



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

Date: December 31, 2024

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1094686 – Porch alterations and fenestration alterations, basement alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with three (3) conditions** at the December 18, 2024 HPC meeting:

1. The north attic window must be reduced in size to avoid impacting the bargeboard, and the shutters eliminated.
2. The new steps proposed on the south side of the front porch must be constructed of wood.
3. The applicant must submit dimensioned window specifications and/or window installation details for the proposed new and replacement windows. The proposed replacement window on the south elevation must match the dimensions of the existing window.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Muse Kirwan Architects
Address: 24227 Hawkins Landing Drive, Gaithersburg

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

REVIEWED

By Laura DiPasquale, M-NCPPC at 8:14 am, Dec 31, 2024

APPROVED

Montgomery County

Historic Preservation Commission



Robert H. Patton

PATTERN KEY

	WOOD FRAMED WALL		BATT INSULATION		FINISH WOOD		PORTLAND CEMENT STUCCO
	CONTINUOUS WOOD FRAMING		RIGID INSULATION		SYNTHETIC BOARD		CONCRETE MASONRY UNIT
	WOOD BLOCKING		SPRAY FOAM INSULATION		FERROUS METAL		CONCRETE
	PLYWOOD		GYP SUM WALL BOARD		STONE		EARTH/SOIL
	ELEMENT NAME		CENTERLINE		INT. EL.		EL. 0.00
	SPOT/FL. EL.		REVISION NUMBER		WINDOW TYPE		DOOR TYPE
	BREAKLINE		WALL SECTION		BUILDING EL./SECTION		FIXTURE / APPLIANCE TYPE
	DETAIL CALLOUT		BUILDING EL./SECTION		FIXTURE / APPLIANCE TYPE		DOOR TYPE

LIST OF ABBREVIATIONS

Abbreviation	Item	Abbreviation	Item	Abbreviation	Item
@	At	FLR.	Floor	PLY., PLYWD	Plywood
A.F.F.	Above Finish Floor	FLRG.	Flooring	P.T.	Pressure Treated
ABV.	Above	F.O.	Face of	PTD.	Painted
A.H.U.	Air Handling Unit	F.O.S.	Face of Stud	R.	Riser(s)
APPROX.	Approximate	F.O.M.	Face of Masonry	R.O.	Rough Opening
BD.	Board (or Bead, if applicable)	FRMG.	Framing	REINF.	Reinforcing
Bldg.	Building	FT.	Foot	SHTG.	Sheathing
BLKG.	Blocking	FTG.	Footing	SIM.	Similar
BM.	Beam	GALV.	Galvanized	STD.	Standard
C.	Concrete	GWB.	Gypsum Wall Board	STL.	Steel
CL	Center Line	HB	Hose Bib	ST. STL.	Stainless Steel
CLG.	Ceiling	HT.	Height / Heat	STOR.	Storage
C.J.	Ceiling Joist	H.W.	Hot Water	STRUC.	Structure
CMU	Concrete Masonry Unit	IN.	Inch	SW.	Switch
COL.	Column	JST.	Joist	T	Tread(s)
CONC.	Concrete	JT.	Joint	T&G	Tongue and Groove
CONT.	Continuous	M., MAS.	Masonry	TJJ	Truss Joists
CPR.	Copper	MDO	Medium Density Overlay	T.O.	Top of
DS.	Downspout	MDF	Medium Density Fiberboard	T.O. ARCH	Top of Arch
DWG.	Drawing	MEM.	Membrane	T.O.W.	Top of Wall
EQ	Equal	M.O.	Masonry Opening	U.N.O.	Unless Noted Otherwise
EX.	Existing	MECH.	Mechanical	W/	With
EXT.	Exterior	MIL.	1/1000 Inch	WD.	Wood
F.D.	Floor Drain	MIN.	Minimum	WIN.	Window
FIN.	Finish	O.C.	On Center	WPG	Waterproofing
FLASHG	Flashing	O.W.T.	Open Web Truss	WWF	Welded Wire Fabric

GENERAL NOTES

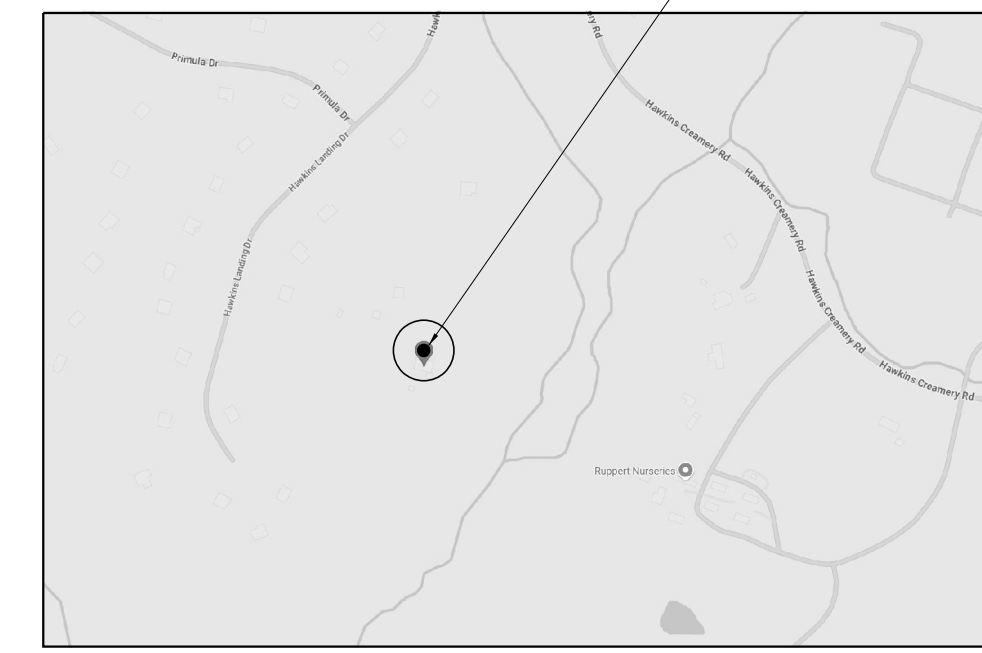
The following notes shall apply to all drawings made as part of the Contract for construction for this project, including those drawings listed in the INDEX OF DRAWINGS on this sheet:

- The Contractor shall field verify all dimensions.
- DO NOT SCALE THE DRAWINGS to obtain dimensions.
- Dimensions shown are to face of structure (i.e. face of stud, masonry, concrete) unless noted otherwise on the drawings.
- All construction resulting from the execution of this Work shall conform to the current 2018 International Residential Code (IRC) with amendments, and the Maryland Building Performance Standards (MBPS); and with any other requirements established by Montgomery County and the state of Maryland.
- All Work represented in the drawings for this project shall be considered part of the Work required by the Contract Documents for the project and shall be executed in a manner consistent with the provisions described in the Specifications and General Notes.
- The construction work described in these drawings is applicable only to this Project. The Architect accepts no liability whatsoever for any construction Work performed on the basis of these drawings if such Work is not executed under a general Contract.
- The Contractor shall comply with current requirements for Montgomery County & the state of Maryland for radon mitigation.

ZONING SUMMARY

LOT DESCRIPTION:	Parcel 308		
ADDRESS:	24227 Hawkins Landing Drive, Gaithersburg, MD 20882		
ZONE:	RC (Rural Cluster Zone)		
	ALLOWABLE (per Montgomery County, Maryland Zoning Ordinance)	EXISTING	PROPOSED
LOT AREA:	5 Acres	11.000 Acres	Existing to remain. No change.
LOT COVERAGE:	10% max.		Existing to remain. No change.
PRINCIPAL BUILDING SETBACKS:	FRONT: 50 FT min. SIDE: 50 FT min. REAR: 35 FT min.		Existing to remain. No change.
PRINCIPAL BUILDING HEIGHT:	50 FT max		Existing to remain. No change.

VICINITY MAP



DESIGN PARAMETERS

Montgomery County, Maryland			
GROUND SNOW LOAD	30 psf	DECAY	Slight to moderate
WIND SPEED	115 mph	WINTER DESIGN TEMP.	13°F
SEISMIC DESIGN CATEGORY	B	ICE SHIELD UNDERLAYMENT REQ'D.	Yes
WEATHERING	SEVERE	FLOOD HAZARDS	July 2, 1979
FROST LINE DEPTH	30 inches	AIR FREEZING INDEX	300
TERMITE	Moderate to heavy	MEAN ANNUAL TEMP.	55°F

Soil Bearing capacity: 2000 psf or as determined by geotechnical evaluation

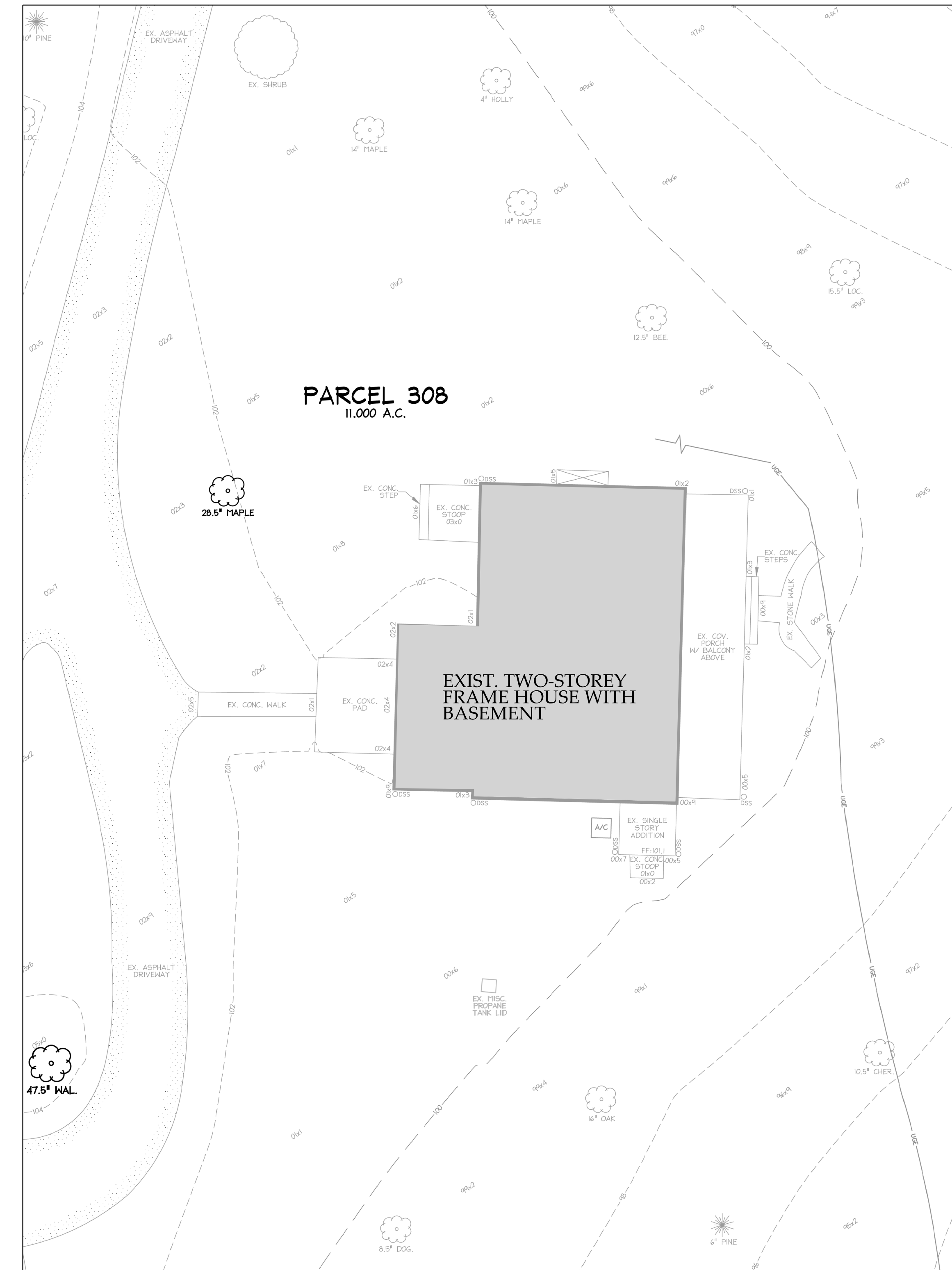
SCOPE OF WORK

- This project is for the alteration of an existing residence in Montgomery County, MD.
- The alteration work consists of interior renovations to the first and second floors including the attic floor with structural modifications per the drawings.
- The exterior alterations include the updating of steps/landings and a new terrace. Also, a cellar access door in lieu of the existing cellar access structure, and windows/doors modifications per the drawings.

INDEX OF DRAWINGS

Sheet	Drawing Title
A001	COVER SHEET
A002	PROPOSED SITE PLAN
A003	SCHEDULES
D101	DEMOLITION FLOOR PLANS
D102	DEMOLITION FLOOR PLANS
A101	PROPOSED FLOOR PLANS
A102	PROPOSED FLOOR PLANS
A201	PROPOSED ELEVATION
A202	PROPOSED ELEVATION
A203	PROPOSED ELEVATION
A204	PROPOSED ELEVATION
A301	BUILDING SECTION AND DETAILS
S001	STRUCTURAL NOTES AND ABBREVIATIONS
S100	FOUNDATION AND FIRST FLOOR PLAN
S101	FIRST AND SECOND FLOOR FRAMING PLANS
S102	FIRST AND SECOND FLOOR FRAMING PLANS
S201	FOUNDATION SECTIONS
S301	FRAMING SECTIONS
S302	FRAMING SECTIONS
E101	PROPOSED ELECTRICAL FLOOR PLANS
E102	PROPOSED ELECTRICAL FLOOR PLANS
E103	LIGHTING FIXTURE SCHEDULE

RENOVATION OF THE CLAYTON / WATKISS RESIDENCE
24227 HAWKINS LANDING DRIVE GAITHERSBURG, MD 20882



1 A001 EXISTING SITE PLAN
SCALE: 1" = 10'

REVIEWED
By Laura DiPasquale, M-NCPCC at 8:14 am, Dec 31, 2024

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

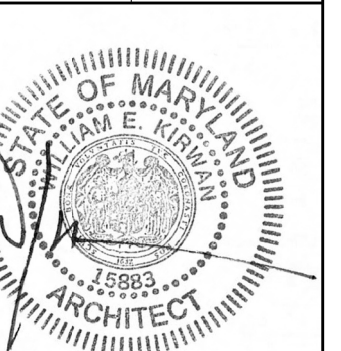
Professional Certification.
I, William E. Kirwan, certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 15883, expiration date 07/23/2025.

MUSE ARCHITECTS, PC
Architecture and Interior Design
7401 Wisconsin Avenue, Suite 500 Bethesda, MD 20814
Phone 301.718.8118 www.musearchitects.com

RENOVATION OF & ADDITION TO THE
CLAYTON/WATKISS RESIDENCE
24227 HAWKINS LANDING DRIVE GAITHERSBURG, MD 20882

21.18
HAWP APPLICATION
2024 NOVEMBER 27
2024 DECEMBER 20

COVER SHEET
SCALE: 1/4" = 1'-0"



SHEET NO.
A001

FINISH SCHEDULE

Room	Floor	Wall	Ceiling	Ceiling Ht.	Trim Type	Remarks
MUDROOM 101	HDWD	PTD GWB	PTD GWB	7'-8 1/4"	PTD.WD.BASE	
KITCHEN 102	HDWD	PTD GWB	PTD GWB	8'-8 1/2"	PTD.WD.BASE	
LIVING ROOM 103	HDWD	PTD GWB	PTD GWB	8'-9"	PTD.WD.BASE	
EXIST. HALL 104	HDWD	PTD GWB	PTD GWB	7'-11"	PTD.WD.BASE	GC to modify trim to match new renovated areas.
EXIST. BATH 105	HDWD	PTD GWB	PTD GWB	8'-5 1/4"	PTD.WD.BASE	
EXIST. LIVING ROOM 106	HDWD	PTD GWB	PTD GWB	8'-7 3/4"	PTD.WD.BASE	
STAIR HALL 201	HDWD	PTD GWB	PTD GWB	7'-8"	PTD.WD.BASE	
HALL BATH 202	CER. TILE	PTD GWB	PTD GWB	7'-9"	TILE BASE	Tiled walls at tub/shower to ceiling
PRIMARY BEDROOM 203	HDWD	PTD GWB	PTD GWB	7'-9"	PTD.WD.BASE	
PRIMARY BATH 204	STONE TILE	PTD GWB	PTD GWB	7'-9"	TILE BASE	Tiled walls at tub/shower to ceiling
CLOSET 205	HDWD	PTD GWB	PTD GWB	7'-9"	PTD.WD.BASE	
CLOSET 206	HDWD	PTD GWB	PTD GWB	7'-9"	PTD.WD.BASE	
CLOSET 207	HDWD	PTD GWB	PTD GWB	7'-9"	PTD.WD.BASE	
LAUNDRY 208	HDWD	PTD GWB	PTD GWB	7'-8"	PTD.WD.BASE	
BEDROOM 1, 209	HDWD	PTD GWB	PTD GWB	7'-8"	PTD.WD.BASE	GC to modify trim to match new renovated areas.
CLOSET 210	HDWD	PTD GWB	PTD GWB	7'-8"	PTD.WD.BASE	
BEDROOM 2, 211	HDWD	PTD GWB	PTD GWB	7'-9"	PTD.WD.BASE	GC to modify trim to match new renovated areas.
CLOSET 212	HDWD	PTD GWB	PTD GWB	7'-9"	PTD.WD.BASE	
STAIR HALL 301	HDWD	PTD GWB	PTD GWB	VARIES	PTD.WD.BASE	
OFFICE 1, 302	HDWD	PTD GWB	PTD GWB	VARIES	PTD.WD.BASE	
OFFICE 2, 303	HDWD	PTD GWB	PTD GWB	VARIES	PTD.WD.BASE	
STORAGE, 304	HDWD	PTD GWB	PTD GWB	VARIES	PTD.WD.BASE	
NEW TERRACE 107	BLUESTONE					
EXIST. PORCH	E.T.R.					

NOTES:

1. Refinish all floors
2. E.T.R. - Existing to Remain
3. T.M.E. - To Match Existing

INTERIOR DOOR SCHEDULE

Mark	Location	Type / Material	Single / Pair	Size	Hdwr. Function	Remarks
101A	MUDROOM 101	cased opening	N/A	2'-6" x 6'-8"	N/A	
101B	MUDROOM 101	cased opening	N/A	2'-6" x 6'-8"	N/A	
101C	MUDROOM 101	hinged wood	single	2'-0" x 6'-8"	passage	
101D	MUDROOM 101	hinged wood	single	2'-0" x 6'-8"	passage	
102A	KITCHEN 102	cased opening	N/A	2'-10" x 6'-8"	N/A	
102B	KITCHEN 102	cased opening	N/A	2'-10" x 6'-8"	N/A	
103A	LIVING ROOM 103	cased opening	N/A	16'-1" x 6'-8"	N/A	
103B	LIVING ROOM 103	hinged wood	single	2'-6" x 6'-8"	passage	
202A	HALL BATH 202	hinged wood	single	2'-6" x 6'-8"	privacy	
203A	PRIMARY BEDROOM 203	hinged wood	single	2'-6" x 6'-8"	privacy	
204A	PRIMARY BATH 204	hinged wood	single	2'-4" x 6'-8"	privacy	
205A	CLOSET 205	hinged wood	single	2'-4" x 6'-8"	closet	
206A	CLOSET 206	hinged wood	pair	2'-4" x 6'-8"	closet	
207A	CLOSET 207	hinged wood	pair	2'-4" x 6'-8"	closet	
208A	LAUNDRY 208	pocket wood	single	2'-8" x 6'-8"	passage	
209A	BEDROOM 1, 209	hinged wood	single	2'-6" x 6'-8"	privacy	
210A	CLOSET 210	hinged wood	single	2'-6" x 6'-8"	closet	
211A	BEDROOM 2, 211	hinged wood	single	2'-6" x 6'-8"	privacy	
212A	CLOSET 212	hinged wood	single	2'-6" x 6'-8"	closet	
302A	OFFICE 1, 302	hinged wood	single	2'-6" x 6'-8"	privacy	
303A	OFFICE 2, 303	hinged wood	single	2'-6" x 6'-8"	privacy	
304A	STORAGE, 304	hinged wood	single	2'-4" x 6'-8"	closet	
305A	STORAGE, 305	hinged wood	single	Varies	closet	

NOTES:

1. Contractor to field verify all dimensions prior to placing order, typical.
2. Swing as indicated in drawings.
3. Provide safety/tempered glass per IBC/IRC/local codes, typical.
4. U.N.O. all interior doors shall be 1 3/4" thick, T.M.E.
5. Provide shop drawings for architect's review prior to placing an order.
6. All hardware finish TBD, typical. Contractor shall verify with Owner and architect prior to placing an order.

WINDOW SCHEDULE

Mark	Description	F.S.	Light Cut	Remarks
A	Marvin Ultimate Wood Operable Double-Hung	2'-5 1/2" x 4'-9 1/4"	2W x 2H	Group of 3 typ. (W. elevation). With simulated divided lites & 7/8" muntin bars.
B	Marvin Ultimate Wood Operable Double-Hung	2'-8" x 4'-9 1/4"	2W x 2H	Heads to align w/adj. doors and typ window head height.
C	Marvin Ultimate Wood Operable Double-Hung T.M.E. GC to verify	2'-7 1/2" x 4'-9 1/4"	2W x 2H	To match typ. window on existing residence - GC to verify dimensions and sticking profiles.
D	Marvin Ultimate Wood Operable Outswing Casement	2'-7 1/2" x 4'-9 1/4"	2W x 2H	Overall dims T.M.E. Provide 1 15/16" Horizontal muntin to simulate double-hung lock rail. Provide 1 1/8" Vertical muntin T.M.E.
E	Marvin Ultimate Wood Operable Outswing Casement	2'-4" x 4'-0"	2W x 2H	No Shutters. Provide 1 15/16" Horizontal muntin to simulate double-hung lock rail. Provide 1 1/8" Vertical muntin T.M.E.
EX	Existing window to remain			

NOTES:

1. Contractor to verify all dimensions in field prior to placing order, typical.
2. Contractor shall provide shop drawings for architect's review prior to placing order.
3. All windows to have simulated divided lites - muntin bar with internal spacer bar To Match Existing.
4. Window swings are indicated on plans & elevations.
5. Provide safety/tempered glass per IRC/ local code.
6. Provide ultraviolet screens at all operable windows.

EXT. DOOR SCHEDULE

Mark	Description	Leaf	Hardware	Remarks
X01	Marvin Ultimate Wood Swinging French Door	2'-8" x 6'-8"	Entry	1 3/4" thick inswing exterior door. Verify existing header clearance. With simulated divided lites & 7/8" muntin bars.
X02	Marvin Ultimate Wood Swinging French Door	2'-8" x 6'-8"	Entry	1 3/4" thick inswing exterior door. Verify existing header clearance. With simulated divided lites & 7/8" muntin bars.
X03	Bilco classic series - Powder Coated Metal Basement Access Door	4'-3" x 6'-0" (per mfr. sizing reqs.)	Entry	

NOTES:

1. Contractor to verify all dimensions in field prior to placing order, typical.
2. Contractor shall provide shop drawings for architect's review prior to placing order.

APPLIANCE SCHEDULE

Mark	Manufacturer/Model	Remarks
KITCHEN 102	RANGE	36" AGA Induction Range AEL361NWHIT
	HOOD	36" AGA Wall Mount Cascade wall Hood AH3630CAC
	REFRIGERATOR	24" Monogram Panel-Ready built-in Column Refrigerator ZIR241NPNII
	FREEZER	18" Monogram Panel-Ready built-in Column Ref. ZIF181NPNII
	BEVERAGE REF.	24" Sub-Zero Undercounter Panel-Ready Bev. Ref. DEU2450BG/L
	DISHWASHER	24" Monogram Panel-Ready built-in ZDT92SSINII
	WALL OVEN	27" Viking Double Electric Oven VDOE527SS
	MICROWAVE DRAWER	30" Sharp Microwave drawer SMD3070ASV
	DISPOSAL	In-SinkErator Pro 3/4 HP Continuous Feed
	LAUNDRY 208	WASHER
DRYER		28" GE Profile (Front Loading Electric Dryer) PFD87ESSVWW
Stacking Kit		GE stacking kit GFA28KITN

REVIEWED
By Laura DiPasquale, M-NCPPC at 8:14 am, Dec 31, 2024

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

PLUMBING SCHEDULE

Room	Mark	Fixture	Color	Fittings	Finish	Remarks	
Kitchen 102	S1	Shaws 30" Shaker Farmhouse Single Basin/Fireclay Kitchen Sink MS3018WH	White	Newport Brass - Chesterfield 1.8 GPM Widespread Bridge Kitchen Faucet 945806 & Newport Brass - Chesterfield 4.5 GPM Wall Mounted Single/Hot Pot Filter 1030-550306	Antique Brass	Provide supplies, stops, and P-trap. Provide disposal with air switch in matching finish; see appliance schedule. See plans and interior elevations for alignment/ dimensions. GC shall coordinate exact rough-in location for faucet & air switch w/ architect prior to installation.	
	L1	T1	Undermount porcelain sink (qty. 2) Kohler Bellwether Bath Tub 66" L x 32" W Cast Iron Soaking for Three Wall Alcove with fully tiled walls. K-847-0	White	Perrin and Rowe U.3141LS-PN-2 Widespread BathroomFaucet (qty. 2)	Polished Nickel	Qty. 2ea. Provide supplies, stops, and P-trap in chrome finish. See plans for vanity alignment/ dimensions. Provide House of Rohl R45, 1/2" Thermostatic Rough-in Valve with NPTConnection Type and up to 5 functions Provide Signature Hardware SH622PN See plans and interior elevations for fitting alignment/ dimensions.Pop-Up Drain with Overflow Cover forAlcove Tub
					Perrin and Rowe 7" Tub Spout	Polished Nickel	
					Perrin and Rowe Multi Function Rain Shower Head U.5800PN	Polished Nickel	
					Perrin and Rowe 7" Wall Mounted Shower Arm and Flange U.5182STN	Satin Nickel	
	WC1	DXV Fitzgerald 2 Piece Elongated 1.28 GPF D2205CA101.415	Canvas White	DXV 7381344-200.0080A Fitzgerald Toilet Trip Lever.	Polished Nickel	See plans and interior elevations for alignment/ dimensions.	
					Polished Nickel		
	OTHER - Bathroom accessories						All Perrin and Rowe Deco 7" Wall Mounted Towel Ring U.6135PN, U.6148PN Deco Wall Mounted Euro Toilet Paper Holder, U.6148PN Deco Double Robe Hook, U.6122PN Deco 24" Towel Bar, U.6141PN
	Primary Bath 204	L2	Undermount porcelain sink (qty. 2) Kohler Bellwether Bath Tub 66" L x 32" W Cast Iron Soaking for Three Wall Alcove with fully tiled walls. K-847-0	White	Perrin and Rowe U.3141LS-PN-2 Widespread BathroomFaucet (qty. 2)	Polished Nickel	Qty. 2ea. Provide supplies, stops, and P-trap in chrome finish. See plans for vanity alignment/ dimensions. Provide House of Rohl R45, 1/2" Thermostatic Rough-in Valve with NPTConnection Type and up to 5 functions Provide Signature Hardware SH622PN See plans and interior elevations for fitting alignment/ dimensions.Pop-Up Drain with Overflow Cover forAlcove Tub
Perrin and Rowe 7" Tub Spout					Polished Nickel		
Perrin and Rowe Multi Function Rain Shower Head U.5800PN					Polished Nickel		
Perrin and Rowe 7" Wall Mounted Shower Arm and Flange U.5182STN					Satin Nickel		
WC2		DXV Fitzgerald 2 Piece Elongated 1.28 GPF D2205CA101.415	Canvas White	DXV 7381344-200.0080A Fitzgerald Toilet Trip Lever.	Polished Nickel	See plans and interior elevations for alignment/ dimensions.	
					Polished Nickel		
OTHER - Bathroom accessories						All Perrin and Rowe Deco 7" Wall Mounted Towel Ring U.6135PN, U.6148PN Deco Wall Mounted Euro Toilet Paper Holder, U.6148PN Deco Double Robe Hook, U.6122PN Deco 24" Towel Bar, U.6141PN	

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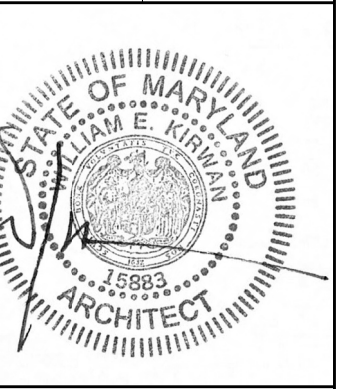
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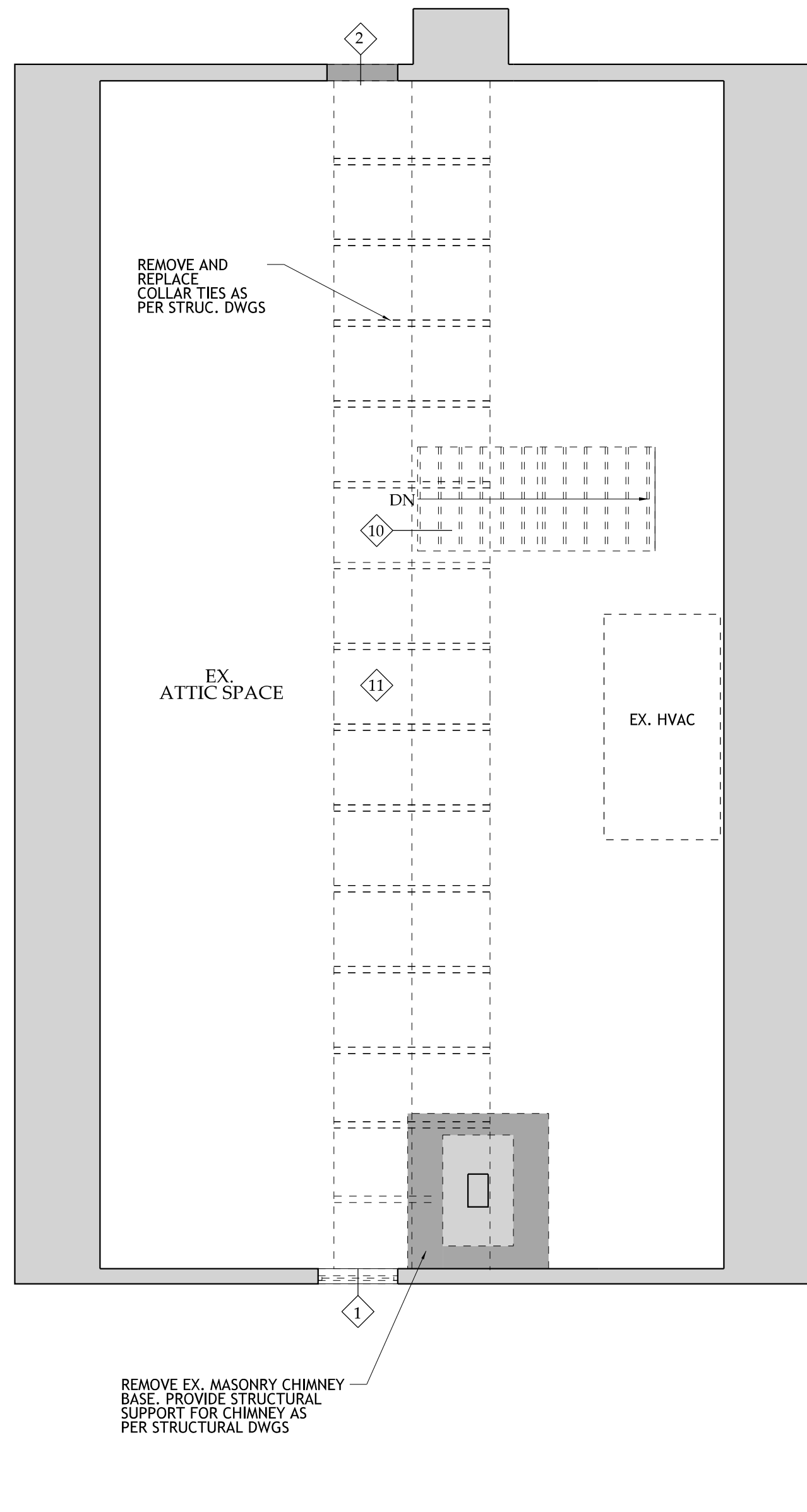
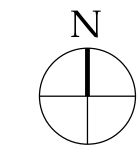
SCHEDULES
SCALE: 1/4" = 1'-0"



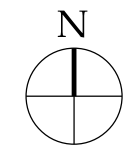
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A003



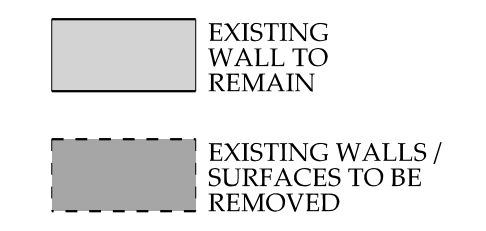
1
 D102 DEMOLITION SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



2
 D102 DEMOLITION ATTIC FLOOR PLAN
 SCALE: 1/4" = 1'-0"

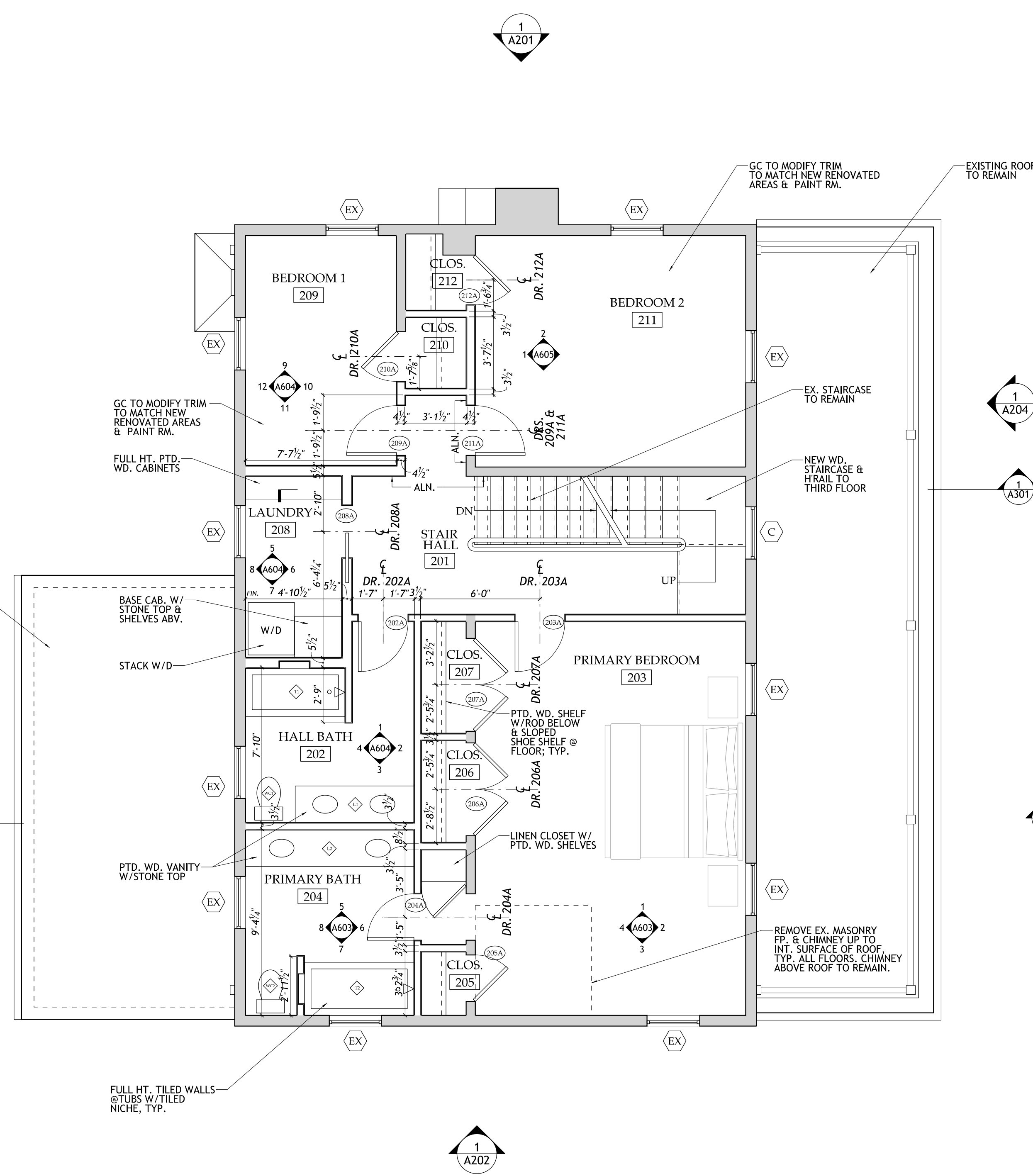


DEMOLITION NOTES	
MARK	REMARKS
1	Remove window and/or ext. door and associated accessories, & trim.
2	Remove exterior wall / foundation wall as necessary to accommodate new work. Provide temporary bracing & shoring as required; see structural drawings.
3	Remove exterior landing/steps and/or guardrails as necessary to accommodate new work.
4	Remove interior door, jamb, casing and associated accessories.
5	Remove interior wall as necessary to accommodate new work. Provide temporary bracing & shoring as required; see structural drawings.
6	Remove appliances. Verify w/ owner any items to be salvaged for re-use.
7	Remove built-ins, shelving & cabinetry.
8	Remove kitchen fixtures, fittings, finishes, & accessories. Verify w/ owner any items to be salvaged for re-use.
9	Remove bath fixtures, fittings, finishes, & accessories. Verify w/ owner any items to be salvaged for re-use.
10	Remove interior stairs and handrails as necessary to accommodate new work.
11	Refinish all floors.
12	Remove existing masonry fireplace and chimney.
GENERAL NOTES:	
1	Remove dotted portion of existing wall to accommodate new work, typ.
2	Special care should be taken to prevent damage to existing conditions scheduled to remain.
3	Verify w/ owner's items to be salvaged for re-use, typ.
4	Any portion of house exposed by removal of existing work shall be patched to match adjacent existing or new surface as required. This includes but is not limited to walls, floors, ceilings etc.
5	Refer to electrical plans for electrical demo notes.
6	Remove all mechanical bulkheads that are no longer in use. Patch & repair as necessary.
7	Coordinate the removal of existing HVAC, plumbing, & electrical to accommodate new work.
8	Remove radiators throughout and hardwood floors patched and refinished.



REVIEWED
 By Laura DiPasquale, M-NCPPC at 8:14 am, Dec 31, 2024

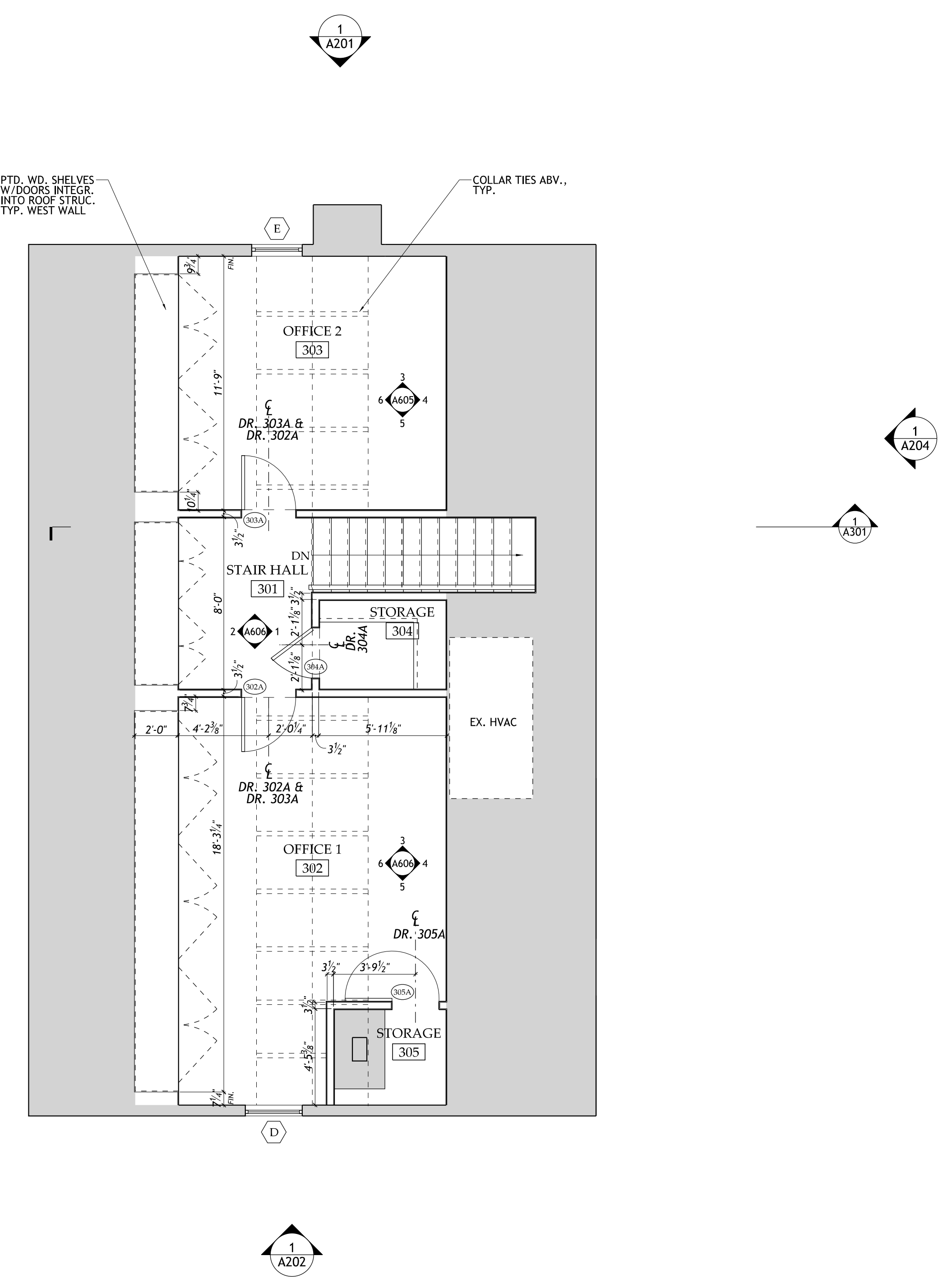
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1 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

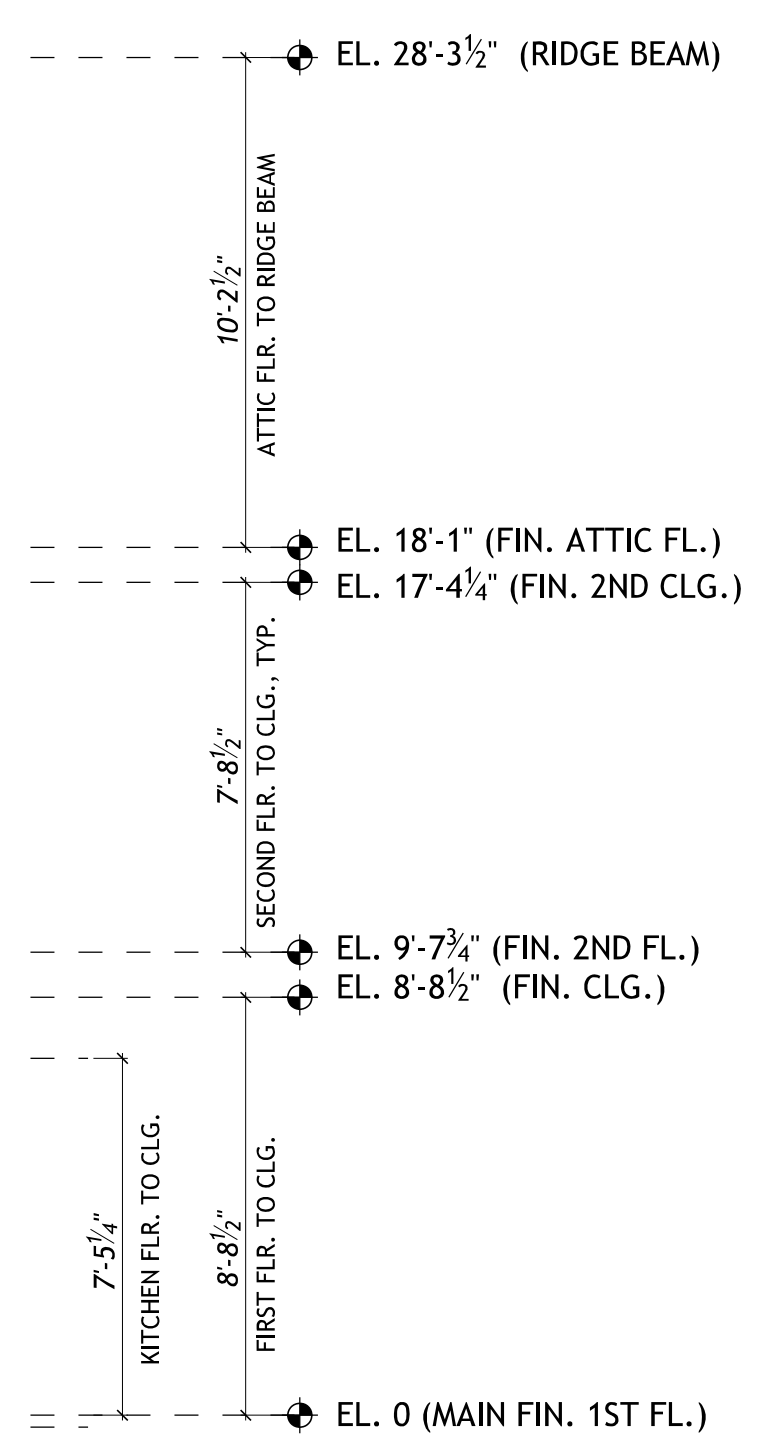
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2 ATTIC FLOOR PLAN
 SCALE: 1/4" = 1'-0"

EXISTING WALL TO REMAIN
 NEW CONSTRUCTION

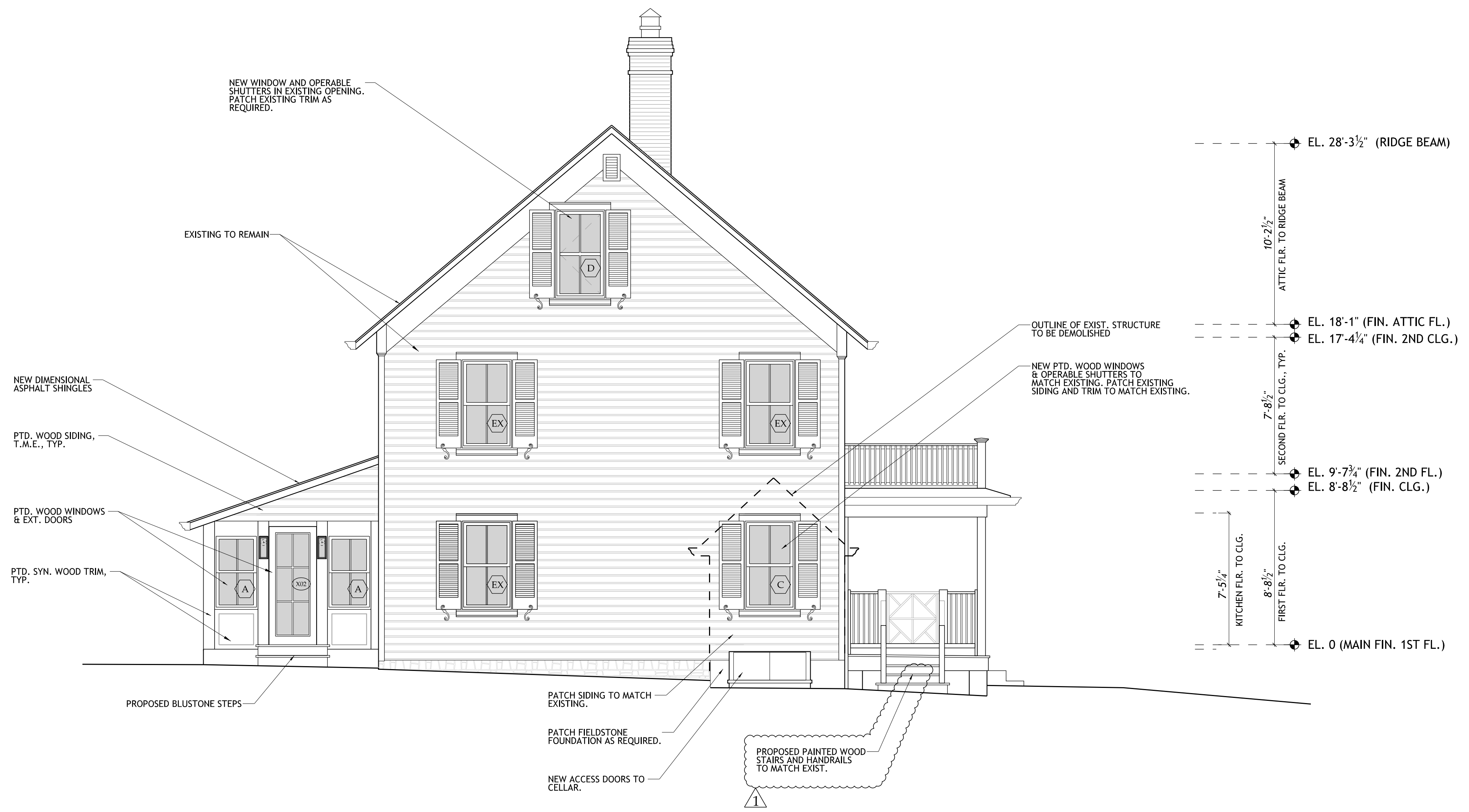


1
A201 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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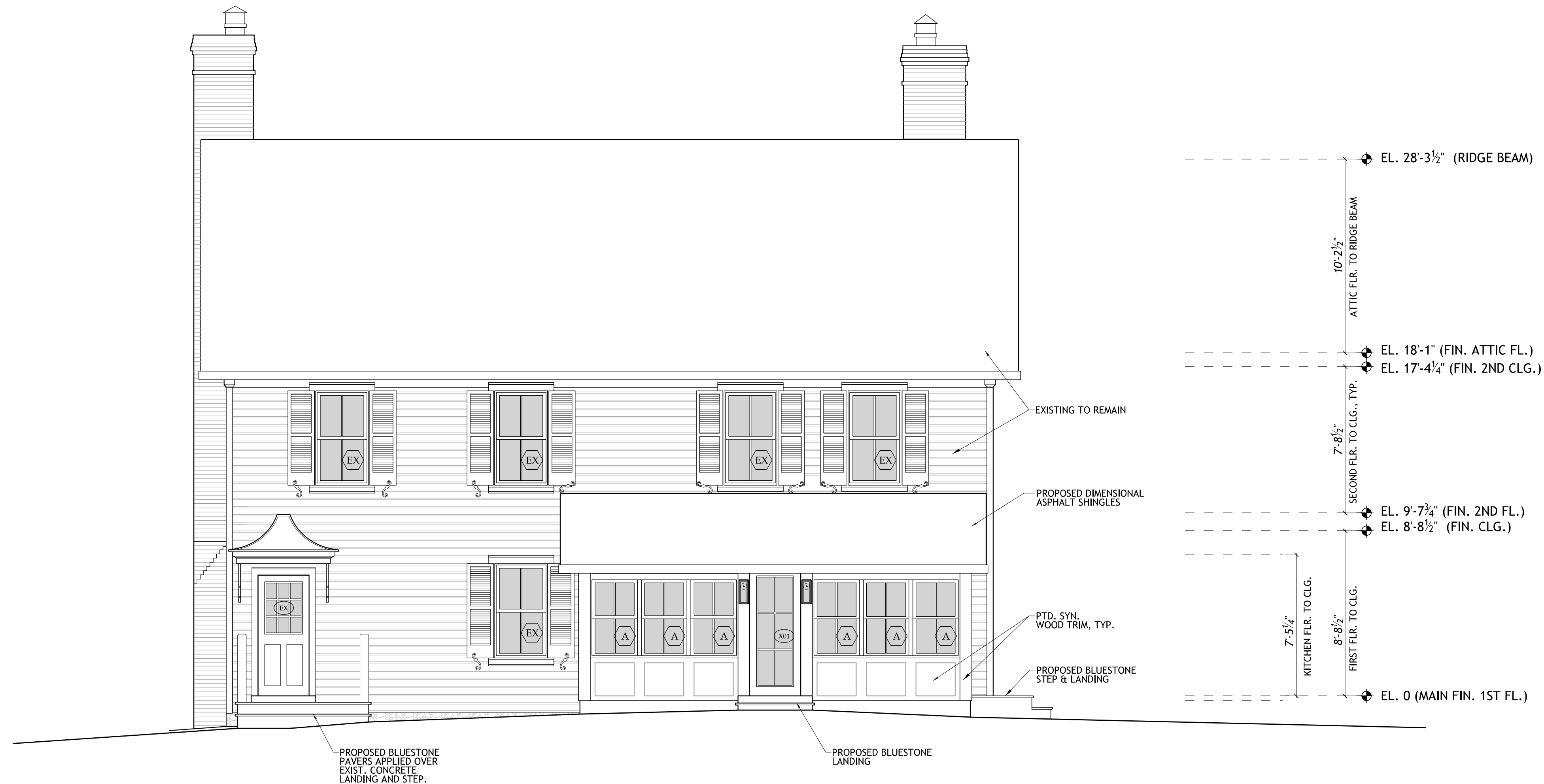


1 SOUTH ELEVATION
A202 SCALE: 1/4" = 1'-0"

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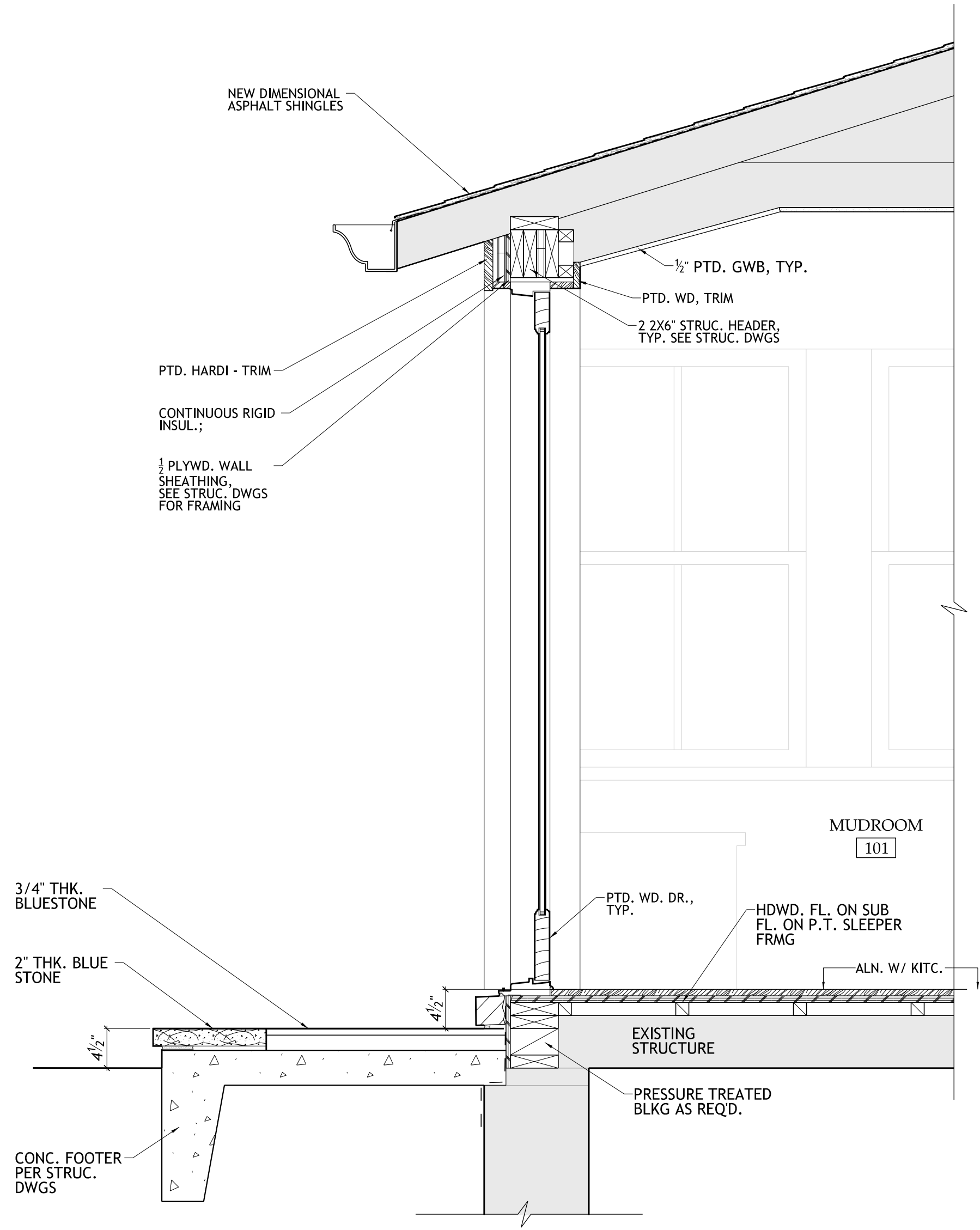
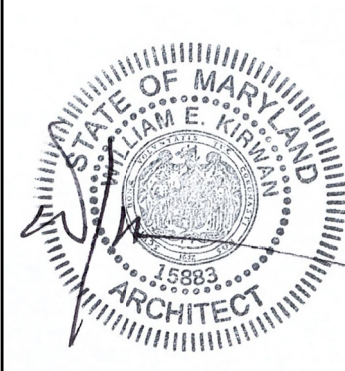


1 WEST ELEVATION
A203 SCALE: 1/4" = 1'-0"

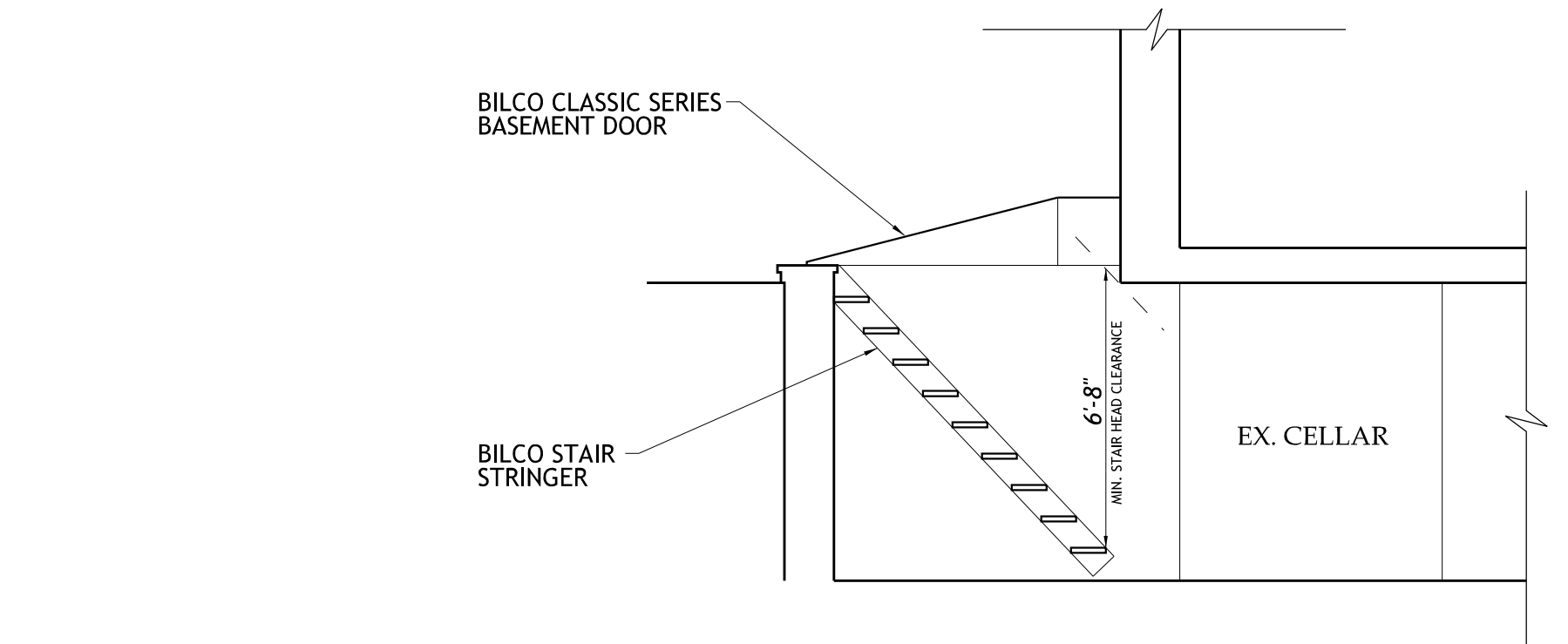
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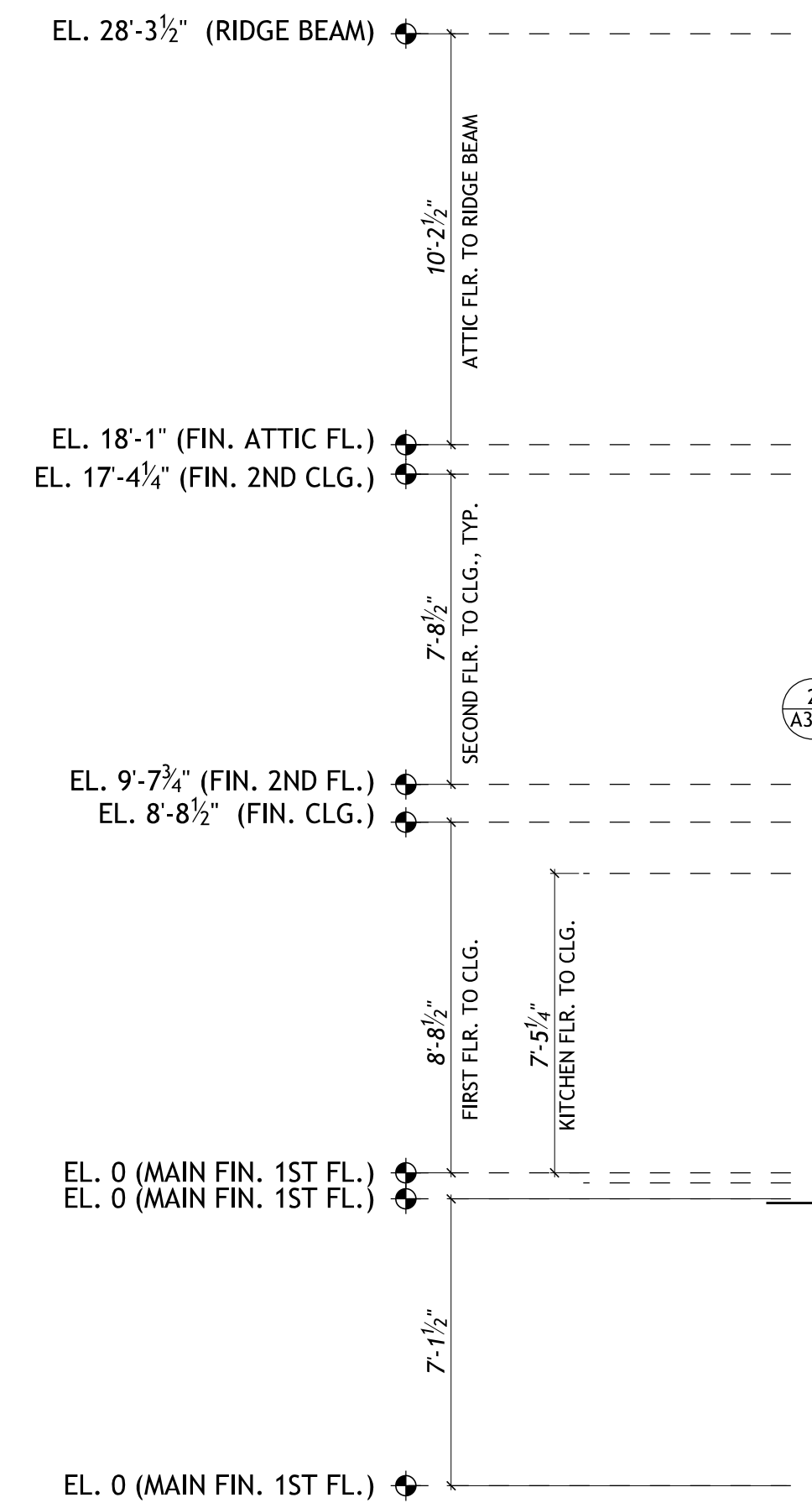




2 WALL SECTION
 SCALE: 1" = 1'-0"

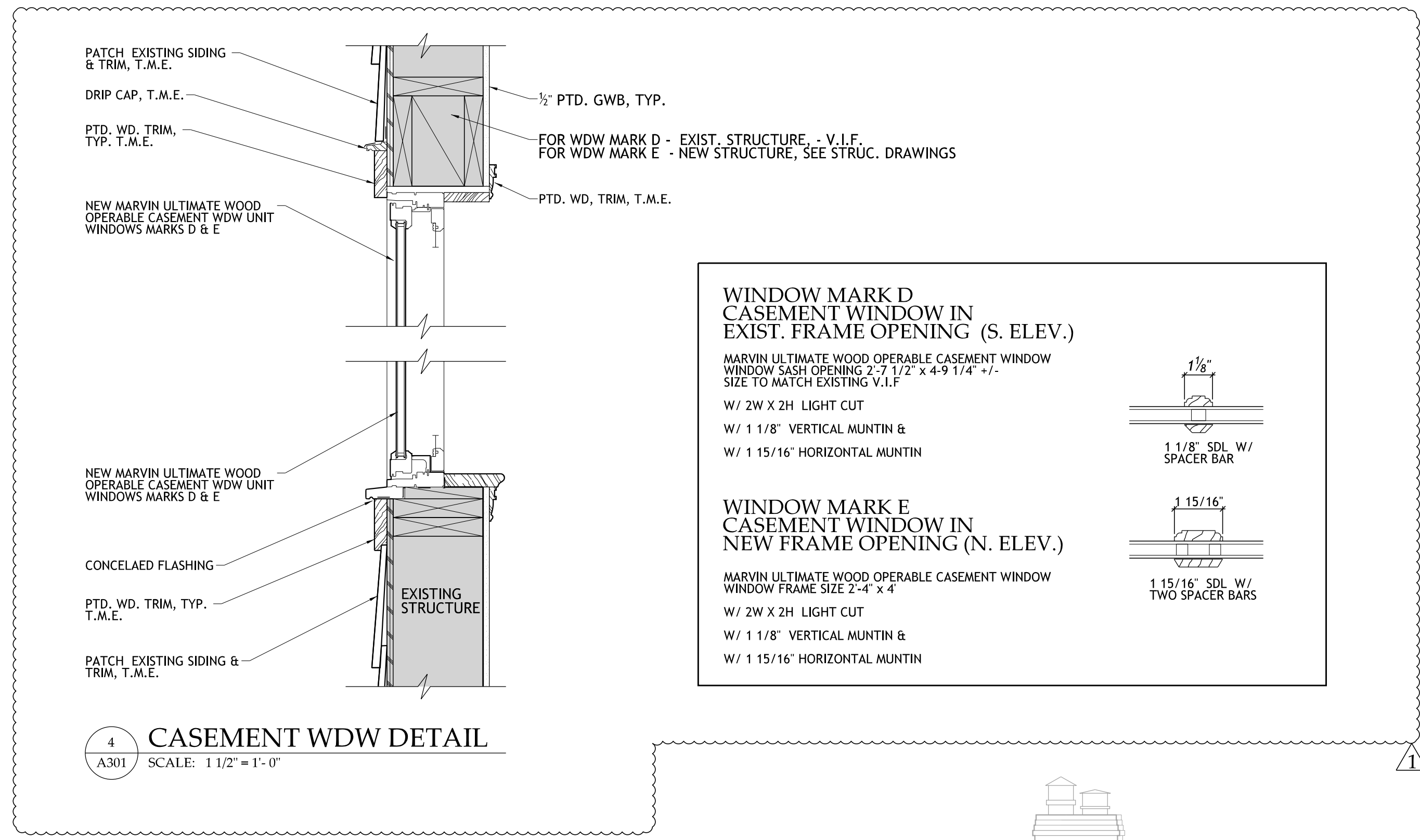


3 NEW ACCESS STAIR @ CELLAR
 SCALE: 1/4" = 1'-0"



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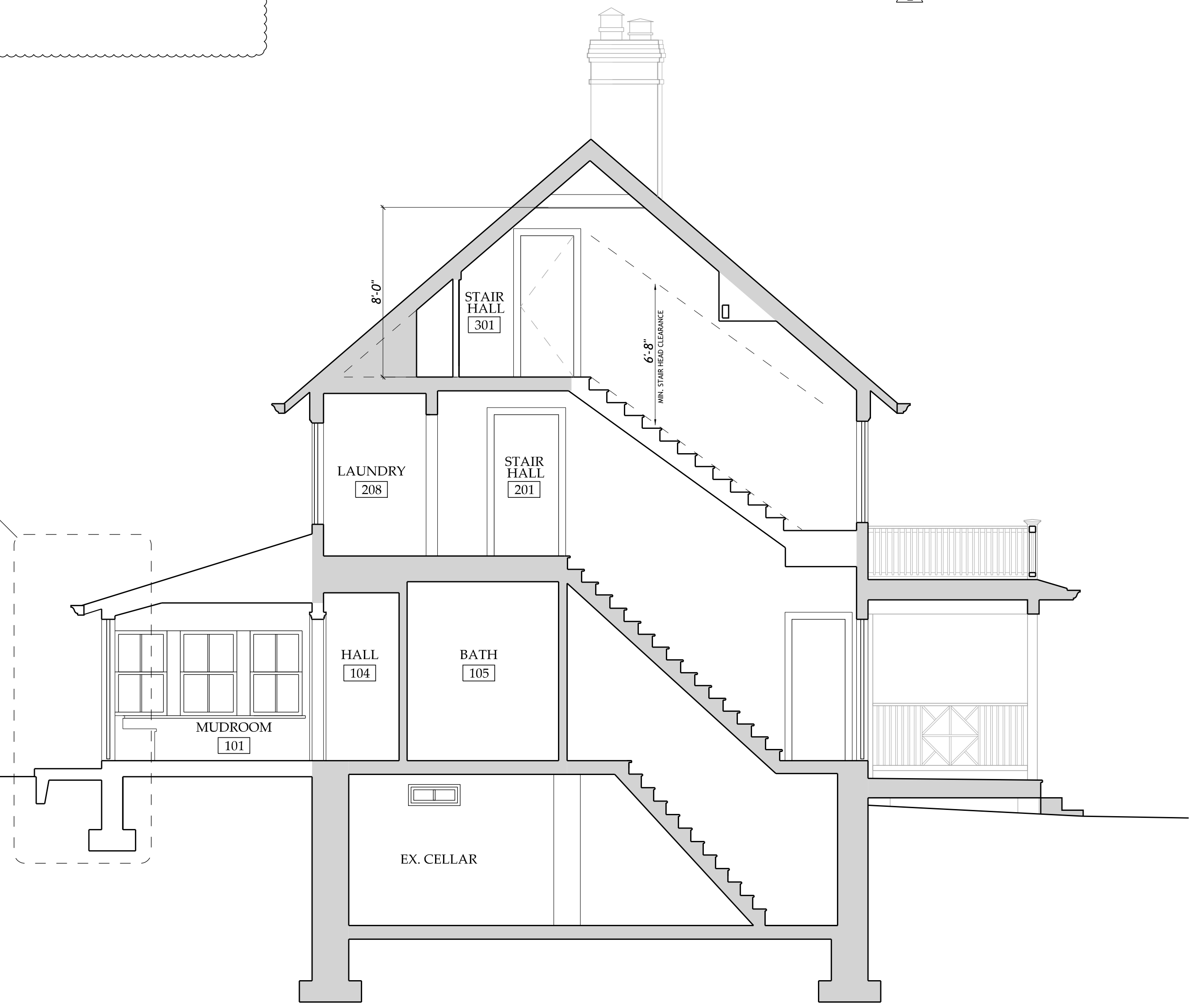
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4 CASEMENT WDW DETAIL
 SCALE: 1 1/2" = 1'-0"

WINDOW MARK D CASEMENT WINDOW IN EXIST. FRAME OPENING (S. ELEV.)
 MARVIN ULTIMATE WOOD OPERABLE CASEMENT WINDOW WINDOW SASH OPENING 2'-7 1/2" x 4'-9 1/4" +/- SIZE TO MATCH EXISTING V.I.F.
 W/ 2W X 2H LIGHT CUT
 W/ 1 1/8" VERTICAL MUNTIN & W/ 1 15/16" HORIZONTAL MUNTIN

WINDOW MARK E CASEMENT WINDOW IN NEW FRAME OPENING (N. ELEV.)
 MARVIN ULTIMATE WOOD OPERABLE CASEMENT WINDOW WINDOW FRAME SIZE 2'-4" x 4"
 W/ 2W X 2H LIGHT CUT
 W/ 1 1/8" VERTICAL MUNTIN & W/ 1 15/16" HORIZONTAL MUNTIN



1 BUILDING SECTION
 SCALE: 1/4" = 1'-0"

STRUCTURAL NOTES

1 GENERAL

A. THE STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:

FLOOR LIVE LOAD	
LIVING AREAS	40 PSF
SLEEPING ROOMS	40 PSF
ATTICS W/ STORAGE	20 PSF
EXTERIOR DECK	40 PSF

SNOW LOAD (GROUND SNOW) 30 PSF

WIND LOAD 115 MPH (ULTIMATE)
90 MPH (SERVICE)

SEISMIC DESIGN CATEGORY B

TERMITE HAZARD MODERATE TO SEVERE

DAMAGE FROM WEATHERING SEVERE

A MINIMUM OF 15 PSF DEAD LOAD WAS ADDED IN THE DESIGN.

B. MECHANICAL UNITS AND ANY OTHER EQUIPMENT WITH WEIGHTS SHOWN IN PLAN AND SUPPORTED BY THE STRUCTURE WERE CONSIDERED IN THE DESIGN OF THE STRUCTURE. ANY ADDITIONAL EQUIPMENT NOT SHOWN ON STRUCTURAL DRAWINGS AND HAVING A WEIGHT IN EXCESS OF 400 POUNDS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

C. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS & ROOF ACTING TOGETHER. CONTRACTOR TO PROVIDE ALL GUYRS, BRACES, STRUTS, ETC. AS REQUIRED TO ACCOMMODATE ALL LIVE, DEAD AND WIND LOADS UNTIL ALL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE.

2 EARTHWORK

A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 1500 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.

B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.

C. COMPACTED BACKFILL BELOW BUILDING SLABS (EXCEPT AT STRUCTURED SLAB AREAS) - ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. MATERIALS TO BE FREE FROM ORGANIC MATERIAL, TRASH, MUCK, CONCRETE, ASPHALT OR OTHER DELETERIOUS SUBSTANCES. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR ORGANIC MATERIALS. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO MIN. 95% OF THE DRY MAX. DENSITY AS DETERMINED BY ASTM D698.

D. STEP NEW FOOTINGS UP OR DOWN SUCH THAT BOTTOM OF FOOTING MATCHES THE EXISTING AT INTERSECTIONS BETWEEN NEW AND EXISTING WALLS. DRILL AND EPOXY GROUT 2#5 BARS X 2'-0" LONG INTO EXISTING FOOTING. PROVIDE MINIMUM 6" EMBEDMENT.

E. RESTRAINED FOUNDATION OR BASEMENT WALLS ARE DESIGNED FOR A LATERAL EARTH PRESSURE OF 60 PCF AND RETAINING WALLS FOR A LATERAL EARTH PRESSURE OF 45 PCF, ASSUMING A PERIMETER DRAINAGE SYSTEM WITH FREE DRAINING SOIL MATERIAL OR DRAINAGE BOARD BEHIND WALL. NOTIFY ENGINEER IF SOIL CONDITIONS DIFFER.

3 DEMOLITION

A. CONTRACTOR SHALL VERIFY THAT EXISTING CONSTRUCTION CORRESPONDS TO THAT SHOWN ON THE DRAWINGS. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

B. PROVIDE ADEQUATE SHORING, BRACING AND OTHER TEMPORARY SUPPORT DURING DEMOLITION. UNTIL PROPERLY SHORED, DO NOT CUT EXISTING STRUCTURAL MEMBER IN A MANNER RESULTING IN A REDUCTION OF LOAD-CARRYING CAPACITY. DO NOT EXCEED THE CAPACITY OF THE EXISTING STRUCTURE WITH SUPERIMPOSED LOADS.

C. IN GENERAL, SELECTIVE STRUCTURAL DEMOLITION IS TO BE PERFORMED WITH PHYSICAL CUTTING ACTION (I.E. SAWING AND GRINDING INSTEAD OF HAMMERING AND CHOPPING). DO NOT USE JACKHAMMERS ON STRUCTURALLY SUPPORTED MEMBERS.

4 CONCRETE

A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTHS (F'c) = 3000 PSI IN 28 DAY.

ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATIONS. CONCRETE EXPOSED TO WEATHER TO BE AIR-ENTRAINED. AIR CONTENT OF 6 +/- 1.5 PERCENT BY VOLUME.

B. ALL REINFORCING STEEL TO MEET ASTM A 615 GRADE 60. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES". FURNISH SUPPORT BARS AND ALL REQUIRED ACCESSORIES IN ACCORDANCE WITH C.R.S.I. STANDARDS. ALL REINFORCING TO BE SPLICED A MINIMUM OF 30 BAR DIAMETERS UNLESS NOTED OTHERWISE.

C. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:

--FOOTINGS (BOTTOM & SIDES)	3"
--WALLS	1-1/2"

D. PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCING IN WALLS AND FOOTINGS. SPLICE LAPS SHALL BE A MINIMUM OF 36 BAR DIAMETERS UNLESS NOTED OTHERWISE. PROVIDE REINFORCING DOWELS BETWEEN FOOTINGS AND WALLS TO MATCH SIZE AND SPACING OF VERTICAL REINFORCING.

5 MASONRY

A. UNLESS NOTED OTHERWISE, PROVIDE 16 INCH LONG BY 24 INCHES HIGH SOLID OR GROUTED BLOCK UNDER BEARING ENDS OF BEAMS, LINTELS, POSTS AND COLUMNS.

B. LINTELS FOR MASONRY WALLS SHALL BE AS FOLLOWS: PROVIDE 1 ANGLE FOR EACH 4" OF WALL THICKNESS AS FOLLOWS:

OPENINGS TO 3'-0":	4" X 3-1/2" X 1/4" - LLV
3'-1" TO 5'-0":	4" X 3-1/2" X 5/16" - LLV
5'-1" TO 6'-6":	5" X 3-1/2" X 5/16" - LLV
OPENINGS GREATER THAN 6'-6":	CONSULT ARCH/ENGR

6 STEEL

A. DETAILING TO BE IN ACCORDANCE WITH AISC STRUCTURAL STEEL DETAILING MANUAL. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

WIDE FLANGE SHAPES AND CHANNELS	A992 - GR50
STEEL PLATES AND ANGLES	A572 GRADE 50
STRUCTURAL RECT (ROUND HSS)	A500 - GR C
BOLTED FIELD CONNECTIONS	3/4"DIA-ASTM A325 BOLTS

B. SUBMIT COMPLETE SHOP AND ERECTION DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR ERECTION.

C. ALL WELDERS SHALL BE CERTIFIED IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY. ALL WELDING ELECTRODES, MACHINES, ETC. SHALL BE COMPATIBLE WITH STEEL BEING WELDED.

D. WELDING OF STRUCTURAL STEEL SHALL BE WITH E70XX ELECTRODES.

E. STEEL PLATE FLITCH BEAMS SHALL BE BOLTED WITH 1/2 INCH DIAMETER THROUGH BOLTS AT 16 INCHES ON CENTER TOP AND BOTTOM WITH THE FIRST SET OF BOLTS 6 INCHES FROM THE END. BOLTS TO BE LOCATED 2 INCHES FROM TOP AND BOTTOM EDGES OF WOOD MEMBERS.

F. FIELD CUTTING OR BURNING OF STRUCTURAL STEEL IS PROHIBITED EXCEPT WHEN APPROVED BY THE ENGINEER OF RECORD.

G. UNLESS NOTED OTHERWISE ALL HSS AND PIPE COLUMNS SHALL BE FULLY CAPPED WITH 1/4 INCH THICK PLATE.

7 WOOD

A. ALL FRAMING LUMBER SHALL BE HEM-FIR, GRADE #2, OR SPRUCE-PINE-FIR, GRADE #1 / #2, OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2x12 MEMBERS):

- BENDING STRESS "Fb" = 850 PSI FOR SINGLE MEMBER USE
- HORIZONTAL SHEAR "Fv" = 135 PSI
- COMPRESSION PERPENDICULAR TO GRAIN "Fc" = 405 PSI
- COMPRESSION PARALLEL TO GRAIN "Fcl" = 1,150 PSI
- MODULUS OF ELASTICITY "E" = 1,300,000 PSI

NOTE: SPRUCE-PINE-FIR (SOUTH) IS NOT ACCEPTABLE. SPRUCE-PINE-FIR MUST BE GRADED BY NLGA.

B. ALL EXPOSED EXTERIOR FRAMING AND FRAMING IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE-TREATED WITH ALKALINE COPPER QUOT (ACQ) OR COPPER AZOLE (CBA-A AND CA-B), NOT SODIUM BORATE (SBX). LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE #2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2x12 LUMBER WITH REDUCTIONS):

- BENDING STRESS "Fb" = 750 PSI FOR SINGLE MEMBER USE
- HORIZONTAL SHEAR "Fv" = 175 PSI
- COMPRESSION PERPENDICULAR TO GRAIN "Fc" = 565 PSI
- COMPRESSION PARALLEL TO GRAIN "Fcl" = 1,250 PSI
- MODULUS OF ELASTICITY "E" = 1,400,000 PSI

C. PLYWOOD LAMINATED VENEER LUMBER (LVL OR MICROLAM) BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

- BENDING STRESS "Fb" = 2600 PSI
- HORIZONTAL SHEAR "Fv" = 285 PSI
- MODULUS OF ELASTICITY "E" = 2,000,000 PSI
- BEARING STRESS "FFRP" = 780 PSI

D. ALL WALL STUDS SHALL BE SPF STUD GRADE OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2x6 MEMBERS):

- COMPRESSION PARALLEL TO GRAIN "Fcl" = 725 PSI
- BENDING STRESS "Fb" = 675 PSI FOR SINGLE USE MEMBERS
- MODULUS OF ELASTICITY "E" = 1,200,000 PSI

F. UNLESS NOTED OTHERWISE, FASTENING FOR STRUCTURAL MEMBERS SHALL FOLLOW INTERNATIONAL RESIDENTIAL CODE REQUIREMENTS. FASTENERS AND CONNECTORS UTILIZED WITH PRESSURE-TREATED LUMBER (PT) SHALL MEET G185 HOT-DIPPED GALVANIZING.

G. WHERE STEEL BEAMS ARE PARALLEL TO JOISTS INSTALL BLOCKING AT 4 FEET ON CENTER ALONG LENGTH OF BEAM.

H. INSTALL BLOCKING BETWEEN ALL JOIST BAYS AT BEARING OVER DROPPED BEAMS AND WALLS WITHOUT BAND BOARDS.

I. PREFABRICATED JOIST HANGERS, BEAM HANGERS, POST CAPS AND POST BASES SHALL BE SIZED AND ATTACHED PER MANUFACTURER'S RECOMMENDATION. FASTENERS AND CONNECTORS UTILIZED WITH PRESSURE-TREATED MEMBERS SHALL MEET G185 HOT-DIPPED GALVANIZING.

J. PREFABRICATED STEEL HANGERS SHALL BE INSTALLED AS FOLLOWS:

1. ALL JOISTS, RAFTERS, AND BEAMS FLUSH SUPPORTED TO OTHER FRAMING SHALL HAVE PREFABRICATED JOIST/BEAM HANGERS.

2. HANGERS SHALL BE SIZED IN ACCORDANCE WITH MANUFACTURER'S CATALOGUE FOR THE JOIST/BEAM TYPE, NUMBER OF PLYS, DEPTH, AND WIDTH.

3. WHERE HANGER LOADS ARE NOTED ON THE DRAWINGS, HANGERS SHALL BE SIZED TO CARRY THE LOAD VALUE.

4. PROVIDE SPECIAL SLOPED AND/OR SKEWED HANGERS FOR SLOPED AND SKEWED MEMBERS.

K. ANCHOR BOLTS CONNECTING PRESSURE-TREATED WOOD PLATES TO MASONRY OR CONCRETE SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.

L. ALL HEADERS SHALL HAVE A MINIMUM OF TWO STUDS AT EACH END UNLESS NOTED. BUILT-UP STUD COLUMNS SHALL HAVE ONE JACK STUD AND THE REMAINING STUDS SHALL BE KING STUDS.

M. MULTIPLE STUDS OF BUILT-UP STUD COLUMNS SHALL BE NAILED WITH 12d NAILS AT 8 INCHES O.C. PROVIDE SOLID BLOCKING OR CRIPPLE STUDS IN FLOOR SYSTEM AT ALL POINT LOADS ABOVE.

N. ALL FREESTANDING POSTS SHALL HAVE PREFAB POSTCAP AND BASE. POSTS WITHIN WALLS SHALL HAVE PREFAB CAP ATTACHED TO BEAM. POSTS BEARING ON MASONRY OR CONCRETE SHALL HAVE PREFAB BASE.

O. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED 1/3 OF STUD WIDTH.

P. ALL STUD BEARING WALLS TO BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND 1 CONTINUOUS BOTTOM PLATE WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF FOUR FEET.

Q. ALL ROOF RAFTERS AND TRUSSES SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR. EACH ANCHOR SHALL BE 18 GAGE MINIMUM THICK AND SHALL BE ATTACHED TO HAVE A CAPACITY TO RESIST A 450# UPLIFT LOADING UNLESS SHOWN OTHERWISE ON DRAWINGS.

8 SHEATHING

A. FLOOR SHEATHING SHALL BE 23/32 (3/4) INCH APA RATED STURD-I-FLOOR, TONGUE AND GROOVE. PLYWOOD PANELS SHALL HAVE LONG DIMENSION ORIENTED ACROSS THREE OR MORE JOISTS AND SHALL BE FASTENED WITH CONSTRUCTION ADHESIVE AND 10d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOCKED.

B. EXTERIOR WALL SHEATHING SHALL BE 7/16 (1/2) INCH THICK APA RATED WOOD STRUCTURAL PANELS. FASTEN PANELS TO STUDS WITH 8d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. PANEL EDGES NEED NOT BE BLOCKED UNLESS NOTED OTHERWISE.

D. ROOF SHEATHING SHALL BE 19/32 (5/8) INCH APA RATED WOOD PANELS WITH SPAN RATING OF 24/0 OR BETTER. FASTEN PANELS TO FRAMING WITH 10d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. ORIENT LONG DIMENSION OF PANELS ACROSS THREE OR MORE SUPPORTS. EDGES NEED NOT BE BLOCKED, UNLESS OTHERWISE NOTED.

9 MISCELLANEOUS

D. ALL WOOD BLOCKING, NAILERS, ETC. SHALL BE ATTACHED TO STEEL FRAMING WITH POWER ACTUATED FASTENERS OR 1/2 INCH DIAMETER BOLTS UNLESS NOTED OTHERWISE. FASTENERS SHALL BE SPACED AT 24 INCHES MAXIMUM O.C. FASTENERS SHALL HAVE A MINIMUM CAPACITY OF 100 POUNDS IN SHEAR AND PULLOUT UNLESS NOTED OTHERWISE.

10 POST INSTALLED ANCHORS IN CONCRETE AND MASONRY

A. GENERAL

INSTALL ANCHORS IN STRICT CONFORMANCE WITH THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS AND PROCEDURES. ALL POST-INSTALLED ANCHORS IN CONCRETE SHALL HAVE ICC APPROVAL FOR USE IN CRACKED CONCRETE.

PROVIDE STAINLESS STEEL FASTENERS FOR EXTERIOR USE OR WHEN PERMANENTLY EXPOSED TO WEATHER. PROVIDE GALVANIZED CARBON STEEL ANCHORS AT OTHER LOCATIONS, UNLESS OTHERWISE NOTED.

B. PRODUCTS

ANCHORS IN CONCRETE:

--EXPANSION ANCHORS SHALL BE HILTI KWIK BOLT T22.

--SCREW ANCHORS SHALL BE HILTI KWIK HUS EZ.

--ADHESIVE ANCHORS SHALL BE HILTI HIT-HY 200 SAFE SET SYSTEM WITH HILTI HIT-Z ROD OR WITH HILTI HOLLOW DRILL BIT SYSTEM WITH HAS-E THREADED ROD.

ANCHORS IN MASONRY:

--EXPANSION ANCHORS SHALL BE HILTI KWIK BOLT T22. GROUT MASONRY CELLS SOLID WITH 2000 PSI GROUT AT ANCHOR LOCATIONS.

--SCREW ANCHORS SHALL BE HILTI KWIK HUS EZ. GROUT MASONRY CELLS SOLID WITH 2000 PSI GROUT AT ANCHOR LOCATIONS.

--ADHESIVE ANCHORS IN SOLID MASONRY SHALL BE HILTI HIT-HY-270 ADHESIVE ANCHORING SYSTEM. STEEL ANCHOR ELEMENT SHALL BE HILTI HAS-E CONTINUOUSLY THREADED ROD OR HILTI HIS-N INTERNALLY THREADED INSERT.

--ADHESIVE ANCHORS IN HOLLOW OR MULTI-WYTHE MASONRY SHALL BE HILTI HIT-HY 270 ADHESIVE ANCHORING SYSTEM. STEEL ANCHOR ELEMENT SHALL BE HILTI HAS-E CONTINUOUSLY THREADED ROD OR HILTI HIT-IC INTERNALLY THREADED INSERT. THE APPROPRIATE SIZE SCREEN TUBE SHALL BE USED PER THE ADHESIVE MANUFACTURER'S RECOMMENDATION.

ANCHOR CAPACITY IS DEPENDENT UPON SPACING BETWEEN ADJACENT ANCHORS AND PROXIMITY OF ANCHOR TO EDGE OF CONCRETE OR MASONRY. INSTALL ANCHORS IN ACCORDANCE WITH SPACING AND EDGE DISTANCE INDICATED ON THE DRAWINGS; IF NOT SHOWN, COMPLY WITH MINIMUM SPACING AND EDGE DISTANCE FOR FULL ANCHOR CAPACITY, AS SPECIFIED BY THE MANUFACTURER.

WARNING: THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS OR ARE SUPERVISED BY THE STRUCTURAL ENGINEERS DURING CONSTRUCTION.

ABBREVIATIONS LEGEND			
A	ANCHOR BOLT	K	KIP(S)
AB	ABOVE	KO	KNOCK-OUT
ADJ	ADJACENT	KSI	KIPS PER SQ. INCH
ADDL	ADDITIONAL		
ALT	ALTERNATE	L	LINTEL MARK/STEEL ANGLE
APPROX	APPROXIMATE(LY)	LLH	LONG LEG HORIZONTAL
ARCH	ARCHITECT(URAL)	LLV	LONG LEG VERTICAL
		LL	LIVE LOAD
		LP	LOW POINT
B	BEAM MARK, SOIL BORING MARK	LSH	LONG SIDE HORIZONTAL
BF	BOTTOM OF FOOTING ELEVATION	LSV	LONG SIDE VERTICAL
	BRACED FRAME MARK	LVL	LAMINATED VENEER LUMBER/LEVEL
BLKG	BLOCKING		
BLDG	BUILDING	M	MANUF
BLW	BELOW	MAS	MANUFACTURER(ED)
BM	BEAM	MAX	MASONRY
BOD	BOTTOM OF DECK	MECH	MECHANICAL
BOS	BOTTOM OF STEEL	MEP	MECHANICAL, ELECTRICAL, PLUMBING
BOTT	BOTTOM	MIN	MINIMUM
BP	BEARING PLATE MARK	MISC	MISCELLANEOUS
BRG	BEARING	MO	MASONRY OPENING
BSMT	BASEMENT	MATL	MATERIAL
BTWN	BETWEEN	MTL	METAL
C	COLUMN MARK	N	NOT TO SCALE
CIP	CAST IN PLACE	NTS	NOT TO SCALE
CJ	CONTROL/CONSTRUCTION JOINT	NS	NEAR SIDE
CJP	COMPLETE JOINT PENETRATION WELD	NIC	NOT IN CONTRACT
CL	CENTER LINE/COLUMN LINE		
CLR	CLEAR(ANCE)	O	ON CENTER(S)
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER(S)
COL	COLUMN	OPNG	OPENING
COM	CENTER OF MASONRY WALL	OPP	OPPOSITE
COMP	COMPOSITE	OF	OUTSIDE FACE
CONC	CONCRETE		
CONN	CONNECTION	P	PIER MARK
CONST	CONSTRUCTION	PAF	POWDER ACTUATED FASTENER
CONT	CONTINUOUS	PC	PRECAST CONCRETE
COORD	COORDINATE(ION)	PDF	POWER DRIVEN FASTENER
COS	CENTER OF STUD	PEB	PRE-ENGINEERED BUILDING
		PERIM	PERIMETER
D	DEFORMED BAR ANCHORS	PL	PLATE
DBA	DETAILED	PLF	POUNDS PER LINEAR FOOT
DTL	DETAIL	PLUM	PLUMBING
DIAM	DIAMETER	PP	PRECAST PLANK MARK
DIAG	DIAGONAL	PROJ	PROJECTION
DIM	DIMENSION	PSF	POUNDS PER SQ. FOOT
DN	DOWN	PSI	POUNDS PER SQ. INCH
DWG	DRAWING	PSL	PARALLEL STRAND LUMBER COLUMN
DBL	DOUBLE	PT	POST TENSION(ED)/PRESSURE TREATED
DL	DEAD LOAD		
E	EACH	Q	QUANTITY
EA	EACH END	QTY	QUANTITY
EE	EACH FACE		
EEL	ELEVATION	R	RADIUS
EL	ELECTRICAL	RAD	RADIUS
ELEC	ELECTRICAL	RD	ROOF DRAIN
ELEV	ELEVATOR	REV	REVISION, REVISE(D)
EOD	EDGE OF DECK	REINF	REINFORCE(ED), (ING)
EOJ	EDGE OF JOIST	REM	REMAINDER
EOS	EDGE OF SLAB	REQD	REQUIRED
EQ	EQUAL	RTU	ROOF TOP UNIT
EQUIP	EQUIPMENT		
ES	EACH SIDE	S	STRAP BEAM, SLAB BEAM
EXTR	EXISTING TO REMAIN	SB	SLIP CRITICAL
EW	EACH WAY	SC	SCHEDULE
EXIST, EX	EXISTING	SCHED	SCHEDULE(D)
EXP	EXPANSION	SE	SPECIALTY DESIGN ENGINEER
EXT	EXTERIOR	SIM	SIMILAR
F	FOOTING MARK	SJI	STEEL JOIST INSTITUTE
FD	FLOOR DRAIN	SOG	SLAB ON GRADE
FDN	FOUNDATION	SO	SQUARE
FIN	FINISH	STD	STANDARD
FLR	FLOOR	STL	STEEL
FOB	FACE OF BUILDING	STRUCT	STRUCTURAL
FOM	FACE OF MASONRY WALL	SPA	SPACES
FOS	FACE OF STUD	SL	SNOW LOAD
FRT	FIRE RETARDANT TREATED	SS	STAINLESS STEEL
FS	FOOTING STEP/FAR SIDE		
FTG	FOOTING	T	TEMPORARY
FUT	FUTURE	TF	TOP OF FOOTING ELEVATION
		T/GB	TOP OF GRADE BEAM
G	GAGE, GAUGE	THK	THICKNESS, (ENED)
GA	GAGE, GAUGE	TJI	WOOD I JOIST
GALV	GALVANIZED	T/O	THROUGH OUT
GB	GRADE BEAM	TOC	TOP OF CONCRETE
GC	GENERAL CONTRACT(OR)	TP	TOP OF PIER ELEVATION
GT	GIRDER TRUSS	TOS	TOP OF STEEL ELEVATION
		TOW	TOP OF WALL ELEVATION
H	HORIZONTAL	TYP	TYPICAL
HORIZ	HORIZONTAL	U	UNEXCAVATED
HP	HIGH POINT	UNO	UNLESS NOTED OTHERWISE
HS	HIGH STRENGTH	UMD	UNDERSIDE METAL DECK ELEVATION
HSS	HOLLOW STRUCTURAL SECTION	V	VERTICAL
HT	HEIGHT	VIF	VERIFY IN FIELD
HTR	HIP TRUSS	W	WITH
I	INFORMATION	WF	WIND FRAME
INFO	INSIDE FACE	WP	WORK POINT
IF	INSIDE FACE	WWF	WELDED WIRE FABRIC
J	JOIST BEARING ELEVATION		
JBE	JOIST BEARING ELEVATION		
JST	JOIST		
JT	JOINT		
JTR	JACK TRUSS		

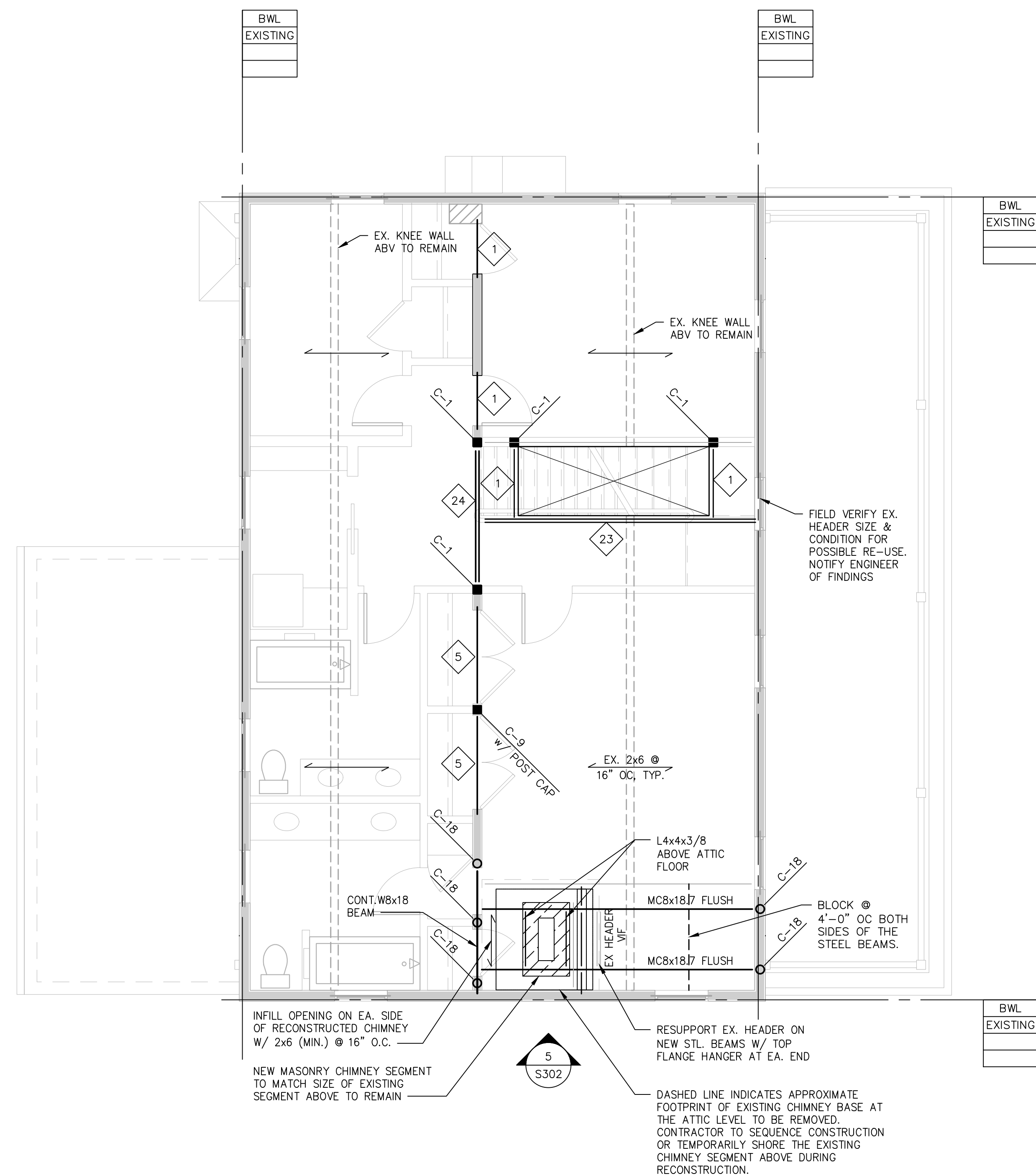
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RENOVATION OF ADDITION THE
CLAYTON/WATKISS RESIDENCE
24227 HAWKINS LANDING DRIVE GATHERSBURG, MD, 20882

21.18

</

J:\163 Main Architect\2163016.00.V-Clayton-Watkiss Res-Gathersburg, MD\2-Drawing\Clayton-Watkiss Res-Gathersburg, MD_P\ANSI 2024.dwg | Printed on 11/26/2024 4:46 PM | By Jorge Rosales



ATTIC FRAMING PLAN

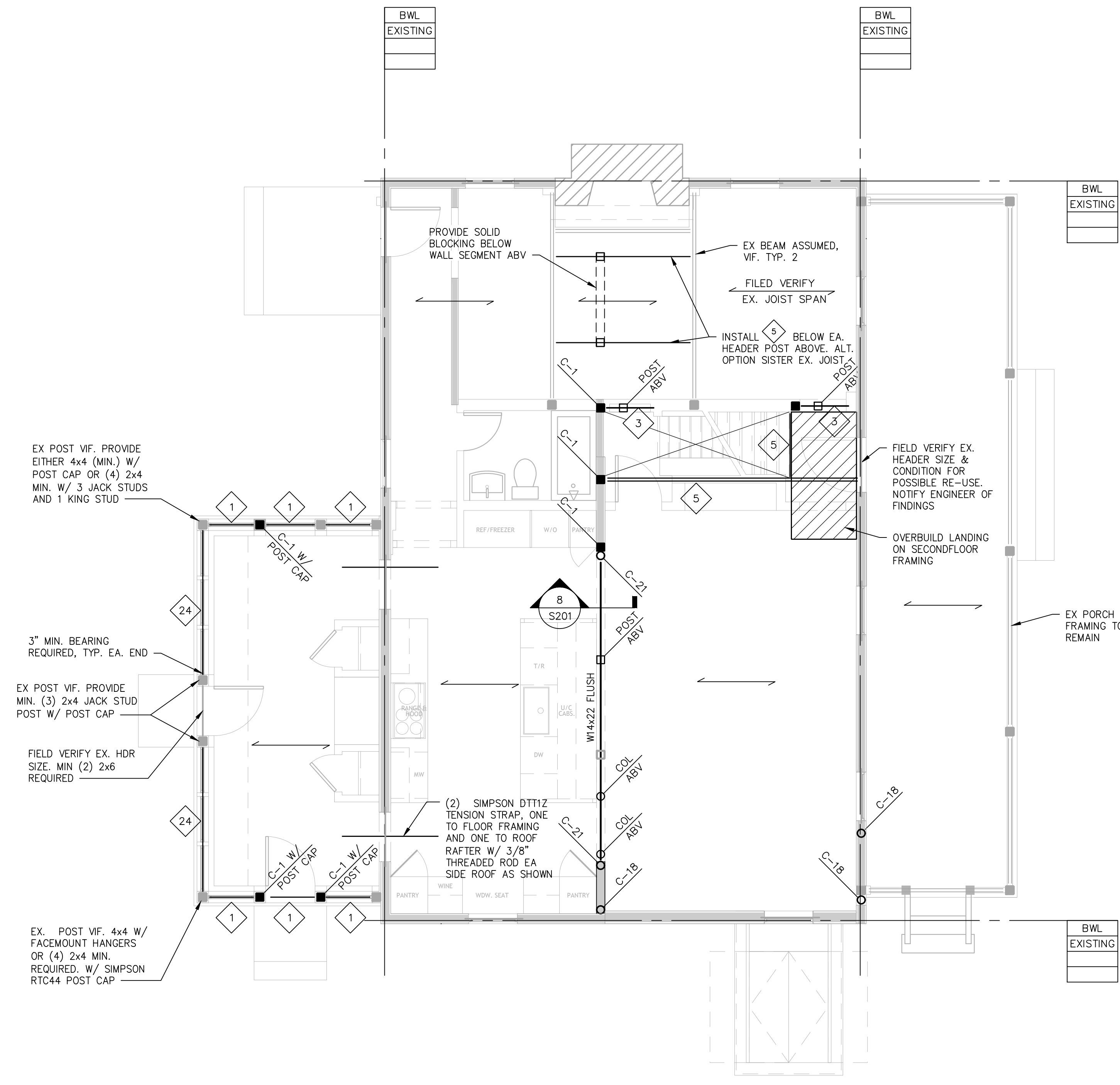
SCALE: 1/4" = 1'-0"

NOTES:

1. DENOTES WOOD BEARING WALL. BEARING WALL CONSTRUCTION SHALL BE 2x4 STUDS SPACED AT 16" O.C. U.N.O.
2. DENOTES EXISTING WOOD BEARING WALL.
3. DENOTES WOOD HEADERS/BEAMS. C-X DENOTES COLUMNS SEE SCHEDULES

REVIEWED
By Laura DiPasquale, M-NCPPC at 8:14 am, Dec 31, 2024

APPROVED
Montgomery County
Historic Preservation Commission



SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. DENOTES WOOD BEARING WALL. BEARING WALL CONSTRUCTION SHALL BE 2x4 STUDS SPACED AT 16" O.C. U.N.O.
2. DENOTES EXISTING WOOD BEARING WALL.
3. DENOTES WOOD HEADERS/BEAMS. C-X DENOTES COLUMNS SEE SCHEDULES

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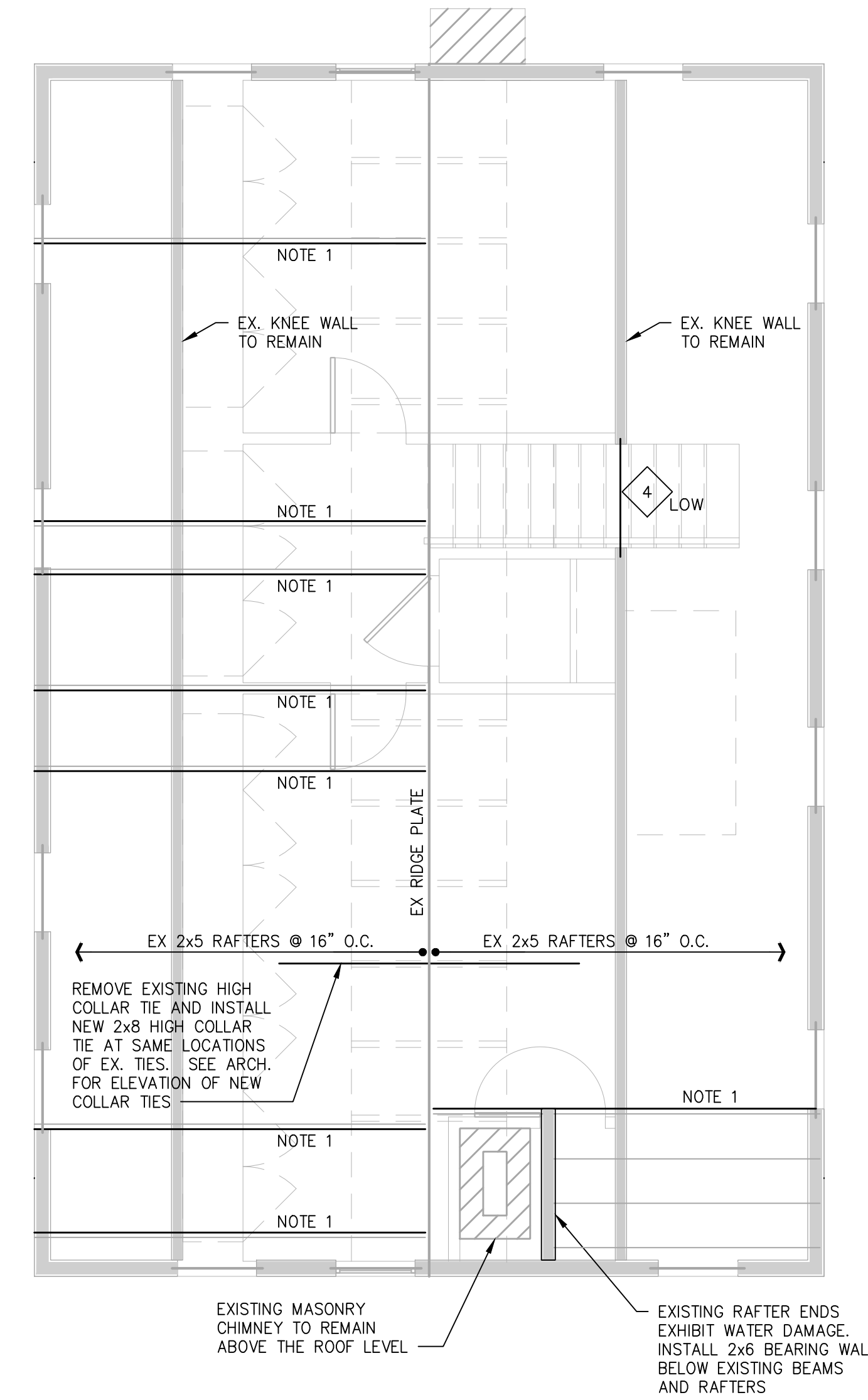
RENOVATION OF ADDITION THE
CLAYTON/WATKISS RESIDENCE
24227 HAWKINS LANDING DRIVE GATHERSBURG, MD, 20882

21.18
PERMIT SET
11/26/2024

FIRST AND SECOND FLOOR
FRAMING PLANS
SCALE: AS NOTED

SHEET NO.
S101

J:\63 - Misc Architect\2163016.00.V-Clayton-Watkiss Res-Gathersburg, MD\2-Drawing\Clayton-Watkiss Res-Gathersburg, MD_PLANS 2024.dwg | Printed on 11/26/2024 4:46 PM | By Jorge Rosales



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. INDICATES APPROXIMATE LOCATION OF OBSERVED JOIST WITH SEVERE TERMITE DAMAGE. SISTER EXISTING JOISTS WHERE INDICATED PER TYPICAL DETAIL 7/S301.

REVIEWED
By Laura DiPasquale, M-NCPPC at 8:14 am, Dec 31, 2024

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RENOVATION OF ADDITION THE
CLAYTON/WATKISS RESIDENCE

24227 HAWKINS LANDING DRIVE GATHERSBURG, MD, 20882

21.18

PERMIT SET
11/26/2024

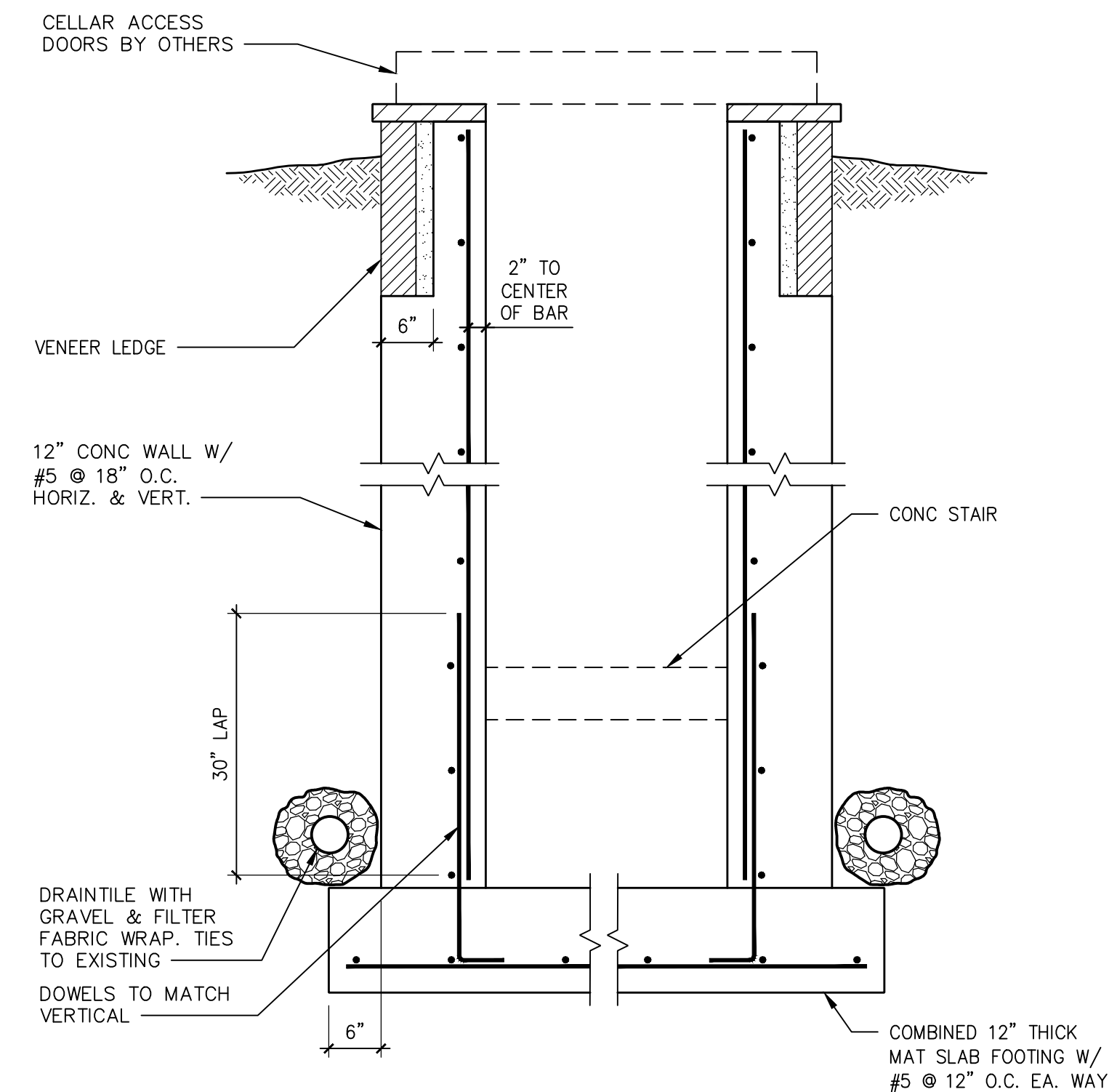
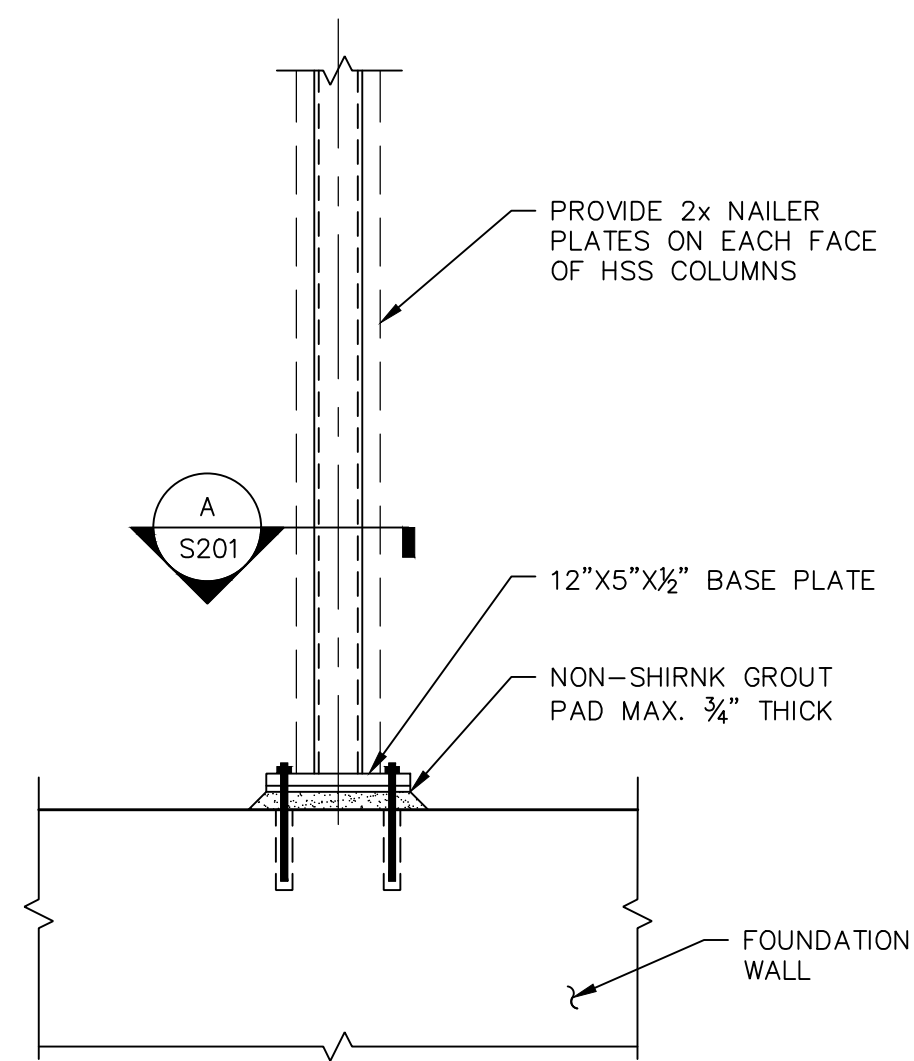
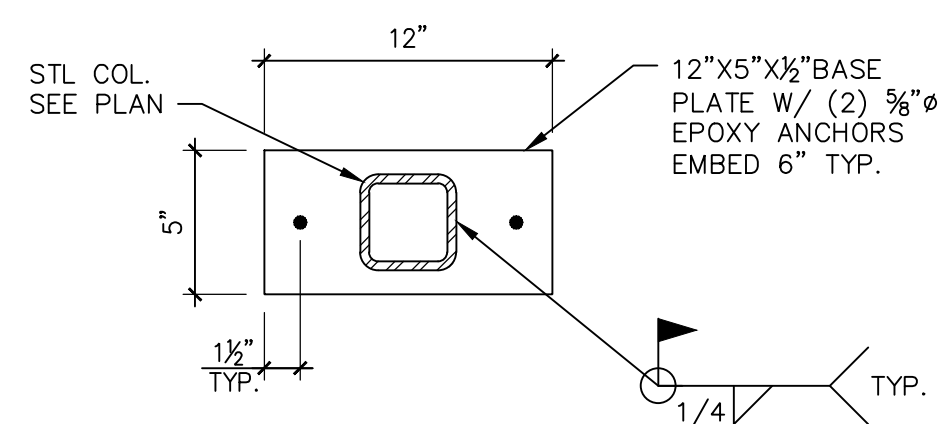
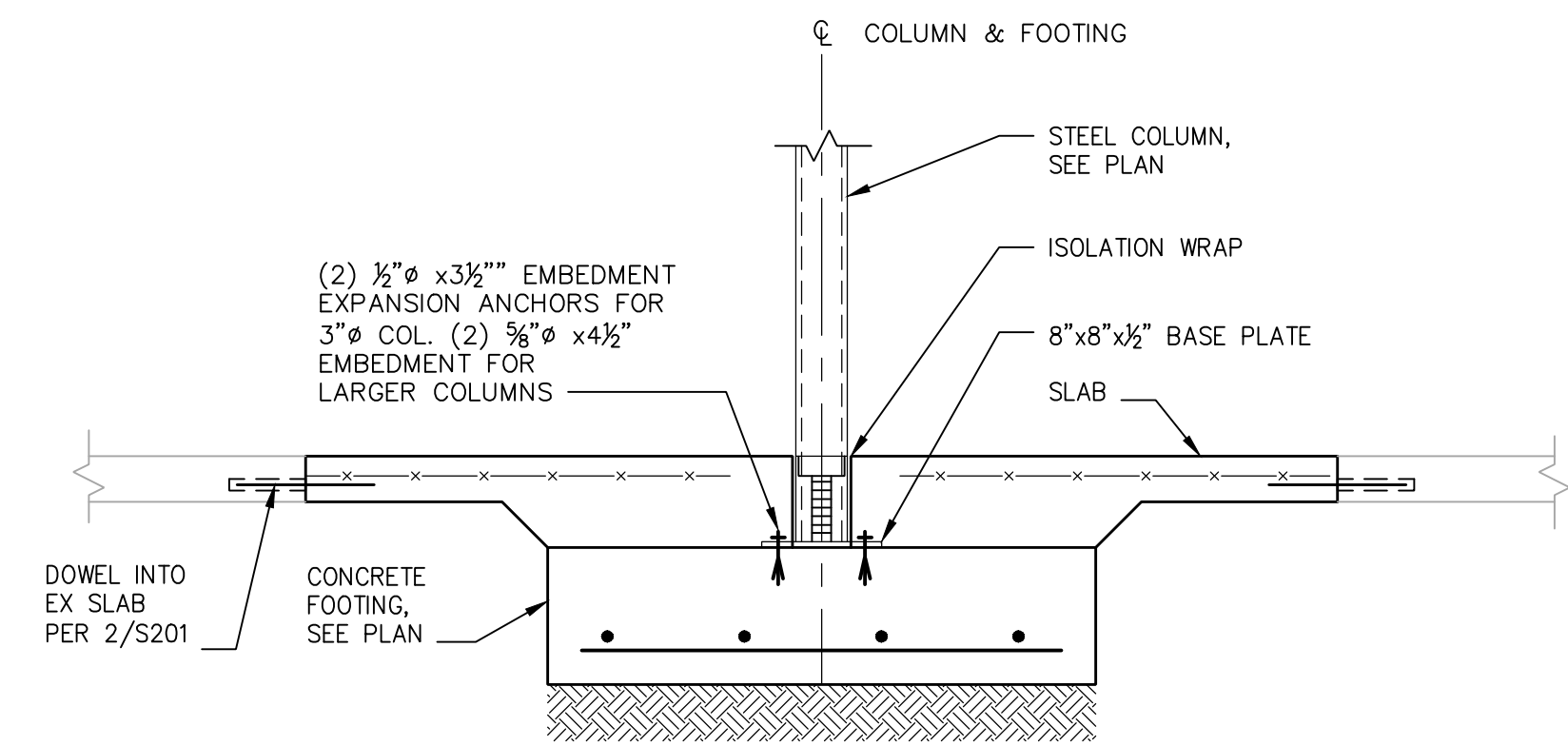
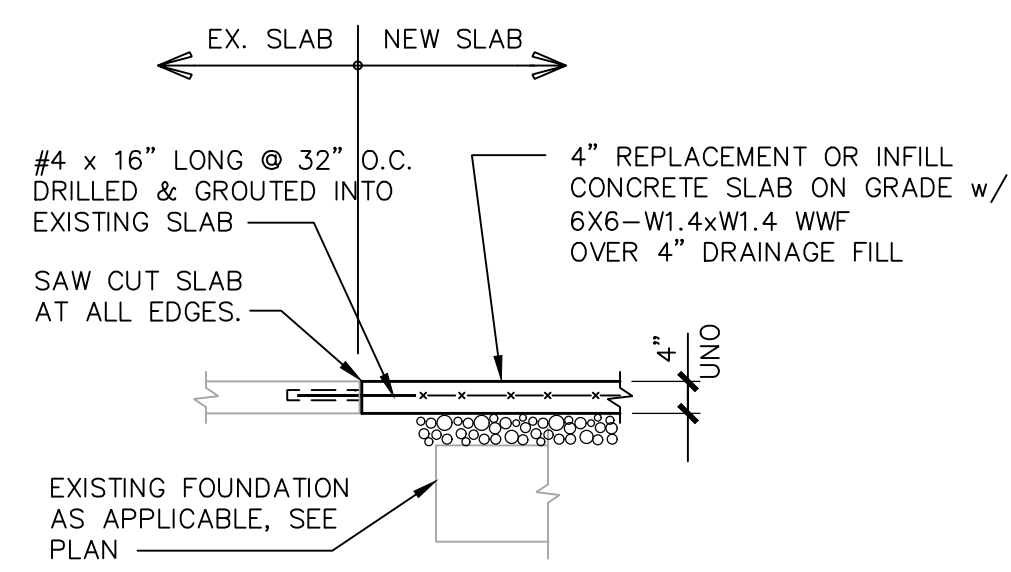
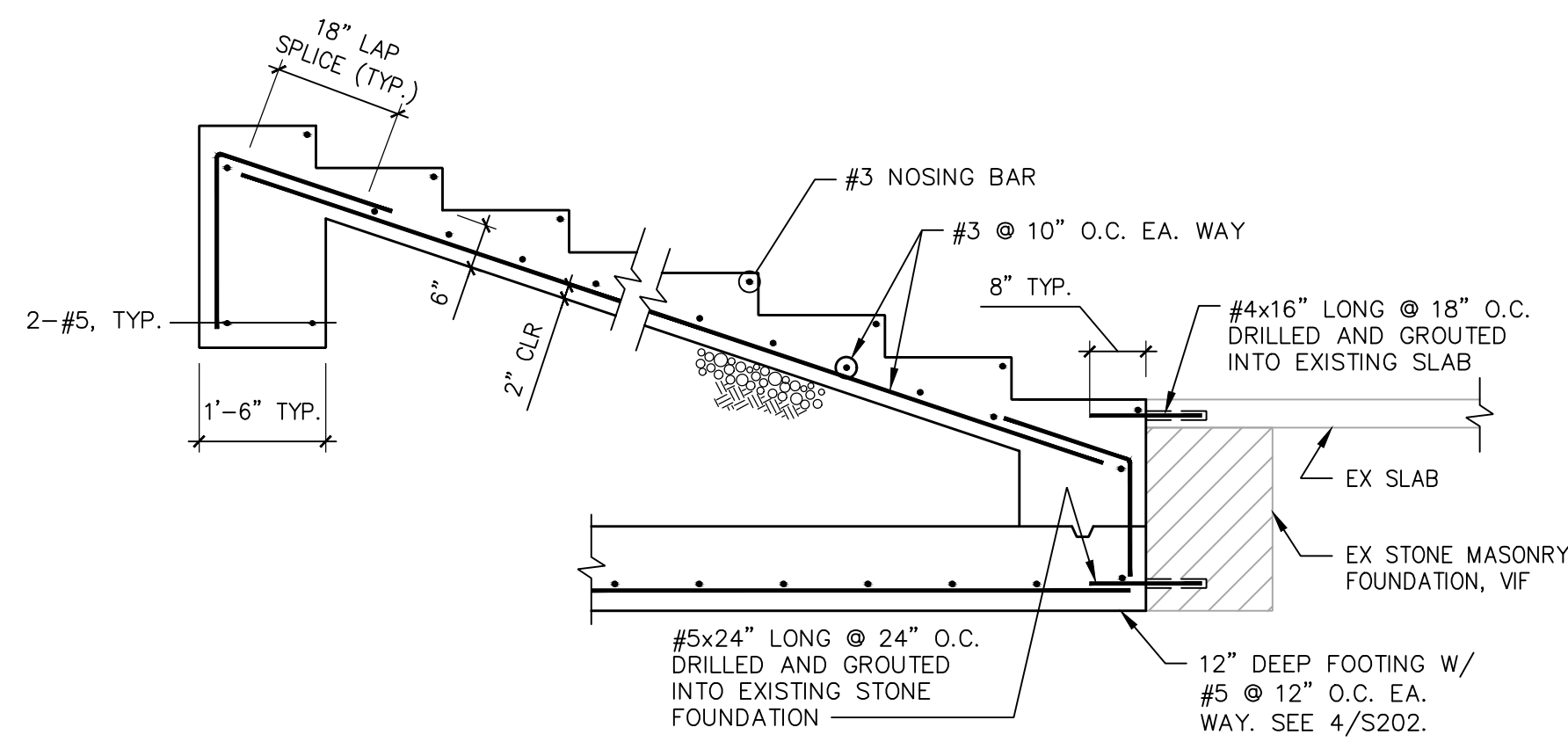
FIRST AND SECOND FLOOR
FRAMING PLANS

SCALE: AS NOTED

SHEET NO.

S102

EB#2163016.00.V



SECTION A
SCALE: 3/4" = 1'-0"

SECTION 5
SCALE: 3/4" = 1'-0"

SECTION 4
SCALE: 3/4" = 1'-0"

REVIEWED
By Laura DiPasquale, M-NCPPC at 8:14 am, Dec 31, 2024

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RENOVATION OF ADDITION THE
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24227 HAWKINS LANDING DRIVE GATHERSBURG, MD, 20882

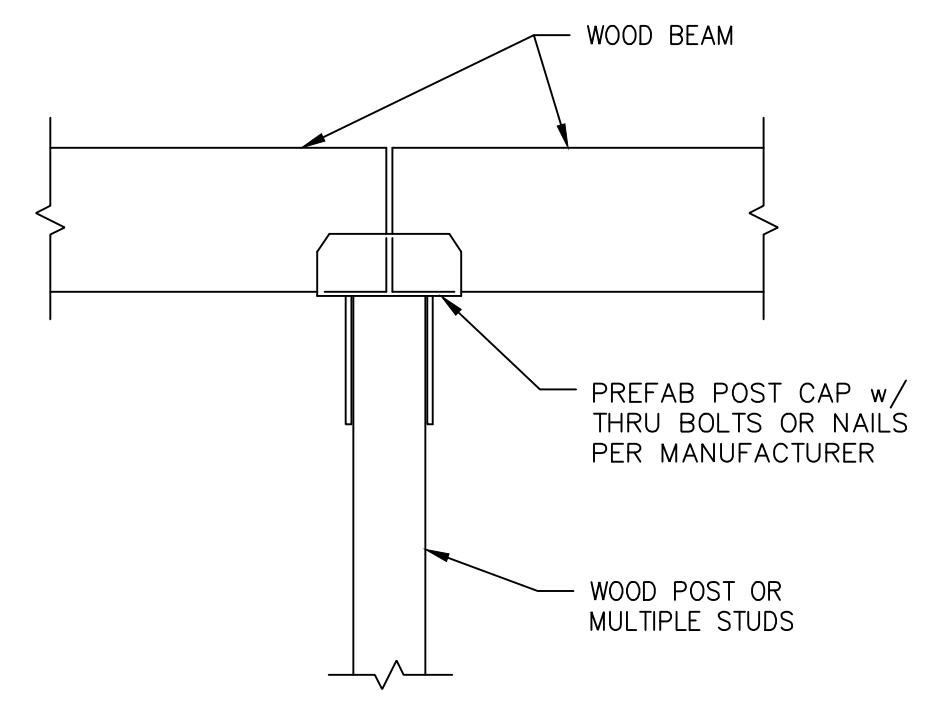
21.18
PROGRESS SET
2024 OCTOBER 16

FOUNDATION SECTIONS
SCALE: AS NOTED

SHEET NO.
S201

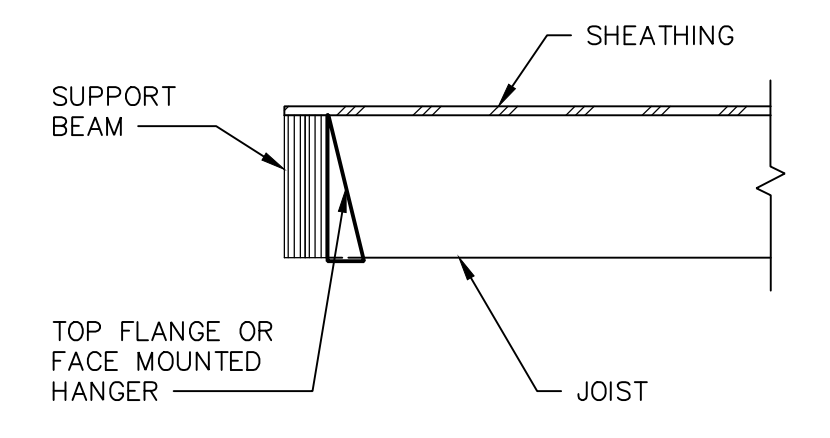
COLUMN SCHEDULE	
C-1	2-2x4
C-2	2-2x6
C-3	3-2x4
C-4	3-2x6
C-5	4-2x4
C-6	4-2x6
C-7	5-2x4
C-8	5-2x6
C-9	4x4 POST
C-10	4x6 POST
C-11	6x6 POST
C-12	3"Ø ADJUSTABLE STEEL COLUMN
C-13	3"Ø STANDARD STEEL PIPE
C-14	3 1/2"Ø STANDARD STEEL PIPE
C-15	4"Ø STANDARD STEEL PIPE
C-16	3 1/4" x 5 1/4" 1.8E PSL POST
C-17	5 1/4" x 5 1/4" 1.8E PSL POST
C-18	HSS 3x3x1/4
C-19	HSS 4x4x1/4
C-20	HSS 5x5x1/4
C-21	HSS 3 1/2"x3 1/2"x1/4"

HEADER SCHEDULE	
1	2-2x6
2	3-2x6
3	2-2x8
4	3-2x8
5	2-2x10
6	3-2x10
7	2-2x12
8	3-2x12
9	2-1 3/4"x7 1/4" LVL
10	2-1 3/4"x9 1/4" LVL
11	2-1 3/4"x11 1/4" LVL
12	2-1 3/4"x14" LVL
13	2-1 3/4"x16" LVL
14	2-1 3/4"x18" LVL
15	3-1 3/4"x7 1/4" LVL
16	3-1 3/4"x9 1/4" LVL
17	3-1 3/4"x11 1/4" LVL
18	3-1 3/4"x14" LVL
19	3-1 3/4"x16" LVL
20	3-1 3/4"x18" LVL
21	2-1 3/4"x9 1/4" LVL w/ 3/8"x9" STL PLATE
22	2-1 3/4"x11 1/4" LVL w/ 5/8"x11" STL PLATE
23	3-1 3/4"x5 1/2" LVL
24	2-1 3/4"x5 1/2" LVL w/ 1/4"x5" STL PLATE



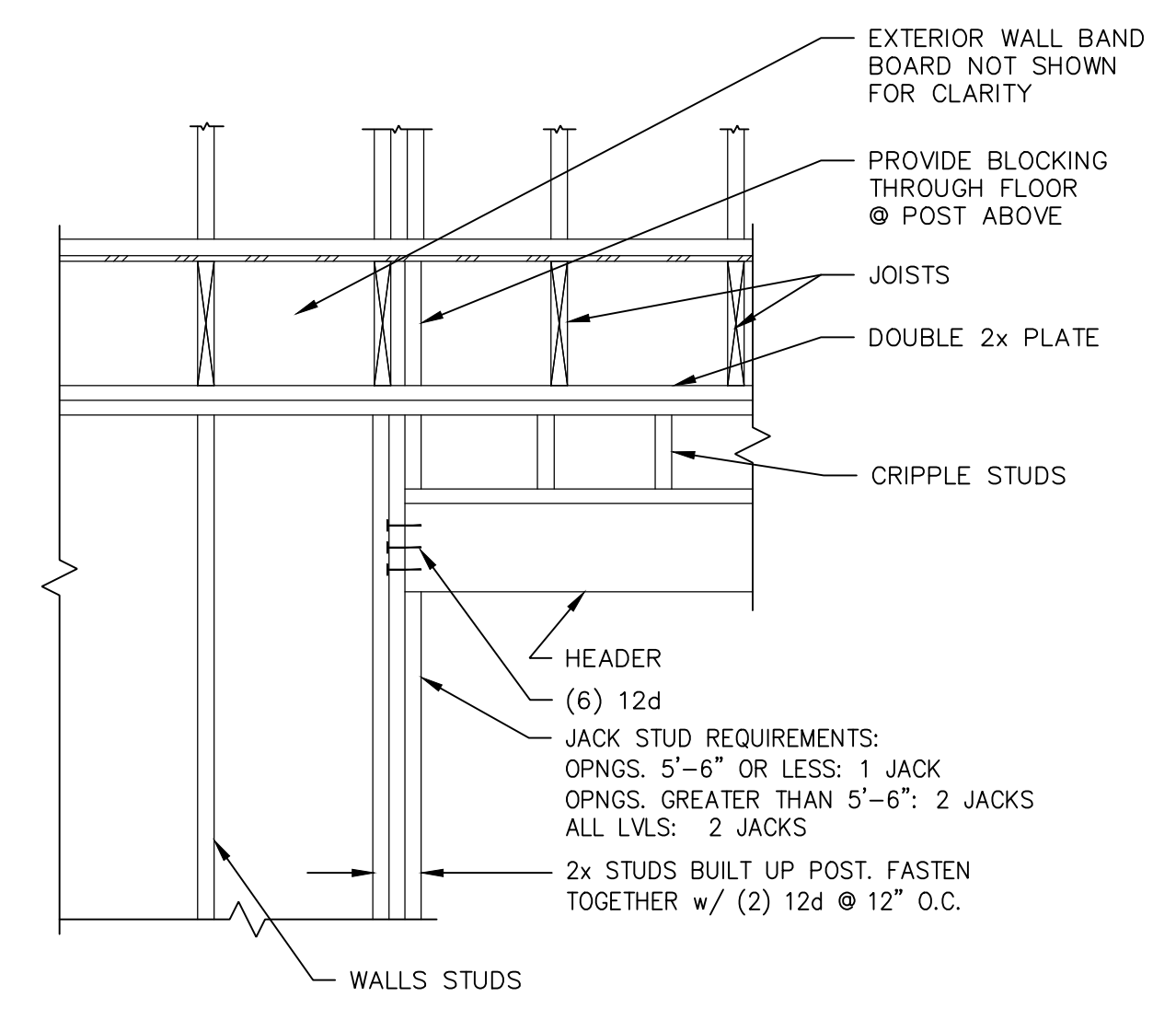
TYPICAL WOOD BEAM TO WOOD POST CONNECTION

SECTION 3
 SCALE: 3/4" = 1'-0"
 S301



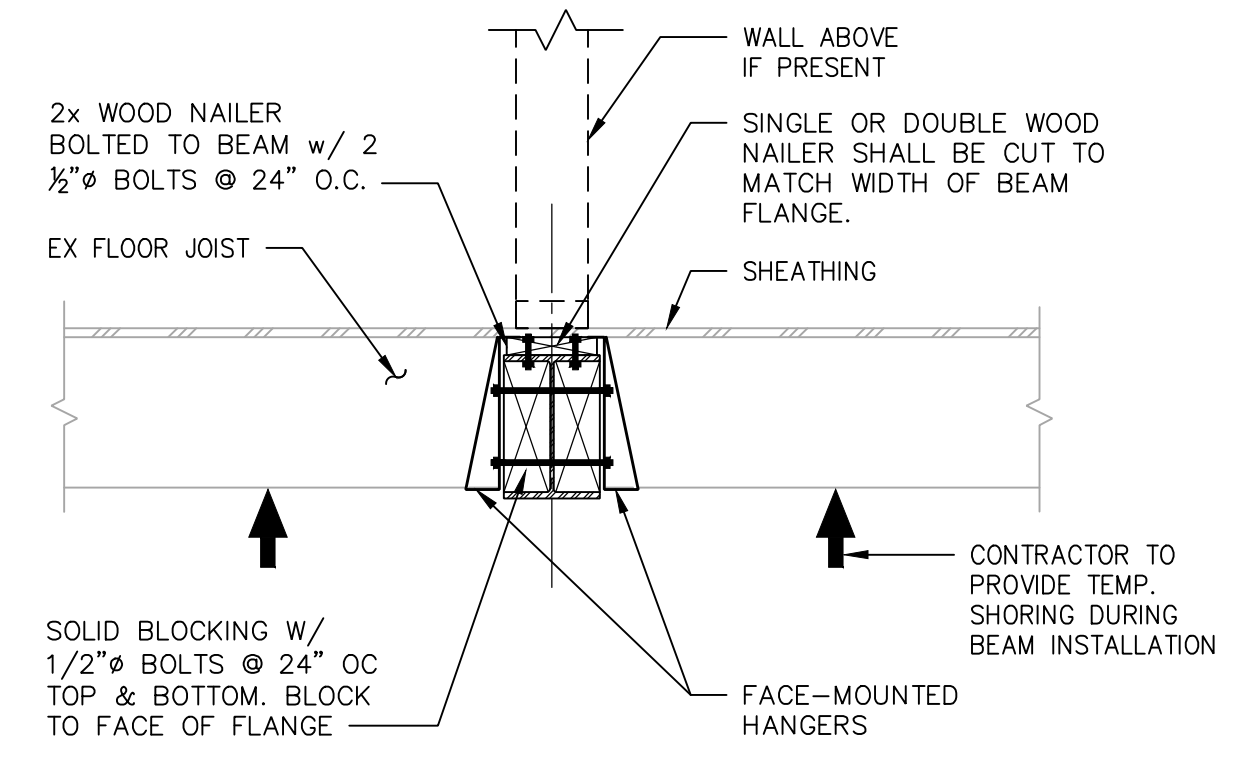
TYPICAL JOIST TO FLUSH BEAM

SECTION 2
 SCALE: 3/4" = 1'-0"
 S301



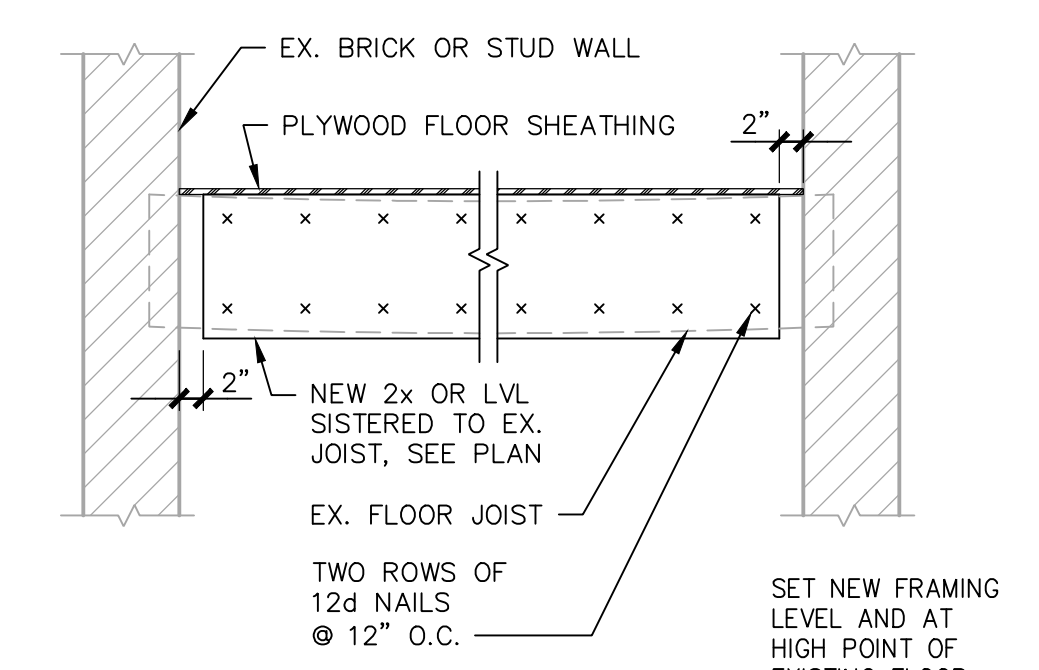
TYPICAL DROPPED HEADER AT OPENING

SECTION 1
 SCALE: 3/4" = 1'-0"
 S301



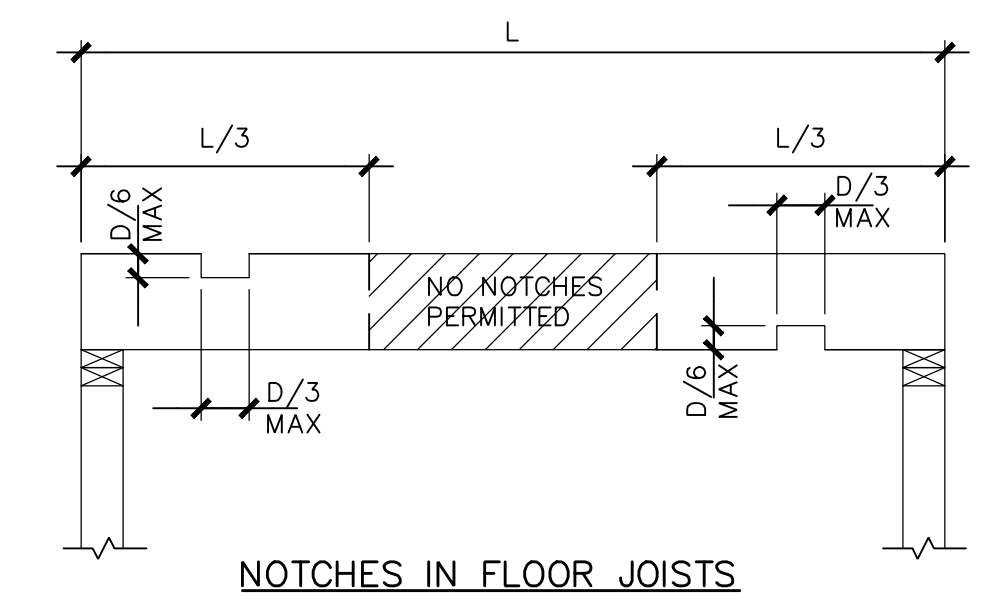
TYPICAL JOIST TO FLUSH STEEL BEAM CONNECTION

SECTION 8
 SCALE: 3/4" = 1'-0"
 S301

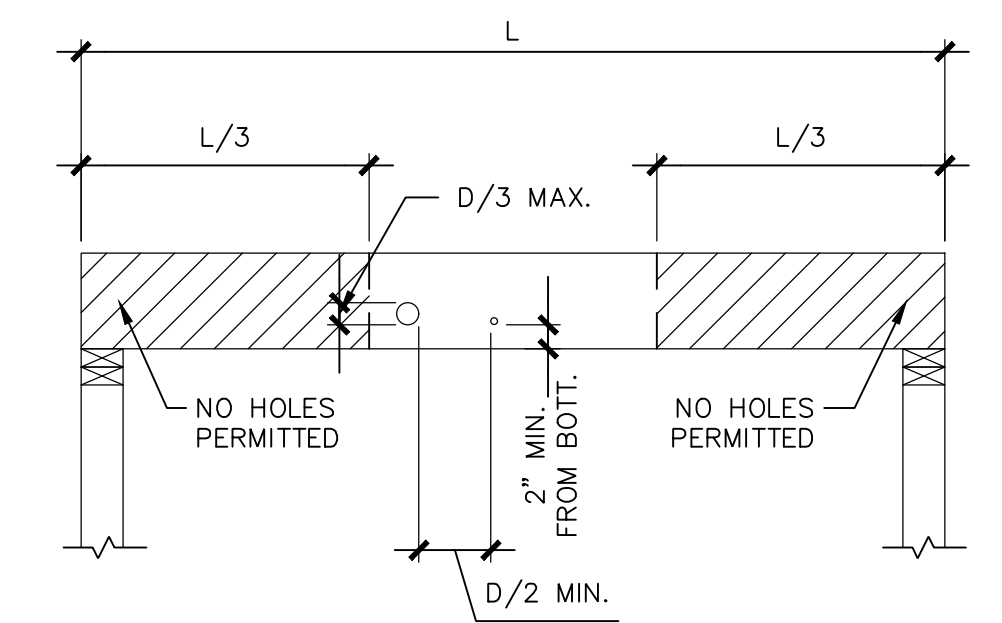


TYPICAL FLOOR STRENGTHENING / STRAIGHTENING

SECTION 7
 SCALE: 3/4" = 1'-0"
 S301

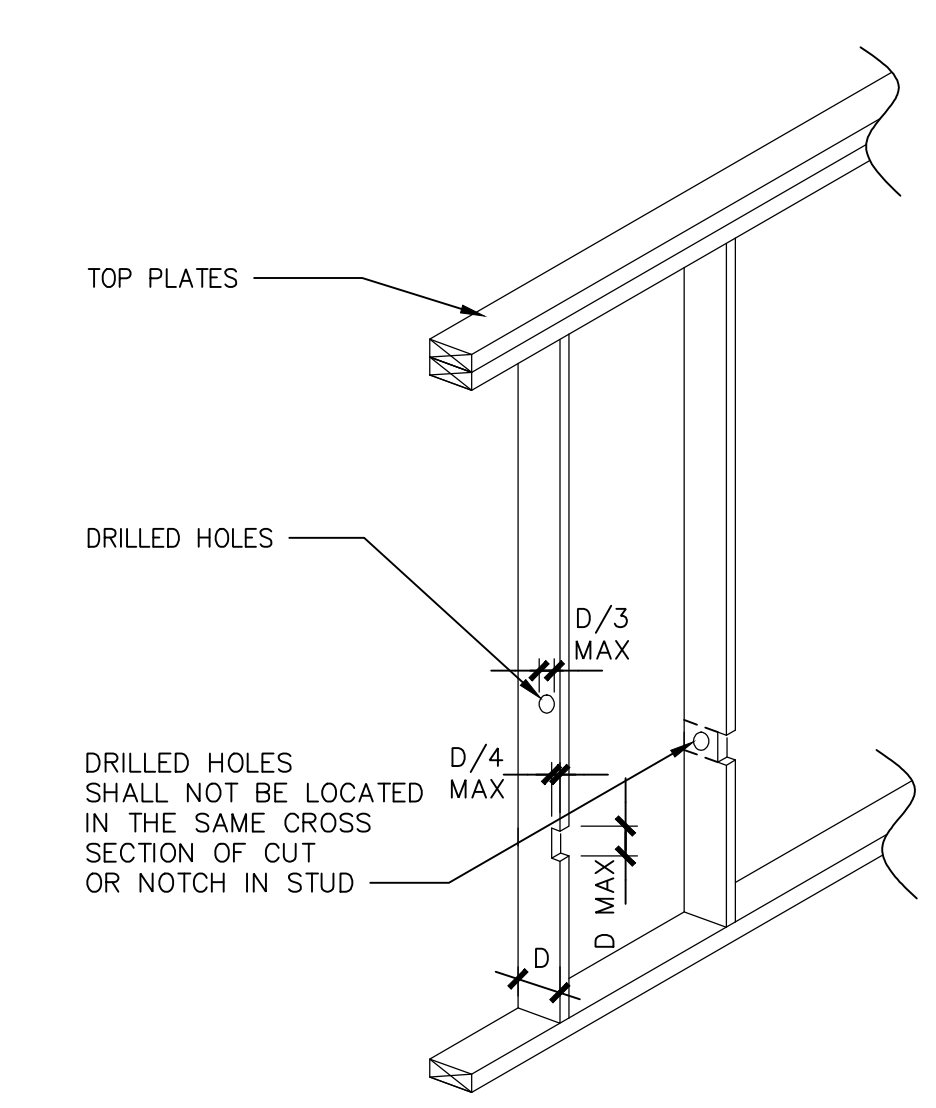


NOTCHES IN FLOOR JOISTS



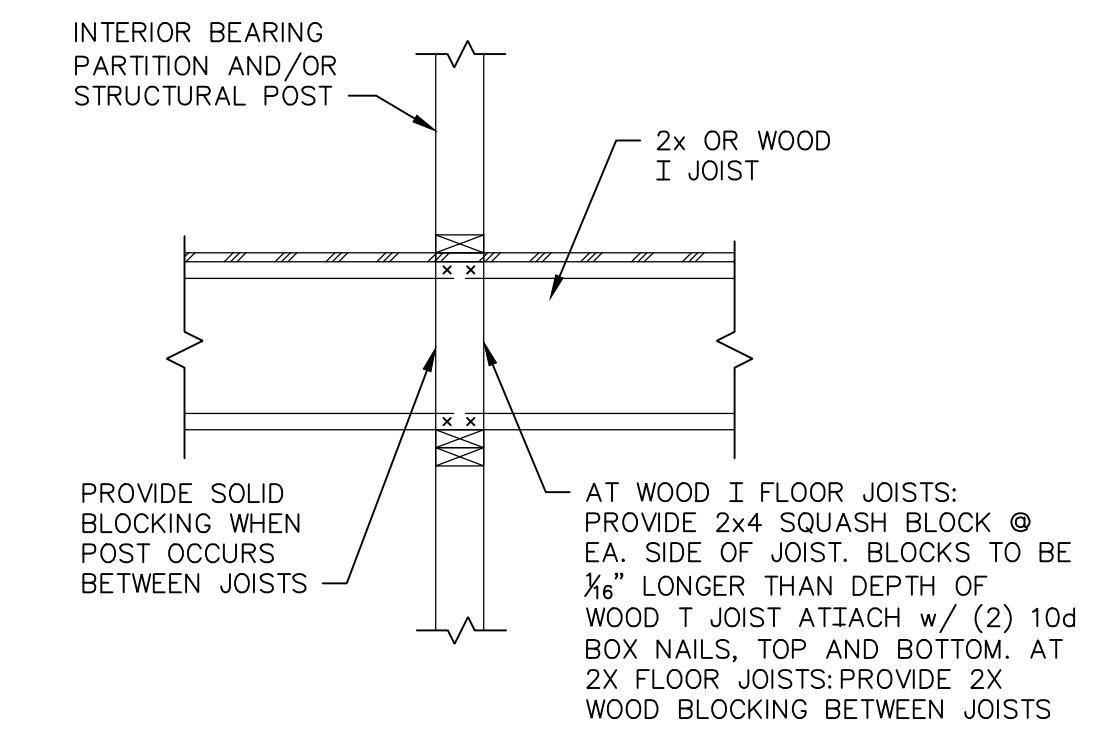
HOLES THROUGH FLOOR JOISTS

SECTION 6
 SCALE: 3/4" = 1'-0"
 S301



NOTCHES AND HOLES IN EXTERIOR AND BEARING WALL

SECTION 5
 SCALE: 3/4" = 1'-0"
 S301



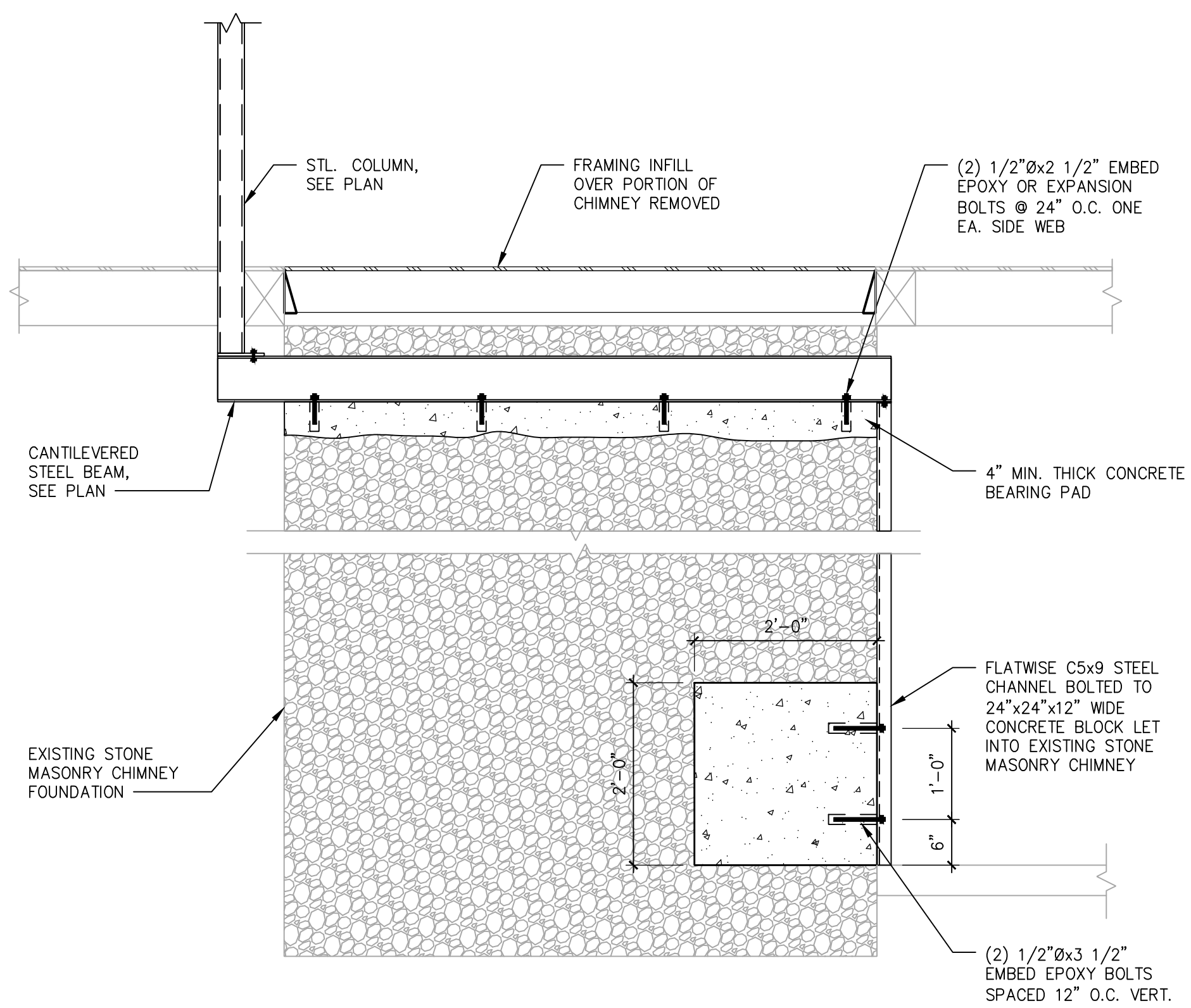
TYPICAL INTERIOR BEARING WALL

SECTION 4
 SCALE: 3/4" = 1'-0"
 S301

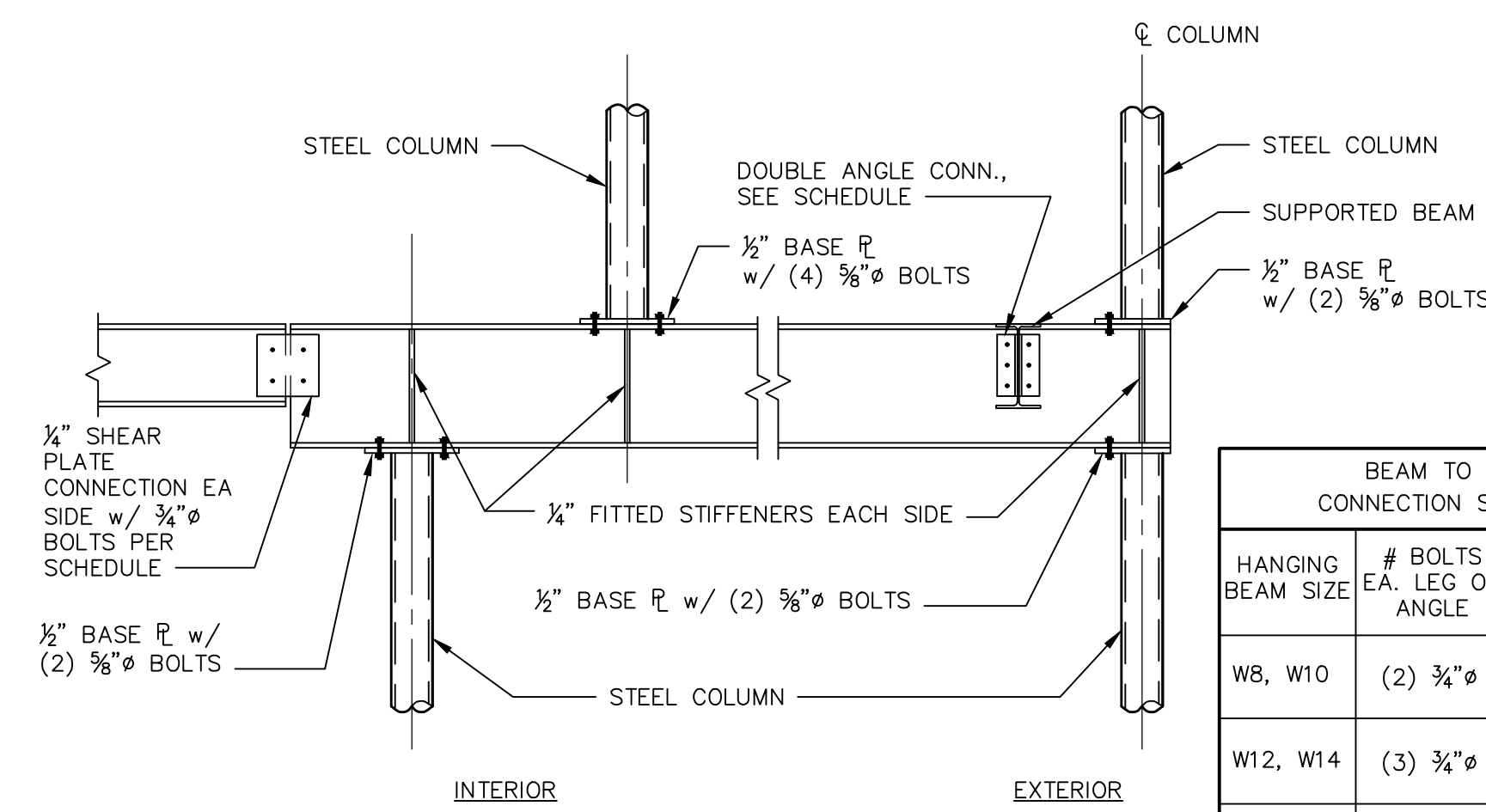
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 By Laura DiPasquale, M-NCPPC at 8:14 am, Dec 31, 2024

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SECTION 3
 SCALE: N.T.S.

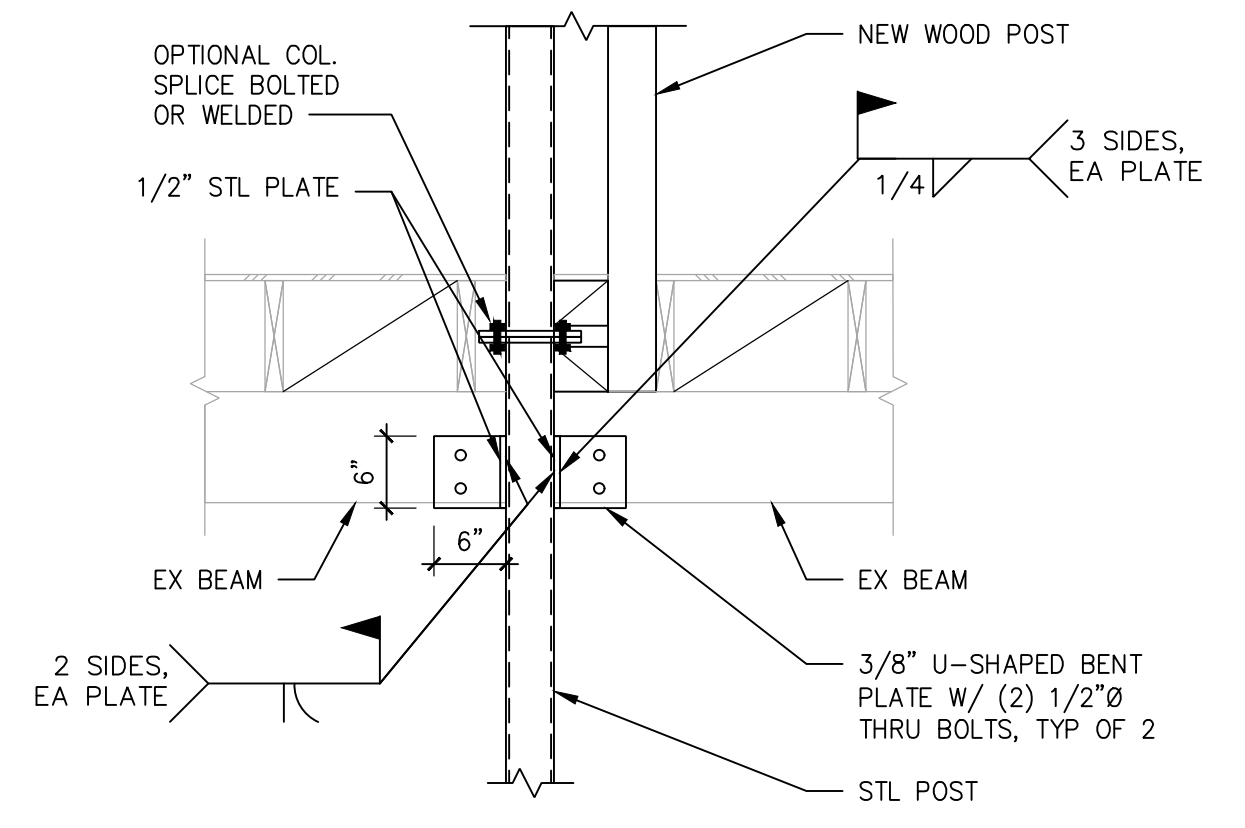


BEAM TO BEAM CONNECTION SCHEDULE		
HANGING BEAM SIZE	# BOLTS EA. LEG OR ANGLE	MAX. SERVICE REACTION
W8, W10	(2) 3/4"Ø	18k
W12, W14	(3) 3/4"Ø	27k
W16	(4) 3/4"Ø	37k

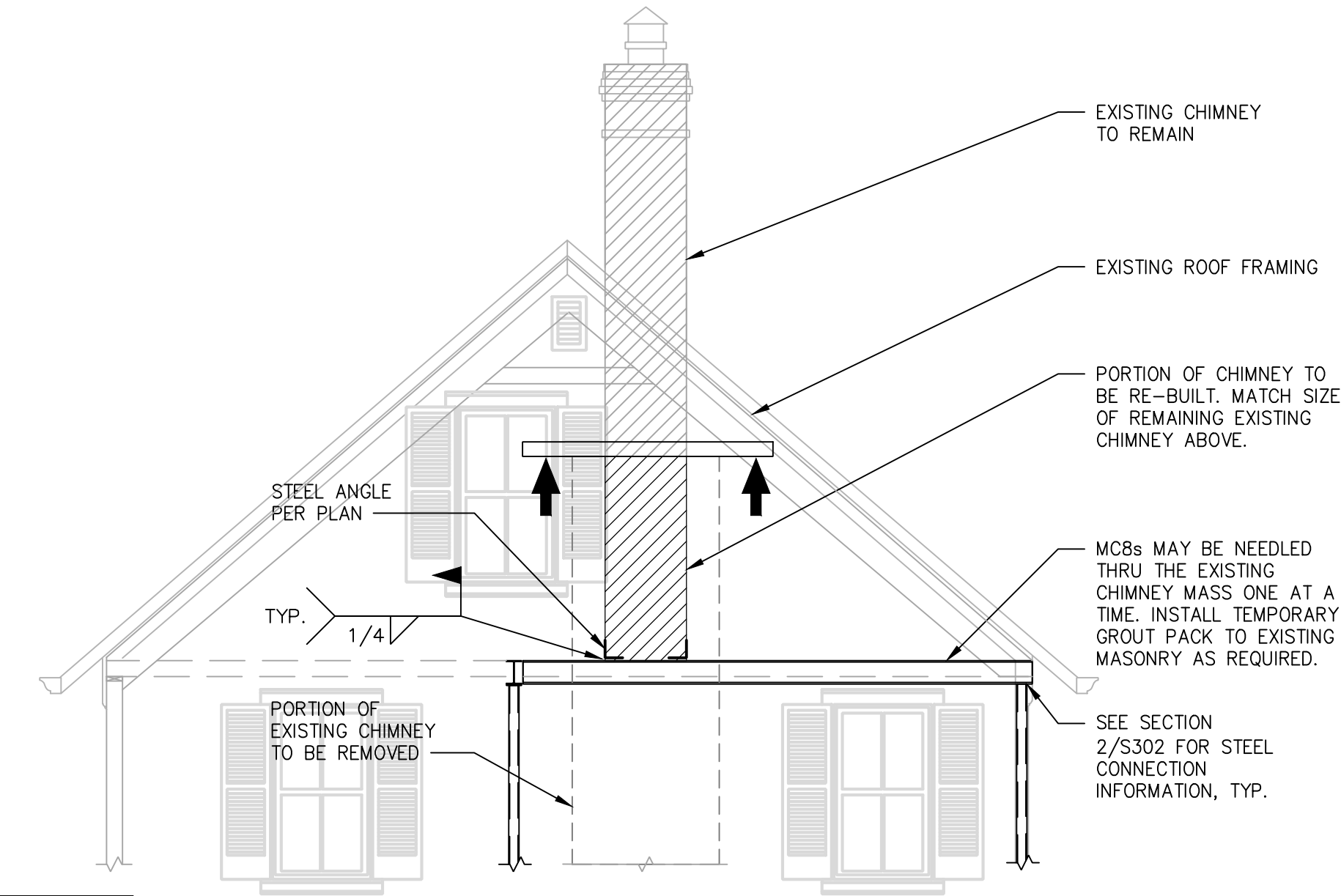
ALL 3/4"Ø BOLTS TO BE ASTM A325
 ANGLE TO BE 3/8" THICK

TYPICAL BEAM TO COLUMN CONNECTIONS
 NOTE: 3/8"Ø BASE & CAP PLATE BOLTS TO BE A307

SECTION 2
 SCALE: 1/2" = 1'-0"



SECTION 1
 SCALE: 3/4" = 1'-0"

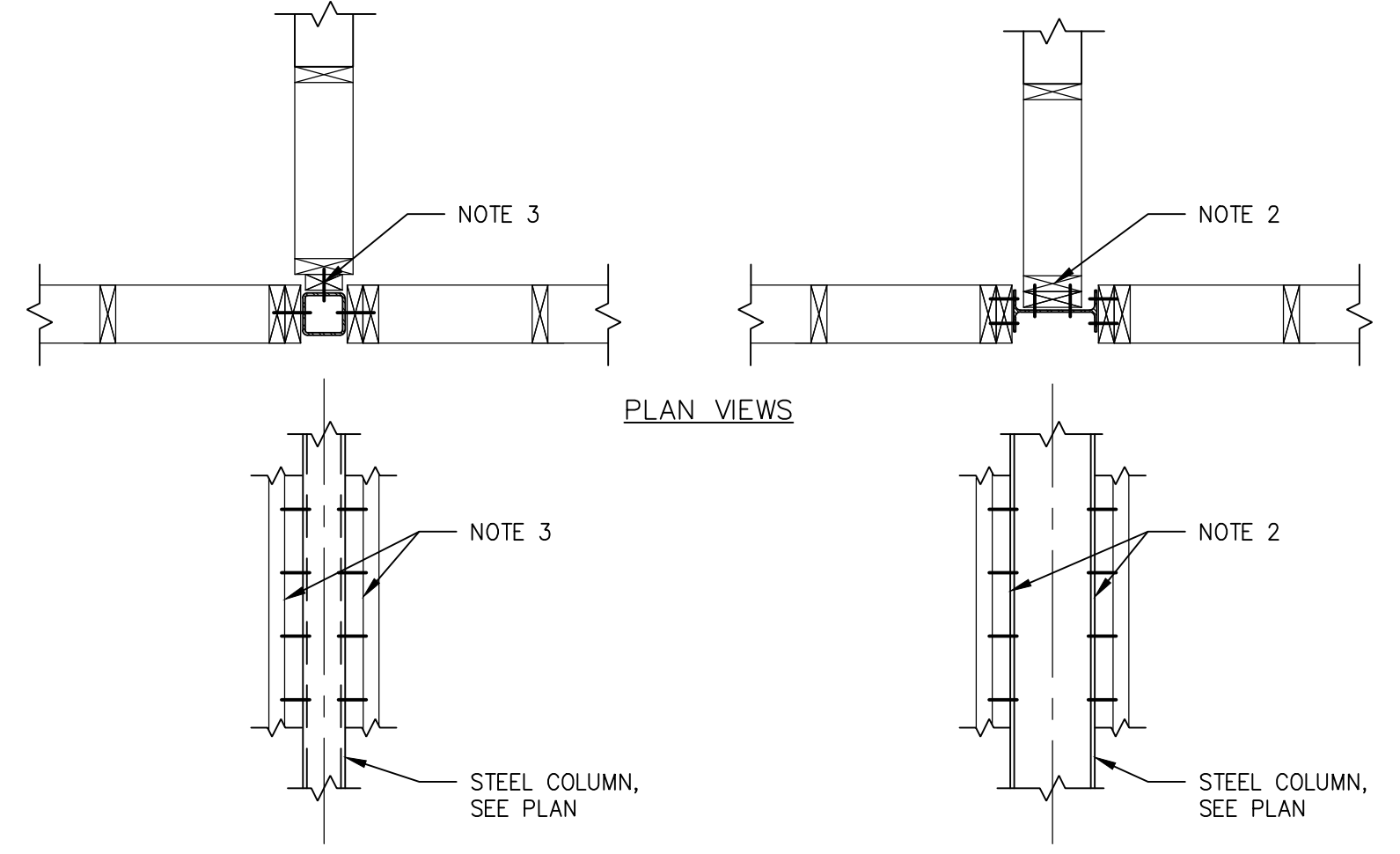


NOTE: THE PORTION OF THE EXISTING CHIMNEY TO REMAIN MUST EITHER BE TEMPORARILY SHORED OR RECONSTRUCTION OF THE LOWER CHIMNEY MASS MUST BE PHASED. IF PHASED, REMOVE NO MORE THAN 1/3 OF THE EXISTING MASONRY AT ONE TIME. ALLOW GROUT OF NEW MASONRY TO CURE FOR A MINIMUM OF 24 HOURS BEFORE PROCEEDING WITH THE NEXT PHASE. THE NEW STEEL FRAMING (FULLY INSTALLED) MAY BE USED TO SUPPORT TEMPORARY SHORING.

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SECTION 5
 SCALE: 1/4" = 1'-0"



DETAIL NOTES

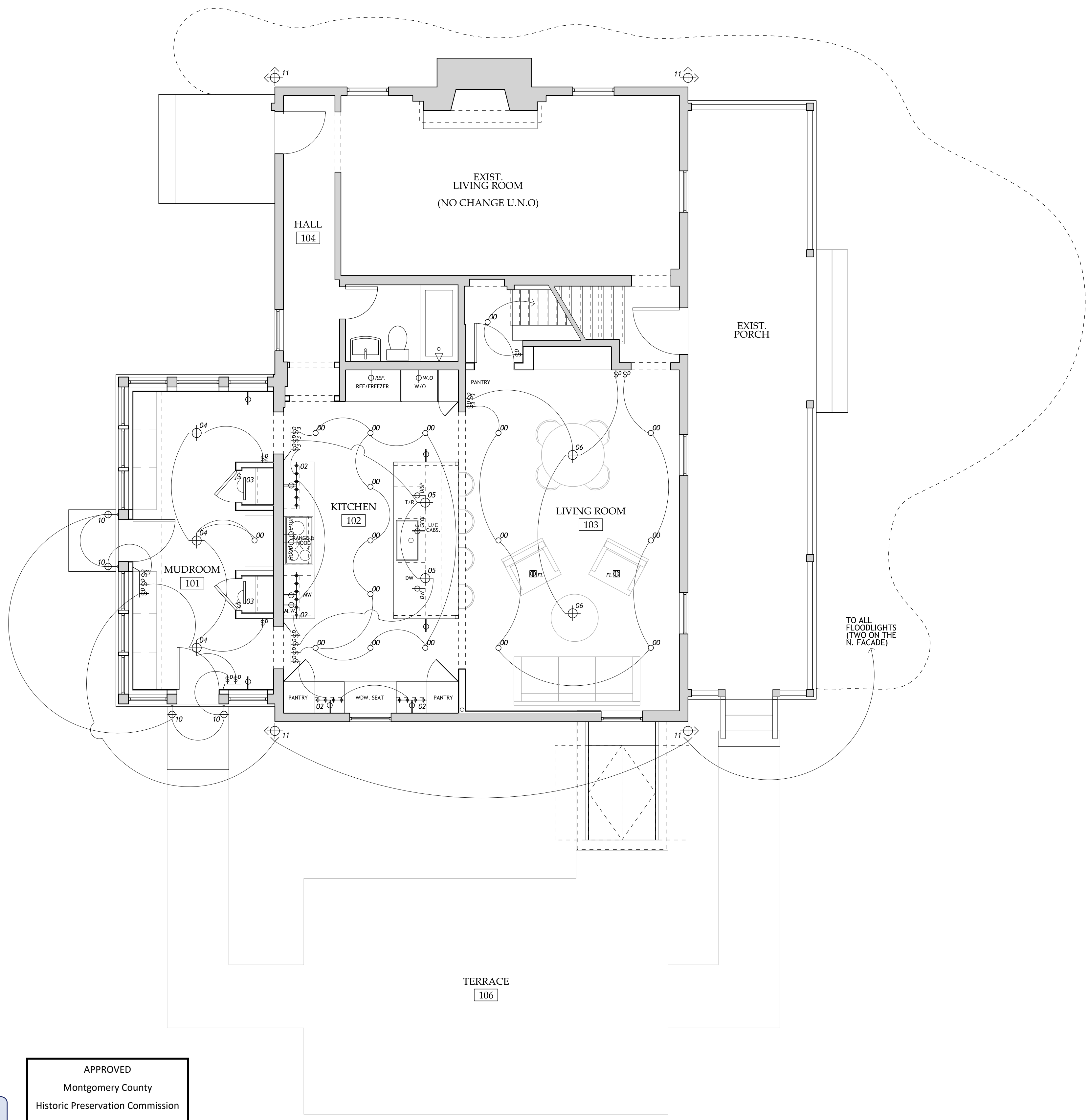
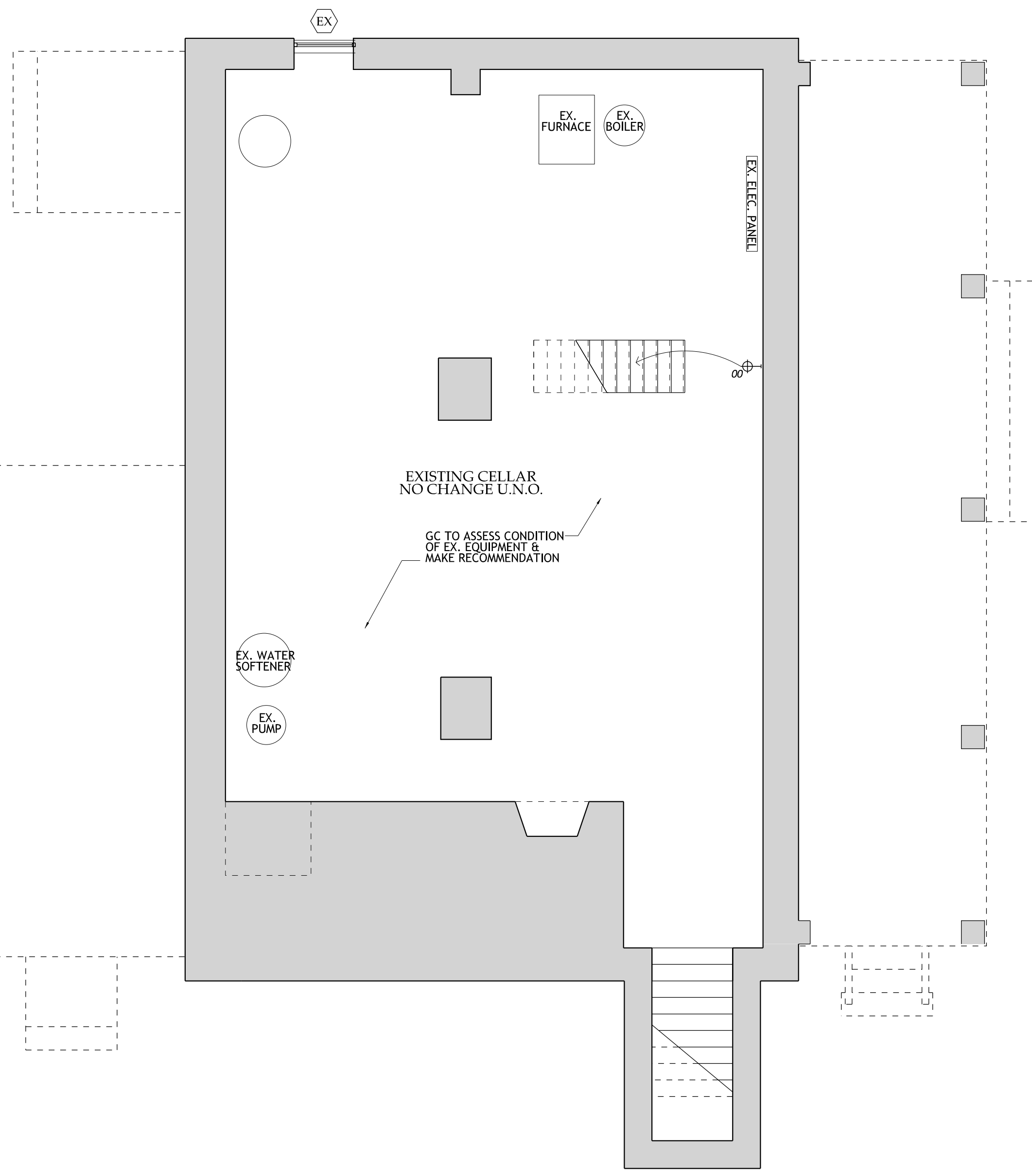
1. DETAIL APPLIES WHEN STEEL COLUMN IS LOCATED IN OR DIRECTLY ADJACENT TO A STUD WALL. USE SIMILAR NAILERS FOR CROSS-BRACED FRAMES TO ATTACH WOOD STUD INFILL FRAMING TO THE STEEL BRACING.
2. AT WF COLUMN: 2x NAILER TO MATCH ADJACENT STUD WALL WIDTH, FASTENED TO FLANGE OR WEB w/ 0.150" DIA. SHANK x1 7/8" LONG PAF's @ 12" O.C. IN (2) ROWS, STAGGERED. FASTEN ADDITIONAL 2x STUD TO NAILER w/ (2) ROWS 8d NAILS @ 6" O.C. EACH ROW, STAGGERED.
3. AT HSS OR STANDARD SCHEDULE 40 PIPE COLUMNS: 2x NAILER TO MATCH ADJACENT STUD WALL WIDTH, FASTENED O FACE w/ 0.150" DIA. SHANK x1 7/8" LONG PAF's @ 6" O.C. IN (1) ROW. FASTEN ADDITIONAL 2x STUD TO NAILER w/ (2) ROWS 8d NAILS @ 6" O.C. EACH ROW, STAGGERED.

TYPICAL STEEL COLUMN w/ NAILER PLATES

SECTION 4
 SCALE: 3/4" = 1'-0"

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2 BASEMENT ELECTRICAL PLAN (E.T.R.)
E101 SCALE: 1/4" = 1'-0"

REVIEWED
By Laura DiPasquale, M-NCPPC at 8:14 am, Dec 31, 2024

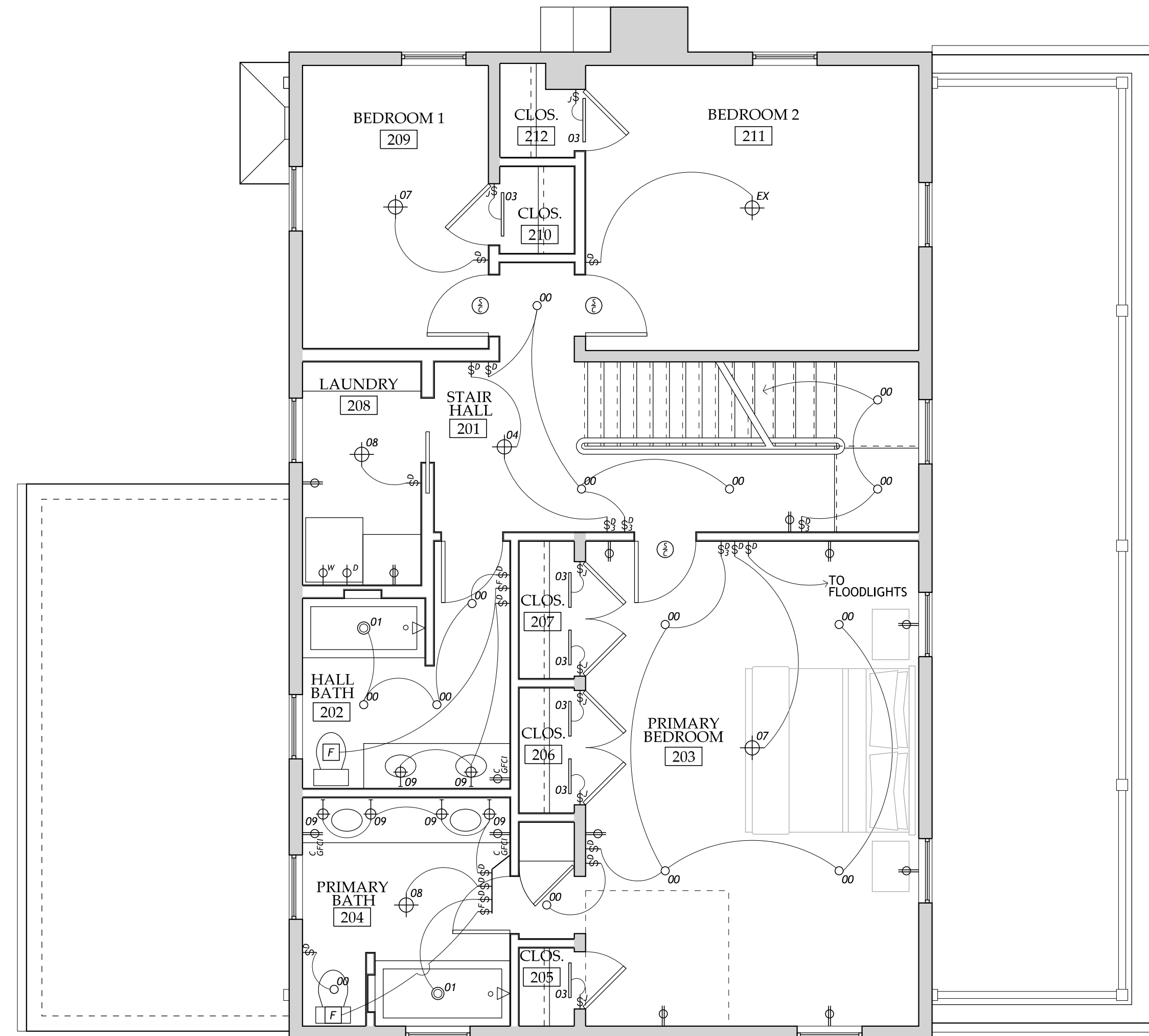
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Ronald G. Norton

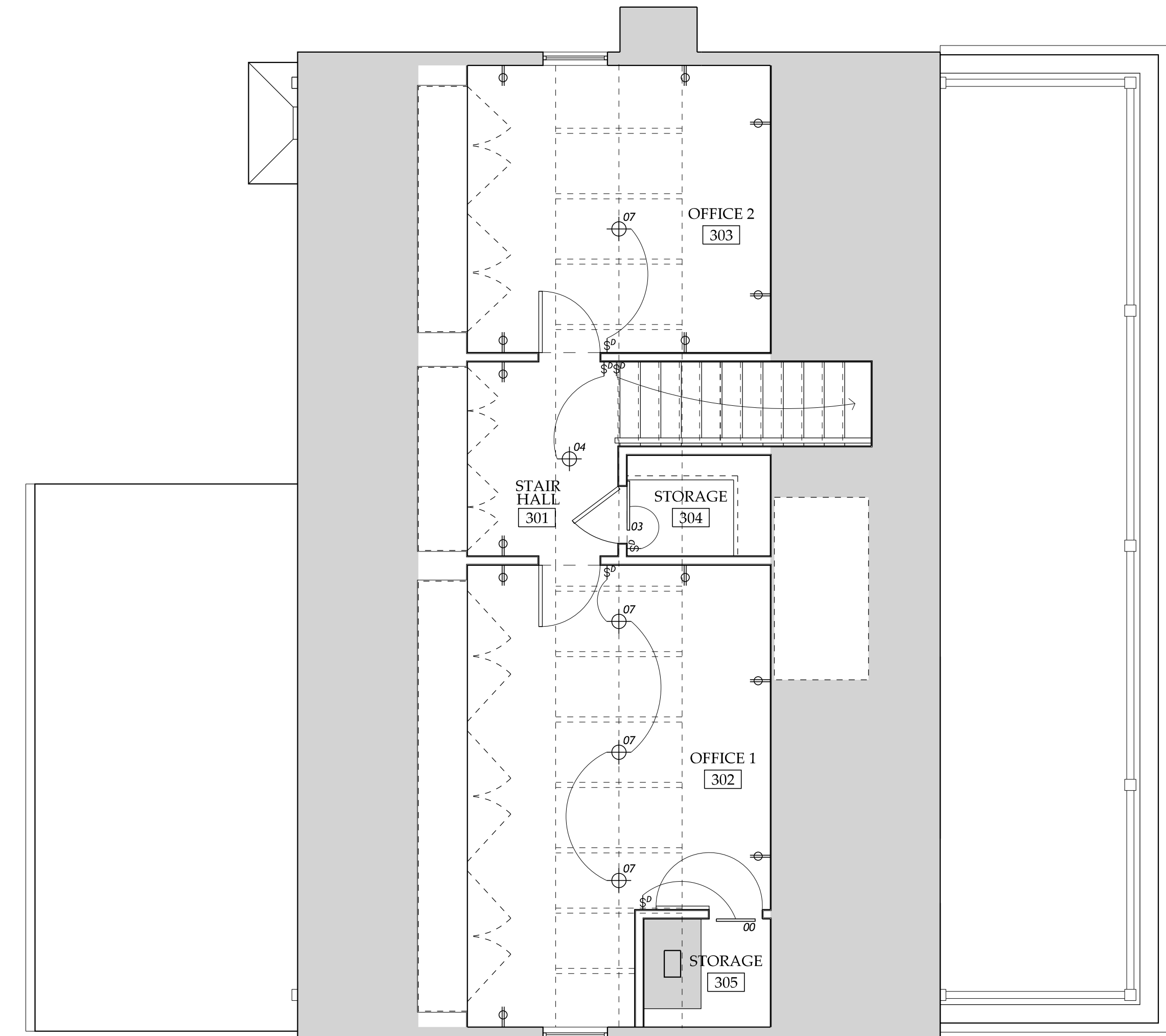
FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm (0.944 L/s) when tested in accordance with ASTM E 283 at a 1.57 psf (75 Pa) pressure differential. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.



1 SECOND FLOOR ELECTRICAL PLAN
E102 SCALE: 1/4" = 1'-0"



2 ATTIC FLOOR ELECTRICAL PLAN
E102 SCALE: 1/4" = 1'-0"

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1
A-10
EXISTING EAST ELEVATION
N.T.S.



2
A-10
EXISTING SOUTH ELEVATION
N.T.S.



3
A-10
EXISTING SOUTH EAST ELEVATION
N.T.S.



4
A-10
EXISTING NORTH WEST ELEVATION
N.T.S.



5
A-10
EXISTING WEST ELEVATION
N.T.S.



6
A-10
EXISTING WEST ELEVATION
N.T.S.



7
A-10
EXISTING SURROUNDING CONTEXT
N.T.S.

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By Laura DiPasquale, M-NGPPC at 8:14 am, Dec 31, 2024

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*Landmark,
shown in Weathered Wood*

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Designer Roofing Shingles

A Classic Original

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- **10-year SureStart protection**
Includes materials and labor costs
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Upgrade to 130 MPH available
- **CertaSeal[®] seals roofs tight** against wind and weather.
- **StreakFighter[®] 10-year algae resistance.**
- **QuadraBond[®] secures shingle layers** together at four points for **greater performance.**
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- CSA standard A123.5

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Acceptance Quality Standards:

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DIMENSIONAL ASPHALT ROOF SHINGLE

LANDMARK® COLOR PALETTE



Cobblestone Gray



Colonial Slate



Georgetown Gray



Weathered Wood



Driftwood



Pewterwood



Charcoal Black



Moiré Black



Heather Blend



Burnt Sienna



Resawn Shake



Hunter Green



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Scott P. Mooney IIDA

HAWP - #1094686

24227 Hawkins Landing Drive, Gaithersburg, MD 20882

**Windows Specifications-
Marvin Ultimate Wood Double-Hung and Casement**

Material
Wood Exterior and Interior

Exterior Finish
3 Wood Options + Custom

Interior Finish
6 Wood Options + Custom | 2 Paint Options + Prime | 6 Stain Options + Clear Coat

Sizing
Fits Openings up to 4' Wide by 8' High

Exterior Finish



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Marvin Ultimate Wood Double-Hung Windows Mark **A, B and C**

Exterior Color Finish To be Determined and Painted in Field.



Exterior View



Interior View

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A handwritten signature in black ink, appearing to read "Robert H. Adams", written over a horizontal line.

Marvin Ultimate Wood Casement Push Out Windows Mark D

Exterior Color Finish To be Determined and Painted in Field.



Exterior View



Interior View

Windows will be flat with one horizontal muntin bar, size To Match Existing.

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Page 3 of 5

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Doors Specifications- Marvin Ultimate Wood Swinging French Door

Exterior Marks X01 & X02
Exterior Color Finish To be Determined and Painted in Field.



Exterior View

Material

Wood Exterior and Interior

Exterior Finish

3 Wood Options + Custom

Interior Finish

6 Wood Options + Custom | 2 Paint Options + Prime
| 6 Stain Options + Clear Coat

Sizing

Fits Openings up to 14' Wide by 10' High

InSwing Exterior door with 2WX3H Light Cut

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Marvin Simulated Divided Lites and Muntins To Match Existing



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