



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert K. Sutton  
*Chairman*

Date: October 29, 2024

### MEMORANDUM

TO: Rabbiah Sabbakhan, Director  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission Historic Area Work

SUBJECT: Permit # 11088225 - Hardscape alteration and trash enclosure

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the October 23, 2024 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Rebecca & Rob Nichols  
Address: 5918 Cedar Pwky, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301-563-3408 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.

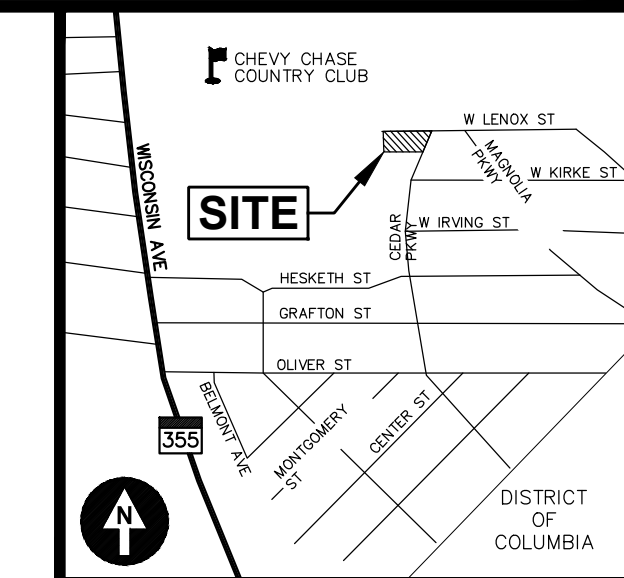


**GENERAL NOTES**

- Boundary information and two-foot contour data are based upon surveys performed by CAS Engineering, dated September, 2023.
- Total lot area: Parcel 620 = 34,374 sq. ft. (0.789 acres)
- Property is located on Tax Map HN341 and WSSC 200' Sheet 208NW04.
- Property is located on Soils Survey Map Number 27.  
Soil type(s): 1C, Galla Silt Loam, HSG "B";  
2UC, Glenelg-Urban land complex, HSG "B";  
6A, Baile silt loam, HSG "C / D".
- Flood zone "X" per F.E.M.A. Firm Maps, Community Panel Number 24031C0455D.
- Property is located in the Little Falls Branch Watershed, Use Class I.P.
- Water Category - 1, Sewer Category - 1
- Local utilities include:  
Water / Sewer - Washington Suburban Sanitary Commission  
Electric - PEPCO  
Telephone - Verizon  
Gas - Washington Gas
- Property is not located in a Special Protection Area.
- Property is located in the Chevy Chase Village Historic District.
- Property is located in the incorporated municipality of Chevy Chase Village.
- This plan was created without the benefit of a title report.

**ZONING DATA**

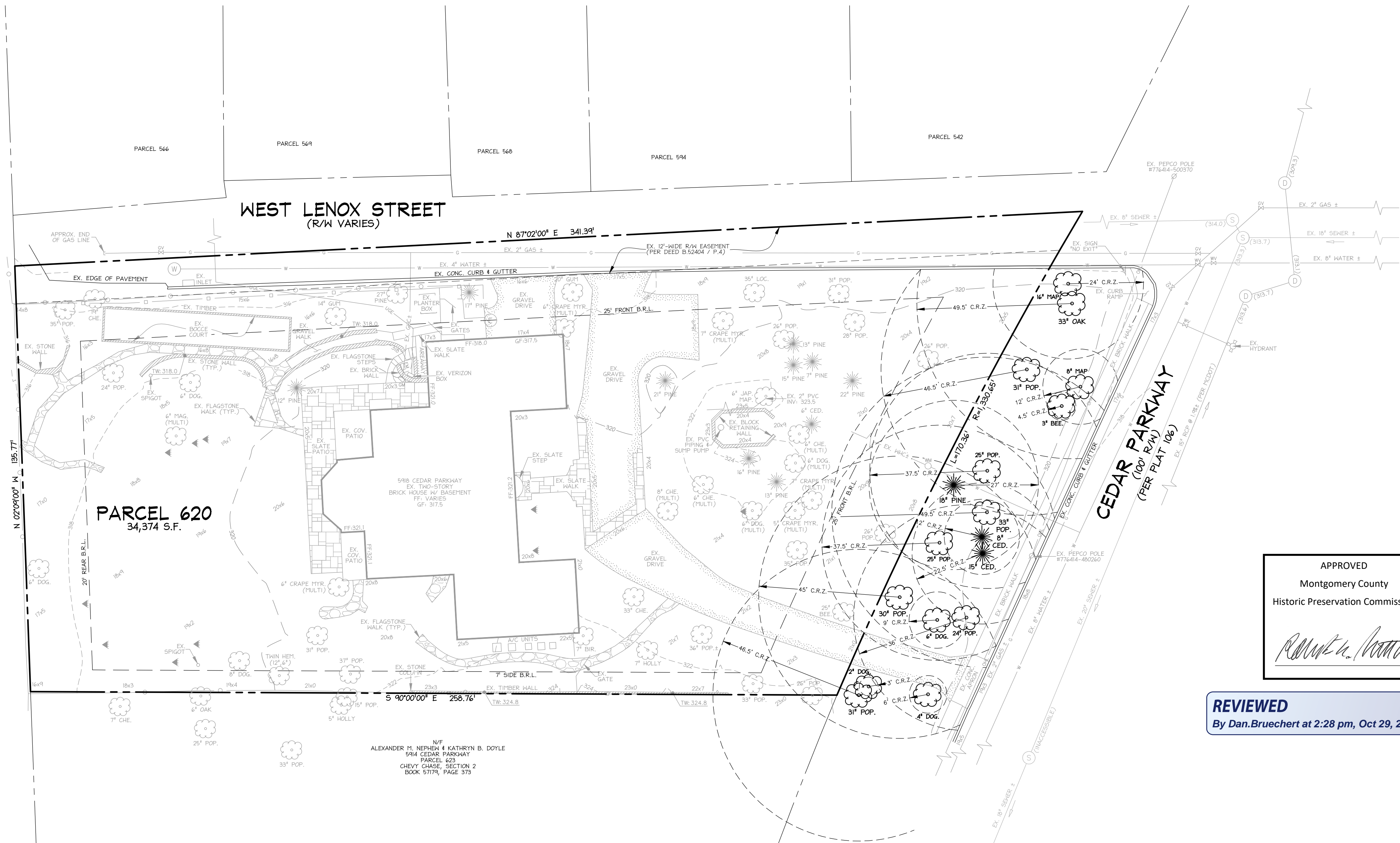
- Zoning: R-60**  
Minimum Lot Area = 6,000 sq ft  
Minimum Lot Width at RW = 25 ft  
Minimum Lot Width at B.R.L. = 60 ft  
Front B.R.L. = 25 ft (Per CCV & MoCo) [1][2]  
Rear B.R.L. = 20 ft min. (Per CCV & MoCo) [1][2]  
Side B.R.L. = 7 ft min. (Per CCV & MoCo) [1][2]
- [1] Per Montgomery County Code Section 4.4.1.A.1, the established building line only applies to new buildings and does not apply to an alteration or addition to an existing building.
- [2] Per Chevy Chase Village Code Section 8-16(c), no structure of any description shall be erected within twenty-five (25) feet of the front lot line of any lot.
- [3] Per Chevy Chase Village Code Section 8-16(h), no part of any main building shall be erected within twenty (20) feet of the rear lot line of the property upon which it is located.
- [4] Per Montgomery County Code Section 7.7.1.D.2.c, a detached house on a platted lot, parcel, or part of a previously platted lot that has not changed in size or shape since June 1, 1958, exclusive of changes due to public acquisition, may be constructed or reconstructed in a manner that satisfies the maximum building height, lot coverage and established building line of its zone when the building permit is submitted and the side yard and rear setback required by its pre-1958 zoning in effect when the lot, parcel or part of a lot was first created.
- [5] This property was created prior to January 1, 1954, therefore 7 foot side setbacks are permitted.
- [6] Per Chevy Chase Village Code Section 8-16(g), no part of any building or structure shall be erected or maintained within seven (7) feet of the side or rear lot lines, nor within ten (10) feet of the nearest adjacent dwelling, provided, however, that externally attached gutters shall not be considered part of any building or structure for purposes of this subsection (see Sec. 8-19.)



**VICINITY MAP**  
ADC MAP 5407, GRID G-5, SCALE: 1" = 2000'

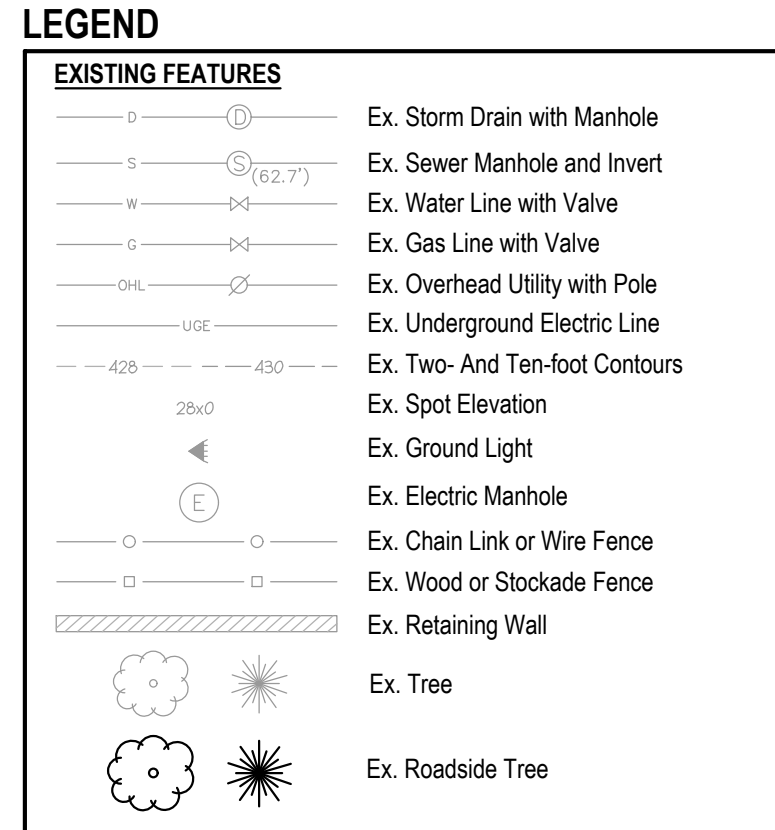
CAS JOB NO.: 23-0580  
DATE: 09/2023

DATE	REVISION
09/18/23	DMJ - Boundary and Topographic Survey to Client.



APPROVED  
Montgomery County  
Historic Preservation Commission  
*Rebecca Nichols*

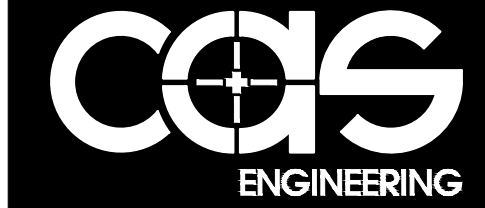
REVIEWED  
By Dan.Bruechert at 2:28 pm, Oct 29, 2024



**UTILITY INFORMATION**

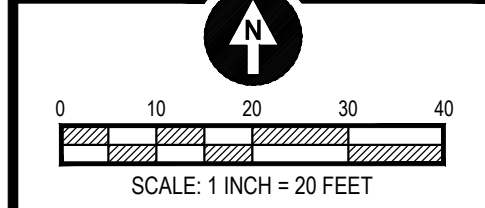
EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY. FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/ITC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH THOSE FACILITIES LOCATED IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

Parcel 620, Chevy Chase, Section 2  
Bethesda (7th) Election District, Montgomery County, MD  
5918 Cedar Parkway  
Chevy Chase, Maryland 20815



CAS ENGINEERING-MD  
10 South Bentz Street  
Frederick, Maryland 21701  
301-607-8031 Phone  
info@casengineering.com  
www.casengineering.com

CAS ENGINEERING-DC, LLC  
4836 MacArthur Boulevard, NW, 2nd Floor  
Washington, DC 20007  
202-393-7200 Phone  
info@cas-dc.com  
www.cas-dc.com



**SHEET TITLE:**  
Boundary and Topographic Survey

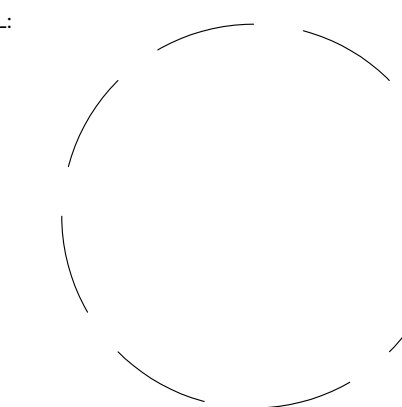
**OWNER/APPLICANT**  
Rebecca Nichols  
5918 Cedar Parkway  
Chevy Chase, MD 20815  
(202) 236-4093 Phone  
rebeccanichols@yahoo.com

**5918 Cedar Parkway**  
**Parcel 620, Chevy Chase, Section 2**  
**-- Chevy Chase Village --**  
**Boundary and Topographic Survey**

**Nichols Residence**

5918 Cedar Parkway  
Chevy Chase, MD 20815

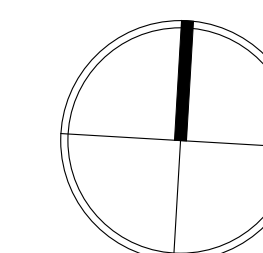
SEAL:



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2	2024-03-11	MASONRY PRICING SET REVS	AK
3	2024-03-20	MASONRY PRICING SET REVS	AK
4	2024-04-18	MASONRY PRICING SET REVS	TM
5	2024-05-10	90% CONSTR. DOC. SET	AK
6	2024-06-11	90% CONSTR. DOC. SET	AK
7	2024-06-25	90% CONSTR. DOC. SET REV.	AK
8	2024-07-18	90% CONSTR. DOC. SET REV.	AK

All designs and ideas contained in these drawings are the sole property of JHLA. Jennifer Horn Landscape Architecture and are not to be duplicated or put to bid without express written consent. Graphic representations are for illustrative purposes; field adjustments may be made during installation in keeping with the design intent.

North:



DESIGN: JH

DRAFTED: TM

CHECKED: JH

Scale: 1/16" = 1'-0"

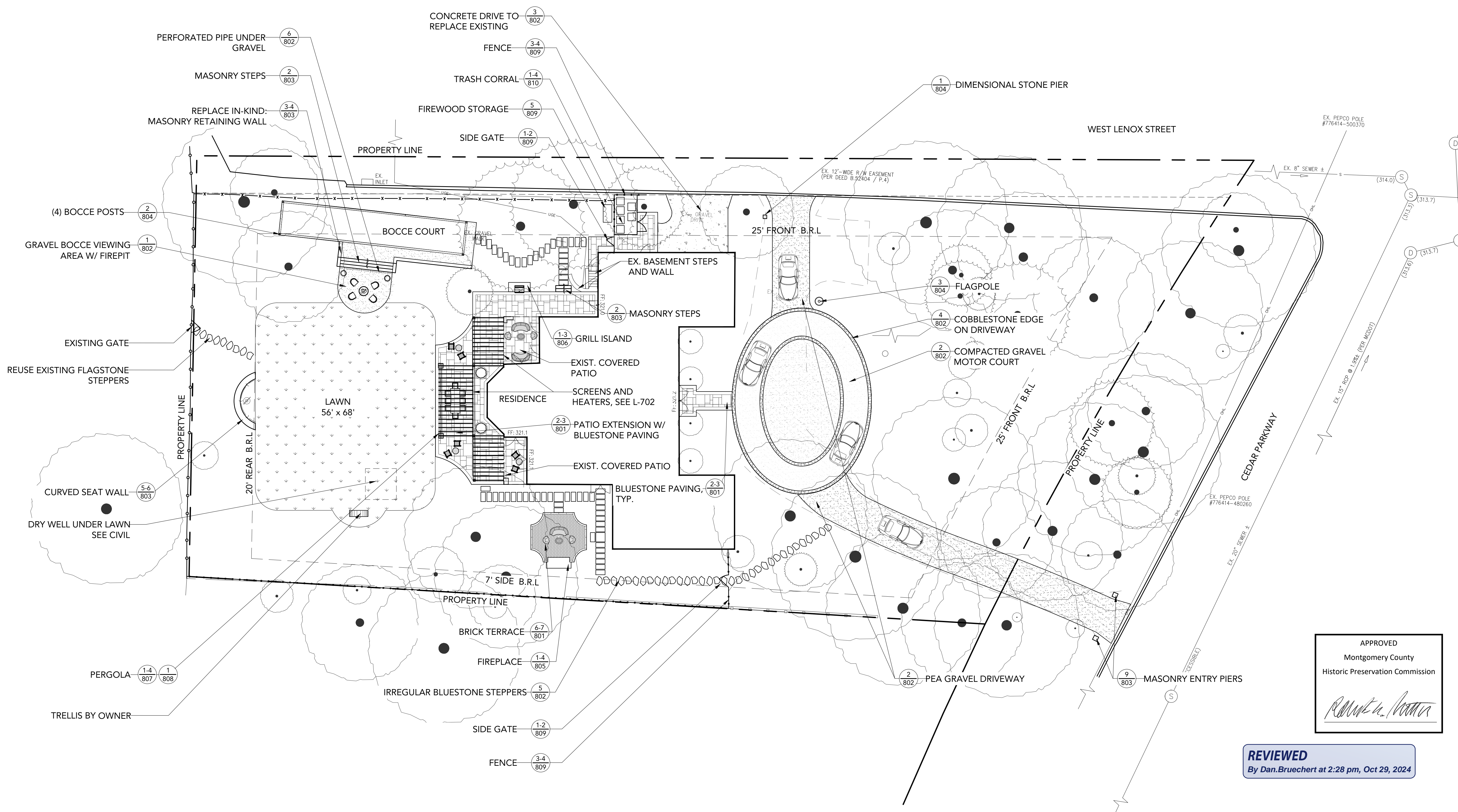


Issue Date: 2024-07-18

Project No: NICHOLS

**MATERIALS PLAN**

**L-203**

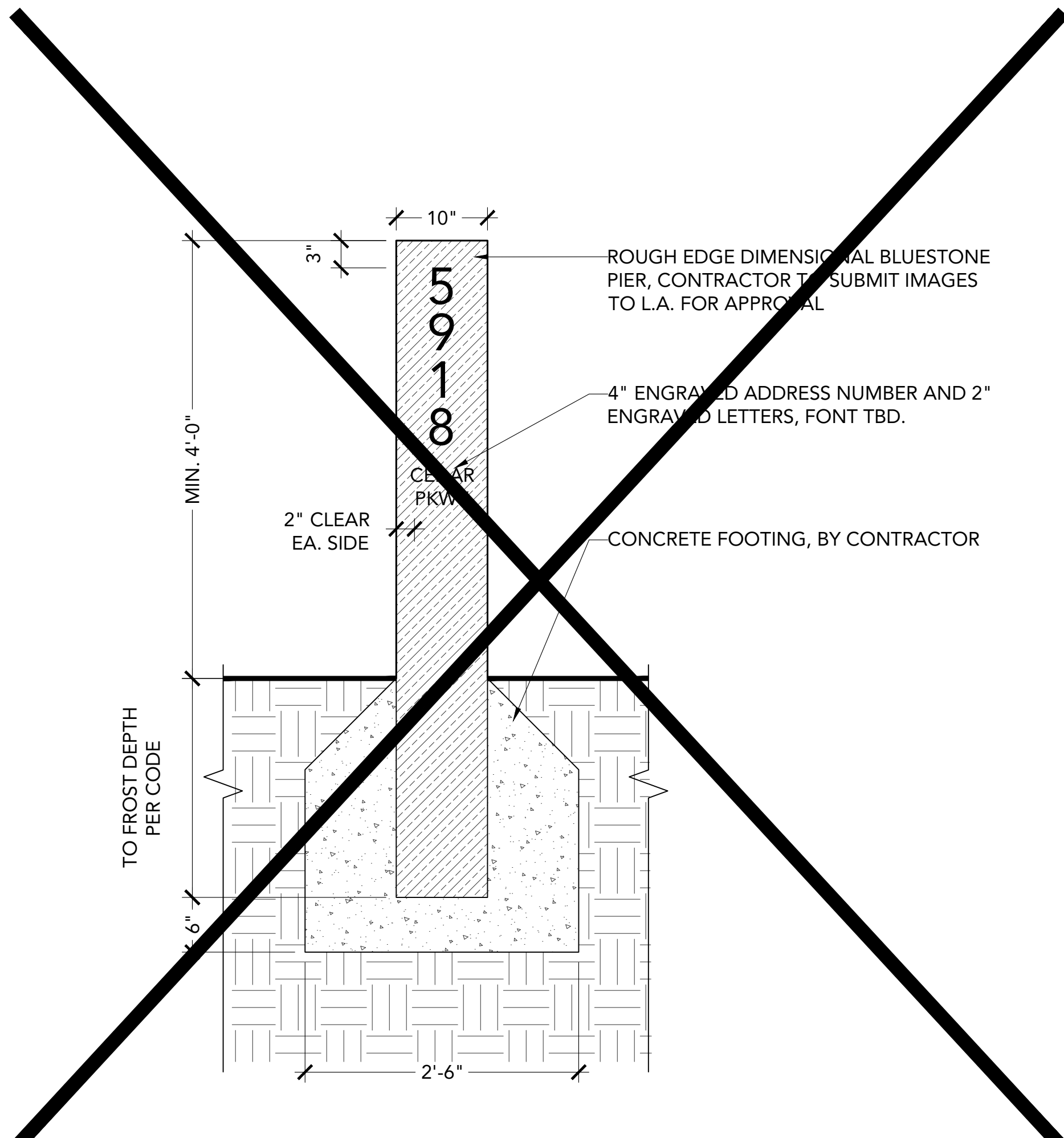


APPROVED  
Montgomery County  
Historic Preservation Commission

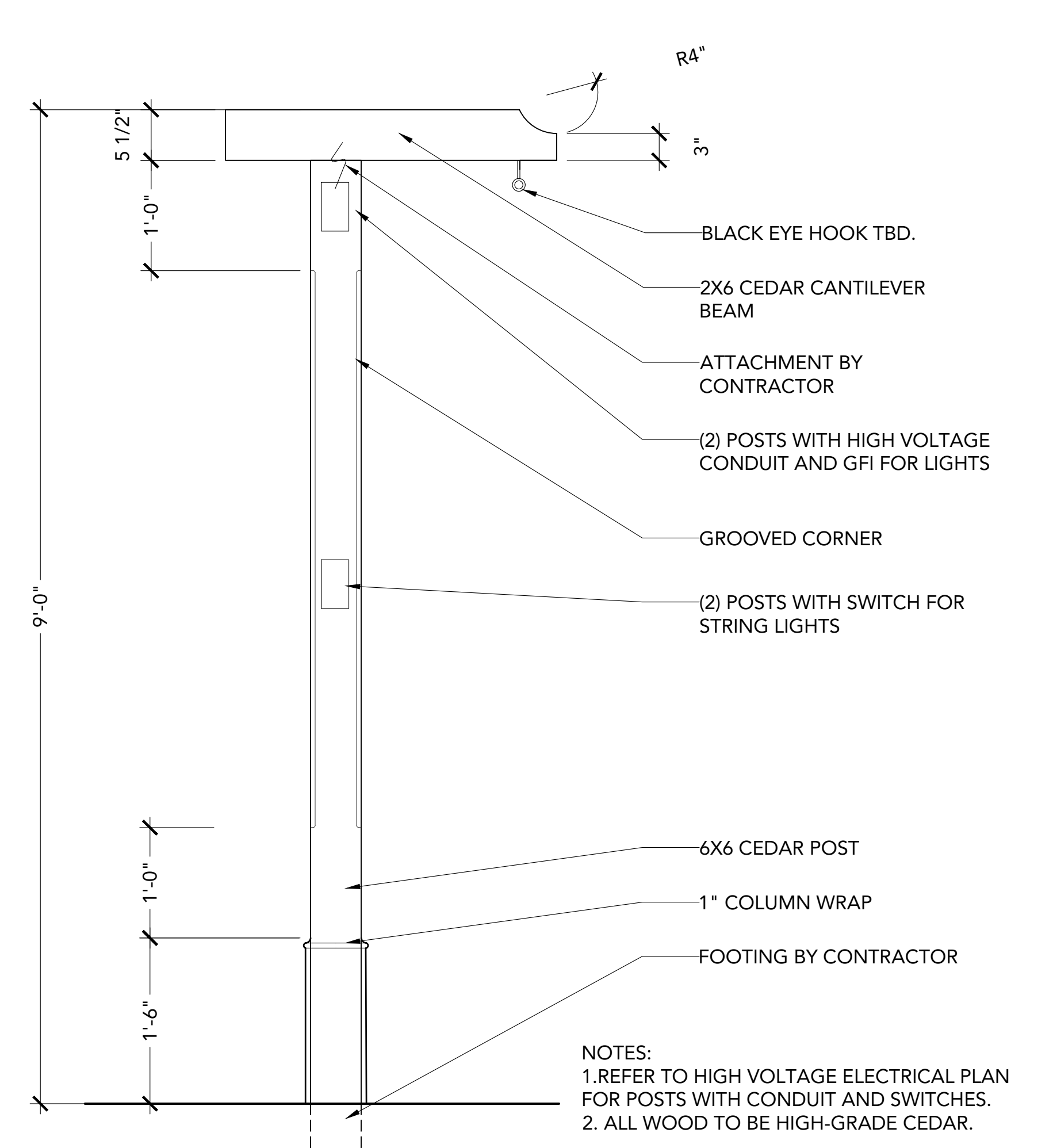
**REVIEWED**  
By Dan.Bruechert at 2:28 pm, Oct 29, 2024

**NOTES:**

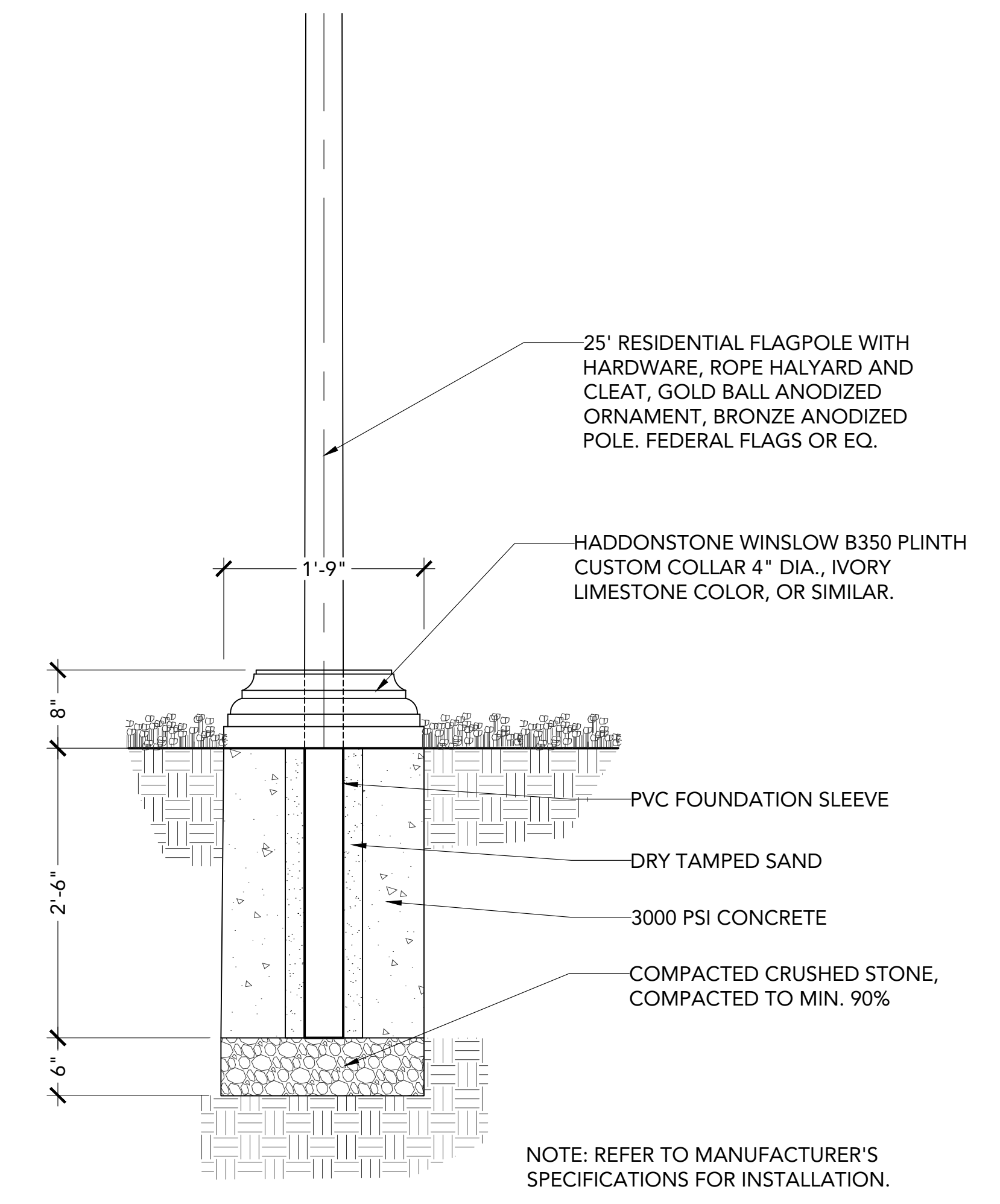
1. ALL EXISTING DOOR LOCATIONS ARE APPROXIMATE
2. FOR ALL PAVING, CONTRACTOR TO PROVIDE PRICING FOR NATURAL CLEFT SELECT BLUE AND THERMAL
3. LARGE BOULDERS FROM EXISTING ADDRESS SIGN TO BE RE-USED, VERIFY WIT L.A.



**1** MONOLITHIC STONE PIER DETAIL  
SCALE: 1"=1'-0"



**2** BOCCE POST DETAIL  
SCALE: 1"=1'-0"



**3** FLAGPOLE DETAIL  
SCALE: 1"=1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

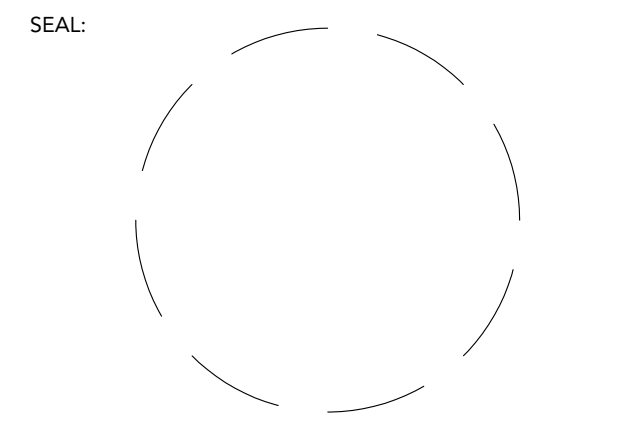
*[Signature]*

**REVIEWED**  
By Dan.Bruechert at 2:28 pm, Oct 29, 2024

**HORN & Co.**

Landscape Architecture  
1408 N Fillmore St, Suite 17 Arlington VA 22201  
hornandco.com 202.573.7581

Nichols Residence  
5918 Cedar Parkway  
Chevy Chase, MD 20815



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5	2024-05-10	90% CONSTR. DOC. SET	AK
6	2024-06-11	90% CONSTR. DOC. SET	AK
7	2024-06-25	90% CONSTR. DOC. SET REV.	AK
8	2024-07-18	90% CONSTR. DOC. SET REV.	AK

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North:

DESIGN: JH  
DRAFTED: AK  
CHECKED: JH

Scale: SEE DETAILS

Issue Date: 2024-07-18  
Project No: NICHOLS

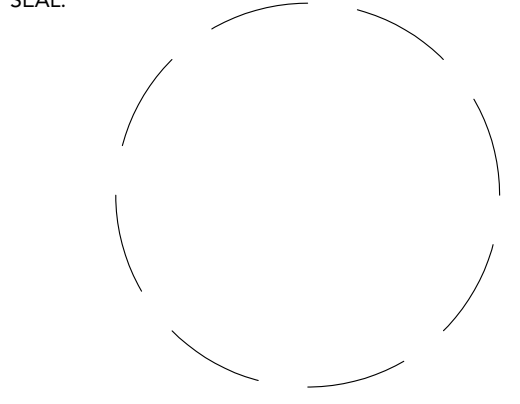
**MASONRY  
DETAILS**

**L-804**

Nichols Residence

Not For Construction

SEAL:



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CHECKED: JH

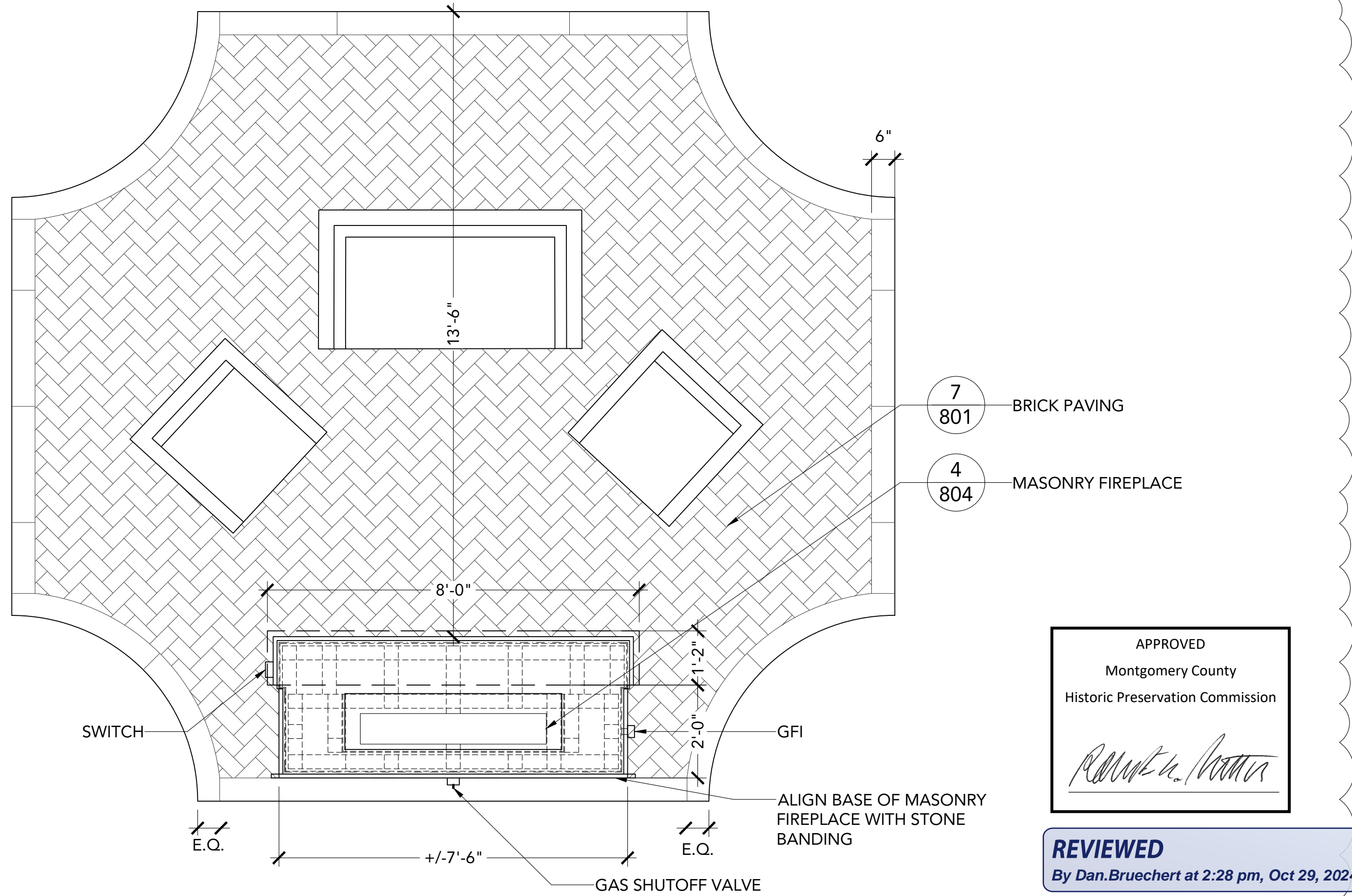
Scale: SEE DETAILS

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**FIREPLACE DETAILS**

**L-805**

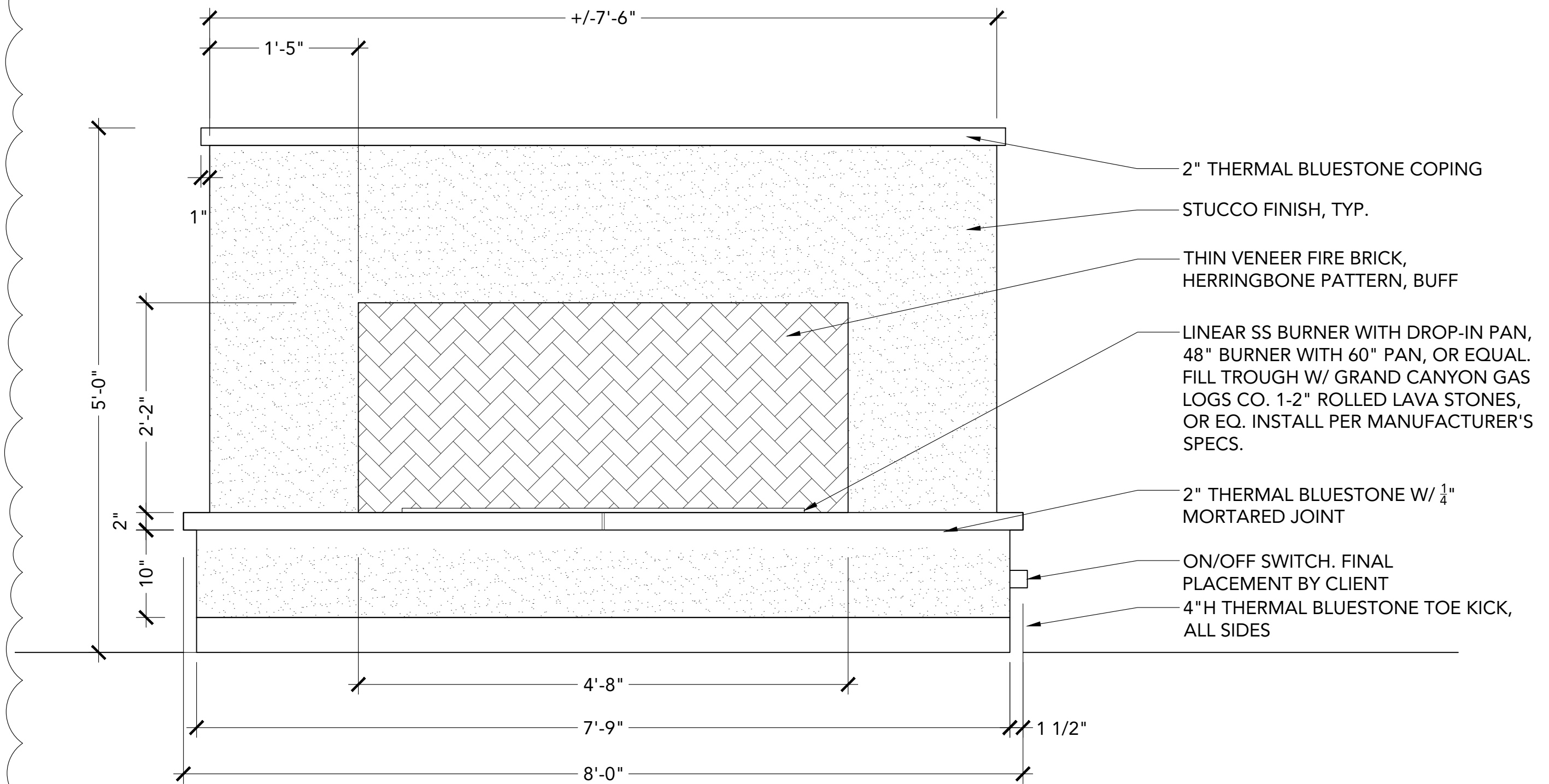


**1 MASONRY FIREPLACE, LOCATION PLAN**  
SCALE: 1/2" = 1'-0"

2 3 4

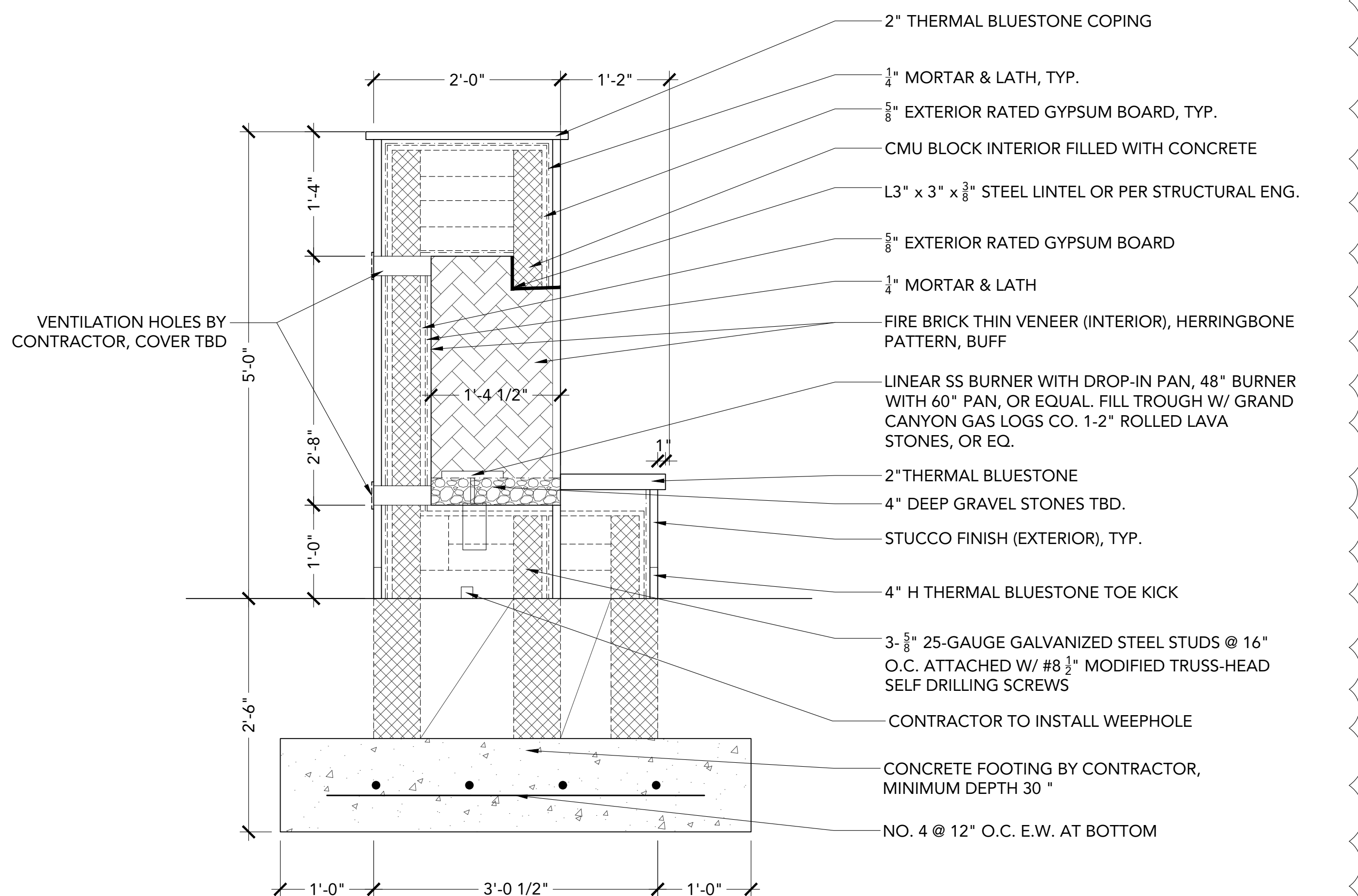


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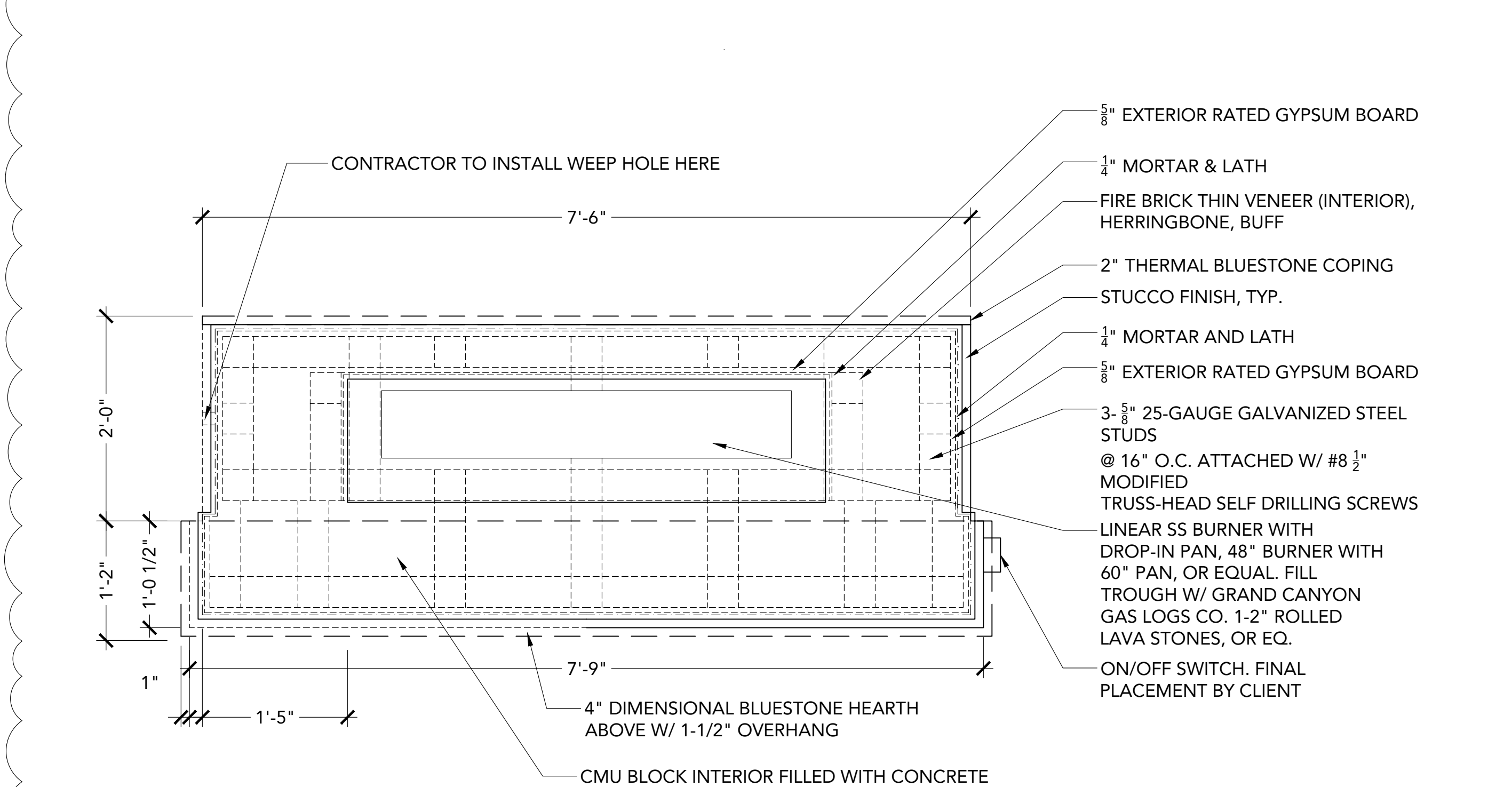
**2 MASONRY FIREPLACE, ELEVATION**  
SCALE: 1" = 1'-0"

2 3 4



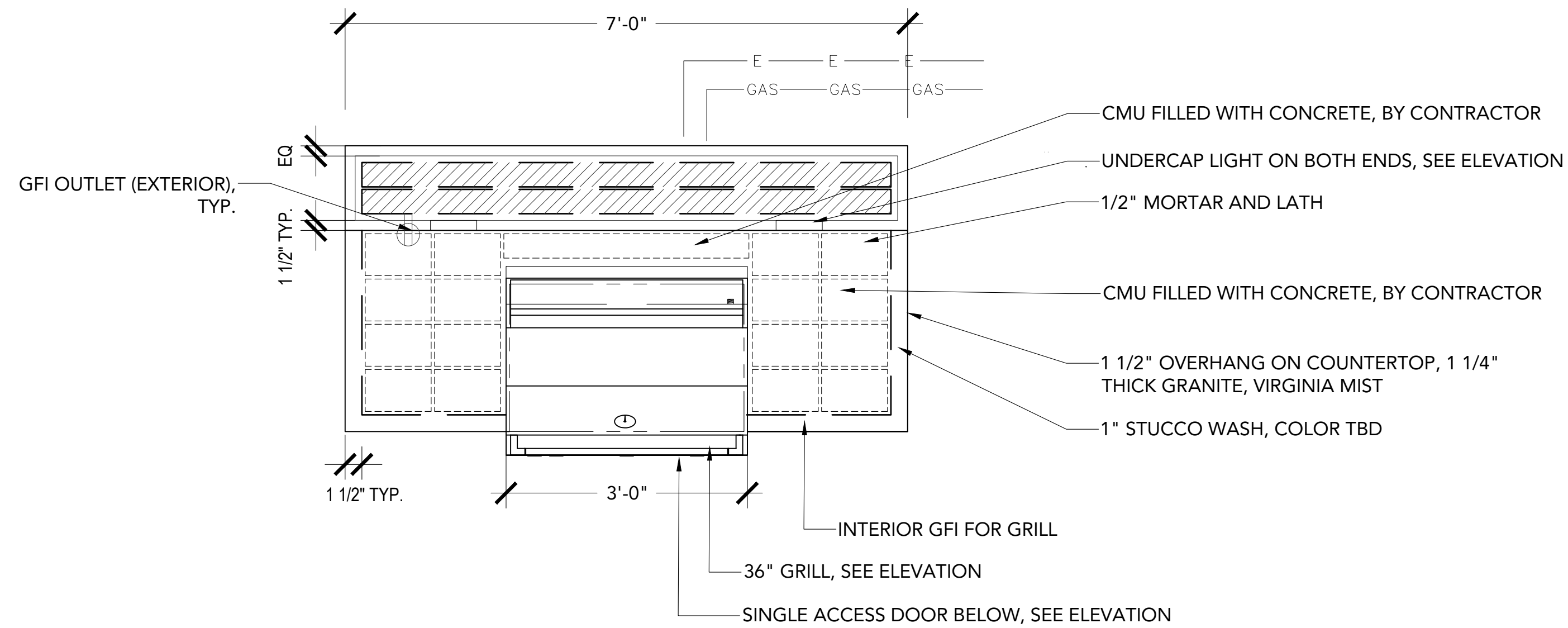
**3 MASONRY FIREPLACE, SECTION**  
SCALE: 1" = 1'-0"

2 3 4



**4 MASONRY FIREPLACE PLAN**  
SCALE: 1" = 1'-0"

2 3 4



**NOTE:**

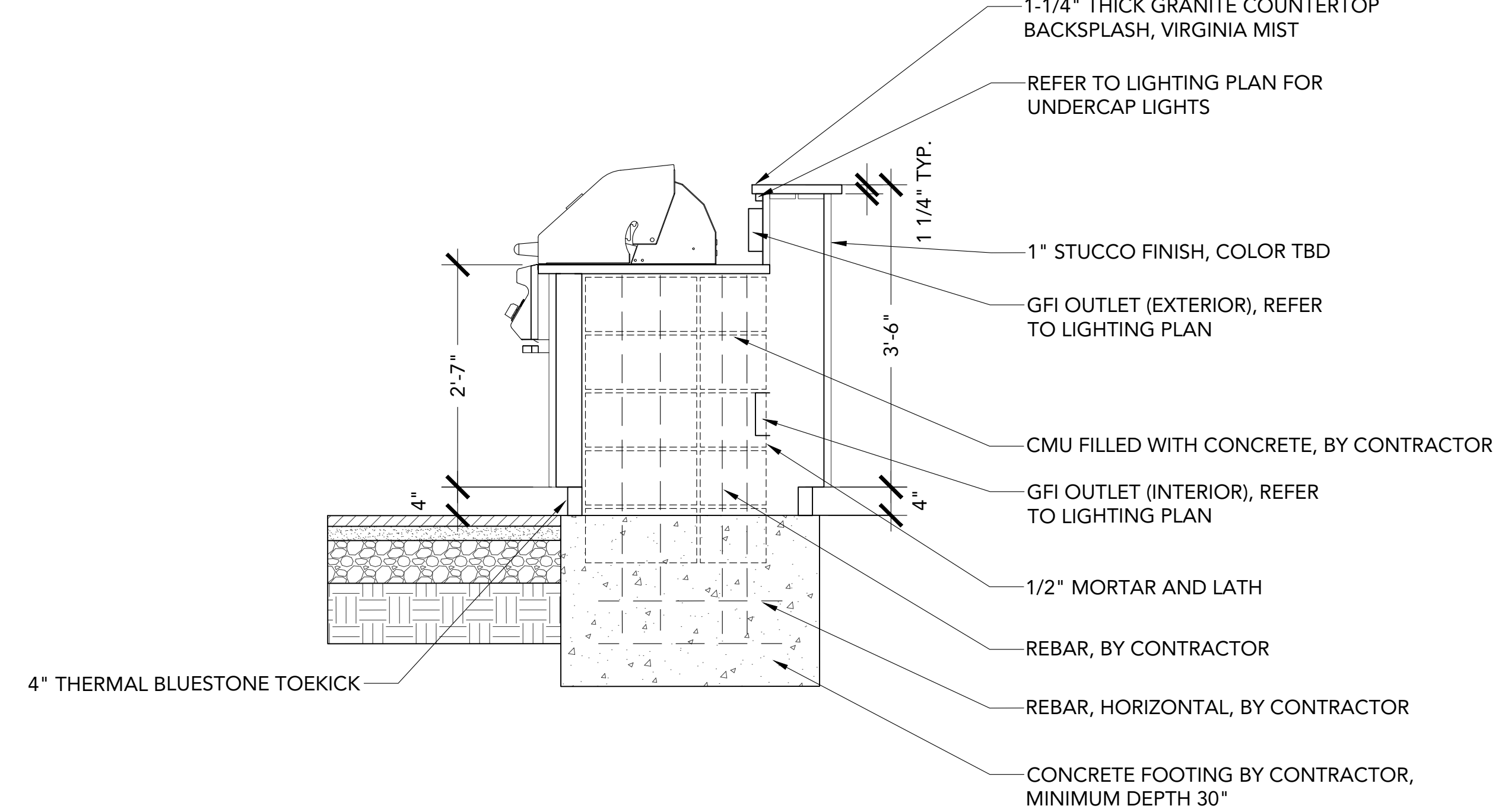
FINAL KITCHEN SPECIFICATIONS BY MANUFACTURER.

CONTRACTOR TO INSTALL BRICK VENEER ON ALL SIDES OF GRILL ISLAND.

CONTRACTOR TO PROVIDE VENTS FOR GRILL PER MANUFACTURER SPECIFICATIONS.

CONTRACTOR TO PROVIDE ELECTRICAL AND GAS CONNECTIONS FOR KITCHEN.

**1 GRILL ISLAND, PLAN**  
SCALE: 3/4" = 1'-0"



**NOTE:**

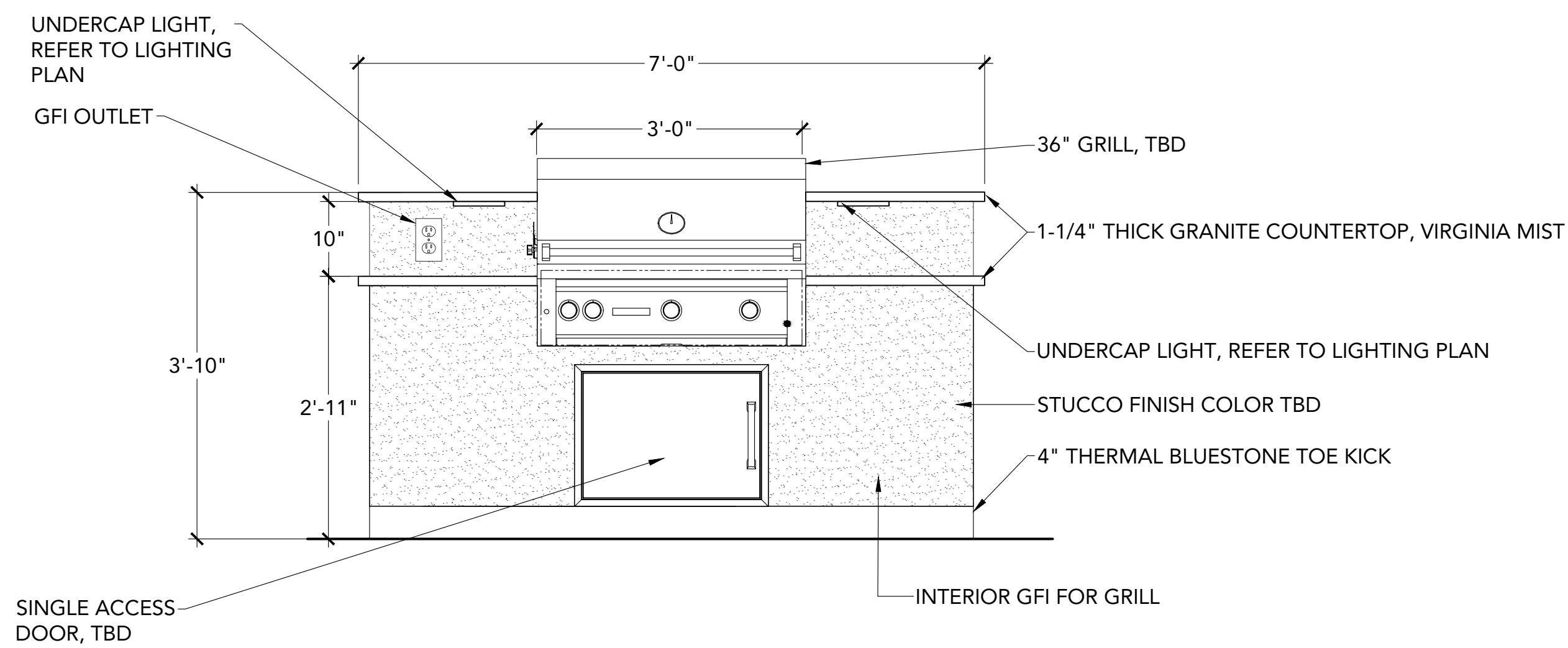
CONTRACTOR TO ADJUST MEASUREMENTS OF CAVITY AND COUNTERTOP PENDING GRILL SELECTION

CONTRACTOR TO COORDINATE WITH THE LIGHTING CONTRACTOR ON ELECTRICAL STUB OUTS

CONTRACTOR TO STUCCO ALL SIDES OF GRILL ISLAND

CONTRACTOR TO PROVIDE APPROPRIATE CLEARANCES AND VENTS PER MANUFACTURER'S SPECS

**2 GRILL ISLAND, SECTION**  
SCALE: 3/4" = 1'-0"



**NOTE:**

GRILL ELEVATION FOR DESIGN PURPOSE ONLY. FINAL KITCHEN SPECIFICATIONS BY MANUFACTURER.

CONTRACTOR TO STUCCO ALL SIDES OF GRILL ISLAND.

CONTRACTOR TO PROVIDE VENTS AND APPROPRIATE CLEARANCES FOR GRILL PER MANUFACTURER SPECIFICATIONS .

CONTRACTOR TO PROVIDE ELECTRICAL AND GAS CONNECTIONS FOR KITCHEN.

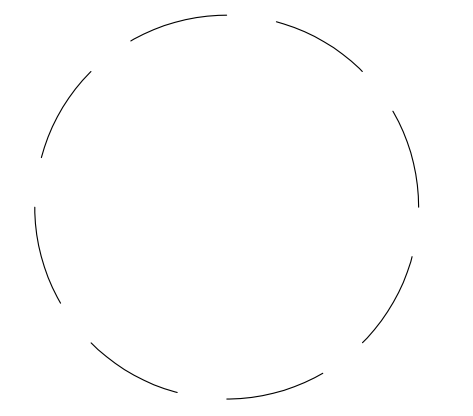
**3 GRILL ISLAND, ELEVATION**  
SCALE: 3/4" = 1'-0"

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CHECKED: JH

Scale: SEE DETAILS



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By Dan.Bruechert at 2:28 pm, Oct 29, 2024

Issue Date: 2024-07-18

Project No: NICHOLS

**GRILL ISLAND  
DETAILS**

**L-806**

# Feather & Assoc.

Tolbert V. Feather, Ph.D.

*Advisors for: Landscape Development  
Landscape Management, Plant Pest Management*

Chevy Chase Village  
5906 Connecticut Avenue  
Chevy Chase, MD 20815

June 13, 2024  
Revised 7-9-24

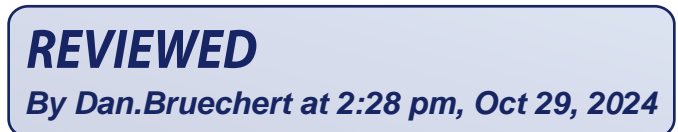
## Tree Preservation Plan – 5918 Cedar Parkway

I recommend the issuance of the Building Permit conditioned on the Owner's compliance with the tree preservation plan shown on the attached sheet and as stated below.

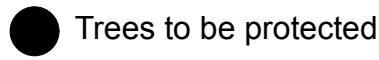
Attached is a map of the tree preservation plan for the residence at 5918 Cedar Parkway

1. Tree preservation fencing shall be installed in the locations shown on the plan. The street tree shall be protected. Tree preservation fencing shall delineate the tree protection zones. Tree preservation fencing shall be 4' tall wire mesh supported with steel stakes no less than 8' apart.
2. The Owner/Contractor shall inform all on-site workers that the tree preservation zones shall not be entered. Neither materials nor equipment shall be stored within the tree preservation zones. No grading shall be done within the tree preservation zones. The grading outside the tree preservation zones shall not be changed to divert and collect water within tree preservation zones.
3. No super silt fencing shall be installed within 10' of protected trees.
4. No storage of materials or equipment within 15' of protected trees..
5. Where indicated, excavations shall be done by hand. Any live roots 2" or more in diameter shall be preserved.
6. If excavation exposes roots on protected trees, the damaged roots shall be cleanly cut.
7. The Chevy Chase Village office shall be notified of any construction plan changes.

Note: As shown, two crepe myrtle trees cannot be protected if the new patios are installed.



MD Tree Expert License#880, ISA Certification #PD-0715, MD Pesticide Applicator#2070-5937



Trees to be protected

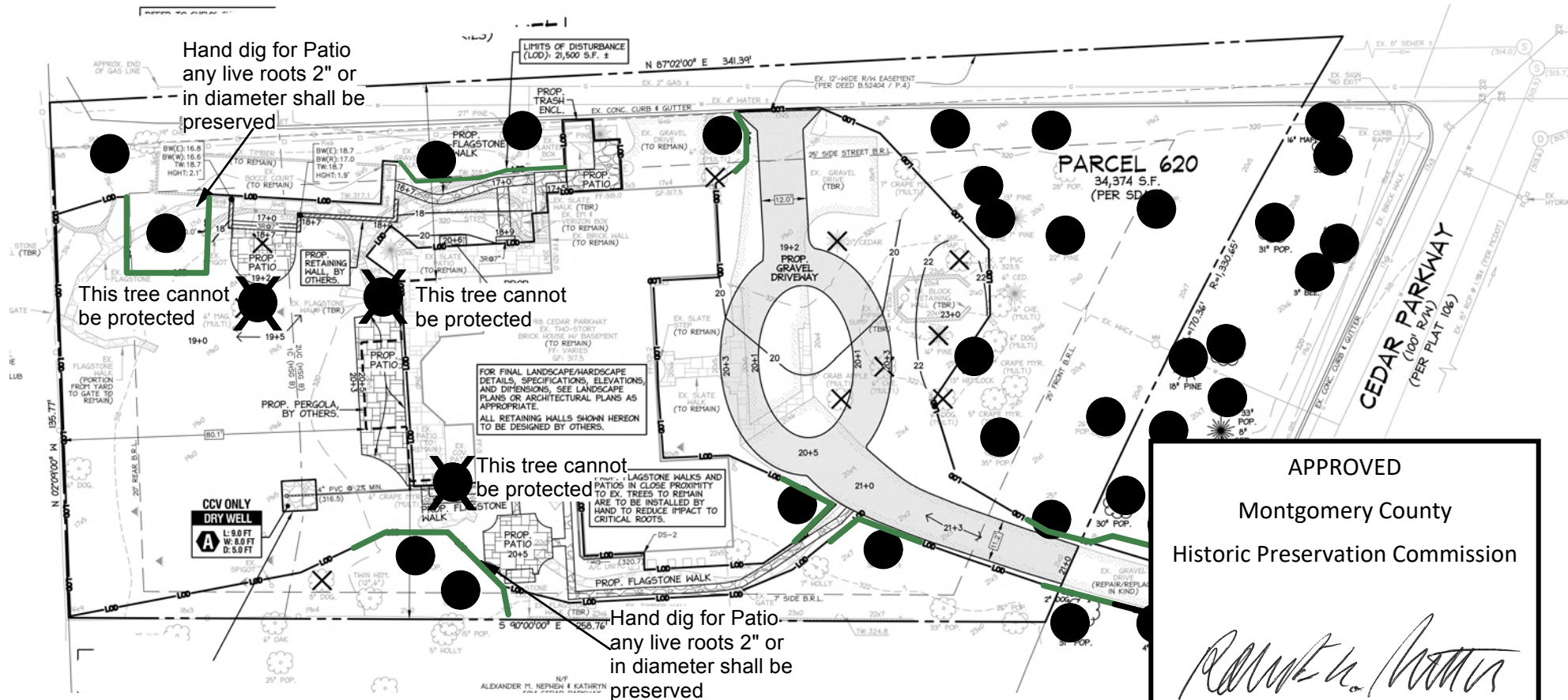


Trees to be removed to install paving, as shown.

Tree Protection

1. No super silt fencing shall be installed within 10' of protected trees.
2. No storage of materials or equipment within 15' of protected trees.
3. Where indicated, excavations shall be done by hand. Any live roots 2" or more in diameter shall be preserved.
4. If excavation exposes roots on protected trees, the damaged roots shall be cleanly cut.
5. The Chevy Chase Village office shall be notified of any construction plan changes.

Note: As shown, two crepe myrtle trees and one magnolia cannot be protected if the new patios are installed



— Tree Protection Fencing

**REVIEWED**  
 By Dan.Bruechert at 2:28 pm, Oct 29, 2024