



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chairman

September 30, 2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1094901 REVISED - Building Addition, Tree Removal, and
Landscape/Hardscape Alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with one condition** at the December 18, 2024 HPC meeting. Revisions were approved by HPC Staff on September 30, 2025.

1. The species and location of three trees proposed for the front yard must be identified before the final approval documents can be released to the applicant.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON
ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY
DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Christopher and Kathleen Matthews
Address: 9 East Kirke St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Dan Bruechert at 301-563-3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: _____ at: _____

submitted on: _____

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by J. B. Bruch on _____. The approval memo and stamped drawings follow.

APPROVED

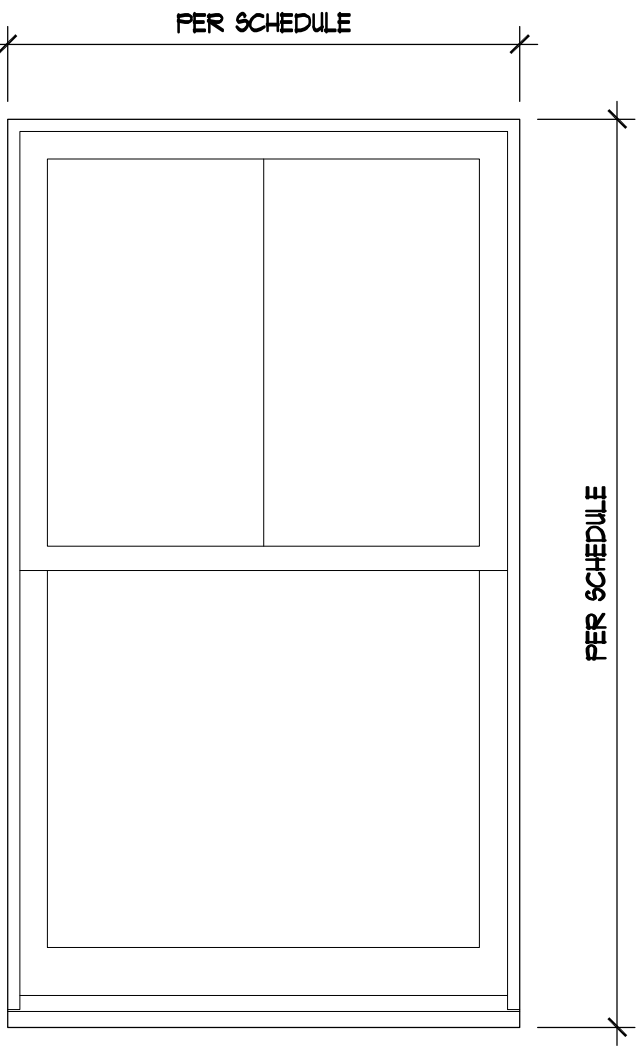
Montgomery County

Historic Preservation Commission

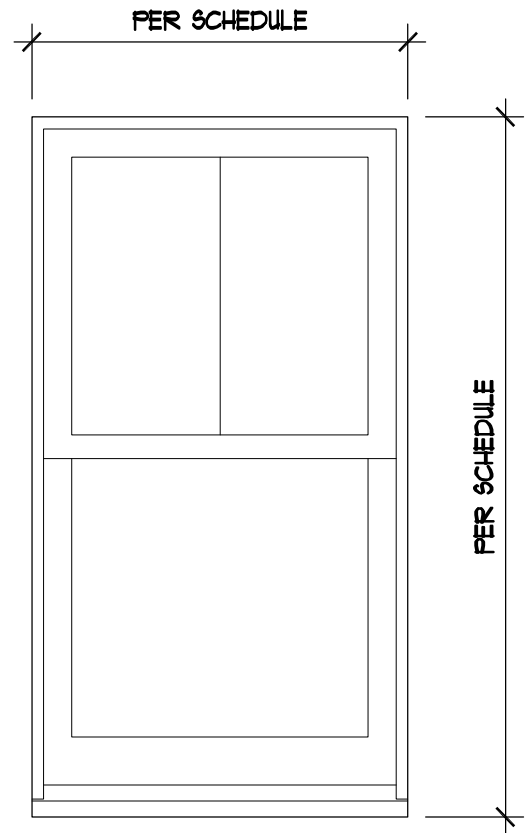
Karen Boudit

REVIEWED

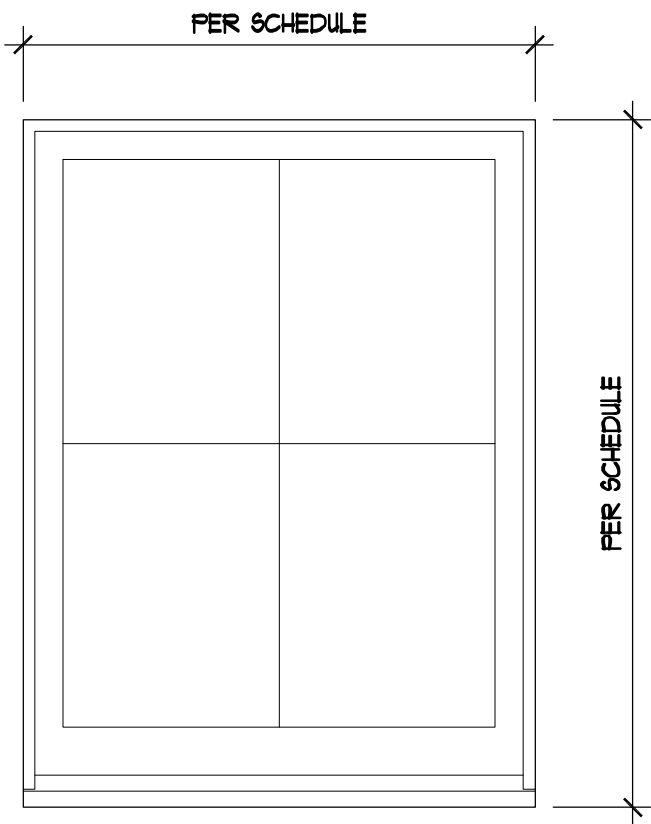
By Dan Bruechert at 1:53 pm, Sep 30, 2025



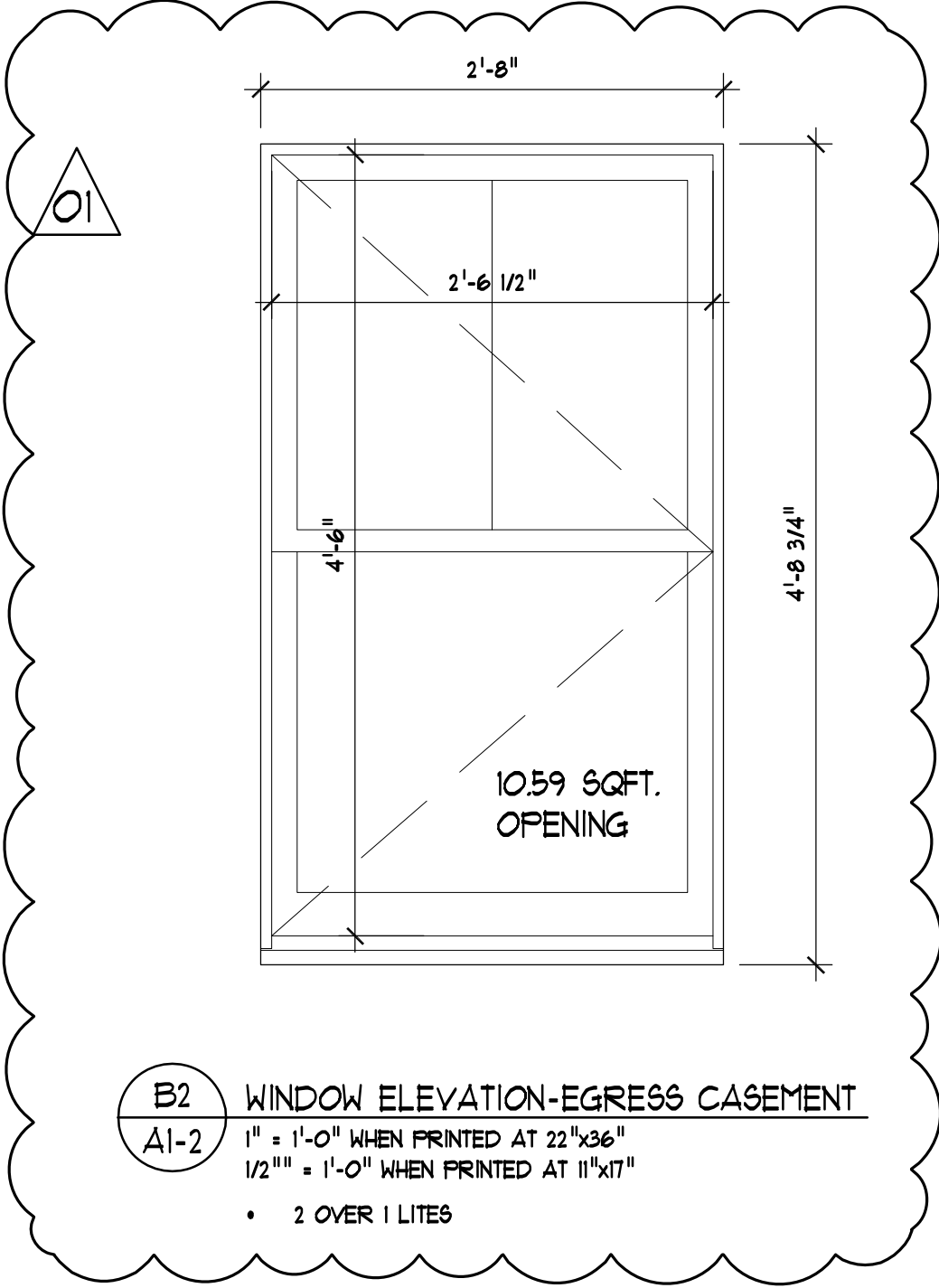
A1 WINDOW ELEVATION-TYP DOUBLE HUNG
1" = 1'-0" WHEN PRINTED AT 22"x36"
1/2" = 1'-0" WHEN PRINTED AT 11"x17"
• 2 OVER 1 LITES



B1 WINDOW ELEVATION - GARAGE - DOUBLE HUNG
1" = 1'-0" WHEN PRINTED AT 22"x36"
1/2" = 1'-0" WHEN PRINTED AT 11"x17"



A2 WINDOW ELEVATION - DORMER - FIXED CASEMENT
1" = 1'-0" WHEN PRINTED AT 22"x36"
1/2" = 1'-0" WHEN PRINTED AT 11"x17"



B2 WINDOW ELEVATION-EGRESS CASEMENT
1" = 1'-0" WHEN PRINTED AT 22"x36"
1/2" = 1'-0" WHEN PRINTED AT 11"x17"
• 2 OVER 1 LITES

Window #	Size	Type	Material	Finish Interior	Finish Exterior	Code Notes	Notes
Lower Level							
001	2'-4 1/2" x 4'-6"	Double Hung/Casement	WD	PTD	PTD	Egress	CASEMENT WINDOW TO MATCH PROPOSED DOUBLE HUNGS
First Floor							
101	2'-10 1/2" x 5'-0"	Double Hung	WD	PTD	PTD		
102	2'-10 1/2" x 5'-0"	Double Hung	WD	PTD	PTD		
103	2'-10 1/2" x 5'-0"	Double Hung	WD	PTD	PTD		
104	2'-10 1/2" x 5'-0"	Double Hung	WD	PTD	PTD		
105	2'-4 1/2" x 4'-6"	Double Hung	WD	PTD	PTD		
106	2'-4 1/2" x 4'-6"	Double Hung	WD	PTD	PTD		
107	2'-4 1/2" x 4'-6"	Double Hung	WD	PTD	PTD		
108	2'-4 1/2" x 4'-6"	Double Hung	WD	PTD	PTD		
109	2'-10 1/2" x 5'-0"	Double Hung	WD	PTD	PTD		
Second Floor							
201	2'-6 1/2" x 3'-4"	Casement	WD	PTD	PTD		
202	2'-6 1/2" x 3'-4"	Casement	WD	PTD	PTD		
203	2'-6 1/2" x 3'-4"	Casement	WD	PTD	PTD		
204	TBD						
205	3'-11" x 2'-10"	Double Hung	WD	PTD	PTD		Match existing sill height and top of window
Garage							
GA 101	1'-10" x 3'-5"	Double Hung	WD	PTD	PTD		

- GENERAL NOTES: SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION
- See Specifications for window Allowances, if any.
 - Windows are based on Le-Page H100. Windows shall be wood.
 - Windows and exterior doors shall be provided by the same manufacturer.
 - Head height of windows shall match head height of exterior doors, unless noted otherwise.
 - Contractor is responsible for coordinating required jamb depths and for providing jamb extensions where necessary for wall thicknesses shown.

- WINDOW DESCRIPTION:
- Window exteriors shall be Red Grandis, painted - as noted in the schedule.
 - Window interiors shall be Red Grandis, painted - as noted in the schedule
 - Interior and exterior casing shall match existing as noted on the drawings.
 - Window subsills shall be painted poly-ash or historic provided by manufacturer.
 - Glass shall be clear, double-pane insulating, argon-filled, low "E" glass.
 - Glazing shall comply with CPSC 16 CFR 1201, Category Class 1
 - Grilles shall be simulated divided lites, mill spacer bar, muntin profile T.M.E. Width of muntins to be closest size to existing mutin thickness.
 - Grille and glazing bead profile shall be putty glaze exterior and ogee interior. Profile to be confirmed.
 - All operable windows shall be installed with manufacturer's standard screens. Screen frames shall match window.
 - All window details, including casing and muntin style, shall match existing.

- HARDWARE NOTES:
- Window hardware to be chosen from manufacturer's standard options.
 - All exposed hardware T.M.E.
 - Provide samples of all hardware for Architect and Owner review and approval prior to fabrication.

- ENERGY NOTES:
- Window glazing shall be advance Low-E insulated glass.
 - Window glazing shall have a maximum U-factor of 0.30.
 - Window glazing shall have a maximum SHGC value of 0.40.
 - Window glazing shall have an air infiltration rate of 0.3 cfm/sqft and meet AAMA/WDMA/CSA 101/1.S. 2/A440 or not exceed code limits per NFRC 400.

C1 WINDOW SCHEDULE
A12 NTS

BVA

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Washington DC 20007
barnesvanze.com 202 337 7255

STATE OF MARYLAND
MICHAEL PATRICK
No. 17864
ARCHITECT

PROFESSIONAL CERTIFICATION:
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ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER: 16664 EXPIRATION DATE: MARCH 27TH 2026

Private Residence
9 East Kirke Street
Chevy Chase, MD 20815

DRAWING: WINDOW SCHEDULE

ISSUED:
2024-09-10 FOR RFP
2024-10-02 HISTORIC AREA WORK PERMIT
2024-11-05 HAMP APPLICATION SUPPLEMENT
2025-08-15 HAMP SUBMISSION
2025-08-20 PERMIT

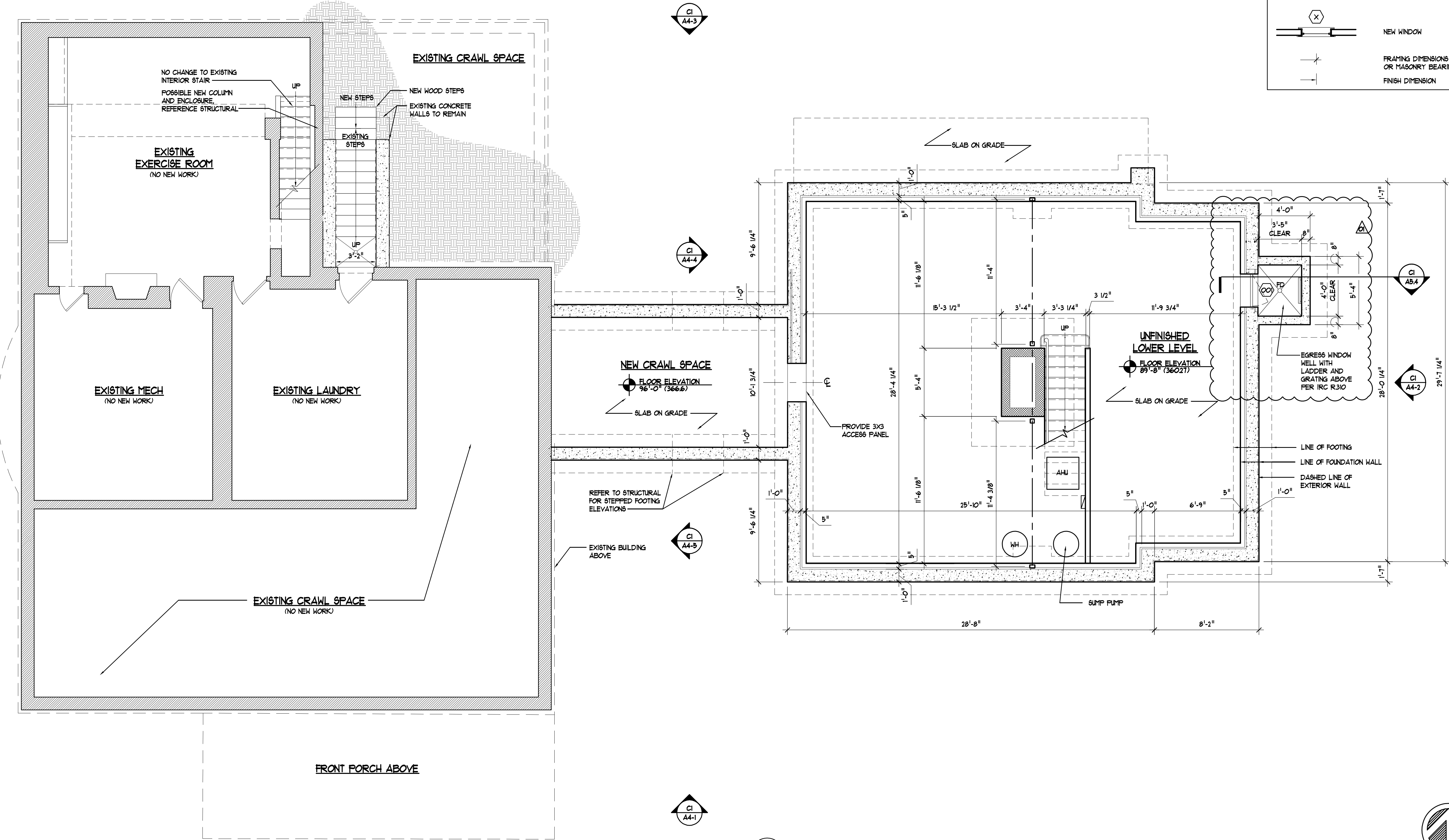
2025-09-26 PERMIT COMMENT RESPONSES

A1=2

APPROVED
Montgomery County
Historic Preservation Commission

Karen Buechert

REVIEWED
By Dan Bruechert at 1:53 pm, Sep 30, 2025



- CONSTRUCTION NOTES:
1. FINISHED GRADES ARE INDICATED TO SHOW DESIGN INTENT. GENERAL CONTRACTOR SHALL DETERMINE GROUND REQUIREMENTS.
 2. ALL NEW HVAC DUCTWORK SHALL BE CONTAINED WITHIN THE BUILDING ENVELOPE. ALL DUCTS, FILTER BOXES, AND AIR HANDLING UNITS SHALL BE SEALED PER ICC REQUIREMENTS.
 3. ALL NEW PLUMBING LINE SHALL BE CONTAINED WITHIN THE BUILDING ENVELOPE AND SHALL BE INSULATED PER 2021 ICC REQUIREMENTS.

CONSTRUCTION LEGEND:

	EXISTING TO REMAIN
	NEW STUD WALL: 2X6 @16O.C. EXT. WALLS, UNO. 2X4 @16O.C. INT. WALLS, UNO.
	POURED CONCRETE
	EXISTING DOOR TO REMAIN
	NEW DOOR
	EXISTING WINDOW TO REMAIN
	NEW WINDOW
	FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING, UNO.)
	FINISH DIMENSION

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barnesvance.com 202 337 7255



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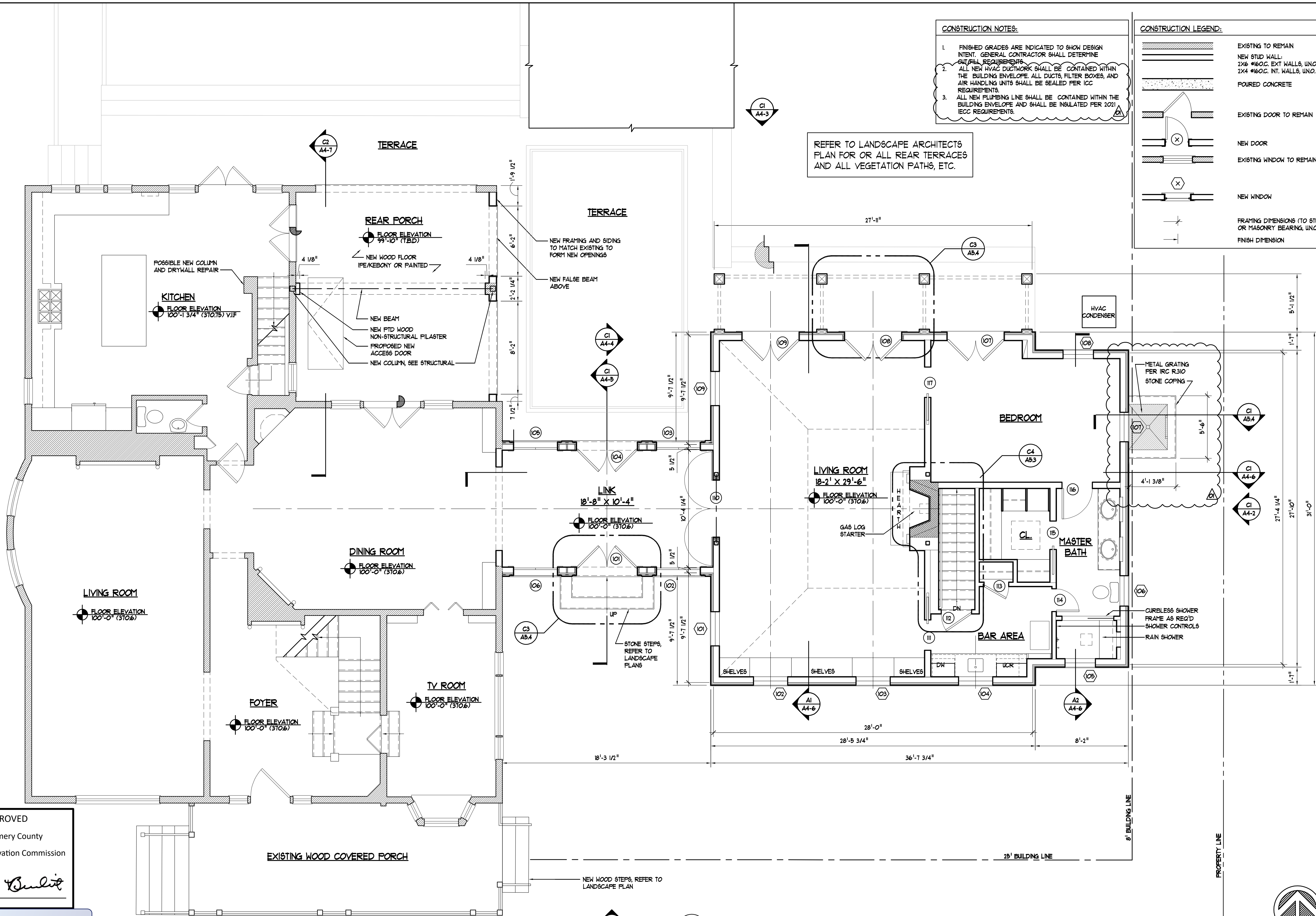
DRAWING: PROPOSED LOWER LEVEL FLOOR PLAN

ISSUED:	FOR RCP	HISTORIC AREA WORK PERMIT	HAMP APPLICATION SUPPLEMENT	HAMP SUBMISSION	PERMIT
2024-09-10					
2024-10-02					
2024-11-05					
2025-08-15					
2025-08-20					

A3=0

PROPOSED LOWER LEVEL FLOOR PLAN

1/4" = 1'-0" WHEN PRINTED AT 22"x36"
1/8" = 1'-0" WHEN PRINTED AT 11"x17"



- CONSTRUCTION NOTES:**
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 3. ALL NEW PLUMBING LINE SHALL BE CONTAINED WITHIN THE BUILDING ENVELOPE AND SHALL BE INSULATED PER 2021 IECC REQUIREMENTS.

CONSTRUCTION LEGEND:	
	EXISTING TO REMAIN
	NEW STUD WALL: 2X6 #160C. EXT. WALLS, UNO. 2X4 #160C. INT. WALLS, UNO.
	FOURED CONCRETE
	EXISTING DOOR TO REMAIN
	NEW DOOR
	EXISTING WINDOW TO REMAIN
	NEW WINDOW
	FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING, UNO.)
	FINISH DIMENSION

REFER TO LANDSCAPE ARCHITECTS PLAN FOR OR ALL REAR TERRACES AND ALL VEGETATION PATHS, ETC.

APPROVED
Montgomery County
Historic Preservation Commission

Karen Boudier

REVIEWED
By Dan Bruechert at 1:53 pm, Sep 30, 2025



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LICENSE NUMBER: 1664, EXPIRATION DATE: MARCH 27TH, 2026

Private Residence
9 East Kirke Street
Chevy Chase, MD 20815

DRAWING:	PROPOSED FIRST FLOOR PLAN
ISSUED:	FOR FCP
2024-09-10	HISTORIC AREA WORK PERMIT
2024-10-02	HAMP APPLICATION SUPPLEMENT
2024-11-05	HAMP SUBMISSION
2025-08-15	PERMIT

A3=1

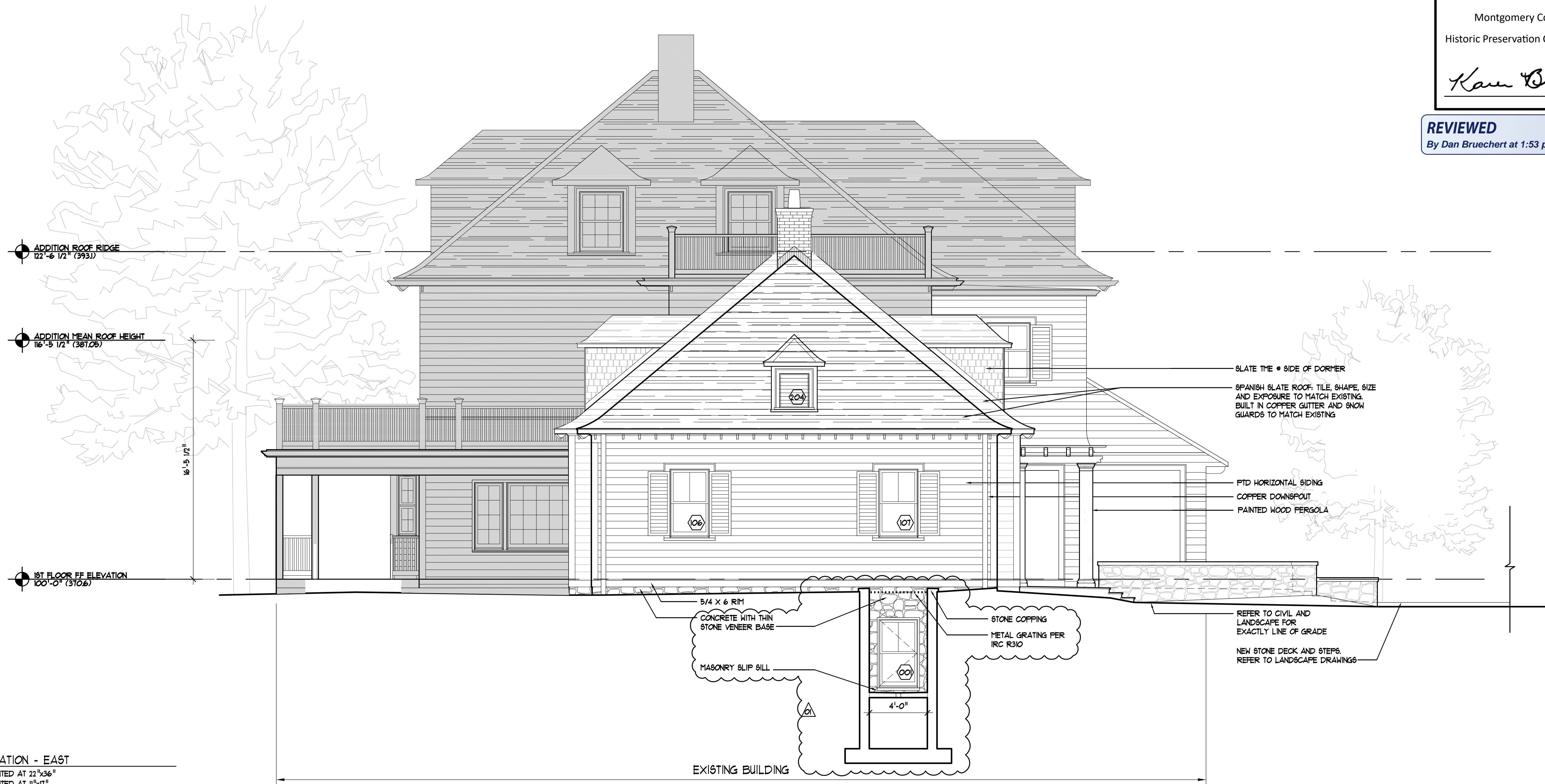
APPROVED
Montgomery County
Historic Preservation Commission
Karen Bunkle

REVIEWED
By Dan Bruechert at 1:53 pm, Sep 30, 2025

Private
Residence
9 East Kirke Street
Chevy Chase, MD 20815

DRAWING:	EXTERIOR ELEVATIONS		ISSUED:	PERMIT COMMENT RESPONSES	
	FOR FCP	HISTORIC AREA WORK PERMIT		2025-09-26	
	2024-09-10	2024-10-02			
	2024-11-05	HAMP APPLICATION SUPPLEMENT			
	2025-08-15	HAMP SUBMISSION			

A4=2

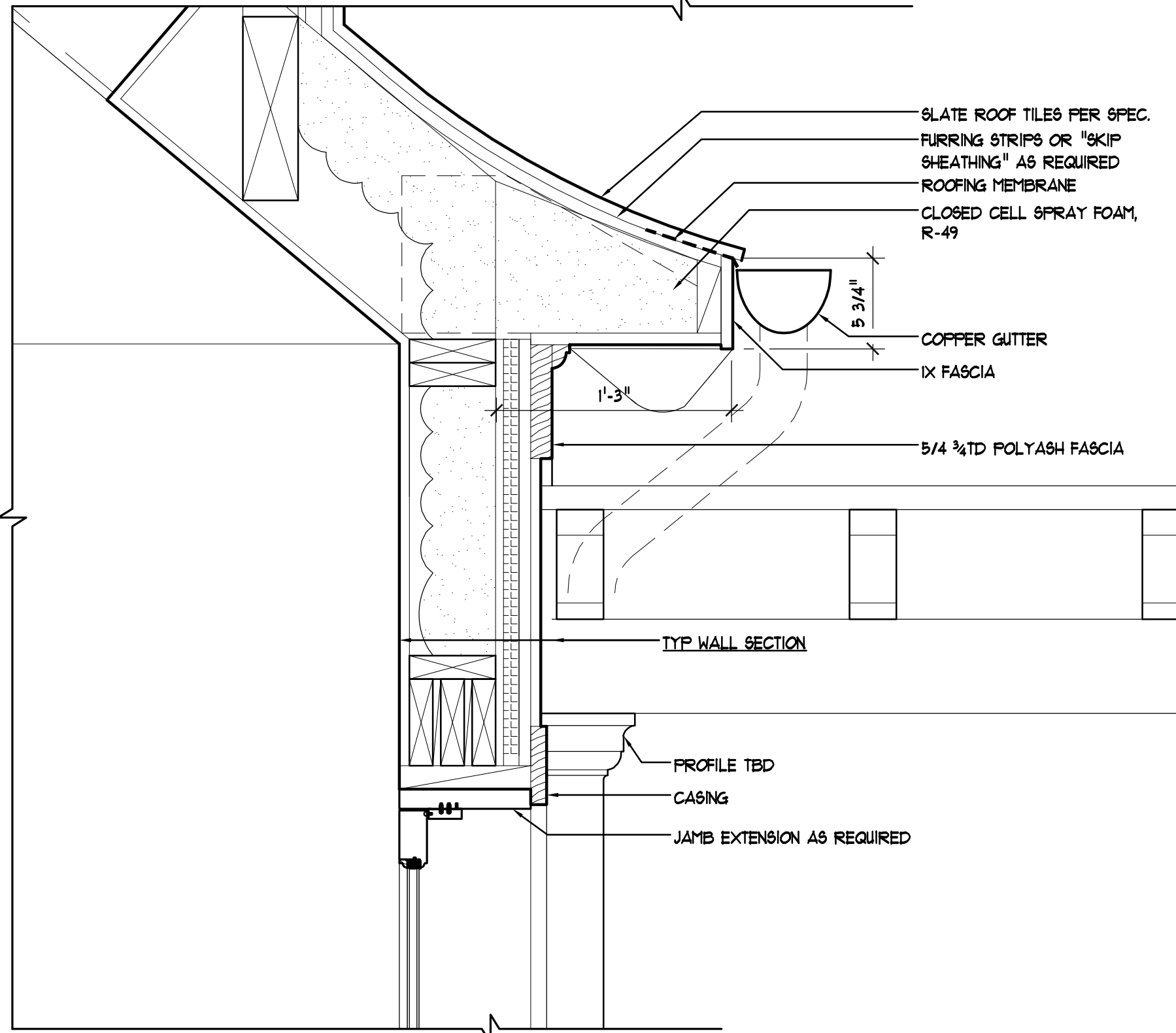
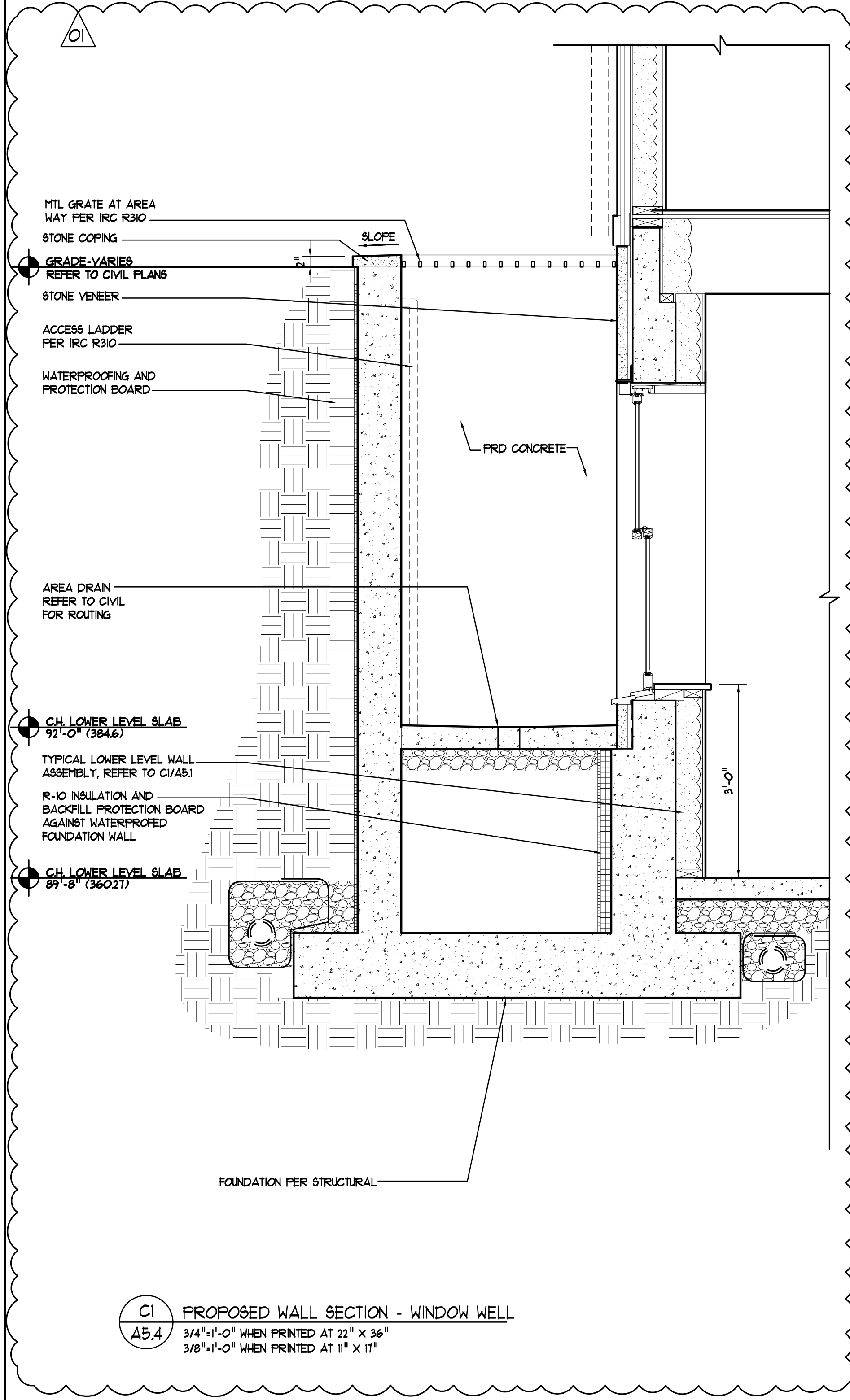


C1 BUILDING ELEVATION - EAST
A4-2
1/4" = 1'-0" WHEN PRINTED AT 22"x36"
1/8" = 1'-0" WHEN PRINTED AT 11"x17"

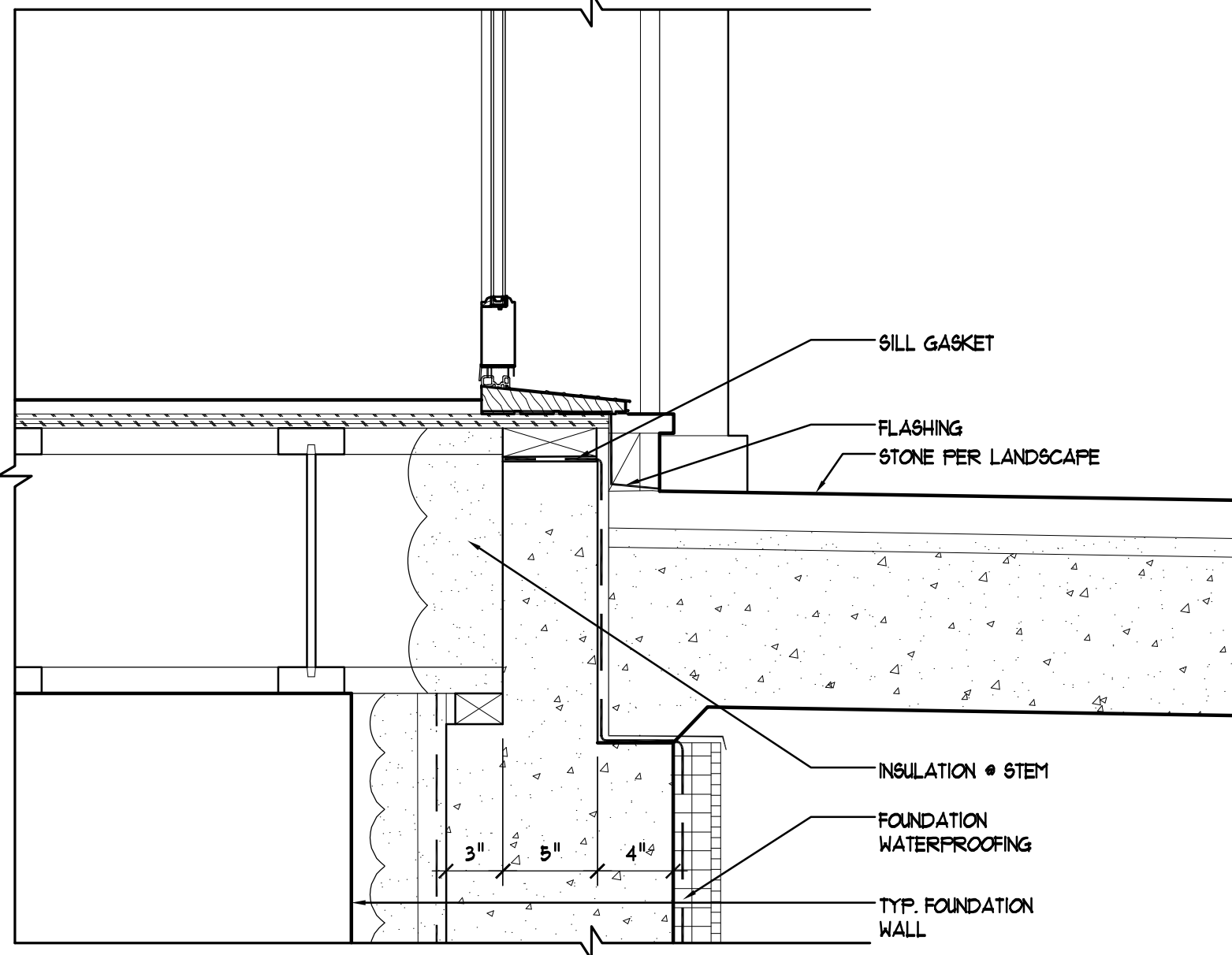
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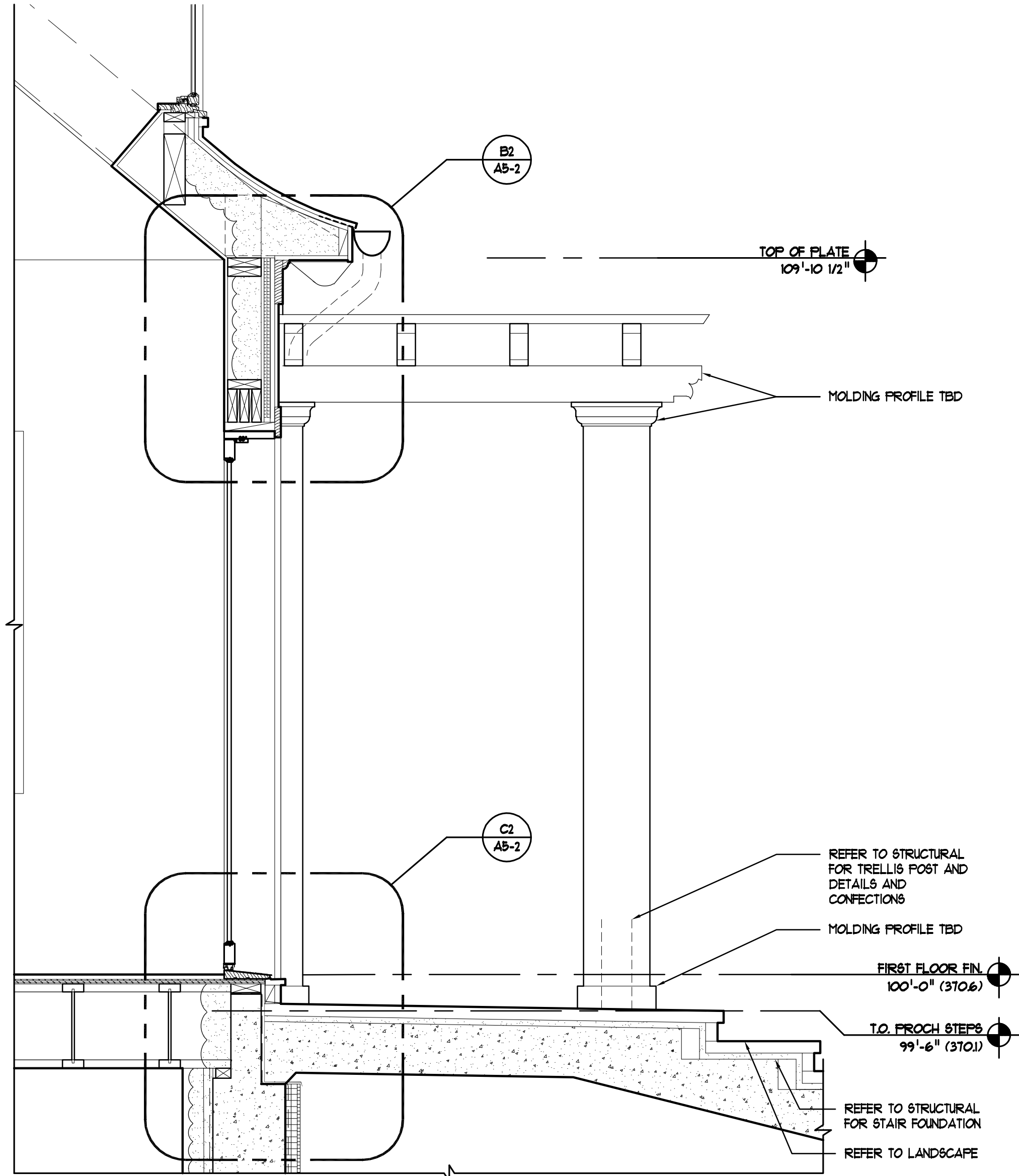
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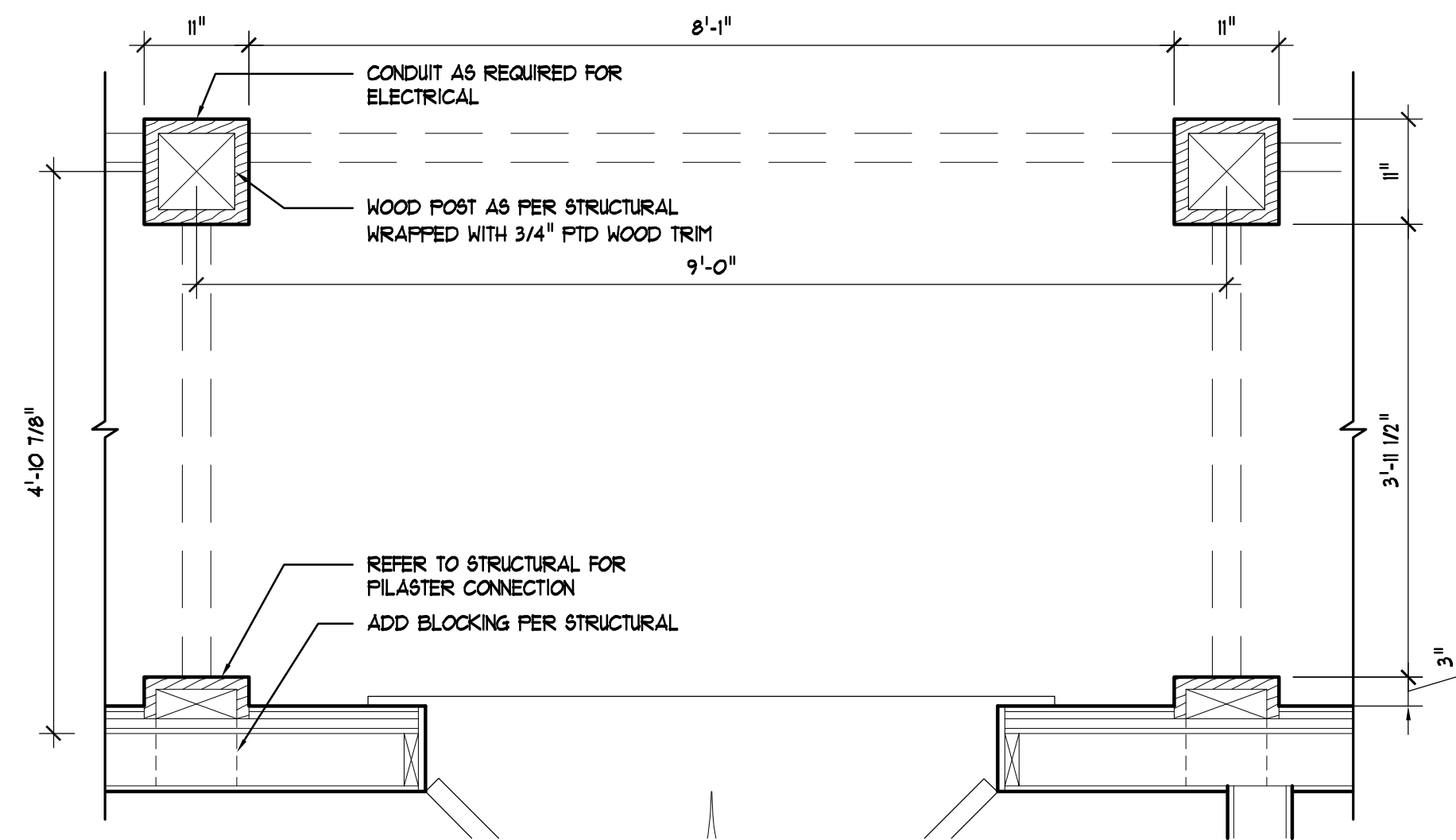
B2 PROPOSED WALL SECTION
A5.4 1-1/2"x1'-0" WHEN PRINTED AT 22" X 36"
3/4"x1'-0" WHEN PRINTED AT 11" X 17"



C2 PROPOSED WALL SECTION
A5.4 1-1/2"x1'-0" WHEN PRINTED AT 22" X 36"
3/4"x1'-0" WHEN PRINTED AT 11" X 17"



B3 PROPOSED WALL SECTION
A5.4 3/4"x1'-0" WHEN PRINTED AT 22" X 36"
3/8"x1'-0" WHEN PRINTED AT 11" X 17"



C3 PROPOSED PORCH PLAN
A5.4 3/4"x1'-0" WHEN PRINTED AT 22" X 36"
3/8"x1'-0" WHEN PRINTED AT 11" X 17"

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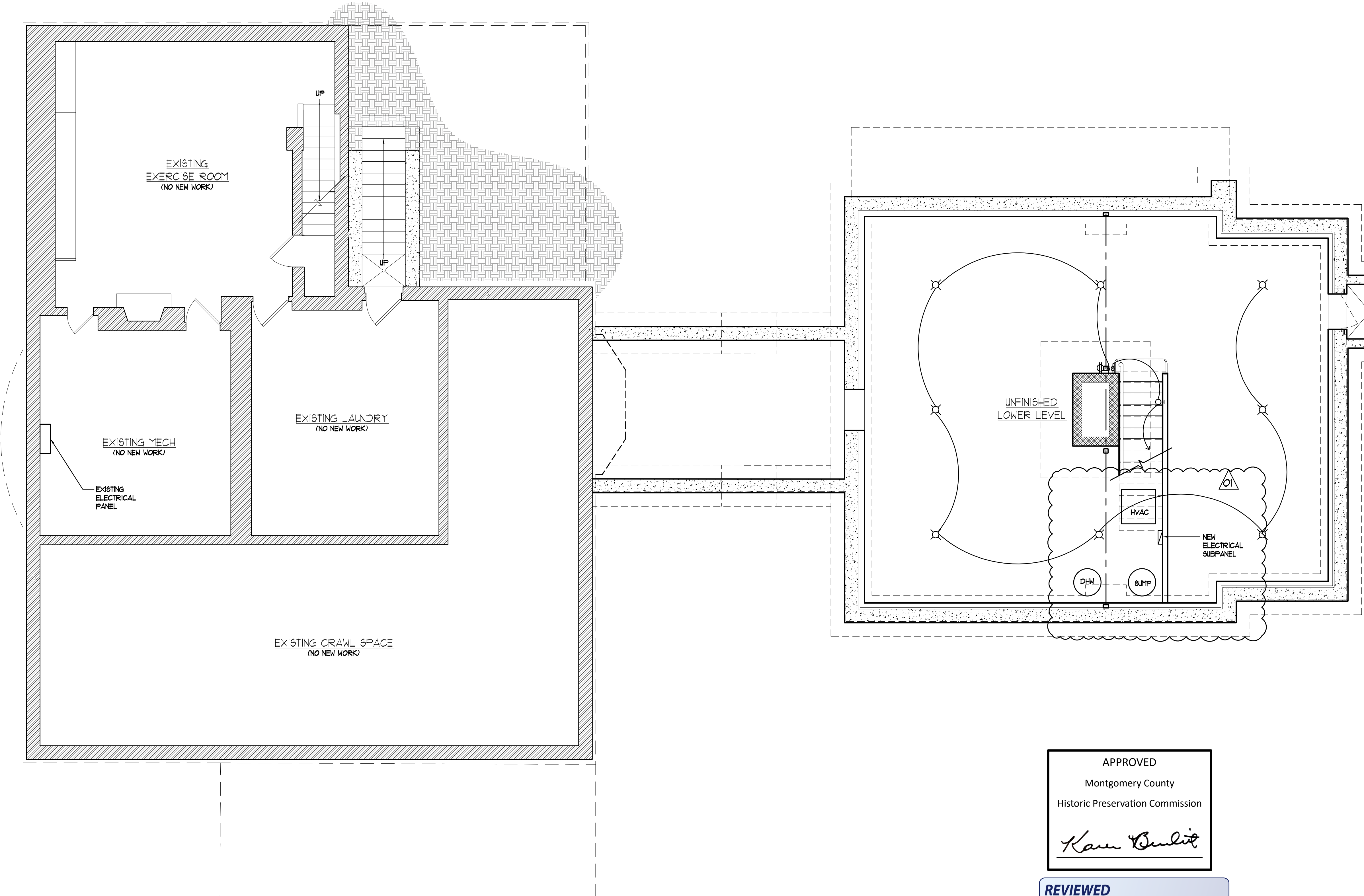


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LICENSE NUMBER: 16664 EXPIRATION DATE: MARCH 27TH, 2026

Private
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DRAWING:	PROPOSED WALL SECTION	ISSUED:	FOR FCP	HISTORIC AREA WORK PERMIT	HAMP APPLICATION SUPPLEMENT	HAMP SUBMISSION	PERMIT
		2025-09-26					
		2025-09-26					
		2025-09-26					
		2025-09-26					
		2025-09-26					

A5-4



APPROVED
Montgomery County
Historic Preservation Commission
Karen Bunkle

REVIEWED
By Dan Bruechert at 1:53 pm, Sep 30, 2025

ELECTRICAL LEGEND:

- SWITCH
- DIMMER SWITCH
- TIMER SWITCH
- DUPLEX OUTLET
- DUPLEX-220 OUTLET
- QUADRAPLEX OUTLET
- 1/2 SWITCHED OUTLET- UPPER HALF LIVE
- ABOVE-COUNTER OUTLET
- RECESSED FLOOR OUTLET
- SWITCHED RECESSED FLOOR OUTLET
- RECESSED FLOOR TELEPHONE LINE OUTLET HOMERUN- (CAT. BE OR BETTER)
- RECESSED FLOOR DATA LINE OUTLET HOMERUN- (CAT. BE OR BETTER)
- RECESSED FLOOR CABLE TV OUTLET HOMERUN- CO-AXIAL
- TELEPHONE LINE OUTLET HOMERUN- (CAT. BE OR BETTER)
- FAX MACHINE LINE OUTLET HOMERUN- (CAT. BE OR BETTER)
- DATA LINE OUTLET HOMERUN- (CAT. BE OR BETTER)
- CABLE TV OUTLET HOMERUN- CO-AXIAL
- CEILING-MOUNTED LIGHT FIXTURE
- CEILING-MOUNTED LIGHT FIXTURE W/ FULL CHAIN
- WALL-MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE, WET LOCATION
- RECESSED LOW-VOLTAGE FIXTURE
- WALL-WASHER LIGHT FIXTURE
- RECESSED WALL FIXTURE
- UNDER COUNTER LOW VOLTAGE FIXTURE W/ REMOTE TRANSFORMER
- UNDER COUNTER LIGHT FIXTURE
- CLOSET LIGHT WITH DOOR-ACTIVATED SWITCH
- INTERCONNECTED HARD-WIRED SMOKE DETECTOR WITH BATTERY BACKUP
- INTERCONNECTED HARD-WIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP
- DUCTED EXHAUST FAN
- THERMOSTAT
- GARAGE DOOR OPENER
- HEATER
- FLUORESCENT LIGHT FIXTURE
- SPEAKER OUTLET IN COVER PLATE- HOMERUN TO STEREO
- BUILT-IN SPEAKERS- HOMERUN TO STEREO
- MOTION DETECTOR SECURITY LIGHTS
- CEILING FAN
- CEILING FAN / LIGHT
- GARBAGE DISPOSAL
- DOORBELL
- DOORBELL CHIME

ELECTRICAL NOTES:

- SEE FINISH SCHEDULE 4 SPEC FOR ADDITIONAL INFORMATION.
- ALL WORK SHALL BE DONE PER APPLICABLE CODES.
- ELECTRICIAN SHALL CALCULATE LOADS AND SERVICE SIZE.
- LOCATE DOORBELL ON STRIKE SIDE OF FRONT ENTRY DOOR.
- VERIFY WITH OWNER ALL HEIGHTS AND LOCATIONS OF SWITCHES AND OUTLETS.
- PROVIDE POWER TO ALL APPLIANCES AND DEVICES. SEE APPLIANCE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- SMOKE DETECTORS SHALL BE PROVIDED IN ALL SLEEPING ROOMS AND ONE PER FLOOR IN HALLWAY/STAIRWELL AREAS, PER IRC AND ALL GOVERNING CODES FOR THIS JURISDICTION. ALL SMOKE DETECTORS SHALL BE HARD WIRED, INTERCONNECTED, WITH A BATTERY BACK-UP.
- GROUND FAULT INTERRUPT ALL CIRCUITS AS REQUIRED BY CODE. ALL EXTERIOR POWER RECEPTACLES SHALL ALSO BE WATERPROOF AND GROUND FAULT INTERRUPTED.
- ALL NEW OUTLETS AND RECEPTACLES TO BE ARC FAULT PROTECTED AT THE PANEL.
- 85% OF LIGHTS SHALL BE HIGH EFFICACY OR LOW VOLTAGE FIXTURES AS PER 2021 IEEC.
- PROVIDE OUTLETS IN ADDITION TO THOSE SHOWN ON PLAN, AS REQUIRED BY CODE.
- ALL LIGHTING FIXTURES TO COMPLY WITH SECTION N104 OF IRC 2021.
- PROVIDE TAMPER RESISTANT RECEPTACLES FOR COMPLIANCE WITH IRC 2021 WHERE REQUIRED BY CODE.

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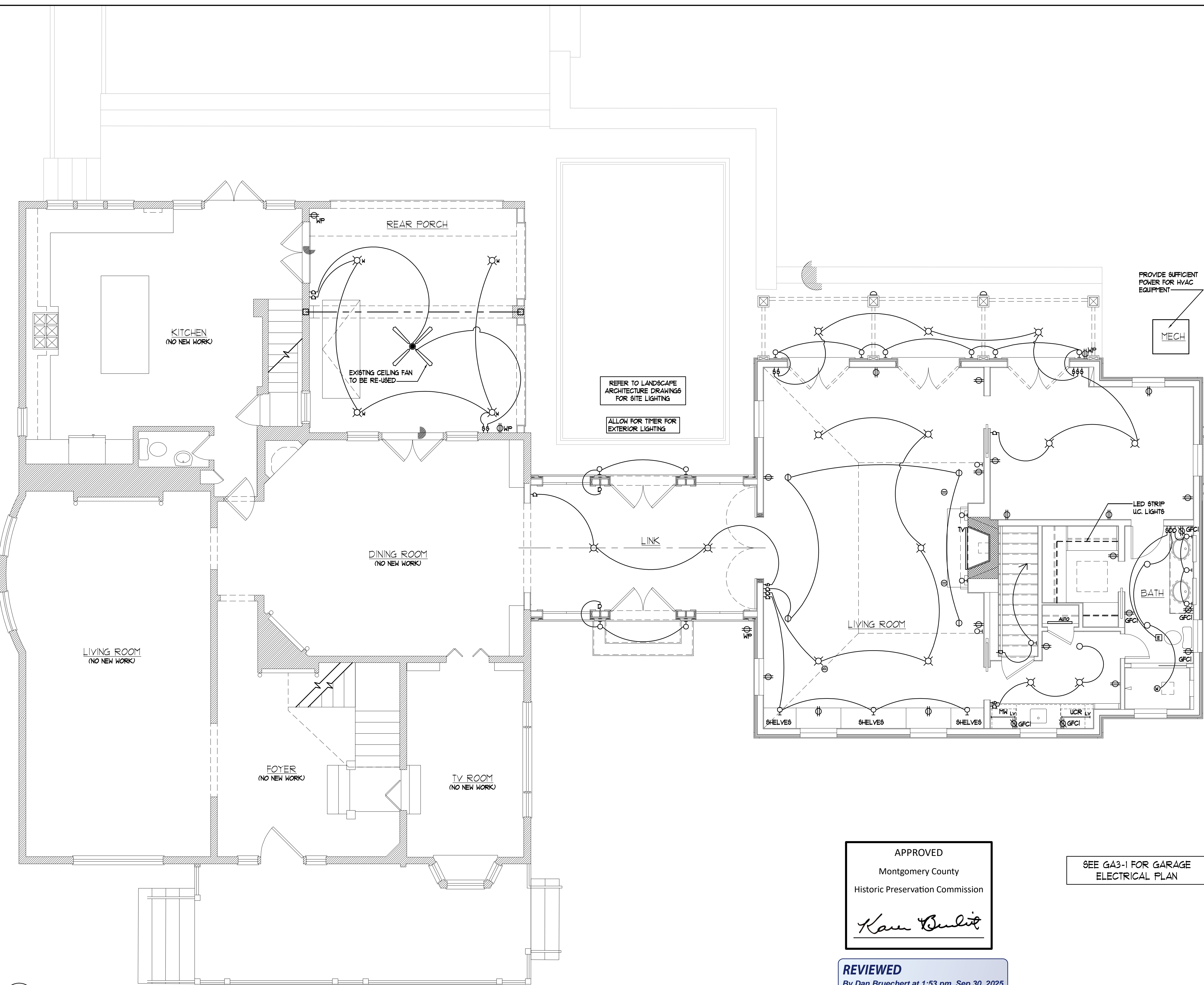
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2024-09-10					
2024-10-02					
2025-08-15					
2025-08-20					

DRAWING: LOWER LEVEL ELECTRICAL PLAN

ISSUED: 2025-09-26

PERMIT COMMENT RESPONSES:

=



CI FIRST FLOOR ELECTRICAL PLAN
E-1 1/4" = 1'-0" WHEN PRINTED AT 22"x36"
1/8" = 1'-0" WHEN PRINTED AT 11"x17"

ELECTRICAL LEGEND:

- SWITCH
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- TIMER SWITCH
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- DUPLEX-220 OUTLET
- QUADRAPLEX OUTLET
- 1/2 SWITCHED OUTLET- UPPER HALF LIVE
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- RECESSED FLOOR DATA LINE OUTLET HOMERUN- (CAT. 5E OR BETTER)
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- FAX MACHINE LINE OUTLET HOMERUN- (CAT. 5E OR BETTER)
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- RECESSED LIGHT FIXTURE, WET LOCATION
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- HEATER
- FLUORESCENT LIGHT FIXTURE
- SPEAKER OUTLET IN COVER PLATE- HOMERUN TO STEREO
- BUILT-IN SPEAKERS- HOMERUN TO STEREO
- MOTION DETECTOR SECURITY LIGHTS
- CEILING FAN
- CEILING FAN / LIGHT
- GARBAGE DISPOSAL
- DOORBELL
- DOORBELL CHIME

ELECTRICAL NOTES:

- SEE FINISH SCHEDULE # SPEC FOR ADDITIONAL INFORMATION.
- ALL WORK SHALL BE DONE PER APPLICABLE CODES.
- ELECTRICIAN SHALL CALCULATE LOADS AND SERVICE SIZE.
- LOCATE DOORBELL ON STRIKE SIDE OF FRONT ENTRY DOOR.
- VERIFY WITH OWNER ALL HEIGHTS AND LOCATIONS OF SWITCHES AND OUTLETS.
- PROVIDE POWER TO ALL APPLIANCES AND DEVICES. SEE APPLIANCE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- SMOKE DETECTORS SHALL BE PROVIDED IN ALL SLEEPING ROOMS AND ONE PER FLOOR IN HALLWAY/STAIRWELL AREAS, PER IRC AND ALL GOVERNING CODES FOR THIS JURISDICTION. ALL SMOKE DETECTORS SHALL BE HARD WIRED, INTERCONNECTED, WITH A BATTERY BACK-UP.
- GROUND FAULT INTERRUPT ALL CIRCUITS AS REQUIRED BY CODE. ALL EXTERIOR POWER RECEPTACLES SHALL ALSO BE WATERPROOF AND GROUND FAULT INTERRUPTED.
- ALL NEW OUTLETS AND RECEPTACLES TO BE ARC FAULT PROTECTED AT THE PANEL.
- 85% OF LIGHTS SHALL BE HIGH EFFICACY OR LOW VOLTAGE FIXTURES AS PER 2021 IEEE.
- PROVIDE OUTLETS IN ADDITION TO THOSE SHOWN ON PLAN, AS REQUIRED BY CODE.
- ALL LIGHTING FIXTURES TO COMPLY WITH SECTION N104 OF IRC 2021.
- PROVIDE TAMPER RESISTANT RECEPTACLES FOR COMPLIANCE WITH IRC 2021 WHERE REQUIRED BY CODE.

PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR I CERTIFY THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER: 16664, EXPIRATION DATE: MARCH 27TH 2026

Private Residence
9 East Kirke Street
Chevy Chase, MD 20815

DRAWING:		FIRST FLOOR ELECTRICAL PLAN	
ISSUED:	FOR RCP	2025-09-26	PERMIT COMMENT RESPONSES
2024-09-10	HISTORIC AREA WORK PERMIT		
2024-10-02	HAMP APPLICATION SUPPLEMENT		
2024-11-05	HAMP SUBMISSION		
2025-08-15			
2025-08-20	PERMIT		

1" = 1'