



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
County Executive

Robert Sutton  
Chairman

Date: November 13, 2024

### MEMORANDUM

TO: Rabbiah Sabbakhan  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1067931 - Partial Demolition, Building Addition, Accessory Structure demolition and Construction, Hardscape Alteration, and Tree Removal

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the May 22, 2024 HPC meeting, with revisions approved at the July 10, 2024 and September 4, 2024 HPC meetings.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Britt & Will Williams  
Address: 102 E. Kirke St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.







\* BASED ON ANDERSON SERIES ALUMINUM CLAD WOOD PATIO DOORS & TRUSTILE INTERIOR DOORS; CONFIRM MANUFAC. & STYLE W/ OWNER

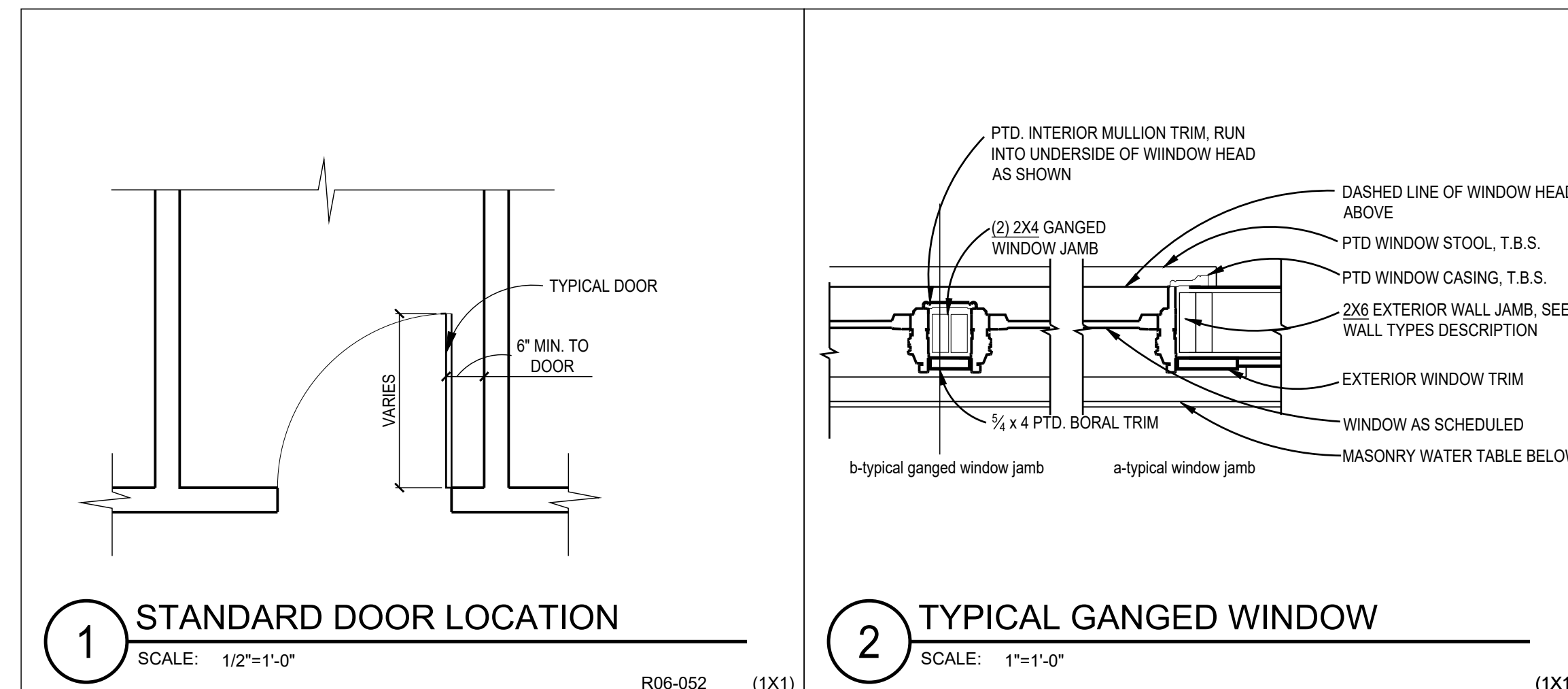
DOOR SCHEDULE											
* INTERIOR DOOR HEIGHTS ARE NOMINAL, UNDERSIDE OF DOOR FRAME SHOULD ALIGN WITH UNDERSIDE OF TYPICAL CASED OPENING ON THAT FLOOR											
* REUSE EXISTING SALVAGED 5 PANEL WOOD DOORS WHERE ABLE TO											
DOOR				FRAME				HARDWARE	REMARKS		
NO.	SIZE	MATERIAL	MANUF.	MAT.	FIN.	HEAD	JAMB				
FIRST FLOOR											
1	3 <sup>0</sup> x 8 <sup>0</sup> x1 3/4"	SOLID CORE	TBD							H-4	
2	3 <sup>0</sup> x 8 <sup>0</sup> x1 3/4"	SOLID CORE	TBD							H-4	
3	3 <sup>0</sup> x 8 <sup>0</sup> x1 3/4"	SOLID CORE	TBD							H-6	POCKET DOOR
4	2 <sup>6</sup> x 8 <sup>0</sup> x1 3/4"	SOLID CORE	TBD							H-3	
5	2 <sup>6</sup> x 8 <sup>0</sup> x1 3/4"	WOOD CLAD & GLASS	TBD							H-2	EXTERIOR DOORS TO PATIO
6	3 <sup>0</sup> x 8 <sup>0</sup> x1 3/4"	WOOD CLAD & GLASS	TBD							H-2	EXTERIOR DOORS TO PATIO
7	2 <sup>6</sup> x 8 <sup>0</sup> x1 3/4"	SOLID CORE	TBD							H-4	
8	2 <sup>4</sup> x 8 <sup>0</sup> x1 3/4"		TBD							H-4	
SECOND FLOOR											
9	1 <sup>8</sup> x 6 <sup>5</sup> x1 3/4"	SOLID CORE	TBD							H-5	
10	1 <sup>8</sup> x 6 <sup>5</sup> x1 3/4"	SOLID CORE	TBD							H-5	
11	1 <sup>8</sup> x 6 <sup>5</sup> x1 3/4"	SOLID CORE	TBD							H-5	
12	2 <sup>6</sup> x 6 <sup>5</sup> x1 3/4"	SOLID CORE	TBD							H-3	
13	2 <sup>6</sup> x 6 <sup>5</sup> x1 3/4"	SOLID CORE	TBD							H-3	
14	2 <sup>6</sup> x 6 <sup>5</sup> x1 3/4"	SOLID CORE	TBD							H-3	
15	2 <sup>6</sup> x 6 <sup>5</sup> x1 3/4"	SOLID CORE	TBD							H-4	
16	2 <sup>6</sup> x 6 <sup>5</sup> x1 3/4"	SOLID CORE	TBD							H-4	
17	3 <sup>0</sup> x 6 <sup>5</sup> x1 3/4"	SOLID CORE	TBD							H-4	
18	3 <sup>0</sup> x 6 <sup>5</sup> x1 3/4"	SOLID CORE	TBD							H-4	
19	1 <sup>8</sup> x 6 <sup>5</sup> x1 3/4"	SOLID CORE	TBD							H-3	
20	2 <sup>6</sup> x 6 <sup>5</sup> x1 3/4"	SOLID CORE	TBD							H-3	
21	2 <sup>4</sup> x 6 <sup>5</sup> x1 3/4"	GLASS	TBD								GLASS SHOWER DOOR
22	2 <sup>6</sup> x 6 <sup>5</sup> x1 3/4"	SOLID CORE	TBD							H-3	
23	2 <sup>6</sup> x 6 <sup>5</sup> x1 3/4"	SOLID CORE	TBD							H-3	

HARDWARE SCHEDULE		(CONFIRM W/ OWNER PRIOR TO ORDERING)
NOTE: ALL HARDWARE TO BE SCHLAGE F-SERIES OR APPROVED EQUAL, (EXCEPT PATIO DOORS, WHICH ARE TO HAVE STANDARD HARDWARE BY DOOR MANUF.)		
H-1	SINGLE CYLINDER ENTRANCE LOCK, DEADBOLT, KEYED ONE SIDE & THUMBBLATCH ON OTHER- BY BALDWIN OR EQ.	
H-2	STANDARD LOCKSET BY DOOR MANUF.; FINISH PER OWNER	
H-3	BATHBEDROOM PRIVACY LOCK	
H-4	PASSAGE SET	
H-5	BALL CATCHES & DUMMY KNOBS	
H-6	POCKET DOOR HARDWARE	

WINDOW SCHEDULE						
* BASED ON ANDERSON CLAD-WOOD WINDOWS; CONFIRM W/ OWNER						
* CONTACT WINDOW INSTALLER FOR ROUGH OPENING DIMENSIONS						
#	TYPE	NO.	MANUFACTURER	CAT. NO.	FRAME SIZE	REMARKS
1	DOUBLE HUNG	5	ANDERSON 400 SERIES	TW210510	Z-11 5/8" X 6'-7/8"	DOUBLE-PANE LOW-E SEE ELEVS. FOR GRILLE PATTERN, EGRESS
2	DOUBLE HUNG	2	ANDERSON 400 SERIES	TW2842	Z-9 5/8" X 4'-4 7/8"	DOUBLE-PANE LOW-E SEE ELEVS. FOR GRILLE PATTERN, EGRESS
3	DOUBLE HUNG	2	ANDERSON 400 SERIES	TW2442	Z-5 5/8" X 4'-4 7/8"	DOUBLE-PANE LOW-E SEE ELEVS. FOR GRILLE PATTERN
4	DOUBLE HUNG	2	ANDERSON 400 SERIES	TW2410	Z-5 5/8" X 5'-7/8"	DOUBLE-PANE LOW-E SEE ELEVS. FOR GRILLE PATTERN
5	DOUBLE HUNG	1	ANDERSON 400 SERIES	TW24210	Z-5 5/8" X 3'-7/8"	DOUBLE-PANE LOW-E SEE ELEVS. FOR GRILLE PATTERN
6	CASEMENT	6	ANDERSON 400 SERIES	T.B.S.	V.I.F.	REPLACE EXISTING WINDOWS
7	CASEMENT	6	ANDERSON 400 SERIES	T.B.S.	V.I.F.	REPLACE EXISTING WINDOWS

GENERAL WINDOW NOTES:

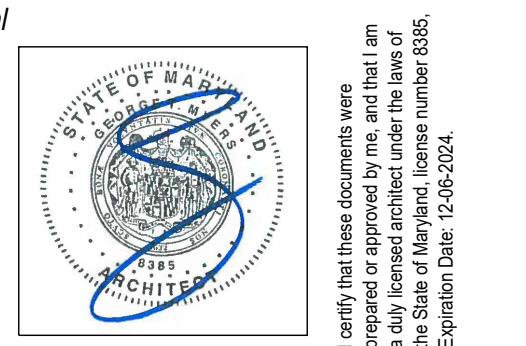
- ALL WINDOWS TO HAVE SCREENS (CONFIRM SCREEN FRAME COLOR W/ OWNER)
- ALL WINDOWS TO BE ALUMINUM CLAD WOOD EXTERIOR, PRE-PRIMED WOOD INTERIOR.
- CONFIRM HARDWARE FINISH W/ OWNER PRIOR TO ORDER.
- ALL GLAZING TO BE DOUBLE PANELED, LOW E, CLEAR INSULATED.
- CONFIRM OVERALL WINDOW SCHEDULE W/ ARCHITECT PRIOR TO ORDER.
- ALL WINDOWS & GLASS DOORS TO BE SIMULATED DIVIDED LITE, 7/8" MUNTIN. SEE ELEVATIONS FOR MUNTIN CONFIGURATIONS.
- CONFIRM JAMB LINER COLOR W/ OWNER.
- PROVIDE EGRESS HARDWARE IN EGRESS WINDOWS AS REQUIRED.
- SEE ELEVATIONS FOR TYPICAL HEAD HEIGHTS ABOVE SUBFLOOR.
- PROVIDE SAFETY GLASS AT ENTRIES, STAIRS, OVER BATHTUBS & ELSEWHERE AS REQUIRED BY CODE.
- IN ACCORDANCE WITH IRC 2018, ALL WINDOWS HAVING AN OPENING LESS THAN 24" ABOVE THE FLOOR AND THAT ARE LOCATED SUCH THAT THE DIMENSION FROM THE BOTTOM OF THE OPENING TO THE EXTERIOR SURFACE BELOW EXCEEDS 7', SHALL EITHER HAVE A STOP TO LIMIT THE OPENING TO LESS THAN 4" OR SHALL HAVE GUARDS INSTALLED THAT WOULD PREVENT THE PASSAGE OF A 4" SPHERE. IN THE CASE OF AN EGRESS WINDOW, THE GUARD MUST BE REMOVABLE WITHOUT SPECIAL KNOWLEDGE OR TOOLS. GUARD SHALL BE EQUAL TO THOSE MANUFACTURED BY THE GUARDIAN ANGEL CO.
- CONTRACTOR TO CONFIRM ALL ROUGH OPENING DIMENSIONS W/ WINDOW MANUFAC. PRIOR TO FRAMING.
- GANGED WINDOWS SHALL HAVE (2) 2X SPACERS BETWEEN, UNLESS SHOWN OTHERWISE.



APPROVED  
Montgomery County  
Historic Preservation Commission

REVIEWED  
By Dan.Bruechert at 1:17 pm, Nov 12, 2024

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Consultant

Project  
**WILLIAMS  
RESIDENCE**

102 E KIRKE STREET, CHEVY CHASE MD

Owner  
**BRITT AND WILL  
WILLIAMS**

Developer

PERMIT SET 11/05/2024

Issue Description	Date

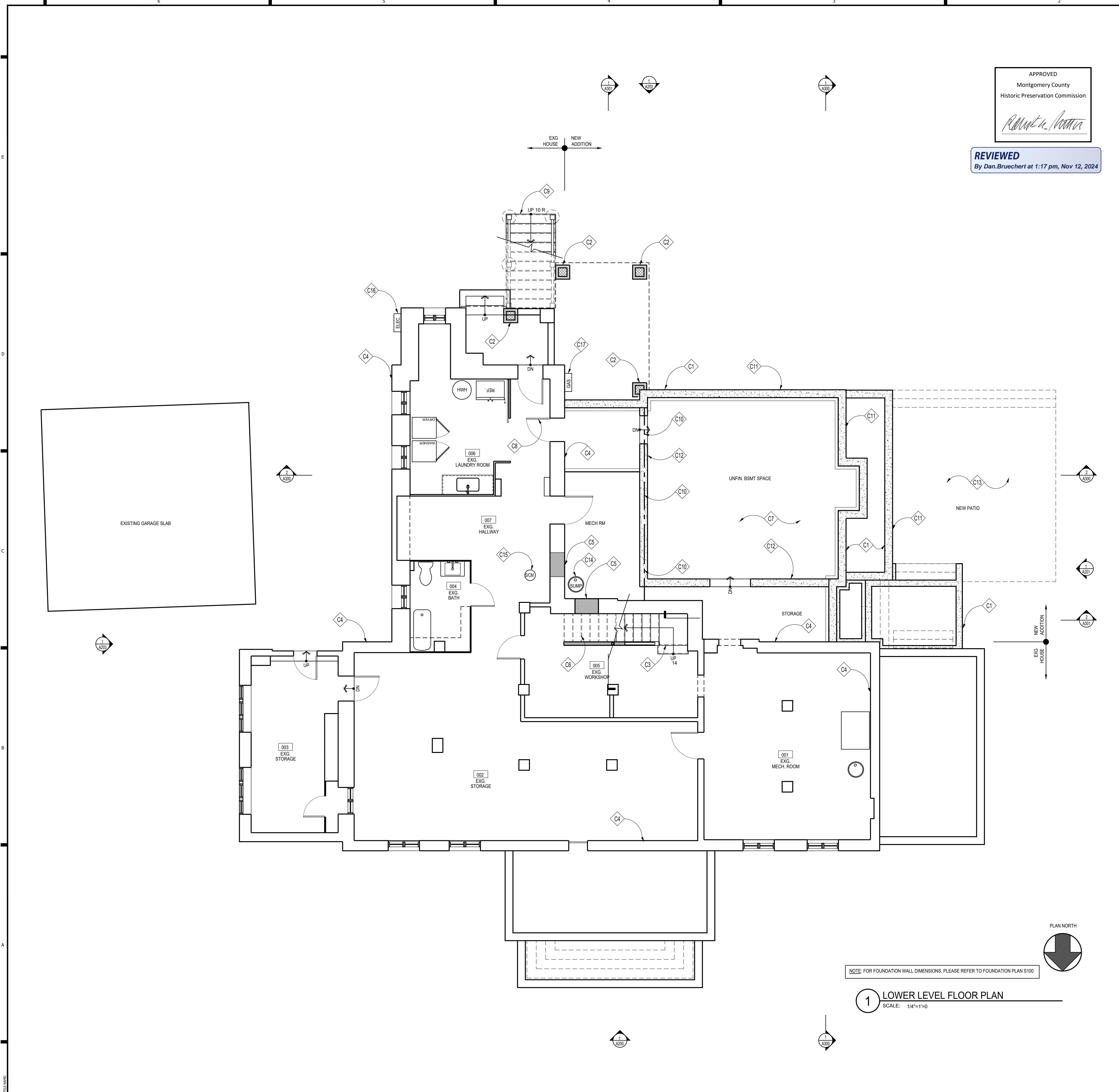
GTM Project No.	23.0639
Checked By	
Drawn By	LEO/KBP
Scale	AS NOTED

Sheet Title

**DOOR AND WINDOW  
SCHEDULE**

Sheet No. **003**

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Montgomery County  
Historic Preservation Commission

*R. Bruechert*

**REVIEWED**  
By *Da. Bruechert* at 1:17 pm, Nov 12, 2024

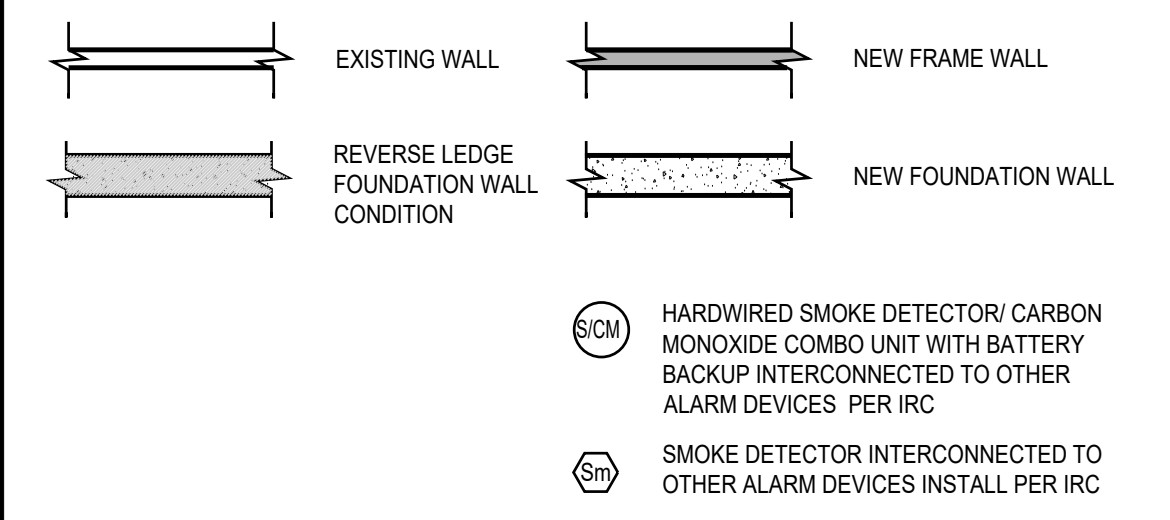
NOTE: FOR FOUNDATION WALL DIMENSIONS, PLEASE REFER TO FOUNDATION PLAN S100

**1 LOWER LEVEL FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**CONSTRUCTION NOTES**

- C1 NEW POURED CONCRETE FOUNDATION WALL. SEE FOUNDATION PLAN
- C2 NEW STONE MASONRY COLUMNS - USE EXISTING FIELD STONE IF POSSIBLE
- C3 STAIRCASE & RAILING, PTD, RISERS & TREADS TO MATCH H.W.F. T.B.S., SEE DETAILS. FOLLOW IRC 2018 R311.7, RAILING T.B.S., SEE DETAILS 15, 6, 17 & 18/A501
- C4 EXISTING FOUNDATION WALLS TO REMAIN, SEE FOUNDATION PLAN
- C5 MASONRY INFILL, SEE STRUCTURAL DRAWINGS
- C6 DASHED LINE OF STEPS ABOVE
- C7 REINF. CONC. SLAB ON GRADE, SEE FOUNDATION PLANS, FLOOR FINISH T.B.S. BY OWNER
- C8 ACCESS PANEL PER IRC 2018
- C9 FT. WOOD STEPS/RISERS TO GRADE, VERIFY RISE & RUN IN FIELD, SEE DETAIL S/A501, TYP. & FOLLOW IRC 2018 R311.7
- C10 DASHED LINE INDICATES STRUCTURAL BEAM ABOVE, SEE FOUNDATION & FRAMING PLANS
- C11 PROVIDE NEW STONE VENEER TO MATCH EXG.
- C12 NEW 10" CONCRETE WALL, SEE STRUCTURAL DRAWINGS
- C13 NEW FLAGSTONE STAIRS AND PATIO ABOVE, COORDINATE WITH POOL/LANDSCAPE DESIGNER
- C14 NEW SUMP PUMP, VERIFY LOCATION IN FIELD
- C15 CONFIRM EXISTING/PROVIDE NEW HARDWIRED SMOKE/CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP PER IRC 2018
- C16 NEW LOCATION FOR ELECTRICAL METER - CONFIRM IN FIELD
- C17 NEW LOCATION FOR GAS METER - FINAL LOCATION TO BE VERIFIED IN FIELD BY GC TO BE IN COMPLIANCE WITH UTILITY CLEARANCE REQUIREMENTS

**KEY**



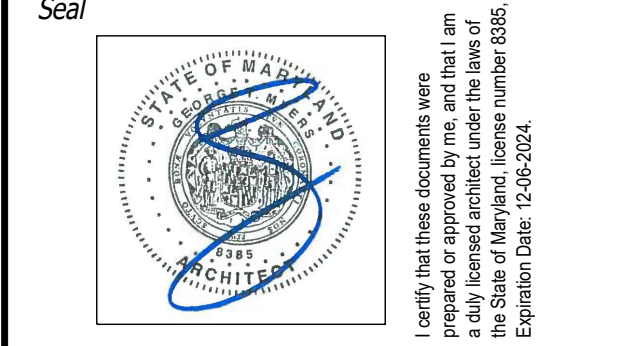
**WALL TYPES**

TYPICAL NEW EXTERIOR WALL: 10" CONC. WALL (W/ WATERPROOFING, DRAINAGE BD & 3-COAT CEMENTITIOUS STUCCO, SEE FOUNDATION PLAN, SHEET S100; FUR WHERE SHOWN WITH 2x4 STUDS @ 16" O.C., (SEE THERMAL ENVELOPE, SHEET "EC001" FOR INSULATION INFORMATION)

TYPICAL NON-BEARING INTERIOR PARTITION: U.N.O. 2x4 WOOD STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN

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Consultant

**Project**  
**WILLIAMS RESIDENCE**

102 E KIRKE STREET, CHEVY CHASE MD

**Owner**  
**BRITT AND WILL WILLIAMS**

Developer

PERMIT SET 11/05/2024

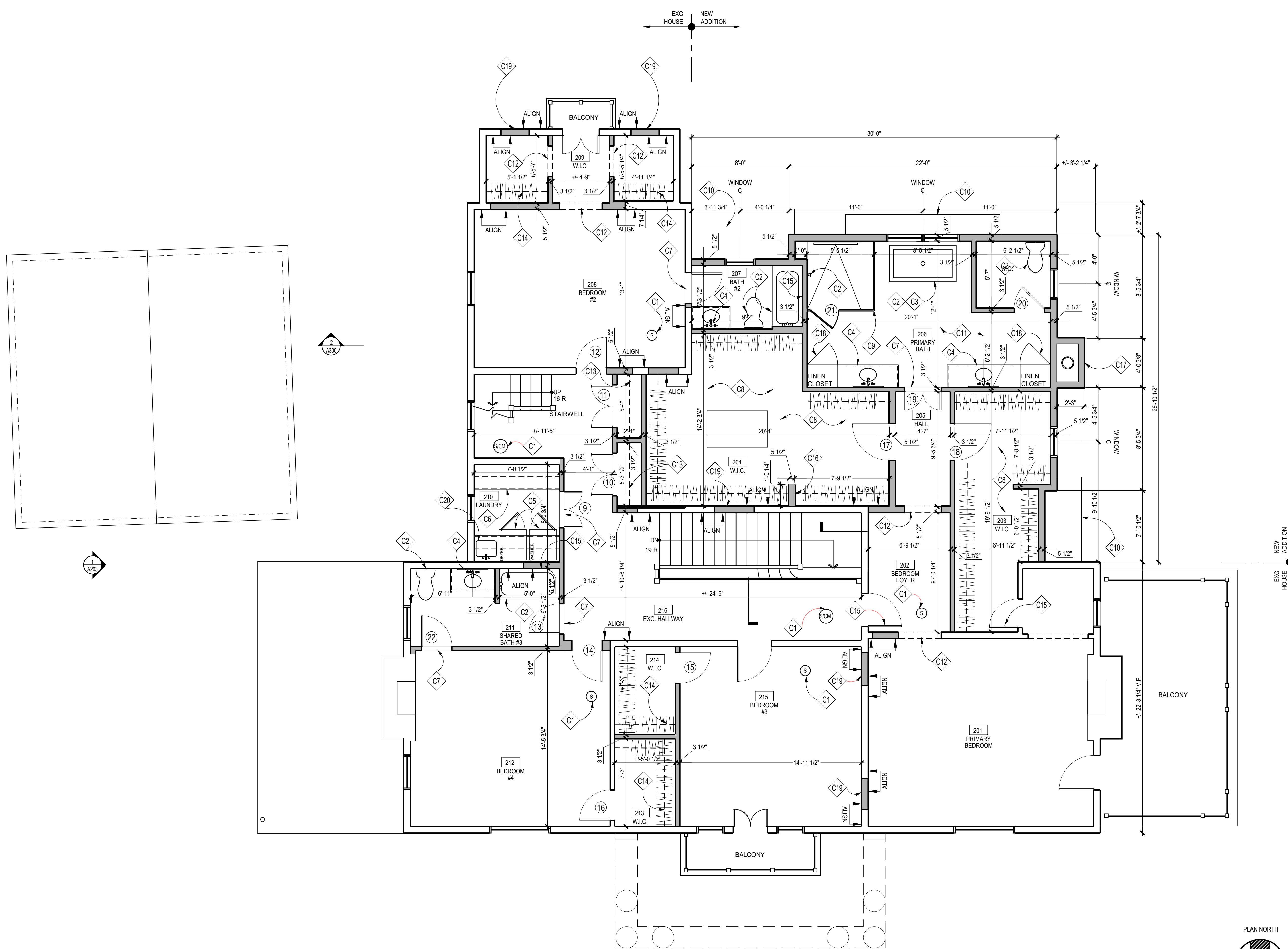
Issue Description Date

GTM Project No. 23.0639  
Checked By  
Drawn By LEO/KBP  
Scale AS NOTED

**Sheet Title**  
**LOWER LEVEL FLOOR PLAN**

Sheet No. **A100**





APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. Notter*

**REVIEWED**  
By Dan Bruichert at 12:58 pm, Nov 12, 2024

### CONSTRUCTION NOTES

- C1 CONFIRM EXISTING/PROVIDE NEW HARDWIRED SMOKE/CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP PER IRC 2018
- C2 PLUMBING FIXTURES, T.B.S. SEE ALLOWANCES
- C3 CENTER TUB ON WINDOWS
- C4 VANITY W/ SINK, FAUCET & COUNTERTOP, T.B.S.
- C5 WASHER & DRYER BY OWNERS. PROVIDE OVERFLOW FLOOR PAN & FLOOR DRAIN UNDER WASHING MACHINE. CONTRACTOR TO COORDINATE MEP CONNECTIONS WITH MANUFACTURER'S SPECS
- C6 COUNTERTOP AND CABINETS T.B.S.
- C7 MARBLE THRESHOLD/TRANSITION STRIP T.B.S. SEE DETAIL 9A501
- C8 CUSTOM CLOSET SYSTEM, T.B.S. COORD. WITH OWNER
- C9 CURBLESS TILED SHOWER; RECESS FLOOR FRAMING BELOW; SEE FRAMING PLANS. COORD. WITH STRUCTURAL. REFER TO DETAIL 13A501 W/ TEMPERED GLASS ENCLOSURE & DOOR
- C10 NEW ROOF BELOW
- C11 PROVIDE RADIANT ELECTRIC FLOOR HEATING IN OWNERS BATH
- C12 CASPED OPENING, ± 6'-6" FINISHED TO MATCH EXG. V.I.F.; ALIGN DOOR, WINDOW & CASPED OPENINGS, TYP.
- C13 5 EQUALLY SPACED WOOD SHELVES, PTD.
- C14 1 1/2" DIA. WD. ROD W/ 12" DEEP WD. SHELF PTD.
- C15 SWITCH DOOR SWING OF EXISTING DOOR
- C16 2x6 WALL; SEE STRUCTURAL DRAWINGS
- C17 NEW CHIMNEY TO VENT GAS FIREPLACE
- C18 NEW BUILT-IN LINEN CLOSET T.B.S.
- C19 FILL IN EX. DOOR/WINDOW OPENING
- C20 LAUNDRY ROOM SINK T.B.S.

- NOTE:
- 1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING
  - 2. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD
  - 3. FILL CAVITIES W/ MINERAL WOOL SOUND INSULATION IN WALLS, CEILING + FLOOR OF THE FOLLOWING ROOMS (I.N.O.):  
010 STORAGE/MECH
  - 4. SEE DETAILS 3.4.8.5/A501 FOR EFFICIENT FRAMING DETAILS.
  - 5. (T) = TEMPERED GLASS

#### KEY

EXISTING WALL     NEW BRG WALL

NEW FRAME WALL

(SCM) HARDWIRED SMOKE DETECTOR/ CARBON MONOXIDE COMBO UNIT WITH BATTERY BACKUP INTERCONNECTED TO OTHER ALARM DEVICES PER IRC

(SM) SMOKE DETECTOR INTERCONNECTED TO OTHER ALARM DEVICES INSTALL PER IRC

#### WALL TYPES

TYPICAL EXTERIOR WALL: 2x6 WOOD STUDS @ 16" O.C. W/ R-21 INSULATION, 1/2" ZIP SHEATHING, SELF-FURRING DIAMOND-MESH LATH, & 3-COAT CEMENTITIOUS STUCCO, SEE ELEVATIONS. INTERIOR FINISH TO BE GYP. BD. (1/2").

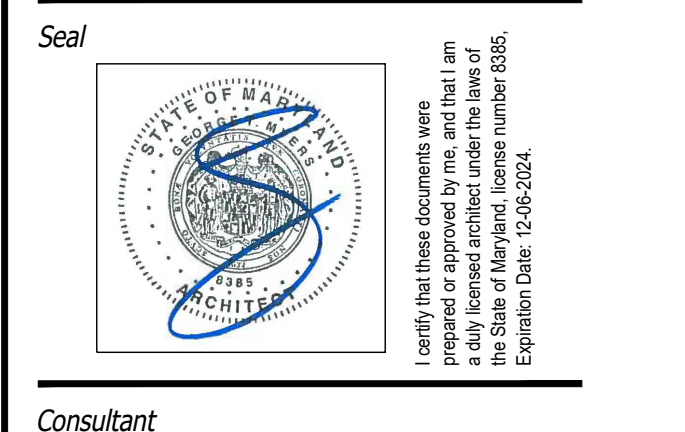
TYPICAL NON-BEARING INTERIOR PARTITION: 2x4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BD. EACH SIDE. INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.

## 1 SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

### GTM ARCHITECTS

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Consultant

Project  
**WILLIAMS RESIDENCE**

102 E KIRKE STREET, CHEVY CHASE MD

Owner  
**BRITT AND WILL WILLIAMS**

Developer

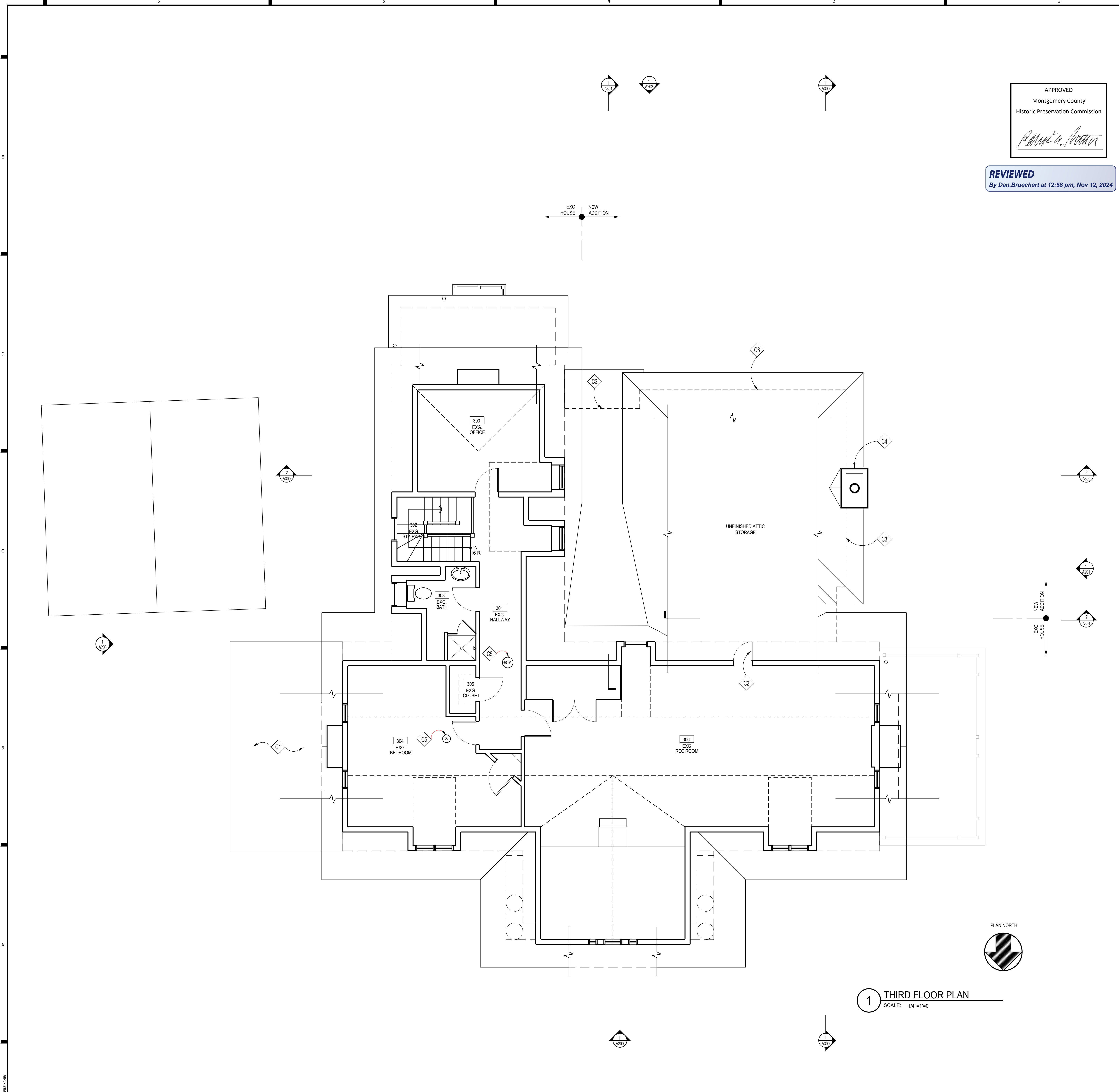
PERMIT SET	11/05/2024
Issue Description	Date

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Scale AS NOTED

## SECOND FLOOR PLAN

Sheet No. **A102**

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 Historic Preservation Commission



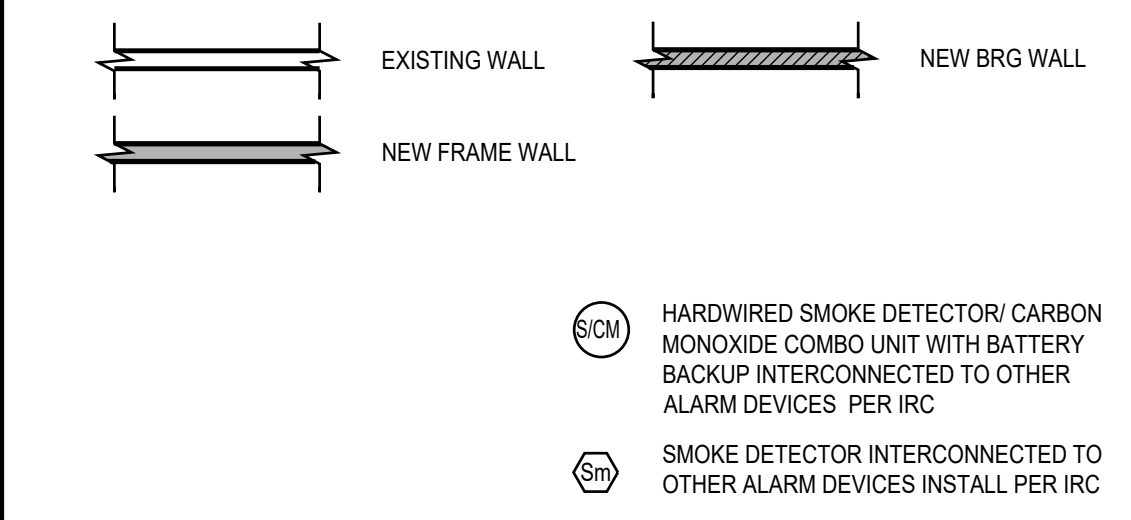
**REVIEWED**  
 By Dan.Bruechert at 12:58 pm, Nov 12, 2024

## CONSTRUCTION NOTES

- C1 EXISTING ROOF BELOW
- C2 PROVIDE ACCESS PANEL TO ATTIC SPACE BEYOND PER IRC 2018, INSULATE TO LEVEL OF ADJACENT WALL
- C3 LINE OF FRAME WALL BELOW, TYP.
- C4 NEW CHIMNEY TO VENT GAS FIREPLACE
- C5 CONFIRM EXISTING/PROVIDE NEW HARDWIRED SMOKE/CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP PER IRC 2018

NOTE:  
 1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING  
 2. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD  
 3. FILL CAVITIES W/ MINERAL WOOL SOUND INSULATION IN WALLS, CEILING + FLOOR OF THE FOLLOWING ROOMS (U.N.O.):  
 010 STORAGE/MECH  
 4. SEE DETAILS 3.4, 6.5/A501 FOR EFFICIENT FRAMING DETAILS.  
 5. (T) = TEMPERED GLASS

### KEY



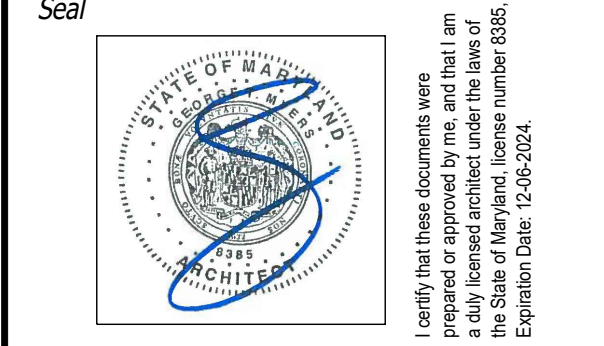
### WALL TYPES

TYPICAL EXTERIOR WALL: 2x6 WOOD STUDS @ 16" O.C. W/ R-21 INSULATION, 1/2" ZIP SHEATHING, SELF-FURRING DIAMOND-MESH LATH, & 3-COAT CEMENTITIOUS STUCCO. SEE ELEVATIONS. INTERIOR FINISH TO BE GYP. BD. (1/2").

TYPICAL NON-BEARING INTERIOR PARTITION: 2x4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BD. EACH SIDE. INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.

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Owner  
**BRITT AND WILL WILLIAMS**

Developer

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Scale AS NOTED

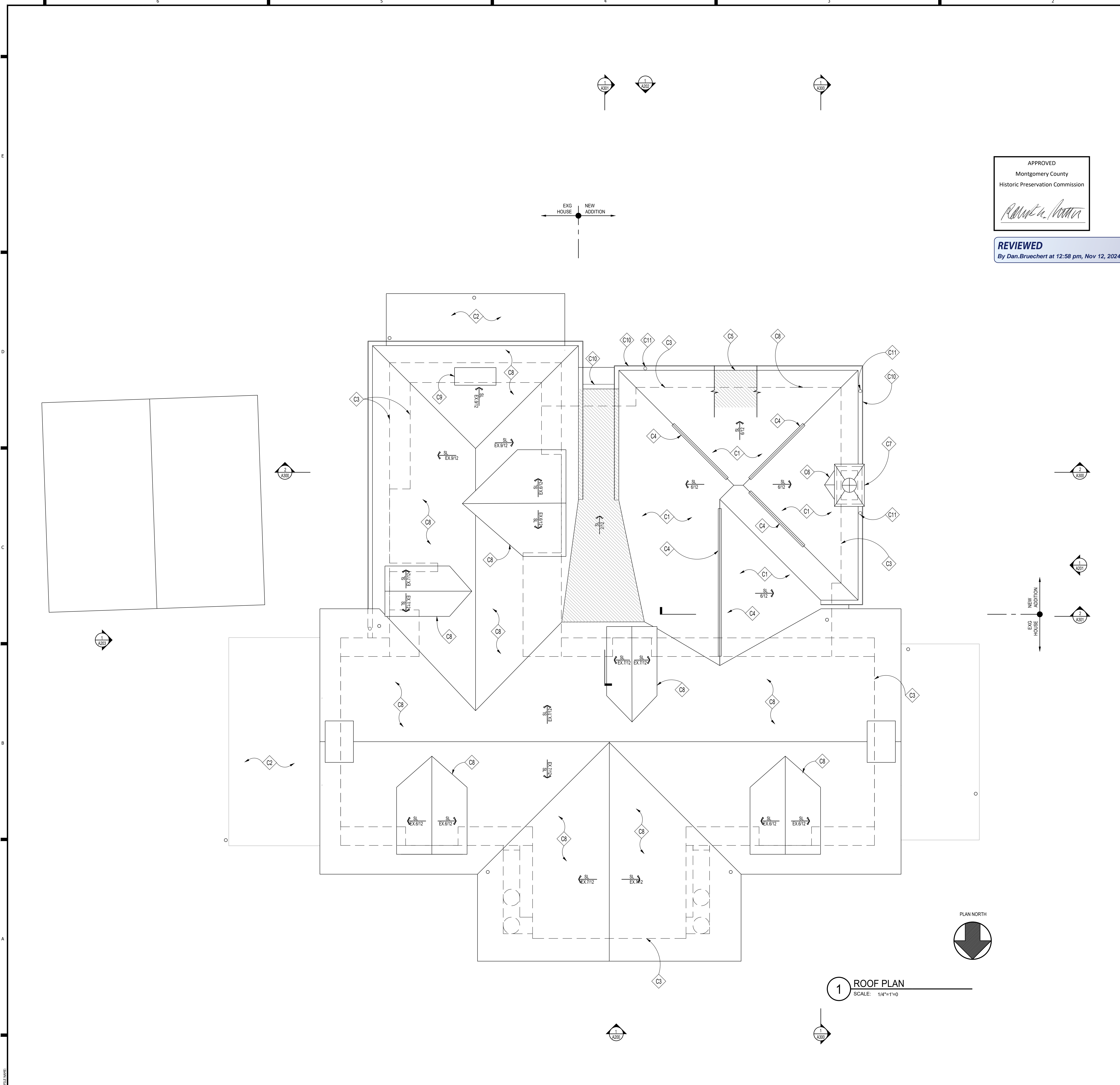
Sheet Title

**THIRD FLOOR PLAN**

Sheet No. **A103**

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APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert H. Norton*


REVIEWED  
By Dan.Bruechert at 12:58 pm, Nov 12, 2024

1 ROOF PLAN  
SCALE: 1/4"=1'-0"

### CONSTRUCTION NOTES

- C1 NEW ARCHITECTURAL ASPHALT SHINGLES, T.B.S.
- C2 EXISTING ROOF BELOW
- C3 DASHED LINE INDICATES LINE OF WALL BELOW. SEE FLOOR PLANS
- C4 NEW RIDGEHIP VENTS BY "COR-A-VENT" OR APPROVED EQUAL, OMIT IF USING FOAM INSULATION, TYPICAL. SEE '27/A500'
- C5 ICE AND WATER GUARD AT ALL LEAVES, VALLEYS, AND LOW SLOPE ROOFS. SEE GENERAL NOTE 1 BELOW
- C6 MTL CRICKET FOR IRC 2018 MIN. 4:12 SLOPE
- C7 NEW CHIMNEY TO VENT GAS FIREPLACE
- C8 EX. ROOF TO REMAIN
- C9 EX. CHIMNEY TO REMAIN, REPAIR AS REQ.
- C10 NEW GUTTERS TO MATCH EXISTING
- C11 NEW DOWNSPOUT TO MATCH EXISTING

### LEGEND

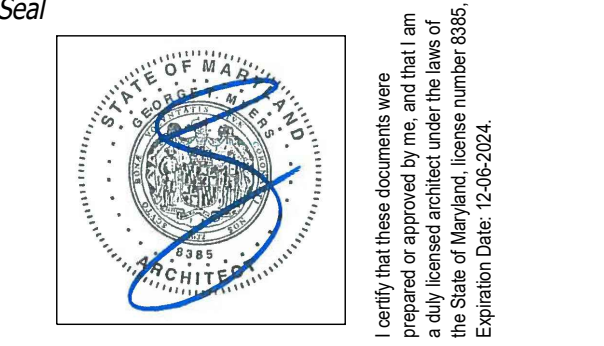
 LOW SLOPE ROOF,  
PROVIDE ICE & WEATHER GUARD

### GENERAL ROOFING NOTES

1. PROVIDE SELF-ADHERING, 40 MIL ICE AND WATER GUARD UNDERLAYMENT UNDER SHINGLES AT ALL VALLEYS AND FROM LOWEST EDGE OF ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE, AND ON ALL AREAS WITH A SLOPE LESS THAN 4:12.
2. SEE FRAMING PLAN FOR OVERBUILD AREAS
3. DOTTED LINE INDICATES LINE OF BUILDING BELOW

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**WILLIAMS RESIDENCE**

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Owner  
**BRITT AND WILL WILLIAMS**

Developer

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Drawn By LEO/KBP

Scale AS NOTED

Sheet Title

ROOF PLAN

Sheet No.

**A104**



APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert L. ...*

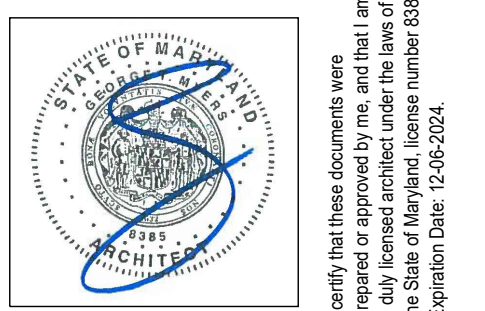
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Seal



Consultant

**2 EX. FRONT ELEVATION**  
SCALE: 1/8"=1'-0"



**1 FRONT ELEVATION**  
SCALE: 1/4"=1'-0"

Project

# WILLIAMS RESIDENCE

102 E KIRKE STREET, CHEVY CHASE MD

Owner

## BRITT AND WILL WILLIAMS

Developer

PERMIT SET 11/05/2024

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GTM Project No. 23.0639

Checked By

Drawn By **LEO/KBP**

Scale **AS NOTED**

Sheet Title

## FRONT ELEVATION

Sheet No.

**A200**

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### GENERAL AZEK TRIM NOTES

GLUE ALL AZEK TO AZEK JOINTS SUCH AS WINDOW SURROUNDS, LONG FASCIA RUNS, ETC., WITH AZEK ADHESIVE TO PREVENT JOINT SEPARATION.

THE GLUE JOINT SHOULD BE SECURED WITH A FASTENER AND/OR FASTENED ON EACH SIDE OF THE JOINT TO ALLOW ADEQUATE BONDING TIME.

AZEK ADHESIVE HAS A WORKING TIME OF 10 MINUTES AND WILL BE FULLY CURED IN 24 HOURS.

IF STANDARD PVC CEMENTS ARE USED, KEEP IN MIND THESE PRODUCTS TYPICALLY CURE QUICKLY WHICH WILL RESULT IN LIMITED WORKING TIME AND MAY REDUCE ADHESIVE STRENGTH, AS SUCH THEY ARE NOT ACCEPTABLE.

FOR BEST RESULTS, SURFACES TO BE GLUED SHOULD BE SMOOTH, CLEAN AND IN COMPLETE CONTACT WITH EACH OTHER.

TO BOND AZEK TO OTHER SUBSTRATES, VARIOUS ADHESIVES MAY BE USED. CONSULT ADHESIVE MANUFACTURER TO DETERMINE SUITABILITY.

AZEK PRODUCTS EXPAND AND CONTRACT WITH CHANGES IN TEMPERATURE. PROPERLY FASTENING AZEK MATERIAL ALONG ITS ENTIRE LENGTH WILL MINIMIZE EXPANSION AND CONTRACTION.

WHEN PROPERLY FASTENED, ALLOW 1/8" PER 18' FOOT OF AZEK PRODUCT FOR EXPANSION AND CONTRACTION. JOINTS BETWEEN PIECES OF AZEK SHOULD BE GLUED TO ELIMINATE JOINT SEPARATION. SEE "GLUING" DIAGRAM BELOW.



WHEN GAPS ARE GLUED ON A LONG RUN OF AZEK, ALLOW EXPANSION AND CONTRACTION SPACE AT ENDS OF THE RUN.

INSTALL PER AZEK.

FOR ADDITIONAL INFORMATION, VISIT WWW.AZEK.COM OR CALL 877-ASK-AZEK.

### ELEVATION NOTES

- E1 PTD, 36" HT PTD, WOOD GUARD RAIL PER IRC 2018, T.B.S.; SEE ELEVATIONS
- E2 NEW 5' HT STD. WOOD SOLID BOARD POOL FENCE AND GATE TO TIE INTO EX. PROPERTY FENCE
- E3 EXISTING PORCH & TRIM TO REMAIN; PATCH/REPAIR, SCRAPE, SAND AND REPAINT AS REQUIRED
- E4 NEW CLAD WOOD SDL WINDOW TO REPLACE EXISTING. MATCH STYLE/OPERATION AND LIGHT DIVISION. REPLACEMENT WINDOW TO FOLLOW IRC 2018 310.2.5
- E5 RESTORE FRONT PORTICO STONEMWORK WHERE EX. NON HISTORIC STAIRS WERE REMOVED
- E6 EXISTING STUCCO TO REMAIN, SEE GENERAL NOTES FOR MORE INFO
- E7 EXISTING ROOF TO REMAIN, SEE GENERAL NOTES FOR MORE INFO
- E8 EXISTING TRIM TO REMAIN, SEE GENERAL NOTES FOR MORE INFO
- E9 EXISTING WINDOW/DOOR TRIM TO REMAIN, SEE GENERAL NOTES FOR MORE INFO
- E10 NEW CHIMNEY STACK, MATCH EXG.; SEE DETAIL 6/A500

### GENERAL NOTES

#### FOR ENTIRE HOUSE:

1. INVESTIGATE AND REPLICATE/RESTORE HISTORIC STUCCO SIDING, ROOF SHINGLES, AND TRIM DETAILS AS NECESSARY. CONFER WITH HISTORIC PRESERVATION STAFF BEFORE COMMENCING WORK ON ANY EXISTING TRIMSIDING. PROVIDE NEW PTD. WOOD TRIM DETAILS TO MATCH EXISTING HISTORIC DETAILS AS CLOSELY AS POSSIBLE ON ADDITION.
2. ALL WOOD TRIM (FRIEZE BOARDS, SOFFITS, WINDOW CASING, ECT.) TO BE WINDSOR-ONE- OR APPROVED EQ. PRIME ALL END CUTS, AND INSTALL PER MANUFACTURERS INSTRUCTIONS.

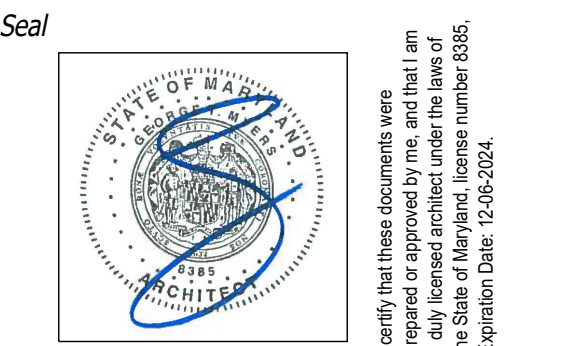
APPROVED  
Montgomery County  
Historic Preservation Commission

REVIEWED  
By Dan.Bruechert at 12:58 pm, Nov 12, 2024

2 EX. RIGHT ELEVATION  
SCALE: 1/8"=1'-0"

GTM ARCHITECTS

7735 OLD GEORGETOWN ROAD  
SUITE 700  
BETHESDA, MD 20814  
(240)333-2000  
(240)333-2001 FAX  
WWW.GTMARCHITECTS.COM



Consultant

Project  
**WILLIAMS RESIDENCE**

102 E KIRKE STREET, CHEVY CHASE MD

Owner  
**BRITT AND WILL WILLIAMS**

Developer

PERMIT SET 11/05/2024

Issue Description Date

GTM Project No. 23.0639

Checked By

Drawn By LEO/KBP

Scale AS NOTED

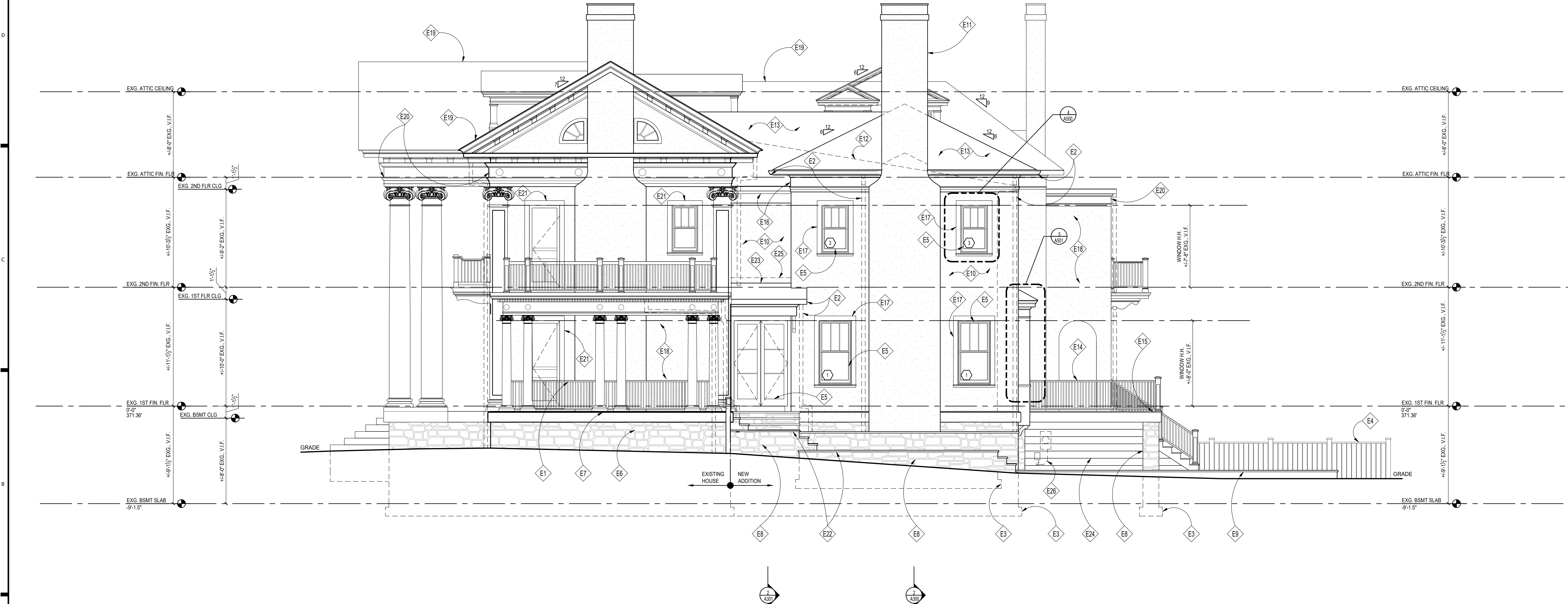
Sheet Title

**RIGHT SIDE ELEVATION**

Sheet No.

**A201**

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1 RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

**GENERAL AZEK TRIM NOTES**

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THE GLUE JOINT SHOULD BE SECURED WITH A FASTENER AND/OR FASTENED ON EACH SIDE OF THE JOINT TO ALLOW ADEQUATE BONDING TIME.

AZEK ADHESIVE HAS A WORKING TIME OF 10 MINUTES AND WILL BE FULLY CURED IN 24 HOURS.

IF STANDARD PVC CEMENTS ARE USED, KEEP IN MIND THESE PRODUCTS TYPICALLY CURE QUICKLY WHICH WILL RESULT IN LIMITED WORKING TIME AND MAY REDUCE ADHESIVE STRENGTH, AS SUCH THEY ARE NOT ACCEPTABLE.

FOR BEST RESULTS, SURFACES TO BE GLUED SHOULD BE SMOOTH, CLEAN AND IN COMPLETE CONTACT WITH EACH OTHER.

TO BOND AZEK TO OTHER SUBSTRATES, VARIOUS ADHESIVES MAY BE USED. CONSULT ADHESIVE MANUFACTURER TO DETERMINE SUITABILITY.

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WHEN PROPERLY FASTENED, ALLOW 1/8" PER 18' FOOT OF AZEK PRODUCT FOR EXPANSION AND CONTRACTION. JOINTS BETWEEN PIECES OF AZEK SHOULD BE GLUED TO ELIMINATE JOINT SEPARATION. SEE "GLUING" DIAGRAM BELOW.

WHEN GAPS ARE GLUED ON A LONG RUN OF AZEK, ALLOW EXPANSION AND CONTRACTION SPACE AT ENDS OF THE RUN.

INSTALL PER AZEK.

FOR ADDITIONAL INFORMATION, VISIT WWW.AZEK.COM OR CALL 877-ASK-AZEK.

**ELEVATION NOTES**

- E1 PTD. 36" HT PTD. WOOD GUARD RAIL PER IRC 2018, T.B.S.; MATCH TO EXG. 2ND FLOOR RAILING PROFILES AS CLOSELY AS POSSIBLE
- E2 PTD. ALUM BOX GUTTER & ROUND DOWNSPOUT. TO MATCH EXISTING. SEE ROOF PLAN
- E3 APPROX. LINE OF PROPOSED FOUNDATION/FOOTINGS BELOW. SEE FOUNDATION PLAN FOR ADDITIONAL INFO.
- E4 NEW 5' HT STD. WOOD SOLID BOARD POOL FENCE AND GATE TO TIE INTO EX. PROPERTY FENCE
- E5 NEW PTD. ALUM CLAD WOOD SDL DOORS & WINDOWS AS SCHEDULED
- E6 EXISTING STONE VENEER, REPAIR & REPOINT AS REQ.
- E7 EXISTING PORCH & TRIM TO REMAIN; PATCH/REPAIR, SCRAPE, SAND AND REPAINT AS REQUIRED
- E8 NEW STONE VENEER TO MATCH EXISTING, REUSE SALVAGED STONE IF POSSIBLE
- E9 NEW POOL AND PATIO, VERIFY DESIGN WITH POOLLANDSCAPE DESIGNER
- E10 PTD. 3-COAT CEMENTITIOUS STUCCO SIDING; MATCH EXG. TEXTURE/FINISH
- E11 NEW MASONRY CHIMNEY TO MATCH EXISTING; SEE DETAIL #A500
- E12 DASHED LINE OF ROOF SLOPE BEYOND
- E13 NEW ROOF SHINGLES TO MATCH EXISTING
- E14 NEW COMPOSITE RAIL SYSTEM, INTX. OR EQ, FOLLOW IRC, 2018
- E15 NEW COMPOSITE DECK, T.B.S
- E16 PTD. BORAL CORNICE TRIM, SEE DETAILS 1A/500
- E17 PTD. 5/4X BORAL WINDOW/DOOR TRIM, TYP., SEE DETAILS, 5A/500
- E18 EXISTING STUCCO TO REMAIN. SEE GENERAL NOTES FOR MORE INFO
- E19 EXISTING ROOF TO REMAIN, SEE GENERAL NOTES FOR MORE INFO
- E20 EXISTING TRIM TO REMAIN. SEE GENERAL NOTES FOR MORE INFO
- E21 EXISTING WINDOW/DOOR TRIM TO REMAIN. SEE GENERAL NOTES FOR MORE INFO
- E22 TERRACED STONE/FLAGSTONE STEPS & STOOPS TO PATIO AT GRADE; SEE DETAIL 14A/500, 16A/500
- E23 CANOPY OVER DOOR WITH PTD. WOOD STRUCTURAL BRACKET; SEE DETAILS 2A/501
- E24 PTD. COMPOSITE 1X8 DECK SKIRTING
- E25 CONCEALED ALUM. FLASHING @ CANOPY ROOF
- E26 NEW LOCATION FOR GAS METER - FINAL LOCATION TO BE VERIFIED IN FIELD BY GC TO BE IN COMPLIANCE WITH UTILITY CLEARANCE REQUIREMENTS

**GENERAL NOTES**

FOR ENTIRE HOUSE:

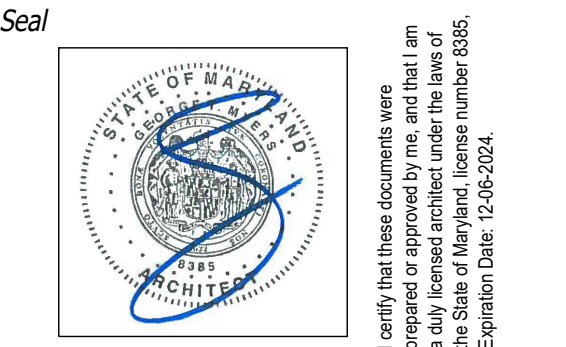
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APPROVED  
Montgomery County  
Historic Preservation Commission

REVIEWED  
By Dan.Bruechert at 12:57 pm, Nov 12, 2024

GTM ARCHITECTS

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BETHESDA, MD 20814  
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(240)333-2001 FAX  
WWW.GTMARCHITECTS.COM



Consultant

Project  
**WILLIAMS RESIDENCE**  
102 E KIRKE STREET, CHEVY CHASE MD  
Owner  
**BRITT AND WILL WILLIAMS**  
Developer

PERMIT SET 11/05/2024

Issue Description Date

GTM Project No. 23.0639

Checked By  
Drawn By **LEO/KBP**  
Scale **AS NOTED**

Sheet Title  
**REAR ELEVATION**

Sheet No.  
**A202**

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**2 EX. REAR ELEVATION**  
SCALE: 1/8"=1'-0"



**1 BACK ELEVATION**  
SCALE: 1/4"=1'-0"

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**ELEVATION NOTES**

E1 INFILL OPENING OF EXG. WINDOW/DOOR TO BE REMOVED WITH STUCCO CLADDING TO MATCH EXISTING EXTERIOR. SEE STUCCO SPECS SHEET 003

E2 PTD. BORAL CORNICE TRIM & OVERHANG. SEE DETAILS 18C, 18D /A500

E3 PTD. ALUM BOX GUTTER & ROUND DOWNSPOUT, TO MATCH EXISTING. SEE ROOF PLAN AND LIGHT DIVISION. REPLACEMENT WINDOW TO FOLLOW IRC 2018 310.2.5

E4 APPROX. LINE OF PROPOSED FOUNDATION/FOOTINGS BELOW. SEE FOUNDATION PLAN FOR ADDITIONAL INFO.

E5 PARTIALLY INFILL EXISTING ARCHWAY OPENING WITH STUCCO CLADDING TO MATCH EXISTING EXTERIOR. SEE STUCCO SPECS SHEET 003

E6 NEW 5' HT STD. WOOD SOLID BOARD POOL FENCE AND GATE TO TIE INTO EX. PROPERTY FENCE

E7 NEW ALUM CLAD WOOD SDL DOORS & WINDOWS AS SCHEDULED

E8 PTD. 38" HT PTD. WOOD GUARD RAIL PER IRC 2018, T.B.S.; MATCH TO EXG. 2ND FLOOR RAILING PROFILES AS CLOSELY AS POSSIBLE

E9 NEW COMPOSITE RAIL SYSTEM, INTEXT, OR EQ. FOLLOW IRC, 2018

E10 DASHED LINE OF ROOF SLOPE BEYOND

E11 PTD. BORAL CORNICE TRIM. SEE DETAILS 18A/500

E12 NEW CLAD WOOD SDL WINDOW TO REPLACE EXISTING MATCH STYLE/OPERATION AND LIGHT DIVISION. REPLACEMENT WINDOW TO FOLLOW IRC 2018 310.2.5

E13 PTD. 3-COAT CEMENTITIOUS STUCCO SIDING; MATCH EXG. TEXTURE/FINISH

E14 NEW MASONRY CHIMNEY TO MATCH EXISTING, SEE DETAIL 6A/500

E15 NEW ROOF SHINGLES TO MATCH EXISTING

E16 NEW COMPOSITE DECK T.B.S

E17 EXISTING STONE VENEER, REPAIR & REPOINT AS REQ.

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E19 NEW POOL AND PATIO. VERIFY DESIGN WITH POOLLANDSCAPE DESIGNER

E20 EXISTING MASONRY CHIMNEY TO REMAIN FROM THE EXTERIOR ONLY. PROVIDE STRUCTURAL SUPPORT. PATCH/REPAIR AS REQ'D

E21 PTD. 5/4X BORAL WINDOW/DOOR TRIM, TYP., SEE DETAILS, 5/A500

E22 STAIRS TO GRADE, F.V. RISE AND RUN; COMPOSITE MATERIAL T.B.S. RISERS AND TREADS, 1A/A501

E23 EXISTING STUCCO TO REMAIN. SEE GENERAL NOTES FOR MORE INFO

E24 EXISTING ROOF TO REMAIN. SEE GENERAL NOTES FOR MORE INFO

E25 EXISTING TRIM TO REMAIN. SEE GENERAL NOTES FOR MORE INFO

E26 EXISTING WINDOW/DOOR TRIM TO REMAIN. SEE GENERAL NOTES FOR MORE INFO

E27 TERRACED STONE/FLAGSTONE STEPS & STOOPS TO PATIO AT GRADE. SEE DETAIL 14A/500, 16A/500

E28 PTD. COMPOSITE 1X8 DECK SKIRTING

E29 PTD. BORAL CORNICE TRIM & OVERHANG, SEE DETAILS 18A, 18B /A500

**GENERAL NOTES**

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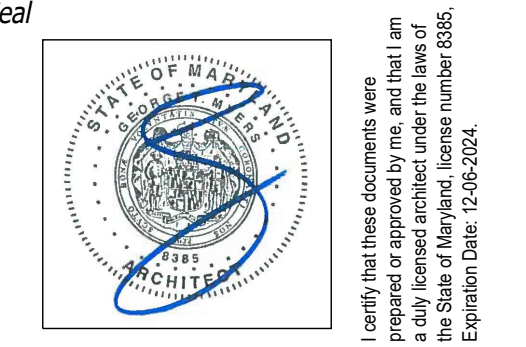


APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*

REVIEWED  
 By Dan.Bruechert at 12:57 pm, Nov 12, 2024

G T M ARCHITECTS

7735 OLD GEORGETOWN ROAD  
 SUITE 700  
 BETHESDA, MD 20814  
 (240)333-2000  
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 WWW.GTMARCHITECTS.COM



Consultant

Project  
**WILLIAMS RESIDENCE**

102 E KIRKE STREET, CHEVY CHASE MD

Owner  
**BRITT AND WILLIAMS**

Developer

PERMIT SET	11/05/2024

Issue Description	Date

GTM Project No. 23.0639

Checked By  
 Drawn By **LEO/KBP**  
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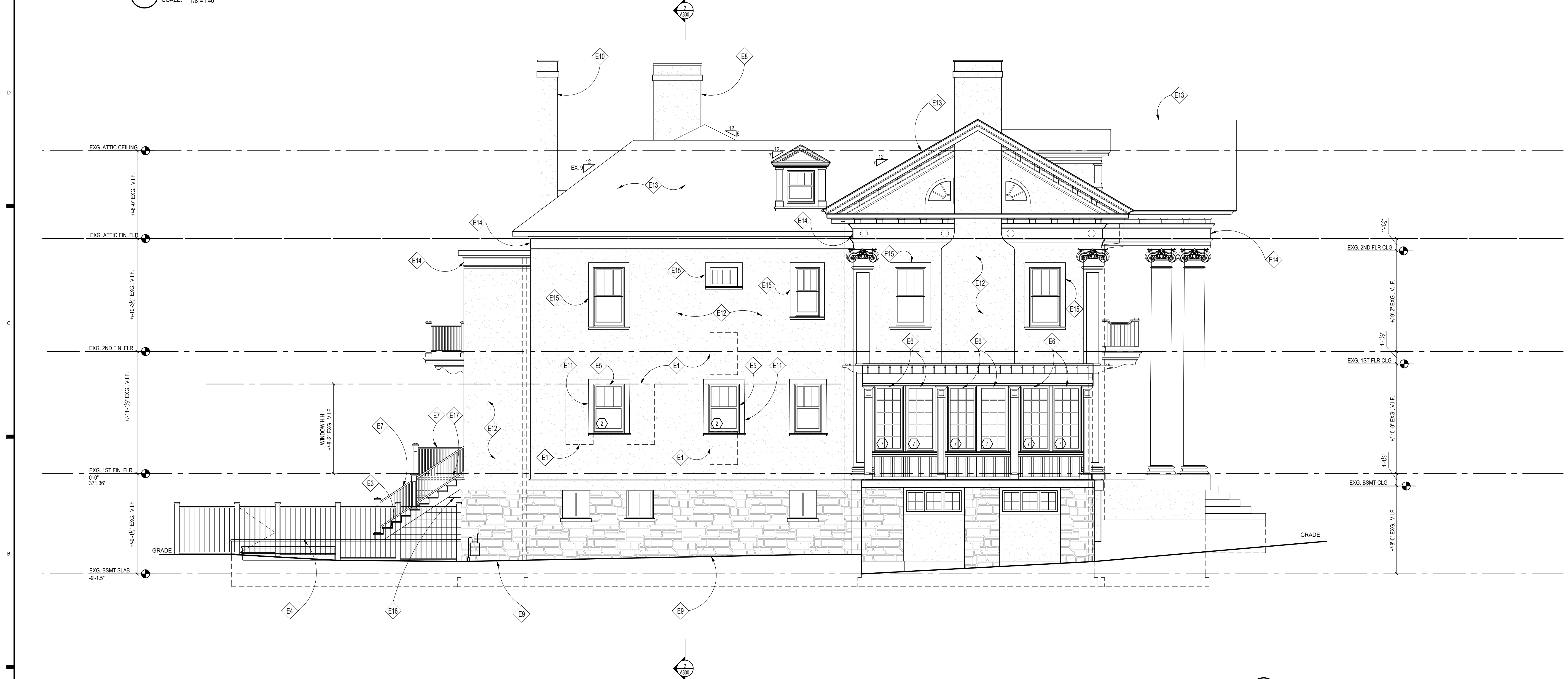
**LEFT SIDE ELEVATION**

Sheet No.

**A203**

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**2 EX. LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"



**1 LEFT SIDE ELEVATION**  
 SCALE: 1/4"=1'-0"

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**ELEVATION NOTES**

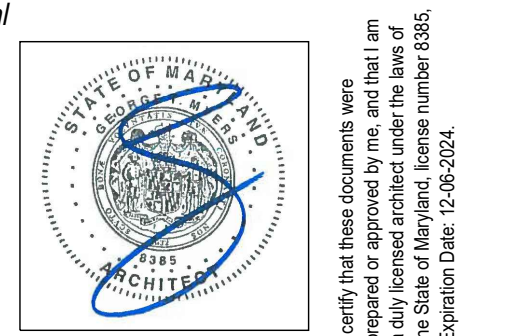
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- E13 EXISTING ROOF TO REMAIN, SEE GENERAL NOTES FOR MORE INFO
- E14 EXISTING TRIM TO REMAIN, SEE GENERAL NOTES FOR MORE INFO
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- E16 PTD. COMPOSITE 1X8 DECK SKIRTING
- E17 PTD. COMPOSITE DECKING
- E18 NEW LOCATION FOR ELECTRICAL METER - CONFIRM IN FIELD

**GENERAL NOTES**

FOR ENTIRE HOUSE:

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Consultant

Project  
**WILLIAMS RESIDENCE**

102 E KIRKE STREET, CHEVY CHASE MD

Owner  
**BRITT AND WILL WILLIAMS**

Developer

PERMIT SET 11/05/2024

Issue Description Date

GTM Project No. 23.0639

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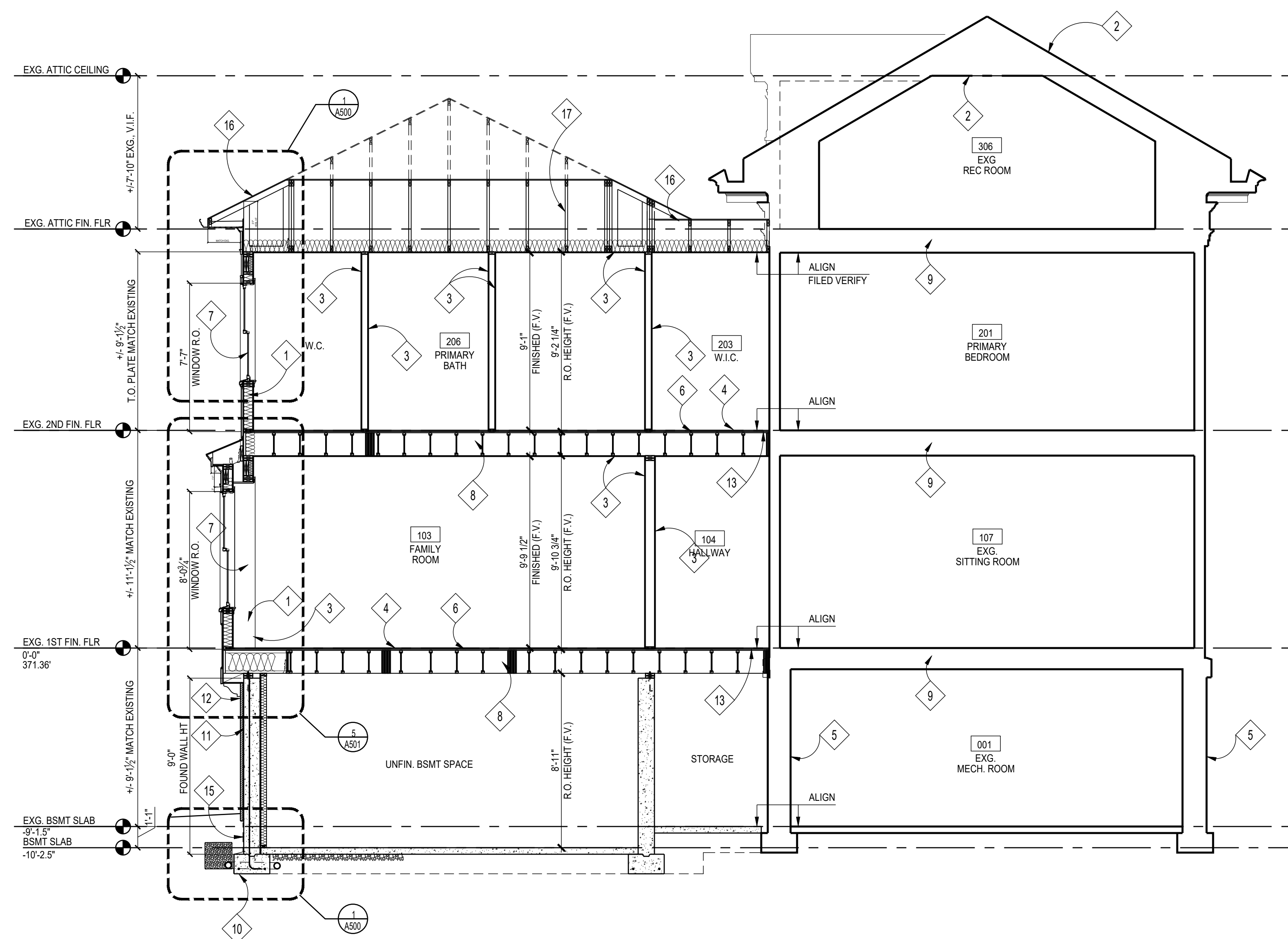
Scale AS NOTED

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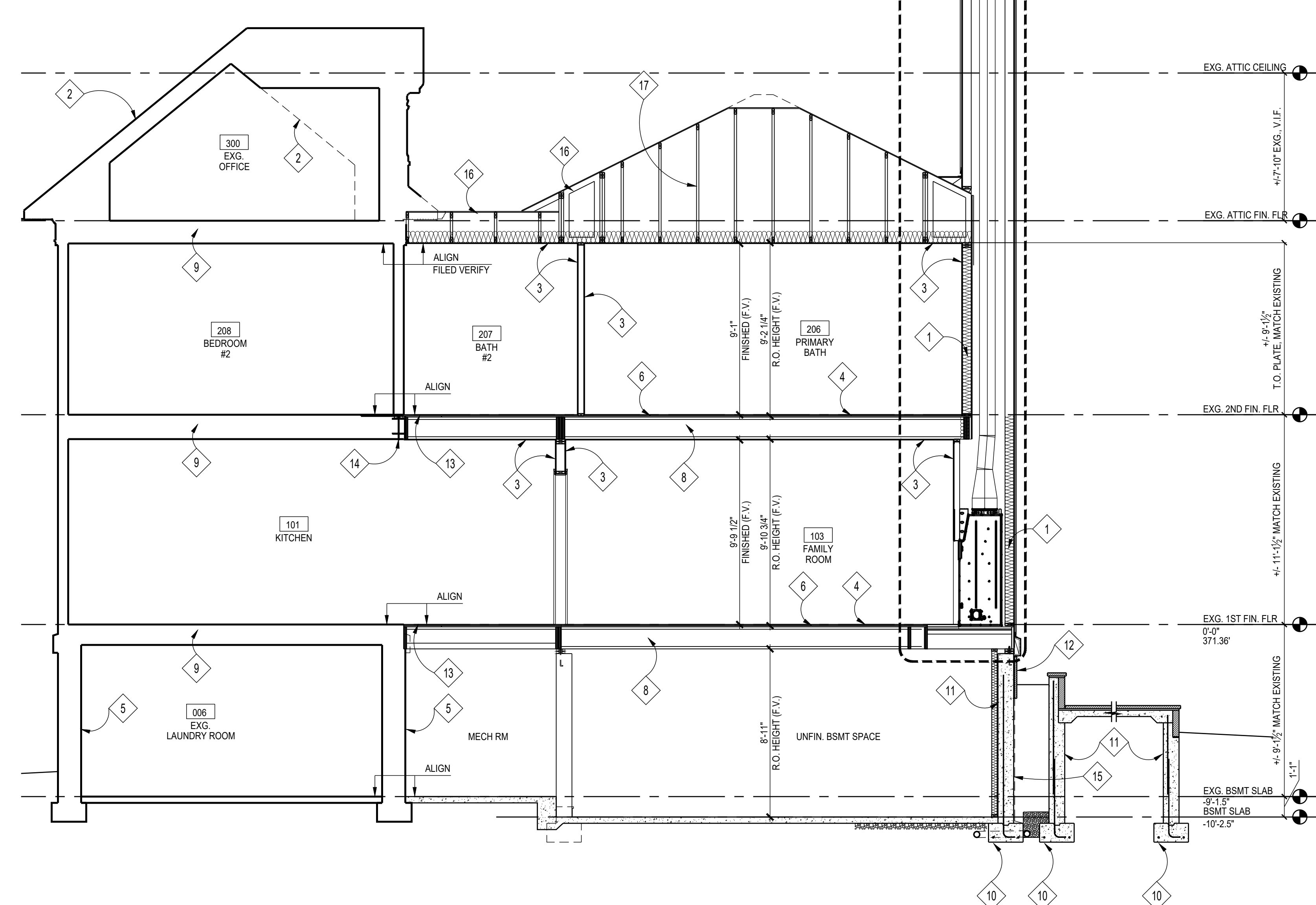
**BUILDING SECTIONS**

Sheet No.

**A300**



**1 BUILDING SECTION**  
SCALE: 1/4"=1'-0"



**2 BUILDING SECTION**  
SCALE: 1/4"=1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Dan Bruechert*

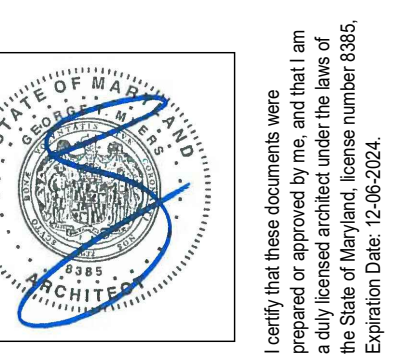
**REVIEWED**  
By Dan.Bruechert at 12:57 pm, Nov 12, 2024

**SECTION NOTES**

- |   |   |
|---|---|
| 1 INSULATION. SEE EC001 FOR THERMAL ENVELOPE SPECIFICATIONS | 11 POURED CONCRETE FOUNDATION WALL. SEE FOUNDATION PLAN   |
| 2 EXISTING ROOF & CEILING STRUCTURE TO REMAIN               | 12 STONE VENEER TO MATCH EXG.   |
| 3 1/2" GYP. BD, PTD.  | 13 INSTALL NEW PLYWD SUBFLOOR TO LAP CONTINUOUSLY MIN 2' OVER JUNCTION OF EXISTING & NEW FLOOR SYSTEM |
| 4 NEW FIN. FLOOR, T.B.S.                                    | 14 BEAM / HEADER, SEE FRAMING PLANS   |
| 5 EXISTING FOUNDATION WALL TO REMAIN                        | 15 WEATHERPROOFING & DRAINAGE BD TO GRADE   |
| 6 3/4" ADVANTECH SUBFLOOR, GLUED & SCREWED                  | 16 ROOF TRUSSES BY TRUSS MANUFACTURER, SEE FRAMING PLANS  |
| 7 SCHEDULED WINDOW/DOOR                                     | 17 RIDGE BEAM & RAFTERS, SEE FRAMING PLANS  |
| 8 FLOOR JOISTS, SEE FRAMING PLANS                           |   |
| 9 EXISTING FLOOR STRUCTURE TO REMAIN                        |   |
| 10 FOOTING, SEE FOUNDATION PLAN                             |   |



Seal



Consultant

Project

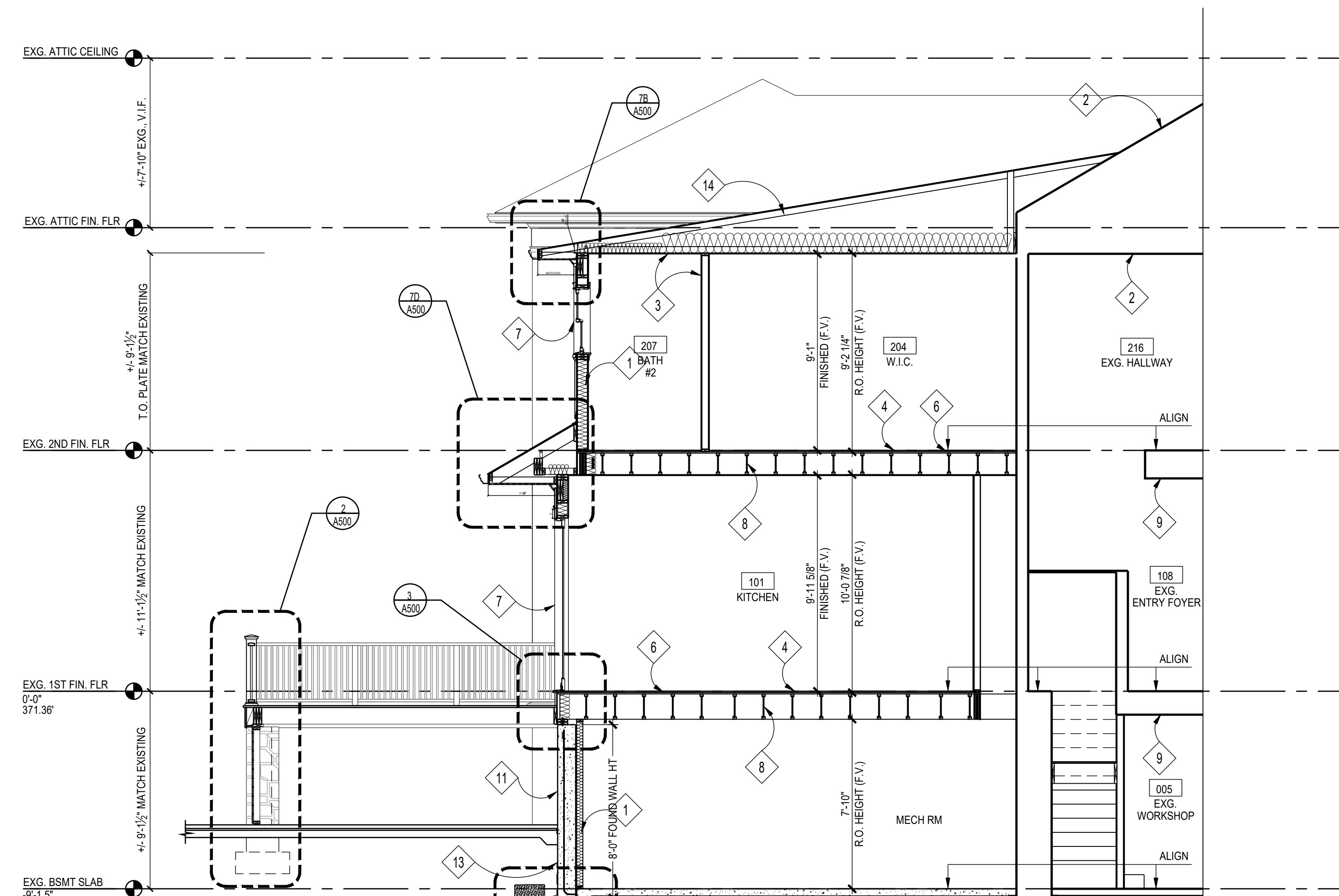
WILLIAMS RESIDENCE

102 E KIRKE STREET, CHEVY CHASE MD

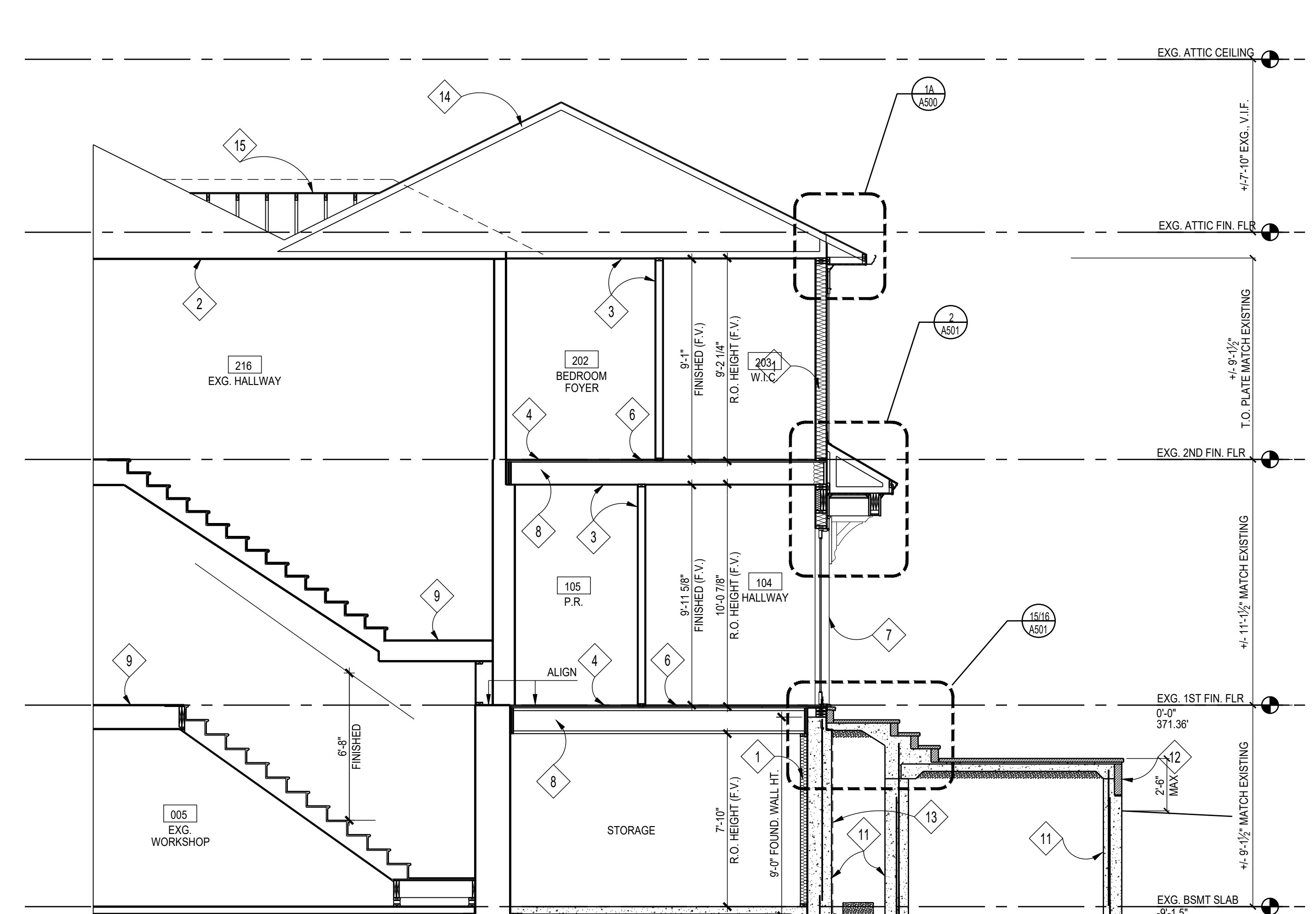
Owner

BRITT AND WILL WILLIAMS

Developer



1 BUILDING SECTION  
SCALE: 1/4"=1'-0"



2 BUILDING SECTION  
SCALE: 1/4"=1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert L. Norton*

REVIEWED  
By Dan.Bruechert at 12:56 pm, Nov 12, 2024

SECTION NOTES

- |   |  |
|---|--|
| 1 INSULATION. SEE EC001 FOR THERMAL ENVELOPE SPECIFICATIONS | 11 POURED CONCRETE FOUNDATION WALL. SEE FOUNDATION PLAN  |
| 2 EXISTING ROOF & CEILING STRUCTURE TO REMAIN               | 12 STONE VENEER TO MATCH EXG.                            |
| 3 1/2" GYP. BD, PTD.  | 13 WEATHERPROOFING & DRAINAGE BD TO GRADE                |
| 4 NEW FIN. FLOOR, T.B.S.                                    | 14 ROOF TRUSSES BY TRUSS MANUFACTURER. SEE FRAMING PLANS |
| 5 EXISTING FOUNDATION WALL TO REMAIN                        | 15 RIDGE BEAM & RAFTERS, SEE FRAMING PLANS               |
| 6 3/4" ADVANTECH SUBFLOOR, GLUED & SCREWED                  |  |
| 7 SCHEDULED WINDOW/DOOR                                     |  |
| 8 FLOOR JOISTS, SEE FRAMING PLANS                           |  |
| 9 EXISTING FLOOR STRUCTURE TO REMAIN                        |  |
| 10 FOOTING. SEE FOUNDATION PLAN                             |  |

PERMIT SET	11/05/2024
Issue Description	Date

GTM Project No.	23.0639
Checked By	
Drawn By	LEO/KBP
Scale	AS NOTED

Sheet Title  
**BUILDING SECTIONS**

Sheet No.  
**A301**

*[Signature]*

REVIEWED  
By Dan.Bruechert at 12:56 pm, Nov 12, 2024

GTM ARCHITECTS

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Seal



Consultant

Project

## WILLIAMS RESIDENCE

102 E KIRKE STREET, CHEVY CHASE MD

Owner

## BRITT AND WILL WILLIAMS

Developer

PERMIT SET	11/05/2024
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Issue Description	Date
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GTM Project No. 23.0639

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Scale AS NOTED

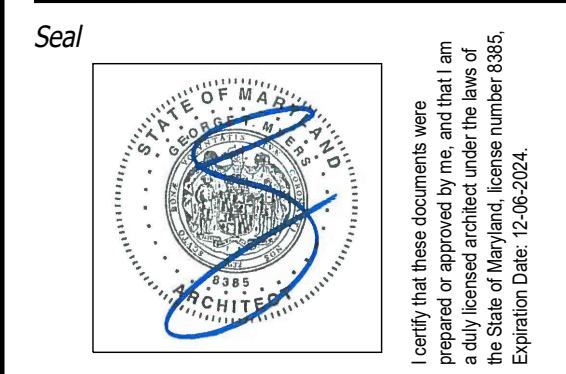
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### DETAILS

Sheet No.

# A500





Consultant

Project

**WILLIAMS RESIDENCE**

102 E KIRKE STREET, CHEVY CHASE MD

Owner  
**BRITT AND WILL WILLIAMS**

Developer

PERMIT SET	11/05/2024
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Issue Description	Date
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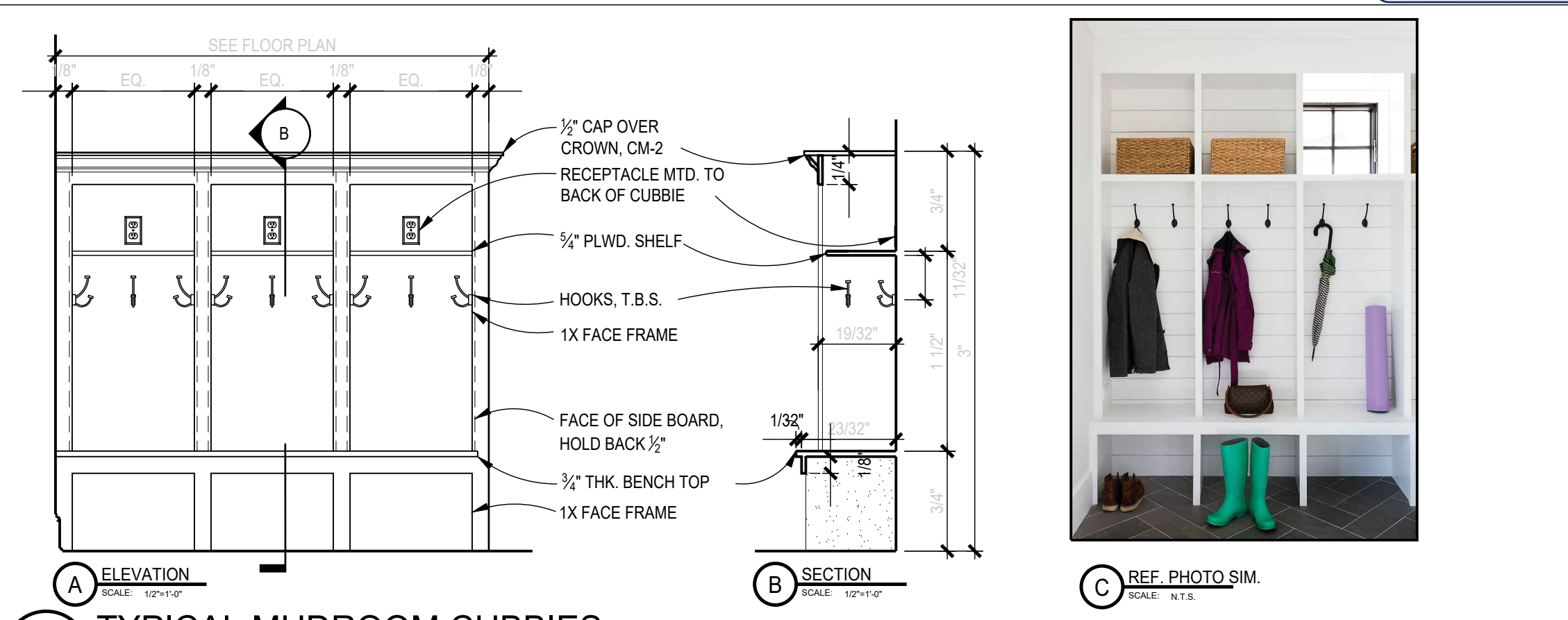
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Checked By LEO/KBP

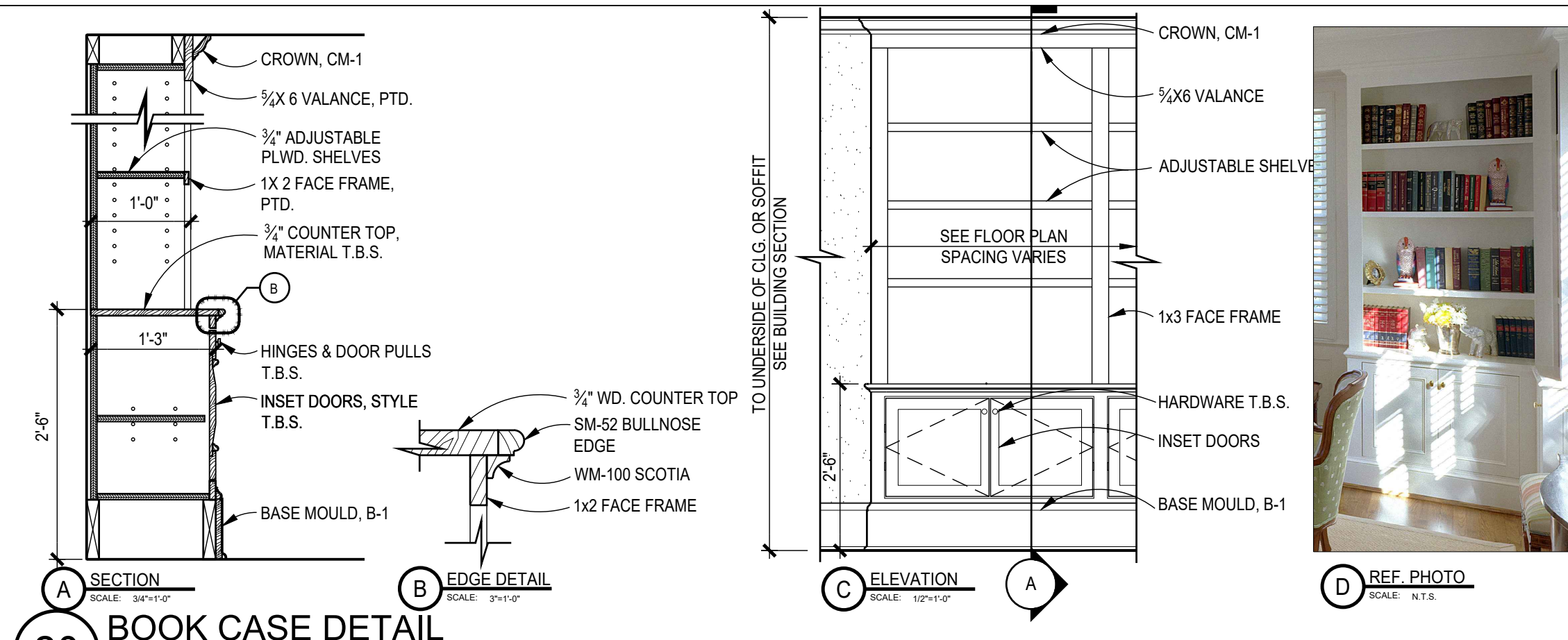
Drawn By AS NOTED

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**DETAILS**

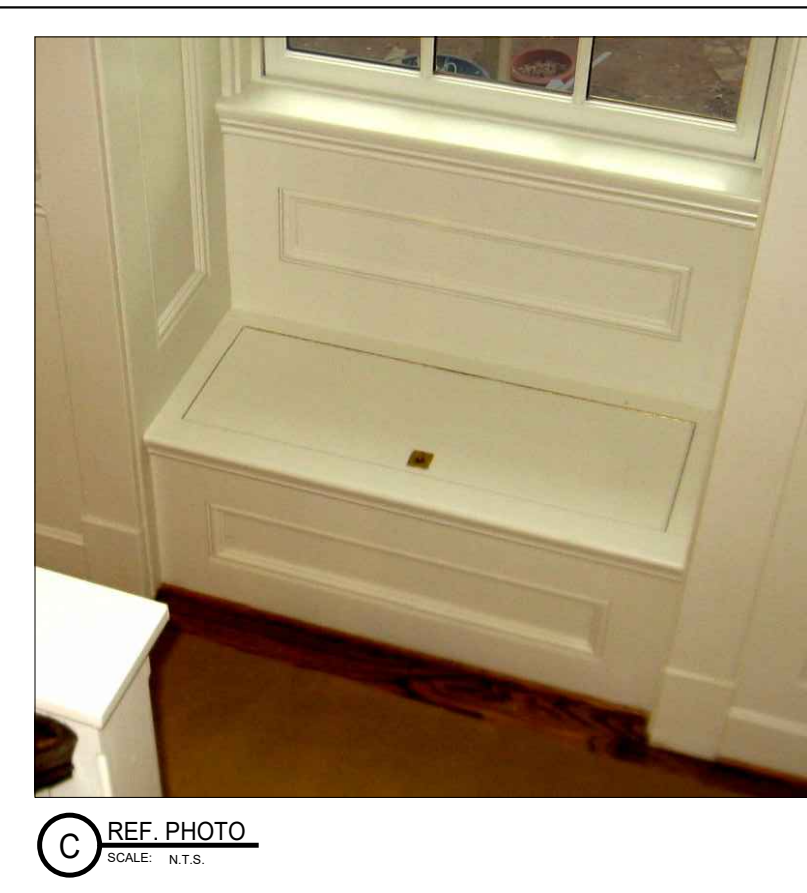
Sheet No.  
**A501**



26 TYPICAL MUDROOM CUBBIES  
SCALE: 1/2"=1'-0"



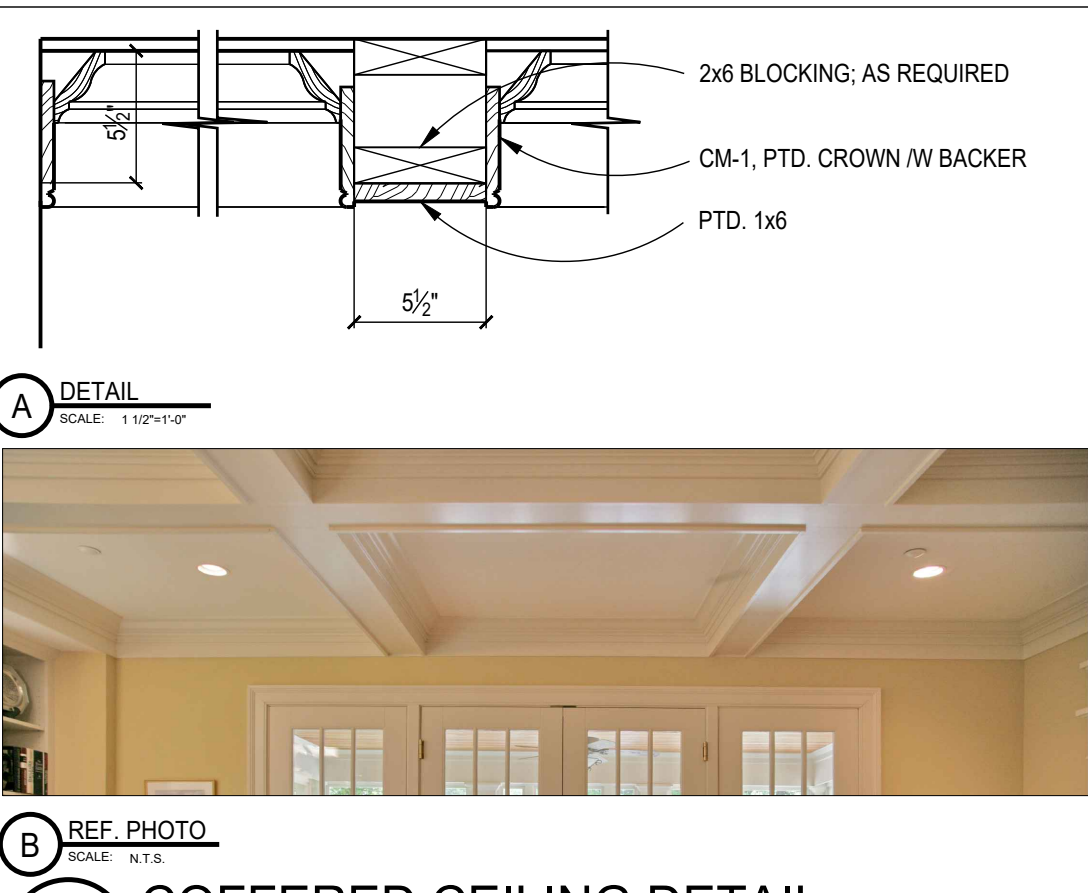
20 BOOK CASE DETAIL  
SCALE: AS NOTED



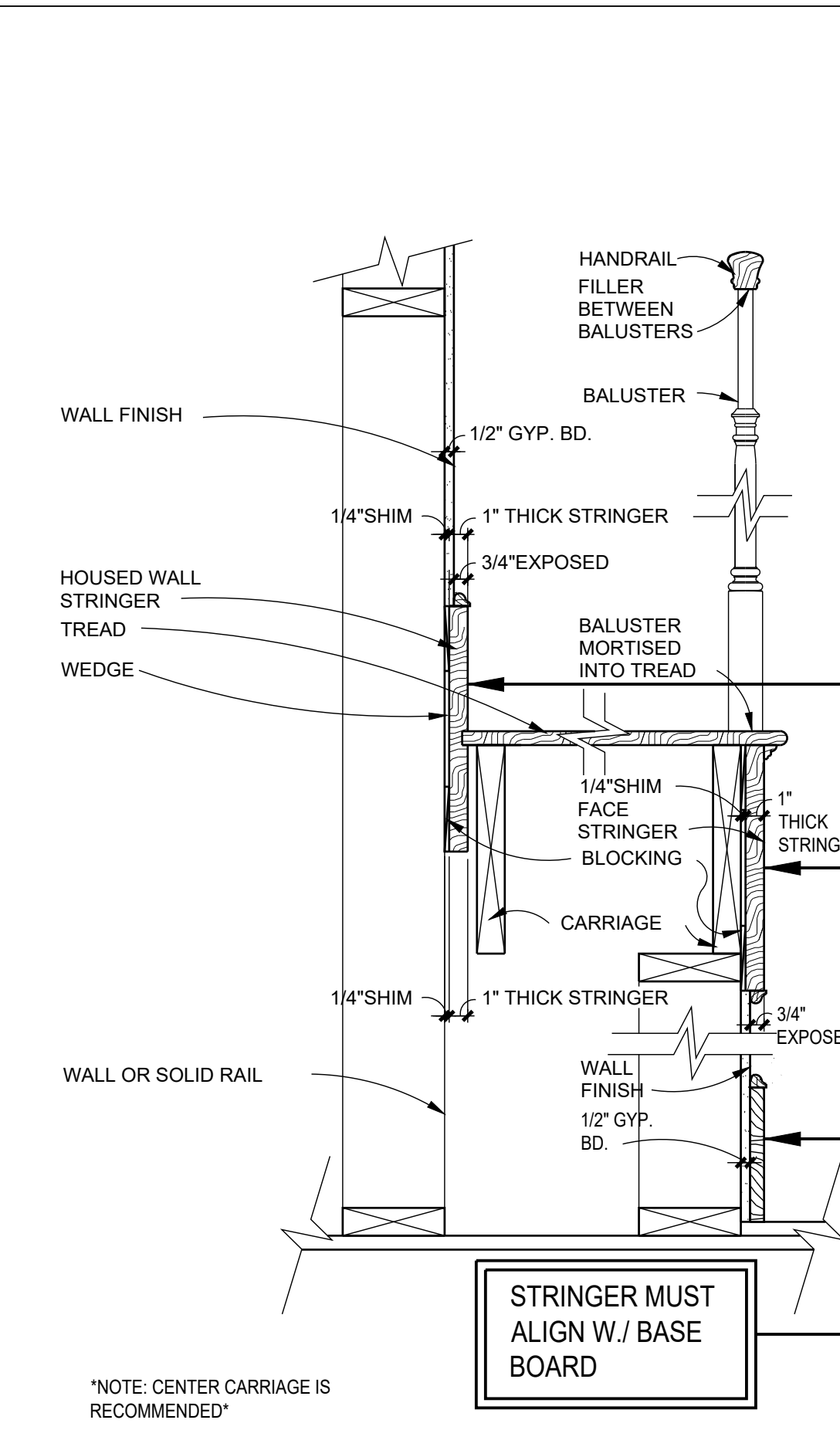
29 BENCH SEAT DETAIL  
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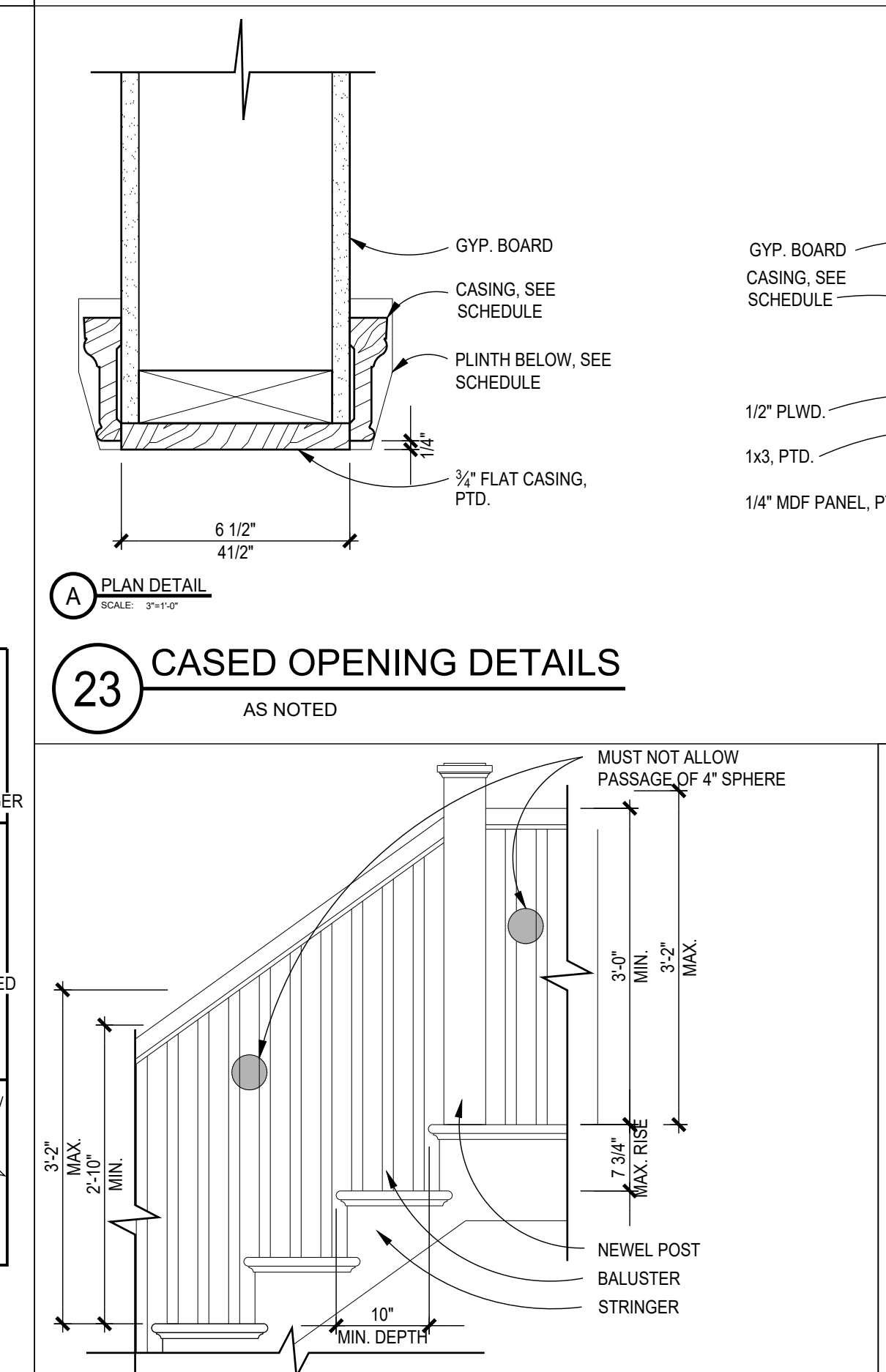
23 CASSED OPENING DETAILS  
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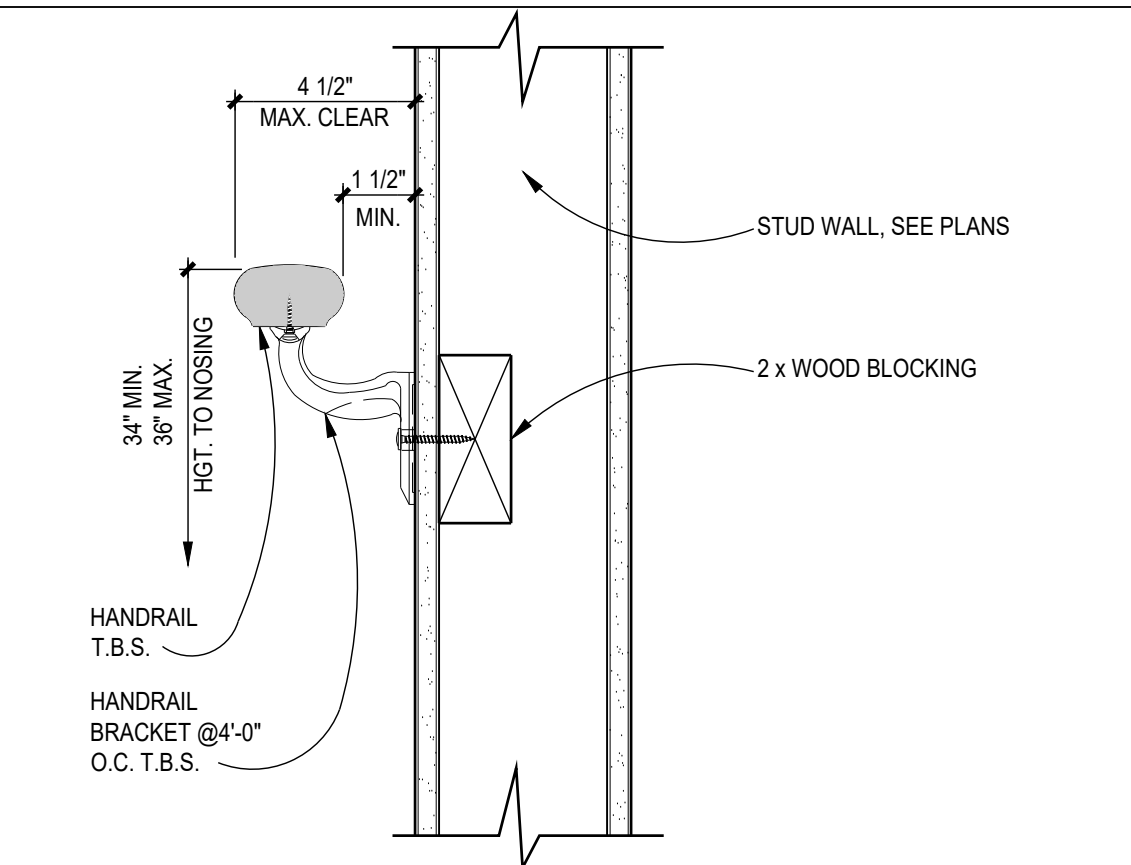
30 COFFERED CEILING DETAIL  
SCALE: 1 1/2"=1'-0"



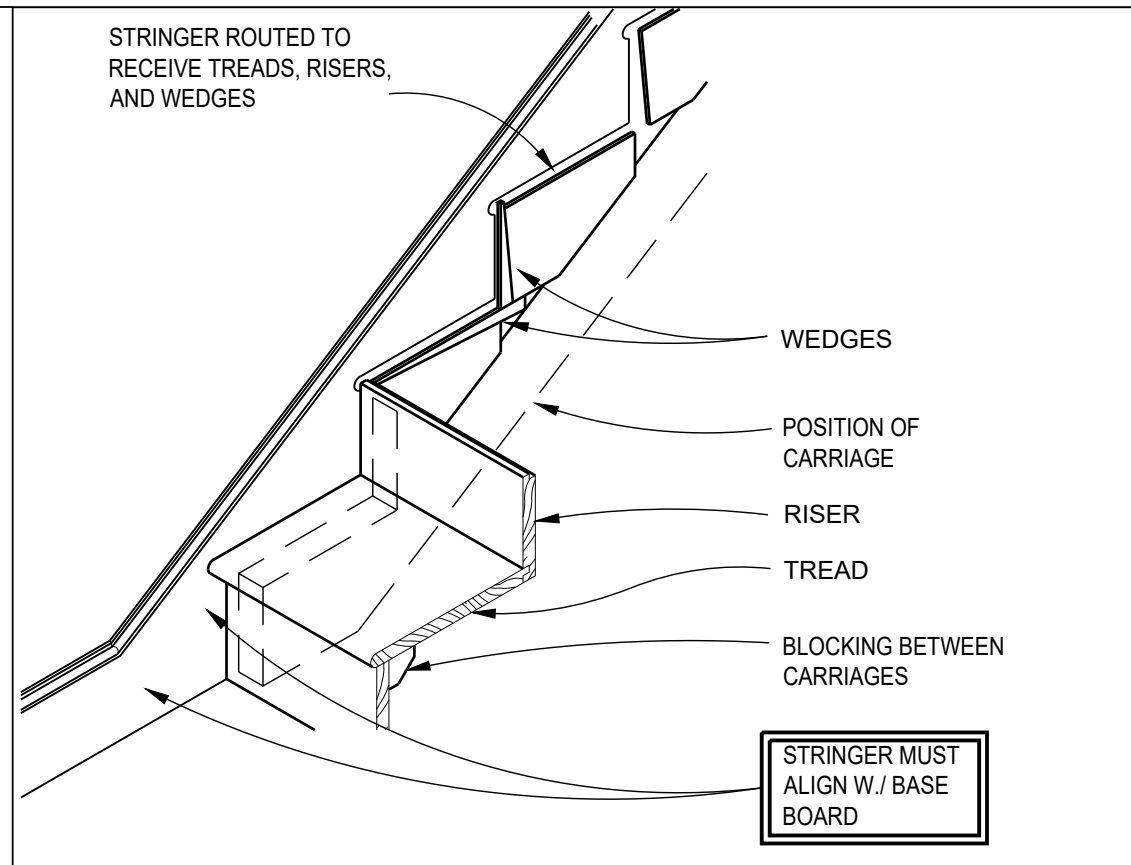
18 TYP. WOOD STAIR TRIM DETAIL  
SCALE: 1 1/2"=1'-0"



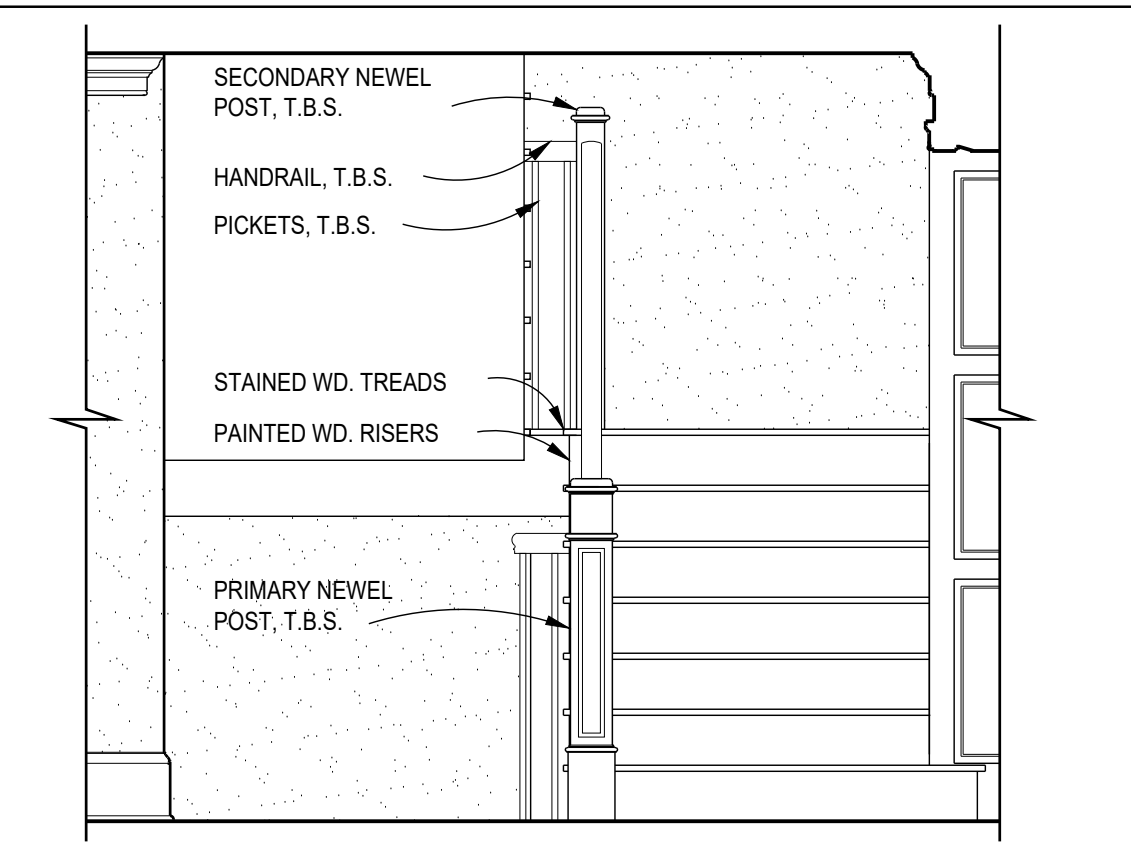
17 HANDRAIL STAIR CLEARANCES  
SCALE: 3/4"=1'-0"



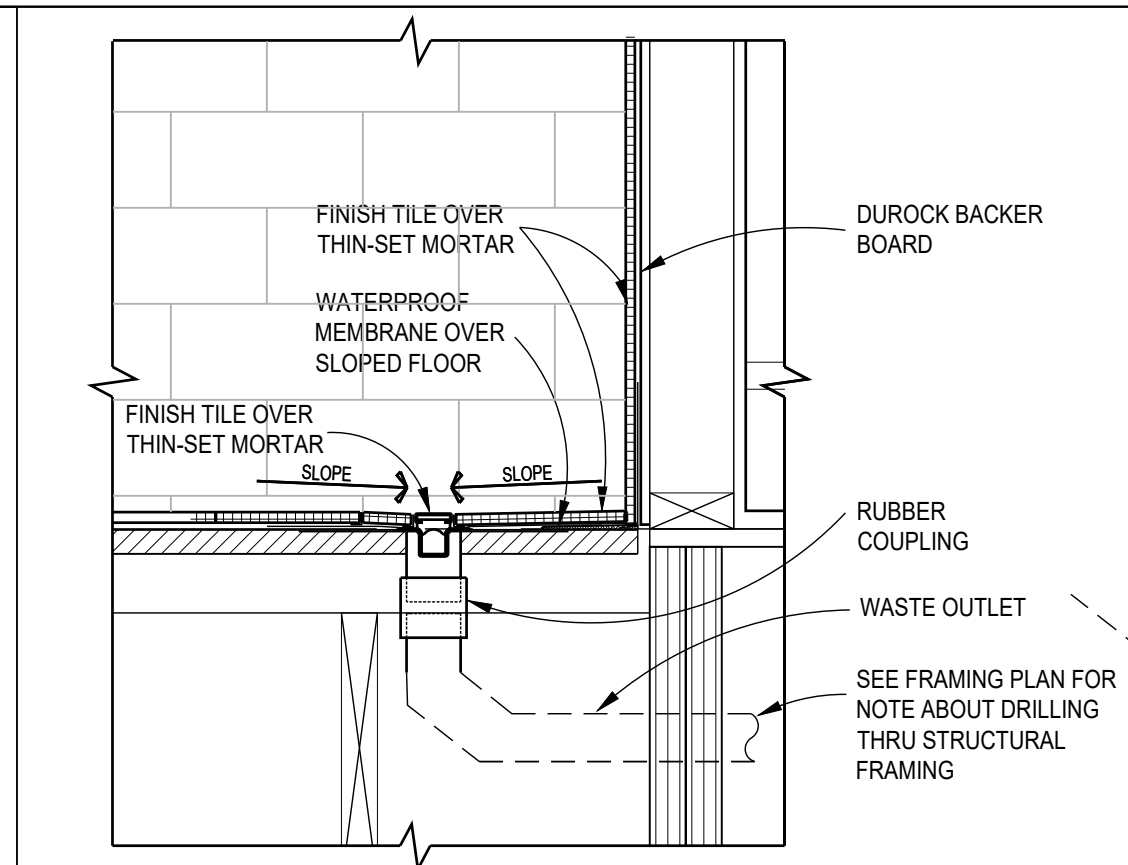
16 INTERIOR HANDRAIL DETAIL  
SCALE: 3/4"=1'-0"



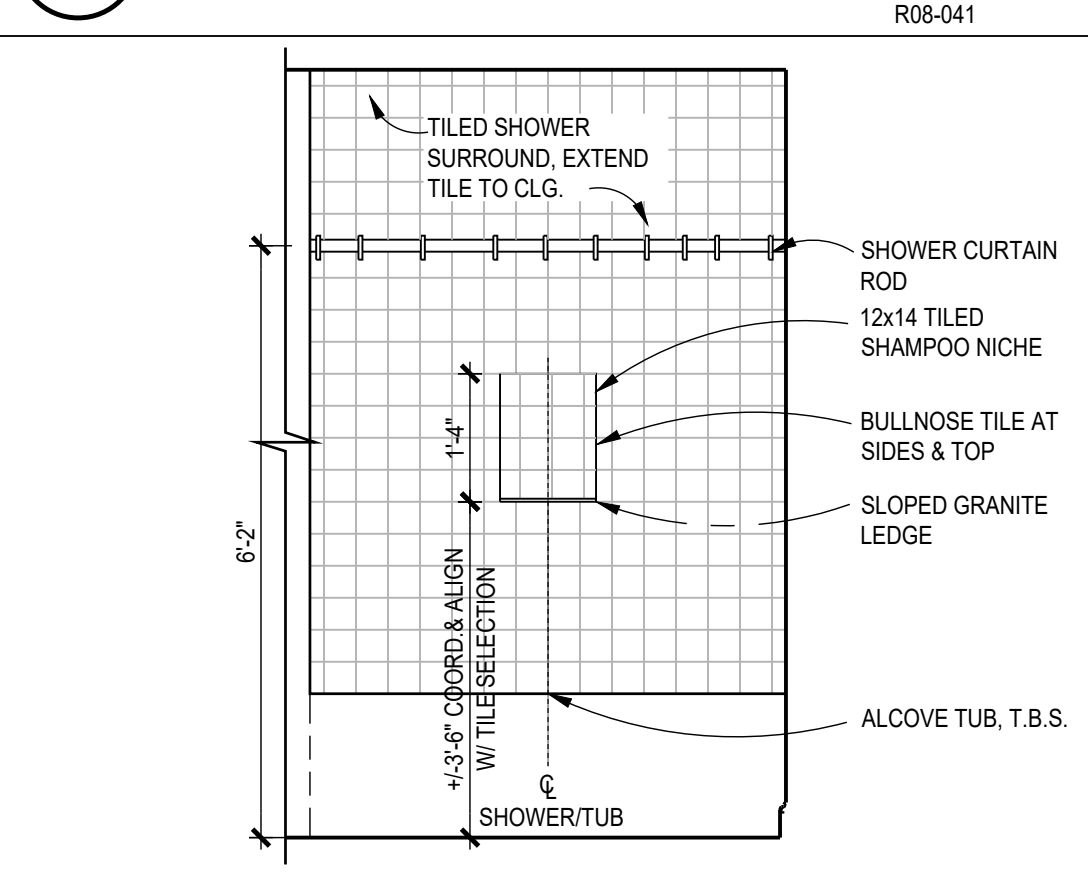
15 STAIR STRINGER  
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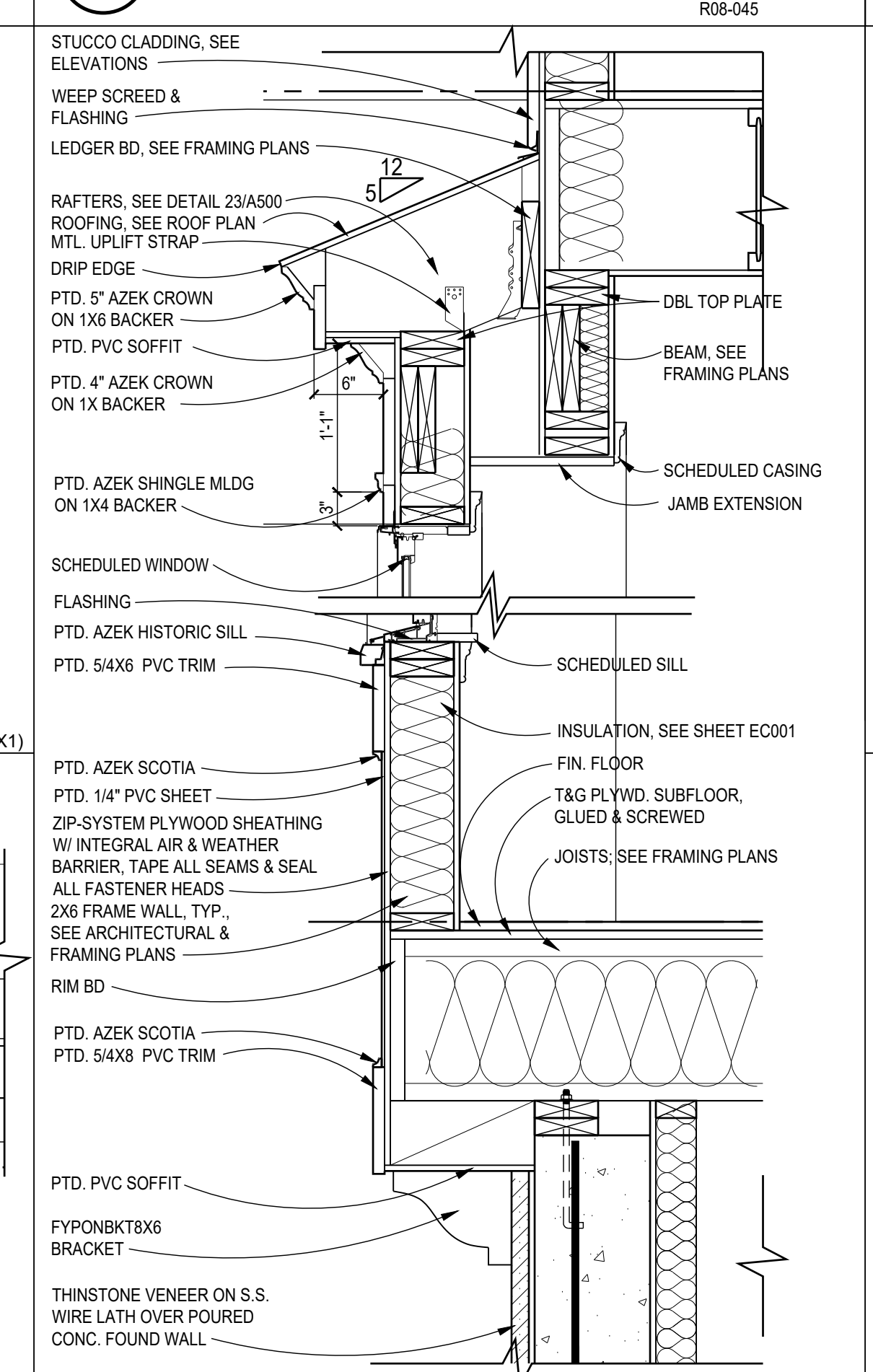
14 STAIR DETAIL  
SCALE: 20



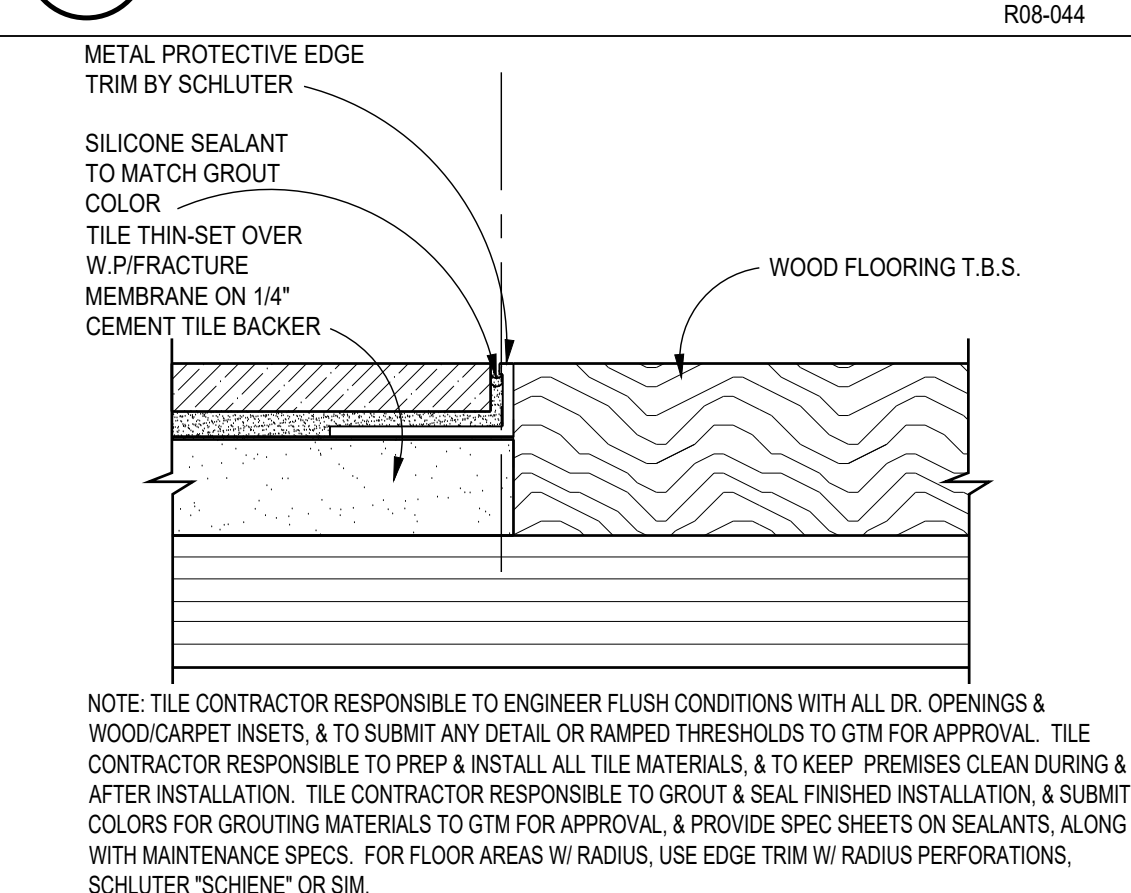
13 CURBLESS SHOWER DETAIL  
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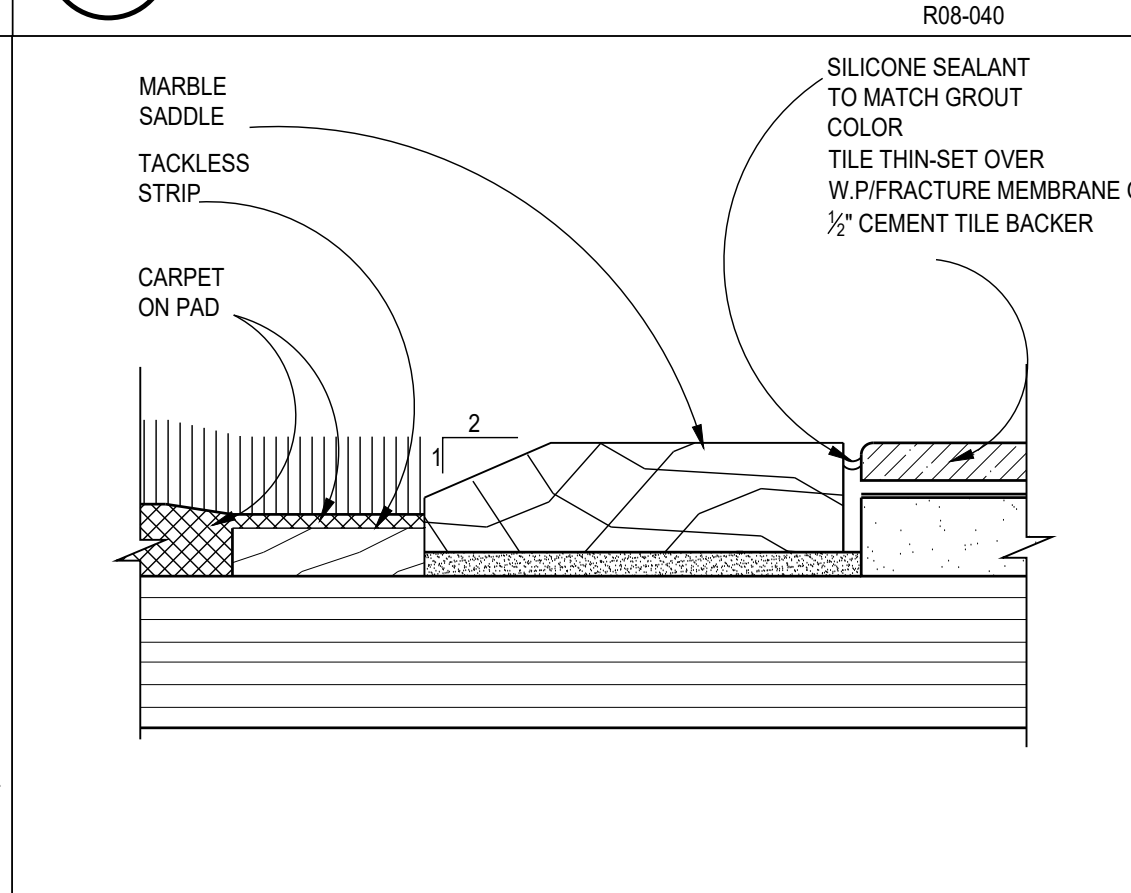
12 TILED RECESS DETAIL  
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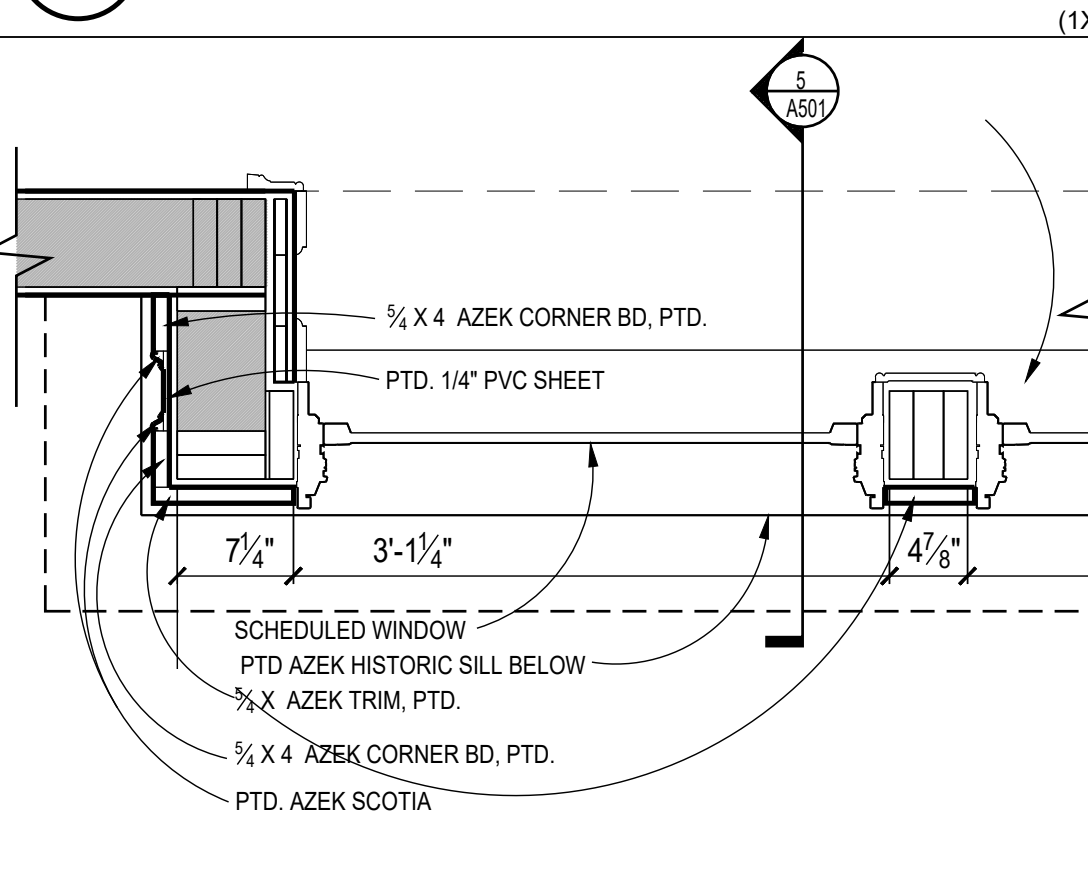
5 BAY WINDOW SECTION DETAIL  
SCALE: 1"=1'-0"



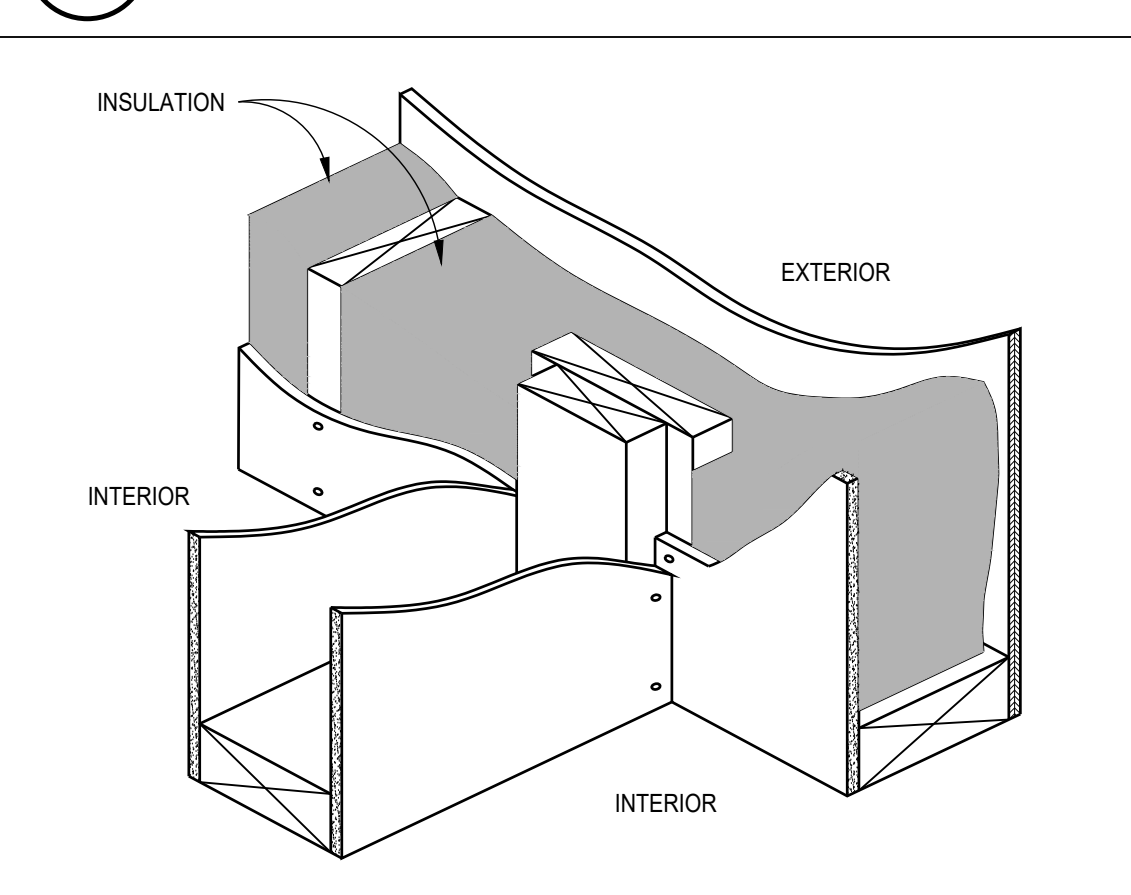
10 TILE-TO-WOOD TRANSITION  
SCALE: 1/2"=1'-0"



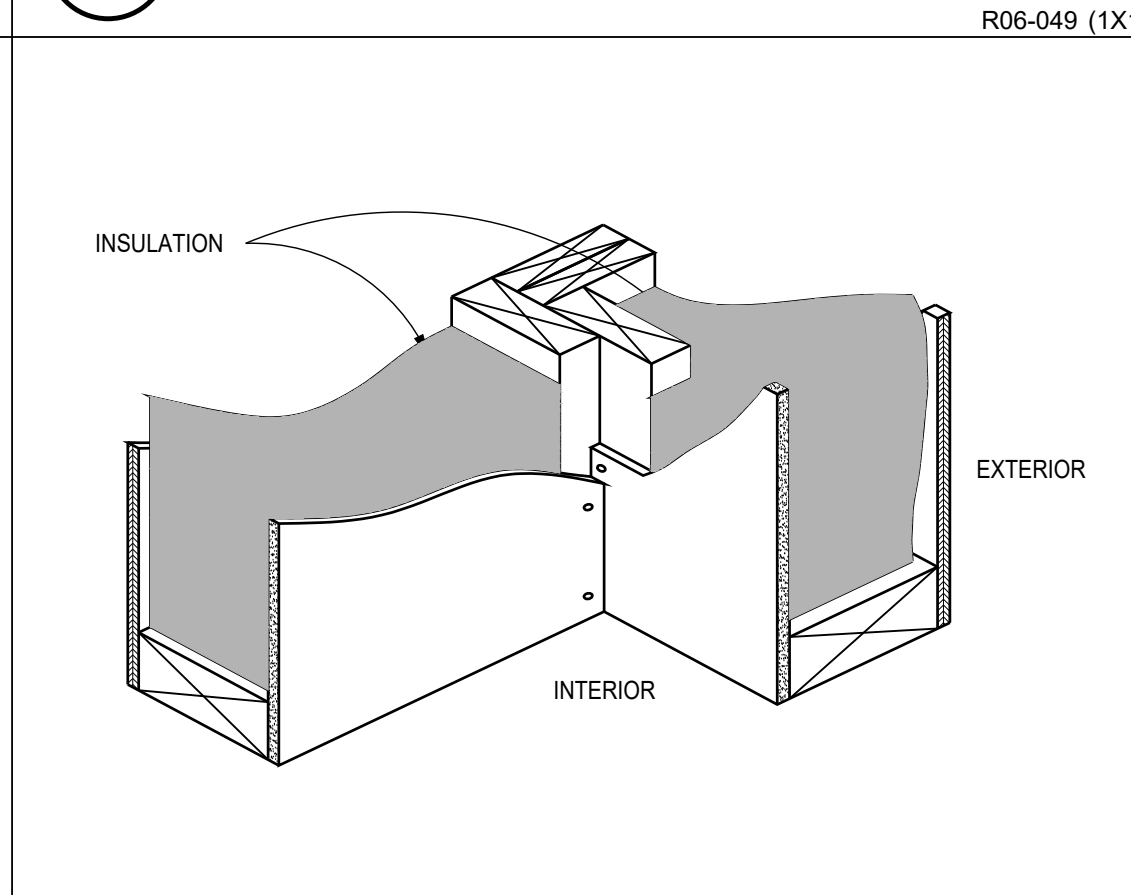
9 THRESHOLD DETAIL  
SCALE: N.T.S.



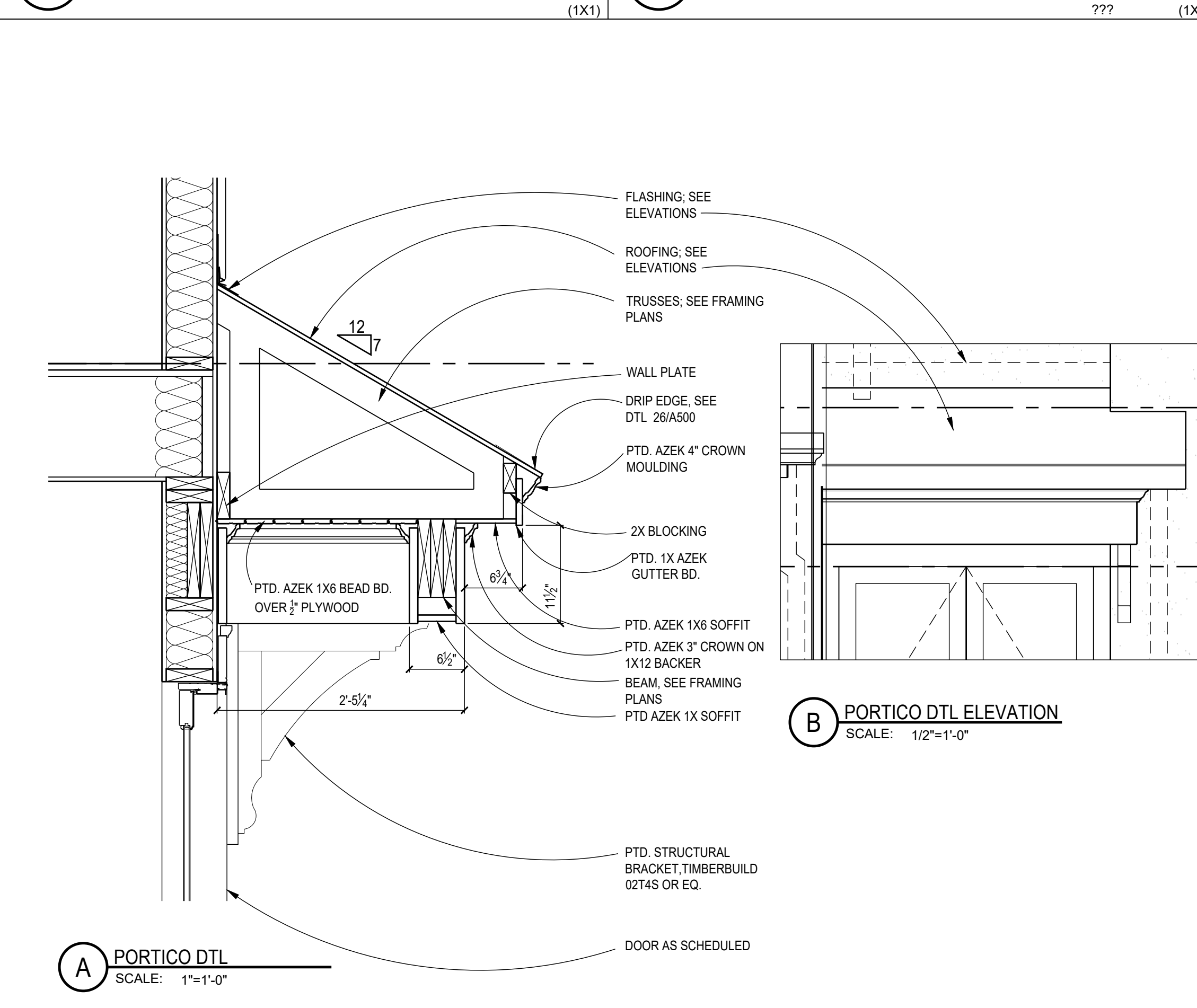
6 BAY WINDOW PLAN DETAIL  
SCALE: 1/2"=1'-0"



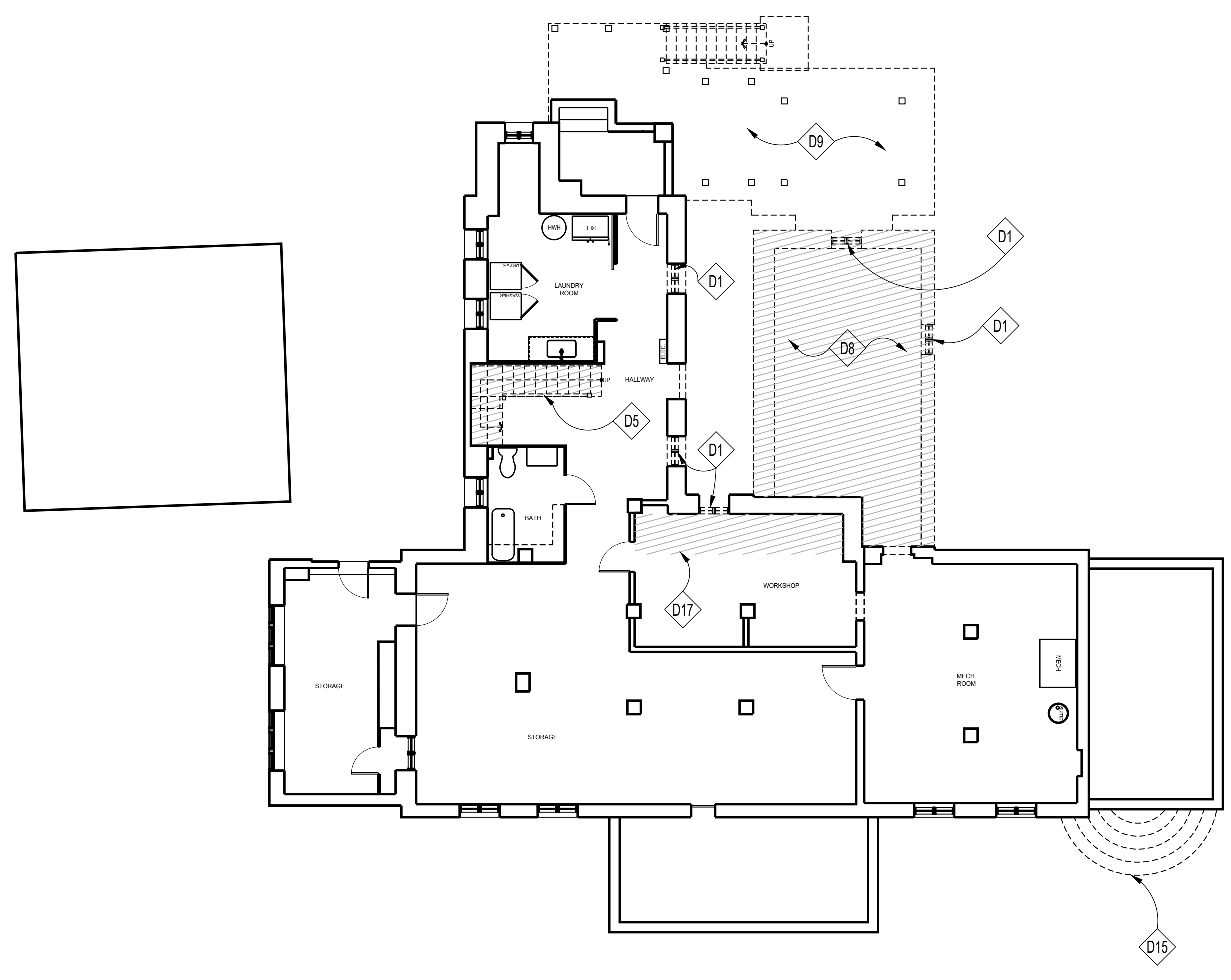
4 INTERSECTING WALL FRAMING DETAIL  
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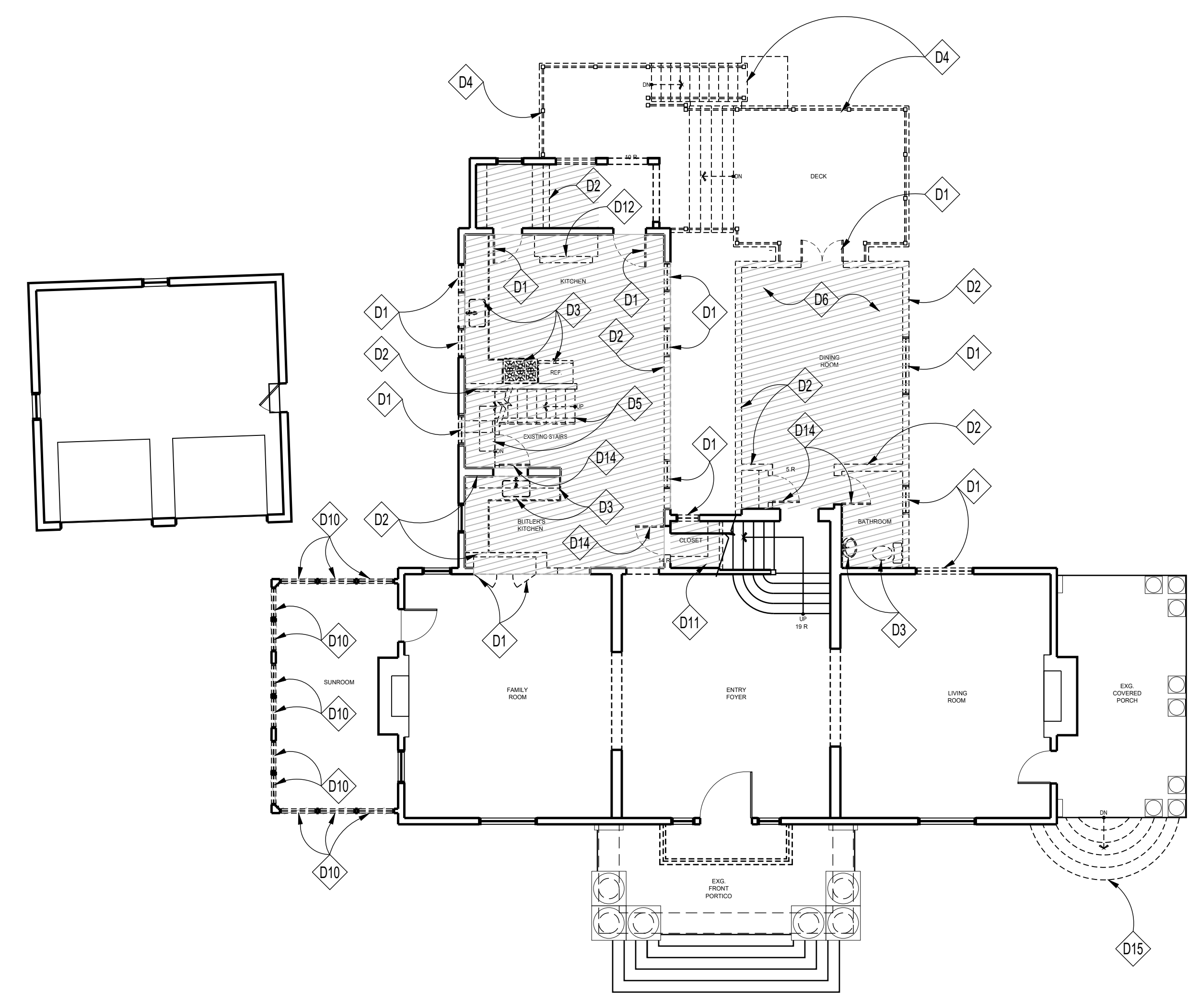
3 CORNER FRAMING DETAIL  
SCALE: N.T.S.



2 PORTICO DETAIL  
SCALE: AS NOTED



**1 LOWER LEVEL DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"

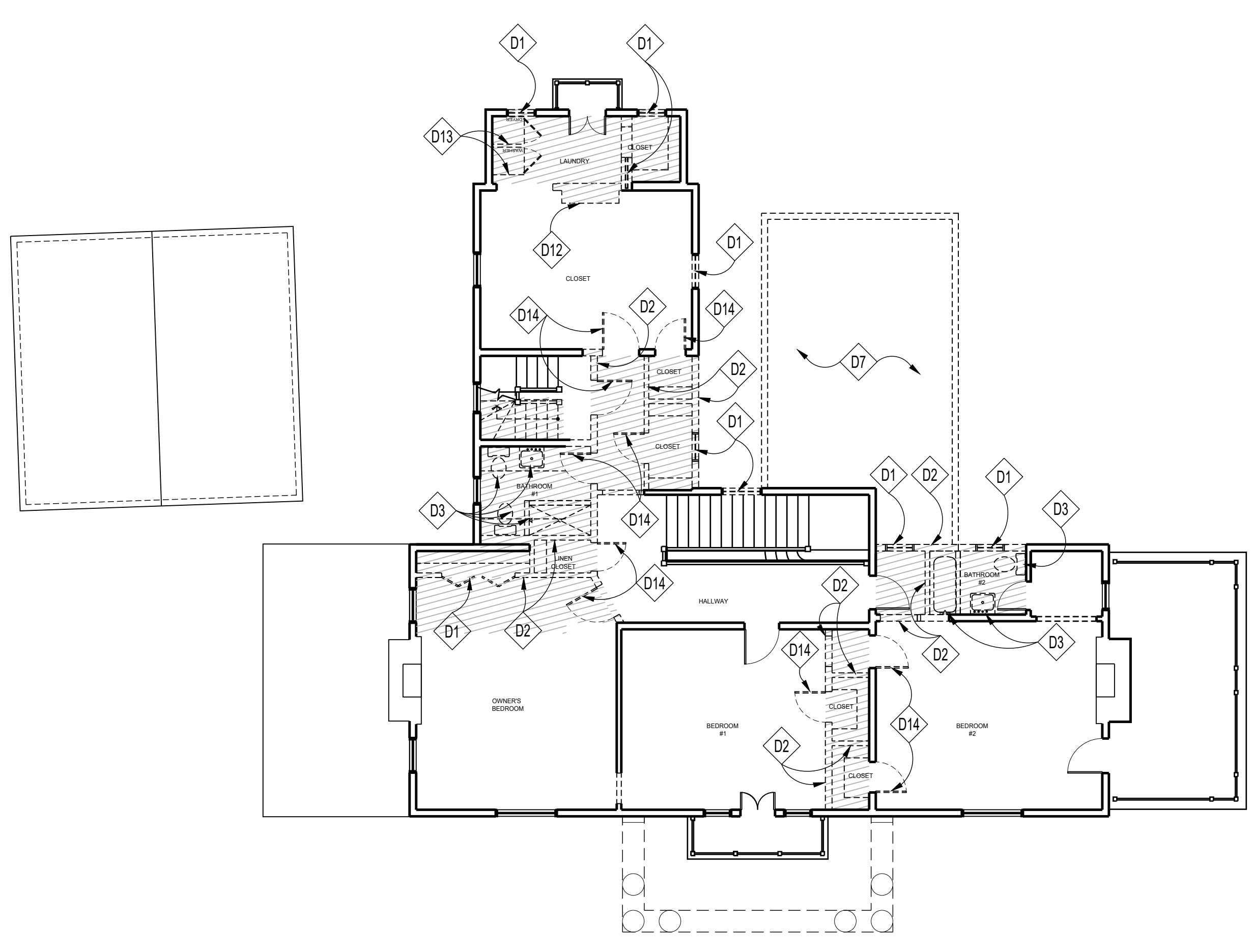


**2 FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"

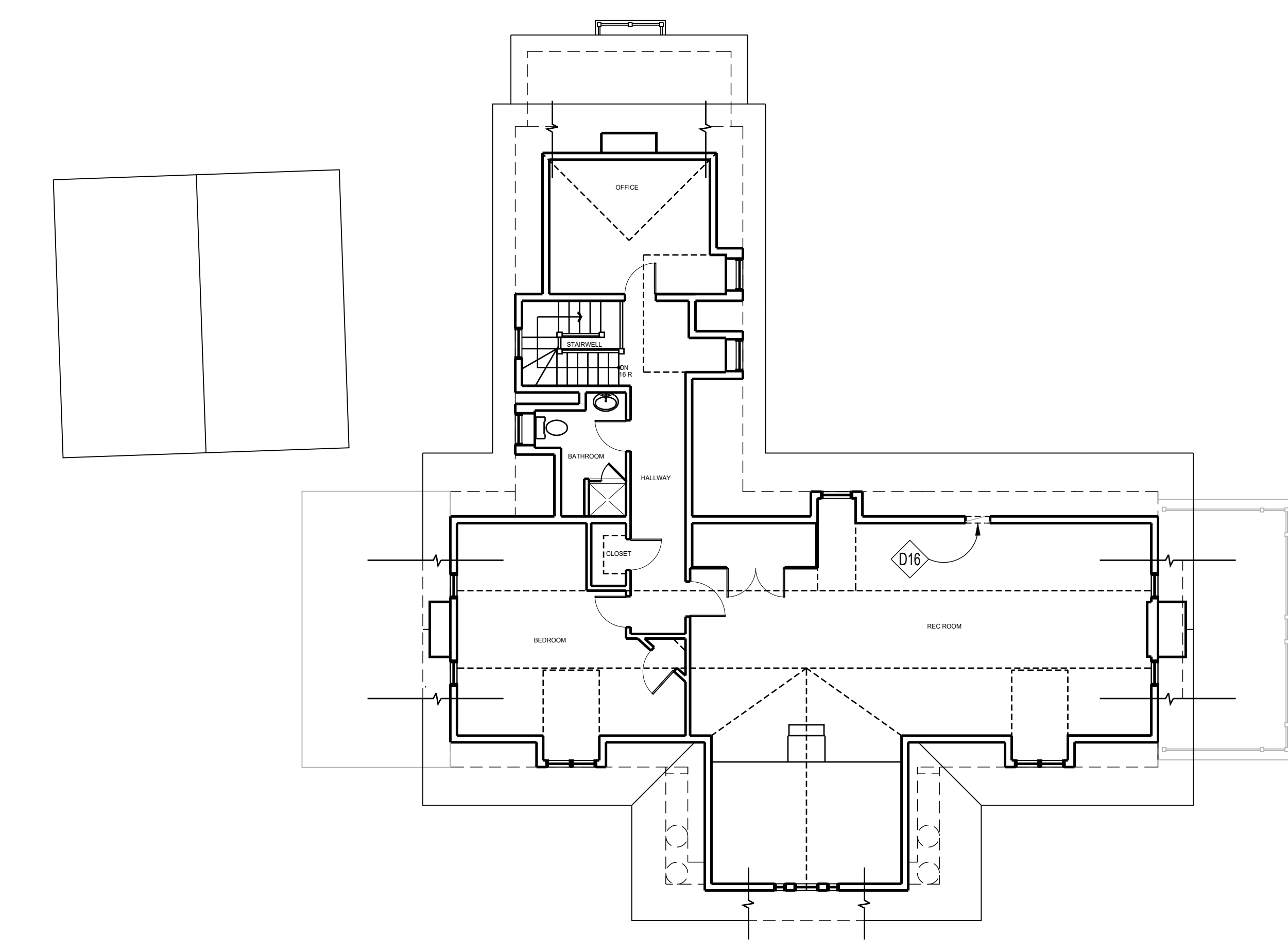
APPROVED  
Montgomery County  
Historic Preservation Commission

*R. Bruechert*

**REVIEWED**  
By Dan.Bruechert at 12:55 pm, Nov 12, 2024



**3 SECOND FLOOR DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"



**4 THIRD FLOOR DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"

**DEMOLITION NOTES**

- D1 REMOVE DOORS & WINDOWS AS SHOWN
- D2 REMOVE WALLS AS SHOWN, PROVIDE TEMPORARY SHORING AS REQUIRED
- D3 REMOVE EXISTING PLUMBING FIXTURES, COUNTERTOPS, APPLIANCES, CABINETS IN THEIR ENTIRETY
- D4 REMOVE EXISTING DECK/STEPS TO GRADE
- D5 REMOVE EXG. STAIRS & RAILINGS
- D6 REMOVE EXISTING DINING ROOM STRUCTURE IN ITS ENTIRETY
- D7 REMOVE EXISTING ROOF AND GUTTERS AS SHOWN
- D8 REMOVE EXISTING FOUNDATION WALLS, KEEP EXISTING FIELD STONE MASONRY TO BE USED ON NEW ADDITION
- D9 REMOVE EXISTING DECK COLUMNS
- D10 REMOVE EXISTING WINDOWS TO BE REPLACED
- D11 DEMO EXISTING CLOSET AND FLOOR FOR NEW STAIRCASE TO BASEMENT
- D12 REMOVE EXISTING CHIMNEY STACK ON SPECIFIC FLOOR - KEEP STACK ABOVE ROOF AND PROVIDE STRUCTURAL SUPPORT
- D13 REMOVE EXISTING WASHER AND DRYER; CONFIRM WITH OWNER IF BEING REUSED
- D14 SALVAGE ALL EXISTING INTERIOR 5 PANEL WOOD DOORS FOR POSSIBLE REUSE
- D15 REMOVE EXISTING NON HISTORIC EXTERIOR STAIRS
- D16 DEMO EX. WALL FOR NEW ACCESS PANEL
- D17 DEMO EX. CEILING/FLOOR ABOVE FOR NEW STAIRCASE

**SPRINKLER DEMO CALCS**

EXISTING FLOOR AREA:  
(TAKEN FROM INSIDE FACE OF EXTERIOR WALLS AND NOT INCLUDING THE BASEMENT FLOOR AREA)

FIRST FLOOR	2,360 SF
SECOND FLOOR	1,856 SF
THIRD FLOOR	1,539 SF
<b>TOTAL</b>	<b>5,755 SF (50% = 2,877.5 SF)</b>

FLOOR AREA OF INTERIOR DEMOLITION TO BE CARRIED OUT

FIRST FLOOR	878 SF
SECOND FLOOR	452 SF
<b>TOTAL</b>	<b>1,330 SF</b>

**HOUSE DOES NOT NEED TO BE SPRINKLERED PER ER 31-19 SUBSECTION R313.4**

**INFILL DEMO CALCS**

EXISTING GROSS FLOOR AREA:

BASEMENT	2,514 SF
FIRST FLOOR	3,022 SF
SECOND FLOOR	2,009 SF
THIRD FLOOR	1,715 SF
<b>TOTAL</b>	<b>9,260 SF (50% = 4,630 SF)</b>

GROSS FLOOR AREA TO BE DEMOLISHED AND RECONSTRUCTED:

BASEMENT	104 SF
FIRST FLOOR	1,028 SF
SECOND FLOOR	587 SF
THIRD FLOOR	0 SF
<b>TOTAL</b>	<b>1,649 SF</b>

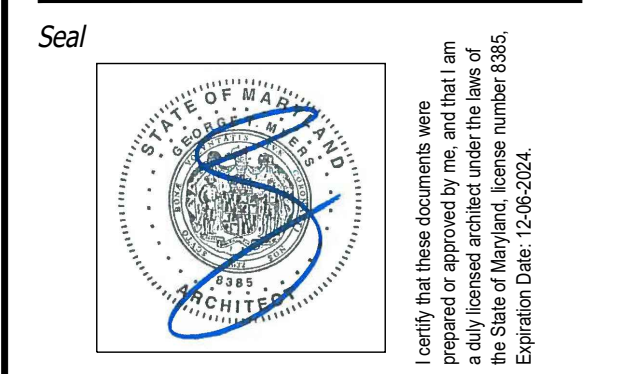
**PROPOSED WORK IS NOT INFILL 1,649 SF < 4,630 SF**

**GENERAL DEMOLITION NOTES**

1. EVERY CARE SHALL BE TAKEN DURING DEMOLITION TO PROTECT THE HOUSE BY MEANS OF TEMPORARY SUPPORTS AND BRACES AS NECESSARY TO PREVENT ANY STRUCTURAL FAILURE DURING REMOVAL AND REPLACEMENT OF EXISTING STRUCTURAL MEMBERS.
2. TEMPORARY WALLS AND DUST BARRIERS SHALL BE INSTALLED AS NECESSARY TO PREVENT CIRCULATION OF DIRT AND DUST INTO PORTIONS OF THE HOUSE THAT ARE NOT PART OF THE WORK.
3. ALL DASHED WALLS, FIXTURES, WINDOWS, ETC., ARE TO BE REMOVED.
4. CONDUCT ALL DEMOLITION OPERATIONS IN COMPLIANCE WITH APPLICABLE CODES AND ORDINANCES.
5. COORDINATE DEMOLITION WITH WORK OF SUBCONTRACTORS.
6. MAINTAIN THE EXISTING STRUCTURE IN A WATERTIGHT CONDITION AT ALL TIMES.
7. RELOCATE/REMOVE ANY EXISTING GAS, ELECTRICAL, PLUMBING LINES, ETC. IN CONFLICT WITH NEW WORK.
8. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION.
9. RE-ROUTE VENTS FLUES, EXHAUST, ETC. AS REQ'D.
10. REMOVE LANDSCAPING AS REQUIRED, RELOCATE VIABLE PLANTS ON SITE FOR REUSE.
11. GENERAL CONTRACTOR TO STORE AND PROVIDE SECURITY PROTECTION FOR ANY MATERIALS AND EQUIPMENT RELATED TO THE DEMOLITION AND CONSTRUCTION.
12. OWNER AND CONTRACTOR TO OBTAIN RELEVANT BUILDING PERMITS PRIOR TO EXECUTION OF WORK.
13. DEMO OF ADDITIONAL BUILDING COMPONENTS FOR EASE OF CONSTRUCTION IS DONE SO AT GC DISCRETION.

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**WILLIAMS RESIDENCE**

102 E KIRKE STREET, CHEVY CHASE MD

Owner  
**BRITT AND WILL WILLIAMS**

Developer

PERMIT SET 11/05/2024

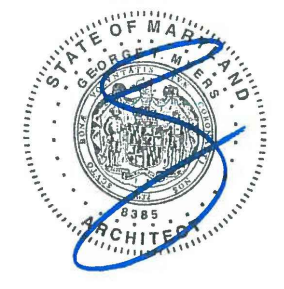
GTM Project No. 23.0639  
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Drawn By LEO/KBP  
Scale AS NOTED

Sheet Title  
**DEMO PLANS**

Sheet No.  
**D001**



Seal



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Project

**WILLIAMS RESIDENCE**

102 E KIRKE STREET, CHEVY CHASE MD

Owner

**BRITT AND WILL WILLIAMS**

Developer

PERMIT SET 11/05/2024

Issue Description Date

GTM Project No. 23.0639

Checked By LEO/KBP

Drawn By AS NOTED

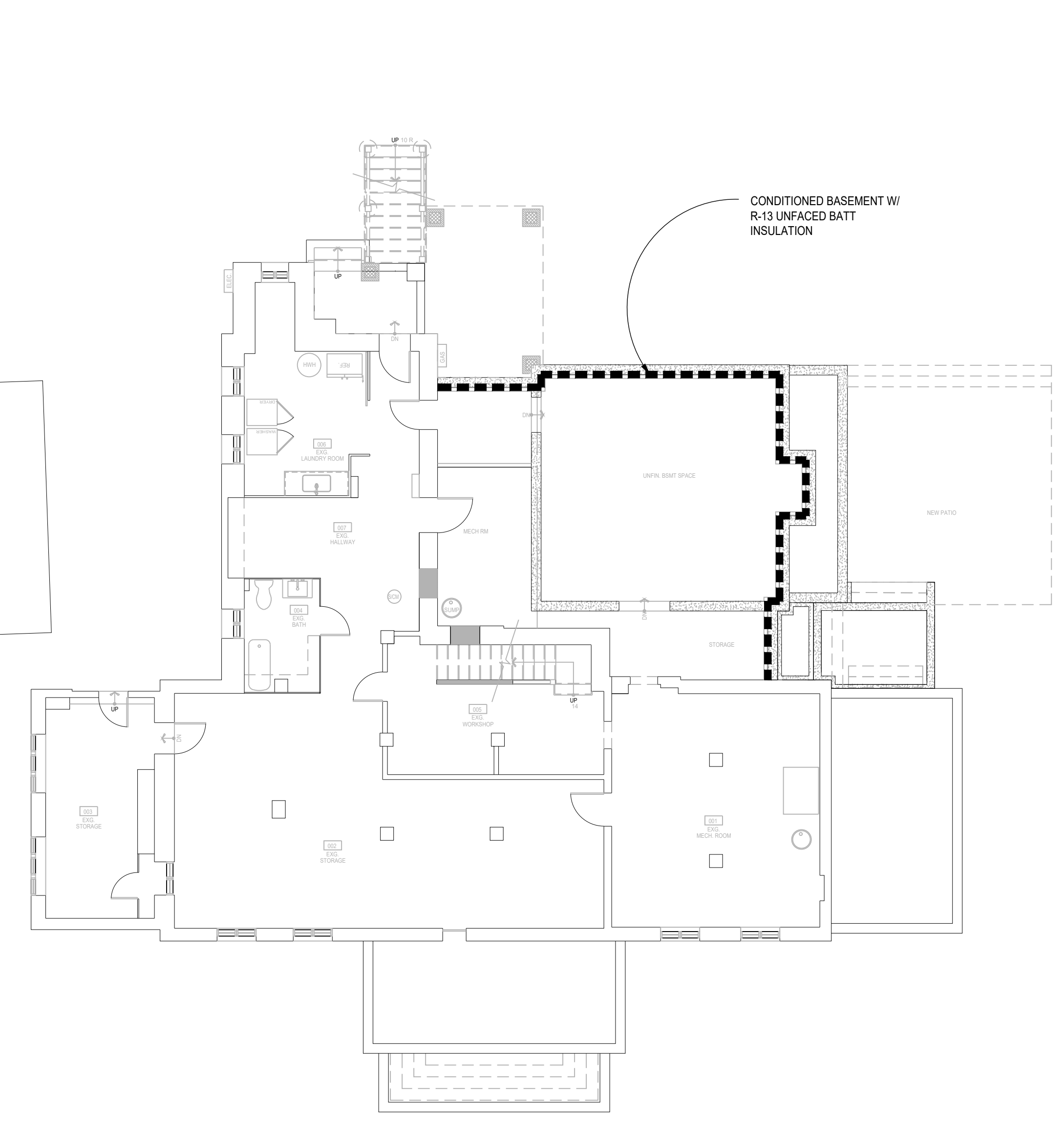
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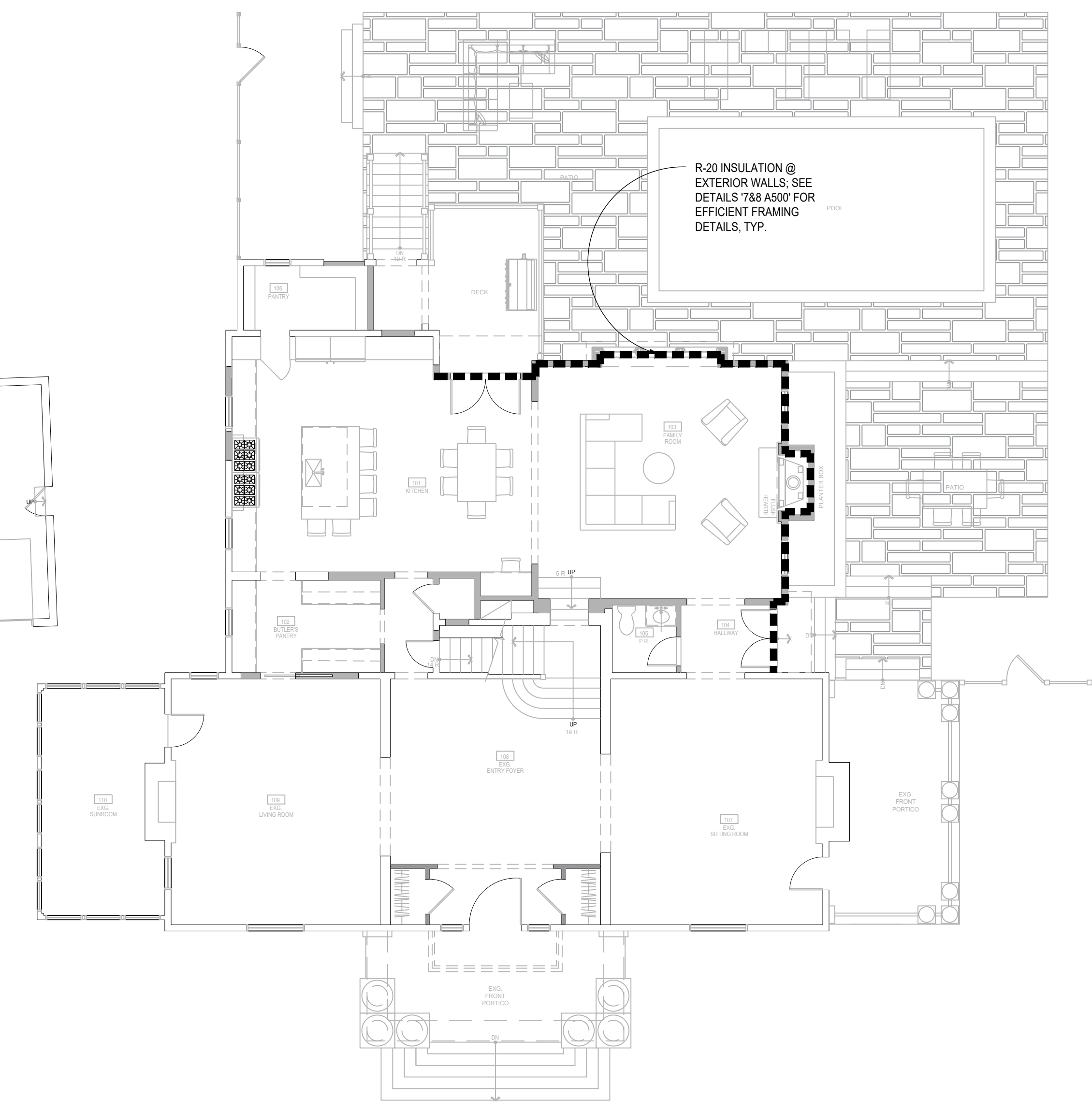
**THERMAL ENVELOPE DIAGRAMS**

Sheet No.

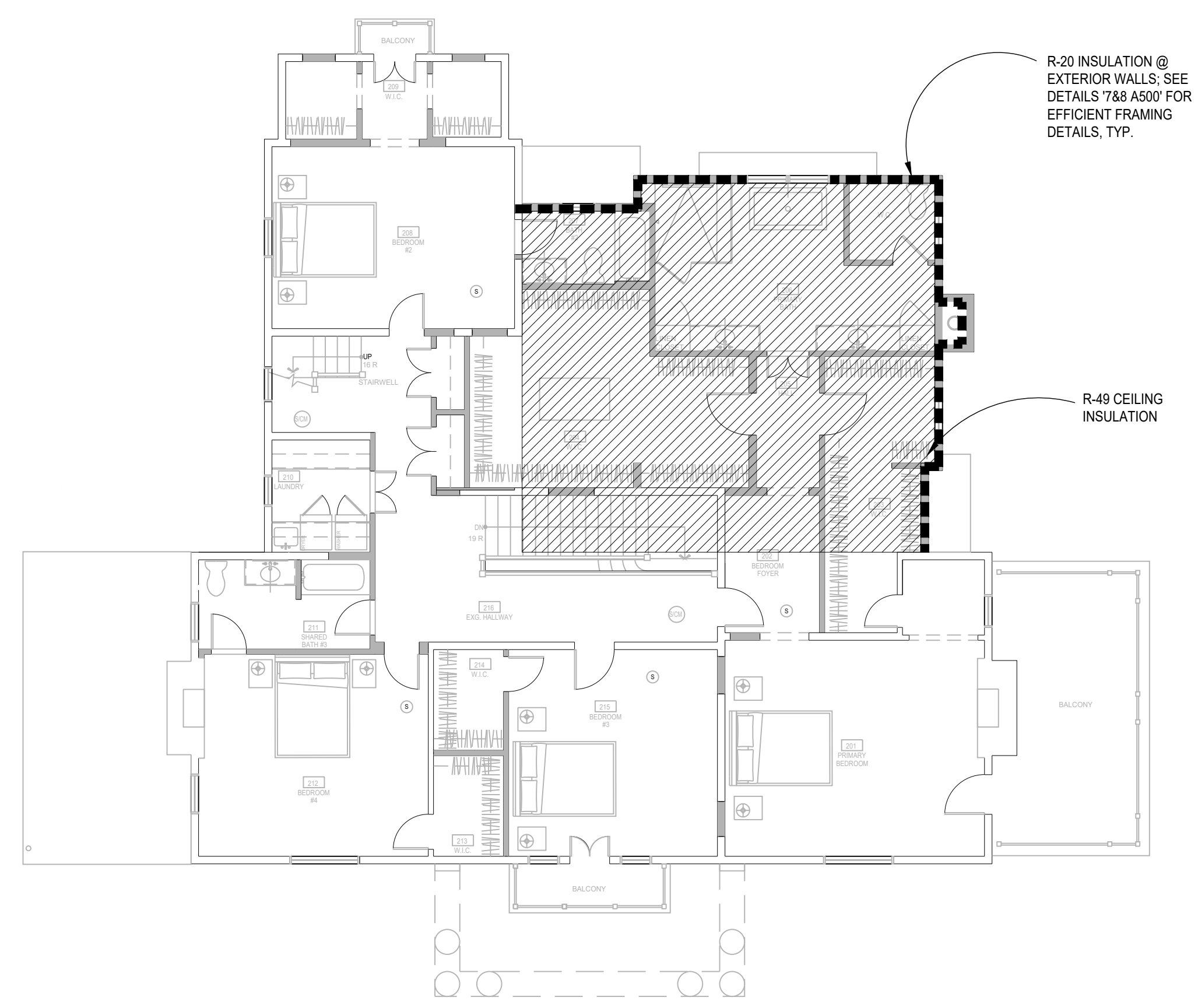
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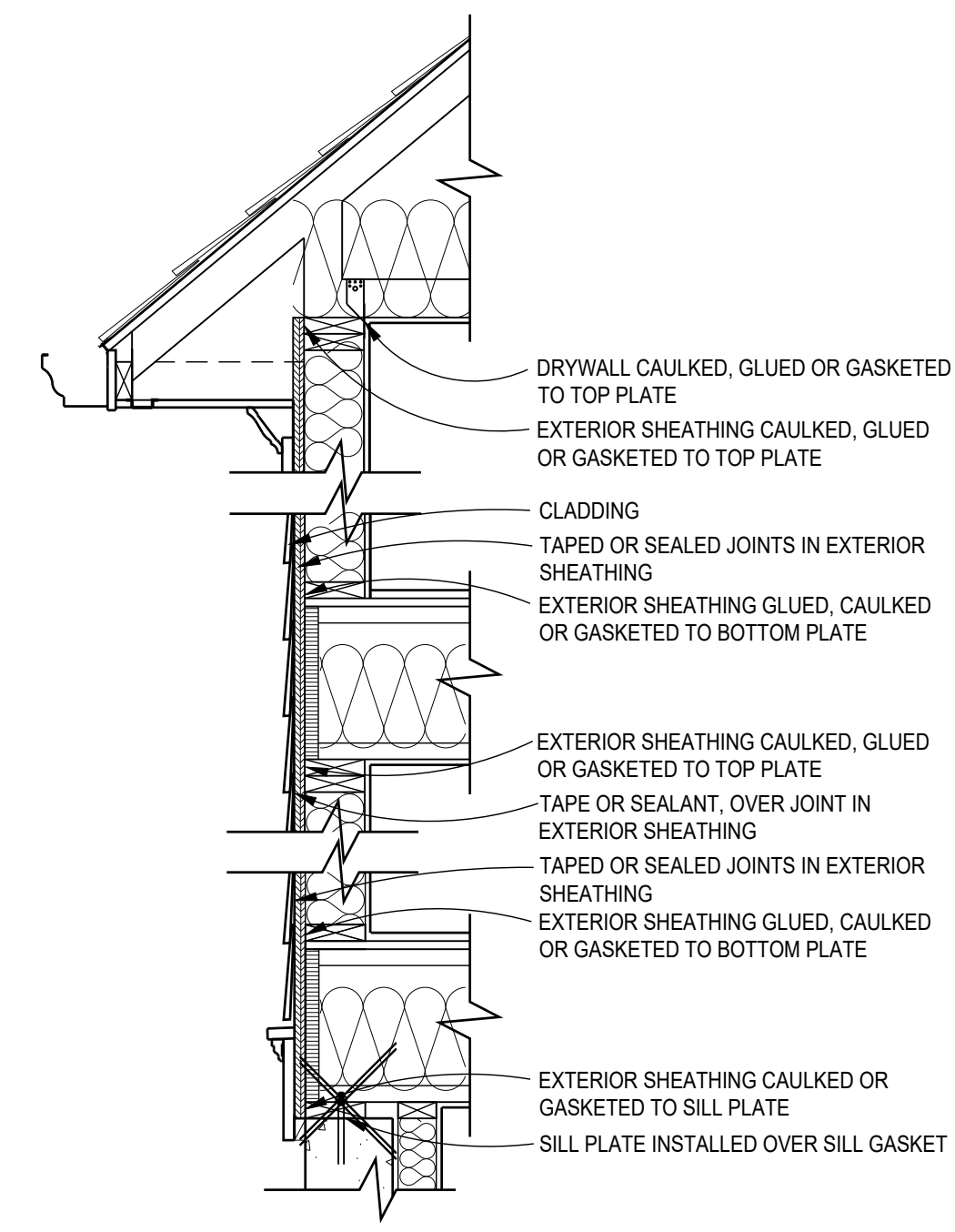
**1 LOWER LEVEL THERMAL ENVELOPE PLAN**  
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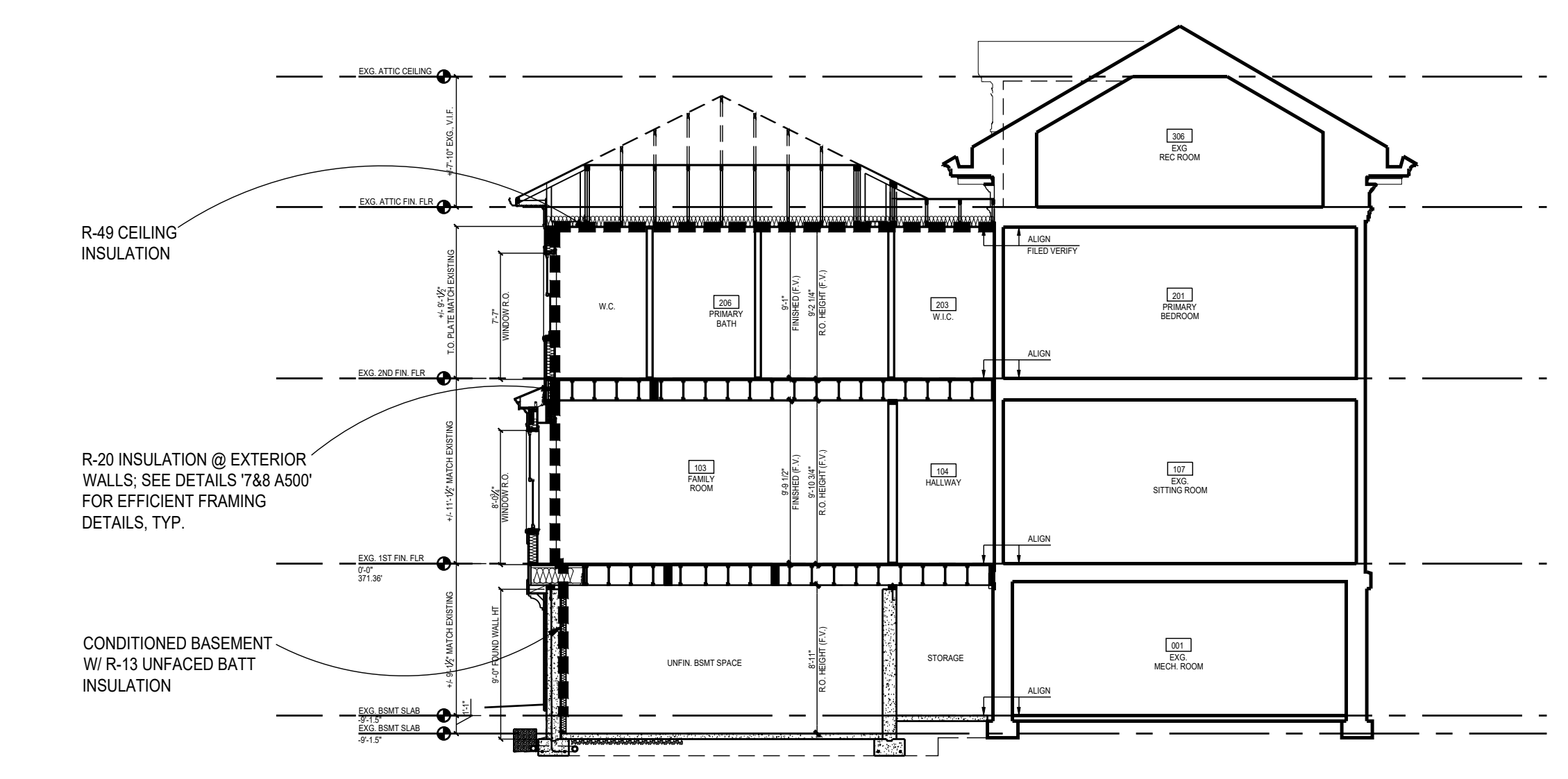
**2 FIRST FLOOR THERMAL ENVELOPE PLAN**  
Scale: 1/8"=1'-0"



**3 SECOND FLOOR THERMAL ENVELOPE PLAN**  
Scale: 1/8"=1'-0"



**4 ENVELOPE AIR SEALING DETAILS**  
Scale: N.T.S.



**5 THERMAL ENVELOPE SECTION**  
Scale: 1/8"=1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

REVIEWED  
By Dan.Bruechert at 12:55 pm, Nov 12, 2024

**WINDOW/DOORS THERMAL DATA**

THERMAL PERFORMANCE DATA FOR DOORS & WINDOWS		
OPENING TYPE	U-VALUE	SHGC
CASEMENT WINDOWS	0.31	0.19
DOUBLE HUNG WINDOWS	0.30	0.27
INSWINGING FRENCH PATIO DOORS	0.30	0.21
SLIDING PATIO DOORS	0.33	0.28
EXTERIOR SWINGING DOORS	0.30	0.09
WINDOW WALL SYSTEM	0.32	0.24

THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADE-OFFS FROM SECTION 402.1 IN ZONE 4 SHALL BE .35 FOR VERTICAL FENESTRATION AND .55 FOR SKYLITES

**ENERGY CONSERVATION NOTES**

- The following provisions for thermal resistance meet or exceed the requirements stipulated by the International Energy Conservation Code.
    - Windows: not exceeding five tenths (0.5) CFM per foot of door area.
    - Sliding Glass Doors: not exceeding five tenths (0.5) CFM per foot of door area.
    - Swinging Doors: not exceeding one and twenty-five hundredths (1.25) CFM per square foot of door area. Provide 1" fiberglass sill sealer between foundation wall and sill plate.
    - In order to seal between dissimilar materials to allow for differential expansion and contraction, the following shall be caulked, gasketed, weatherstripped or otherwise sealed with an air barrier material, suitable film or solid material:
      - All joints, seams, and penetrations
      - Sill-built windows, doors, and skylites
      - Openings between window and door assemblies and their respective jambs & framing
      - Utility penetrations
      - Dropped ceilings or chases adjacent to the thermal envelope
      - Knee walls
      - Walls and ceilings separating a garage from conditioned spaces
      - Behind tubs and showers on exterior walls
      - Common walls between dwelling units
      - Attic access openings
      - Rim joist junction
      - Other sources of infiltration
  - INSULATION: IRC CEILING (OF UPPERMOST STORY)
    - R-49 W/ 500SF R-30 ALLOWANCE, OR R-38 UNCOMPRESSED
    - R-38C
    - R-20 OR 13+5 (EXTERIOR)
  - VAULTED CEILING EXTERIOR FRAME WALLS EQUAL TO WALL BELOW
    - RIM JOISTS
    - FLOORS OVER UNHEATED SPACES (INCLUDING FLOOR OVERHANGS)
    - MASONRY WALLS (ENCLOSED HEATED LIVING AREAS)
    - SLAB ON GRADE (HEATED SPACE)
    - 2" PERIMETER INSULATION
    - WINDOWS
    - DOORS
  - R-30
  - R-13 OR R-10 CONTINUOUS
  - R-10
  - 0.32 U FACTOR, 0.40 SHGC SEE SECTION R402.3.4
- \*ALL VALUES ARE TYPICAL UNLESS NOTED OTHERWISE IN ARCHITECTURAL DRAWINGS

**HVAC SYSTEMS & WATER HEATING**

- HEATING & COOLING EQUIP. CONTROLS. AT LEAST ONE PRE-PROGRAMMED PROGRAMMABLE THERMOSTAT IS REQUIRED WHEN USING A FORCED AIR SYSTEM. SEPARATE THERMOSTATS ARE REQUIRED FOR EACH HEATING/COOLING ZONE IN THE DWELLING.
- DUCT INSULATION. SUPPLY DUCTS LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO MINIMUM R-8. ALL OTHER DUCTS INSULATED TO A MINIMUM OF R-6
- DUCT SEALING. ALL DUCTS, AIR HANDLERS, FILTER BOXES, & BUILDING CAVITIES MUST BE SEALED. JOINTS & SEAMS SHALL COMPLY W/ M1606.4.1 IRC
- MECHANICAL SYSTEM PIPING INSULATION. R-3 FOR PIPING CARRYING FLUIDS AT >105°F OR <55°F IS REQUIRED
- MECHANICAL VENTILATION. OUTDOOR AIR INTAKES OR EXHAUSTS SHALL HAVE DAMPERS
- SERVICE WATER HEATING. PIPING IN THE CIRCULATING HOT WATER SYSTEM SHALL BE INSULATED TO AN R-3 AND SYSTEM TO INCLUDE MANUAL OR AUTOMATIC SWITCH THAT CAN TURN OFF THE SYSTEM WHEN IT IS NOT USED. WATER HEATERS WITH PIPE RISERS SHALL HAVE HEAT TRAPS ON BOTH INLET AND OUTLET OF WATER HEATER UNLESS THE WATER HEATER HAS INTEGRAL HEAT TRAPS OR IS PART OF A CIRCULATION SYSTEM. TYPICAL METHODS USED FOR CREATING HEAT TRAPS ARE "U" OR "RAMS HORN" BENDS IN THE FLEXIBLE PIPE CONNECTORS OR INSTALLING AFTERMARKET PIPE NIPPLES WITH INTEGRAL TRAPS.

**LEGEND**

