



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: October 11, 2024

MEMORANDUM

TO: Rabbiah Sabbakhan, DPS Director
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1084766 - Pergola Construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the October 9, 2024 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Rebecca & Rob Nichols
Address: 5918 Cedar Parkway, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301-563-3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



NICHOLS RESIDENCE

5918 CEDAR PARKWAY
CHEVY CHASE, MD 20815

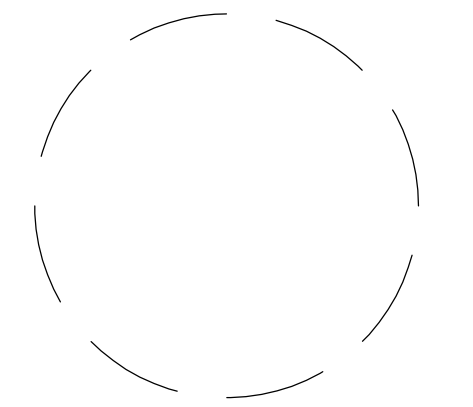
SEPTEMBER 11, 2024

HORN & C o.

Landscape Architecture
1408 N Fillmore St, Suite 17 Arlington VA 22201
hornandco.com 202 573-7581

Nichols Residence
5918 Cedar Parkway
Chevy Chase, MD 20815

SEAL:



#	Date:	Description:	BY:
1	2024-09-06	PERGOLA HAWP	SB

LEGEND

	EXISTING INTERMEDIATE CONTOUR		MATERIAL OR DETAIL CALLOUT		MISC. LIGHTS
	EXISTING INDEX CONTOUR		ELEVATION CALLOUT		WALL LIGHT
	PROPOSED INTERMEDIATE CONTOUR		SECTION CALLOUT		STEP LIGHT
	PROPOSED INDEX CONTOUR		EXISTING TREE TO REMOVE		UP LIGHT
x 0.00	EXISTING SPOT GRADE		EXISTING PLANT TO REMIAN		DOWN LIGHT
+ 0.00	PROPOSED SPOT GRADE		TRANSPLANT PLANT		PATH LIGHT
	EASEMENT		PROPOSED PLANT		WELL LIGHT
	SILT FENCE		PROPOSED PLANT MASSES		GFI OUTLET
	PROPERTY LINE				ELECTRICAL SWITCH
	LIMIT OF DISTURBANCE				HOSE BIB
	EXISTING FENCE				DOWNSPOUT TILED OUT
	EXISTING FENCE				DOWNSPOUT NO TILE
	TREE PROTECTION FENCE				
	PROPOSED FENCING				
	STEP				
	SLOPE ARROW				

GENERAL NOTES

- DO NOT SCALE THESE DRAWINGS.
- DIMENSIONS ARE FROM BACK OF CURB, TO FACE OF WALL, TO OUTSIDE EDGE OF PAVEMENTS; FROM COLUMN CENTERLINES TO HARDSCAPE CENTERLINES, TO CENTERLINE OF PAVEMENTS, TO OUTSIDE EDGE OF PAVEMENTS, TO CENTERLINES OF STAIRS; FROM EDGE OF PAVEMENT TO FACE OF WALL UNLESS OTHERWISE SPECIFIED.
- ALL CURVES TO BE TRUE RADII WITHOUT STRAIGHT SEGMENTS.
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
- CHANGES IN LAYOUT MAY BE MADE TO ACCOMMODATE DESIGN INTENT OR FIELD CONDITIONS. NO ADDITIONAL PAYMENT WILL BE MADE TO THE CONTRACTOR FOR THIS WORK.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND IN PLANS AND ANY CONFLICTS ENCOUNTERED IN FIELD.
- QUANTITIES REFERENCED IN PLANS ARE SHOWN AS A COURTESY ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL WALLS, SIDEWALKS, PATHWAYS, FENCES, AND STAIRWAYS SHALL BE COMPLETELY LAID OUT AND STAKED WITH VISIBLE MARKERS. THE STAKES SHALL BE APPROVED IN THE FIELD BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO SITE VISIT.
- CONTRACTOR IS RESPONSIBLE FOR ALL WIRING, CONDUIT, FOOTINGS, PERMITS, ETC. NECESSARY TO COMPLETE SITE LIGHTING INSTALLATION. CONTRACTOR TO COORDINATE POWER CONNECTIONS WITH ELECTRICAL ENGINEER AND OWNER.

SHEET INDEX

NUMBER	SHEET NAME	INCLUDED
L-001	COVER SHEET	●
L-101	EXISTING CONDITIONS	●
L-102	PERGOLA SITE PLAN	●
L-103	PROPOSED ELEVATIONS	●
L-201	PERGOLA DETAIL	●
L-202	PERGOLA DETAIL	●

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North:

DESIGN: JH

DRAFTED: SB

CHECKED: JH

Scale:

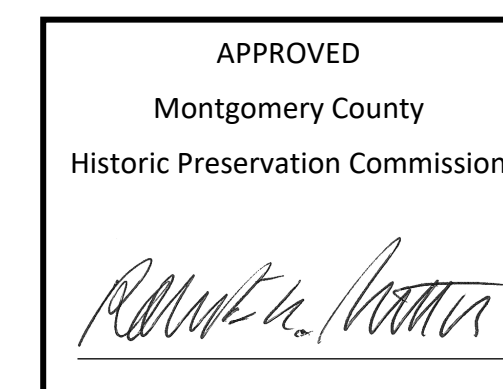
Issue Date: 2024-09-11

Project No: NICHOLS

MATERIAL GRAPHICS

	CONCRETE		SOIL / COMPACTED SOIL / UNDISTURBED SUBGRADE		MORTAR NEXT TO SAND SETTING BED		STONE
	COMPACTED AGGREGATE SUB-BASE		STEEL / IRON		BRICK / PAVER		ASPHALT CONCRETE W/ NEOPRENE TACK COAT
	SAND		WOOD		DRAINAGE GRAVEL		
	MORTAR		MULCH		RIGID INSULATION W/ OPEN JOINTS FOR DRAINAGE		
	STRUCTURAL / PLANTING / LIGHTWEIGHT SOIL		METAL		SLEEVING		

LOCATION MAP



REVIEWED
By Dan.Bruechert at 10:39 am, Oct 11, 2024

COVER SHEET

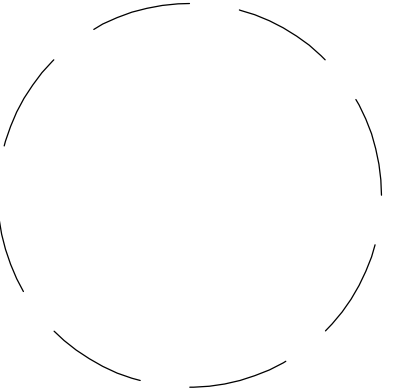
L-001

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North: SEE DETAILS

APPROVED
 Montgomery County
 Historic Preservation Commission
Robert A. Norman

REVIEWED
 By Dan.Bruechert at 10:39 am, Oct 11, 2024

DESIGN: JH
 DRAFTED: XX
 CHECKED: JH
 Scale: SEE DETAILS

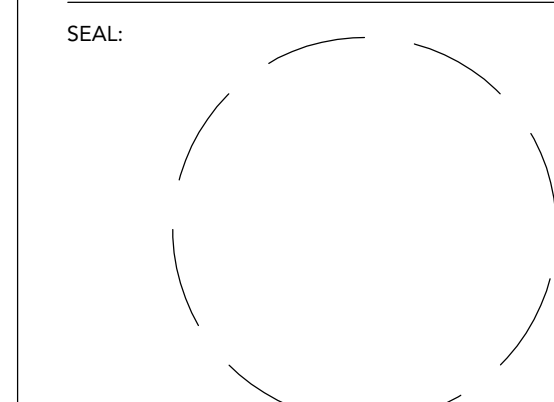
Issue Date: 2024-09-11
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EXISTING
 CONDITIONS

L-101



SEAL:



#	Date:	Description:	BY:
1	2024-09-06	PERGOLA HAWP	SB

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North: SEE DETAILS

DESIGN: JH

DRAFTED: SB

CHECKED: JH

Scale: SCALE: 1/16" = 1'-0"

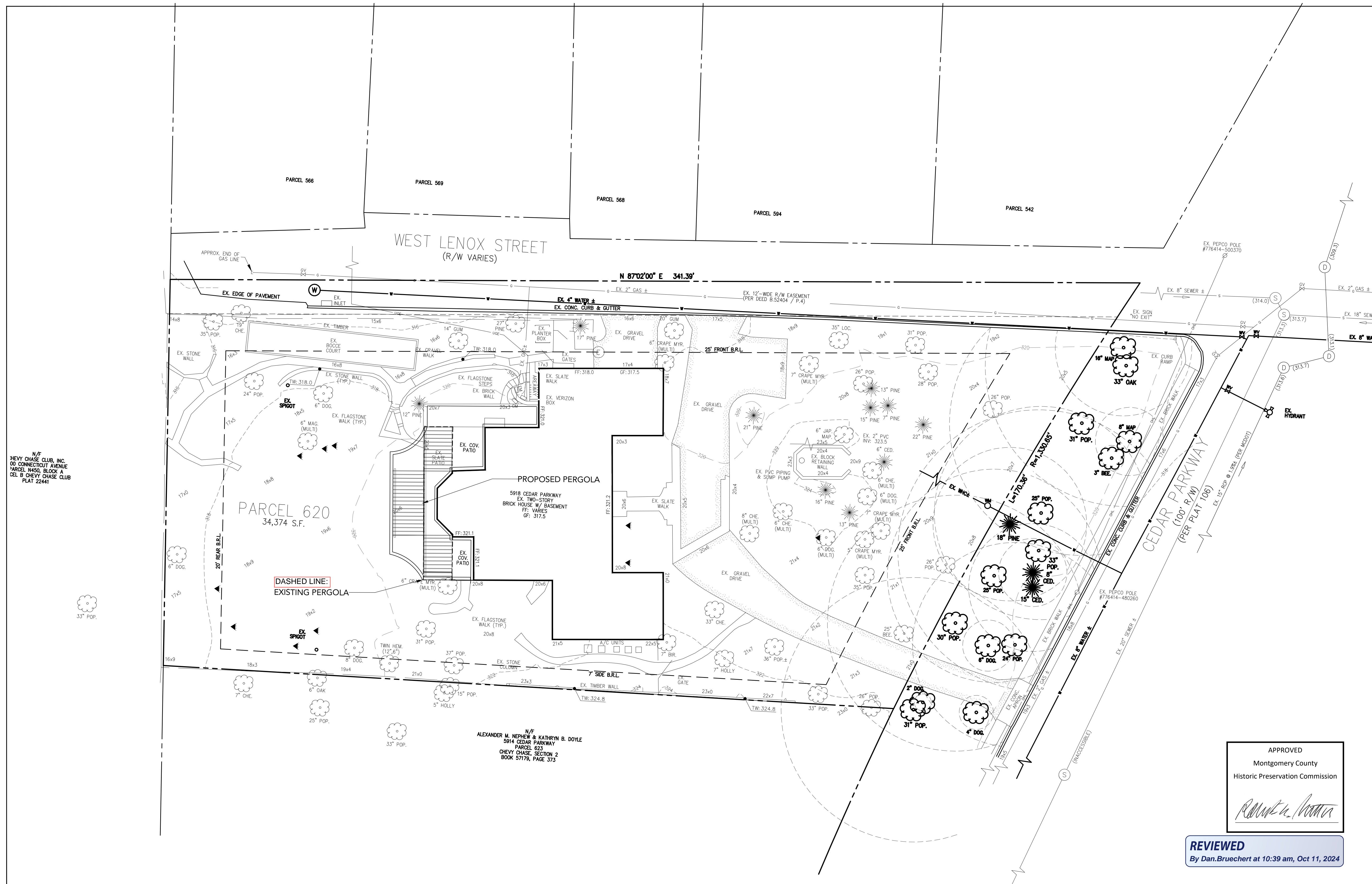


Issue Date: 2024-09-11

Project No: NICHOLS

PERGOLA SITE PLAN

L-102



N/F CHEVY CHASE CLUB, INC. 60 CONNECTICUT AVENUE PARCEL 1450, BLOCK A CEL B CHEVY CHASE CLUB PLAT 22441

PARCEL 620
34,374 S.F.

DASHED LINE:
EXISTING PERGOLA

PROPOSED PERGOLA

5918 CEDAR PARKWAY
EX. TWO-STORY
BRICK HOUSE W/ BASEMENT
FF: VARIES
GF: 317.5

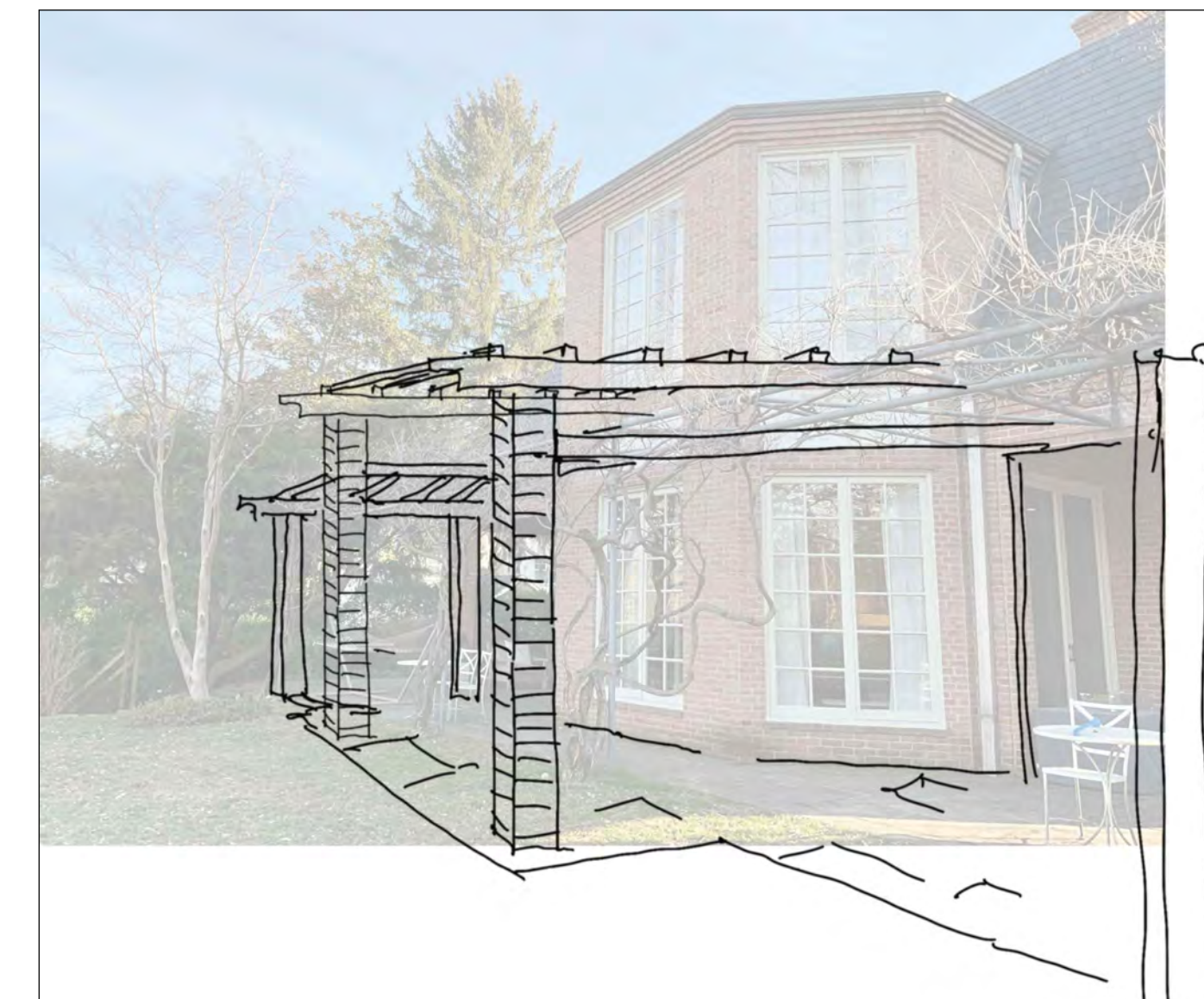
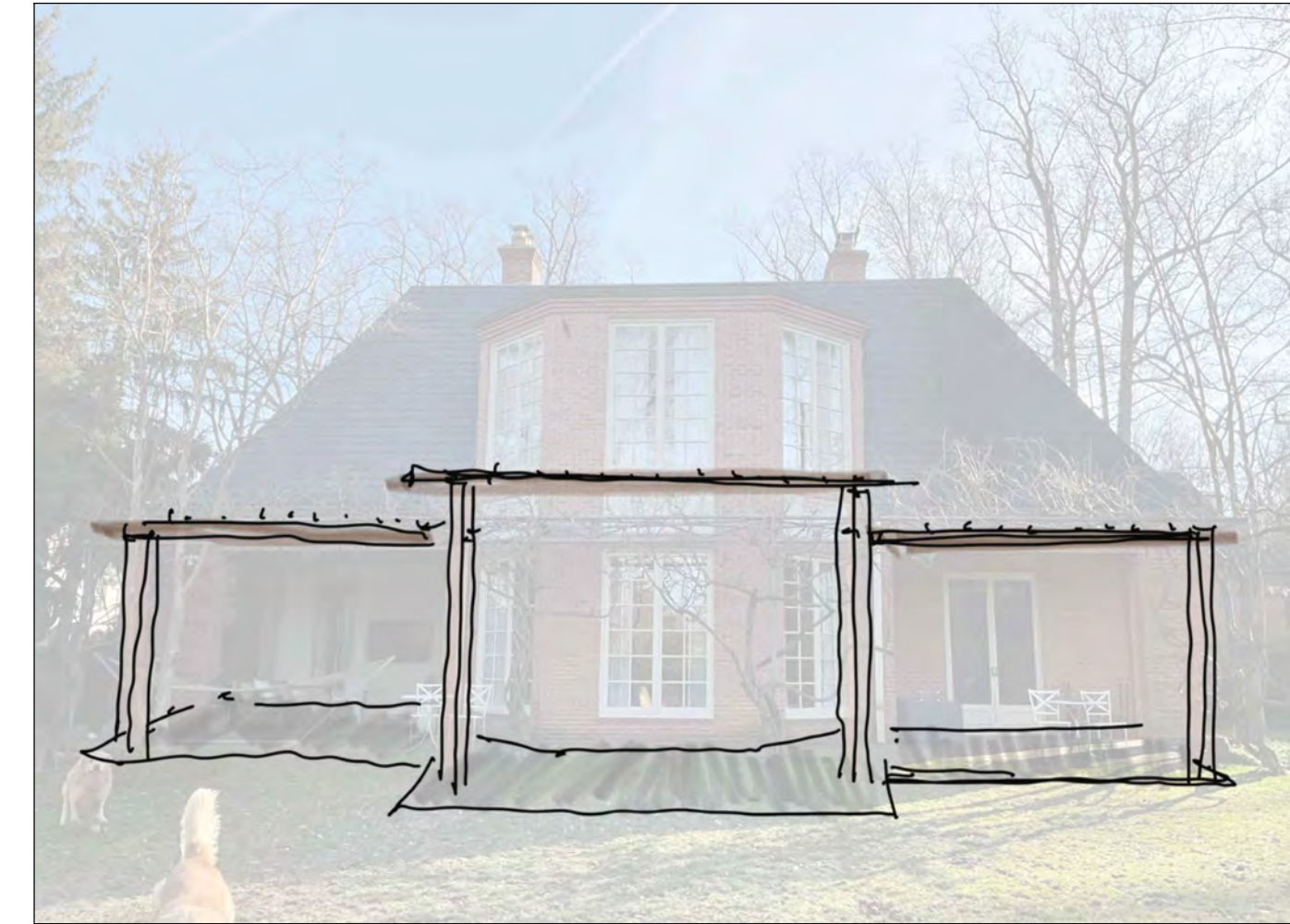
N/F ALEXANDER M. NEPHEW & KATHRYN B. DOYLE
5914 CEDAR PARKWAY
PARCEL 623
CHEVY CHASE SECTION 2
BOOK 57179, PAGE 373

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

REVIEWED
By Dan.Bruechert at 10:39 am, Oct 11, 2024

Nichols Residence

Not For Construction



APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

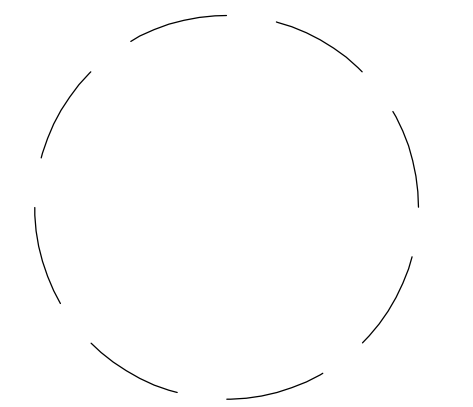
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North: SEE DETAILS

DESIGN: JH

DRAFTED: SB

CHECKED: JH

Scale: SEE DETAILS

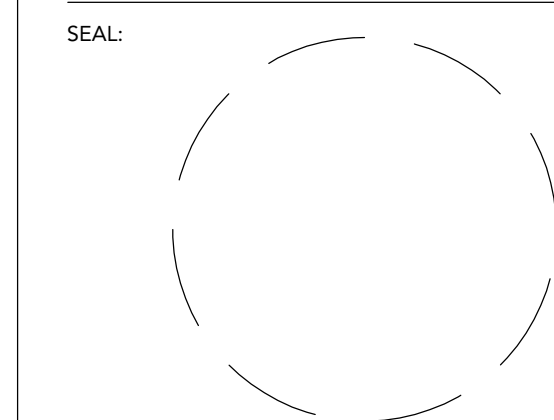
Issue Date: 2024-09-11

Project No: NICHOLS

PROPOSED ELEVATIONS

L-103

SEAL:



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1	2024-09-06	PERGOLA HAWP	SB

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North:

DESIGN: JH

DRAFTED: AK

CHECKED: JH

Scale: SEE DETAILS

Issue Date: 2024-09-11

Project No: NICHOLS

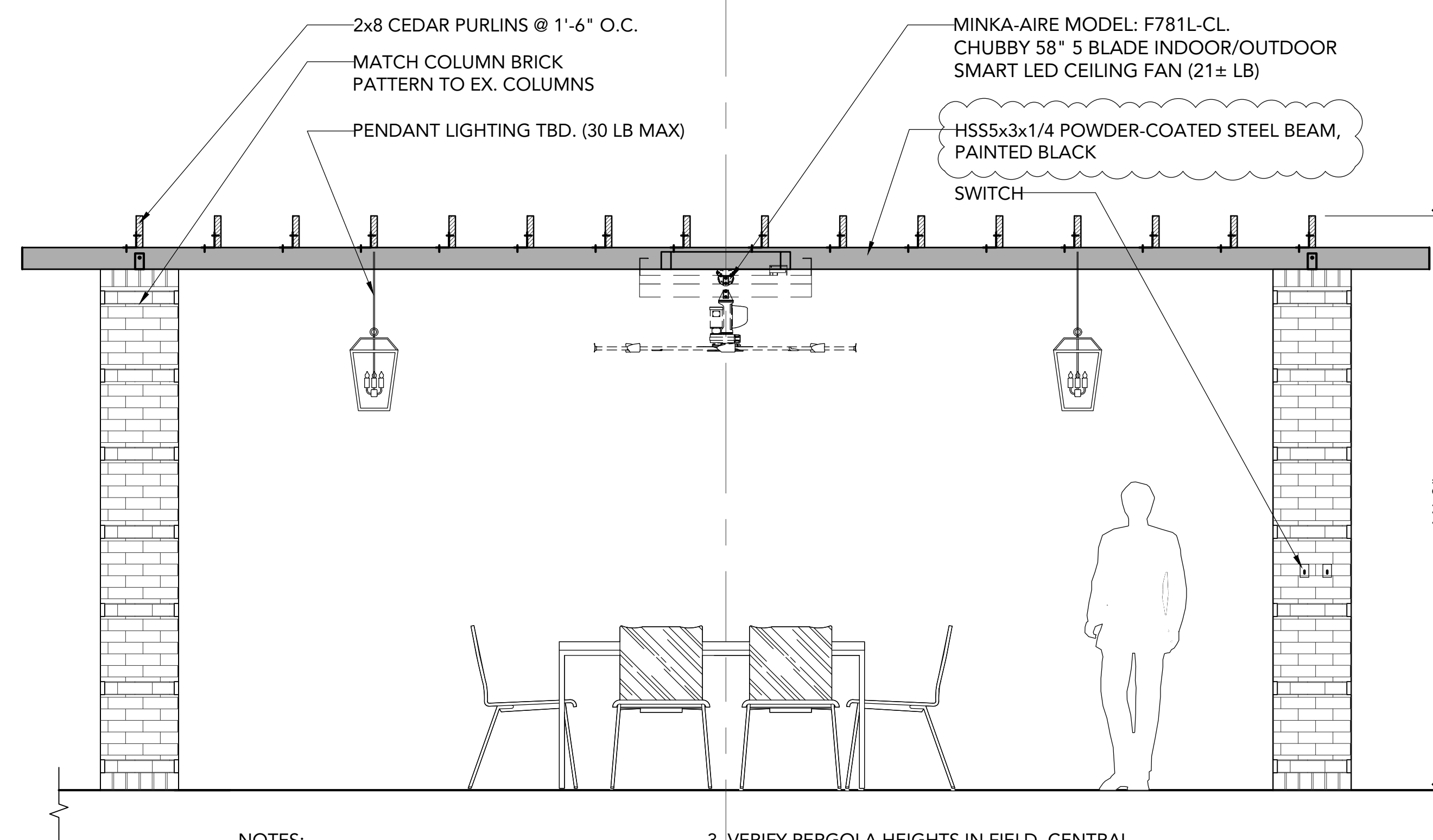
PERGOLA DETAILS

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
REVIEWED
By Dan.Bruechert at 10:39 am, Oct 11, 2024

L-201

Nichols Residence

Not For Construction

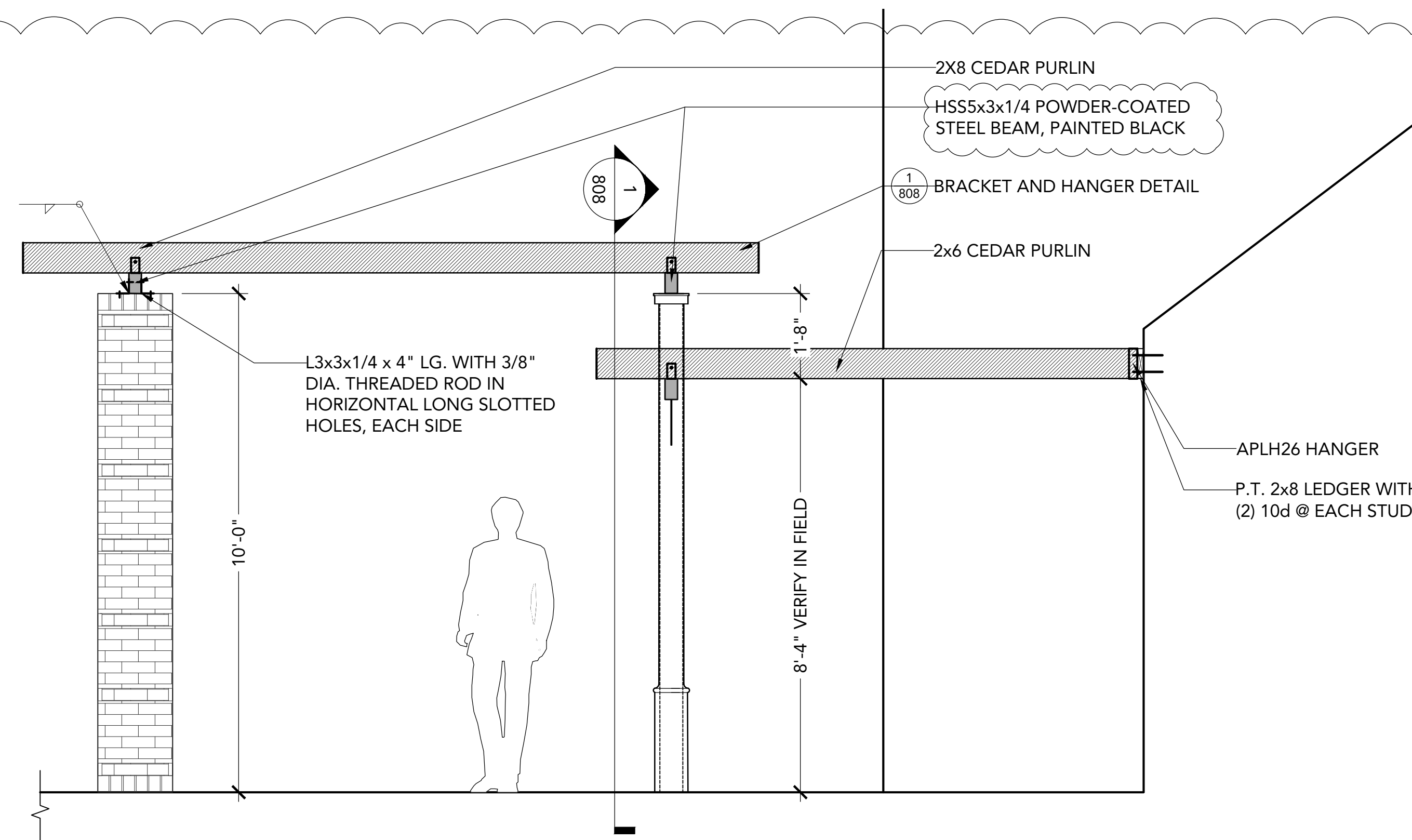


- NOTES:
1. ELECTRICAL WIRING FOR FAN AND PENDANTS TO RUN THROUGH INTERIOR OF COLUMNS.
2. HIGH-GRADE CLEAR CEDAR TO BE USED FOR ALL CARPENTRY ELEMENTS.
3. VERIFY PERGOLA HEIGHTS IN FIELD. CENTRAL PERGOLA TO SIT ABOVE BAS RELIEF PANELS ON HOUSE.

1 PERGOLA ELEVATION

SCALE: 1/2" = 1'-0"

6 7 8

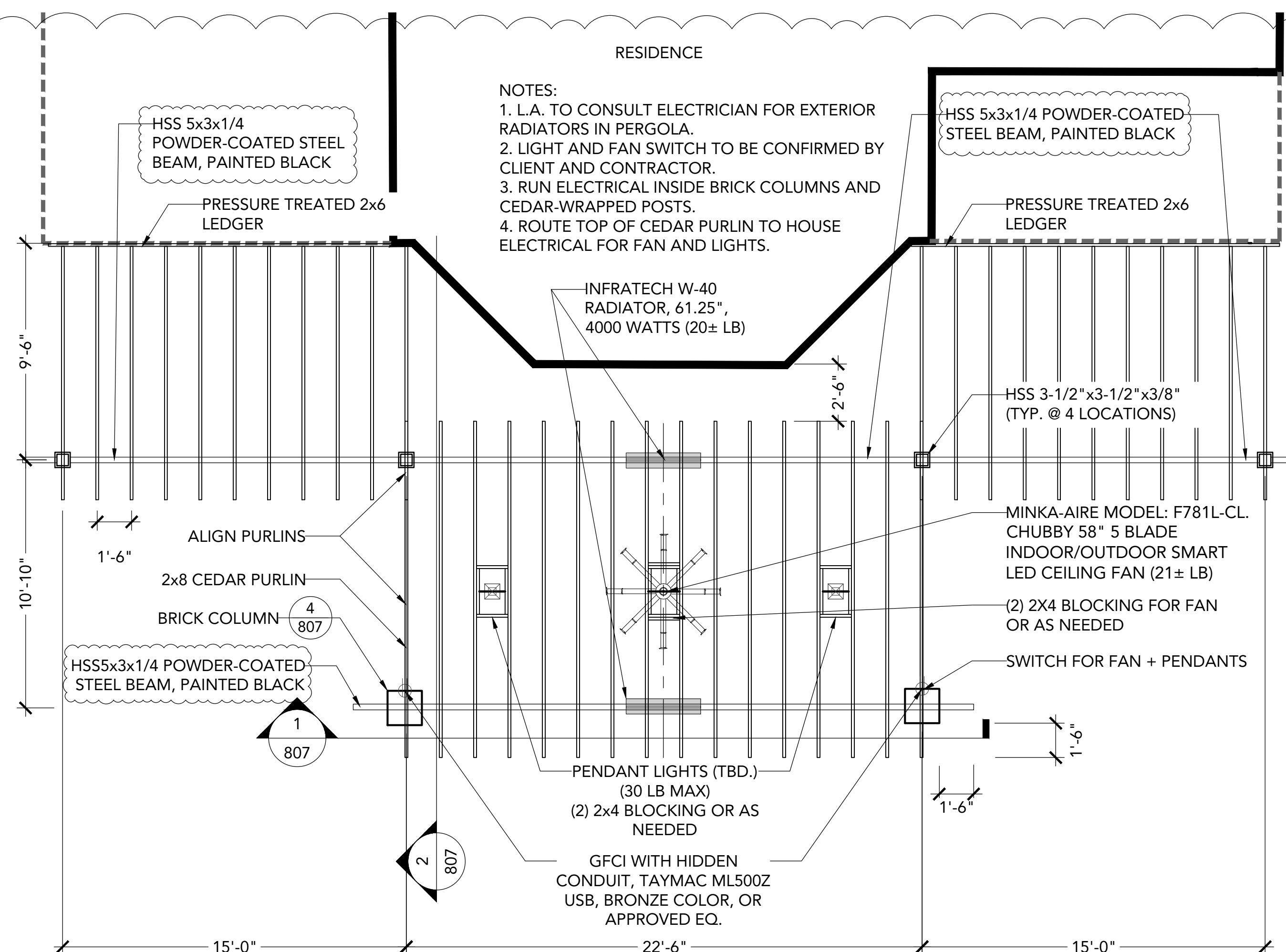


- NOTES:
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2 PERGOLA SECTION

SCALE: 1/2" = 1'-0"

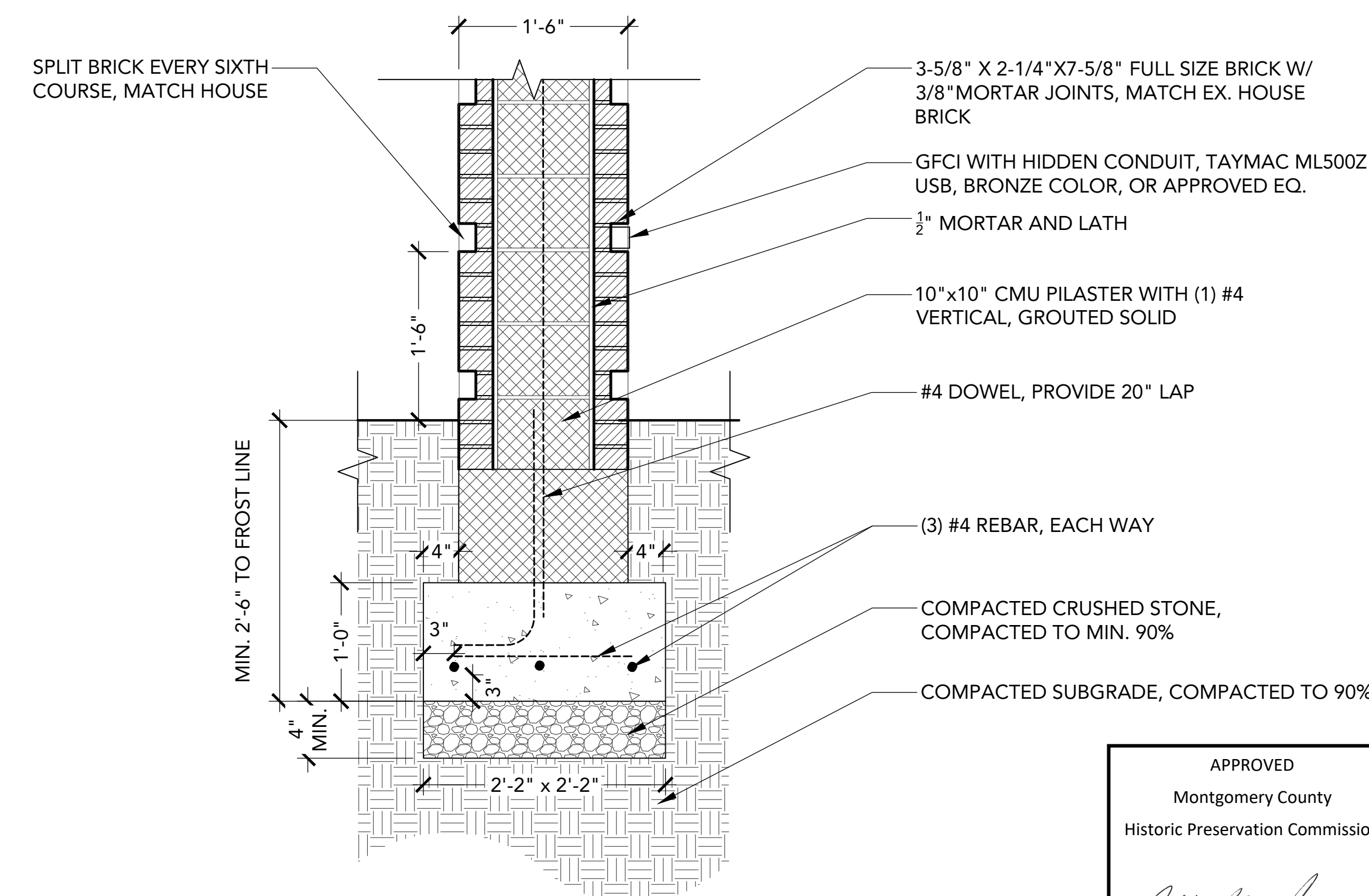
6 7 8



3 PERGOLA PLAN

SCALE: 1/4" = 1'-0"

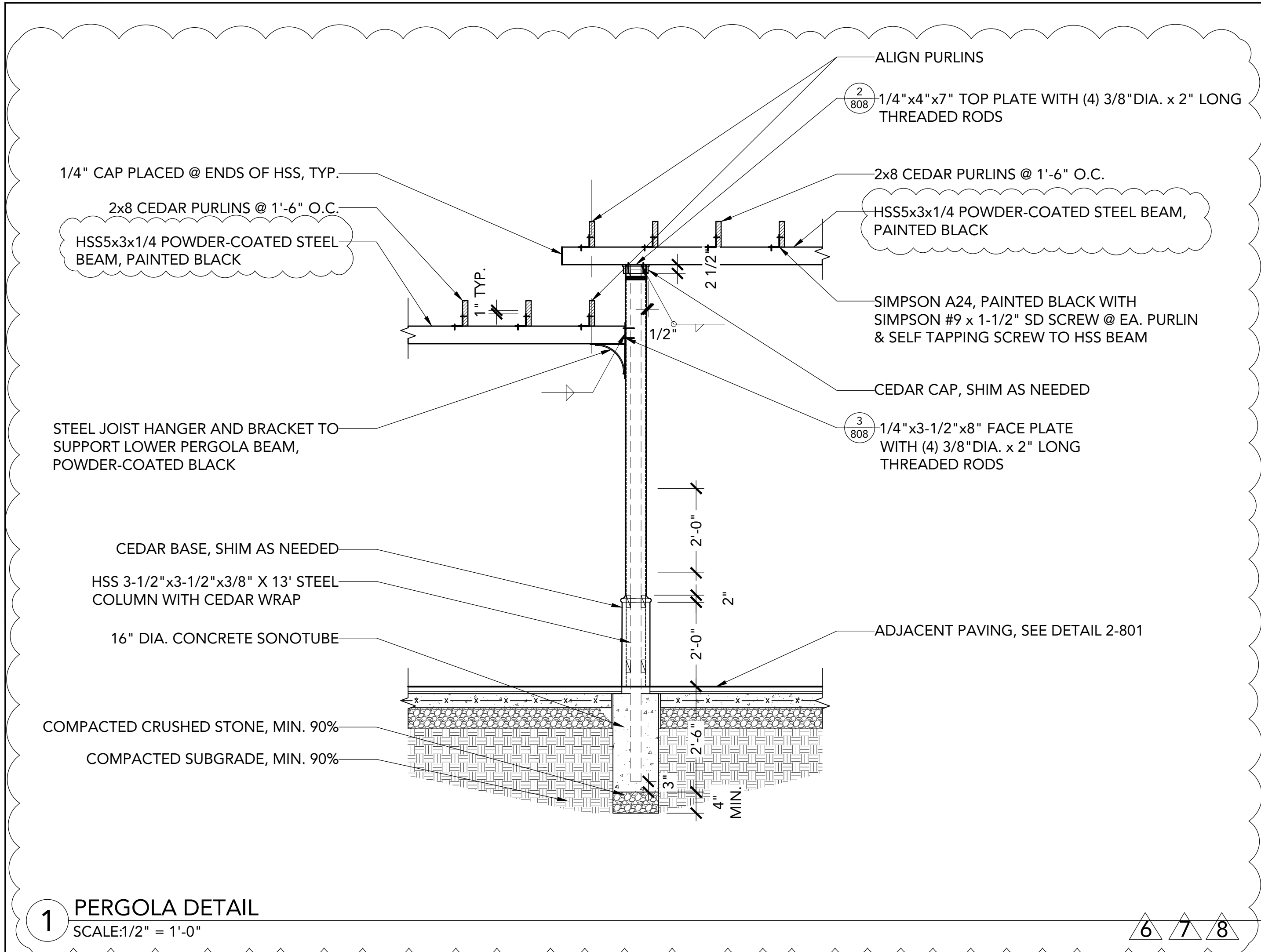
4 6 7 8



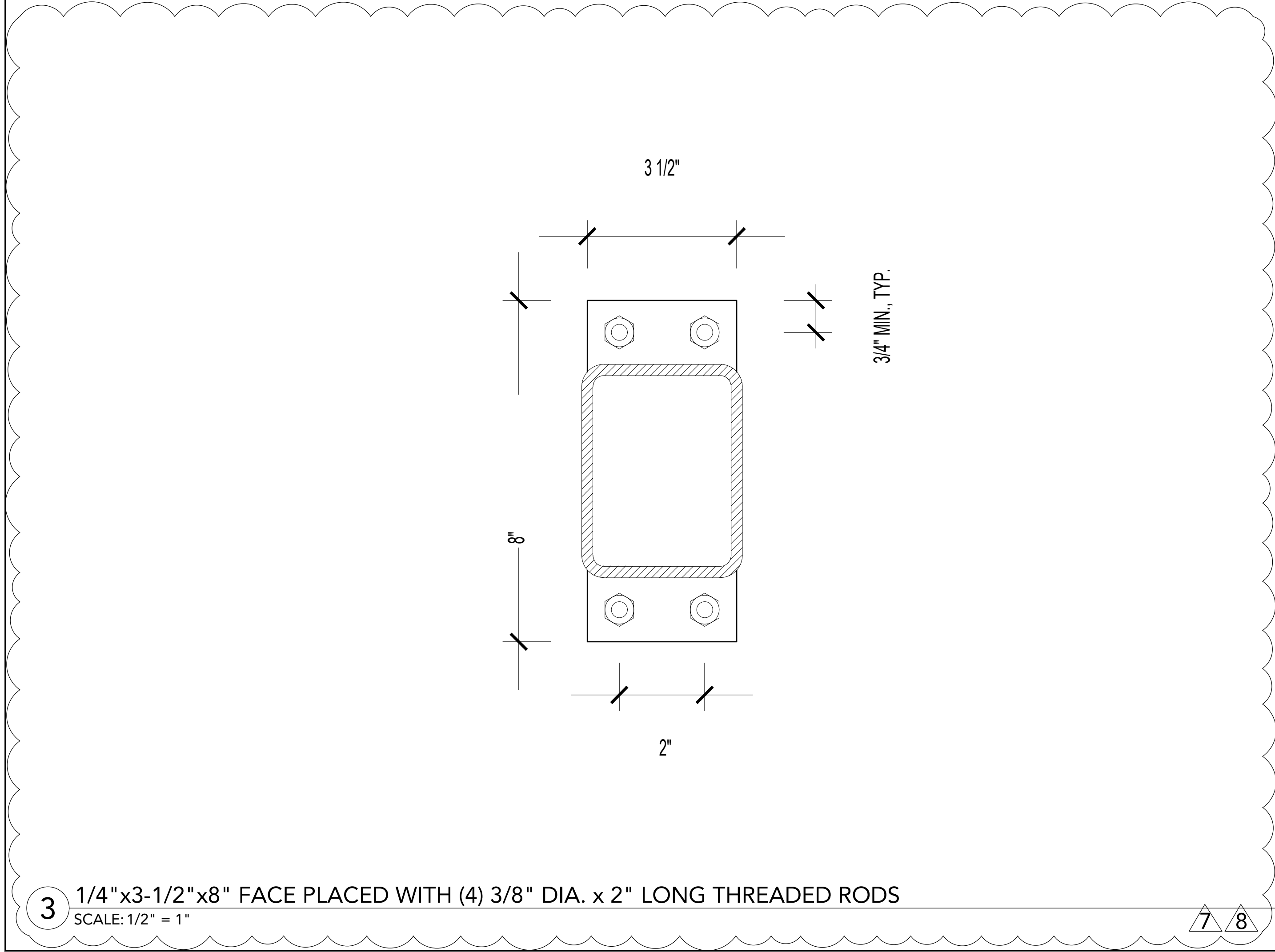
4 PERGOLA BRICK COLUMN DETAIL

SCALE: 1" = 1'-0"

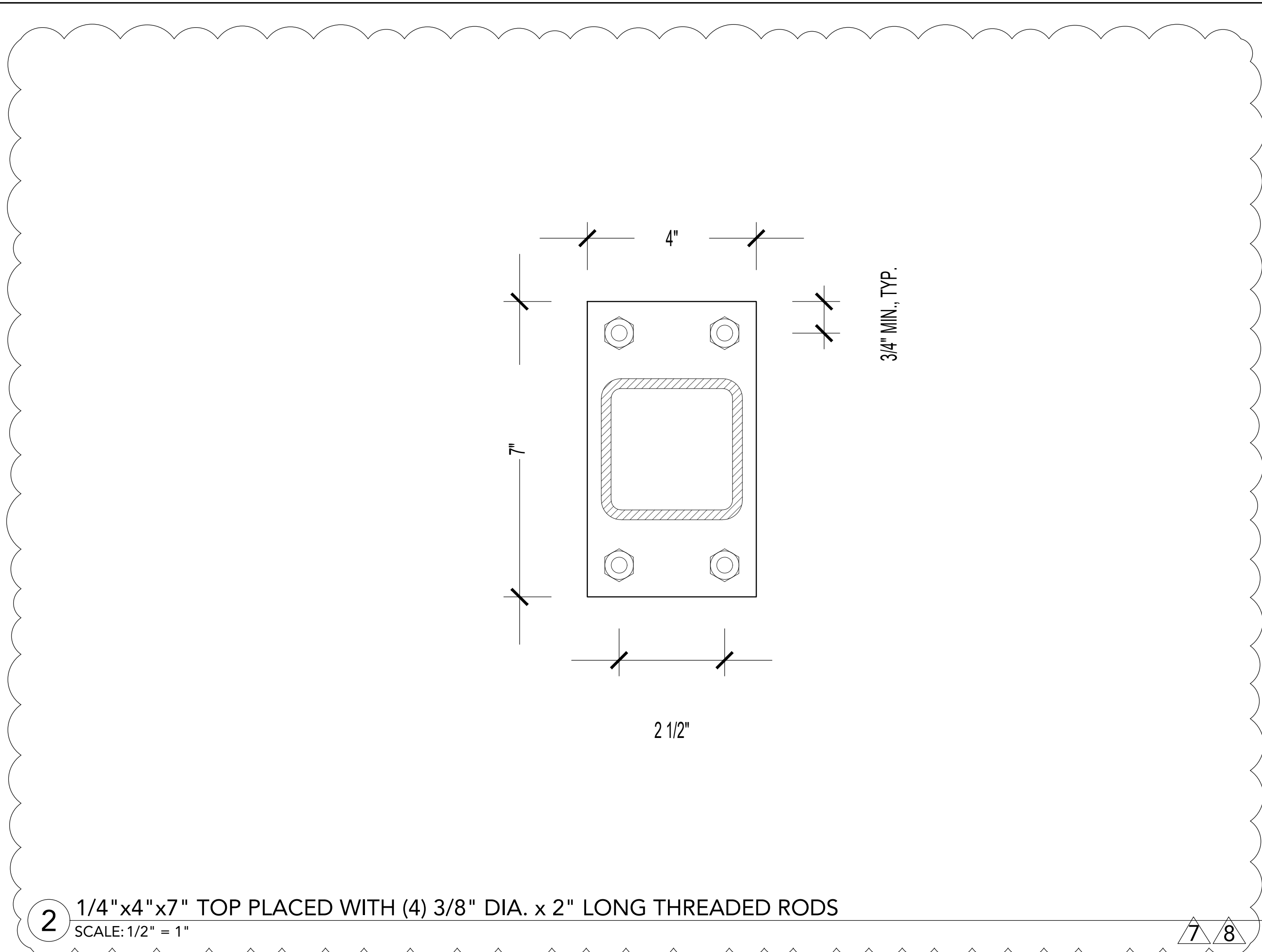
4 6 7



1 PERGOLA DETAIL
SCALE: 1/2" = 1'-0"



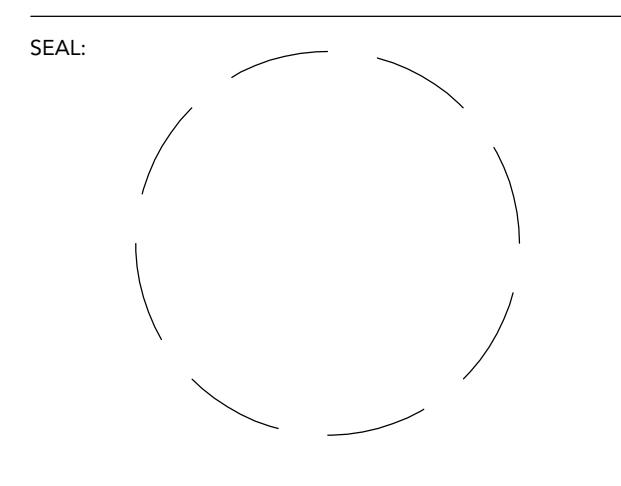
3 1/4" x 3-1/2" x 8" FACE PLACED WITH (4) 3/8" DIA. x 2" LONG THREADED RODS
SCALE: 1/2" = 1"



2 1/4" x 4" x 7" TOP PLACED WITH (4) 3/8" DIA. x 2" LONG THREADED RODS
SCALE: 1/2" = 1"



E BRICK PHOTO DETAIL
SCALE: NTS



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North:

DESIGN: JH
DRAFTED: AK
CHECKED: JH
Scale: SEE DETAILS

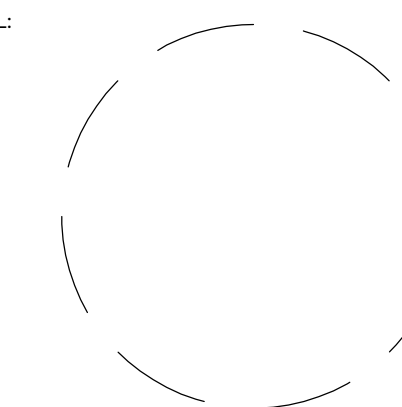
Issue Date: 2024-09-11
Project No: NICHOLS

PERGOLA DETAILS

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
REVIEWED
By Dan.Bruechert at 10:39 am, Oct 11, 2024

L-202

SEAL:



#	Date:	Description:	BY:
1	2024-02-01	MASONRY PRICING SET	NB
2	2024-03-11	MASONRY PRICING SET REVS	AK
3	2024-03-20	MASONRY PRICING SET REVS	AK
4	2024-04-18	MASONRY PRICING SET REVS	TM
5	2024-05-10	90% CONSTR. DOC. SET	AK
6	2024-06-11	90% CONSTR. DOC. SET	AK
7	2024-06-25	90% CONSTR. DOC. SET REV.	AK
8	2024-07-18	90% CONSTR. DOC. SET REV.	AK

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North:

DESIGN: JH

DRAFTED: AK

CHECKED: JH

Scale: SEE DETAILS

Issue Date: 2024-07-18

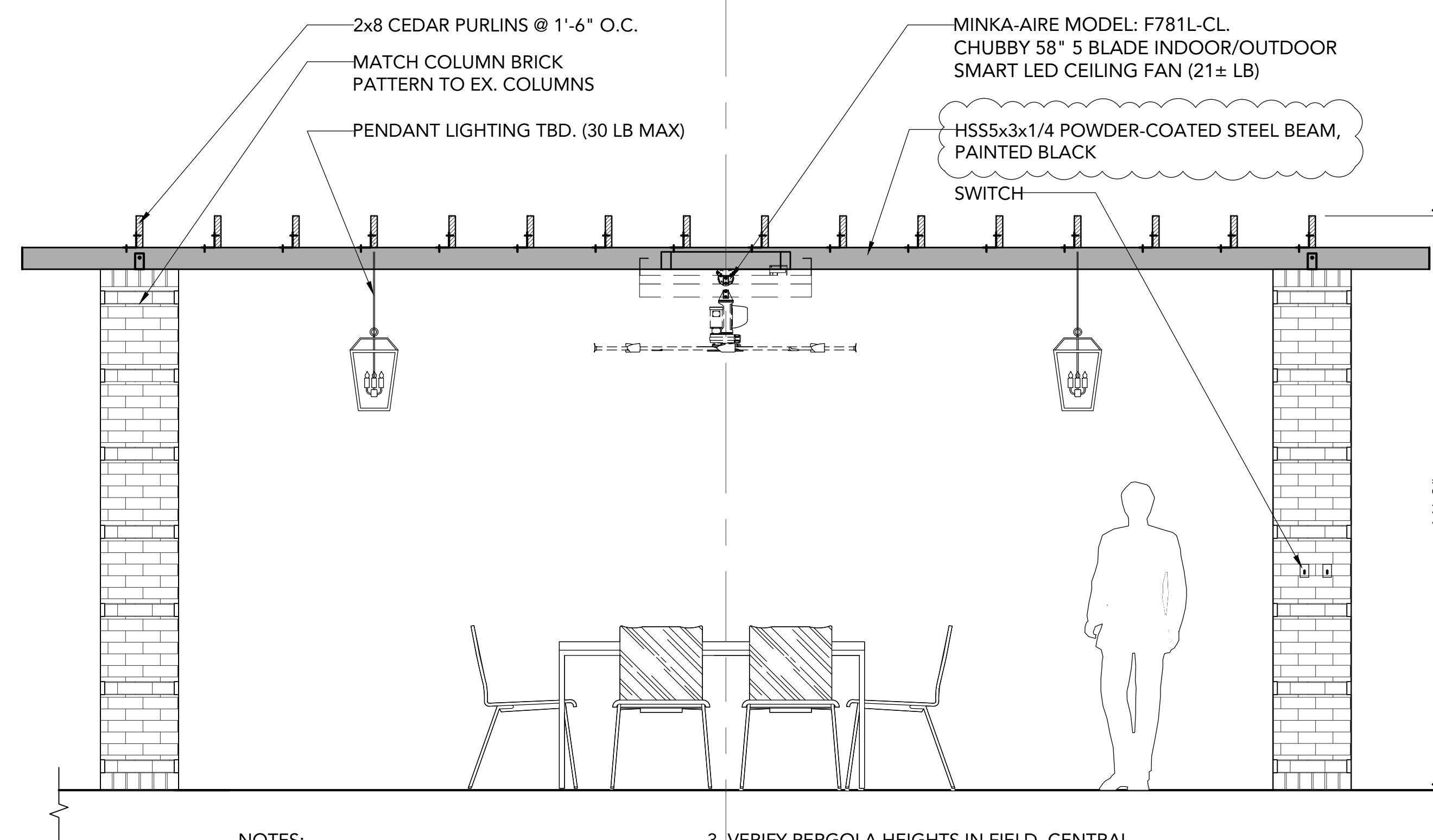
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PERGOLA DETAILS

APPROVED
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Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 10:39 am, Oct 11, 2024

L-807

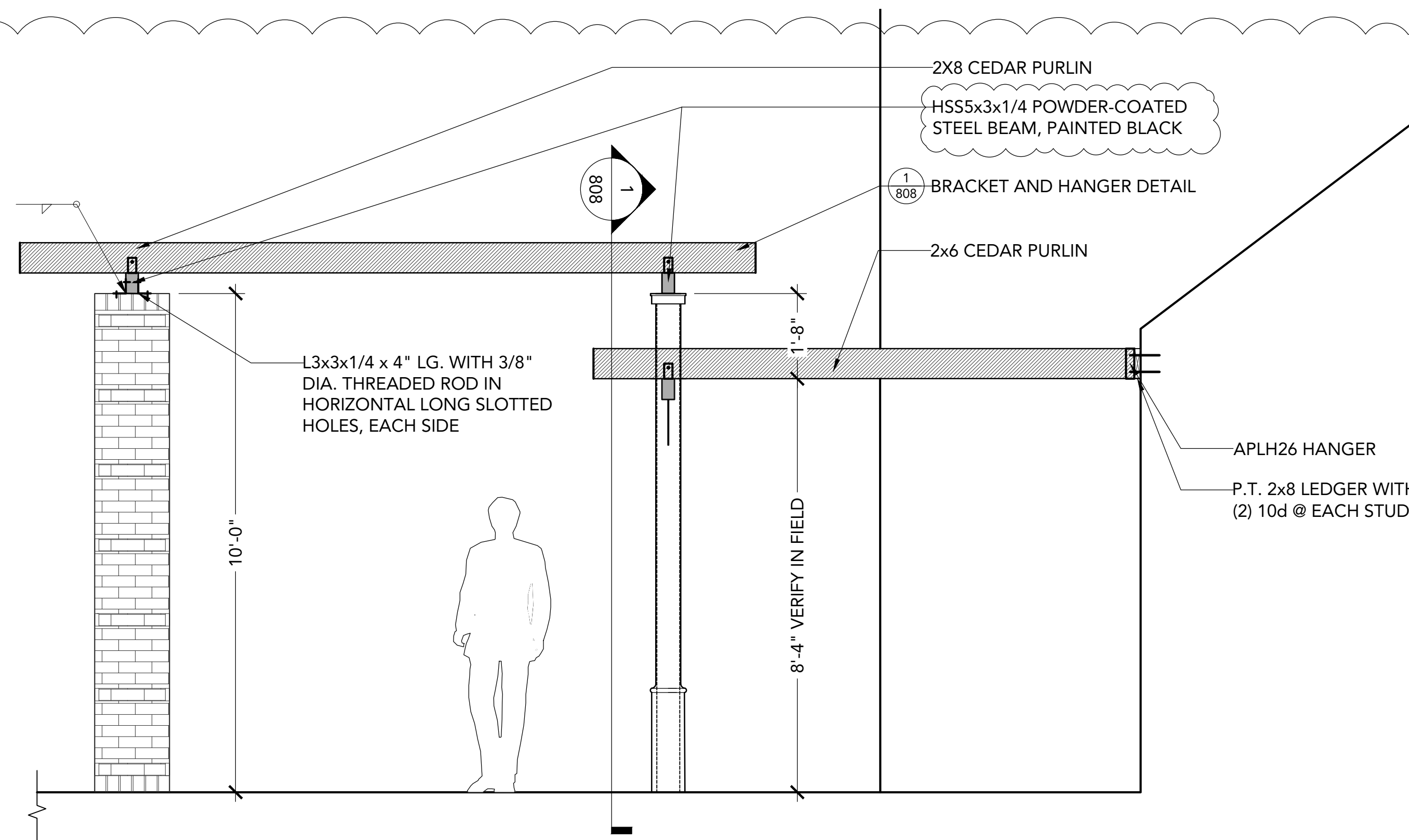


NOTES:
1. ELECTRICAL WIRING FOR FAN AND PENDANTS TO RUN THROUGH INTERIOR OF COLUMNS.
2. HIGH-GRADE CLEAR CEDAR TO BE USED FOR ALL CARPENTRY ELEMENTS.
3. VERIFY PERGOLA HEIGHTS IN FIELD. CENTRAL PERGOLA TO SIT ABOVE BAS RELIEF PANELS ON HOUSE.

1 PERGOLA ELEVATION

SCALE: 1/2" = 1'-0"

6 7 8

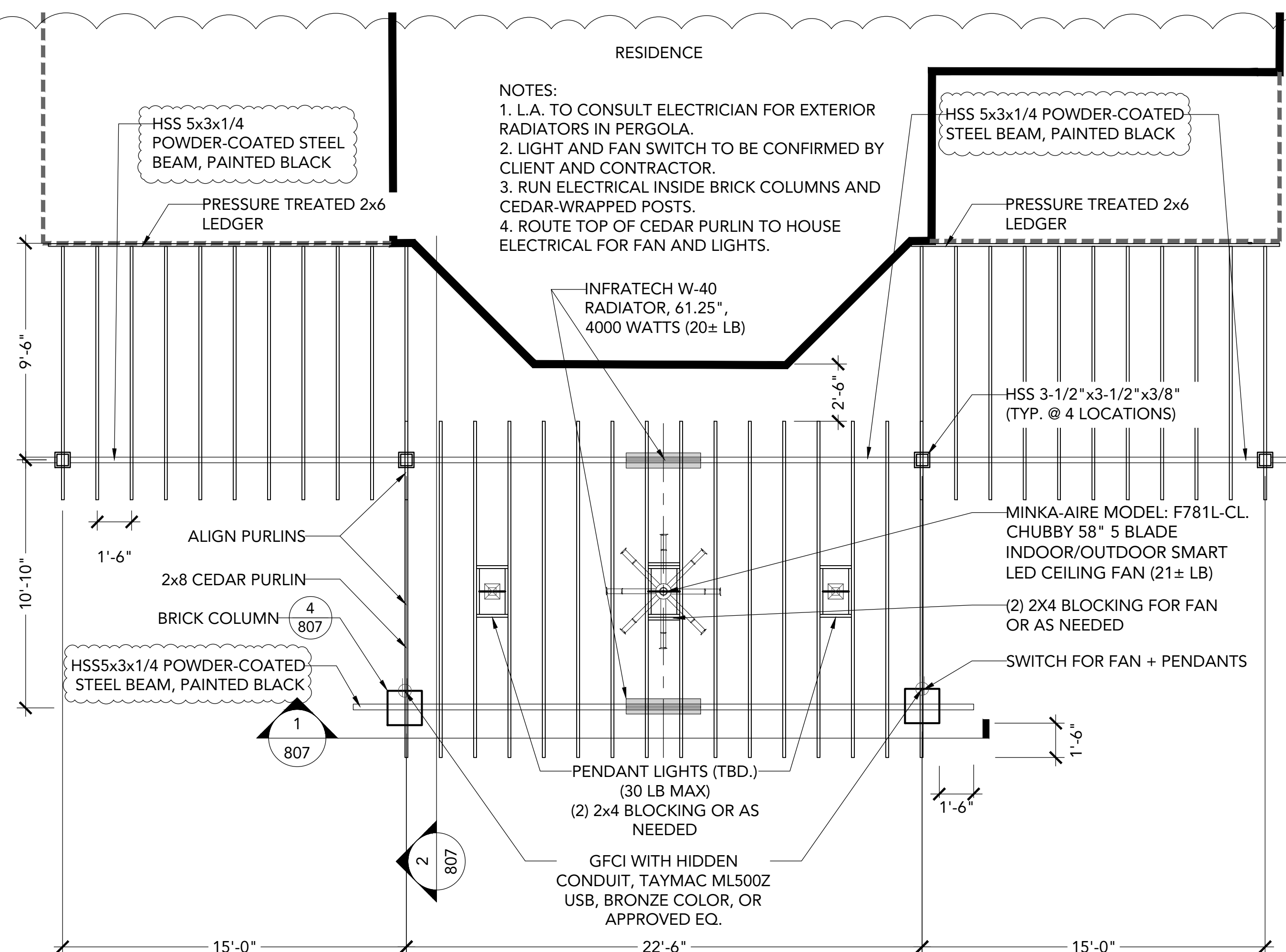


NOTES:
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2 PERGOLA SECTION

SCALE: 1/2" = 1'-0"

6 7 8

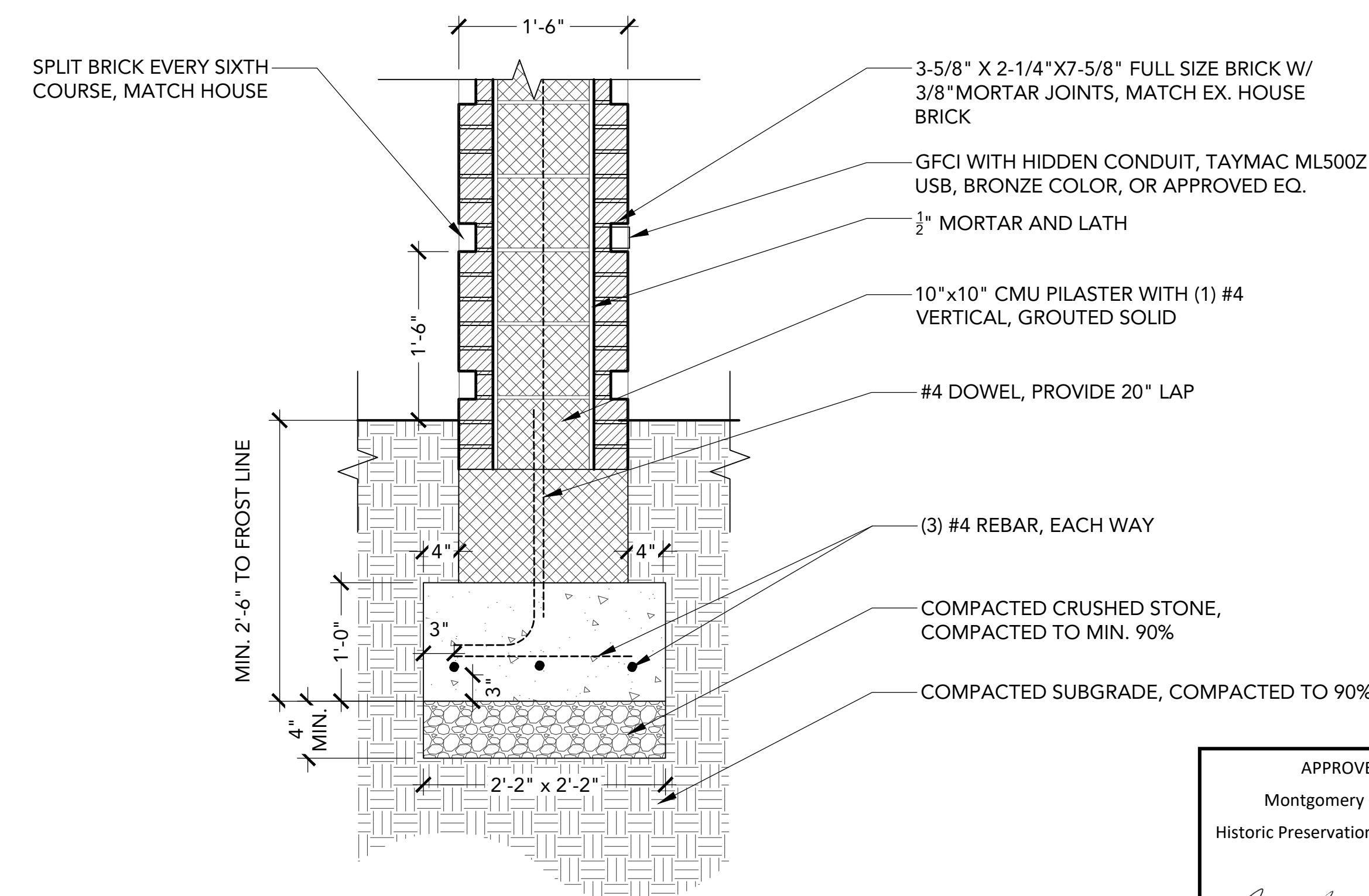


NOTES:
1. L.A. TO CONSULT ELECTRICIAN FOR EXTERIOR RADIATORS IN PERGOLA.
2. LIGHT AND FAN SWITCH TO BE CONFIRMED BY CLIENT AND CONTRACTOR.
3. RUN ELECTRICAL INSIDE BRICK COLUMNS AND CEDAR-WRAPPED POSTS.
4. ROUTE TOP OF CEDAR PURLIN TO HOUSE ELECTRICAL FOR FAN AND LIGHTS.

3 PERGOLA PLAN

SCALE: 1/4" = 1'-0"

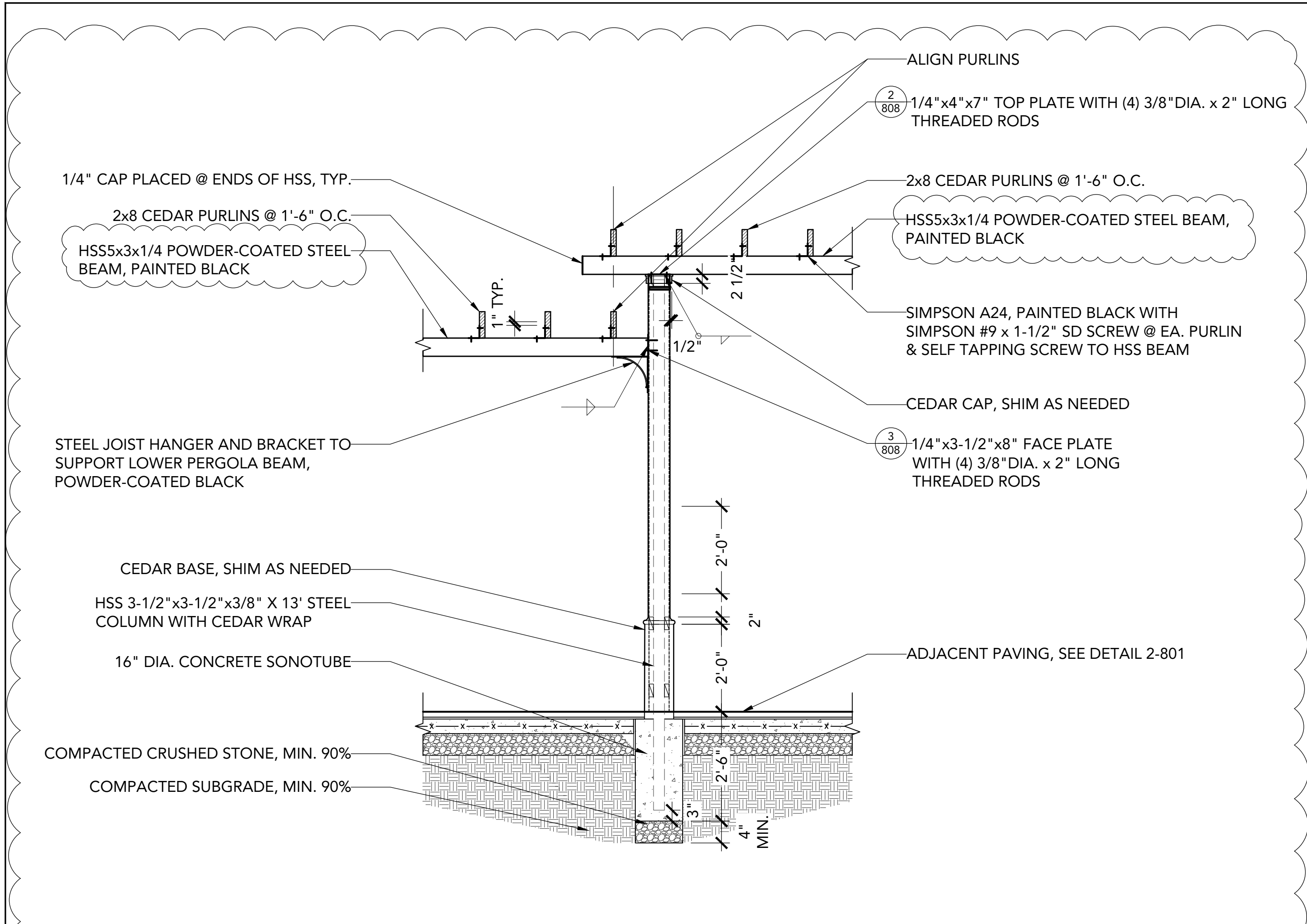
4 6 7 8



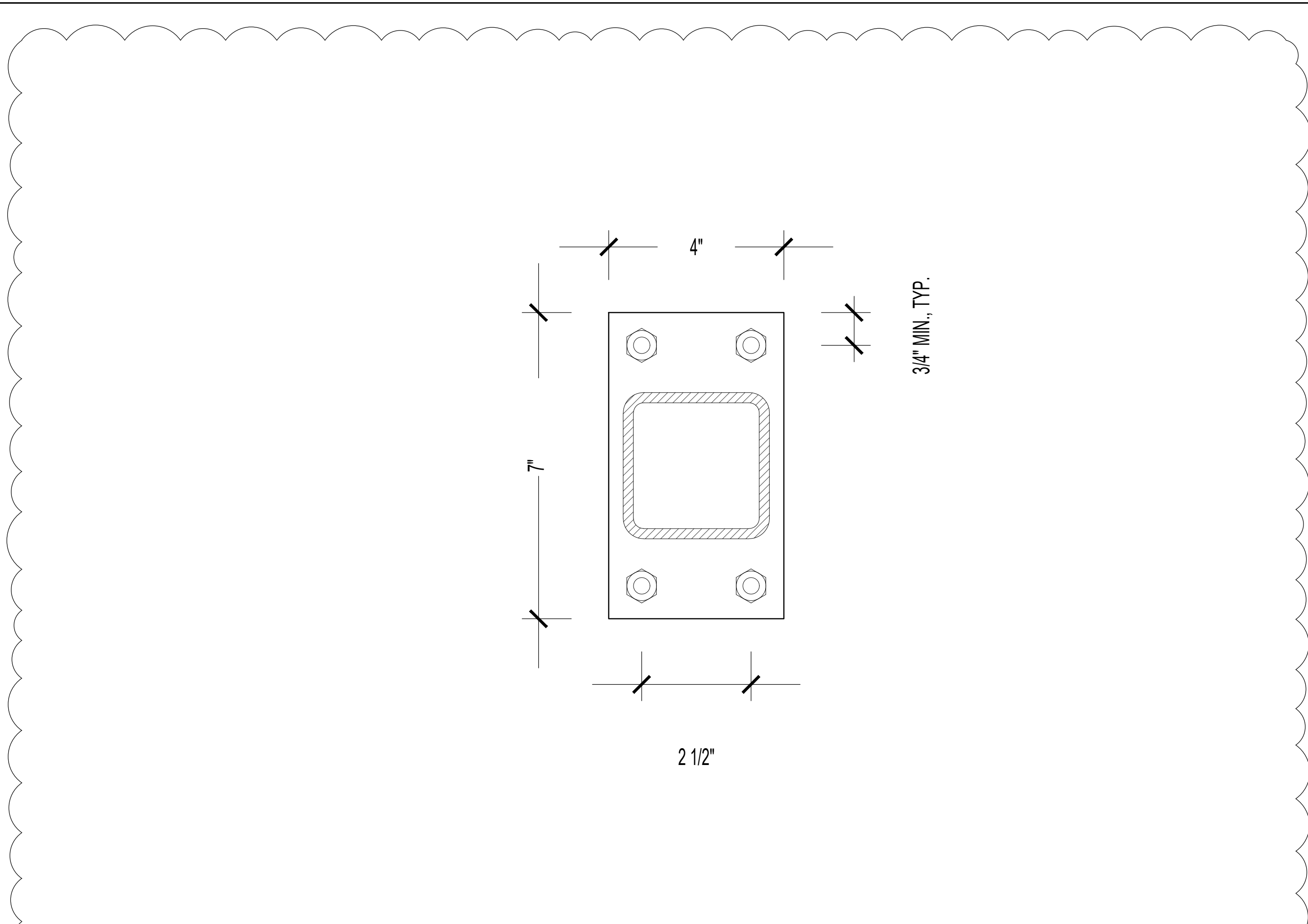
4 PERGOLA BRICK COLUMN DETAIL

SCALE: 1" = 1'-0"

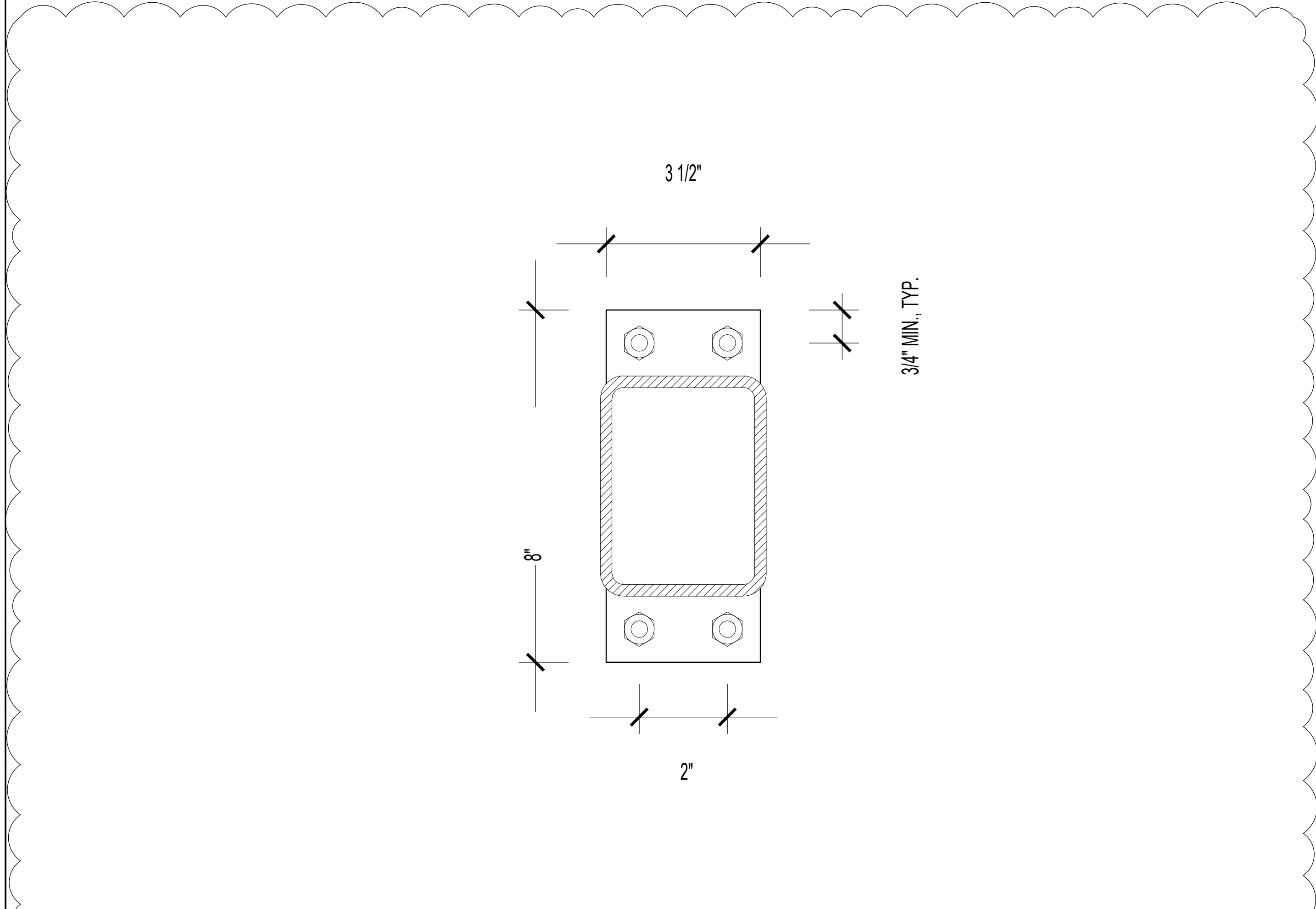
4 6 7



1 PERGOLA DETAIL
SCALE: 1/2" = 1'-0"
6 7 8



2 1/4"x4"x7" TOP PLACED WITH (4) 3/8" DIA. x 2" LONG THREADED RODS
SCALE: 1/2" = 1"
7 8



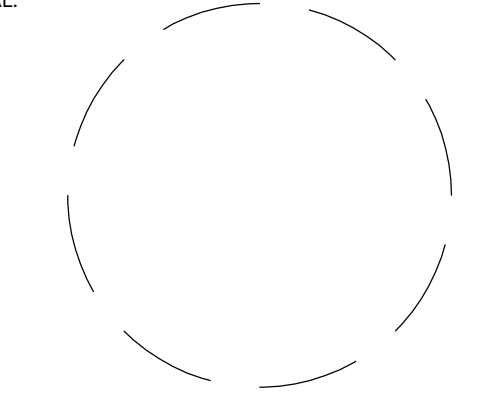
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SCALE: 1/2" = 1"
7 8

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North:

DESIGN: JH

DRAFTED: AK

CHECKED: JH

Scale: SEE DETAILS

Issue Date: 2024-07-18

Project No: NICHOLS

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

REVIEWED
By Dan.Bruechert at 10:39 am, Oct 11, 2024

PERGOLA DETAILS

L-808

Nichols Residence

Not For Construction