



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

January 8, 2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1086783 - Partial Demolition, Two Story Addition, Hardscape Alteration, and Tree Removal

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the December 4, 2024 HPC meeting.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Salem Badawy
Address: 10012 Menlo Ave., Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Dan Bruechert at 301-563-3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



ADDITION/ RENOVATION

10012 MENLO AVE
SILVER SPRING MD

GENERAL NOTES

- All Contractors shall be licensed and bonded for work in Montgomery County Maryland
- Construction work shall conform to all applicable building codes for Montgomery County MD, including International Residential Code 2018
- Contractor shall be responsible for obtaining all necessary building permits. Architectural and Structural drawings will be provided.
- All dimensions are to face of finish, unless otherwise noted.
- Contractor shall verify all field conditions prior to construction. The Contractor shall check, coordinate and verify all dimensions and construction details before starting any construction. Written dimensions on the drawing shall have precedence over scaled dimensions. The contractor shall not scale dimensions from any drawing or detail. If a dimension is not provided the contractor shall notify Designer for clarification.
- Contractor shall keep the construction site in an orderly manner and provide daily clean-up of construction debris.
- All contractors working or contracted to have work performed on the job site shall be licensed and bonded and carry Liability and worker's compensation insurance.
- The Contractor shall be solely responsible for all construction means, methods, techniques, sequences and procedures and for coordinating all portions of the work under contract.

CODE INFORMATION

GOVERNING BUILDING CODES:

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES:

2021 IRC RESIDENTIAL
ICC RESIDENTIAL CODE 2018
INTERNATIONAL MECHANICAL CODE 2018
NATIONAL ELECTRICAL CODE 2018
2021 ICC PLUMBING CODE
2021 ICC FIRE CODE
2021 ICC ENERGY CONSERVATION CODE

2021 ICC GREEN CONSTRUCTION CODE

LOT/SQUARE:

ZONING CLASSIFICATION:
CURRENT USE CODE:
PROPOSED USE CODE:

RESIDENTIAL
RESIDENTIAL - SINGLE FAMILY

ALLOWED (CODE) PROVIDED (PROPOSED)

GROSS SQ. FOOTAGE

.. . FT. (EXISTING)

LOT AREA	MIN. 5,000 SQ. FT.	
LOT WIDTH	MIN. 50 FT.	
SIDE YARD SETBACK	7' FT MIN.	+/- 15' EAST, +/-15' WEST
REAR YARD SETBACK	30 FT MIN.	+/- 141'
LOT OCCUPANCY / COVERAGE	40 %	LESS THAN 40 %
HEIGHT OF BUILDING	40 FT MAX	LESS THAN 40 FT
NUMBER OF STORIES	2 STORY	2 STORY

STANDARD ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	LOC.	LOCATION
A.L.	ALTERNATE	L.P.	LOW POINT
B.V.	BOTTOM OF	L.V.	LIMITED VENTIL LUMBER
BTU	BRITISH THERMAL UNIT	MAX.	MAXIMUM
B.W.	BEARING WALL	M.E.P.	MECHANICAL/ELECTRICAL/PLUMBING
C.S.T.	CANTILEVER	MIN.	MINIMUM
C.W.	CUBIC FEET PER MINUTE	M.P.H.	MILES PER HOUR
C.J.	CEILING JOIST	O.C.	ON CENTER
C.M.U.	CONCRETE MASONRY UNIT	P.C.	POURED CONCRETE
CONC.	CONCRETE	P.T.	PRESSURE TREATED
CONC.	CONCRETE	P.W.	POURING CALIBRE PLASTIC
C.W.	COLD WATER	R.A.G.	RETURN AIR GRILLE
D-F	DOUGLAS-FIR	REIN.	REINFORCING
DIA.	DIAMETER	R.F.	ROOF RAFTER
DM	DIMENSION	T.B.D.	TO BE DETERMINED
DN.	DOWN	T.G.	TONGUE AND GROOVE
DA.	DACH	TH.	THRESHOLD
ELEC.	ELECTRICAL	V/A	TOP OF
EM	ELECTRICAL METER	TYR.	TYPICAL
E.P.	ELECTRICAL PANEL	VTR	VENT THROUGH ROOF
F.J.	FLOOR JOIST	W/	WITH
FURN.	FURNITURE	WH	WATER HEATER
GI	GROUND FAULT INTERRUPT	WL	WET LOCATION
DM	GAS METER	WM	WATER METER
OSB	OSB SHEET WALL BOARD	WP	WEATHERPROOF
H.P.	HIGH POINT	WFF	WELDED WIRE FABRIC
H.V.C.	HEATING/VENTILATION/AIR CONDITIONING	WWM	WELDED WIRE MESH
HW	HOT WATER		

SYMBOLS LEGEND

	PLAN DETAIL REFERENCE
	DETAIL REFERENCE SHEET NUMBER
	ELEVATION REFERENCE
	DETAIL REFERENCE SHEET NUMBER
	SECTION REFERENCE
	DETAIL REFERENCE SHEET NUMBER
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW WALL
	DOOR DESIGNATION - REF. X-XXX
	WINDOW DESIGNATION - REF. X-XXX
	ROOM NAME
	INTERIOR ELEVATIONS (SAME SHEET)
	ELEVATION DATUM LINE OR POINT
	PARTITION TYPE - REF. X-XXX
	COLUMN DESIGNATION
	CENTER LINE

MATERIALS LEGEND

	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE DEMOLISHED
	NEW WALLS
	GLASS PARTITION
	BARRY/COMPACTED FILL
	POROUS FILL
	CONCRETE
	CONCRETE MASONRY UNITS (C.M.U.)
	BRICK
	STONE TILE
	STEEL
	STUCCO/POUR ROOFING SYSTEM
	RIGID INSULATION
	BATT INSULATION
	OSB/SPAN WALLBOARD
	PLYWOOD
	ACOUSTICAL TILE

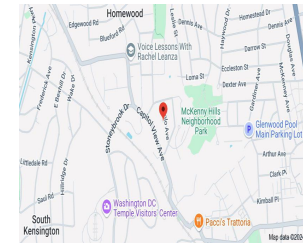
APPROVED

Montgomery County

Historic Preservation Commission



REVIEWED
By Dan Bruechert at 2:07 pm, Jan 08, 2025



VICINITY MAP

INDEX OF DRAWINGS

- A-1 - COVER SHEET
- A-2 - SITE PLAN
- A-3 - EXIST FLOOR PLAN
- A-4 - FIRST FLOOR PLAN
- A-5 - SECOND FLOOR PLAN
- A-6 - ELEVATIONS
- A-7 - ELEVATIONS
- A-8 - DEMO, FOUNDATION PLAN
- A-9 - SECOND FLOOR FRAMING
- A-10 - ROOF FRAMING, ROOF PLAN
- A-11 - CROSS SECTION A-A, WALL SECTION
- A-12 - CROSS SECTION B-B, WALL SECTION
- A-13 - BRACED WALL PLAN
- A-14 - STRUCTURAL NOTES
BRACED WALL DETAILS
- A-15 - THERMAL ENVELOPE
- A-16 - THERMAL NOTES

SCOPE OF WORK

SECOND FLOOR ADDITION
REMODEL FIRST FLOOR, AND ADDITION
FRONT PORCH, BALCONIES

LOCATION

10012 MENLO AVE
SILVER SPRING MD

SQUARE FOOTAGE SUMMARY

FIRST FLOOR REMODEL -	1740 SF
SECOND FLOOR ADDITION -	1965 SF
FRONT PORCHES -	160 SF
PROPOSED NEW HOUSE	3755 SF

NOTE: FIRE SPRINKLER SYSTEM REQUIRED FOR ADDITION AND EXISTING HOUSE

REVISIONS
6/23/24

ALPHA HOUSES LLC
3901 ST. JOHNS LANE
ELLCOTT CITY MD

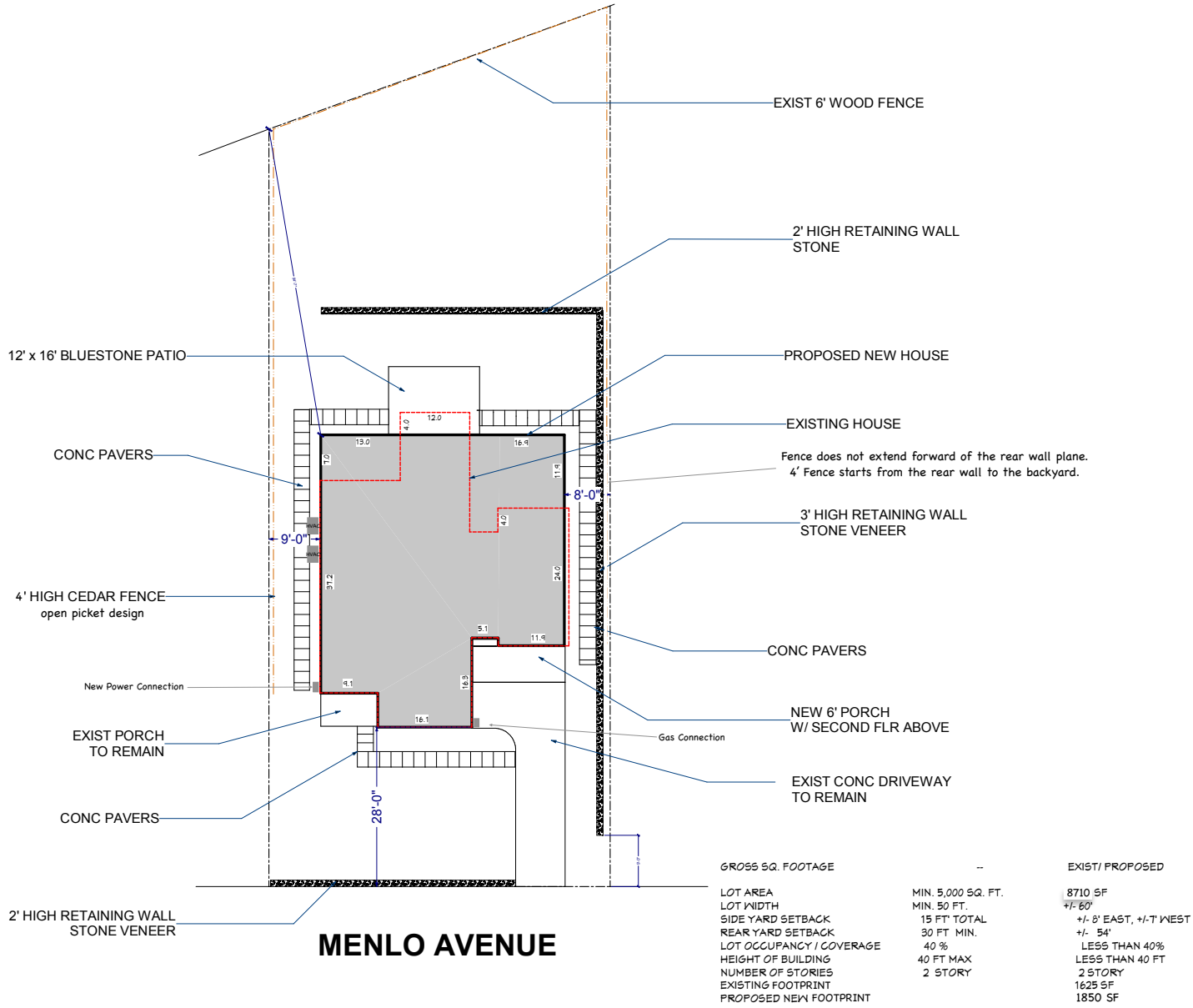
ADDITION / RENOVATION
10012 MENLO AVENUE
SILVER SPRING MD 20902

SEPTEMBER 2024
SCALE AS NOTED

COVER SHEET

A-1

APPROVED
 Montgomery County
 Historic Preservation Commission

REVISIONS
 6/23/24

ALPHA HOUSES LLC
 3901 ST. JOHNS LANE
 ELLICOTT CITY MD

ADDITION / RENOVATION
 10012 MENLO AVENUE
 SILVER SPRING MD 209102

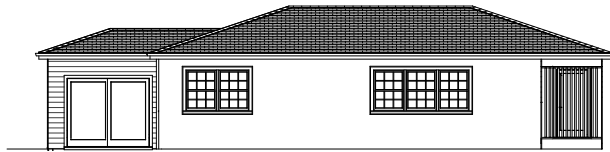
PROPOSED SITE PLAN
 SEPTEMBER 2024
 SCALE AS NOTED

A-2

REVIEWED
 By Dan Bruechert at 2:10 pm, Jan 08, 2025



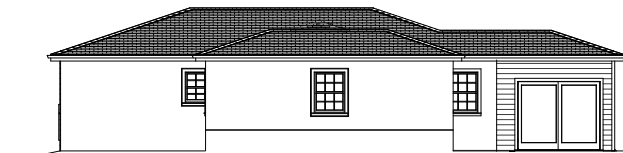
FRONT ELEVATION



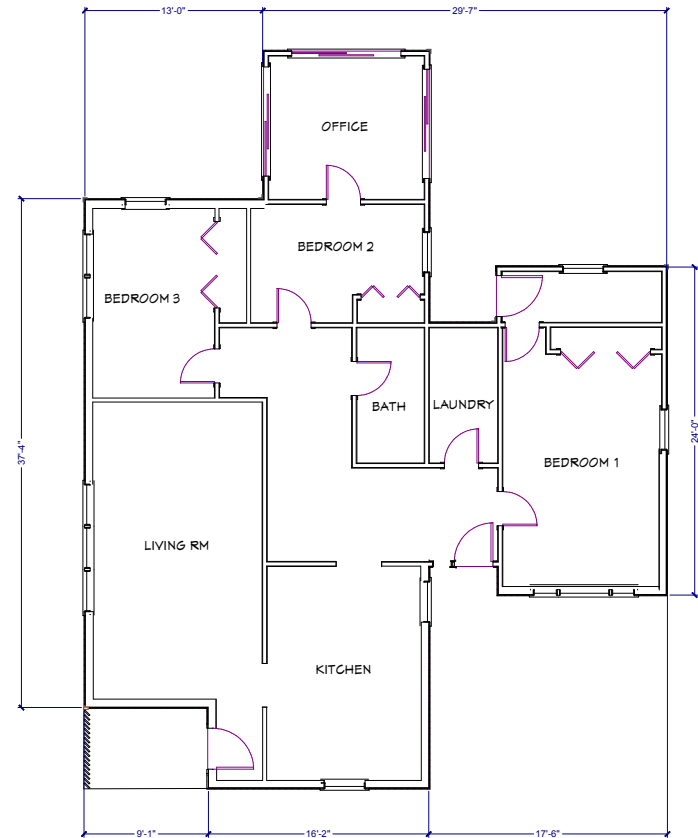
LEFT SIDE ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION



EXISTING FIRST FLOOR PLAN

1625 SF

APPROVED
 Montgomery County
 Historic Preservation Commission

Robert H. [Signature]

REVISIONS
 6/23/24

ALPHA HOUSES LLC
 3901 ST. JOHNS LANE
 ELLICOTT CITY MD

ADDITION / RENOVATION
 10012 MENLO AVENUE
 SILVER SPRING MD 20902

SEPTEMBER 2024
 SCALE AS NOTED

EXIST FLOOR PLANS
 EXIST ELEVATIONS
 DEMOLITION

A-3

REVIEWED
 By Dan Bruechert at 2:10 pm, Jan 08, 2025

WINDOW SCHEDULE						
NUMBER	QTY	SIZE	R/O	EGRESS	DESCRIPTION	COMMENTS
W01	8	2660SC	31" X 73"		CASEMENT	
W02	12	2466SC	29" X 67"		CASEMENT	
W03	1	2-2660SC	61" X 73"		DBL CASEMENT	
W04	1	6040FX	73" X 49"		FIXED GLASS	
W05	3	4016FX	49" X 19"		FIXED GLASS	TEMPERED
W06	1	5018FX	61" X 19"		FIXED GLASS	TEMPERED
W07	1	2-2466SC	58" X 67"		DBL CASEMENT	
W08	1	6060FX	73" X 73"		FIXED GLASS	TEMPERED

GENERAL NOTES:

- UNLESS INDICATED OTHERWISE, DIMENSIONS ARE FACE TO FACE OF FRAMING.
- VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN THE FIELD.
- ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE HARD-WIRED TO DESIGNATED CIRCUIT, INTERCONNECTED & PROVIDED WITH BATTERY BACKUP, OR 10-YEAR BATTERY.
- PROVIDE CARBON MONOXIDE ALARMS PER R210.1.
- ALL STAIRS HANDRAILS AND SAUNDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R210.1 AND R210.2 OF THE 2018 IRC.
- SEE FRAMING PLANS FOR COORDINATION OF POST REQUIREMENTS.
- ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3/2" & ALL ANGLES ARE 90 AND OR 45 UNLESS NOTED OTHERWISE.
- REFER TO EXTERIOR ELEVATIONS & DOOR/ WINDOW SCHEDULE FOR FINISH/HEAD HEIGHTS.
- ALL DOORS DIMENSIONS GIVEN IN FEET AND INCHES.

WALL TYPES

TYPICAL EXTERIOR WALL: 2x6 PIGGY STUCCO @ 16" OC WITH R-21 OPEN CELL FOAM INSULATION OR FIBERGLASS BATT INSULATION 1/2" OSB SHEATHING TYVEK BUILDING WRAP AND BRICK VENEER OR SIDING.
SEE ELEVATIONS. INTERIOR FINISH TO BE 1/2" GYP. BD.
TYPICAL INTERIOR WALL: 2x4 PIGGY STUCCO @ 16" OC WITH 1/2" GYP. BD. EACH SIDE, UNLESS OTHERWISE NOTED.

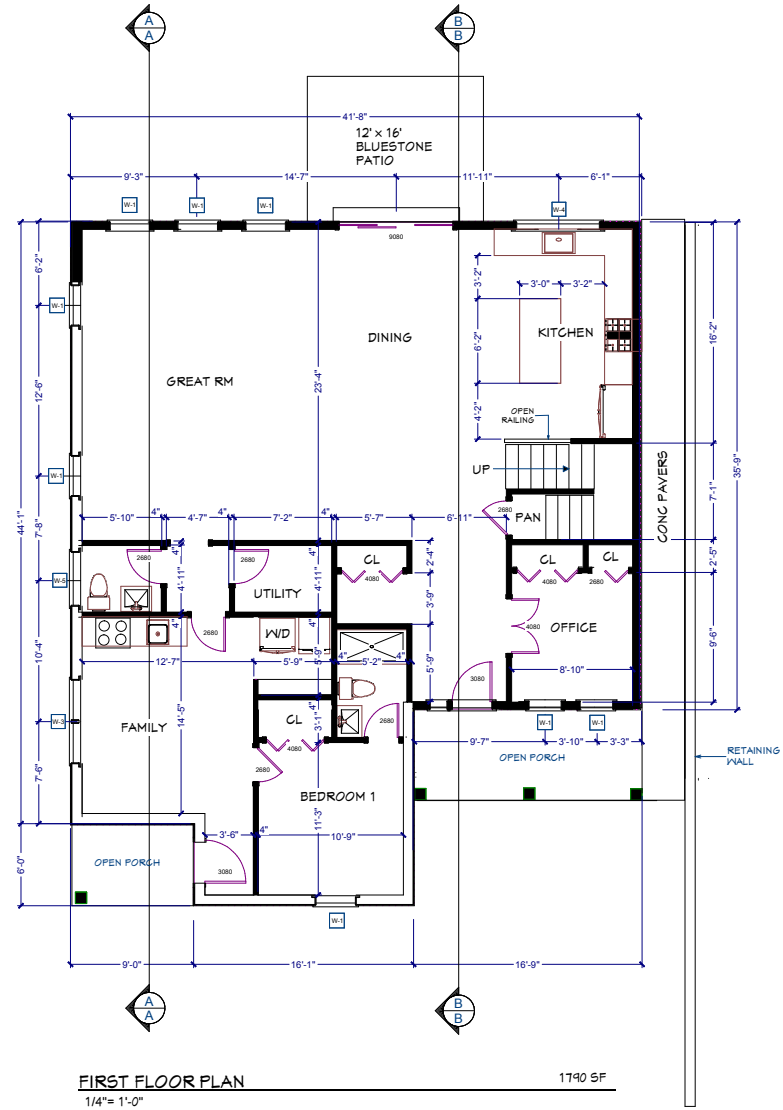
- ==== DENOTES REMOVED WALLS
- ===== DENOTES EXISTING WALLS
- DENOTES PROPOSED WALLS

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED

By Dan Bruechert at 2:10 pm, Jan 08, 2025



REVISIONS
6/23/24

ALPHA HOUSES LLC
3901 ST. JOHNS LANE
ELLCOTT CITY MD

ADDITION / RENOVATION
10012 MENLO AVENUE
SILVER SPRING MD 209102

SEPTEMBER 2024
SCALE AS NOTED

FIRST FLOOR PLAN

A-4

NUMBER	QTY	SIZE	R/O	EGRESS	DESCRIPTION	COMMENTS
W01	8	2660SC	31" X 73"		CASEMENT	
W02	12	2466SC	29" X 67"		CASEMENT	
W03	1	2-2660SC	61" X 73"		DBL CASEMENT	
W04	1	6040FX	73" X 49"		FIXED GLASS	
W05	3	4016FX	49" X 19"		FIXED GLASS	
W06	1	6016FX	73" X 19"		FIXED GLASS	
W07	1	2-2466SC	58" X 67"		DBL CASEMENT	
W08	1	6060FX	73" X 73"		FIXED GLASS	

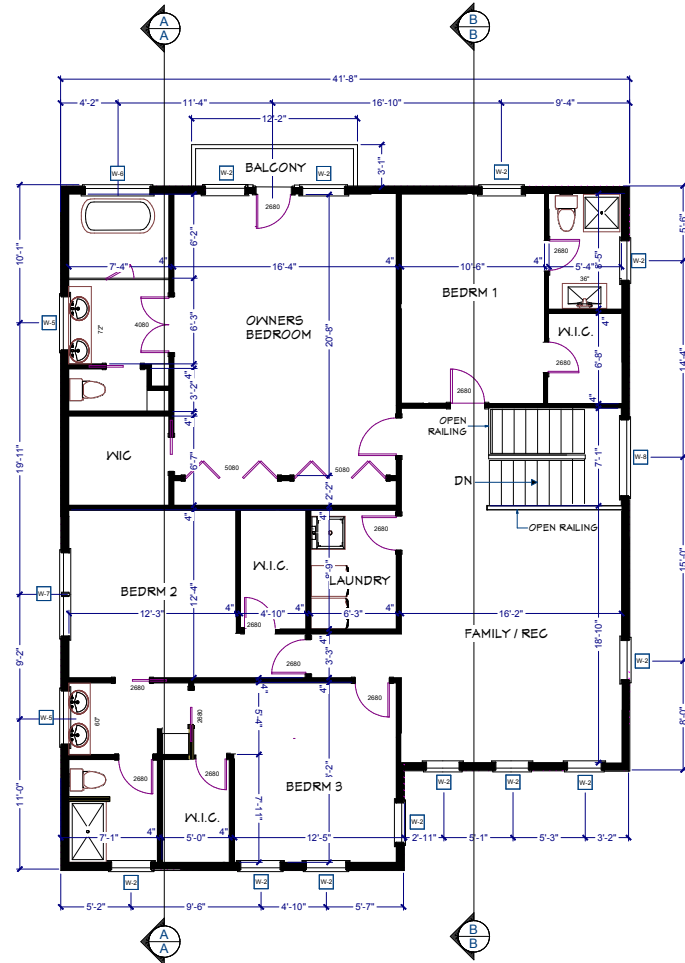
GENERAL NOTES:

- UNLESS INDICATED OTHERWISE, DIMENSIONS ARE FACE TO FACE OF FRAMING.
- VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN THE FIELD.
- ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE HARDWIRED TO INDICATE CIRCUIT INTERCONNECTED & PROVIDED WITH BATTERY BACKUP OR 10-YEAR BATTERY.
- PROVIDE CARBON MONOXIDE ALARMS FOR R01 & R02.
- ALL STAIRS HANDRAILS AND CAIRDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R011 AND R012 OF THE 2018 IBC REQUIREMENTS.
- SEE FRAMING PLANS FOR COORDINATION OF FOOT.
- ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 5/8" 1/2".
- ALL ANGLES ARE TO BE 90 DEGREES UNLESS NOTED OTHERWISE.
- REFER TO EXTERIOR ELEVATIONS & DOOR/WINDOW SCHEDULE FOR WINDOW HEAD HEIGHTS.
- ALL DOORS DIMENSIONS GIVEN IN FEET AND INCHES.

WALL TYPES

TYPICAL EXTERIOR WALL 2x6 WOOD STUDS @ 16" OC WITH R-21 OPEN CELL FOAM INSULATION OR FRENCH-BESS BAFF INSULATION 1/2" OSB SHEATHING TYVEK BUILDING WRAP AND BRICK VENEER OR SIDING.
SEE ELEVATIONS. INTERIOR FINISH TO BE 1/2" GYP. BD.
TYPICAL INTERIOR WALL 2x4 WOOD STUDS @ 16" OC WITH 1/2" GYP. BD. EACH SIDE UNLESS OTHERWISE NOTED.

- DENOTES REMOVED WALLS
- ==== DENOTES EXISTING WALLS
- DENOTES PROPOSED WALLS



SECOND FLOOR PLAN 1965 SF
1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

Robert H. [Signature]

REVIEWED

By Dan Bruechert at 2:10 pm, Jan 08, 2025

REVISIONS
6/23/24

ALPHA HOUSES LLC
3901 ST. JOHNS LANE
ELLCOTT CITY MD

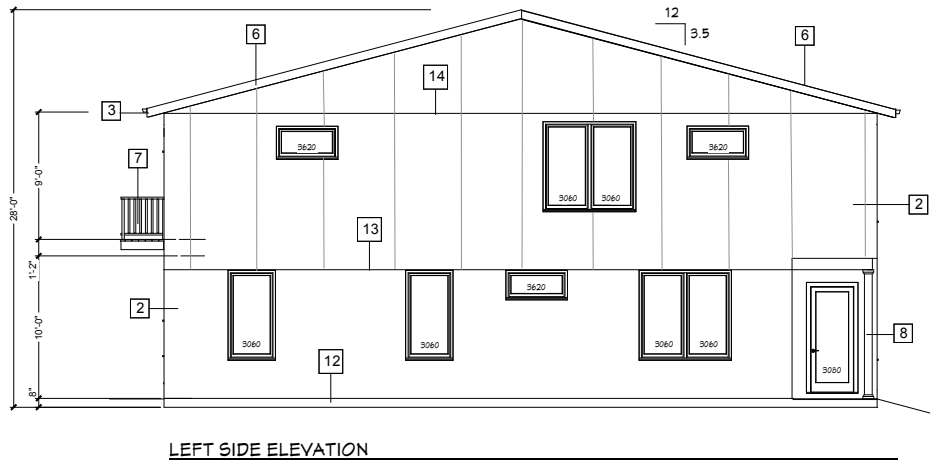
ADDITION / RENOVATION
10012 MENLO AVENUE
SILVER SPRING MD 20902

SECOND FLOOR PLAN
SEPTEMBER 2024
SCALE AS NOTED

A-5



FRONT ELEVATION



LEFT SIDE ELEVATION

ELEVATION NOTES

- 1 - FIBERGLASS SHINGLES ARCHITECTURAL
- 2 - HARDI PANEL SIDING- WHITE
- 3 - ALUM GUTTER ON 1x6 FASCIA
- 5 - EXIST STUCCO VENEER TO BE PAINTED WHITE
- 6 - 1x6 RAKE
- 7 - PVC RAILING- BLACK METAL PICKETS
- 8 - 2x8 PND POST- BLACK
- 10- CEDAR 1x6 KILN-DRIED V- JOINT
- 11- STONE RETAINING WALL
- 12- CONC FOUNDATION
- 13- TAMLYN HORIZ Z TRIM - Profile 1/2"
- 14- TAMLYN HORIZ BEAD REVEAL - Profile 1/8"
- 15- All windows are Aluminium-clad casement

REVISIONS
6/23/24

ALPHA HOMES
3901 ST. JOHNS LANE
ELLICOTT CITY MD

ADDITION / RENOVATION
10012 MENLO AVENUE
SILVER SPRING MD 20902

SEPTEMBER 2024
SCALE AS NOTED

ELEVATIONS

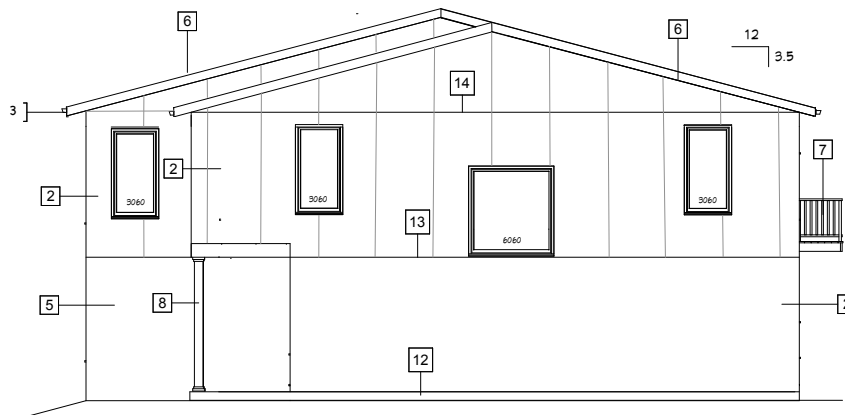
A-9

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan Bruechert at 2:10 pm, Jan 08, 2025



REAR ELEVATION



RIGHT SIDE ELEVATION

ELEVATION NOTES

- 1- FIBERGLASS SHINGLES ARCHITECTURAL
- 2- HARDI PANEL SIDING- WHITE
- 3- ALUM GUTTER ON 1x6 FASCIA
- 5- EXIST STUCCO VENEER TO BE PAINTED WHITE
- 6- 1x6 RAKE
- 7- P.V.G RAILING- BLACK METAL PICKETS
- 8- 8x8 MD POST- BLACK
- 10- CEDAR 1x6 KILN-DRIED V- JOINT
- 11- STONE RETAINING WALL
- 12- CONC FOUNDATION
- 13- TAMLYN HORIZ Z TRIM
- 14- TAMLYN HORIZ BEAD REVEAL
- 15- All windows are Aluminum-clad casement

REVISIONS
6/23/24

ALPHA HOMES
3901 ST. JOHNS LANE
ELLICOTT CITY MD

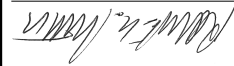
ADDITION / RENOVATION
10012 MENLO AVENUE
SILVER SPRING MD 20902

SEPTEMBER 2024
SCALE AS NOTED

ELEVATIONS

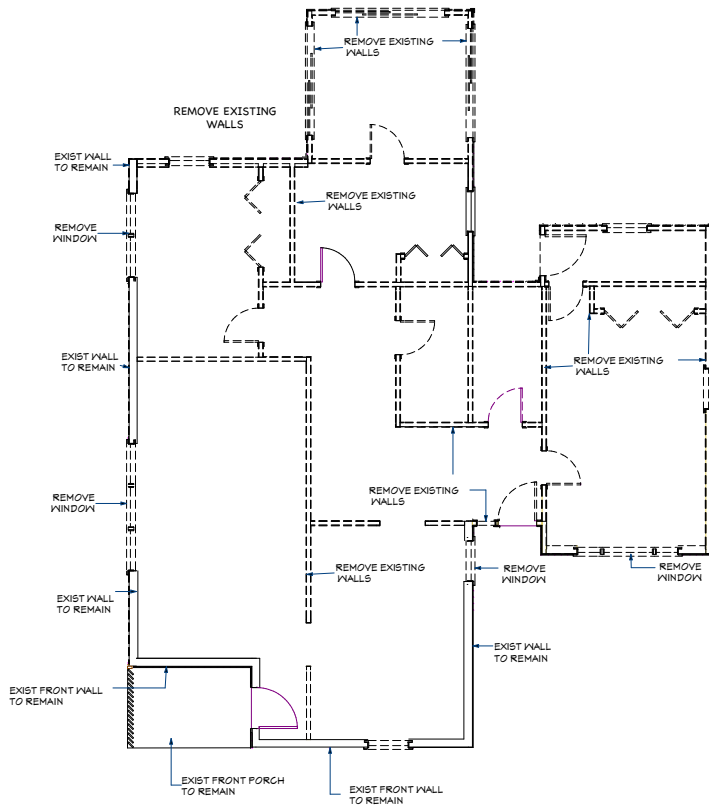
A-10

APPROVED
Montgomery County
Historic Preservation Commission

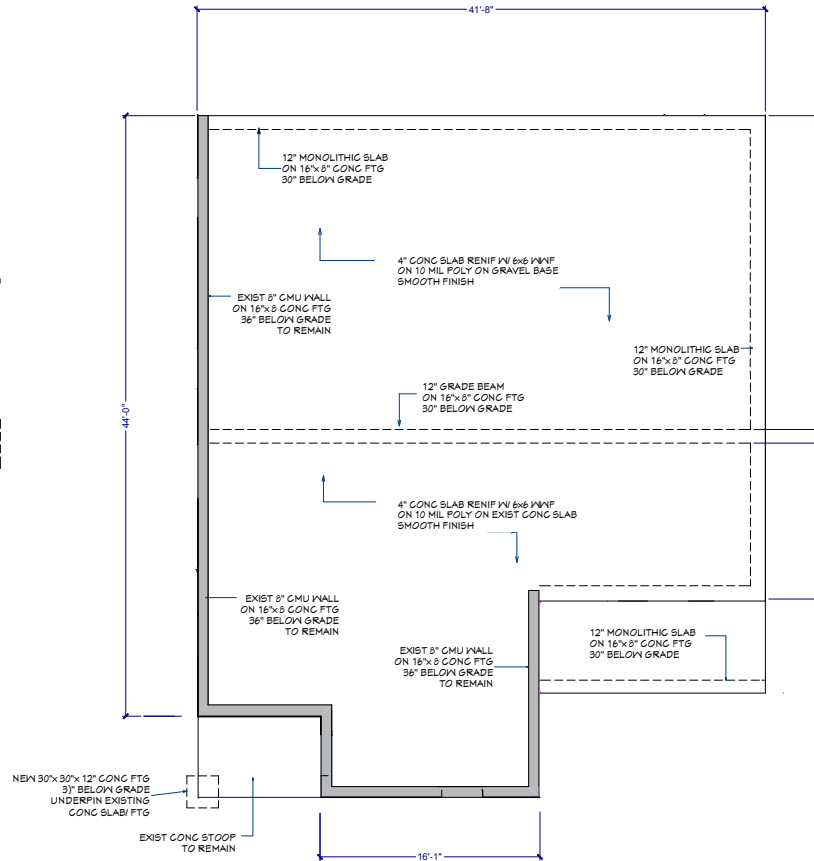


REVIEWED

By Dan Bruechert at 2:10 pm, Jan 08, 2025



DEMOLITION PLAN



FOUNDATION PLAN

1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

REVIEWED
 By Dan Bruechert at 2:10 pm, Jan 08, 2025

REVISIONS
 6/23/24

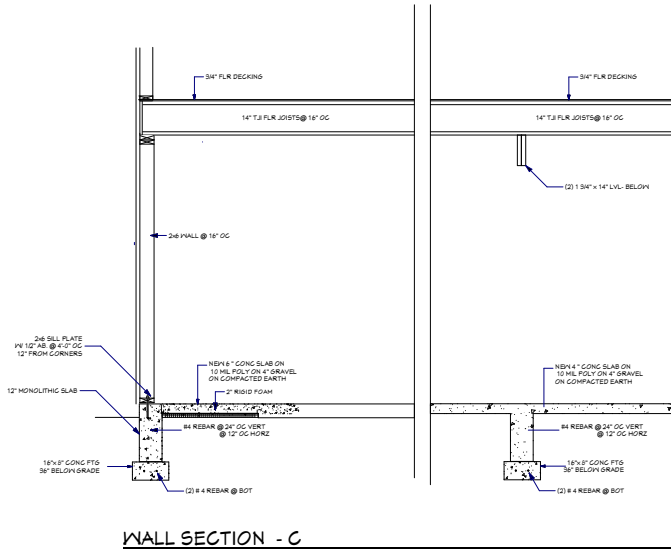
ALPHA HOUSES LLC
 3901 ST. JOHNS LANE
 ELLICOTT CITY MD

ADDITION / RENOVATION
 10012 MENLO AVENUE
 SILVER SPRING MD 20902

SEPTEMBER 2024
 SCALE AS NOTED

FOUNDATION PLAN
 DEMOLITION PLAN

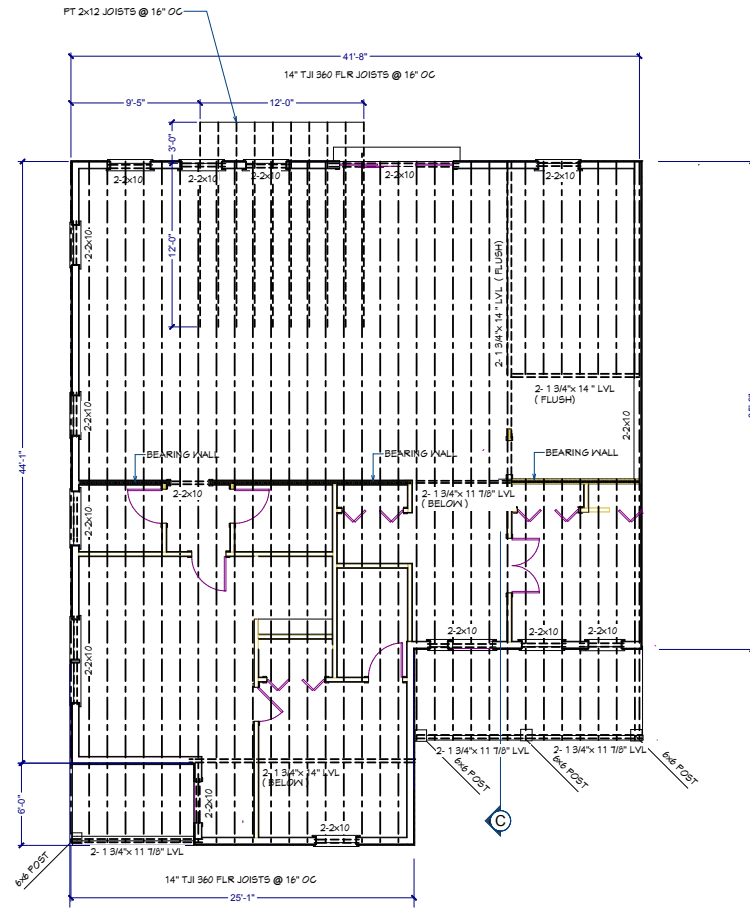
A-8



APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

REVIEWED
 By Dan Bruechert at 2:10 pm, Jan 08, 2025



REVISIONS
 6/23/24

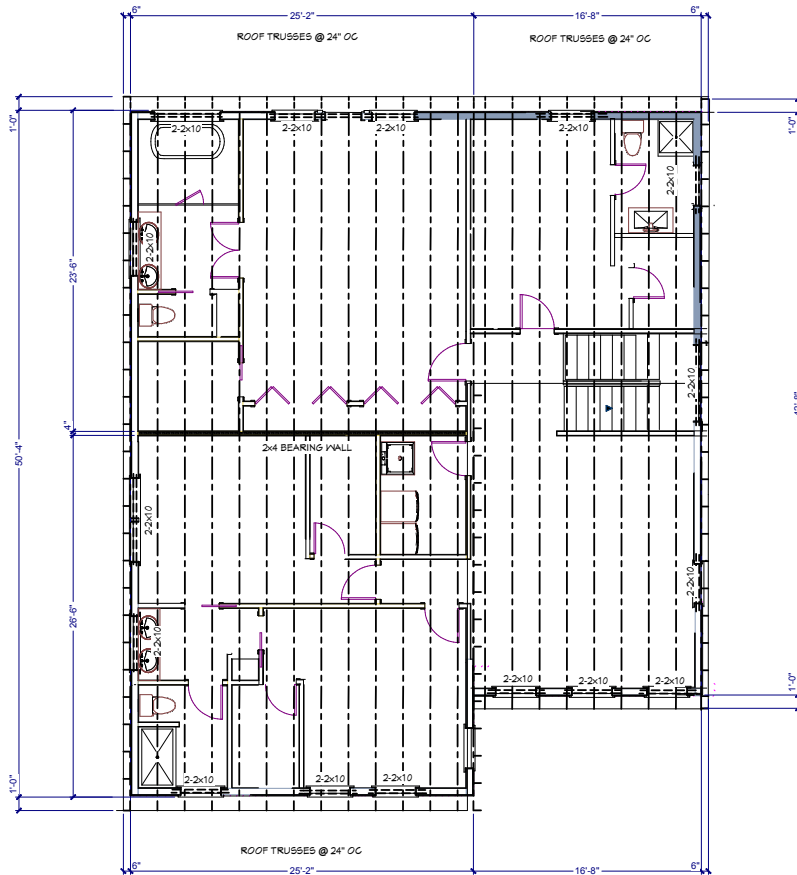
ALPHA HOUSES LLC
 3901 ST. JOHNS LANE
 ELLICOTT CITY MD

ADDITION / RENOVATION
 10012 MENLO AVENUE
 SILVER SPRING MD 20902

SEPTEMBER 2024
 SCALE AS NOTED

SECOND FLOOR
 FRAMING
 CROSS SECTION

A-9

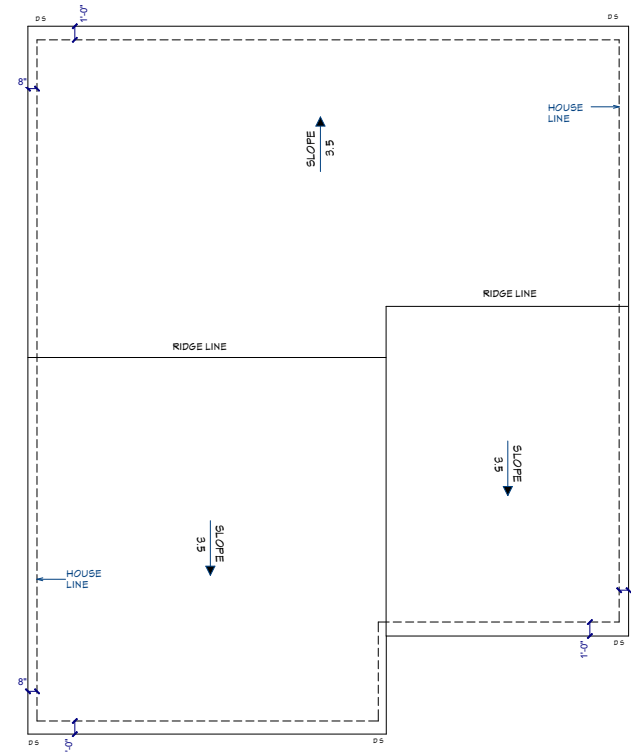


ROOF FRAMING PLAN

1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]



ROOF PLAN

1/4" = 1'-0"

REVIEWED

By Dan Bruechert at 2:10 pm, Jan 08, 2025

REVISIONS
 6/23/24

ALPHA HOUSES LLC
 3901 ST. JOHNS LANE
 ELLICOTT CITY MD

ADDITION / RENOVATION
 10012 MENLO AVENUE
 SILVER SPRING MD 20902

SEPTEMBER 2024
 SCALE AS NOTED

ROOF FRAMING PLAN
 ROOF PLAN

A-10

FIBERGLASS SHINGELS
ON SYNTHETIC FELT ON
7/16" SHEATHING ON
1x4 SLATE BATTENS ON
RIGID FOAM INSULATION
ON 7/16" SHEATHING

ROOF TRUSSES
@ 24" OC

HARDI PANEL ON
1/2 FURRING ON
7/16" OSB SHEATHING
ON 2x6 @ 16" OC

2x6 WALL @ 16" OC

3/4" FLR DECKING

14" TJI FLR JOISTS @ 16" OC

2x6 WALL @ 16" OC

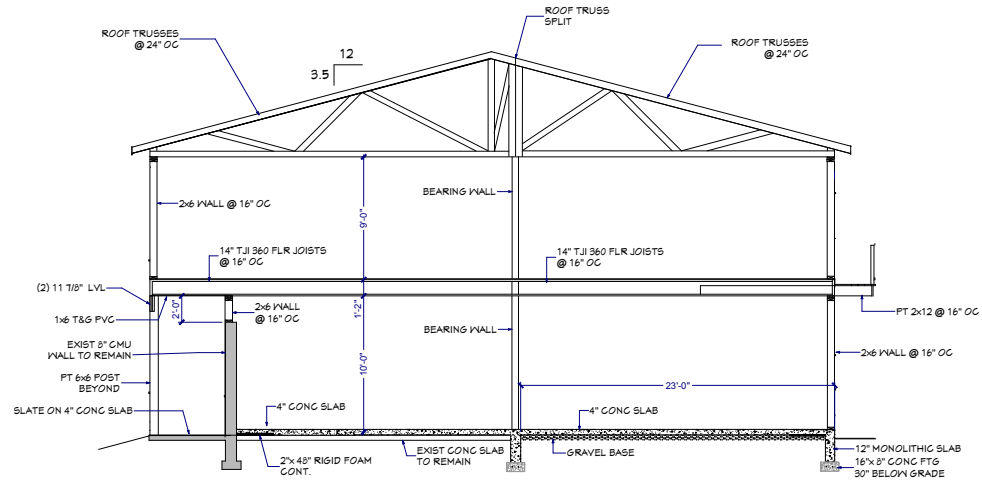
EXIST 8" CMU WALL
W/ STUCCO EXTERIOR
TO REMAIN

NEW 4" CONG SLAB ON 10 MIL POLY
OVER EXIST CONG SLAB

2" RIGID FOAM

EXIST 16"x12" CONG FTG
36" BELOW GRADE
TO REMAIN

WALL SECTION



CROSS SECTION A-A

APPROVED
Montgomery County
Historic Preservation Commission

Robert H. [Signature]

REVIEWED
By Dan Bruechert at 2:10 pm, Jan 08, 2025

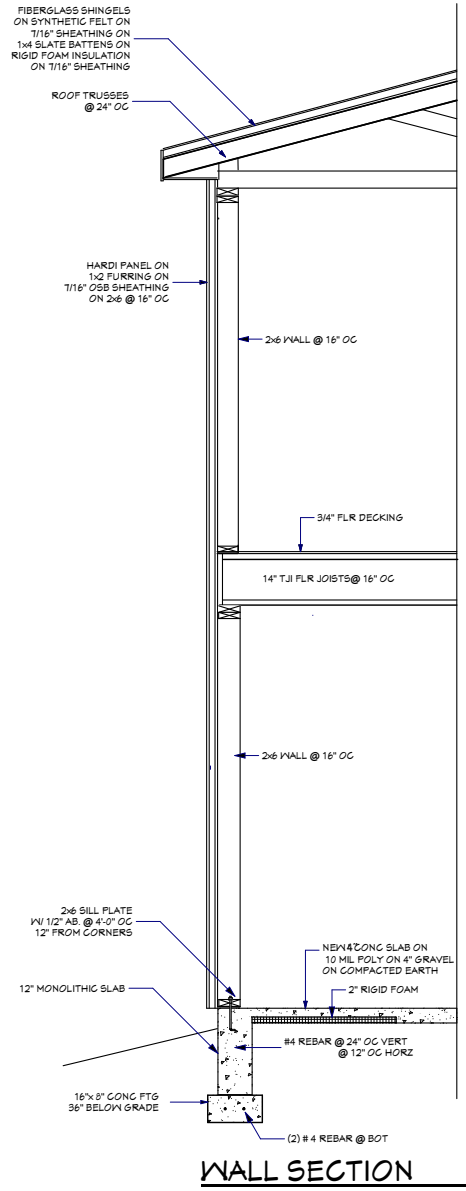
REVISIONS
6/23/24

ALPHA HOUSES LLC
3901 ST. JOHNS LANE
ELLCOTT CITY MD

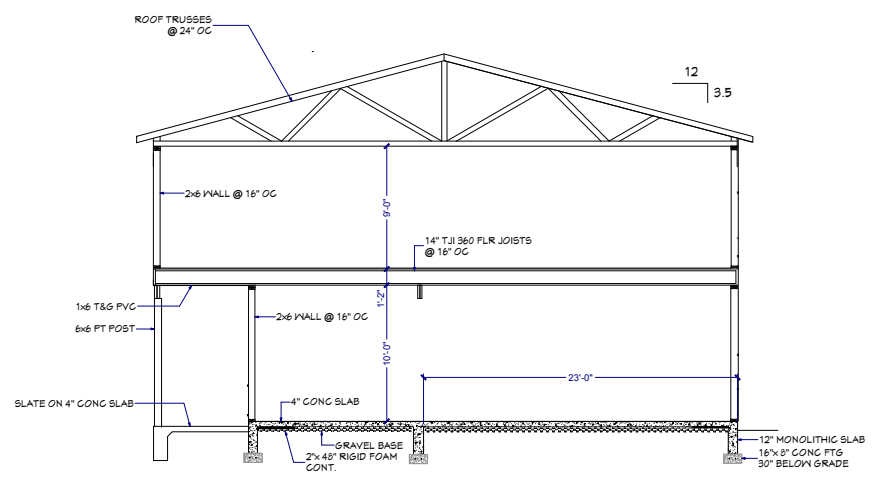
ADDITION / RENOVATION
10012 MENLO AVENUE
SILVER SPRING MD 20910

CROSS SECTION A-A
SEPTEMBER 2024
SCALE AS NOTED

A-11



WALL SECTION

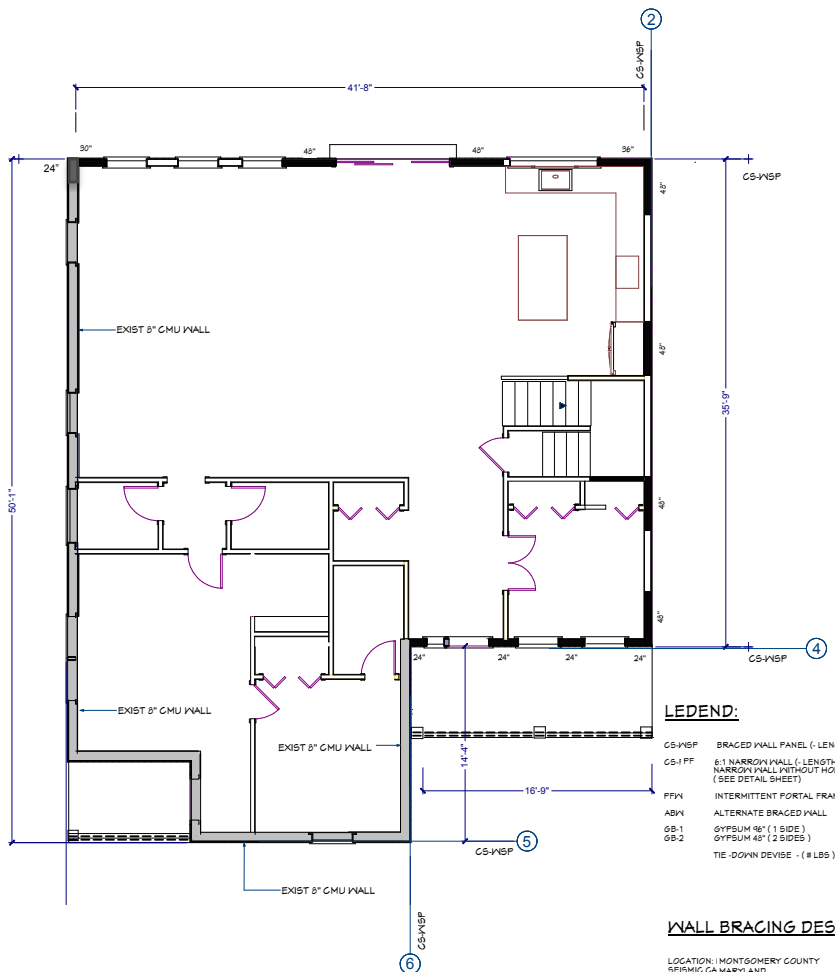


CROSS SECTION B-B

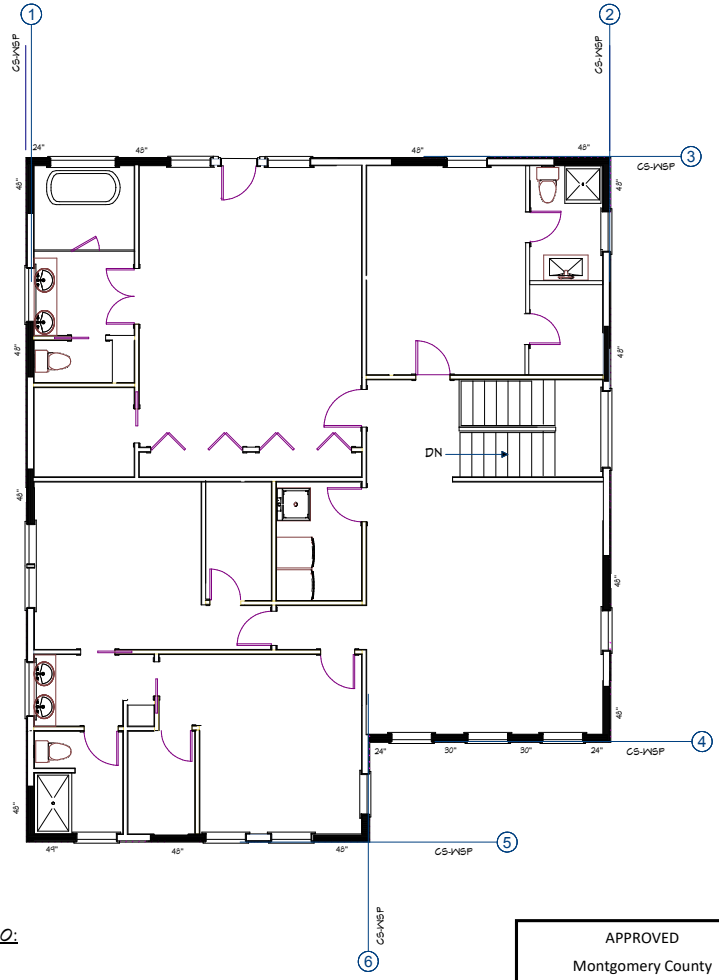
APPROVED
 Montgomery County
 Historic Preservation Commission


REVIEWED
 By Dan Bruechert at 2:10 pm, Jan 08, 2025

REVISIONS 6/23/24
ALPHA HOUSES LLC 3901 ST. JOHNS LANE ELLICOTT CITY MD
ADDITION / RENOVATION 10012 MENLO AVENUE SILVER SPRING MD 209102
CROSS SECTION B-B WALL SECTION
A-12
SEPTEMBER 2024 SCALE AS NOTED



FIRST FLOOR PLAN



SECOND FLOOR BRACED WALL

1/4" = 1'-0"

LELEND:

- CS-VNSP BRACED WALL PANEL (-LENGTHS)
- CS-1 FF 6:1 NARROW WALL (-LENGTHS), NARROW WALL WITHOUT HOLD-DOWNS (SEE DETAIL SHEET)
- PFM INTERMITTENT PORTAL FRAME
- ABM ALTERNATE BRACED WALL
- GB-1 GYPSUM 48" (1 SIDE)
- GB-2 GYPSUM 48" (2 SIDES)
- TIE-DOWN DEVICE (# LBS)

WALL BRACING DESIGN INFO:

LOCATION: MONTGOMERY COUNTY
 SEISMIC CA MARYLAND
 WIND SPEED: 140 MPH
 METHOD 3 (WOOD SHEATHING) CONTINUOUS SHEATHING
 METHOD 5 (GYPSUM BOARD)
 THESE DRAWINGS ARE LIMITED TO IRC WALL BRACING REQUIREMENTS ONLY

APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan Bruechert at 2:10 pm, Jan 08, 2025

REVISIONS
 6/23/24

ALPHA HOUSES LLC
 3901 ST. JOHNS LANE
 ELLICOTT CITY MD

ADDITION / RENOVATION
 10012 MENLO AVENUE
 SILVER SPRING MD 20912

SEPTEMBER 2024
 SCALE AS NOTED

BRACED WALL PLAN

A-13

This project is to conform to the code requirements as per the 2018 IRC, and IBC

DESIGN LIVE LOADS

- * Roof (snow) - 30 psf
- * Floors - 40 psf Living areas
- 30 psf Sleeping areas
- 40 psf decks
- * Wind - 90mph, 3 sec gust
- * Assumed allowable soil bearing pressure: 2000 psf
- * Seismic design category B
- * Equivalent fluid pressure: 40 psft
- * All footings to bear on undisturbed soil and a minimum of 30 inches below finished grade.

LUMBER

1. Lumber to be No.2 SPF with fb = 875 psi and E = 1,300,000 psi
2. Window and door headers to be minimum (2) 2x8s, unless noted otherwise.
3. Posts supporting sawn lumber beams and headers to be a minimum (2) 2x4's.
4. Posts supporting manufactured lumber beams and headers to be a minimum (3) 2x4's.
5. Posts freestanding, posts at porches or decks to use Simpson PC caps, and the ABU bases, unless otherwise specified.
6. All rafter ends to be secured to tops of walls with hurricane clips (Simpson H2.5 or approved equal).
7. Appropriately sized joist hangers to be used where joists or rafters frame into beams.
8. All floor joists to have bridging/x-bracing at 7 o.c.
- * Manufactured lumber design values: fb = 2000 psi E=1,900,000 psi
9. Prefabricated truss manufacture and design to conform to ANSIT/PI 1 and WTCA standards. Truss systems engineered by manufacturer

MASONRY

10. Concrete to be 3000 psi, hard rock at 28 days.
11. Reinforcing steel to be ASTM A615 Grade 60 and placed in accordance with ACI Code.
12. All masonry lintels to have a minimum bearing of 4" on both ends.
13. Masonry mortar to conform to ASTM C270.
14. Concrete block manufacture to conform to ASTM C90 with a minimum prism strength of 1000 psi.
15. Brick manufacture to conform to ASTM C62.
- * Masonry grout to conform to ASTM C476
- * For all epoxy connections, use Powers' AC 100+ epoxy

STEEL


- * Reinforcing steel to be ASTM A615 Grade 60, and placed in accordance with ACI Code.
- * Structural steel to be ASTM A 36 fabricated in accordance with AISC Standards, supplied and installed with one coat of red-oxide primer.
- * Welding of structural steel to be performed by an AWS certified welder in accordance with AWS D1.1 Code using E70XX rod.
- * All field welds must be cleaned and painted with red-oxide primer.
- * The use of adjustable, screw-type steel columns is NOT permitted, unless the screw end is embedded in concrete.
- * Tubular steel to conform to ASTM A501. Unless noted otherwise, the following column caps and bases are to be used. Column cap for steel beam connections to be 4x8x1/2" plate with (2) A325, 1/2" diameter, thru-bolts into each beam. Column cap for wooden beams are the Simpson LCC caps, sized according to the width of the beam, and the size of the column. 4x8x1/2" base plate with (2) 1/2" diameter anchor bolts, 3 inches into solid wood blocking is to be used in wood applications. An 8x8x1/2" plate is typically used for application on masonry, with (2) 1/2" all-thread rods, epoxy set with 4" min. embedment.

WIND BRACING

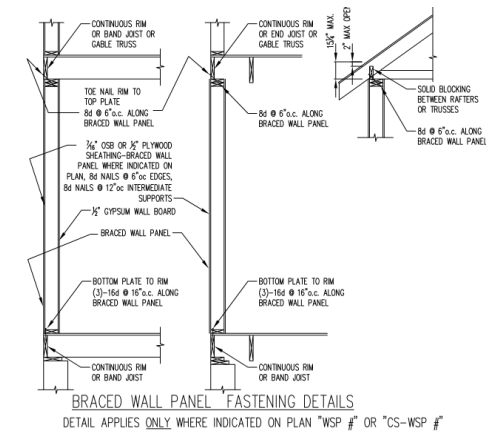
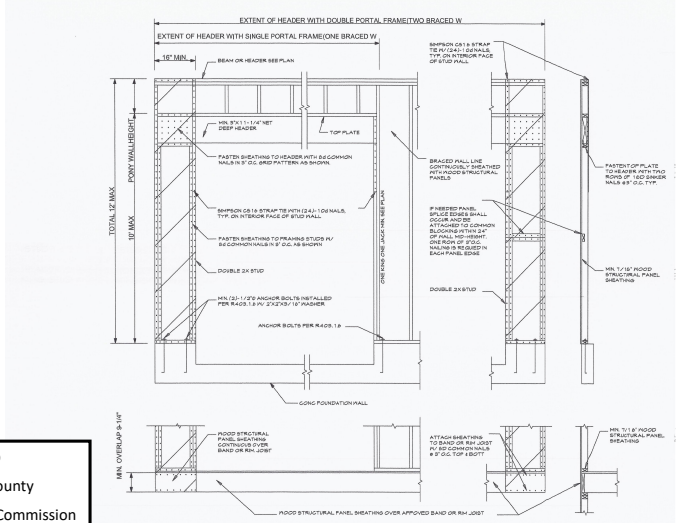
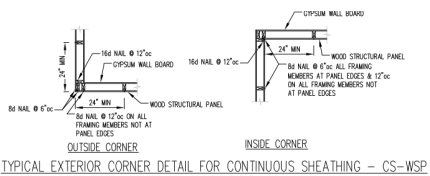
- * Wind bracing as per IRC 2015, section 602.10
- * Wood exterior walls to be 2x4's, or 2x6s @16" on center (uno). Sheathing- 15/32" APA ply, or osb board, with 6d or 10d com nails, @ 6" oc, (uno). All edges are to be blocked. For 2" spacing, double blocking is required.

 1. An equal overlap of the ply sheathing between floors is required, or the use of Simpson MSTC 28 straps fastened to the wall studs above and below, at 6'-0" oc (uno).
 2. Roof connections for brace walls as per Figs. 602.10.6.2 (1), (2), & (3)
 3. Floor and ceiling connections for brace walls as per Figs. 602.10.6 (1), & (2)
 4. Masonry -foundation connections for brace walls as per Fig. 602.10.7
 5. Corners @ CS-WP walls as per Fig. 602.10.4.4 (1)
 6. Portal walls are to be constructed as per Fig. 602.10.3.3 for PFW, and Fig. 602.10

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan Bruechert at 2:10 pm, Jan 08, 2025



REVISIONS
6/23/24

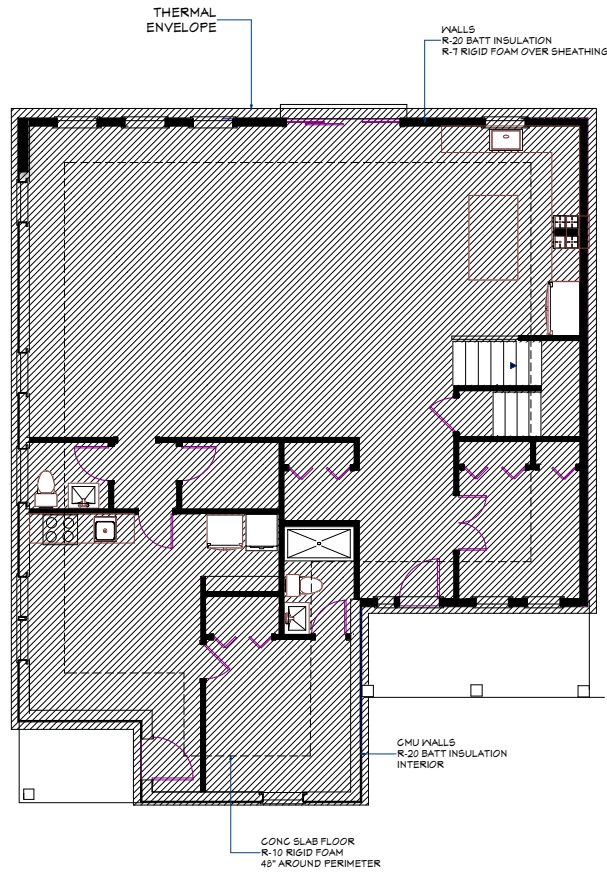
 ALPHA HOUSES LLC
3901 ST. JOHNS LANE
ELLCOTT CITY MD

 ADDITION / RENOVATION
10012 MENLO AVENUE
SILVER SPRING MD 20902

 SEPTEMBER 2024
SCALE AS NOTED

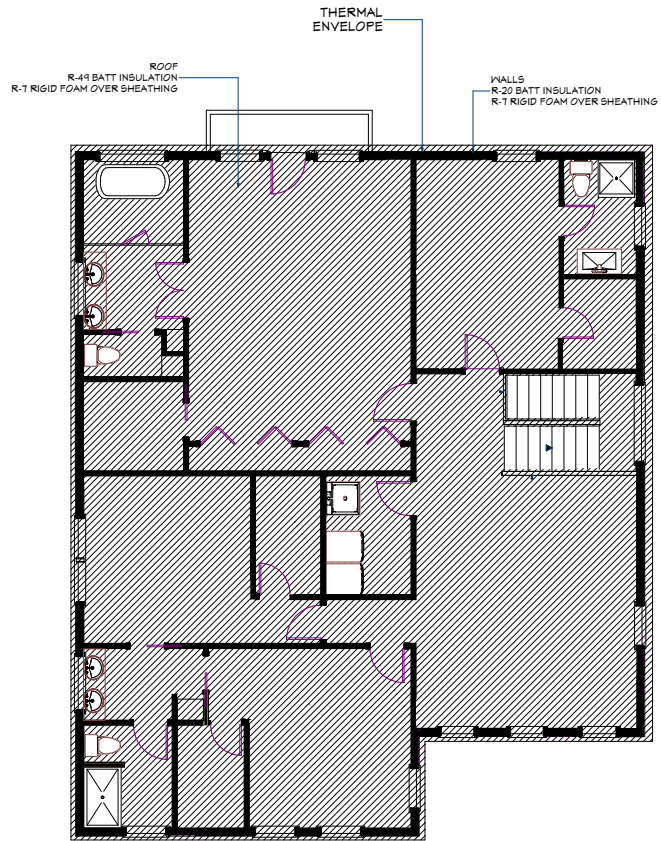
 STRUCTURAL NOTES
BRACED WALL DETAIL
PORTAL FRAME

A-14



FIRST FLOOR THERMAL ENVELOPE

1/4" = 1'-0"



SECOND FLOOR THERMAL ENVELOPE

1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

REVIEWED
 By Dan Bruechert at 2:10 pm, Jan 08, 2025

REVISIONS
 6/23/24

ALPHA HOUSES LLC
 3901 ST. JOHNS LANE
 ELLICOTT CITY MD

ADDITION / RENOVATION
 10012 MENLO AVENUE
 SILVER SPRING MD 20912

SEPTEMBER 2024
 SCALE AS NOTED

THERMAL
 ENVELOPE

A-15

All construction shall meet the 2021 IRC & 2021 IECC Energy Codes, 2021 IRC Wall Bracing requirements, and the Building Thermal Envelope design plans & cross section(s).

Line of Thermal Building Envelope **— — — — —**
There are NO crawlspace areas.

INSULATION & FENESTRATION BY COMPONENT

Component	Value		
	U	SHGC	R
Windows/transoms	0.34	0.31	
Sliding glass doors/transoms	0.34	0.31	
Skylights – Dbl glazed	0.60	0.00	
French doors	0.46	0.50	0.50
Solid doors	0.40		
Roof raftered ceiling			30.0
Roof trussed ceiling			38.0
Cathedral ceiling			30.0
2x6 wood frame wall			19.0
2x4 wood frame wall			13.0
Basement wall above grade			13.0
Basement wall below grade			13.0
Crawl space (unheated) walls			0.00
Floors over unconditioned space			30.0
Floors over garage			30.0
Floors over outside air			30.0
Floors cantilevered outside			30.0
Concrete slab near grade			10 @ 2 ft depth
Elevator shaft into attic			13.0

AIR LEAKAGE:

All areas of the building thermal envelope shall be durably sealed against air leakage. The following areas shall be sealed against air leakage by caulked, gasketed, weatherstripped, or otherwise sealed with an air barrier material, suitable film, or solid material to allow for differential expansion or contraction:

1. All joints, seams, and penetrations.
2. Site-built windows, doors, and skylights.
3. Openings between window and door assemblies and their respective jamb framing.
4. Utility penetrations.
5. Dropped ceilings or chases adjacent to the thermal envelope.
6. Knee walls.
7. Walls and ceilings separating a garage from conditioned spaces.
8. Behind tubs and showers on exterior walls.
9. Common walls between dwelling units.
10. Attic access openings.
11. Rim joint junction.
12. Other sources of infiltration.

LIGHTING FIXTURES:

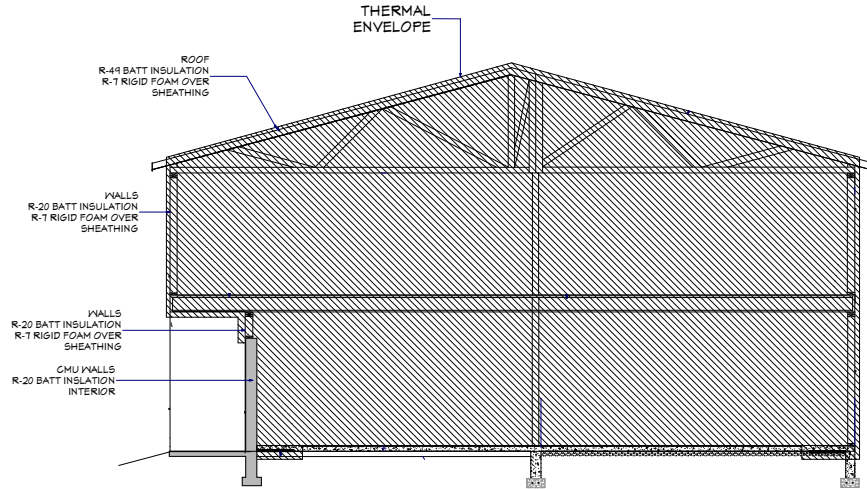
Recessed lighting fixtures installed in the thermal envelope shall be sealed to limit leakage between conditioned and unconditioned spaces. All recessed lighting fixtures shall be IC listed. Seal all recessed lighting fixtures shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering, between the housing and the interior wall or ceiling covering. A minimum of 50% of the lamps in permanently installed light fixtures shall be high efficiency lamps.

HVAC DUCT SEALING:

All joints of duct systems shall be made substantially airtight by means of tapes, mastic, liquid sealants, gasketing, or other approved closure systems. Closure systems used with rigid fibrous glass ducts shall comply with UL181A and shall be marked as required by 2021 IRC Sect. M1601.4.1. Closure systems used with flexible air ducts and flexible air connectors shall comply with UL181B and shall be marked as required by 2021 IRC Sect. M1601.4.1. Duct connections to flanges of air distribution system equipment or sheet metal fittings shall be mechanically fastened. Mechanically fastened joints shall be as specified by the 2021 IRC Sect. Closure systems used to seal metal ductwork shall be installed per the manufacturer's installation instructions.

Exceptions:

1. Spray polyurethane foam shall be permitted to be applied without additional joint seals.
2. Where a duct connection is made that is partially inaccessible, three screws or rivets shall be equally spaced on the exposed portion of the joint so as to prevent a hinge effect.
3. Continuously welded and locking type longitudinal joints and seams in ducts operating at static pressures less than 2 inches of water column pressure classification shall not require additional closure systems.



CROSS SECTION - THERMAL ENVELOPE

PRESCRIPTIVE WORKSHEET (R-Values)

Applicant Name: ALPHA HOUSES LLC Date: 12-16-24
Building Address: 10012MENLO AVE, SILVER SPRING MD Permit (AP) #

CRITERIA	REQUIRED	PROVIDED	ASSEMBLY DESCRIPTION
WINDOWS/DOORS	MAX U-FACTOR 0.32	.32	DOUBLE INSULATED
GLAZED FENESTRATION	MAX SHGC 0.4	.40	GLASS
SKYLIGHTS	MAX U-FACTOR 0.66		
	MAX SHGC 0.4		
CEILING	R-40	R-56.8	BATT INSULATION/ RIGID FOAM
WALLS (wood framing)	R-20 or 24x6	R-21.8	BATT INSULATION/ RIGID FOAM
MASS WALLS	"R-8/13		
BASEMENT WALLS	"R-10/13		
FLOORS	R-19		
SLAB PERIMETER (Crawl Space)	R-10, 20	R-10	RIGID FOAM
CRAWL SPACE WALLS	"R-10/13		

*The first R-value applies to continuous insulation, the second to framing cavity insulation. *10/13 means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall.

**The second R-value applies when more than half the insulation is on the interior of the mass wall. Insulation material used in layers, such as framing cavity insulation and insulating sheathing, shall be summed to compute the component R-value.

Thermally Isolated Sunroom. Check box if applicable.

- Minimum Ceiling R-Value for Sunroom (R-19)
- Minimum Wall R-Value (R-13)
- New wall(s) separating a sunroom from conditioned space shall meet the building thermal envelope requirements.

I hereby certify that the building design represented in the attached construction documents has been designed to meet or exceed the requirements of:
 2018 Edition International Energy Conservation Code (IECC)

JOHN KOYHALSKI JK DESIGN 12-16-24
Builder/Designer/Contractor Company Name Date

Section R101.1.1: *Insulation shall be installed and sealed. *Approved for Code Compliance. *Section R101.1.2 per code permits the "Checklist" method. The contractor shall have the projects in compliance with the International Energy Conservation Code before the construction documents for the entire project are submitted for approval. *Insulation and finished surfaces shall meet the code requirements. *All insulation components shall be installed in accordance with the manufacturer's instructions. *After installation the contractor shall verify energy code compliance with the project.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

REVIEWED
By Dan Bruechert at 2:10 pm, Jan 08, 2025

REVISIONS
6/23/24

ALPHA HOUSES LLC
3901 ST. JOHNS LANE
ELLCOTT CITY MD

ADDITION / RENOVATION
10012 MENLO AVENUE
SILVER SPRING MD 20902

SEPTEMBER 2024
THERMAL ENVELOPE
SCALE AS NOTED

A-16

Memorandum



Date: 20 December 2024

To: Salem Badawy, Alpha Houses LLC

From: Young Kim

Project #: 24-508DL_10012 Menlo Ave

Subject: Evaluation of existing foundation - 10012 Menlo Ave, Silver Spring, MD 20902

Objective:

Evaluate the existing foundation to confirm its capacity to support a new one-story addition to the existing house. See figure 1 for the existing house foundation to remain and figure 2 for the floor framing of new addition.

Methodology & Assumption:

- Review of building drawings dated September 2024 and provided by JDK Design.
- Total estimated wall loading for new addition: 1934 PLF for the front wall and 600 PLF for the side walls.
- Total estimated column loading for 6x6 post: 6900 LBS
- Assumed soil bearing pressure of 1500 PSF is used to evaluate the existing foundation.
- On-site investigation, including excavation of two test pits at the front and side walls of the existing house, to measure the existing footing size. See figure 1 for the location of the test pit.

Findings:

We visited the site on December 19, 2024, and verified that the existing footing has a min 4" toe from the exterior face of 8" CMU wall and a thickness over 12". Hence, the total width of the existing footing is at least 16" wide based on the assumption that the interior has same 4" toe. See figures 3 & 4.

Conclusion:

Based on the measurements obtained from the test pits and the review of the building drawings, the existing wall foundation is adequate to support the additional load from the one-story addition.

However, the existing wall footing is not adequate for the 6x6 post. Underpinning with a 2'-6"x2'-6" footing is required to support the estimated column load of 6900 LBS.

Sincerely,

TEC



Young Kim, P.E.

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, License No.41399 Expiration Date: 1/5/26"



REVIEWED
By Dan Bruechert at 2:23 pm, Jan 08, 2025

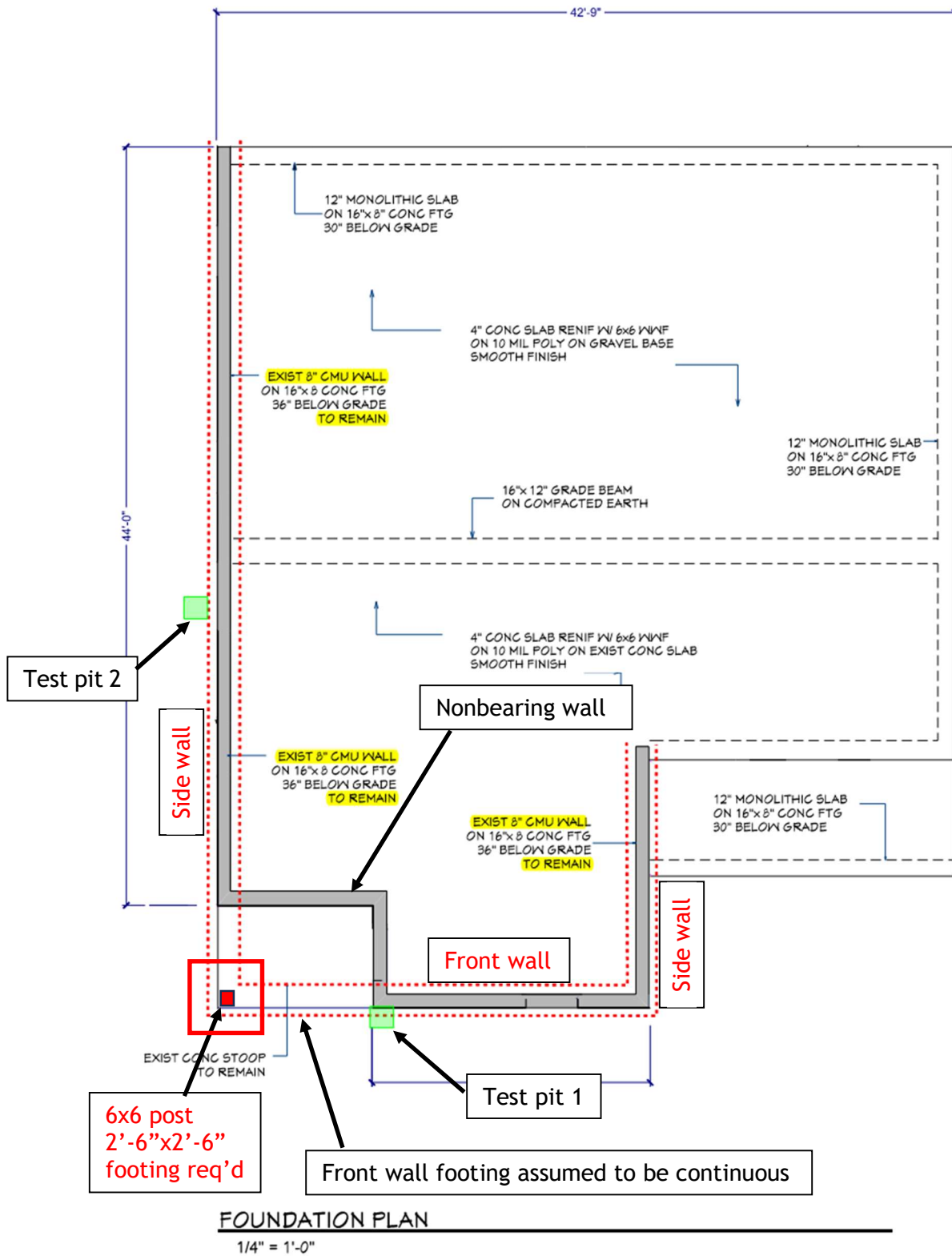


Figure 1 - Foundation Plan

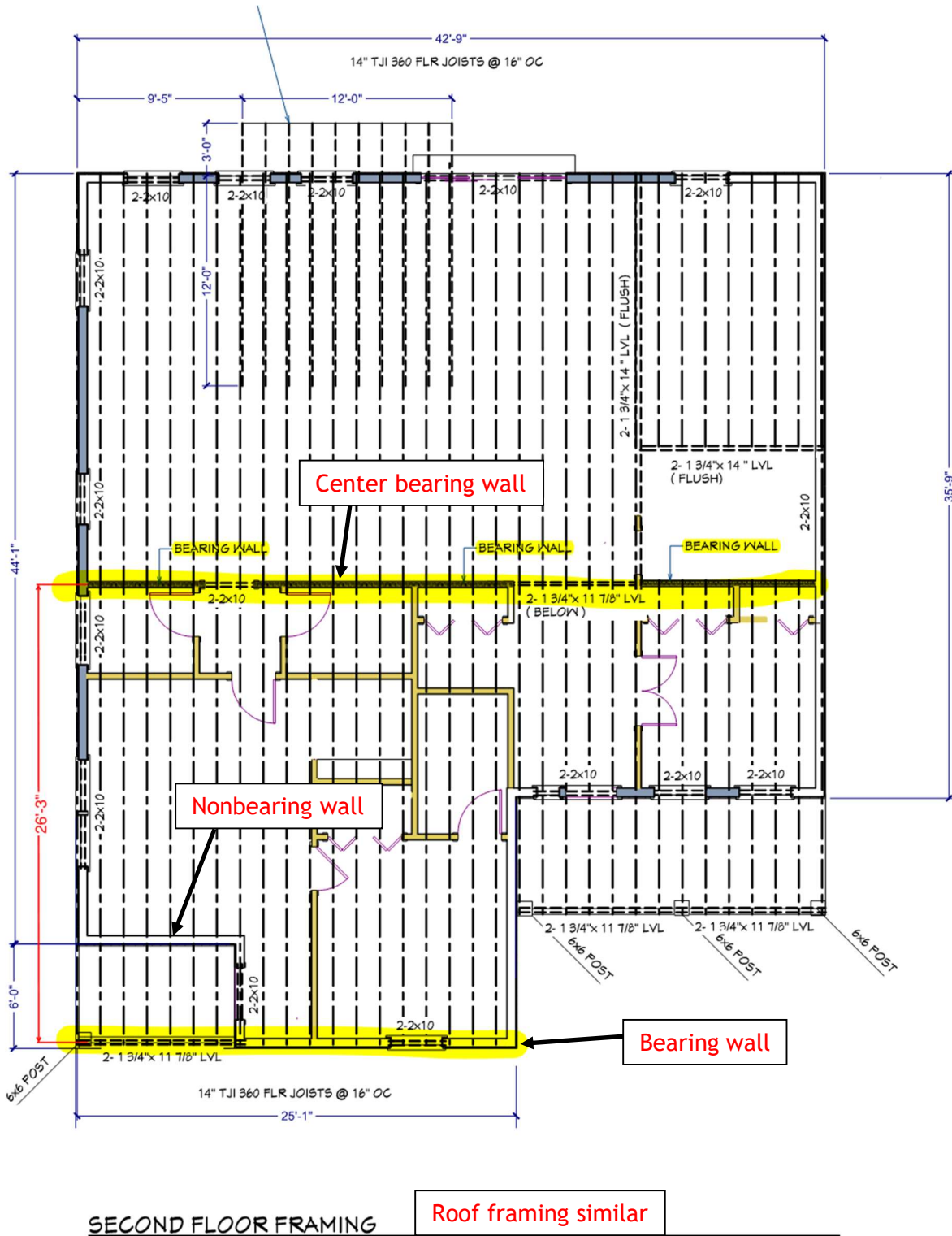


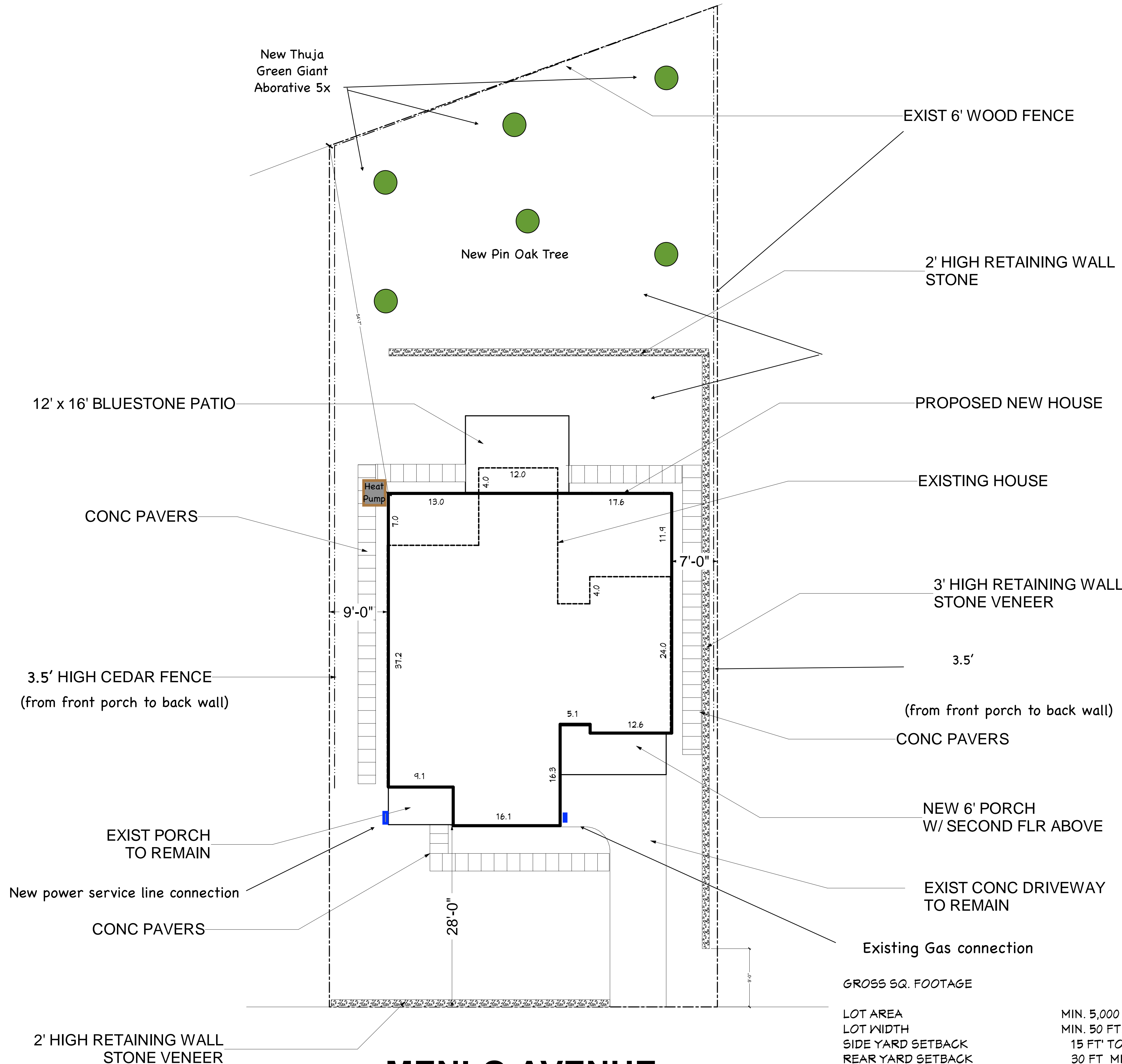
Figure 2 - 2nd floor framing plan



Figure 3 - Test Pit 1



Figure 4 - Test Pit 2



APPROVED
 Montgomery County
 Historic Preservation Commission

REVIEWED
 By Dan Bruechert at 2:29 pm, Jan 08, 2025

	GROSS SQ. FOOTAGE	EXIST/ PROPOSED
LOT AREA	MIN. 5,000 SQ. FT.	8,710 SF
LOT WIDTH	MIN. 50 FT.	+/- 60'
SIDE YARD SETBACK	15 FT' TOTAL	+/- 8' EAST, +/- 7' WEST
REAR YARD SETBACK	30 FT MIN.	+/- 54'
LOT OCCUPANCY / COVERAGE	40 %	LESS THAN 40%
HEIGHT OF BUILDING	40 FT MAX	LESS THAN 40 FT
NUMBER OF STORIES	2 STORY	2 STORY
EXISTING HOUSE		1625 SF
PROPOSED NEW HOUSE		3833 SF

Existing house footprint: 1625
 Proposed house footprint: 1826

REVISIONS
 6/23/24

ALPHA HOMES
 3901 ST. JOHNS LANE
 ELLICOTT CITY MD

ADDITION / RENOVATION
 10012 MENLO AVENUE
 SILVER SPRING MD 20902

PROPOSED SITE PLAN
 SEPTEMBER 2024
 SCALE AS NOTED

A-2



Client: 3358016

Printed on: 9/13/2024

Created on: 8/27/2024

Salem Badawy
10012 Menlo Avenue
Silver Spring, MD 20910
Mobile Phone: 301-401-6662
E-Mail Address: salem.dmv@gmail.com

Bartlett Tree Experts
Christopher Larkin - Representative
1 Metropolitan Court
Gaithersburg, MD 20878
Business: 301-881-8550
Mobile Phone: 240-447-0837
E-Mail Address: CLarkin@Bartlett.com
Bus. Reg. ID: MDA-1329

MD Applicator Certification No.: 7261 / LTE616

The following program is recommended for certain trees and shrubs on your property. In addition to a thorough plant health care program, or the specific services recommended, Bartlett Tree Experts also recommends having a tree risk assessment qualified arborist conduct a tree risk assessment on your property periodically to assist you in identifying potential risks of tree or limb failure and the potential consequences of such tree or limb failure relating to your trees and shrubs. An inspection of trees or shrubs for the purpose of writing a recommendation or conducting plant health care or tree care services is not a tree risk assessment. THIS IS NOT AN INVOICE.

Tree and Shrub Work:

Removal

Remove the following foundation encroaching property items:

- (9") double stem Hemlock (ID# 2) located at the right front of house
- (12") double stem Hemlock (ID# 3) located at the center front of house
- (22") Hemlock (ID# 4) located at the left front house corner
- (10") Cedar (ID# 9) located at the left side of house

Leave stumps as close to grade as possible. Remove resulting debris.

Estimated Completion Date: 10/1/2024 thru 10/30/2024

Arborist Notes:

- Four trees encroach on the foundation the largest only 12 inches away. These trees were planted as accents to the house but now, disproportionately tower over the house and can threaten the foundation exploiting any existing flaws.

The health of the hemlocks has been affected by the weather, spider mites and the the overall vigor fair to poor. The Cedar, is in fair health with sparse foliage, spider


Removal is recommended for these trees to protect the foundation.

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED

By Dan Bruechert at 2:29 pm, Jan 08, 2025

Please review the terms and conditions attached, which become part of the agreement, and sign and return one copy authorizing the program.

 (Customer Signature)


 (Bartlett Representative - Christopher Larkin)

 (Date)
 9/13/2024

 (Date)

Prices are guaranteed if accepted within thirty days.
 All accounts are net payable upon receipt of invoice.
 Work is done in accordance with ANSI A300 Tree Care Standards.

To access a certificate of liability insurance for Bartlett Tree Experts, please navigate to
<http://www.bartlett.com/BartlettCOI.pdf>

A Job Site Safety Analysis was completed for your property, please contact your arborist for further details.

APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan Bruechert at 2:29 pm, Jan 08, 2025

Removal

Two mature Hemlocks 18" from the foundation. Too close to the foundation.



APPROVED
Montgomery County
Historic Preservation Commission
Robert H. Potter

REVIEWED
By Dan Bruechert at 2:29 pm, Jan 08, 2025

Removal

Massive Hemlock 12 inches from the foundation and Cedar 24 inches from foundation.



APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan Bruechert at 2:29 pm, Jan 08, 2025



Client: 3358016

Printed on: 9/13/2024

Created on: 8/27/2024

Salem Badawy
10012 Menlo Avenue
Silver Spring, MD 20910
Mobile Phone: 301-401-6662
E-Mail Address: salem.dmv@gmail.com

Bartlett Tree Experts
Christopher Larkin - Representative
1 Metropolitan Court
Gaithersburg, MD 20878
Business: 301-881-8550
Mobile Phone: 240-447-0837
E-Mail Address: CLarkin@Bartlett.com
Bus. Reg. ID: MDA-1329

MD Applicator Certification No.: 7261 / LTE616

The following program is recommended for certain trees and shrubs on your property. In addition to a thorough plant health care program, or the specific services recommended, Bartlett Tree Experts also recommends having a tree risk assessment qualified arborist conduct a tree risk assessment on your property periodically to assist you in identifying potential risks of tree or limb failure and the potential consequences of such tree or limb failure relating to your trees and shrubs. An inspection of trees or shrubs for the purpose of writing a recommendation or conducting plant health care or tree care services is not a tree risk assessment. THIS IS NOT AN INVOICE.

Tree and Shrub Work:

Removal

Remove the leaning with limited root (41") Red Oak (ID# 1) located at the back of house. Leave stump as close to grade as possible. Remove resulting debris.

Estimated Completion Date: 10/1/2024 thru 10/30/2024

Arborist Notes:

- The 41" diameter Red Oak in the rear has a pronounce lean toward the rear neighboring house. No counterbalancing limbs are present to offset the gravitational pull on this tree. The stem is 17 inches from the decaying timber wall and 39 inches from the house. Replacement of the timber wall has a high risk of causing failure of the root system with severe results. Removal is recommended.

Please review the terms and conditions attached, which become part of the agreement authorizing the program.

(Customer Signature)
Christopher Larkin

(Bartlett Representative - Christopher Larkin)

(Date)
9/13/2024

(Date)
[Signature]

APPROVED

Montgomery County
Historic Preservation Commission



REVIEWED
By Dan Bruechert at 2:29 pm, Jan 08, 2025

Client: 3358016

Printed on: 9/13/2024

Created on: 8/27/2024

Prices are guaranteed if accepted within thirty days.
All accounts are net payable upon receipt of invoice.
Work is done in accordance with ANSI A300 Tree Care Standards.

To access a certificate of liability insurance for Bartlett Tree Experts, please navigate to
<http://www.bartlett.com/BartlettCOI.pdf>

A Job Site Safety Analysis was completed for your property, please contact your arborist for further details.

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan Bruechert at 2:29 pm, Jan 08, 2025

Removal

Red Oak rear leaning away from the house all weight is unbalanced over the rear of the property.



APPROVED
Montgomery County
Historic Preservation Commission
[Handwritten Signature]

REVIEWED
By Dan Bruechert at 2:29 pm, Jan 08, 2025

Removal

Red Oak rear 17" from the timber wall 39" from the house.



APPROVED
Montgomery County
Historic Preservation Commission
Robert A. Adams

REVIEWED
By Dan Bruechert at 2:30 pm, Jan 08, 2025



Client: 3358016

Printed on: 9/17/2024

Created on: 8/27/2024

Salem Badawy
10012 Menlo Avenue
Silver Spring, MD 20910
Mobile Phone: 301-401-6662
E-Mail Address: salem.dmv@gmail.com

Bartlett Tree Experts
Christopher Larkin - Representative
1 Metropolitan Court
Gaithersburg, MD 20878
Business: 301-881-8550
Mobile Phone: 240-447-0837
E-Mail Address: CLarkin@Bartlett.com
Bus. Reg. ID: MDA-1329

MD Applicator Certification No.: 7261 / LTE616

The following program is recommended for certain trees and shrubs on your property. In addition to a thorough plant health care program, or the specific services recommended, Bartlett Tree Experts also recommends having a tree risk assessment qualified arborist conduct a tree risk assessment on your property periodically to assist you in identifying potential risks of tree or limb failure and the potential consequences of such tree or limb failure relating to your trees and shrubs. An inspection of trees or shrubs for the purpose of writing a recommendation or conducting plant health care or tree care services is not a tree risk assessment. THIS IS NOT AN INVOICE.

Tree and Shrub Work:

Removal

Remove the large (29") White Oak (ID# 5) located at the right front of house. Leave stump as close to grade as possible. Remove resulting debris.

Estimated Completion Date: 10/1/2024 thru 10/30/2024

Arborist Notes:

- The 30 inch diameter White Oak in front is in a raised planter 6 to 14 inches above grade and 24 inches away from the driveway. The driveway new or refurbished impacted the root system when it was installed.

The edge of the planter and the driveway, less than 1 tree diameter away from the tree, well within the structural root zone (3 times the tree diameter at 4.5 feet above grade) of the of the white oak, potentially compromises its stability.

The unnatural elevation of the tree above the existing yard grade adds to the risk of failure existing grade to sharply bend which is not as structurally supportive as an unbent root.

This tree has a moderate to high risk of failure with severe consequences.


APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED

By Dan Bruechert at 2:30 pm, Jan 08, 2025

Please review the terms and conditions attached, which become part of the agreement, and sign and return one copy authorizing the program.

 (Customer Signature)


 (Bartlett Representative - Christopher Larkin)

 (Date)
 9/17/2024

 (Date)

Prices are guaranteed if accepted within thirty days.
 All accounts are net payable upon receipt of invoice.
 Work is done in accordance with ANSI A300 Tree Care Standards.

To access a certificate of liability insurance for Bartlett Tree Experts, please navigate to
<http://www.bartlett.com/BartlettCOI.pdf>

A Job Site Safety Analysis was completed for your property, please contact your arborist for further details.

APPROVED
 Montgomery County
 Historic Preservation Commission


REVIEWED
 By Dan Bruechert at 2:30 pm, Jan 08, 2025

Removal

White Oak if front 24 inches from the driveway



APPROVED
Montgomery County
Historic Preservation Commission
Ronald H. Trotter

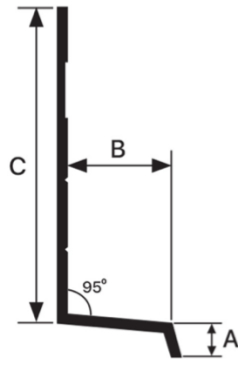
REVIEWED
By Dan Bruechert at 2:30 pm, Jan 08, 2025



PRODUCT: Horizontal Bead Reveal

ITEM ID: BRH516, BRH716

Designed to work as part of a system with Vertical Bead Reveal. XtremeTrim® Horizontal Bead Reveal provides a minimal exposure while providing protection for the top edge of the lower panel.



APPROVED
 Montgomery County
 Historic Preservation Commission



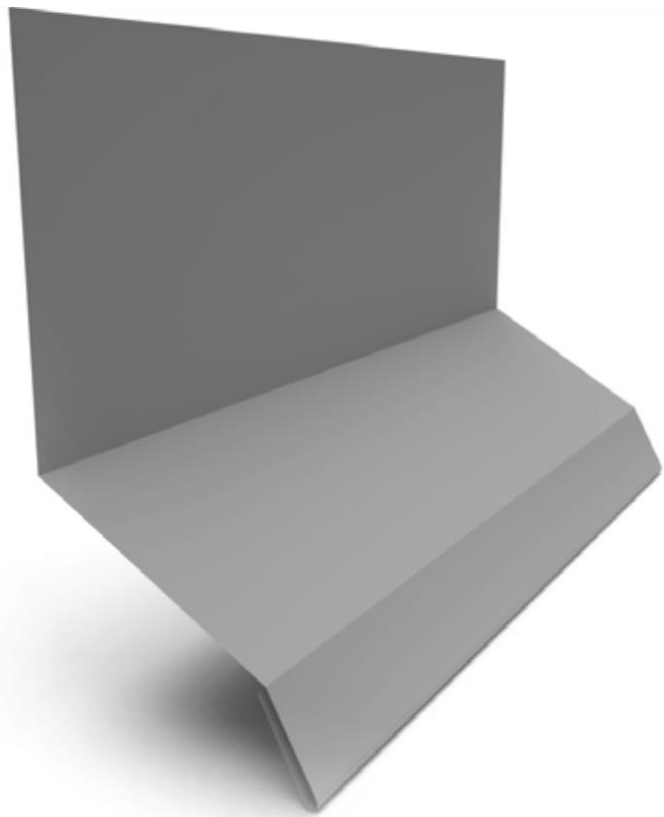
REVIEWED
 By Dan Bruechert at 2:30 pm, Jan 08, 2025



ITEM ID	"A"	"B"	"C"
BRH516	1/8"	3/8"	1-1/8"
BRH716	1/8"	1/2"	1-1/8"

AVAILABLE COLORS:

Horizontal Z trim ... installed between new Hardie panels and existing block walls. No. 13 on the elevations



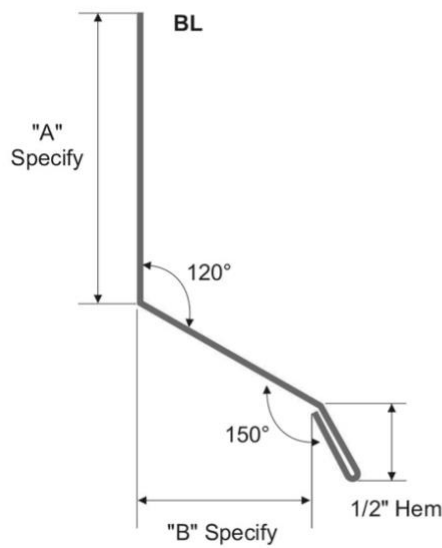
LEDGER FLASHING

PRODUCT: Stone Ledger Flashing

ITEM ID: BL

Designed to prevent siding and trim being butted directly against mortar or masonry, including stone and brick.

*Hem Available upon request with primed.
 *All standard colors with hem.



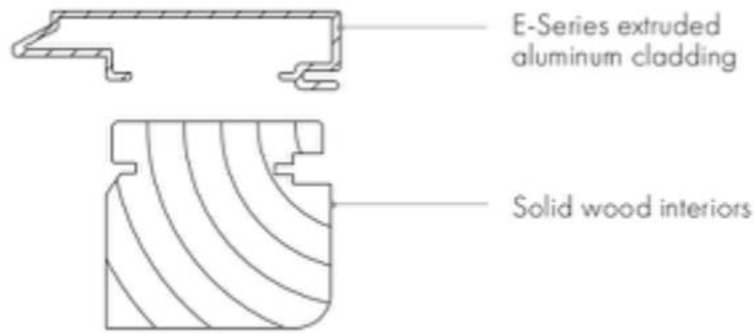
Fascia

1x6 Pine Trim fascia Board
 covered with aluminum fascia

Windows

A combination of fixed and casement windows. All windows are aluminum clad windows.

Brand: Andersen E-Series casement windows - Aluminum-Clad Wood
 Or
 PLY GEM MIRA Series Windows - Aluminum-Clad Wood



A solid wood core and extruded aluminum cladding give E-Series windows both strength and flexibility in many design applications.

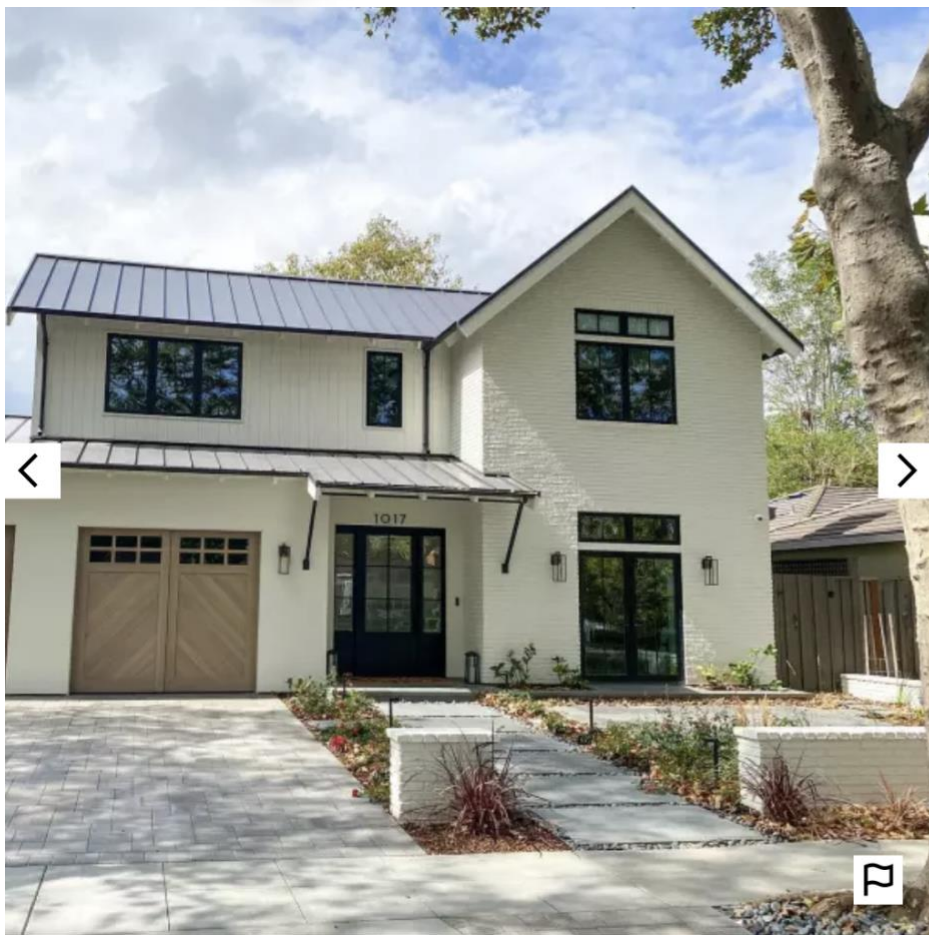
E-Series casement window with Terratone exterior color



APPROVED
 Montgomery County
 Historic Preservation Commission




REVIEWED
 By Dan Bruechert at 2:30 pm, Jan 08, 2025




@gbmbuilder ✕
 ❤️ 32

Get this look (2 items)



E-Series Awning Windows



E-Series Casement Window

b: Powered by Bazaarvoice

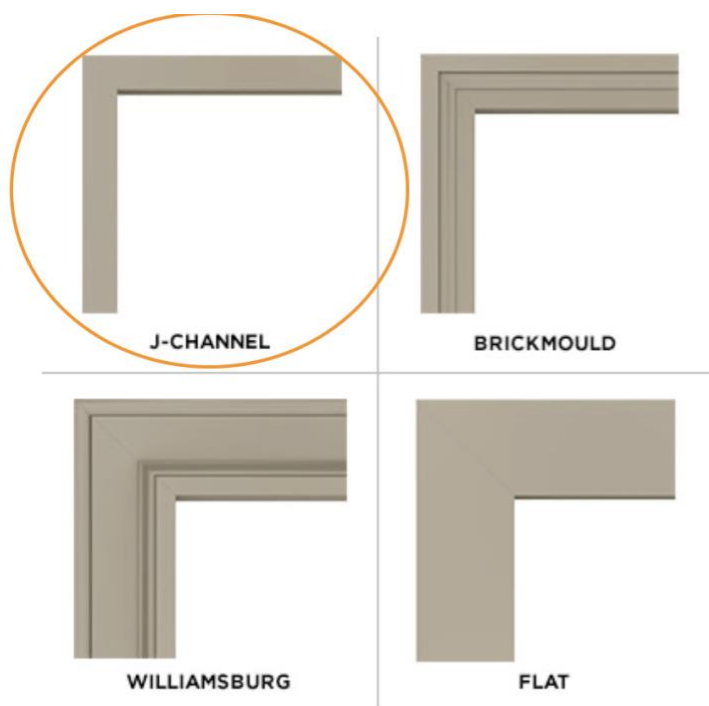
Ply Gem MIRA Series

Aluminum-clad wood windows that offer the timeless beauty of wood windows with durable aluminum clad exterior.



MIRA Fixed Windows in Black

MIRA Series - Casement Windows



MIRA WINDOWS

FEATURES & BENEFITS

From natural shades to vibrant colors, an extensive portfolio of 46 exterior colors allows you to truly set your home apart.

Solid wood interiors can be stained or painted to match other finishes inside your home.

Durable extruded aluminum exterior protects wood from the elements while offering low maintenance and long-lasting beauty.

Experience more natural light and wide open views with a large glass area.



REVIEWED
By Dan Bruechert at 2:30 pm, Jan 08, 2025

MIRA Series				
Glass Package	R-Value	U-Factor	Solar Heat Gain Coefficient (SHGC)	Visible Transmittance (VT)
Awning				
HP	3.13	0.32	0.27	0.48
HP ^{SC}	3.13	0.32	0.20	0.38
HP2+	3.45	0.29	0.26	0.47
HP2+ ^{SC}	3.45	0.29	0.20	0.37
Casement				
HP	3.13	0.32	0.27	0.48
HP ^{SC}	3.13	0.32	0.20	0.38
HP2+	3.57	0.28	0.26	0.47
HP2+ ^{SC}	3.57	0.28	0.19	0.37

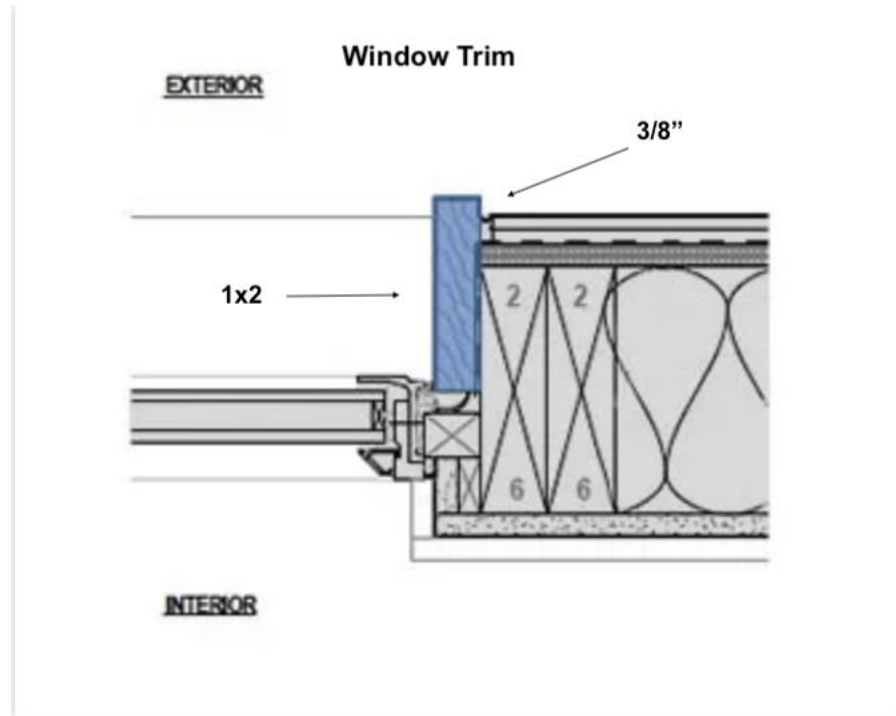
Window Trim

1 x 2 Pine wood trim board
(Actual: 3/4 in. x 1-1/2 in.)



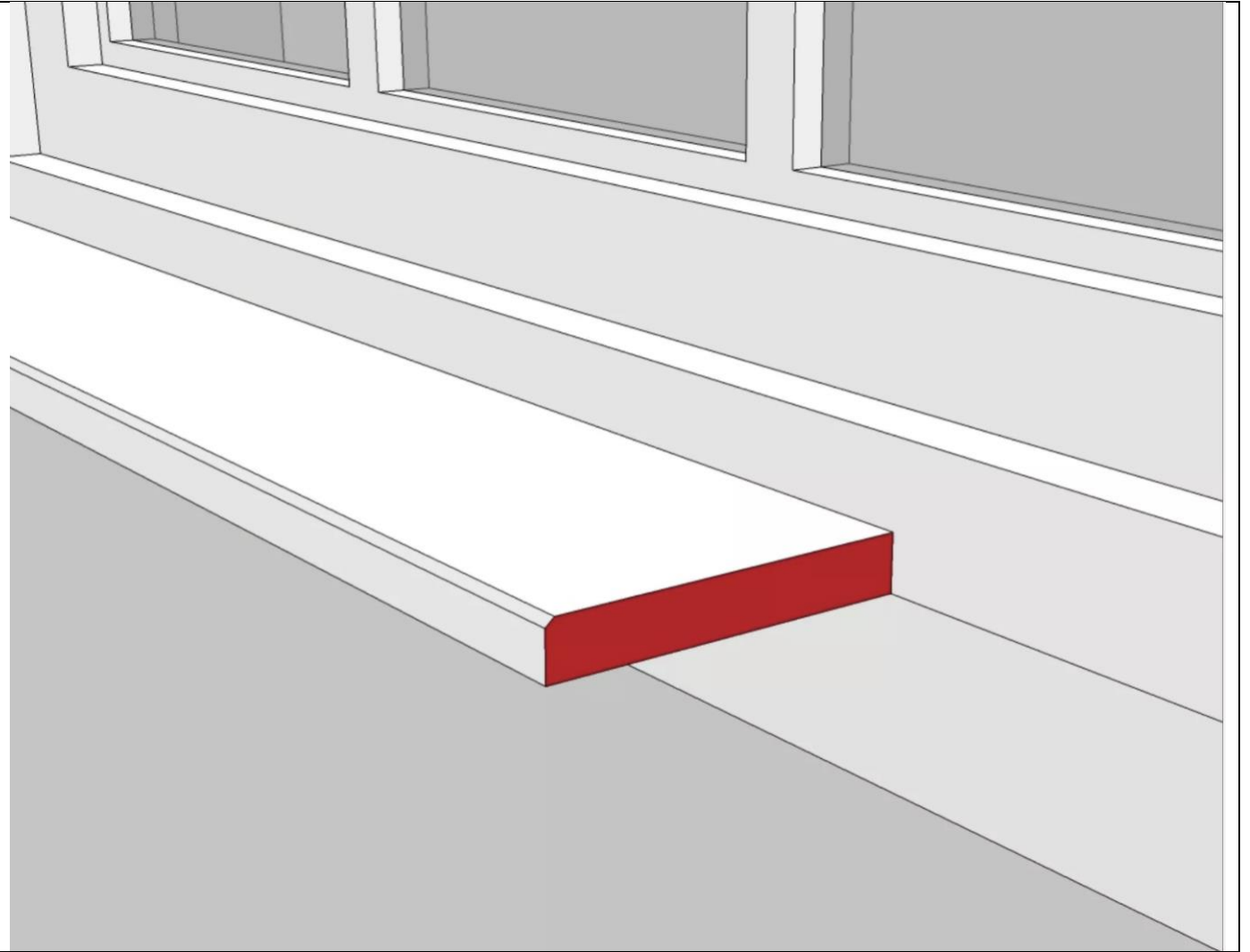
REVIEWED

By Dan Bruechert at 2:30 pm, Jan 08, 2025



Window Sill on Block/Stucco Walls

ENGINEERED STONE SILL
5/8 x 6



Example Window after stucco repair



Entry doors:

Main entry door: right porch,
Glazed full light door
Andersen 102 Straightline Glass Panel

Panel style:
Traditional aluminum-clad wood Traditional panels feature 4 11/16”
stiles with a choice of 4 11/16”, 8” or 12” bottom rail heights.

Panel Style 102 Straightline Glass Panel



Entry door: Left porch

Glazed full light door



Traditional aluminum-clad wood

Traditional panels feature 4 11/16” stiles with a choice of 4 11/16”, 8” or 12” bottom rail heights.

8” bottom rail height shown



REVIEWED
By Dan Bruechert at 2:30 pm, Jan 08, 2025

Panel Style 102 Straightline Glass Panel



Notes:
Actual wood is sapele, a non-endangered species of mahogany, grown in Africa, with color and characteristics similar to American mahoganies.



REVIEWED
By Dan Bruechert at 2:30 pm, Jan 08, 2025

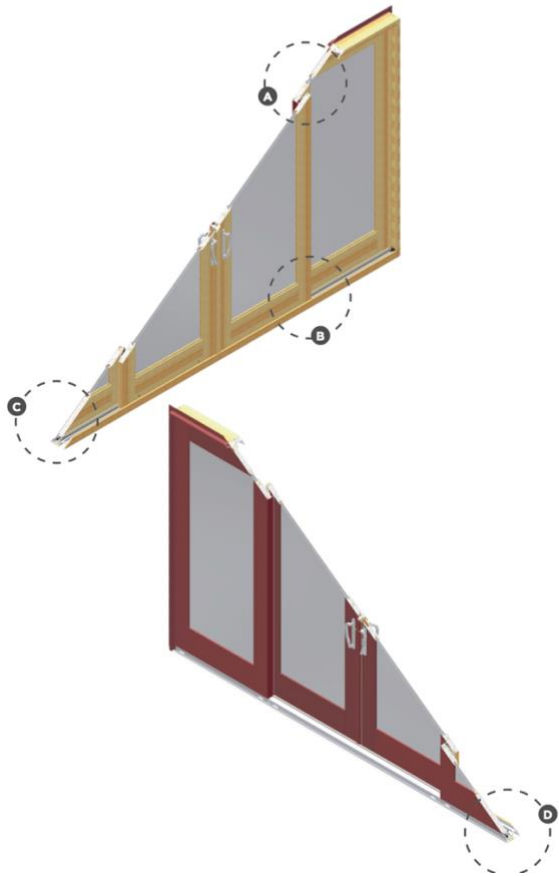
Back patio door

MIRA Aluminum-Clad Wood Bi-Parting Patio Doors

Material: Aluminum Clad - Wood protected by aluminum exterior



BI-PARTING SLIDING PATIO DOOR



STANDARD FEATURES

- Stainless steel rollers for smooth operation and long lasting performance
- Aluminum sill deck in medium bronze with durable stainless steel track on interior of sill for smooth sliding operation
- Dual finseal weatherstripping over the full height of the door and 1/2" tall finseal weatherstripping for increased protection against leaks for reduced air infiltration
- Durable .080 extruded aluminum cladding on exterior surface of panels and .050 extruded aluminum cladding on frames resists dings and dents while providing structural integrity
- Multi-point lock system
- 1 3/4" panels with wide stiles and rails for an authentic French look
- Select clear wood interior ready for paint or stain to match any interior décor (also available primed or prefinished in white, black or off-white)
- Integral face groove allows for easy mulling and exterior accessory application
- Energy-efficient Warm Edge insulating tempered HP glass (Low-E/argon gas fill) helps reduce energy costs and fabric fading
- AAMA 2604 paint finish provides superior resistance to chalking and fading



1. HP glass combines Low-E with argon gas fill for high performance.
2. Impact Rated units are available in select sizes and configurations.

Rear Terrace Door



Ply Gem Mira Aluminium-Clad Wood French Outswing Door.



REVIEWED
By Dan Bruechert at 2:30 pm, Jan 08, 2025



STANDARD FEATURES

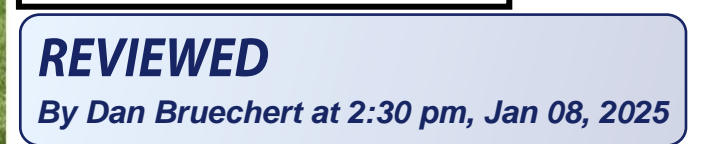
- Adjustable hinges are standard for smooth operation. Ball Bearing flat hinges optional
- Handle activated shoot bolts at the head of sill for added security
- Aluminum sill deck to prevent sag and resist dents
- Aluminum astragal with stainable wood interior
- Full-perimeter weatherstripping for air-tight performance and smooth operation
- Multi-point lock system
- 1 3/4" panels with wide stiles and rails for a true French look
- 4 3/4" jambs made of clear wood eliminate extensive drywall work
- Select clear wood ready for paint or stain to match any interior décor
- Integral face groove allows for easy mulling and exterior accessory application
- Pre-punched nailing fin for simple installation
- AAMA 2604 paint finish provides superior resistance to chalking and fading
- Energy-efficient Warm Edge insulating tempered HP glass helps reduce energy costs and fabric fading - optional HP^{SC}, HP^{2+SC}, HP^{2MAX}, HP^{2MAX-SC}, HP^{3MAX} or HP^{3MAX-SC}
- Vacuum-treated, solid wood components resist damage from water and fungus
- Durable .050 extruded aluminum cladding on exterior surfaces of frame and .080" on panels resists dings and dents while providing structural integrity. Available with ADA compliant sill



Proposed fencing

Fence to be installed along the sides of the house

3-1/2 ft. high Western Red Cedar Spaced Picket Flat Top Fence



Fence to be installed in the backyard. Materials: 6 ft. H Pressure-Treated Pine Dog-Ear Fence Panel.



Retaining walls

Existing walls will be replaced using Pewter Concrete Retaining Wall Block (4 in. x 11.75 in. x 6.75 in.).

Locations: front, rear, and along the right (northeastern) side of the property.



REVIEWED

By Dan Bruechert at 2:31 pm, Jan 08, 2025

Patio Images

