structural requirements for wood framing and wood sheathing.
1.2 Quality As A.	
	approval prior to actual installation.
В.	standards for materials and execution.
	<ul> <li>Install mockups for each type of finish indicated.</li> <li>Approved mockups may become part of the completed work if undisturbed at time of Substantial Completion.</li> </ul>
1.3 Project Co	nditions
A. B.	Comply with ASTM C 926 requirements. Exterior Plasterwork: Apply plaster when ambient temperature is between 50° and 80° F.
C.	
Part 2 - Produ 2.1 Metal Lath	
A.	
2.2 Accessori	Diamond-Mesh Lath: Self-furring, 3.4 lb/sq yd
2.2 Accesson A.	General: Comply with ASTM C 1063 and coordinate depth of trim and accessories with thicknesses and number of plaster coats
B.	required. Zinc and Zinc-coated (Galvanized) Accessories:
2.	<ul> <li>Foundation Weep Screed: Fabricated from hot-dip galvanized steel sheet, ASTM A 653/A 653M, G60 zinc coating.</li> </ul>
	<ul> <li>Cornerite: Fabricated from metal lath with ASTM A 653/ A 653M, g60, hot-dip galvanized zinc coating.</li> <li>External-Corner Reinforcement: Fabricated from metal lath with ASTM A 653/A 653M, G60, hot-dip galvanized zinc coating.</li> </ul>
	<ul> <li>Cornerbeads: Fabricated from zinc or galvanized steel.</li> </ul>
	a. Small-nose style; use unless otherwise indicated.
	<ul> <li>Casing Beads: Fabricated from zinc or galvanized steel; square-edged style, with expanded flanges.</li> <li>Control Joints: Fabricated from zinc or galvanized steel; one-piece type, folded pair of unperforated screeds in M-shaped</li> </ul>
	configuration; with perforated flanges and removable protective tape on plaster face of control joint.
	<ul> <li>Expansion Joints: fabricated with zinc or galvanized steel; folded pair of unperforated screeds in M-shaped configuration; with expanded flanges.</li> </ul>
	Two-piece Expansion Joints: Fabricated from zinc or galvanized steel; formed to produce slip-joint and square-edged reveal
2 3 Miscellane	that is adjustable from $\frac{1}{4}$ "-to- $\frac{5}{6}$ " wide; with perforated flanges. eous Materials
A.	
В.	Fiber for Base Coat: alkaline-resistant glass or polypropylene fibers, ½" long, free of contaminants, manufactured for use in Portland cement plaster.
C.	Bonding Compound: ASTM C 932.
D. E.	Fasteners for attaching Metal lath to Substrates: Complying with ASTM C 1063. isolation Barrier at Exterior Walls: Tyvek StuccoWrap, as manufactured by Dupont.
∟. 2.4 Plaster Ma	
A.	
В.	<ul> <li>Color for Finish Coats: White or Gray as required to match color sample.</li> <li>Colorants for Job-Mixed Finish Coats: Colorfast mineral pigments that produce finish plaster color to match Architect's sample.</li> </ul>
C.	Lime: ASTM C 206, Type S; or ASTM C 207, Type S.
D.	<ul> <li>Sand Aggregate: ASTM C 897.</li> <li>Color for Job-Mixed Finish Coats: Color to produce sample to match Architect's sample.</li> </ul>
E.	<ul> <li>Ready-Mixed Finish-Coat Plaster: Mill-mixed Portland cement, aggregates, coloring agents, and proprietary ingredients.</li> <li>Products:</li> </ul>
	a. California Stucco Products Corp., Conventional Portland Cement Stucco.
	<ul> <li>b. ChemRex; Thoro Stucco.</li> <li>c. Florida Stucco Corp.</li> </ul>
	d. Highland Stucco and Lime Products, Inc.
	e. United States Gypsum Co.; Oriental Exterior Finish Stucco.
2.5 Plaster Mi	Color: To match existing stucco. xes
A.	General: Comply with ASTM C 926 for applications indicated.
	<ul> <li>Fiber Content: Add fiber to base-coat mixes after ingredients have mixed at least two minutes. Comply with fiber manufacturer's written instructions for fiber quantities in mixes, but do not exceed 1 lb of fiber/cu ft of cementitious materials.</li> </ul>
P	Reduce aggregate quantities accordingly to maintain workability.
В.	<ul> <li>Portland Cement Base Coat Mixes:</li> <li>Over Metal Lath: Scratch and brown coats for three-coat plasterwork as follows:</li> </ul>
	a. Scratch Coat: For cementitious material, mix 1 part Portland cement and $\frac{3}{4}$ parts lime. Use 2- $\frac{1}{2}$ to 4 parts
	aggregate per part of cementitious material (sum of separate volumes of each component material).
	b. Brown Coat: For cementitious material, mix 1 part Portland cement and <sup>3</sup> / <sub>4</sub> parts lime. Use 3 to 5 parts aggregate per part of cementitious material (sum of separate volumes of each component material).
	Over Brick and Monolithic Concrete:
	a. For cementitious material, mix 1 part Portland cement and 0 to $\frac{3}{4}$ parts lime. Use 2- $\frac{1}{2}$ to 4 parts aggregate per part of cementitious material (sum of separate volumes of each component material).
	Over Brick and Concrete Masonry Unit: Single base coats for two-coat plasterwork as follows:
	a. For cementitious material, mix 1 part Portland cement $\frac{3}{4}$ to $1\frac{1}{2}$ parts lime. Use $2\frac{1}{2}$ to 4 parts aggregate per part of cementitious material (sum of separate volumes of each component material).
C.	Portland Cement Job-Mixed Finish-Coat Mixes: For cementitious materials, mix 1 part Portland cement and 1-1/2 parts lime. use
	1-1/2 to 3 parts aggregate per part of cementitious material (sum of separate volumes of each component material).
D.	manufacturer's written instructions.
PART 3 - EXE	
3.1 Preparatic A.	
A.	Protect adjacent work from soiling, spattering, moisture deterioration, and other harmful effects caused by plastering.
В.	Prepare solid-plaster bases that are smooth or that do not have the suction capability required to bond with plaster according to ASTM C 926.
3.2 Installing I	Metal Lath
A. 8.3 Installing A	· · · · · · · · · · · · · · · · · · ·
•	Install according to ASTM C 1063 and at locations indicated on drawings.
В.	Reinforcement for External Corners:
	<ul> <li>Install lath-type inside corner reinforcement at exterior locations.</li> <li>Install cornerbead at outside corner locations.</li> </ul>
C.	
	<ul> <li>As required to delineate plasterwork into areas (panels) of the following maximum sizes:</li> <li>a. Vertical Surfaces: 144 sq ft</li> </ul>

- a. Vertical Surfaces: 144 sq ft
- b. Horizontal and other Non-Vertical Surfaces: 100 sq ft
  At distances between control joints of not greater than 18 feet O.C.
- As required to delineate plasterwork into areas (panels) with length-to-width ratios of not greater than 2-1/2:1.
- Where control joints occur in surface of construction directly behind plaster.
  Where plasterwork areas change dimensions, to delineate rectnagular-shaped areas (panels) and to relieve the stress that convert at the same former that the stress that the same former that the same former that the stress stress that areas and the stress stress that areas former that the stress s
- occurs at the corner formed by the dimension change.Above and below band board in multi-floor buildings.

#### • As indicated on drawings. 3.4 Plaster Application

- A. General: Comply with ASTM C 926.B. Bonding Compound: Apply on unit masonry and concrete plaster bases.
- C. Plaster Finish Coats: Apply to provide float, dash, scraped trowel-textured, skip trowel-textured, brocade (knock-down dash), trowel success combad coaled (California mission) as the finite schedule to the finite schedule of the schedu
- trowel sweep, combed, sacked (California mission), or other finish selected by the Architect. D. Acrylic-Based Finish Coatings: Apply coating system, including primers, finish coats, and sealing topcoats, according to

#### manufacturer's written instructions. 3.5 Cutting and Patching

A. Cut, patch, replace, and repair as necessary to accomodate other work and to restore cracks, dents, and imperfections. Repair or replace work to eliminate blistes, buckles, crazing (check cracking), dry outs, efflorescence, sweat outs, and similar defects and where bond to substrate has failed.

APPROVED	
Montgomery County	
Historic Preservation Commission	
Rame h. Matter	÷

#### REVIEWED

By Dan.Bruechert at 1:18 pm, Nov 12, 2024



Consultant

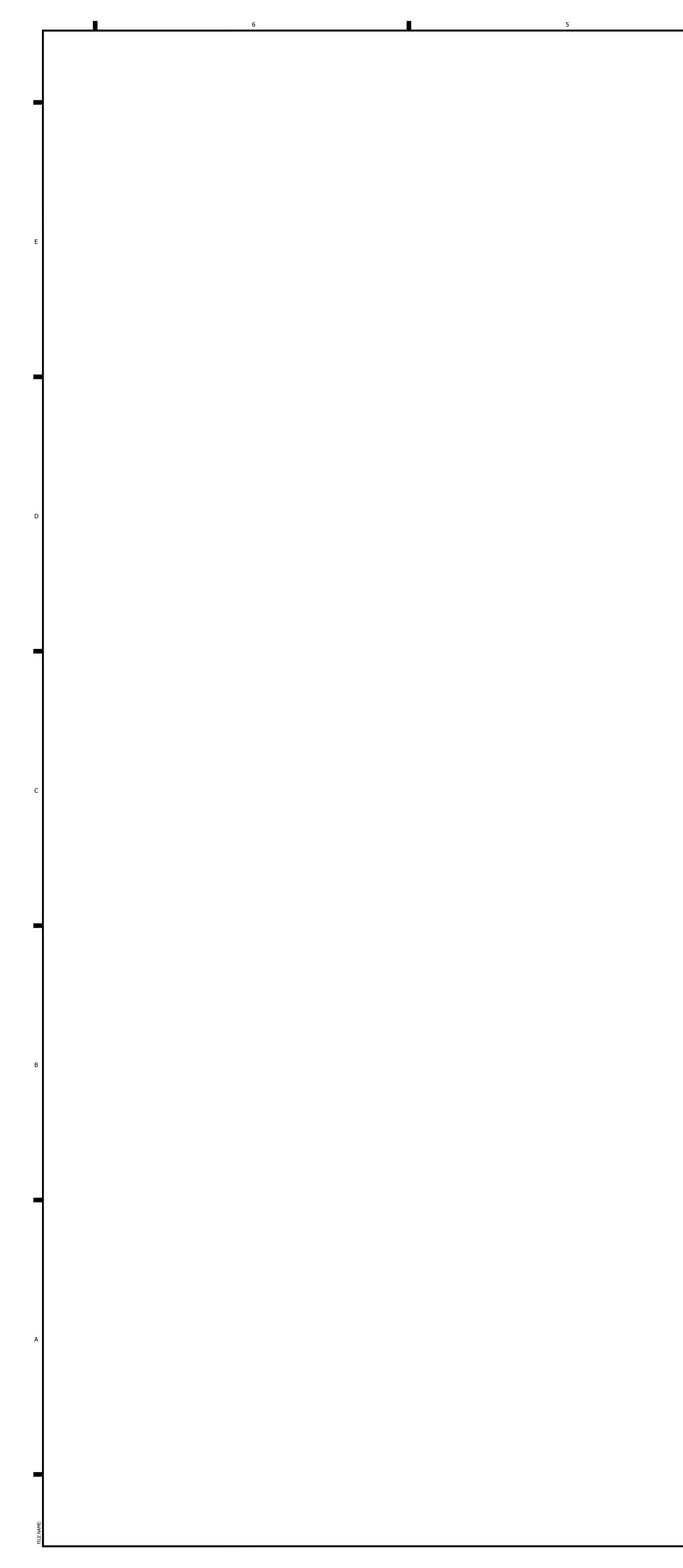
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PERMIT SET	11/05/2024
Issue Description	Date
GTM Project No.	23.0639
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Drawn By	AS NOTED
Scale	ASNUTLD
Sheet Title	
SPEC SHEET	

Sheet No.

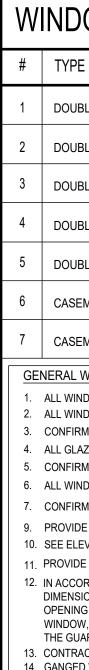




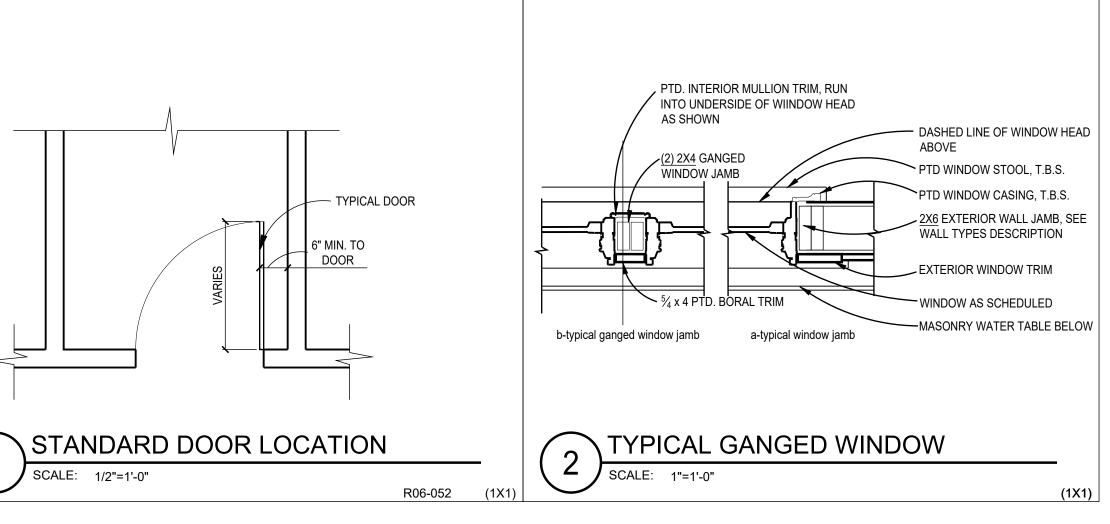
D	OOR SCH	EDULE	WIT	fh unde	RSIDE	OF TYF	PICAL C	ASED (	OPENING ON T	DE OF DOOR FRAME SHOULD ALIGI HAT FLOOR S WHERE ABLE TO
	DOO	R			FRA	ME				DEMARKO
NO.	SIZE	MATERIAL	MANUF.	MAT:	FIN:	HEAD	JAMB	SILL	HARDWARE	REMARKS
FIR	ST FLOOR									
1	3 <sup><u>0</u></sup> x 8 <sup><u>0</u></sup> x1 3/4"	SOLID CORE	TBD						H-4	
2	3 <sup><u>0</u></sup> x 8 <sup><u>0</u></sup> x1 3/4"	SOLID CORE	TBD						H-4	
3	3 <sup><u>0</u></sup> x 8 <sup><u>0</u></sup> x1 3/4"	SOLID CORE	TBD						H-6	POCKET DOOR
4	2 <sup>6</sup> x 8 <sup>0</sup> x1 3/4"	SOLID CORE	TBD						H-3	
5	1-PAIR 2 <sup>6</sup> x 8 <sup>0</sup> x1 3/4"	WOOD CLAD & GLASS	TBD						H-2	EXTERIOR DOORS TO PATIO
6	1-PAIR 3 <sup>0</sup> x 8 <sup>0</sup> x1 3/4"	WOOD CLAD & GLASS	TBD						H-2	EXTERIOR DOORS TO PATIO
7	$2^{\frac{6}{2}} \times 8^{\frac{0}{2}} \times 13/4"$	SOLID CORE	TBD						H-4	
8	2 <sup>4</sup> x 8 <sup>0</sup> x1 3/4"		TBD						H-4	
SE	COND FLOOR									
0	1-PAIR	SOLID CORE							H-5	
9	1 <sup>6</sup> x 6 <sup>8</sup> x1 3/4" 1-PAIR	SOLID CORE	TBD							
10	1 <sup><u>9</u></sup> x 6 <sup><u>8</u></sup> x1 3/4"	SOLID CORE	TBD						H-5	
11	<sup>1-PAIR</sup> 1 <sup>9</sup> x 6 <sup>8</sup> x1 3/4"	SOLID CORE	TBD						H-5	
12	2 <sup>6</sup> x 6 <sup>8</sup> x1 3/4"	SOLID CORE	TBD						H-3	
13	2 <sup><u>6</u></sup> x 6 <sup><u>8</u></sup> x1 3/4"	SOLID CORE	TBD						H-3	
14	2 <sup><u>6</u></sup> x 6 <sup><u>8</u></sup> x1 3/4"	SOLID CORE	TBD						H-3	
15	2 <sup>6</sup> x 6 <sup>8</sup> x1 3/4"	SOLID CORE	TBD						H-4	
16	2 <sup>6</sup> x 6 <sup>8</sup> x1 3/4"	SOLID CORE	TBD						H-4	
17	3 <sup>0</sup> x 6 <sup>8</sup> x1 3/4"	SOLID CORE	TBD						H-4	
18	3 <sup>0</sup> x 6 <sup>8</sup> x1 3/4"	SOLID CORE	TBD						H-4	
19	1-PAIR 1 <sup>6</sup> x 6 <sup>8</sup> x1 3/4"	SOLID CORE	TBD						H-3	
20	$2^{\frac{6}{2}} \times 6^{\frac{8}{2}} \times 13/4"$	SOLID CORE	TBD						H-3	
21	2 <sup>4</sup> x 6 <sup>8</sup> x1 3/4"	GLASS	TBD							GLASS SHOWER DOOR
22	2 <sup><u>6</u></sup> x 6 <sup><u>8</u></sup> x1 3/4"	SOLID CORE	TBD						H-3	
23	2 <sup><u>6</u></sup> x 6 <sup>8</sup> x1 3/4"	SOLID CORE	TBD						H-3	

* BASED ON ANDERSON SERIES ALUMINUM CLAD WOOD PATIO DOORS & TRUSTILE
INTERIOR DOORS; CONFIRM MANUFAC. & STYLE W/ OWNER

H	ARDWARE SCHEDULE (CONFIRM W/ OWNER PRIOR TO ORDERING)			
	NOTE: ALL HARDWARE TO BE SCHLAGE F-SERIES OR APPROVED EQUAL. (EXCEPT PATIO DOORS, WHICH ARE TO HAVE STANDARD HARDWARE BY DOOR MANUF.)			
H-1	SINGLE CYLINDER ENTRANCE LOCK, DEADBOLT, KEYED ONE SIDE & THUMBLATCH ON OTHER- BY BALDWIN OR EQ.			
H-2	STANDARD LOCKSET BY DOOR MANUF.; FINISH PER OWNER			
H-3	BATH/BEDROOM PRIVACY LOCK			
H-4	PASSAGE SET			
H-5	BALL CATCHES \$ DUMMY KNOBS			
H-6	POCKET DOOR HARDWARE			



W	* BASED ON ANDERSON CLAD-WOOD WINDOWS; CONFIRM W/ OWNER * CONTACT WINDOW INSTALLER FOR ROUGH OPENING DIMENSIONS							
#	# TYPE NO. MANUFACTURER CAT.			CAT. NO.	FRAME SIZE	GLASS	REMARKS	
1	DOUBLE HUNG	5	ANDERSON 400 SERIES TW210510 2'-11 5/8" X 6'-7/8" DOUBLE-PANE Low-E SEE ELEVS. FOR GRILL EGRESS		LLE PATTERN,			
2	DOUBLE HUNG	2	ANDERSON 400 SERIES	TW2842	2'-9 5/8" X 4'-4 7/8"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN, EGRESS	
3	DOUBLE HUNG	2	ANDERSON 400 SERIES	TW2442	2'-5 5/8" X 4'-4 7/8"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN	
4	DOUBLE HUNG	2	ANDERSON 400 SERIES	TW24410	2'-5 5/8" X 5'-7/8"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN	
5	DOUBLE HUNG	1	ANDERSON 400 SERIES	TW24210	2'-5 5/8" X 3'-7/8"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRI	LLE PATTERN
6	CASEMENT	6	ANDERSON 400 SERIES	T.B.S.	V.I.F.		REPLACE EXISTING V	WINDOWS
7	CASEMENT	6	ANDERSON 400 SERIES	T.B.S.	V.I.F.		REPLACE EXISTING WINDOWS	
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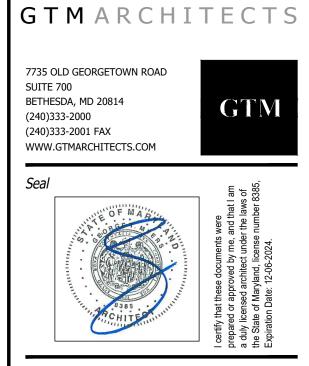
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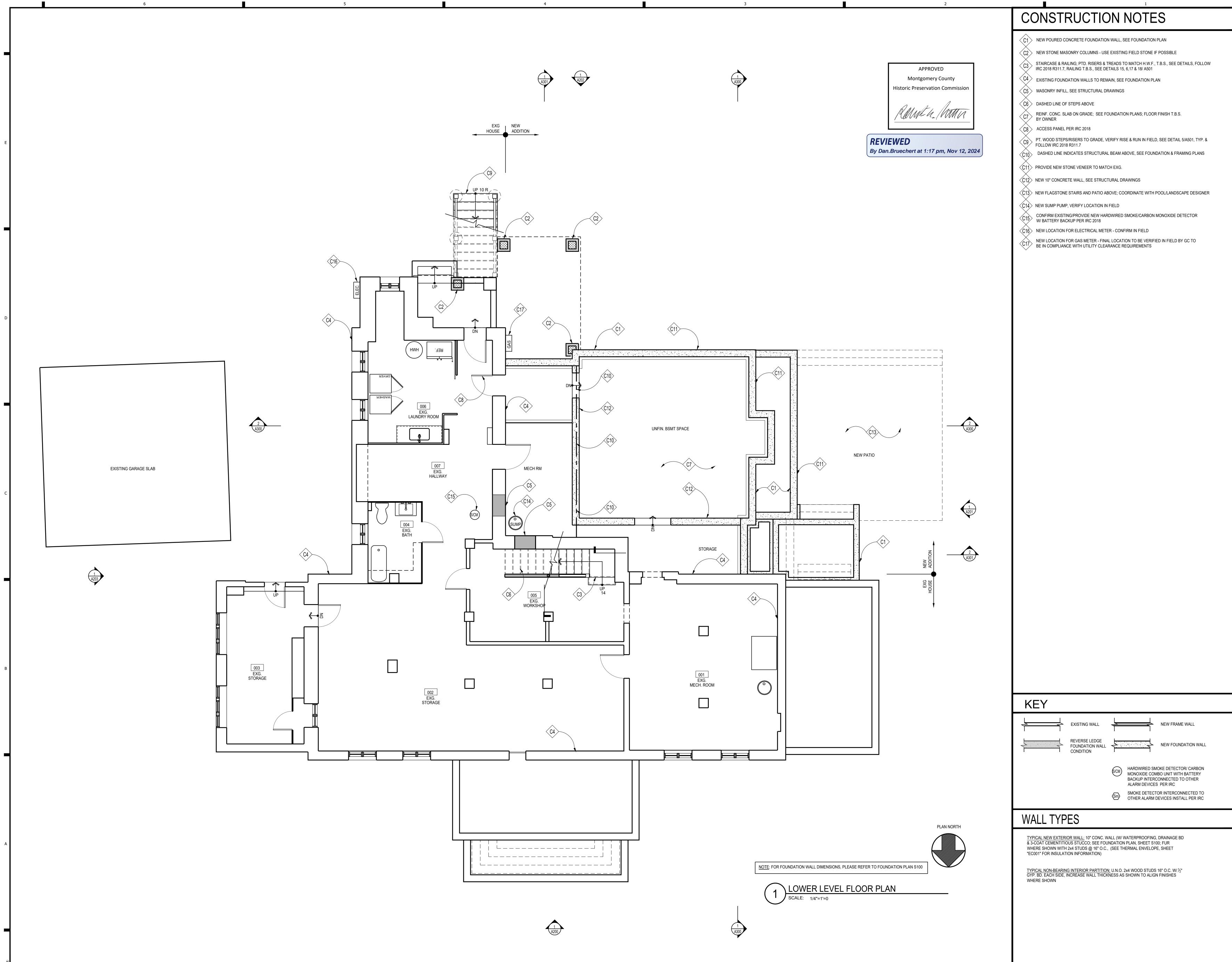
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Developer





Consultant





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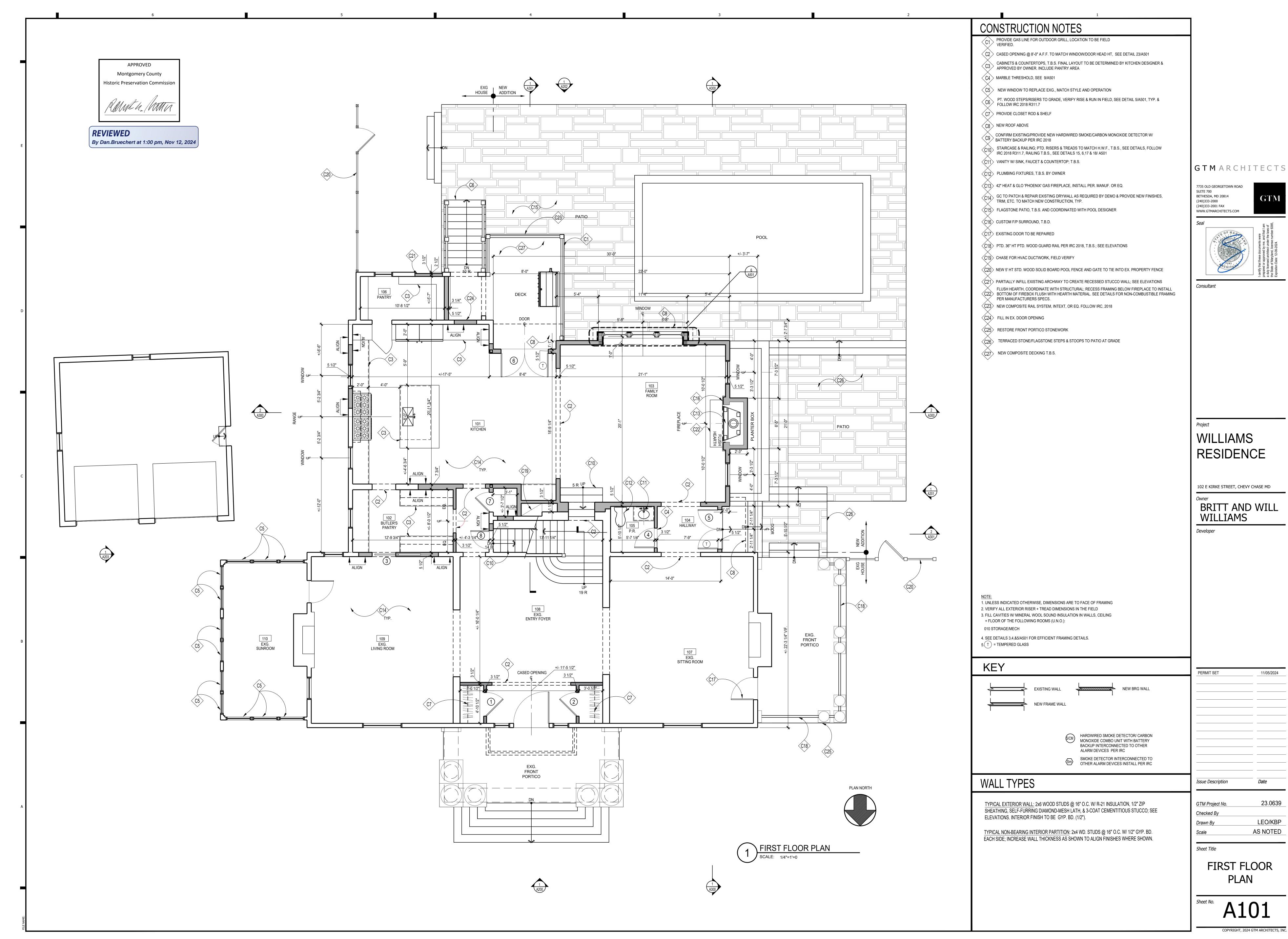
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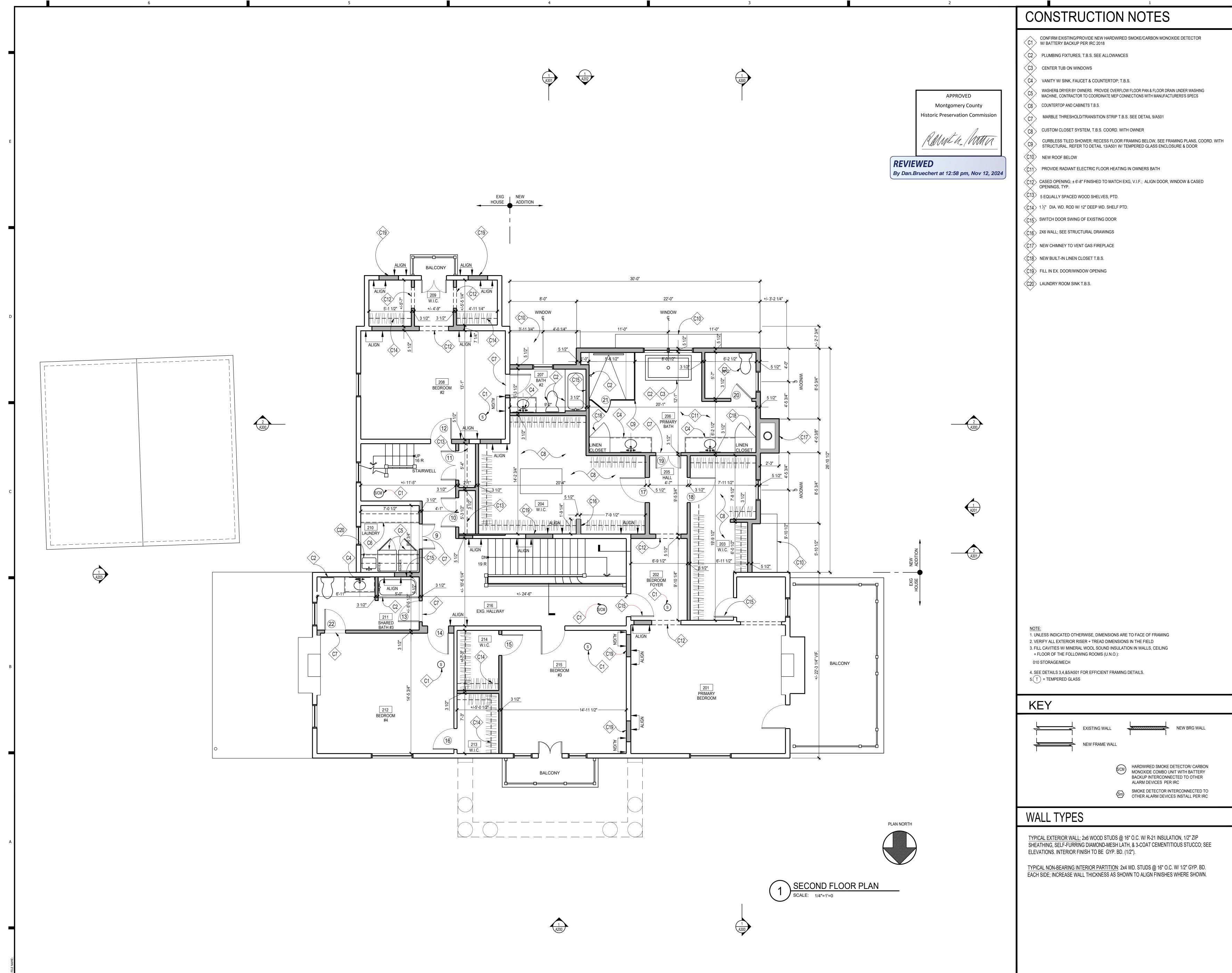
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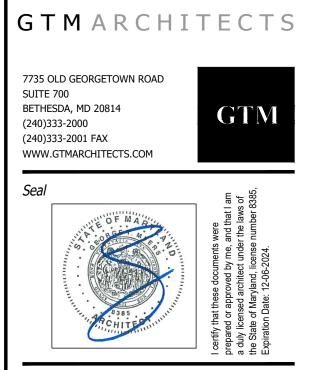
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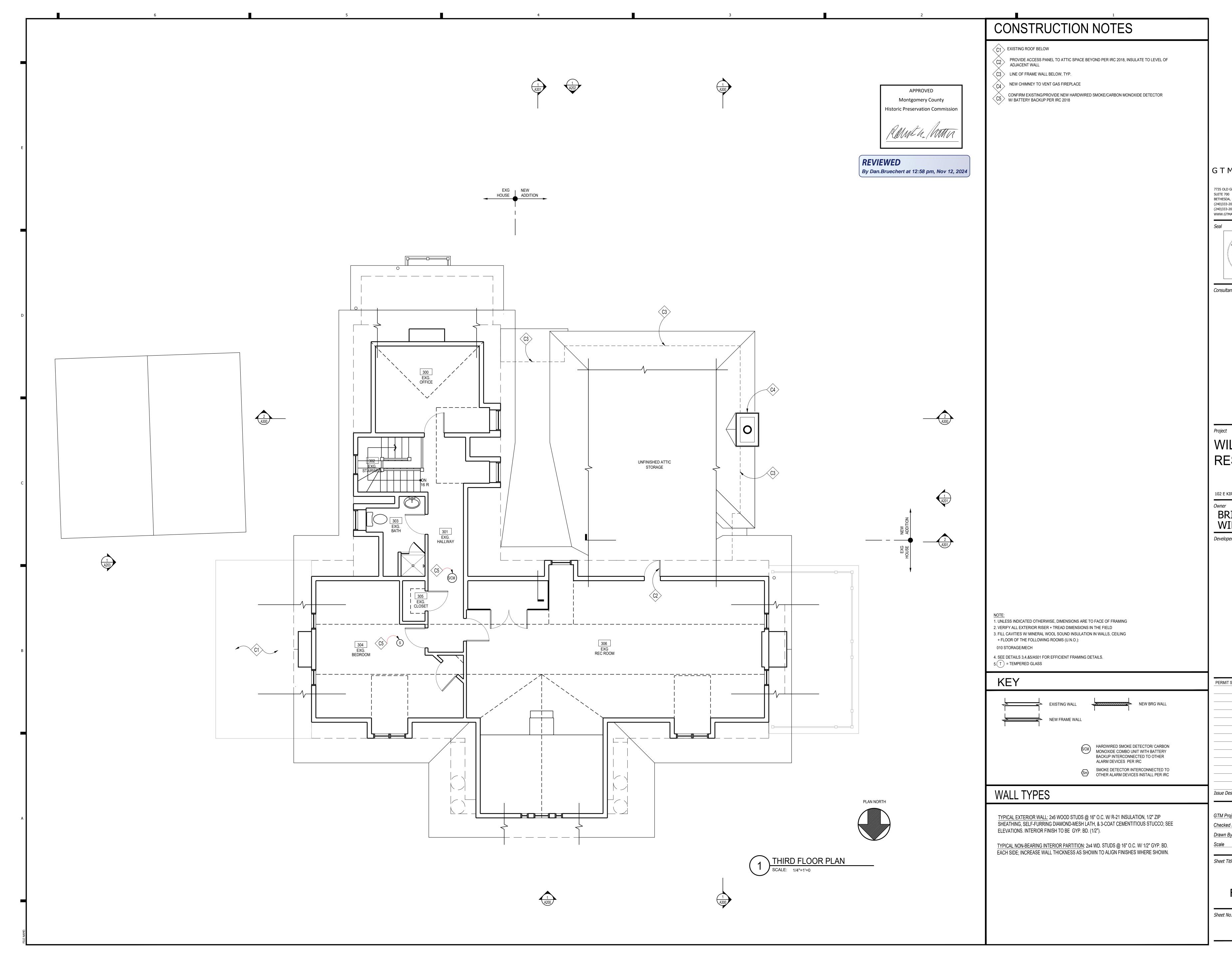
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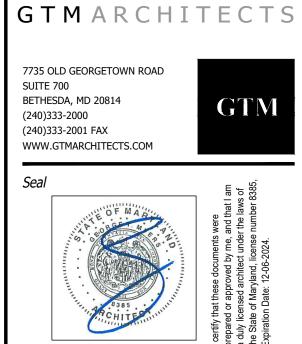
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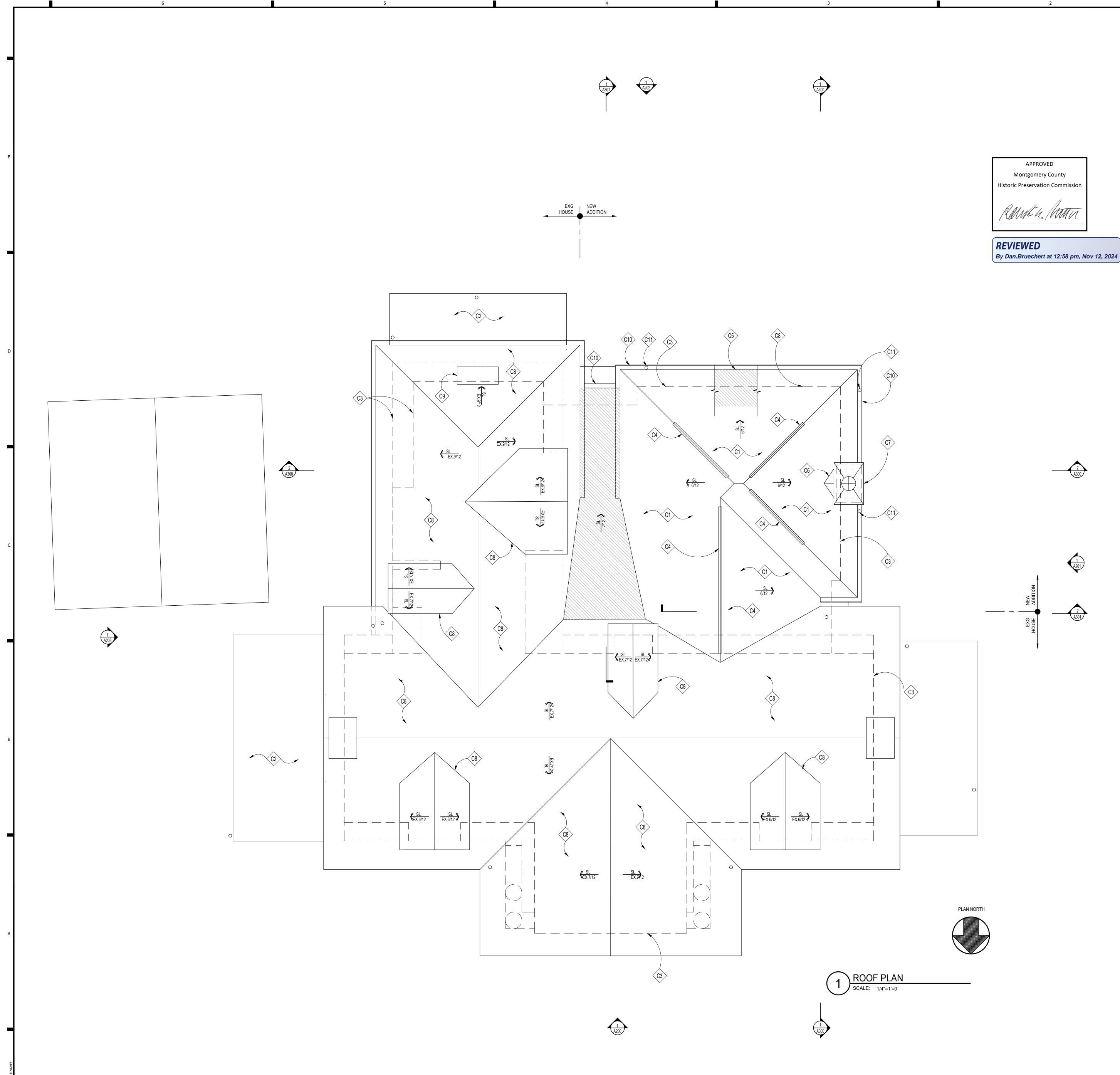




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WILLIAMS RESIDENCE 102 E KIRKE STREET, CHEVY CHASE MD Owner BRITT AND WILL WILLIAMS

Developer



## CONSTRUCTION NOTES

C1 NEW ARCHITECTURAL ASPHALT SHINGLES, T.B.S.

C2 EXISTING ROOF BELOW

- C3 DASHED LINE INDICATES LINE OF WALL BELOW, SEE FLOOR PLANS
- C4 NEW RIDGE/HIP VENTS BY "COR-A-VENT" OR APPROVED EQUAL, OMIT IF USING FOAM INSULATION, TYPICAL. SEE '27/A500'
- C5 ICE AND WATER GUARD AT ALL EAVES, VALLEYS, AND LOW SLOPE ROOFS; SEE GENERAL NOTE 1 BELOW
- C6 MTL CRICKET FOR IRC 2018 MIN. 4:12 SLOPE
- C7 NEW CHIMNEY TO VENT GAS FIREPLACE
- $\langle C8 \rangle$  EX. ROOF TO REMAIN
- $\langle C9 \rangle$  EX. CHIMNEY TO REMAIN, REPAIR AS REQ.
- C10 NEW GUTTERS TO MATCH EXISTING
- NEW DOWNSPOUT TO MATCH EXSITING



## LEGEND

LOW SLOPE ROOF, PROVIDE ICE & WEATHER GUARD

## GENERAL ROOFING NOTES

- PROVIDE SELF-ADHERING, 40 MIL ICE AND WATER GUARD UNDERLAYMENT UNDER SHINGLES AT ALL VALLEYS AND FROM LOWEST EDGE OF ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE, AND ON ALL AREAS WITH A SLOPE LESS THAN 4:12.
- 2. SEE FRAMING PLAN FOR OVERBUILD AREAS
- 3. DOTTED LINE INDICATES LINE OF BUILDING BELOW

GTMARCHI	TECTS
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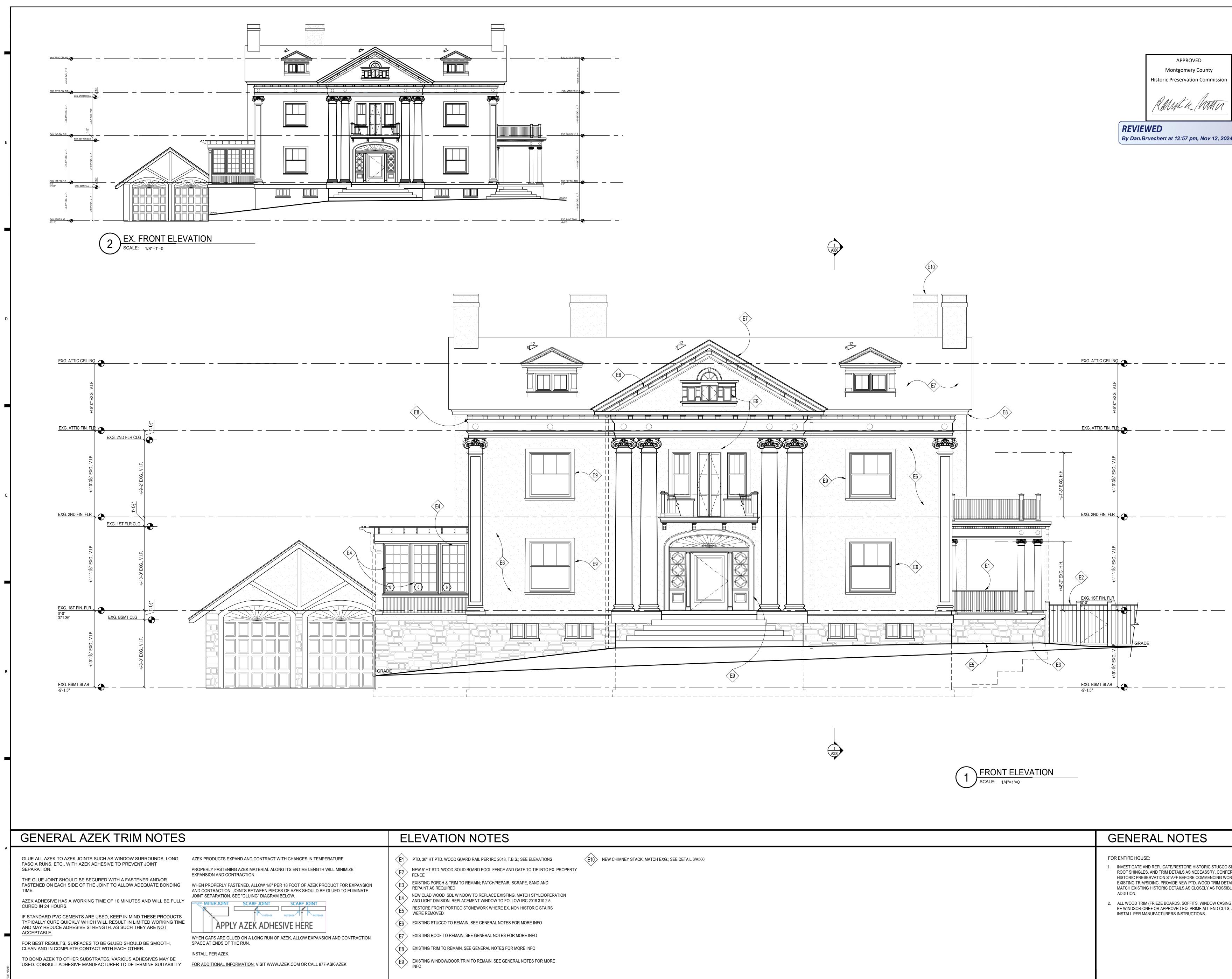
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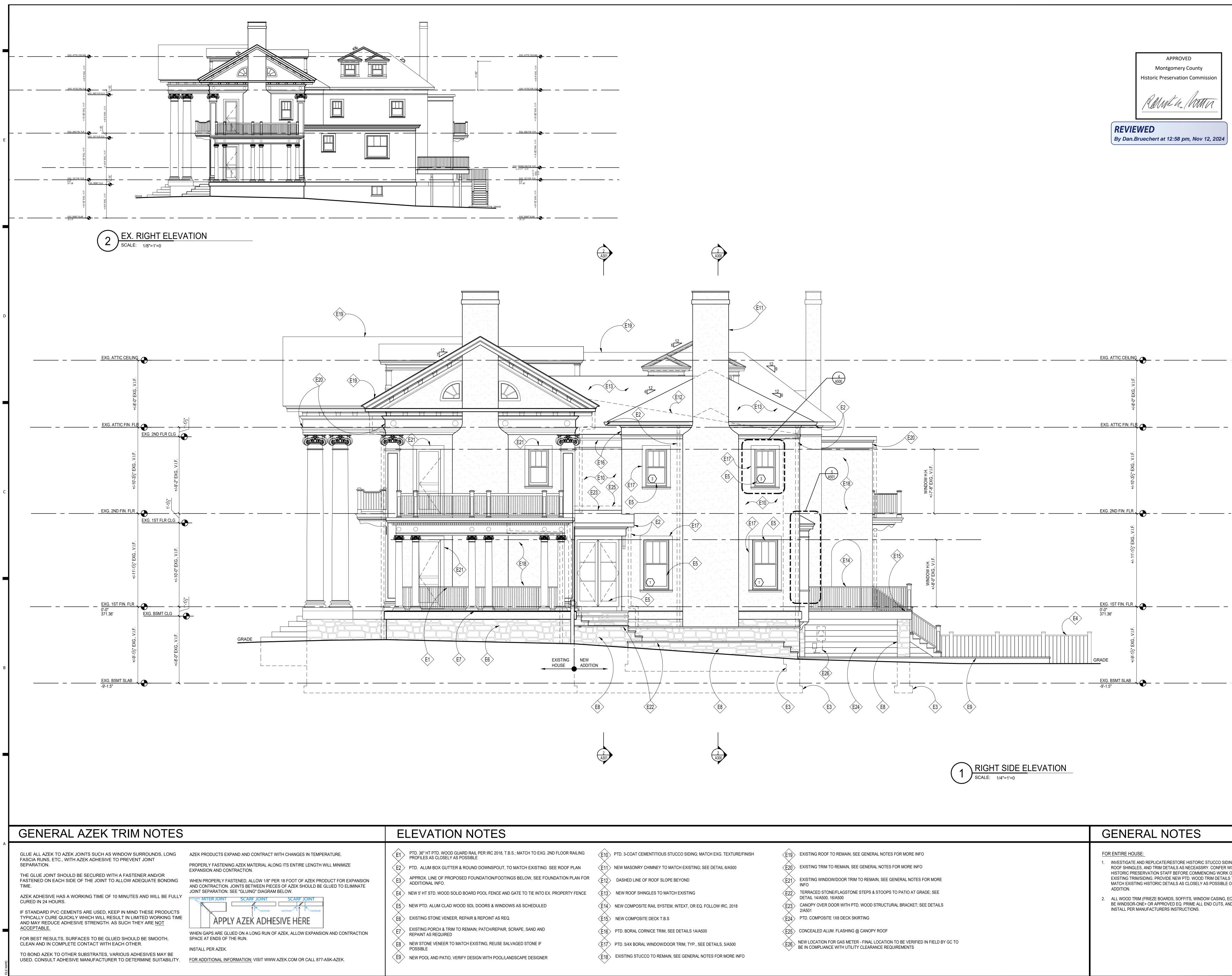


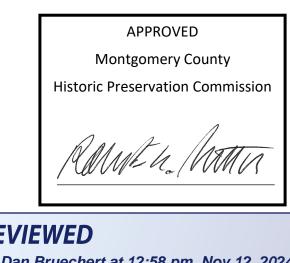


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	Montgomery County		
	Historic Preservation Commission		
	Rame ha Matta		
REVIEWED			
By Dan.Bruechert at 12:57 pm, Nov 12, 2024			

GENERAL NOTES
<ul> <li>FOR ENTIRE HOUSE:</li> <li>1. INVESTIGATE AND REPLICATE/RESTORE HISTORIC STUCCO SIDING, ROOF SHINGLES, AND TRIM DETAILS AS NECEASSRY. CONFER WITH HISTORIC PRESERVATION STAFF BEFORE COMMENCING WORK ON ANY EXISTING TRIM/SIDING. PROVIDE NEW PTD. WOOD TRIM DETAILS TO MATCH EXISTING HISTORIC DETAILS AS CLOSELY AS POSSIBLE ON ADDITION.</li> <li>2. ALL WOOD TRIM (FRIEZE BOARDS, SOFFITS, WINDOW CASING, ECT.) TO BE WINDSOR-ONE+ OR APPROVED EQ. PRIME ALL END CUTS, AND INSTALL PER MANUFACTURERS INSTRUCTIONS.</li> </ul>

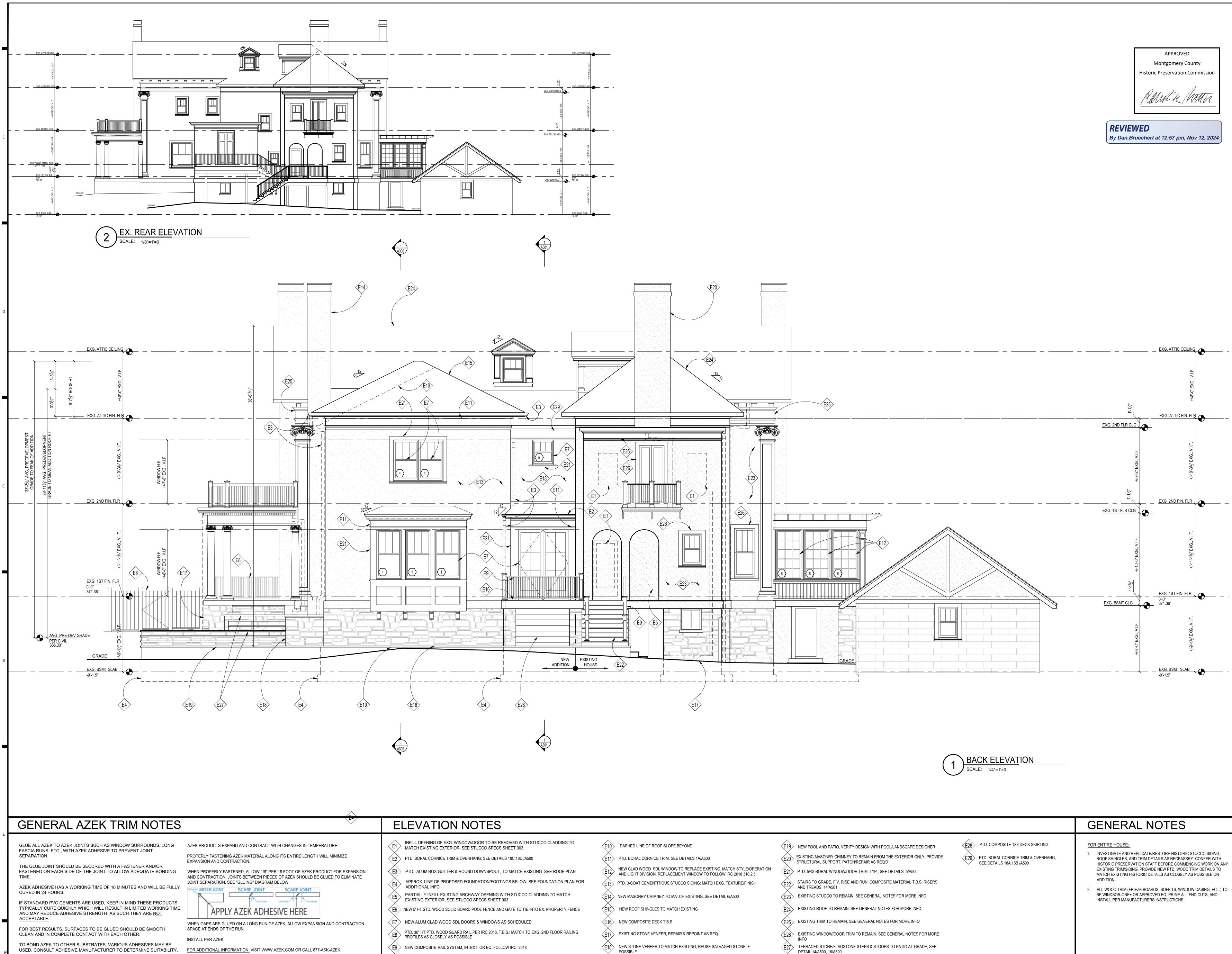
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	GENERAL NOTES
IG ROOF TO REMAIN, SEE GENERAL NOTES FOR MORE INFO IG TRIM TO REMAIN, SEE GENERAL NOTES FOR MORE INFO IG WINDOW/DOOR TRIM TO REMAIN, SEE GENERAL NOTES FOR MORE 2ED STONE/FLAGSTONE STEPS & STOOPS TO PATIO AT GRADE; SEE 14/A500, 16/A500 Y OVER DOOR WITH PTD. WOOD STRUCTURAL BRACKET; SEE DETAILS 2MPOSITE 1X8 DECK SKIRTING NLED ALUM. FLASHING @ CANOPY ROOF CATION FOR GAS METER - FINAL LOCATION TO BE VERIFIED IN FIELD BY GC TO 3MPULANCE WITH UTILITY CLEARANCE REQUIREMENTS	<ul> <li>FOR ENTIRE HOUSE:</li> <li>1. INVESTIGATE AND REPLICATE/RESTORE HISTORIC STUCCO SIDING, ROOF SHINGLES, AND TRIM DETAILS AS NECEASSRY. CONFER WITH HISTORIC PRESERVATION STAFF BEFORE COMMENCING WORK ON ANY EXISTING TRIM/SIDING. PROVIDE NEW PTD. WOOD TRIM DETAILS TO MATCH EXISTING HISTORIC DETAILS AS CLOSELY AS POSSIBLE ON ADDITION.</li> <li>2. ALL WOOD TRIM (FRIEZE BOARDS, SOFFITS, WINDOW CASING, ECT.) TO BE WINDSOR-ONE+ OR APPROVED EQ. PRIME ALL END CUTS, AND INSTALL PER MANUFACTURERS INSTRUCTIONS.</li> </ul>

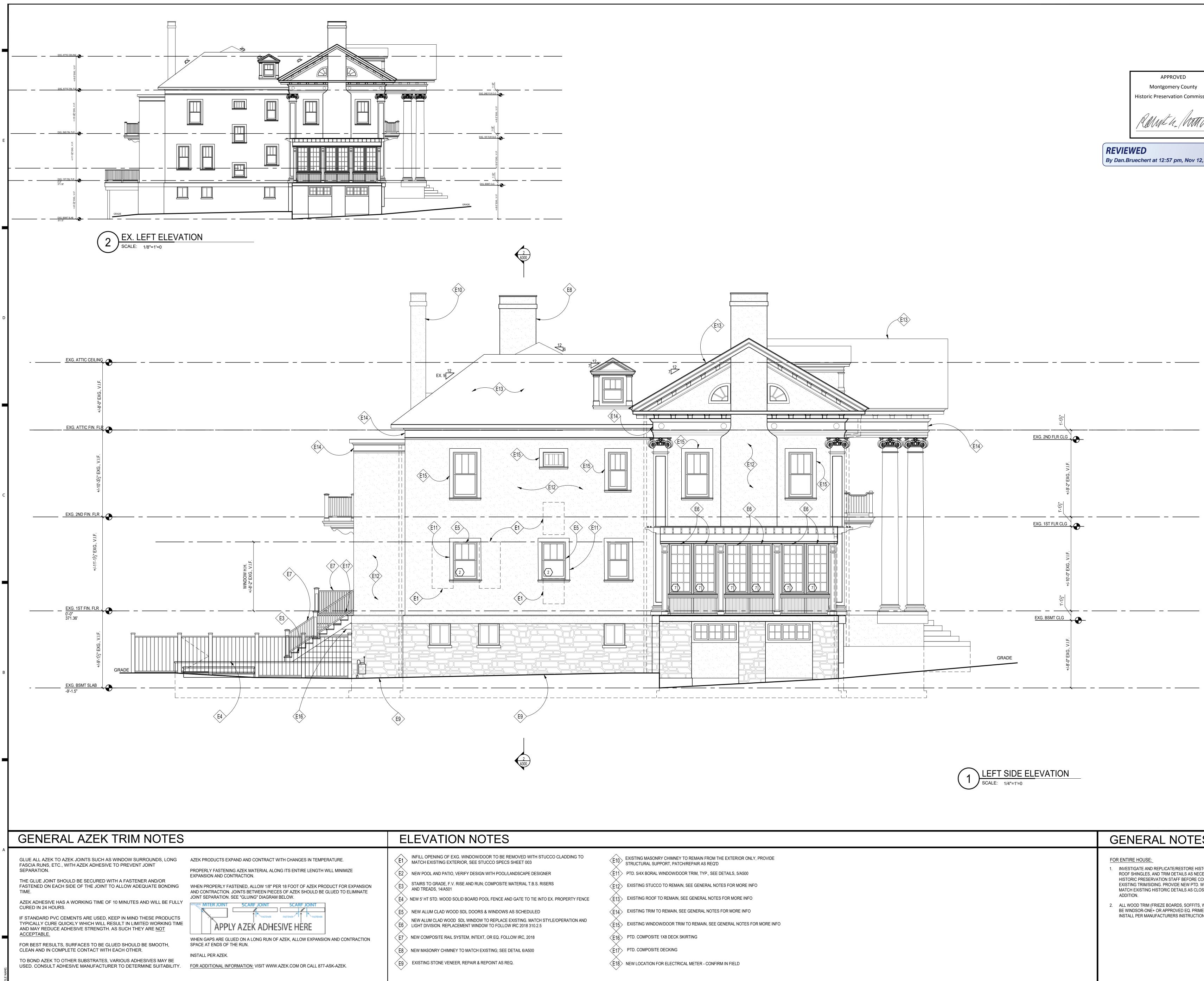
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Montgomery County
Historic Preservation Commission
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	GENERAL NOTES
POOL AND PATIO, VERIFY DESIGN WITH POOL/LANDSCAPE DESIGNER ING MASONRY CHIMNEY TO REMAIN FROM THE EXTERIOR ONLY, PROVIDE CTURAL SUPPORT, PATCH/REPAIR AS REQD 5/4X BORAL WINDOW/DOOR TRIM, TYP., SEE DETAILS, 5/A500 8S TO GRADE, F.V. RISE AND RUN; COMPOSITE MATERIAL T.B.S. RISERS TREADS, 14/A501 TING STUCCO TO REMAIN, SEE GENERAL NOTES FOR MORE INFO TING ROOF TO REMAIN, SEE GENERAL NOTES FOR MORE INFO TING TRIM TO REMAIN, SEE GENERAL NOTES FOR MORE INFO TING WINDOW/DOOR TRIM TO REMAIN, SEE GENERAL NOTES FOR MORE INFO TING WINDOW/DOOR TRIM TO REMAIN, SEE GENERAL NOTES FOR MORE INFO ACCED STONE/FLAGSTONE STEPS & STOOPS TO PATIO AT GRADE; SEE NI 14/A500	<ul> <li>FOR ENTIRE HOUSE:</li> <li>1. INVESTIGATE AND REPLICATE/RESTORE HISTORIC STUCCO SIDING, ROOF SHINGLES, AND TRIM DETAILS AS NECEASSRY. CONFER WITH HISTORIC PRESERVATION STAFF BEFORE COMMENCING WORK ON A EXISTING TRIM/SIDING. PROVIDE NEW PTD. WOOD TRIM DETAILS TO MATCH EXISTING HISTORIC DETAILS AS CLOSELY AS POSSIBLE ON ADDITION.</li> <li>2. ALL WOOD TRIM (FRIEZE BOARDS, SOFFITS, WINDOW CASING, ECT.) BE WINDSOR-ONE+ OR APPROVED EQ. PRIME ALL END CUTS, AND INSTALL PER MANUFACTURERS INSTRUCTIONS.</li> </ul>

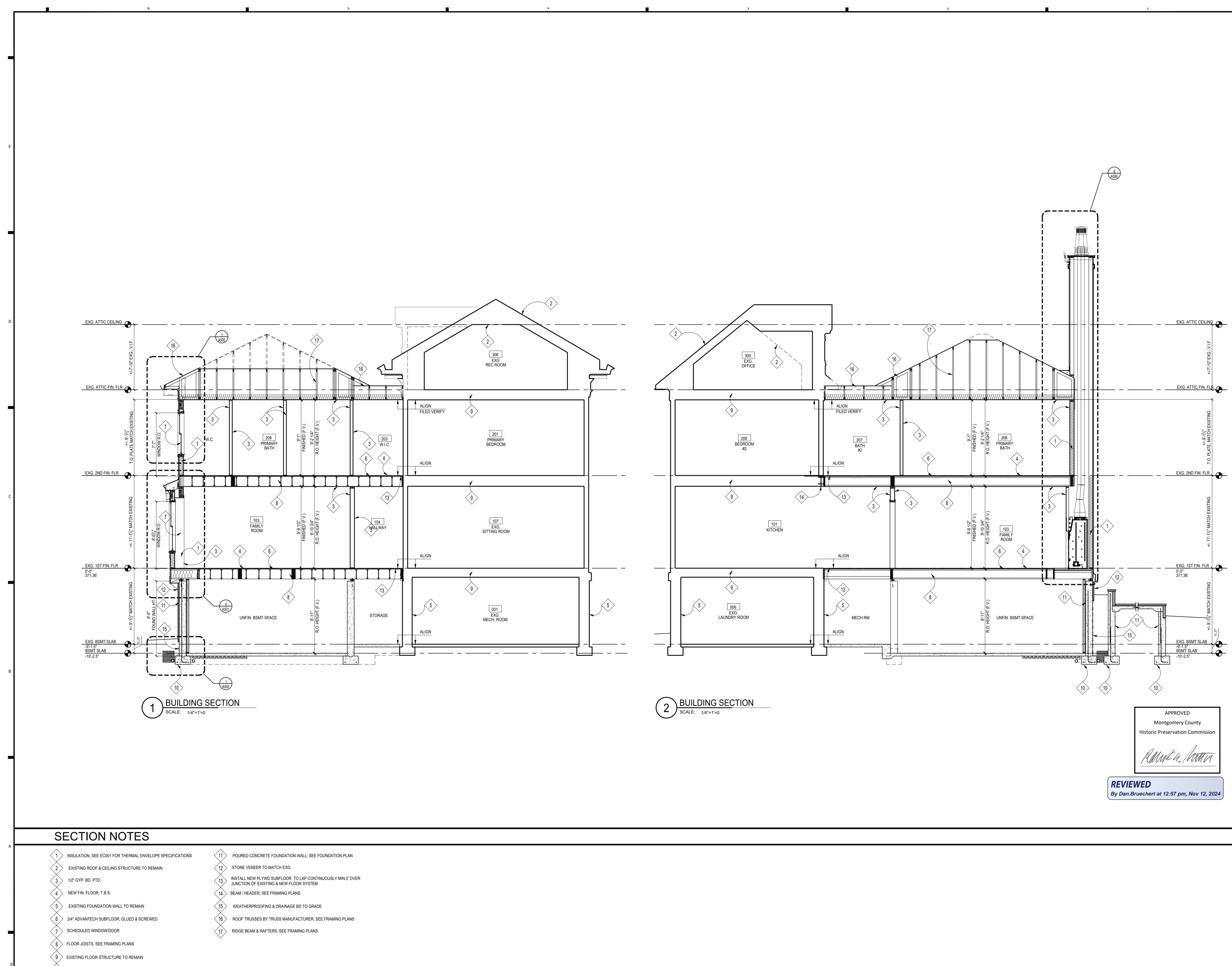
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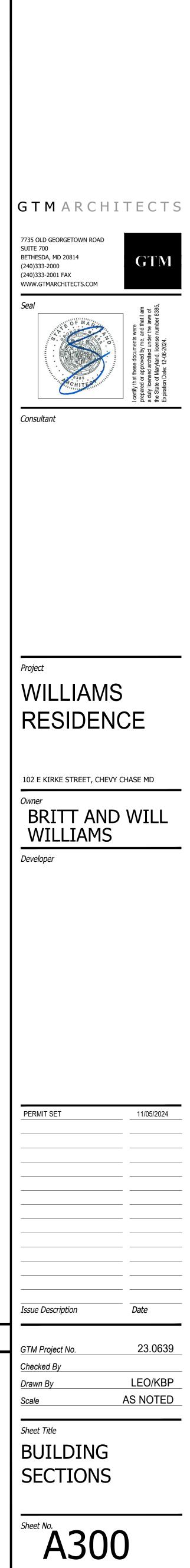


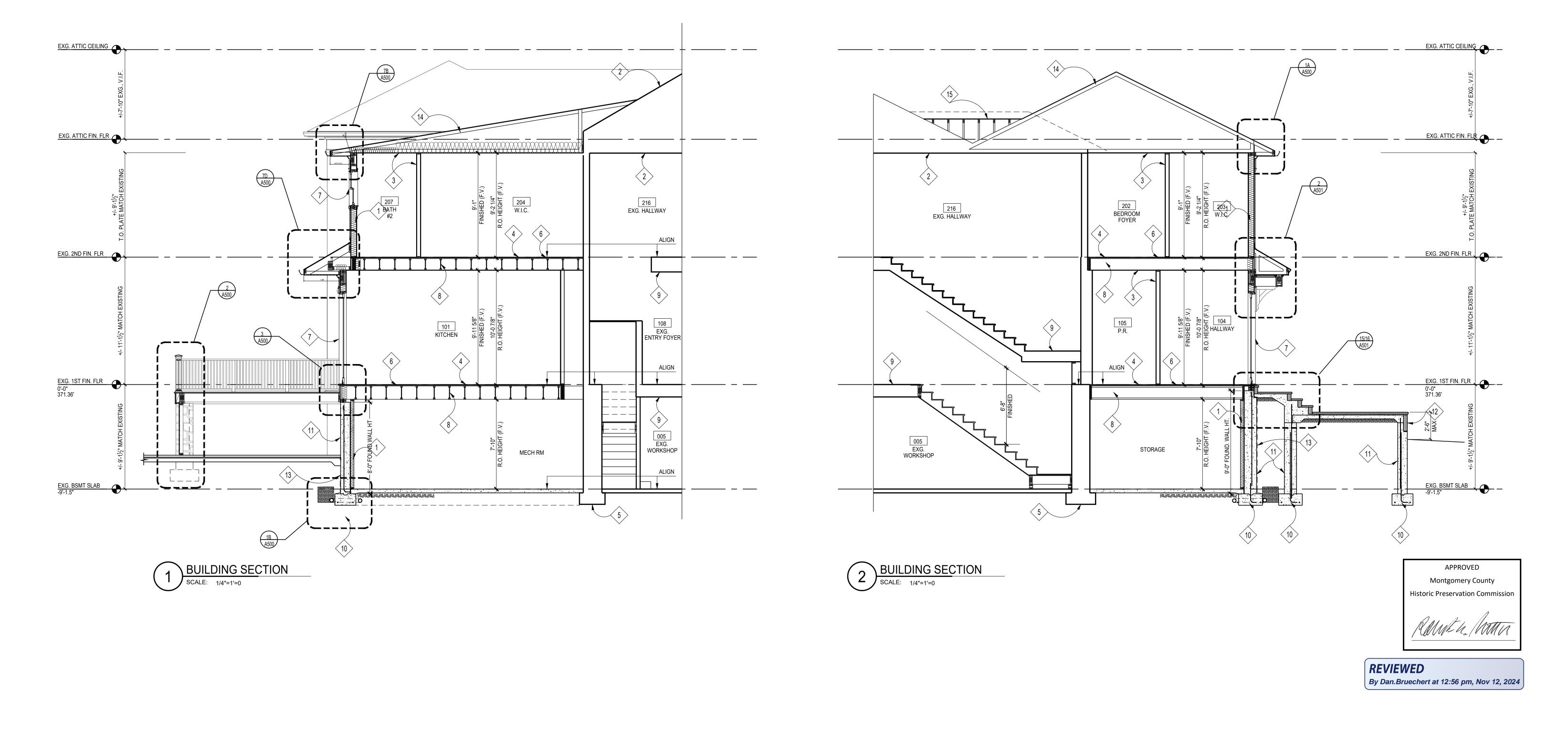
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10 FOOTING; SEE FOUNDATION PLAN





### SECTION NOTES

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- 1 INSULATION, SEE EC001 FOR THERMAL ENVELOPE SPECIFICATIONS
- 2 EXISTING ROOF & CEILING STRUCTURE TO REMAIN
- 3 1/2" GYP. BD, PTD.
- 4 NEW FIN. FLOOR, T.B.S.
- 5 EXISTING FOUNDATION WALL TO REMAIN
- 6 3/4" ADVANTECH SUBFLOOR; GLUED & SCREWED
- 7 SCHEDULED WINDOW/DOOR
- 8 FLOOR JOISTS, SEE FRAMING PLANS
- 9 EXISTING FLOOR STRUCTURE TO REMAIN
- 10 FOOTING; SEE FOUNDATION PLAN

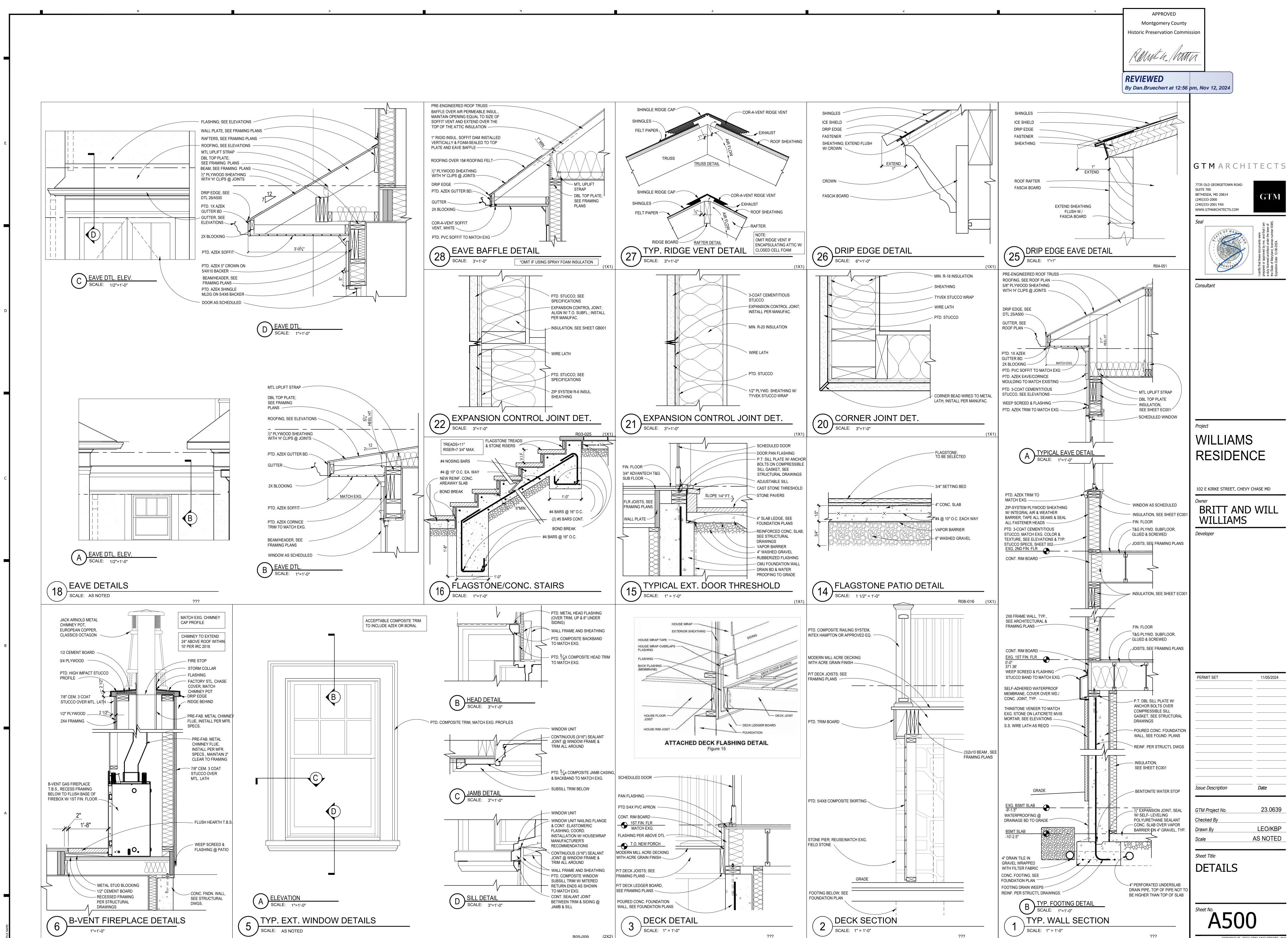
11POURED CONCRETE FOUNDATION WALL; SEE FOUNDATION PLAN12STONE VENEER TO MATCH EXG.

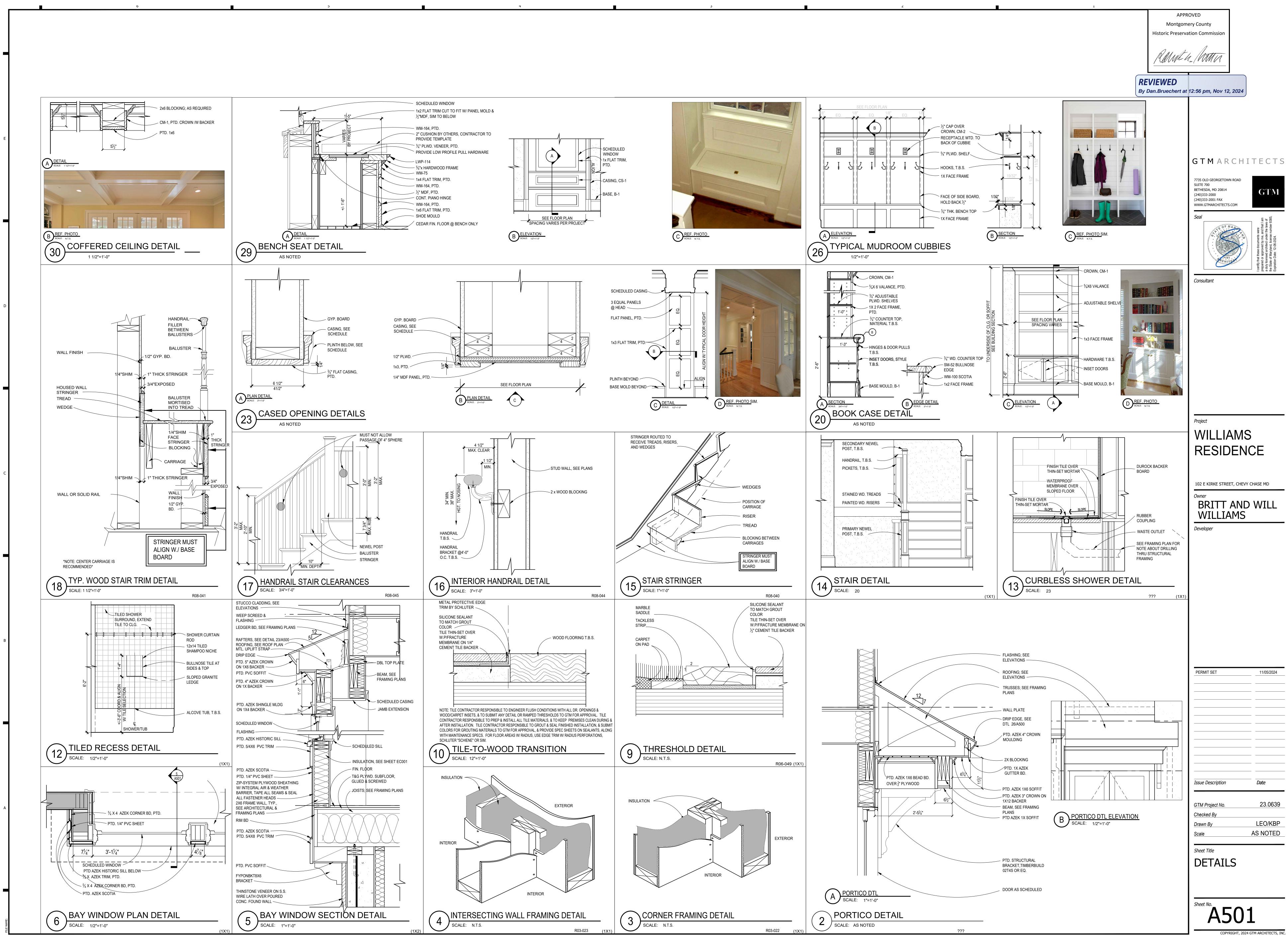
13 WEATHERPROOFING & DRAINAGE BD TO GRADE

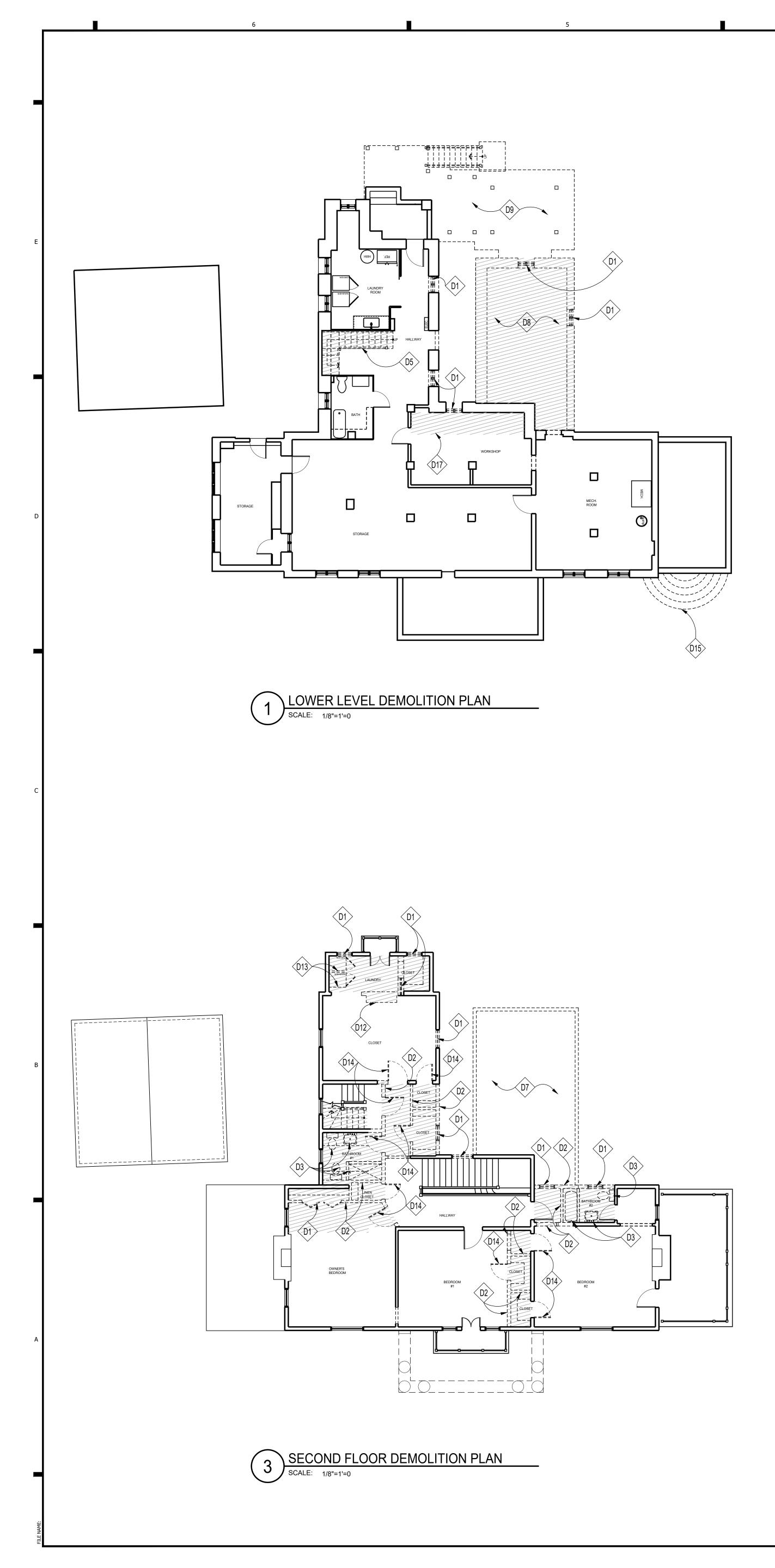
14 ROOF TRUSSES BY TRUSS MANUFACTURER; SEE FRAMING PLANS

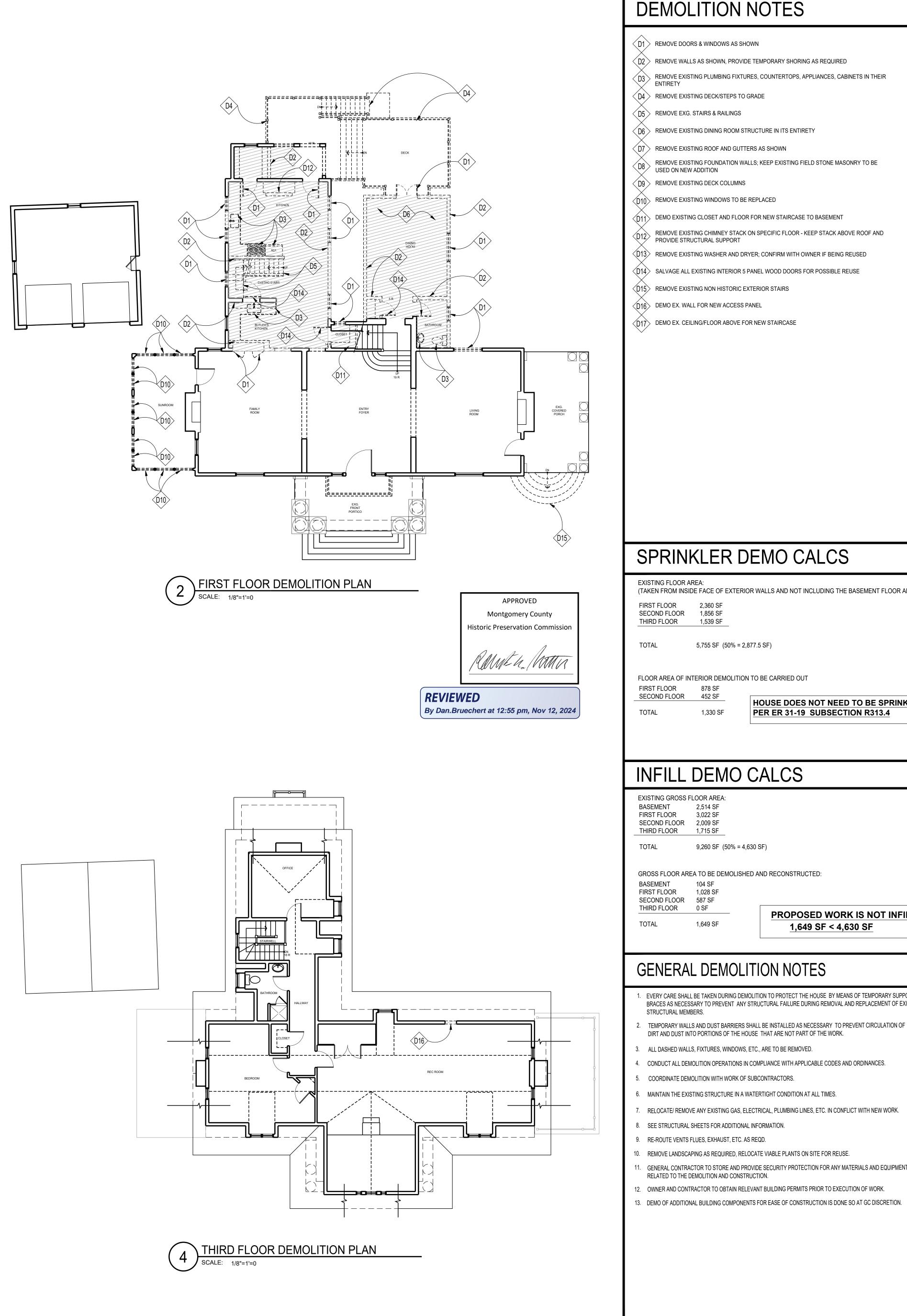
15 RIDGE BEAM & RAFTERS, SEE FRAMING PLANS

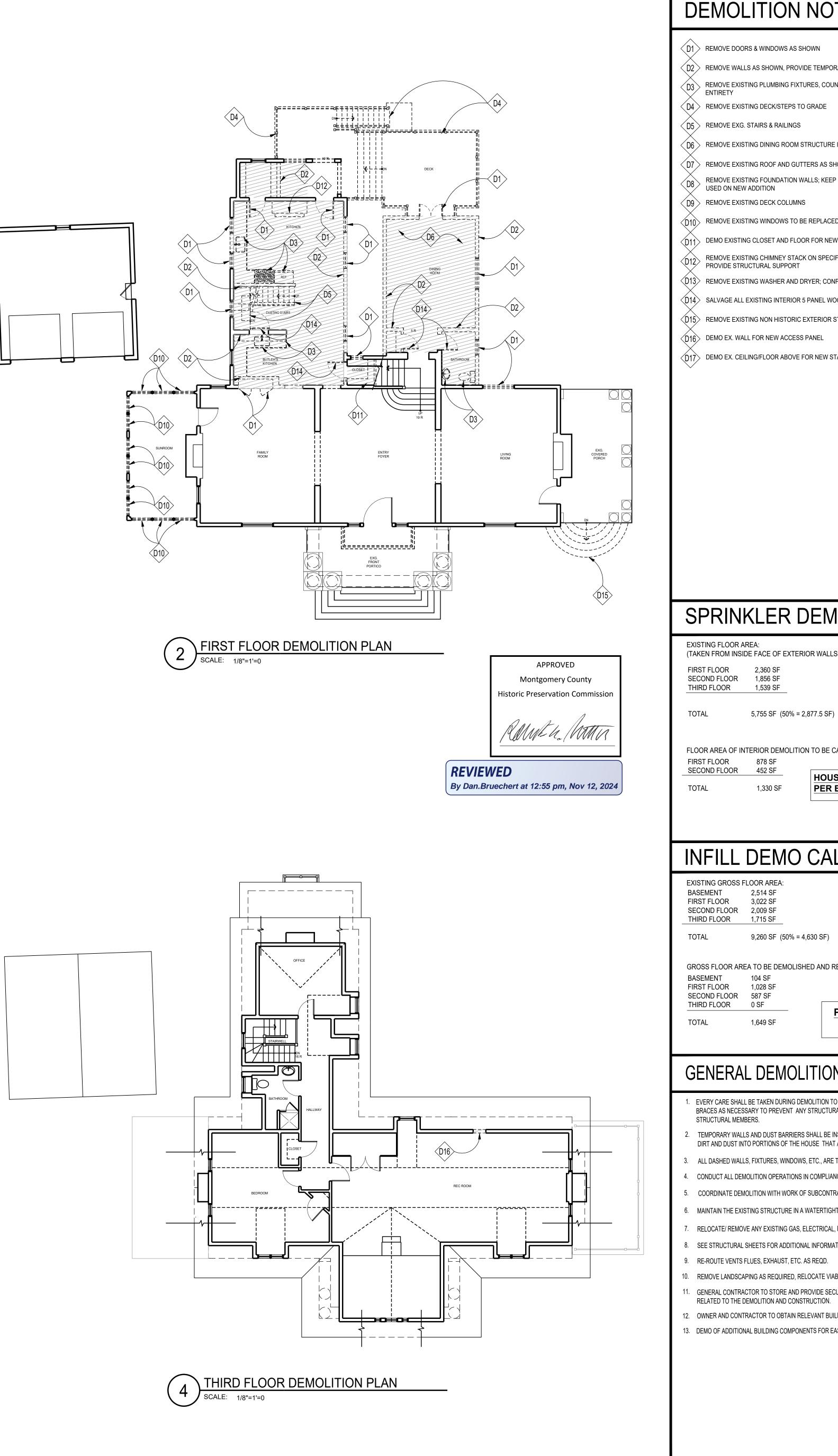
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## DEMOLITION NOTES

- D2 REMOVE WALLS AS SHOWN, PROVIDE TEMPORARY SHORING AS REQUIRED
- D3 REMOVE EXISTING PLUMBING FIXTURES, COUNTERTOPS, APPLIANCES, CABINETS IN THEIR
- (D6) REMOVE EXISTING DINING ROOM STRUCTURE IN ITS ENTIRETY
- $\langle D7 \rangle$  REMOVE EXISTING ROOF AND GUTTERS AS SHOWN
- REMOVE EXISTING FOUNDATION WALLS; KEEP EXISTING FIELD STONE MASONRY TO BE USED ON NEW ADDITION
- $\langle D11 \rangle$  DEMO EXISTING CLOSET AND FLOOR FOR NEW STAIRCASE TO BASEMENT
- REMOVE EXISTING CHIMNEY STACK ON SPECIFIC FLOOR KEEP STACK ABOVE ROOF AND

## SPRINKLER DEMO CALCS

(TAKEN FROM INSIDE FACE OF EXTERIOR WALLS AND NOT INCLUDING THE BASEMENT FLOOR AREA)

FLOOR AREA OF INTERIOR DEMOLITION TO BE CARRIED OUT

HOUSE DOES NOT NEED TO BE SPRINKLERED PER ER 31-19 SUBSECTION R313.4

## INFILL DEMO CALCS

GROSS FLOOR AREA TO BE DEMOLISHED AND RECONSTRUCTED:

PROPOSED WORK IS NOT INFILL

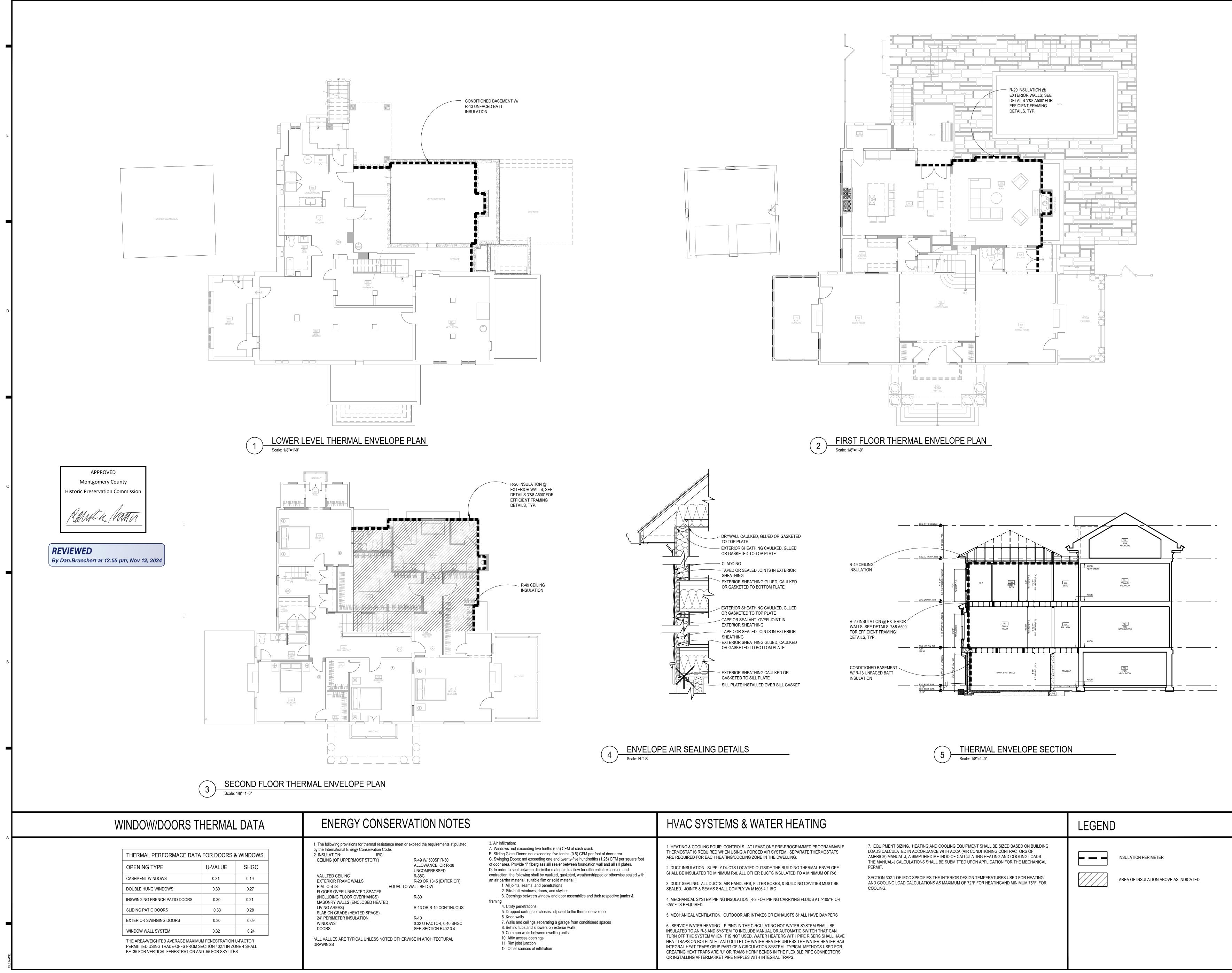
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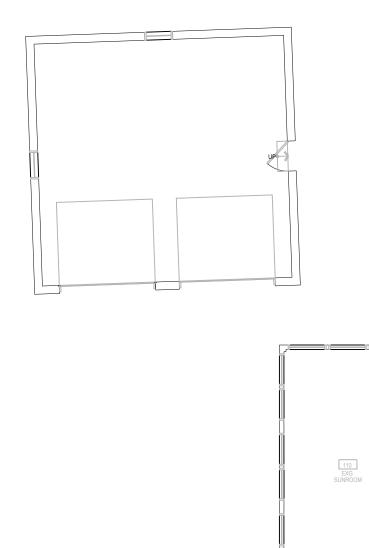
## GENERAL DEMOLITION NOTES

EVERY CARE SHALL BE TAKEN DURING DEMOLITION TO PROTECT THE HOUSE BY MEANS OF TEMPORARY SUPPORTS AND BRACES AS NECESSARY TO PREVENT ANY STRUCTURAL FAILURE DURING REMOVAL AND REPLACEMENT OF EXISTING

- DIRT AND DUST INTO PORTIONS OF THE HOUSE THAT ARE NOT PART OF THE WORK.
- 3. ALL DASHED WALLS, FIXTURES, WINDOWS, ETC., ARE TO BE REMOVED.
- 4. CONDUCT ALL DEMOLITION OPERATIONS IN COMPLIANCE WITH APPLICABLE CODES AND ORDINANCES.
- 5. COORDINATE DEMOLITION WITH WORK OF SUBCONTRACTORS.
- 6. MAINTAIN THE EXISTING STRUCTURE IN A WATERTIGHT CONDITION AT ALL TIMES.
- 7. RELOCATE/ REMOVE ANY EXISTING GAS, ELECTRICAL, PLUMBING LINES, ETC. IN CONFLICT WITH NEW WORK.
- 10. REMOVE LANDSCAPING AS REQUIRED, RELOCATE VIABLE PLANTS ON SITE FOR REUSE.
- 11. GENERAL CONTRACTOR TO STORE AND PROVIDE SECURITY PROTECTION FOR ANY MATERIALS AND EQUIPMENT

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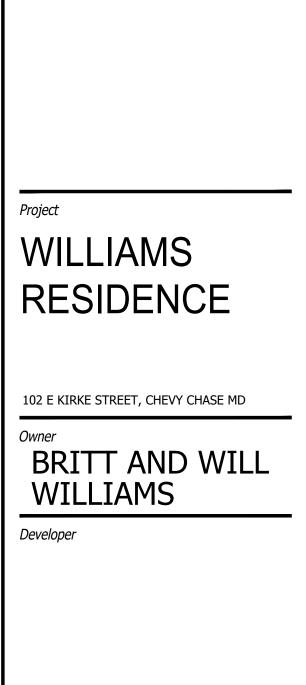
RVATION NOTES		HVAC SYSTEMS & WATER HEATIN
meet or exceed the requirements stipulated R-49 W/ 500SF R-30 ALLOWANCE, OR R-38 UNCOMPRESSED R-38C R-20 OR 13+5 (EXTERIOR) JAL TO WALL BELOW R-30 R-13 OR R-10 CONTINUOUS R-10 0.32 U FACTOR, 0.40 SHGC SEE SECTION R402.3.4	<ul> <li>3. Air Infiltration:</li> <li>A. Windows: not exceeding five tenths (0.5) CFM of sash crack.</li> <li>B. Sliding Glass Doors: not exceeding one and twenty-five hundredths (1.25) CFM per square foot of door area. Provide 1" fiberglass sill sealer between foundation wall and all sill plates.</li> <li>D. In order to seal between dissimilar materials to allow for differential expansion and contraction, the following shall be caulked, gasketed, weatherstripped or otherwise sealed with an air barrier material, suitable film or solid material: <ol> <li>All joints, seams, and penetrations</li> <li>Site-built windows, doors, and skylites</li> <li>Openings between window and door assemblies and their respective jambs &amp; framing</li> <li>Utility penetrations</li> <li>Dropped ceilings or chases adjacent to the thermal envelope</li> <li>Knee walls</li> <li>Common walls between dwelling units</li> <li>Attic access openings</li> <li>Rim joist junction</li> <li>Other sources of inflitration</li> </ol> </li> </ul>	<ol> <li>HEATING &amp; COOLING EQUIP. CONTROLS. AT LEAST ONE PRE-PROGRAMMED PRO THERMOSTAT IS REQUIRED WHEN USING A FORCED AIR SYSTEM. SEPARATE THER ARE REQUIRED FOR EACH HEATING/COOLING ZONE IN THE DWELLING.</li> <li>DUCT INSULATION. SUPPLY DUCTS LOCATED OUTSIDE THE BUILDING THERMAL E SHALL BE INSULATED TO MINIMUM R-8, ALL OTHER DUCTS INSULATED TO A MINIMU</li> <li>DUCT SEALING. ALL DUCTS, AIR HANDLERS, FILTER BOXES, &amp; BUILDING CAVITIES SEALED. JOINTS &amp; SEAMS SHALL COMPLY W/ M1606.4.1 IRC</li> <li>MECHANICAL SYSTEM PIPING INSULATION. R-3 FOR PIPING CARRYING FLUIDS AT &lt;55°F IS REQUIRED</li> <li>MECHANICAL VENTILATION. OUTDOOR AIR INTAKES OR EXHAUSTS SHALL HAVE IN 6. SERVICE WATER HEATING. PIPING IN THE CIRCULATING HOT WATER SYSTEM SH INSULATED TO AN R-3 AND SYSTEM TO INCLUDE MANUAL OR AUTOMATIC SWITCH T TURN OFF THE SYSTEM WHEN IT IS NOT USED, WATER HEATERS WITH PIPE RISERS HEAT TRAPS ON BOTH INLET AND OUTLET OF WATER HEATER UNLESS THE WATER INTEGRAL HEAT TRAPS OR IS PART OF A CIRCULATION SYSTEM. TYPICAL METHODS CREATING HEAT TRAPS ARE "U" OR "RAMS HORN" BENDS IN THE FLEXIBLE PIPE COL OR INSTALLING AFTERMARKET PIPE NIPPLES WITH INTEGRAL TRAPS.</li> </ol>



Issue Description	Date
GTM Project No.	23.0639
Checked By Drawn By	LEO/KBP
Scale	AS NOTED
Sheet Title	
THERMAL DIAGRAM	. ENVELOPE S
Sheet No.	001

11/05/2024

PERMIT SET





Consultant



23.0639 Williams Residence Project

Energy Code:	2018 IECC
Location:	Chevy Chase Village, Maryland
Construction Type:	Single-family
Project Type:	Addition
Project SubType:	None
Climate Zone:	4 (4470 HDD)
Permit Date:	
Permit Number:	
All Electric	false
Is Renewable	false
Has Charger	false
Has Battery:	false
Has Heat Pump:	false

#### Construction Site: 102 E Kirke Street Chevy Chase, MD 20815

#### Owner/Agent: Will and Britt Williams

Designer/Contractor: George Meyers

Compliance: Passes using UA trade-off

Compliance: 2.6% Better Than Code Maximum UA: 196 Your UA: 191 Maximum SHGC: 0.40 Your SHGC: 0.20 The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Raised or Energy Truss	755	49.0	0.0	0.020	0.026	15	20
Wall: Wood Frame, 16" o.c.	1,569	20.0	0.0	0.059	0.060	78	80
Door: Glass Door (over 50% glazing) SHGC: 0.09	88			0.300	0.320	26	28
Window: Metal Frame SHGC: 0.27	151			0.300	0.320	45	48
Floor: Slab-On-Grade (Unheated) Insulation depth: 2.0' Insulation position: Horizontal Insulation	61		10.0	0.700	0.700	0	0
Basement Wall: Solid Concrete or Masonry Wall height: 8.9' Depth below grade: 3.5' Insulation depth: 8.9'	347	13.0	0.0	0.077	0.059	27	20

#### Project Title: 23.0639 Williams Residence Data filename:

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Additional Comments/Assumptions:

Name - Title

& Req.ID       Value       Value       Value         402.1.1, 402.3.1, average).       Glazing U-factor (area-weighted average).       U       Complies Does Not       See the E bable for V Does Not         402.3.3, 402.5. [FR2] <sup>1</sup> U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.       U       Complies Does Not       Image: Complies Does Not         303.1.3       U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.       Image: Complies Does Not       Image: Complies Does Not         402.4.1.1       Air barrier and thermal barrier installed per manufacturer's instructions.       Image: Complies Image: Complies Ima	ents/Assumptions
402.1.1, 402.3.1, 402.3.3, 402.5 [FR2] <sup>1</sup> Glazing U-factor (area-weighted average).       U       U       Complies Does Not Not Observable Not Applicable       See the E table for V Not Observable Not Applicable         303.1.3 [FR4] <sup>1</sup> U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.       U       Complies Does Not Not Observable Not Observable Not Applicable       Image: Complies Not Observable Not Applicable         402.4.1.1 [FR23] <sup>1</sup> Air barrier and thermal barrier installed per manufacturer's instructions.       Image: Complies Not Observable Not Observable Not Observable Does Not       Image: Complies Not Observable Does Not         402.4.3 [FR20] <sup>1</sup> Fenestration that is not site built is listed and labeled as meeting AMAA (MDMAA (MDMA	
[FR4] <sup>1</sup> are determined in accordance with the NFRC test procedure or taken from the default table.       Does Not         402.4.1.1       Air barrier and thermal barrier installed per manufacturer's instructions.       Complies         0       Not Observable       Not Observable         402.4.3       Fenestration that is not site built [FR20] <sup>1</sup> Fenestration that is not site built [FR20] <sup>1</sup> Complies	
402.4.1.1       Air barrier and thermal barrier         [FR23] <sup>1</sup> Air barrier and thermal barrier         Image: Second state of the second	
[FR20] <sup>1</sup> is listed and labeled as meeting Does Not	
Or has infiltration rates per NFRC     400 that do not exceed code     limits.	
402.4.5       IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.       □Complies         □Does Not       □Not Observable         □Not Applicable	
403.3.1       Supply and return ducts in attics insulated >= R-8 where duct is >= 3 inches in diameter and >= R-6 where < 3 inches. Supply and return ducts in other portions of the building insulated >= R-6 for diameter >= 3 inches and R-4.2 for < 3 inches in diameter.	
403.3.2       Ducts, air handlers and filter       □Complies         [FR13] <sup>1</sup> boxes are sealed with       □Does Not         ioints/seams compliant with       □Not Observable         International Mechanical Code or       □Not Applicable         applicable.       □Not Applicable	
403.3.5       Building cavities are not used as          □Complies         □Does Not         □Not Observable         □Not Applicable         □N	
403.4 $[FR17]^2$ HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to $\geq R$ -R $\square$ Complies $\square$ Does Not $\square$ Not Observable $\square$ Not Applicable	
403.4.1       Protection of insulation on HVAC       Complies         [FR24] <sup>1</sup> piping.       Does Not         Image: Second structure       Not Observable         Image: Second structure       Not Applicable	
403.5.3       Hot water pipes are insulated to       R       R       □Complies         [FR18] <sup>2</sup> ≥R-3.       □Does Not       □Not Observable         Image: Not Applicable       Image: Not Applicable	
403.6       Automatic or gravity dampers are          □Complies         □Does Not         □Not Observable         □Not Applicable         □Not	
1High Impact (Tier 1)2Medium Impact (Tier 2)3Low Impact (Tier 3)	٦

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Section Plans Verified Field Verified Complies? Comments/Assumptions # Final Inspection Provisions Value Value & Req.ID 403.10.3 Outdoor heated pools and Complies [FI20]<sup>3</sup> outdoor permanent spas have a 🗆 Does Not vapor retardant cover. Not Observable □Not Applicable 404.190% or more of permanent<br/>fixtures have high efficacy lamps. Complies Does Not □Not Observable Not Applicable 404.1.1 Fuel gas lighting systems have [FI23]<sup>3</sup> no continuous pilot light. Complies Does Not □Not Observable □Not Applicable Complies 401.3 Compliance certificate posted. Does Not □Not Observable □Not Applicable Complies 303.3 Manufacturer manuals for [FI18]<sup>3</sup> mechanical and water heating Does Not systems have been provided. Not Observable □Not Applicable Additional Comments/Assumptions:



#### Name: \_ Comments

#### Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Data

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Signature



#### REScheck Software Version : REScheck-Web **Inspection Checklist** Energy Code: 2018 IECC

Requirements: 0.0% were addressed directly in the RES*check* software Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 [PR1] <sup>1</sup> ©	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			□Complies □Does Not □Not Observable □Not Applicable	
103.1, 103.2, 403.7 [PR3] <sup>1</sup> ©	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			□Complies □Does Not □Not Observable □Not Applicable	
302.1, 403.7 [PR2] <sup>2</sup> ම	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr Cooling: Btu/hr	Heating: Btu/hr Cooling: Btu/hr	□Complies □Does Not □Not Observable □Not Applicable	

Additional Comments/Assumptions:

Project Title: 23.0639 Williams Residence	
Data filename:	

Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] <sup>2</sup> ③	All installed insulation is labeled or the installed R-values provided.			□Complies □Does Not □Not Observable □Not Applicable	
402.1.1, 402.2.5, 402.2.6 [IN3] <sup>1</sup> <sup>(2)</sup>	Wall insulation R-value. If this is a mass wall with at least ½ of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R Wood Mass Steel	R Wood Mass Steel	□Complies □Does Not □Not Observable □Not Applicable	See the Envelope Assemblies table for values.
303.2 [IN4] <sup>1</sup>	Wall insulation is installed per manufacturer's instructions.			□Complies □Does Not □Not Observable □Not Applicable	

 
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 Project Title: 23.0639 Williams Residence Data filename:

Section #	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
& Req.ID 402.1.1, 402.2.1, 402.2.2, 402.2.6 [FI1] <sup>1</sup>	Ceiling insulation R-value.	R    Wood    Steel	R Wood Steel	Complies Does Not Not Observable Not Applicable	<i>See the Envelope Assemblies table for values.</i>
303.1.1.1, 303.2 [FI2] <sup>1</sup>	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft <sup>2</sup> .			Complies Does Not Not Observable Not Applicable	
402.2.3 [FI22] <sup>2</sup>	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			Complies Does Not Not Observable Not Applicable	
402.2.4 [FI3] <sup>1</sup>	Attic access hatch and door insulation $\geq$ R-value of the adjacent assembly.	R	R	□Complies □Does Not □Not Observable □Not Applicable	
402.4.1.2 [FI17] <sup>1</sup>	Blower door test @ 50 Pa. <=5 ach in Climate Zones 1-2, and <=3 ach in Climate Zones 3-8.	ACH 50 =	ACH 50 =	Complies Does Not Not Observable	
403.3.3 [FI27] <sup>1</sup>	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	cfm/100 ft <sup>2</sup>	cfm/100	□Complies □Does Not □Not Observable □Not Applicable	
403.3.4 [FI4] <sup>1</sup>	Duct tightness test result of <=4 cfm/100 ft2 across the system or <=3 cfm/100 ft2 without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	cfm/100 ft <sup>2</sup>	cfm/100 ft <sup>2</sup>	□Complies □Does Not □Not Observable □Not Applicable	
403.3.2.1 [FI24] <sup>1</sup>	Air handler leakage designated by manufacturer at <=2% of design air flow.			□Complies □Does Not □Not Observable □Not Applicable	
403.1.1 [FI9] <sup>2</sup>	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			□Complies □Does Not □Not Observable □Not Applicable	
403.1.2 [FI10] <sup>2</sup>	Heat pump thermostat installed on heat pumps.			□Complies □Does Not □Not Observable □Not Applicable	
403.5.1 [FI11] <sup>2</sup>	Circulating service hot water systems have automatic or accessible manual controls.			Complies Does Not Not Observable Not Applicable	

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 High Impact (Tier 1)
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 Medium Impact (Tier 2)
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 Low Impact (Tier 3)

 Project Title: 23.0639 Williams Residence Report date: 11/04/24

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## 2018 IECC Energy Efficiency Certificate

ion Rating	<b>R-Value</b>	
e-Grade Wall	20.00	
/-Grade Wall	13.00	
	10.00	
g / Roof	49.00	
vork (unconditioned spaces):		
Door Rating	<b>U-Factor</b>	SHGC
w	0.30	0.27
	0.30	0.09
g & Cooling Equipment	Efficiency	
ng System:		
ng System:		
r Heater:		
	Date:	
nts		

I High impact (Tier I) 2 Medium impact (Tier 2) 3 Low impact (Tier 3) Project Title: 23.0639 Williams Residence Data filename:

Section # & Req.ID	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.2 [FO1] <sup>1</sup> ම	Slab edge insulation R-value.	R Unheated Heated	R Unheated Heated	□Complies □Does Not □Not Observable □Not Applicable	<i>See the Envelope Assemblies table for values.</i>
402.1.2 [FO3] <sup>1</sup>	Slab edge insulation depth/length.	ft	ft	□Complies □Does Not □Not Observable □Not Applicable	See the Envelope Assemblies table for values.
402.1.1 [FO4] <sup>1</sup> ©	Conditioned basement wall insulation R-value. Where interior insulation is used, verification may need to occur during Insulation Inspection. Not required in warm-humid locations in Climate Zone 3.	R R	R R	□Complies □Does Not □Not Observable □Not Applicable	See the Envelope Assemblies table for values.
303.2 [FO5] <sup>1</sup> @	Conditioned basement wall insulation installed per manufacturer's instructions.			□Complies □Does Not □Not Observable □Not Applicable	
402.2.9 [FO6] <sup>1</sup> ම	Conditioned basement wall insulation depth of burial or distance from top of wall.	ft	ft	□Complies □Does Not □Not Observable □Not Applicable	See the Envelope Assemblies table for values.
303.2.1 [FO11] <sup>2</sup> @	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.			□Complies □Does Not □Not Observable □Not Applicable	
403.9 [FO12] <sup>2</sup>	Snow- and ice-melting system controls installed.			□Complies □Does Not □Not Observable □Not Applicable	

Additional Comments/Assumptions:

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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [FI25] <sup>2</sup>	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits per Table R403.6.1.			□Complies □Does Not □Not Observable □Not Applicable	
403.2 [FI26] <sup>2</sup>	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			□Complies □Does Not □Not Observable □Not Applicable	
403.5.1.1 [FI28] <sup>2</sup>	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermos- syphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			□Complies □Does Not □Not Observable □Not Applicable	
403.5.1.2 [FI29] <sup>2</sup>	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			□Complies □Does Not □Not Observable □Not Applicable	
403.5.2 [FI30] <sup>2</sup>	Demand recirculation water systems have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to $\leq 104^{\circ}F$ .			□Complies □Does Not □Not Observable □Not Applicable	
403.5.4 [FI31] <sup>2</sup>	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water- side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			□Complies □Does Not □Not Observable □Not Applicable	
403.10.1 [FI12] <sup>3</sup>	Readily accessible switch on heaters for swimming pools or permanent in-ground spas. Switch operation does not change heater thermostat setting. Heater circuit breaker is installed independent of switch. Gas-fired heaters equipped with ignition pilots that are not continuously burning pilots.			□Complies □Does Not □Not Observable □Not Applicable	
403.10.2 [FI19] <sup>3</sup>	Timer switches or other automatic preset schedule control method are installed on heaters and pumps serving pools			Complies Does Not Not Observable	

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 High Impact (Tier 1)
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 Project Title: 23.0639 Williams Residence Report date: 11/04/24 Page 9 of 10 Data filename:

□Not Applicable

and permanent

APPROVED Montgomery County Historic Preservation Commission RAME L. MAAR REVIEWED By Dan.Bruechert at 12:55 pm, Nov 12, 2024

GTMARCHI	ТЕСТЅ
7735 OLD GEORGETOWN ROAD SUITE 700 BETHESDA, MD 20814 (240)333-2000 (240)333-2001 FAX WWW.GTMARCHITECTS.COM	GTM
Seal	I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 8385, Expiration Date: 12-06-2024.
Project	
WILLIAMS RESIDENCE	
102 E KIRKE STREET, CHEVY CHASE MD Owner BRITT AND WILL MULLIAMS Developer	
PERMIT SET	11/05/2024
Issue Description	Date
GTM Project No. Checked By	23.0639
Drawn By Scale	LEO/KBP AS NOTED
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EC002