



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert K. Sutton  
*Chairman*

Date: November 6, 2024

### MEMORANDUM

TO: Rabbiah Sabbakhan, Director  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1048008 - Building Addition

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This revision to the previously approved application was **approved** by HPC Staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Andrew and Katie Herman  
Address: 22 West Irving St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301-563-3408 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.





## HISTORIC PRESERVATION COMMISSION

HAWP #: \_\_\_\_\_ at: \_\_\_\_\_

submitted on: \_\_\_\_\_

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

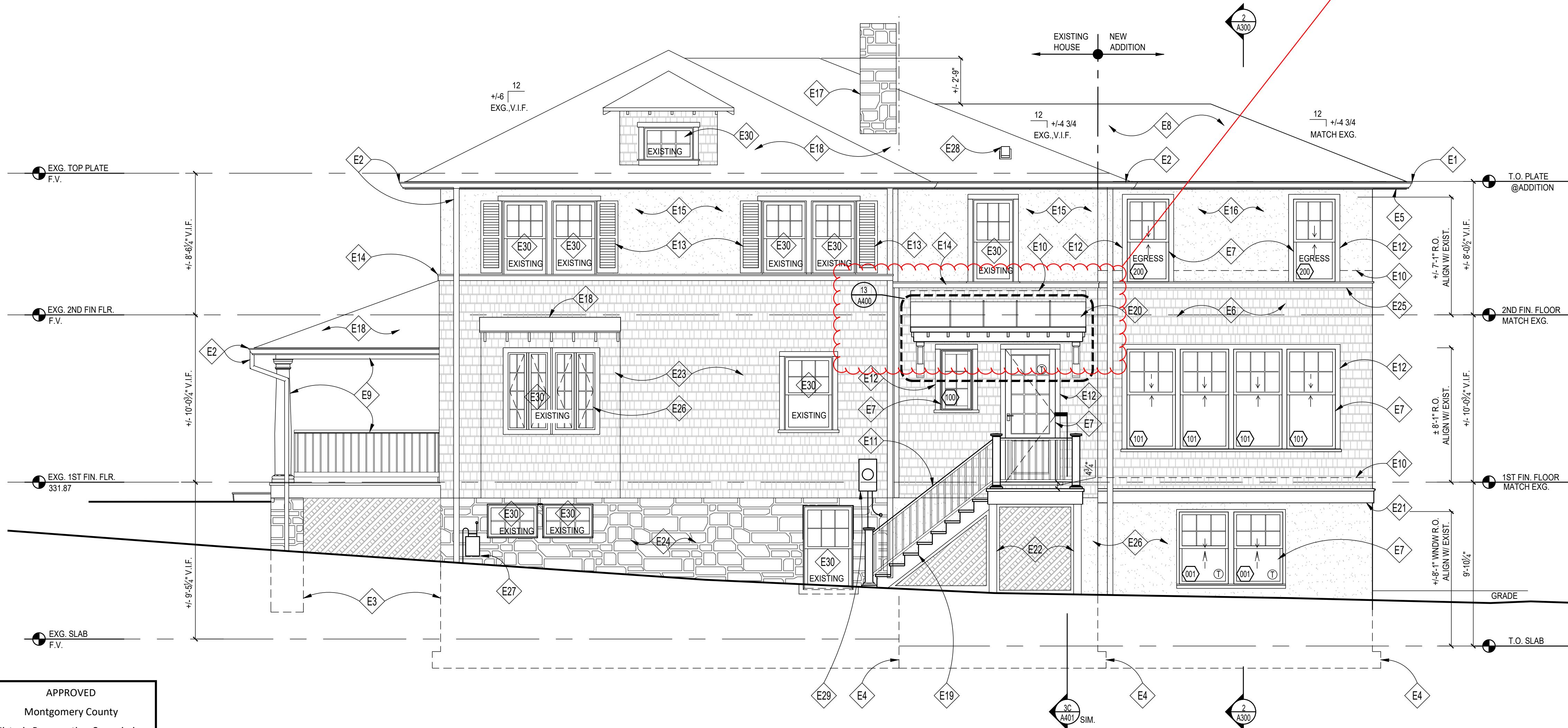
Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by *J. Brueckert* on \_\_\_\_\_. The approval memo and stamped drawings follow.



**2** EXISTING RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"

**GAF TIMBERLINE CHARCOAL ASPHALT SHINGLE ROOF IN LIEU OF STANDING SEAM MTL AT RIGHT SIDE CANOPY TO MATCH EXISTING ROOFING**



**1** RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

**ELEVATION NOTES**

- E1 GUTTER & DOWNSPOUT, TO MATCH EXISTING. SEE ROOF PLAN, TYPICAL
- E2 EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN, G.C. TO EVALUATE CONDITION OF ROOF DRAINAGE AND REPAIR AS REQ'D
- E3 APPROX. LINE OF EXISTING FOUNDATION & FOOTINGS BELOW, VERIFY IN FIELD
- E4 APPROX. LINE OF PROPOSED FOUNDATION/FOOTINGS BELOW, SEE FOUNDATION PLAN FOR ADDITIONAL INFO.
- E5 PTD. BORAL EAVE/CORNICE TRIM TO MATCH EXISTING, SEE DETAILS
- E6 STAINED CEDAR SHINGLE TO MATCH EXG. OVER BENJAMIN OBDYKE SLICKER HP W/ INSECT SCREEN CEDAR BREATHER, OR EQUAL, INSTALL PER MFR. SPEC.
- E7 NEW DOORS & WINDOWS AS SCHEDULED
- E8 ROOFING TO MATCH EXISTING, COLOR TO MATCH EXG. ROOFING
- E9 EXISTING PORCH, RAILING, DECKING & TRIM TO REMAIN; PATCH/REPAIR, SCRAPE, SAND AND REPAINT AS REQUIRED
- E10 PROVIDE NEW CONCEALED ALUMINUM FLASHING @ ALL EXG. VERT. TRANSITIONS; PROVIDE IF MISSING & EXTEND VERT. TRANSITIONS 8" MIN. BEHIND SIDING, TYP.
- E11 36" H. PTD. COMPOSITE HANDRAIL/GUARDRAIL SYSTEM, T.B.S. FOLLOW IRC, 2018 SEE 38 5/A401
- E12 PTD. 5/4X BORAL WINDOW/DOOR TRIM, TO MATCH EXG. HISTORIC TRIM TYP., SEE DETAILS, 15/A400
- E13 EXISTING WINDOW SHUTTERS TO BE EVALUATED AND SCRAPED/REPAIRED & PAINTED AS NEEDED
- E14 EXG. WOOD TRIM TO REMAIN, SCRAPE/PAINT/ REPAIR AS NEEDED
- E15 EXG. STUCCO SIDING TO REMAIN, REPAIR AS REQUIRED
- E16 PTD. 3-COAT CEMENTITIOUS STUCCO; MATCH EXG. TEXTURE/FINISH
- E17 EXISTING MASONRY CHIMNEY TO REMAIN, PATCH/REPAIR AS REQ'D
- E18 EXISTING ROOFING TO REMAIN, PATCH AND REPAIR AS NECESSARY
- E19 PTD. COMPOSITE WOOD STEPS/RISERS TO GRADE, SEE SITE PLAN, FIELD VERIFY RISE & RUN
- E20 STANDING SEAM MTL ROOFING @ CANOPY W/ PTD. BORAL TRIM
- E21 PTD. BORAL SKIRT BOARD, SEE 2/A400
- E22 PTD. BORAL TRIM OVER STRUCTURAL POST; SEE STRUCT, PTD.
- E23 EXISTING SIDING TO REMAIN; PATCH/REPAIR, SCRAPE, SAND AND REPAINT AS REQUIRED
- E24 EXISTING STONE TO REMAIN, REPAIR/REPOINT AS REQ'D
- E25 PTD. BORAL TRIM TO MATCH EXG HISTORIC TRIM
- E26 STUCCO/PARGING OVER CMU FOUNDATION WALL TO MATCH EXG.
- E27 EXG. GAS METER TO REMAIN, GC TO FIELD VERIFY
- E28 BATH FAN EXHAUST ROOF VENT CAP
- E29 EXG. ELECTRIC METER LOCATION TO REMAIN, GC TO FIELD VERIFY
- E30 EXG. WINDOW/DOOR TO REMAIN; GC TO EVALUATE & REPAIR AS REQ'D., TYP.

- NOTE:
1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD
  2. EXISTING HOUSE TO BE PAINTED
  3. (T) = TEMPERED GLASS

**GENERAL NOTES**

- FOR ENTIRE HOUSE:
1. INVESTIGATE/EVALUATE CONDITION OF EXISTING STUCCO/CEDAR SHINGLE CLADDING & EXTERIOR TRIM AND REPAIR AS REQ'D. IF TRIM CANNOT BE REPAIRED, REPLICATE/REPLACE IN-KIND AFTER CONFERRING WITH HPC STAFF. NEW WOOD/ FIBRECEMENT TRIM DETAILS TO MATCH EXISTING DETAILS ON ADDITION.
  2. ALL NEW WOOD TRIM (CORNERBOARDS, FRIEZE BOARDS, SOFFITS, WINDOW CASING, SKIRTBOARDS, APRONS, ETC.) TO BE WINDSOR-ONE+ OR APPROVED EQ. PRIME ALL END CUTS & INSTALL PER MANUFACTURERS INSTRUCTIONS.

G T M ARCHITECTS

7735 OLD GEORGETOWN ROAD  
SUITE 700  
BETHESDA, MD 20814  
(240)333-2000  
(240)333-2001 FAX  
WWW.GTMARCHITECTS.COM



Seal  
I certify that these documents were prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Maryland, license number 8385, Expiration Date: 12-31-2024.

Consultant

Project  
**HERMAN RESIDENCE**

22 WEST IRVING ST., CHEVY CHASE, MD 20815

Owner

Developer

PERMIT SET 01/05/2024

Issue Description Date

GTM Project No. 22.0436

Checked By GTM

Drawn By LEO/TJK

Scale AS NOTED

Sheet Title

**RIGHT SIDE ELEVATION**

Sheet No.

**A201**

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APPROVED  
Montgomery County  
Historic Preservation Commission

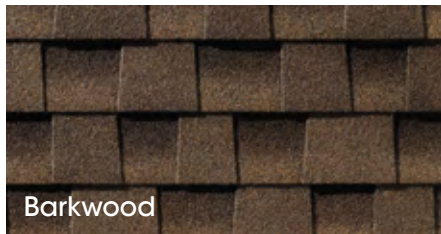
*[Signature]*

**REVIEWED**  
By Dan.Bruechert at 4:11 pm, Nov 06, 2024

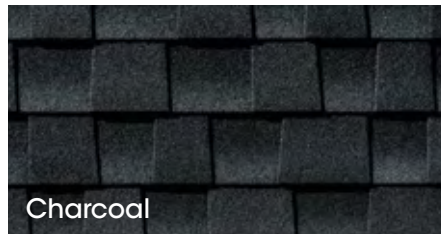
FILE NAME

# Timberline HDZ® Shingles

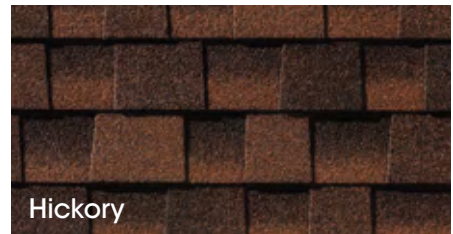
America's #1-selling shingle got even better. Timberline HDZ® Shingles feature LayerLock® Technology, which powers the industry's widest nail zone. When installed with the required combination of four qualifying GAF Accessories, Timberline HDZ® Shingles are eligible for an industry first: a wind warranty with no maximum wind speed limitation.<sup>1</sup> And now, with a 25-year StainGuard Plus™ Algae Protection Limited Warranty,<sup>2</sup> Timberline HDZ® offers everything you can expect from an architectural shingle roof, and more. [gaf.com/TimberlineHDZ](http://gaf.com/TimberlineHDZ)



Barkwood



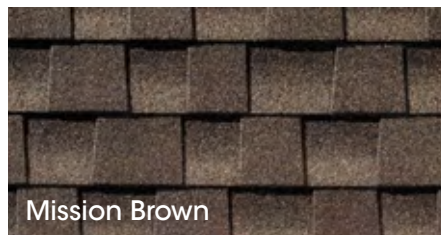
Charcoal



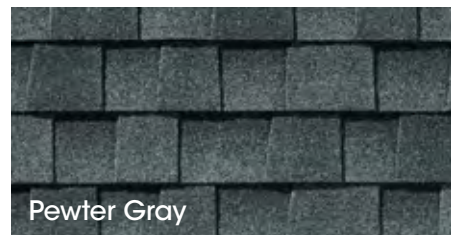
Hickory



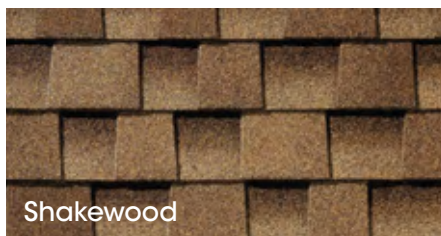
Hunter Green



Mission Brown



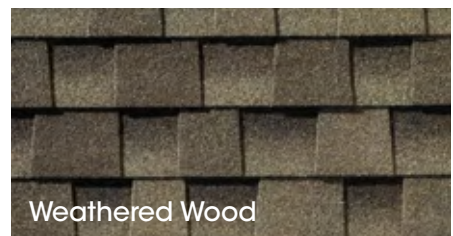
Pewter Gray



Shakewood

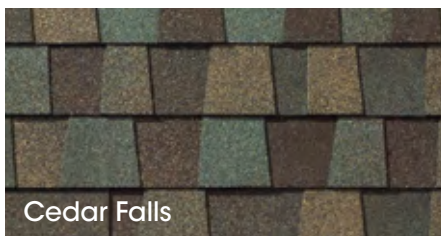


Slate

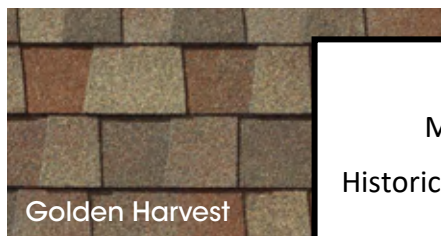


Weathered Wood

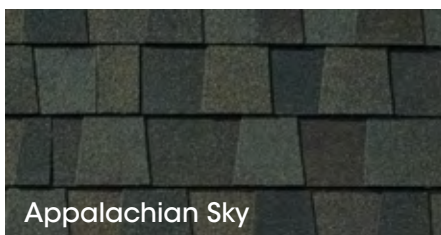
## Harvest Blend Colors



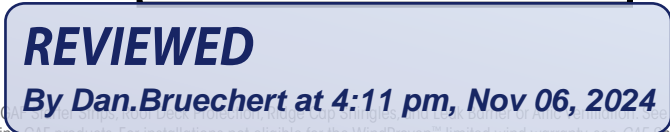
Cedar Falls



Golden Harvest



Appalachian Sky



<sup>1</sup> 15-year WindProven™ limited wind warranty on Timberline HDZ® Shingles requires the use of the LayerLock® Technology, LayerLock® Technology, and GAF Roofing System Limited Warranty for complete coverage and restrictions. Visit [gaf.com/LRS](http://gaf.com/LRS) for qualifying GAF products. For installations not eligible for the WindProven™ limited wind warranty, see GAF Shingle & Accessory Limited Warranty for complete coverage and restrictions.

<sup>2</sup> 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See GAF Shingle & Accessory Limited Warranty for complete coverage and restrictions.

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.