



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

January 23, 2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1098628 - Screened-in Porch Construction and Patio

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the January 22, 2025 HPC meeting.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Chris Perrault & Amanda Perkins
Address: 7512 Carroll Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Dan Bruechert at 301-563-3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



PERKINS-PERRAULT PORCH

7512 Carroll Ave, Takoma Park, Maryland 20912 Project #2412

PROJECT DESCRIPTION

THE PROPOSED SCOPE INVOLVES A NEW SCREEN PORCH ADDITION ON THE REAR OF A ONE-STORY RAMBLER, AND INCLUDES A COUPLE OF SMALL DECK LANDINGS AND STAIRS TO GRADE. THE PORCH WILL ESSENTIALLY EXTEND THE VOLUME AND ROOFLINE OF THE EXISTING FAMILY ROOM ADDITION.

BENNETT FRANK MCCARTHY

architects, inc.

1400 Spring Street, Suite 320
Silver Spring, Maryland 20910-2755
www.bfmarch.com
(301) 585-2222

OWNER

Chris Perrault & Amanda Perkins
7512 Carroll Ave
Takoma Park, Maryland 20912
(301) xxx-xxxx

SPECIFICATIONS

BUILDING HEIGHT (ABOVE AVE. FRONT GRADE: XXX'XX")

	EXISTING	ADDITION
RIDGE	20'-7 3/4"	20'-7 3/4"
MEAN	16'-10 1/2"	16'-10 1/2"
EAVE	13'-1"	13'-1"

ZONING SITE PLAN LEGEND

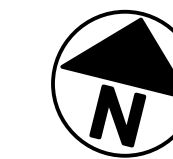
FIRST FLOOR ADDITION	
SECOND FLOOR ADDITION	
PROPERTY LINE	
SETBACKS	

ZONING SITE PLAN

Scale: 1/16" = 1'-0"

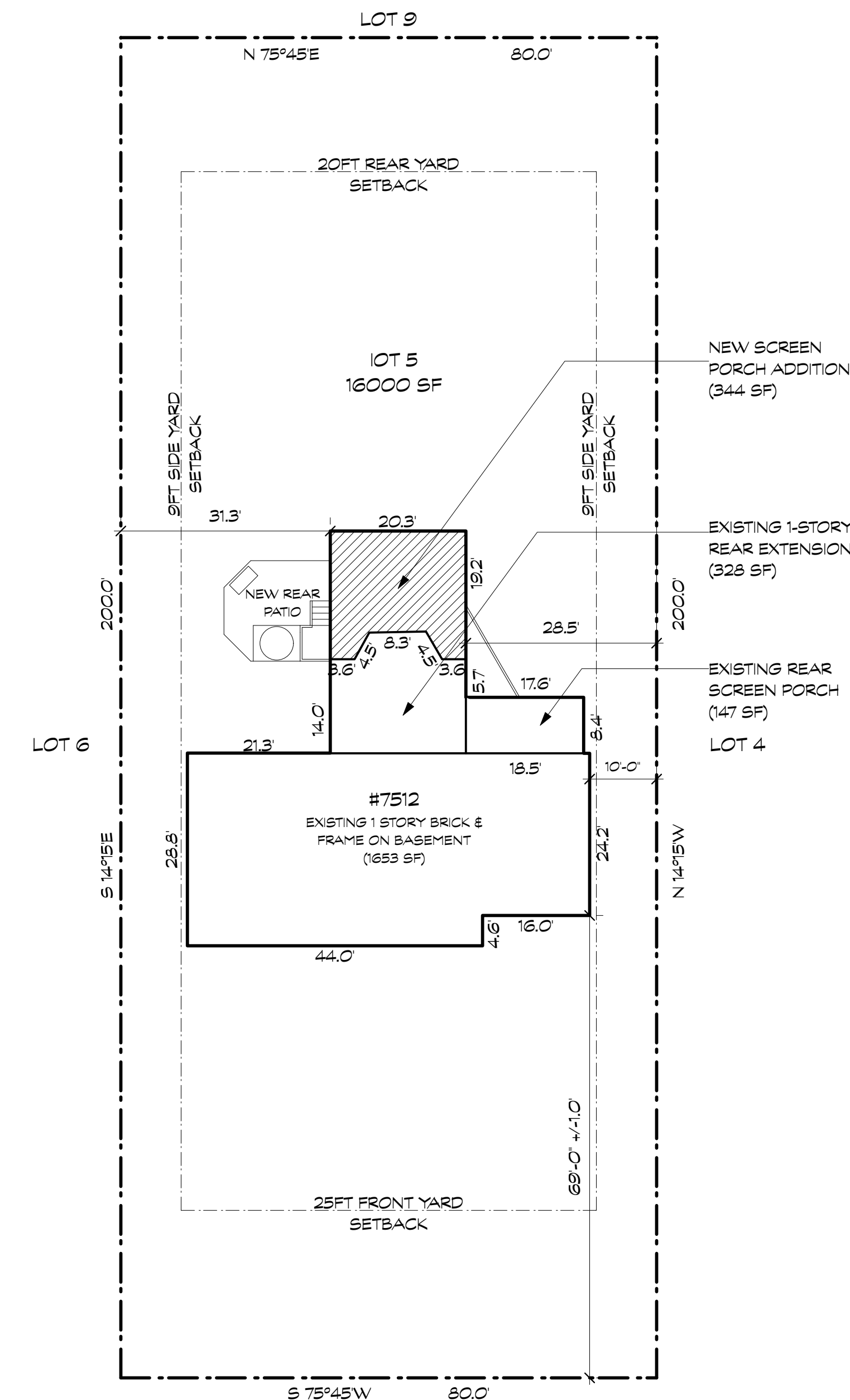
SITE PLAN BASED ON BOUNDARY SURVEY BY MERIDIAN SURVEYS INC. DATED 04/20/2004 AND FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.

LOT 5, BLOCK 50
PLAT BOOK A
MONTGOMERY COUNTY, MD
SUBDIVISION: B.F. GILBERTS
ADDITION TO TAKOMA PARK
ZONE: R-60



SITE PLAN SUMMARY- LOT COVERAGE

TOTAL LOT AREA	18000 SF	100.0%
EXISTING LOT COVERAGE	2128.0 SF	11.8%
---FOOTPRINT OF EXISTING HOUSE	1653.0 SF	
---EXISTING REAR EXTENSION	328.0 SF	
---EXISTING REAR SCREEN PORCH	147.0 SF	
---EXISTING OUTBUILDINGS	0.0 SF	
PROPOSED INCREASE	344.0 SF	1.9%
---SCREEN PORCH ADDITION	344.0 SF	
---	0.0 SF	
---EXIST. OUTBUILDINGS TO BE REMOVED	0.0 SF	
PROPOSED LOT COVERAGE	2472.0 SF	13.7%



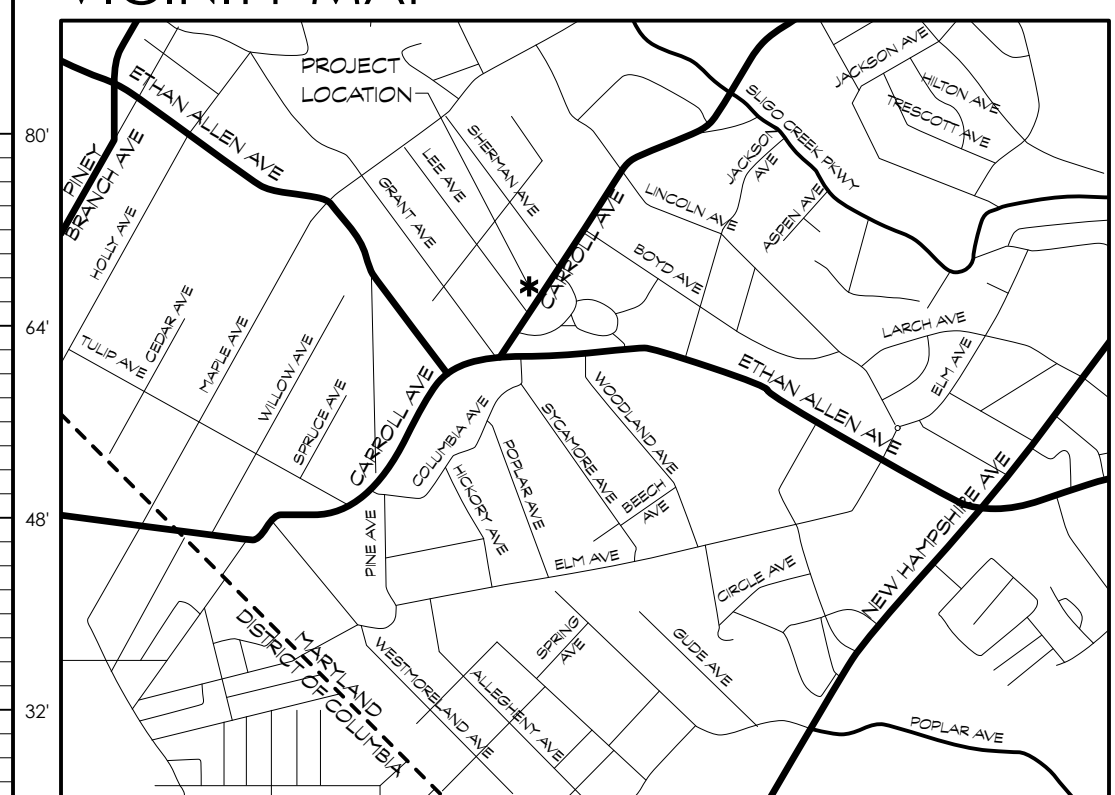
APPROVED
Montgomery County
Historic Preservation Commission
Karen Buelit

REVIEWED
By Dan Bruechert at 1:15 pm, Jan 23, 2025

DRAWING LIST

REV.	SHEET	TITLE
	0000	COVER SHEET
	S100	SPECIFICATIONS
	D100	DEMOLITION PLAN
	D200	DEMOLITION ELEVATIONS
	A100	FOUNDATION PLAN
	A101	PROPOSED FIRST FLOOR PLAN
	A102	PROPOSED ROOF PLAN
	A200	PROPOSED ELEVATIONS
	A300	BUILDING SECTIONS
	A301	WALL SECTIONS
	S100	FOUNDATION PLAN
	S101	FIRST FLOOR FRAMING PLAN
	S102	ROOF FRAMING PLAN
	E100	ELECTRICAL PLAN

VICINITY MAP



DATE	ISSUE
12/27/2024	PROGRESS

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ABBREVIATIONS

±	AND	D	DRYER	EQ	EQUAL	LVL	LAMINATED VENEER	OSB	ORIENTED STRAND BOARD	SPRK	SPRINKLER
Ⓜ	AT	DH	DOUBLE HUNG	ETR	EXISTING TO REMAIN	EX	EXISTING	MARB	MARBLE	STL	STEEL
AFF	ABOVE FINISHED FLOOR	DIA	DIAMETER	EX	EXISTING	MARB	MARBLE	PLAM	PLASTIC LAMINATE	TBD	TO BE DETERMINED
APT	APARTMENT	DIM	DIMENSION	FF	FINISH FLOOR	FF	FINISH FLOOR	PT	PLYWOOD	TEMP	TEMPER
BLDG	BUILDING	DN	DOWN	FN	FINISH	MAX	MAXIMUM	PT	PRESSURE TREATED	T&G	TONGUE AND GROOVE
BSMT	BASEMENT	DR	DOOR	FLR	FLOOR	MDO	MEDIUM DENSITY OVERLAY	R	RISER	TOS	TOP OF SLAB
CJ	CONTROL JOINT	DS	DOWNSPOUT	GA	GAUGE	MIN	MINIMUM	REF	REFRIGERATOR	TYP	TYPICAL
CAB	CABINET	DTL	DETAIL	GWB	GYPSON WALL BOARD	MIN	MINIMUM	RO	ROUGH OPENING	UNO	UNLESS NOTED OTHERWISE
CL	CENTER LINE	DW	DISHWASHER	HB	HOSE BIB	MANU	MANUFACTURER	RGD	REQUIRED	VIF	VERIFY IN FIELD
CLS	CEILING	DWS	DRAWING	HC	HOLLOW CORE	HTL	METAL	SC	SOLID CORE	W	WASHER
CLR	CLEAR	EFS	EXTERIOR INSULATION FINISHING SYSTEM	HT	HEIGHT	MECH	MECHANICAL	SC	SOLID CORE	W	WITH
CMU	CONCRETE MASONRY UNIT	HDWR	HARDWARE	HWDR	HARDWARE	NIC	NOT IN CONTRACT	SHT	SHEET	WC	TOILET / WATER CLOSET
COND	CONDITION	JB	JUNCTION BOX	NTS	NOT TO SCALE	SHWR	SHOWER	W/O	WOOD	WO	WOOD
CONC	CONCRETE	LB	LOAD BEARING WALL	OC	ON CENTER	SHR	SHOWER	W/O	WITHOUT	W/O	WITHOUT
CONT	CONTINUOUS	EXP	EXPANSION	LBW	LOAD BEARING WALL	OH	OPPOSITE HAND	SPEC	SPECIFICATION	W/W	WELDED WIRE MESH

SYMBOLS

	CENTERLINE		DRAWING CALL-OUT: DRAWING NUMBER SHEET REFERENCE		ELEVATION MARKER: XXX-XX X"/X" BENCHMARK SPOT LOCATION
	DOOR TAG: DOOR REFERENCE (SEE DOOR SCHEDULE)		ELEVATION CALL-OUT: VIEW DIRECTION DRAWING NUMBER SHEET REFERENCE		SECTION CUT CALL-OUT: DRAWING REFERENCE SECTION CUT LOCATION
	WINDOW TAG: WINDOW REFERENCE (SEE WINDOW SCHEDULE)		ELEVATION CALL-OUT: VIEW DIRECTION DRAWING NUMBER SHEET REFERENCE		WALL TAG: WALL TYPE REFERENCE (SEE WALL / PARTITION TYPES)
	WALL TAG: WALL TYPE REFERENCE (SEE WALL / PARTITION TYPES)		DRAWING CALL-OUT: DRAWING NUMBER SHEET REFERENCE		SECTION CUT CALL-OUT: DRAWING REFERENCE SECTION CUT LOCATION

PROJECT DATA

JURISDICTION:	MONTGOMERY COUNTY, MD
BUILDING CODE:	2018 IRC & MONTGOMERY COUNTY AMENDMENTS
BUILDING USE GROUP:	SINGLE-FAMILY, DETACHED
CONSTRUCTION TYPE:	5B - COMBUSTIBLE, UNPROTECTED
FIRE SUPPRESSION SYSTEM:	NA

CERTIFICATION

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: _____
EXPIRATION DATE: _____

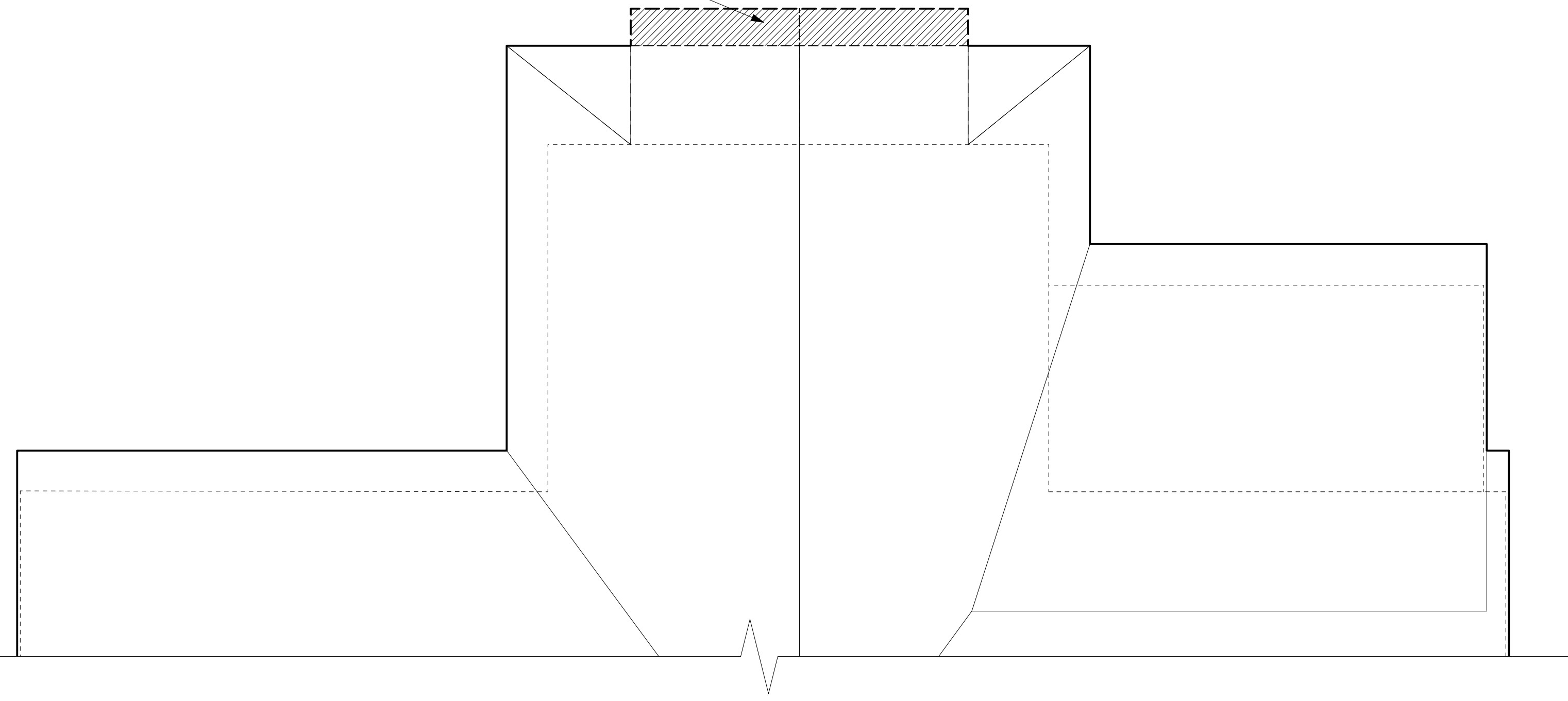
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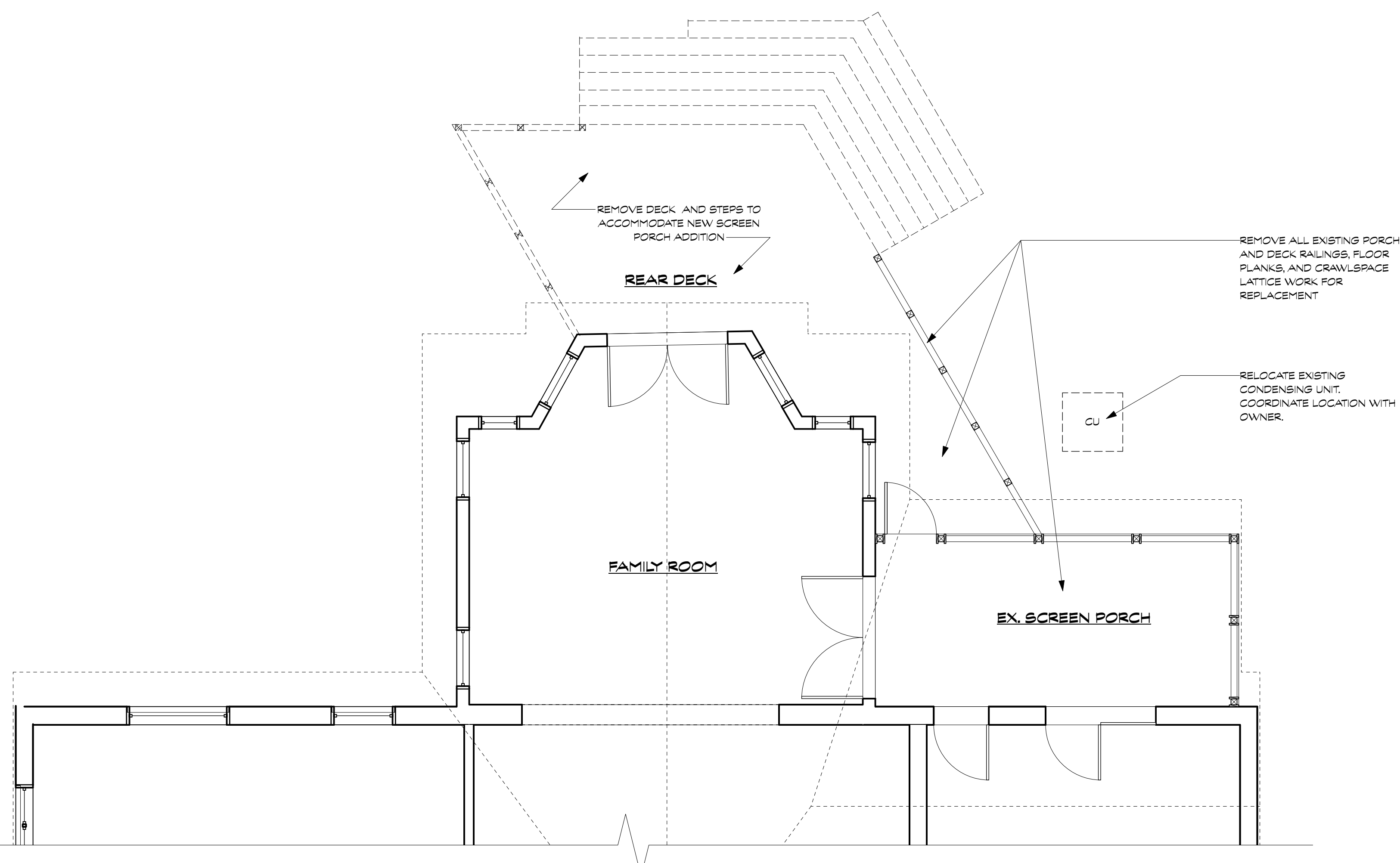
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REMOVE EXISTING ROOF OVERHANG AS SHOWN



2 ROOF DEMOLITION PLAN
Scale: 1/4" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN
Scale: 1/4" = 1'-0"

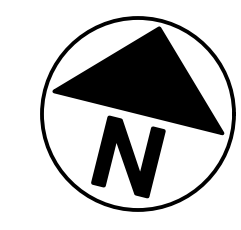
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Karen Buelitt

REVIEWED
By Dan Bruechert at 1:15 pm, Jan 23, 2025

WALL LEGEND

	EXISTING WALLS AND PARTITIONS TO REMAIN
	EXISTING WALLS AND PARTITIONS TO BE REMOVED
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS
	NEW CMU WALLS

- GENERAL NOTES:**
- DO NOT SCALE THE DRAWINGS
 - NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O)
 - EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O)



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Project #2412

DEMOLITION PLANS
D100

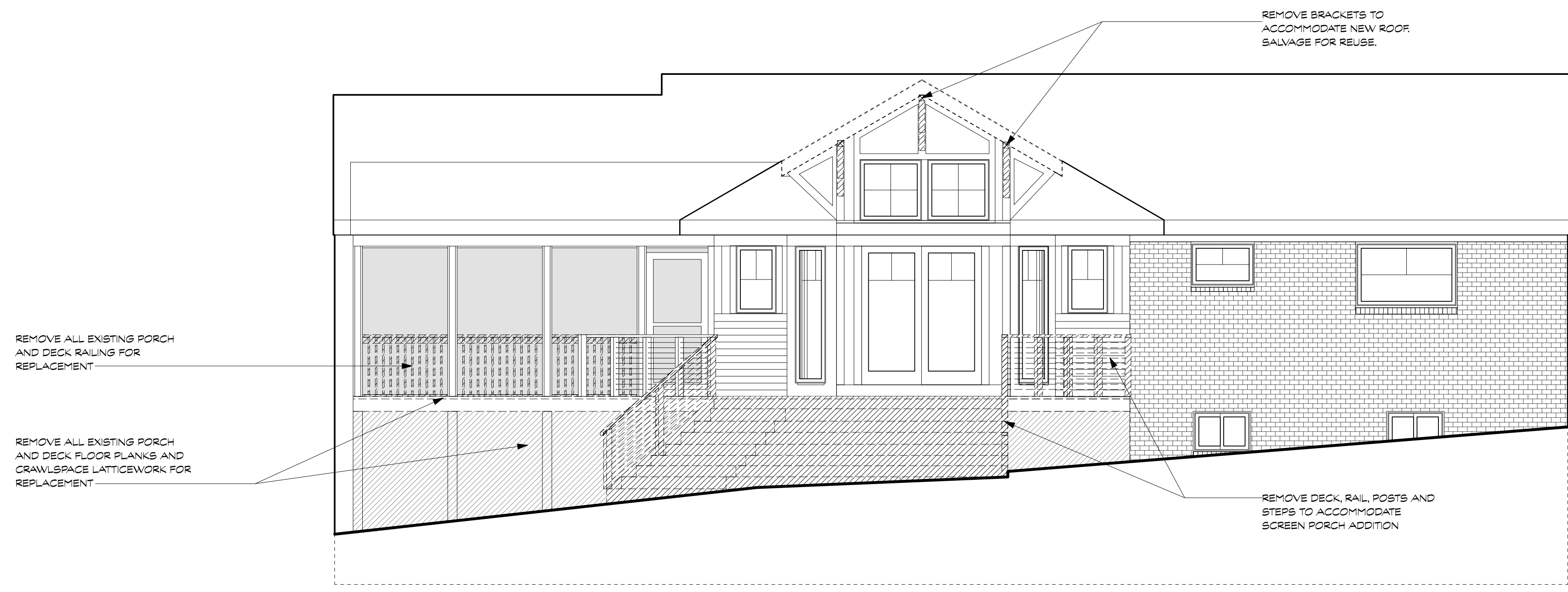
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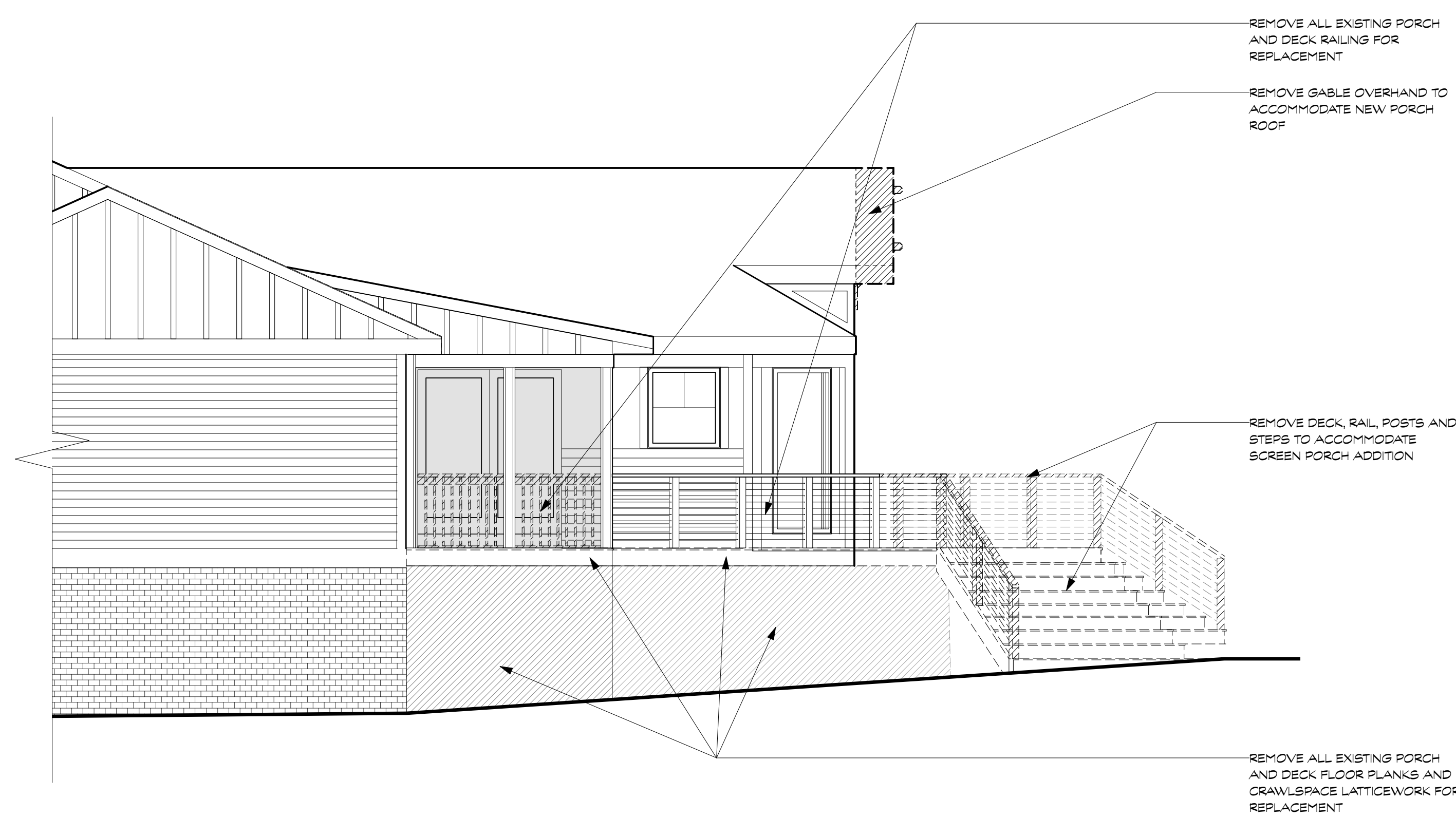


1 REAR DEMOLITION ELEVATION
 Scale: 1/4" = 1'-0"

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2 SIDE DEMOLITION ELEVATION
 Scale: 1/4" = 1'-0"

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DEMOLITION ELEVATIONS
D200

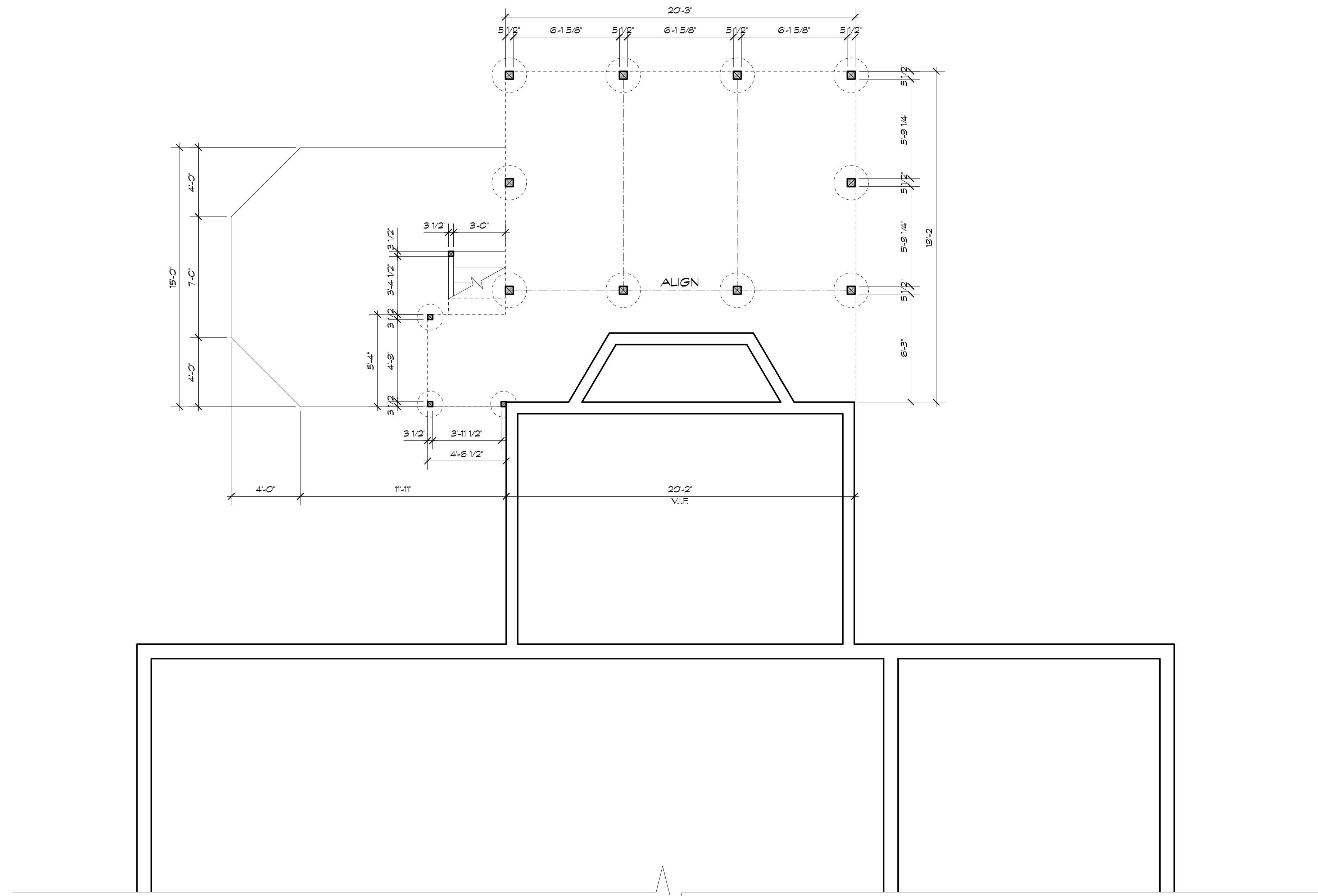
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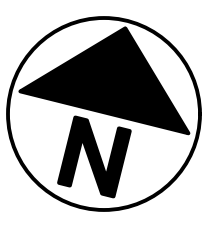
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1 FOUNDATION PLAN
Scale: 1/4" = 1'-0"

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WALL LEGEND

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FOUNDATION PLAN

A100

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DATE	ISSUE - REMARKS
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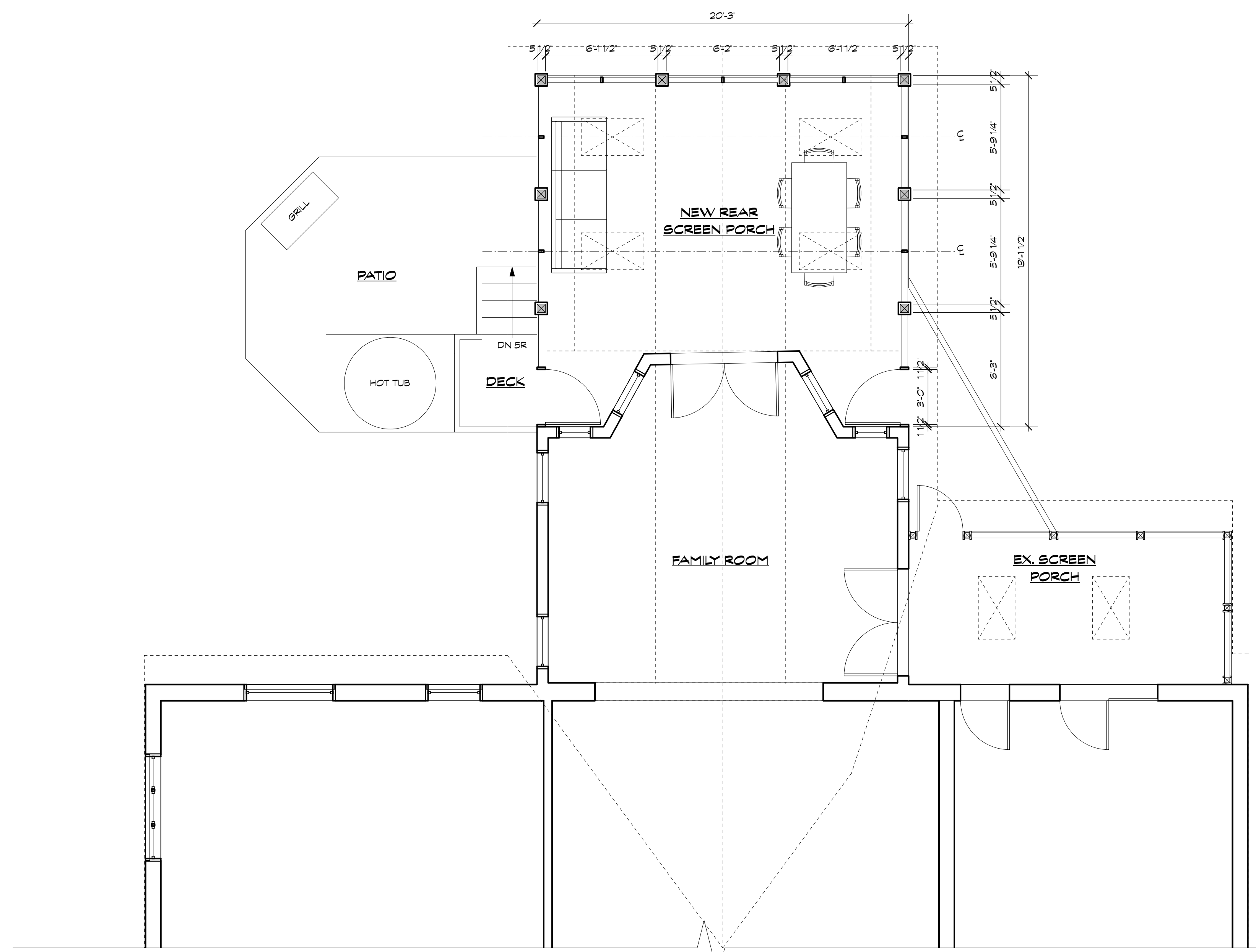
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MARK	MODEL NO.	TYPE	UNIT SIZE (W x H)	ROUGH OPENING (W x H)	OPER	ESSESS	GLAZING	REMARKS	MARK
A	3030 (228)	CASHEM PICTURE	2'-1 1/2" X 2'-1 1/2"	3'-0" X 3'-0"	N	N	LOWE		A
B	VELUX FS-208	SKYLIGHT	1'-11 1/4" X 3'-0 1/2"	1'-0 1/2" X 3'-8 3/4"	N	N	LOWE		B
C									C
D									D
E									E

NOTES:
 1. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE THE SILLS ARE LESS THAN 18" ABOVE THE FINISH FLOOR.
 2. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS WITHIN 24" OF A DOOR OPENING.
 3. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS ADJACENT TO BATHTUB & SHOWER ENCLOSURES.
 4. PROVIDE ONE EMERGENCY EGRESS WINDOW CONFORMING W/ CODE IN EACH SLEEPING AREA & BEDROOM.
 THE MINIMUM NET CLEAR OPENING SHALL BE 5.7 SQUARE FEET. THE MINIMUM NET CLEAR WIDTH SHALL BE 20 INCHES.
 THE MINIMUM NET CLEAR HEIGHT SHALL BE 24 INCHES. THE MAXIMUM SILL HEIGHT SHALL BE 44 INCHES ABOVE THE FINISH FLOOR.
 5. SEE ELEVATIONS FOR MUNTIN / GRILLE PATTERNS, AND UNIT OPERATION.



1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

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Historic Preservation Commission
Karen Buelit

REVIEWED
By Dan Bruechert at 1:16 pm, Jan 23, 2025

WALL LEGEND

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FIRST FLOOR PLAN
A101

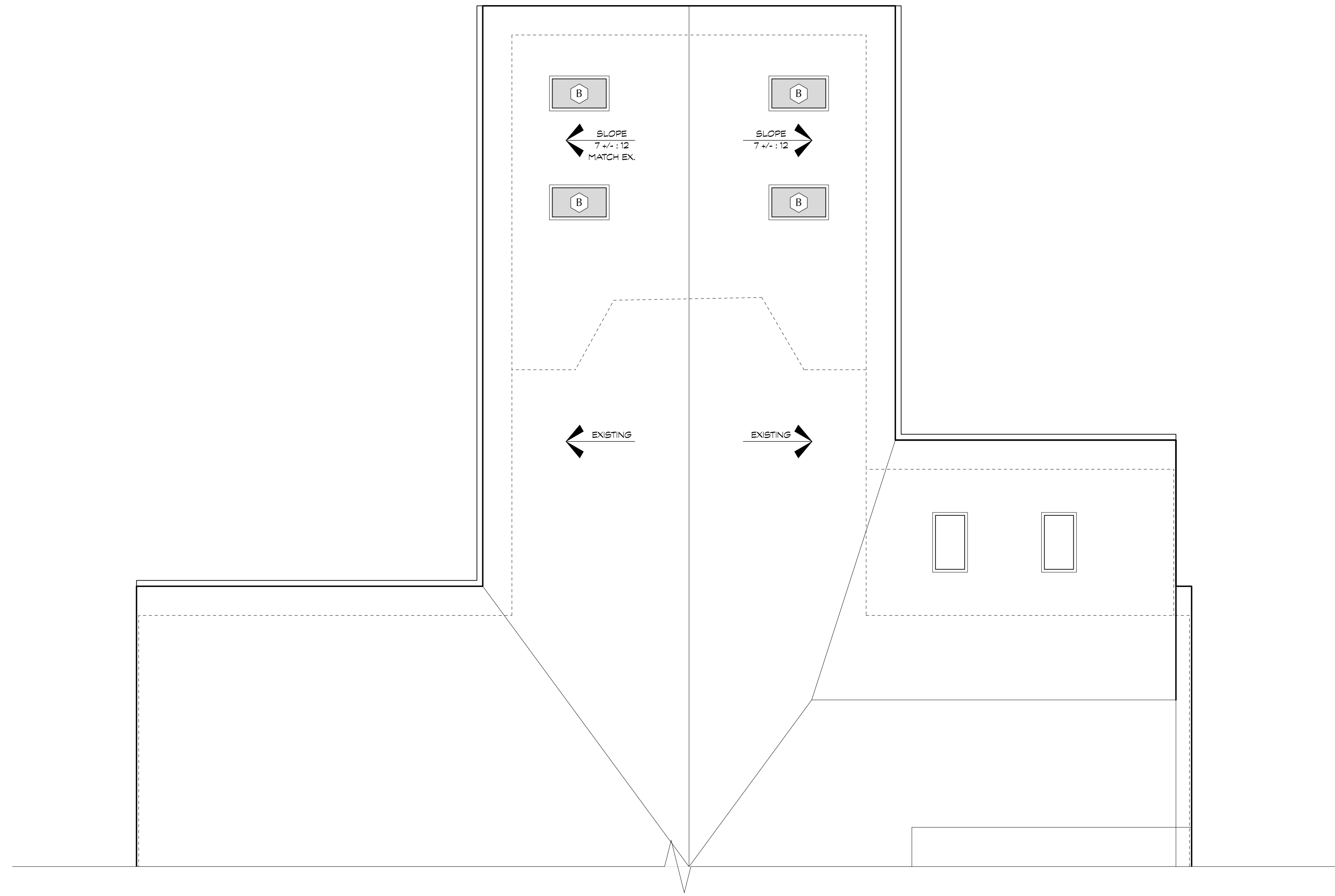
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1 ROOF PLAN
 Scale: 1/4" = 1'-0"

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ROOF PLAN
A102

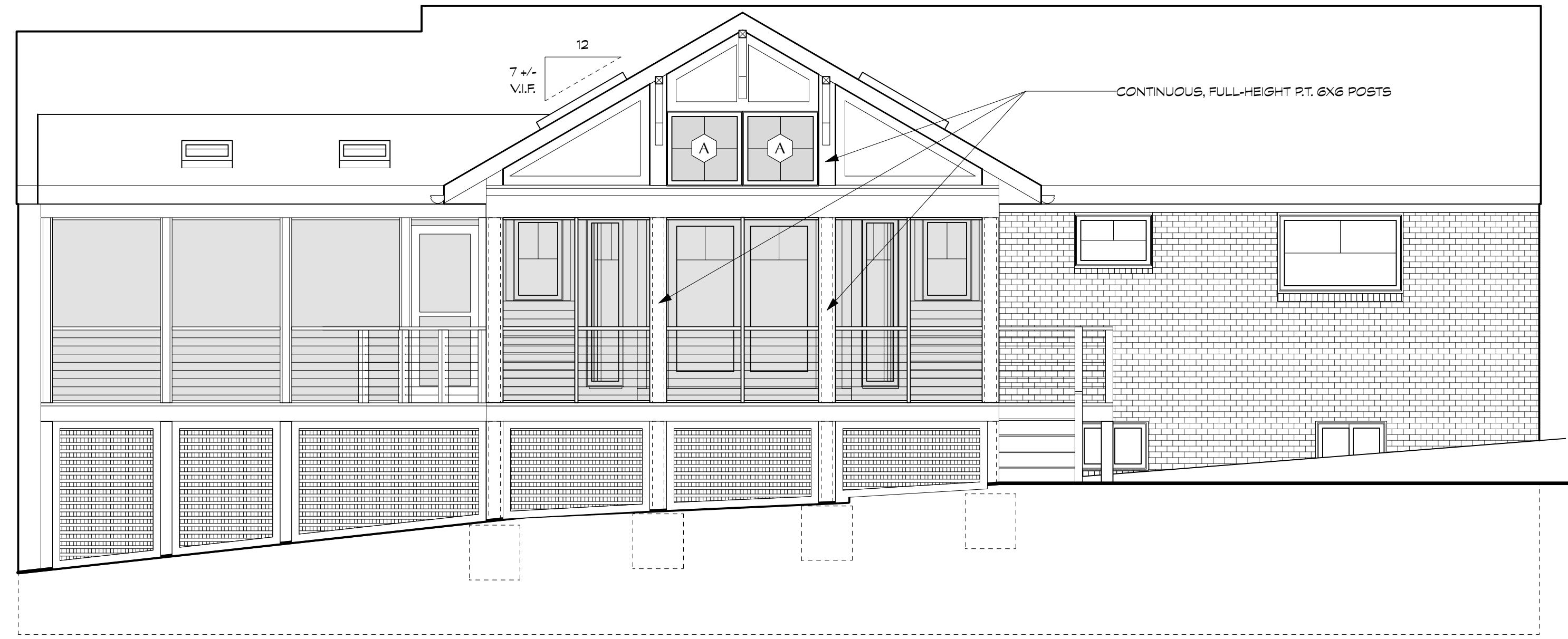
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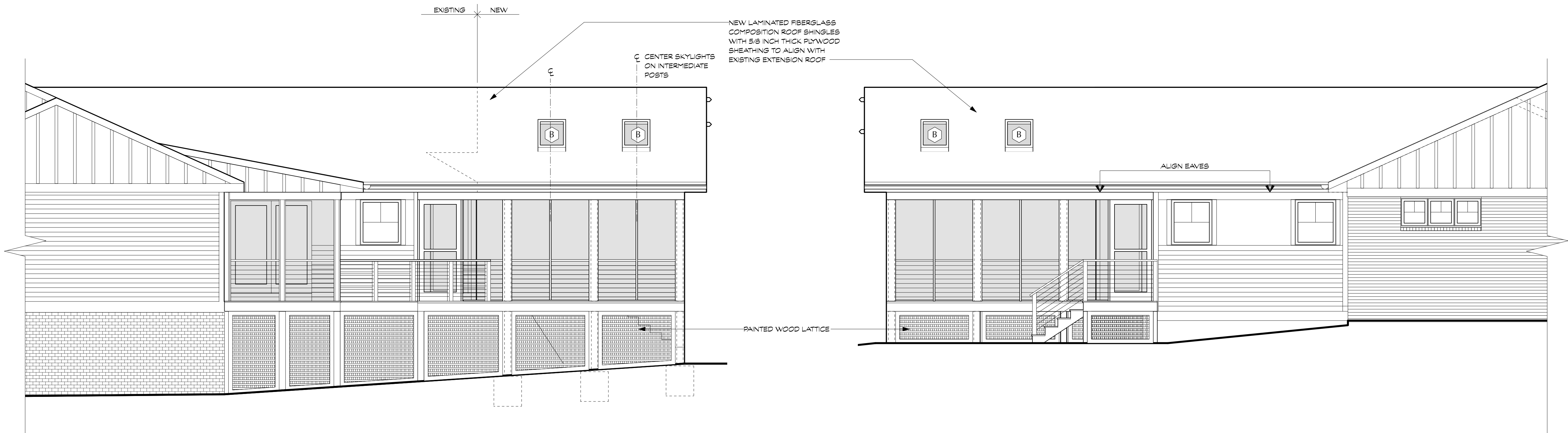
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1 REAR (NORTH) ELEVATION
 Scale: 1/4" = 1'-0"

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2 SIDE (EAST) ELEVATION
 Scale: 1/4" = 1'-0"

3 SIDE (WEST) ELEVATION
 Scale: 1/4" = 1'-0"

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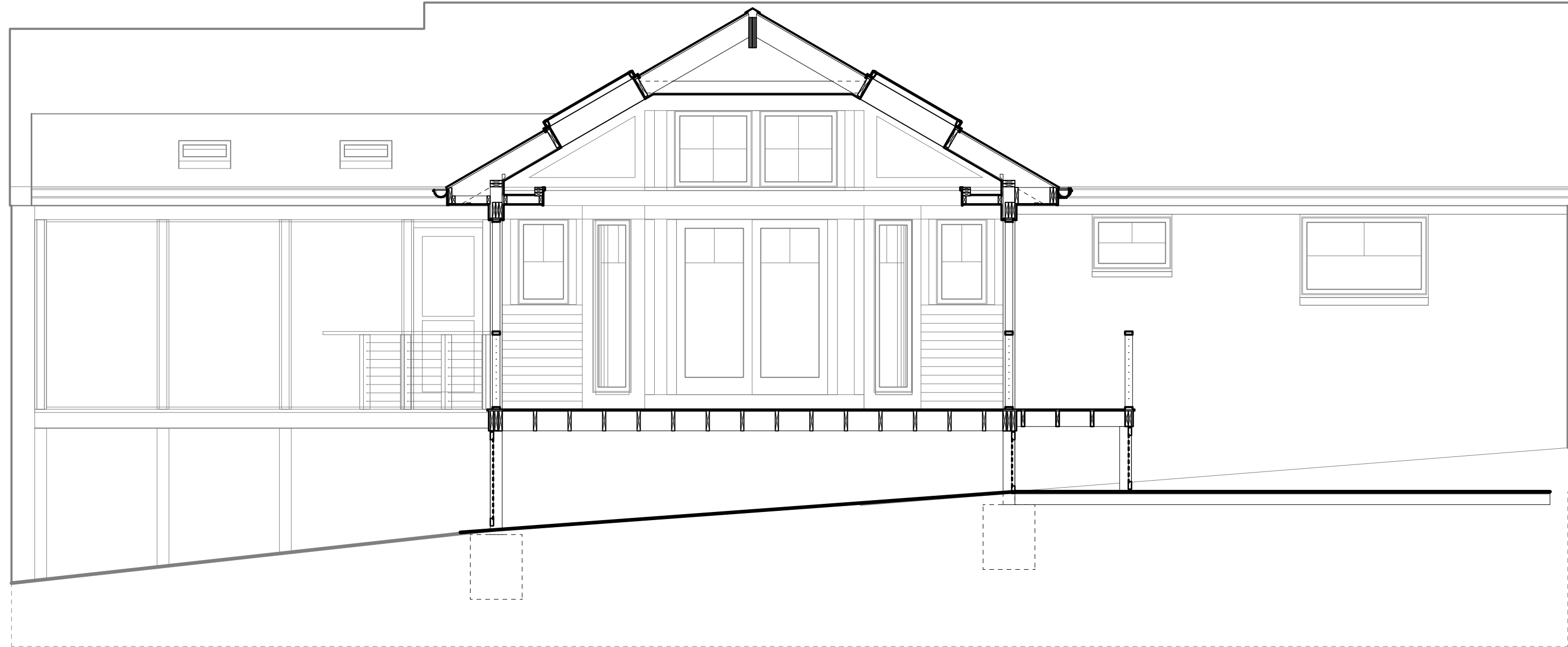
ELEVATIONS
A200

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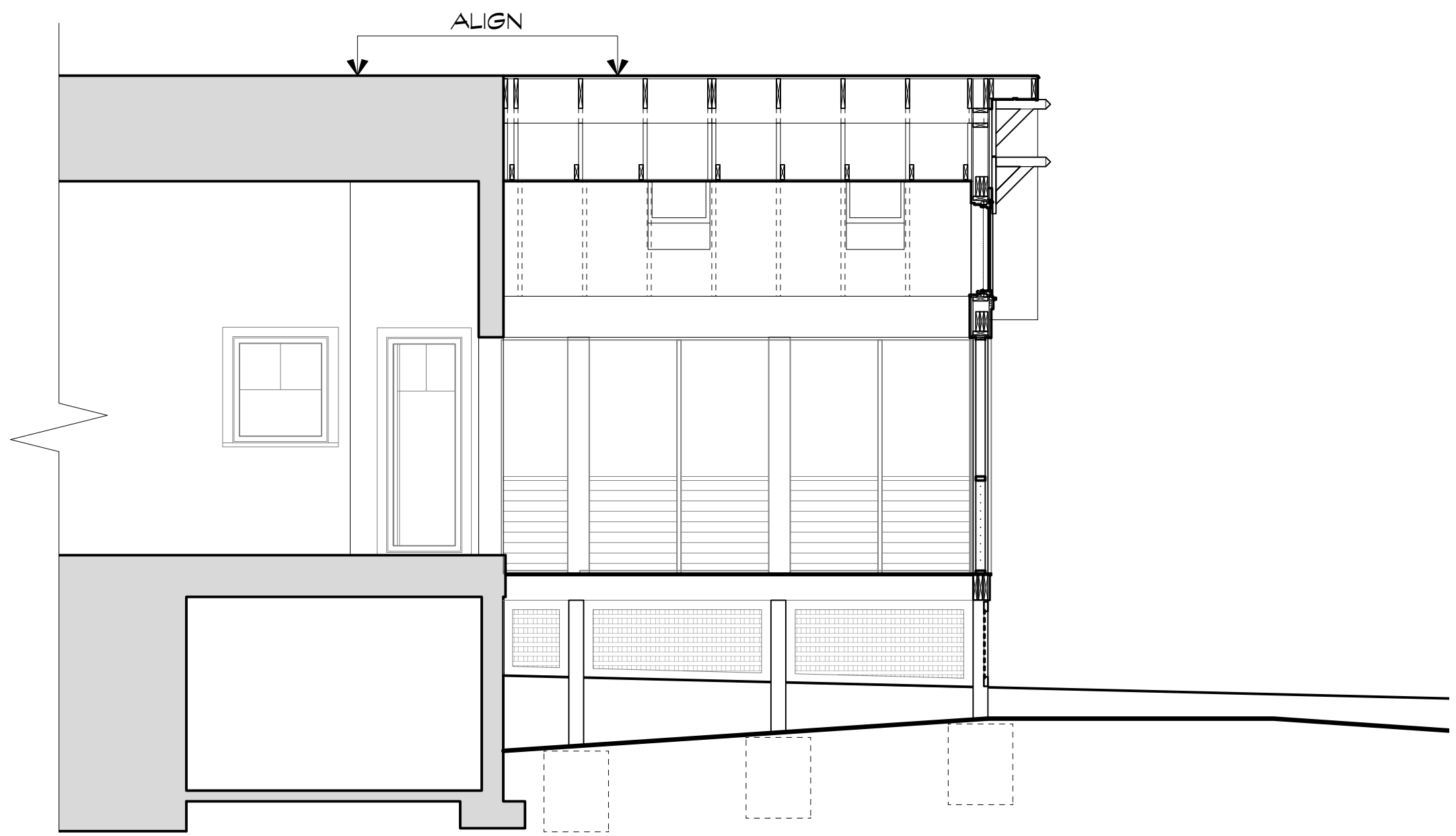


1 BUILDING SECTION
Scale: 1/4" = 1'-0"

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2 BUILDING SECTION
Scale: 1/4" = 1'-0"

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BUILDING SECTIONS

A300

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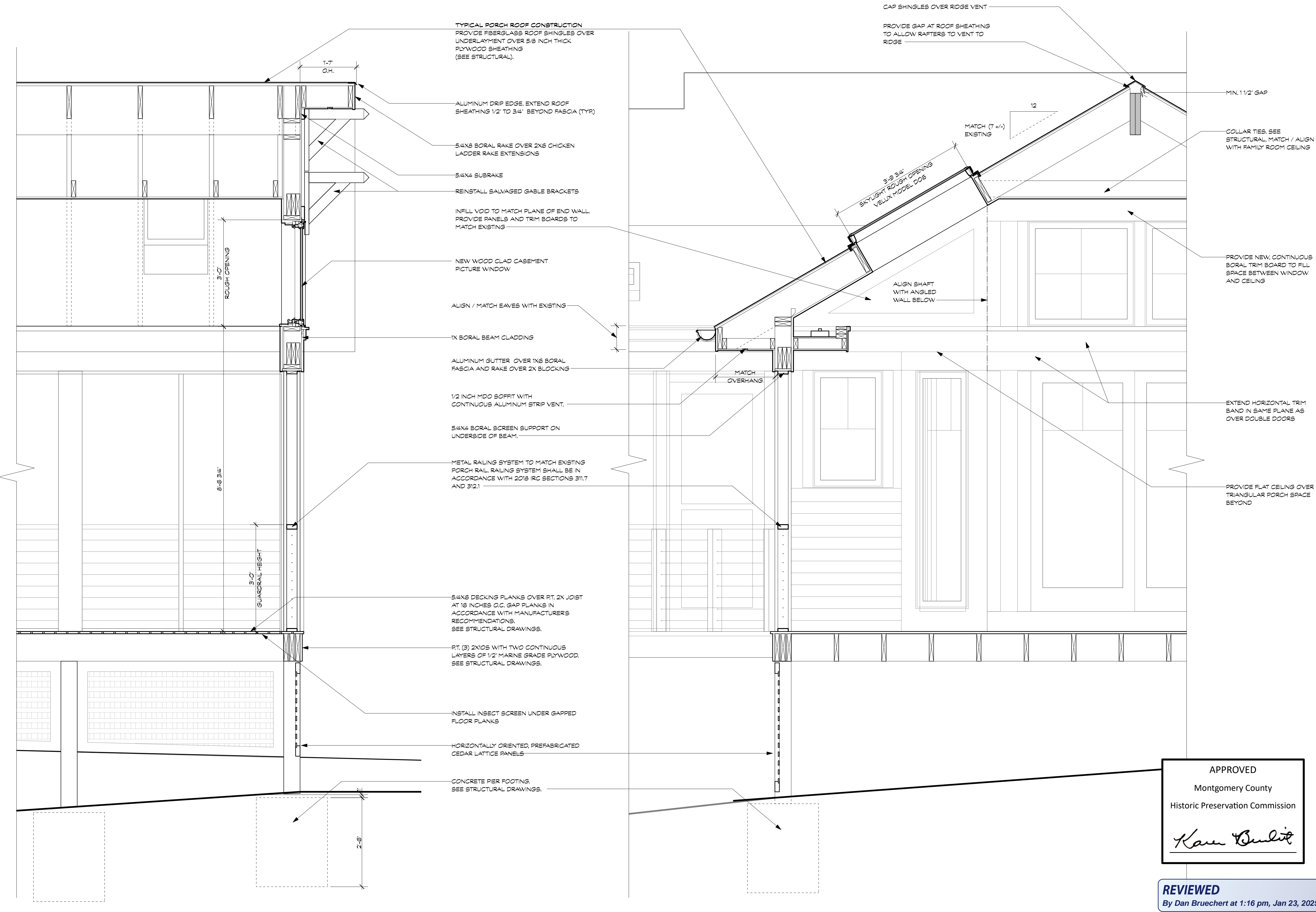
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WALL SECTIONS
A301



1 PORCH SECTION
Scale: 3/4" = 1'-0"

2 PORCH SECTION
Scale: 3/4" = 1'-0"

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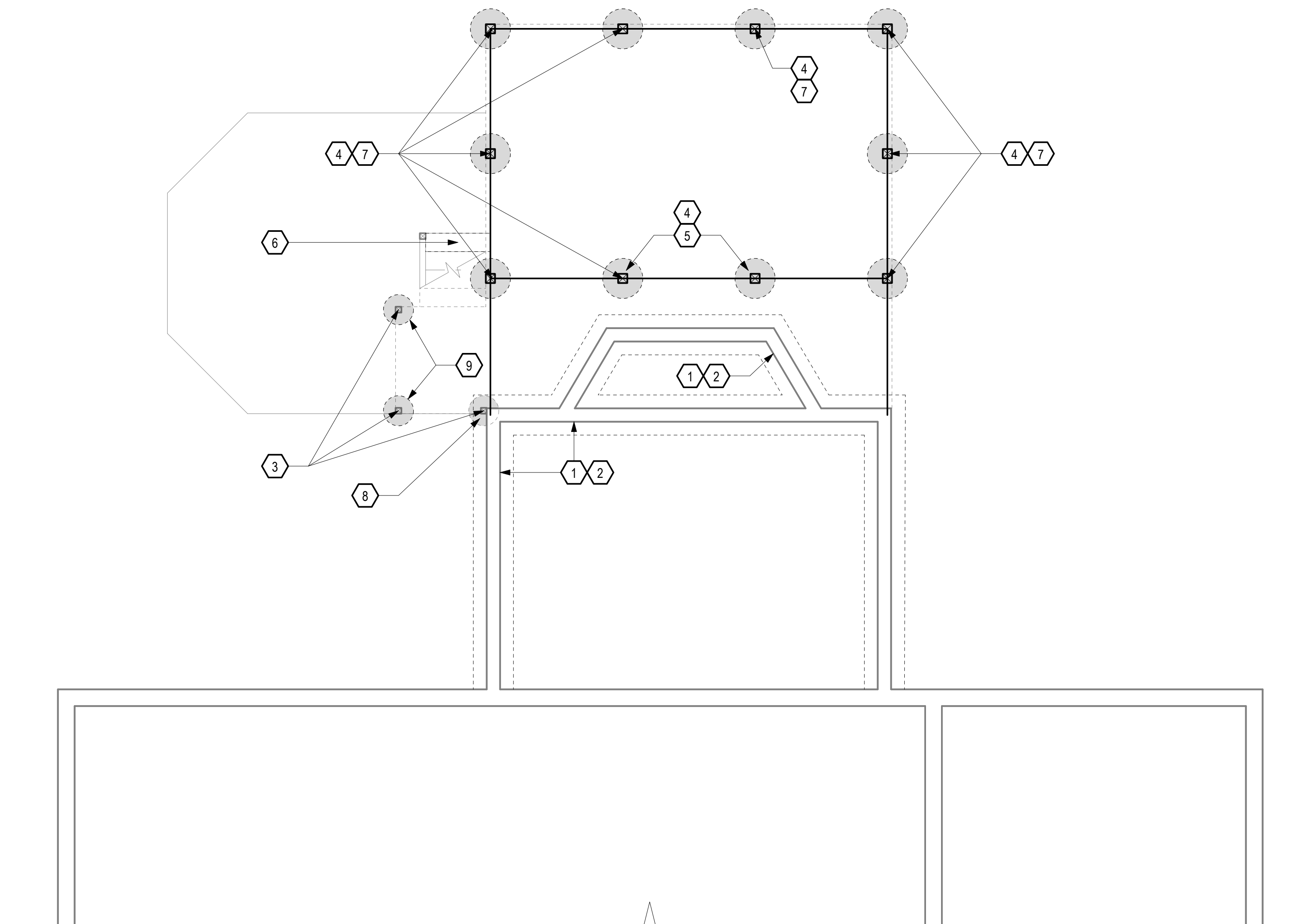
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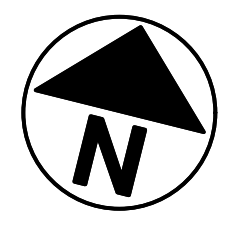


1 FOUNDATION PLAN
 Scale: 1/4" = 1'-0"

- 1 EXISTING FOOTING
- 2 EXISTING FOUNDATION WALL
- 3 P.T. 4x4 POST W/ SIMPSON ABU44Z POST BASE WITH 5/8"Øx6" EMBED. ANCHOR BOLT IN DEWALT AC100+ GOLD EPOXY
- 4 P.T. 6x6 POST W/ SIMPSON ABU66Z POST BASE WITH 5/8"Øx6" EMBED. ANCHOR BOLT IN DEWALT AC100+ GOLD EPOXY
- 5 20"Ø CONCRETE PIER ALIGN BOTTOM WITH BOTTOM OF EXISTING FOOTING
- 6 12X12 GRADE BEAM WITH 2 #4S OVER 6" TAMPED GRAVEL
- 7 20"Ø CONCRETE PIER
- 8 18" Ø CONCRETE PIER, BEAR ON EXISTING FOOTING
- 9 18"Ø CONCRETE PIER

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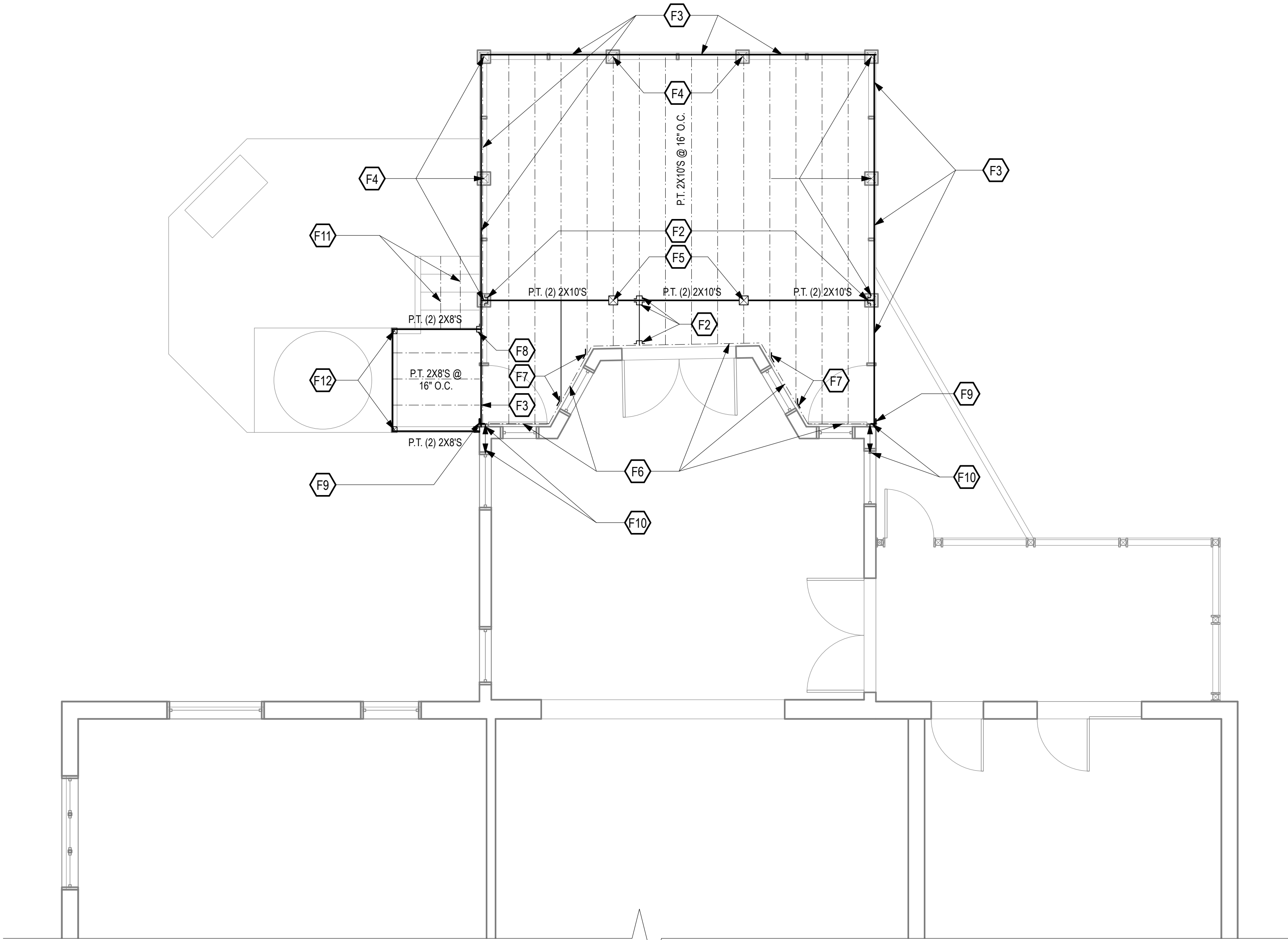
FOUNDATION PLAN
S100

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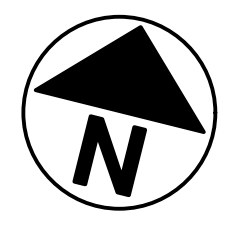


1 FIRST FLOOR FRAMING PLAN
 Scale: 1/4" = 1'-0"

- F1** SIMPSON U210
- F2** SIMPSON U210-2, TYP. U.N.O.
- F3** P.T. (3) 2X10S WITH TWO CONTINUOUS LAYERS OF 1/2" MARINE GRADE PLYWOOD
- F4** P.T. 6X6 WITH SIMPSON AC6 POST CAP & P.T. 6X6 POST UP WITH SIMPSON H6 HURRICANE TIE TO 2X10 BEAM BELOW
- F5** P.T. 6X6 POST WITH (2) 1/2"Ø A307 THRU-BOLTS AT 2X10 BEAMS
- F6** P.T. 2X10 LEDGER WITH 1/2"Ø A307 BOLTS @ 16" O.C. STAGGERED TOP AND BOTTOM
- F7** SIMPSON LS90
- F8** SIMPSON U26-2
- F9** SIMPSON HUCQ610-SDS
- F10** SIMPSON DTT2Z DECK TIE
- F11** P.T. 2X12 STRINGER
- F12** P.T. 4X4 POST W/ SIMPSON LCE4 POST CAP

APPROVED
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REVIEWED
 By Dan Bruechert at 1:16 pm, Jan 23, 2025



PERKINS-PERRAULT PORCH
 7512 Carroll Ave, Takoma Park, Maryland 20912
 Project #2412

FIRST FLOOR
 FRAMING PLAN
S101

Issue Name

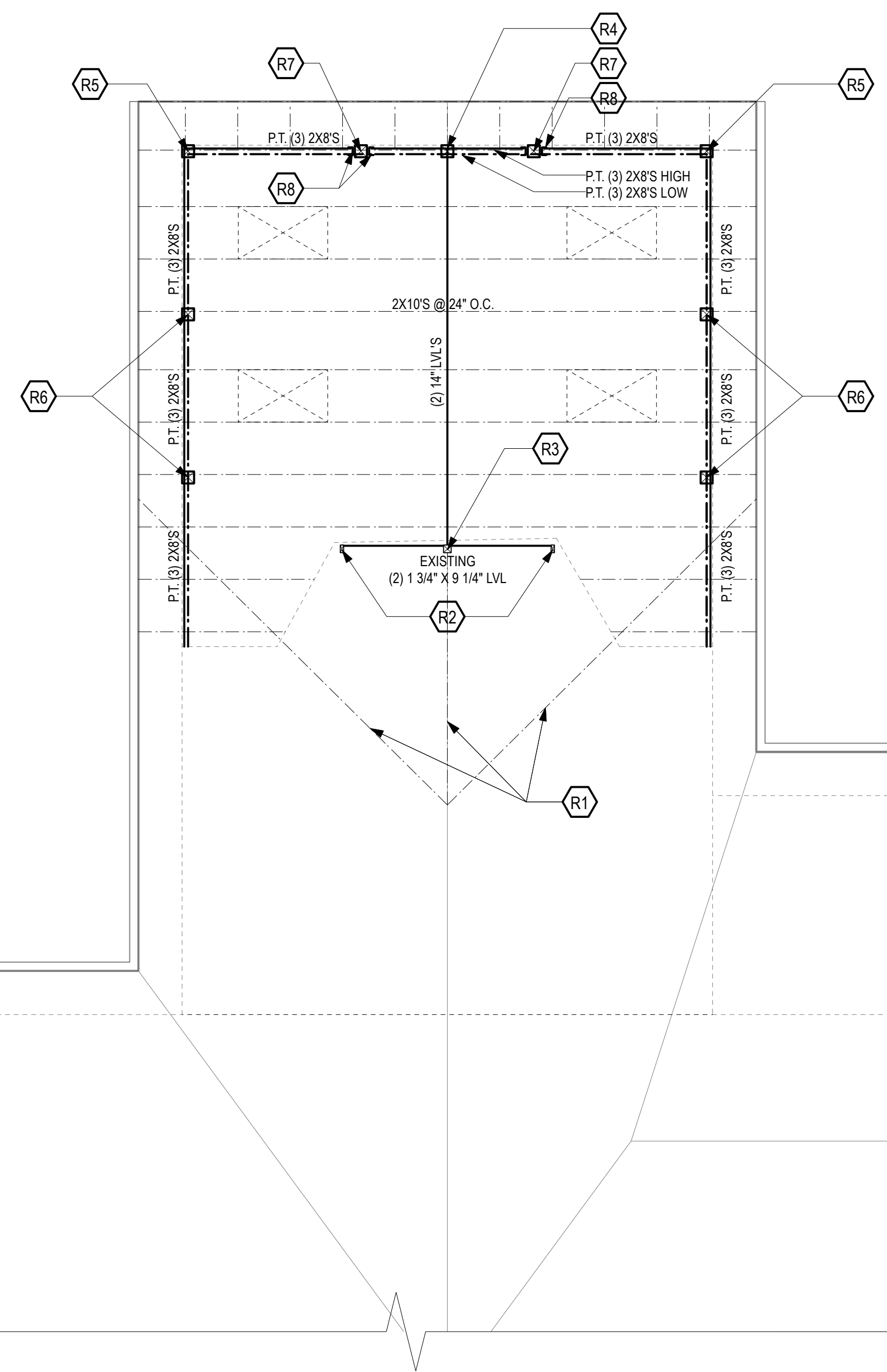
27 DECEMBER 2024

DATE	ISSUE - REMARKS
mm/dd/yyyy	Issue Name

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED STRUCTURAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: _____ EXPIRATION DATE: _____

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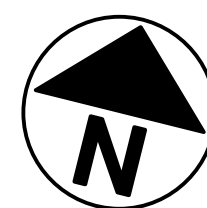
1 ROOF FRAMING PLAN
Scale: 1/4" = 1'-0"

- R1** EXISTING ROOF BEAMS
- R2** EXISTING DBL 2x6 STUD
- R3** EXISTING 3 1/2 X 3 1/2 PSL POST WITH SIMPSON AC4 POST CAP
- R4** P.T. 6x6 POST WITH SIMPSON LCE6 POST CAP TOP AND SIMPSON AC4 POST CAP BOTTOM (INVERTED)
- R5** P.T. 6x6 POST WITH SIMPSON LCE4 POST CAP
- R6** P.T. 6x6 POST WITH SIMPSON AC6 POST CAP
- R7** P.T. 6x6 CONTINUOUS FULL-HEIGHT
- R8** SIMPSON HH6

APPROVED
Montgomery County
Historic Preservation Commission

Karen Buelit

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ROOF FRAMING PLAN
S102

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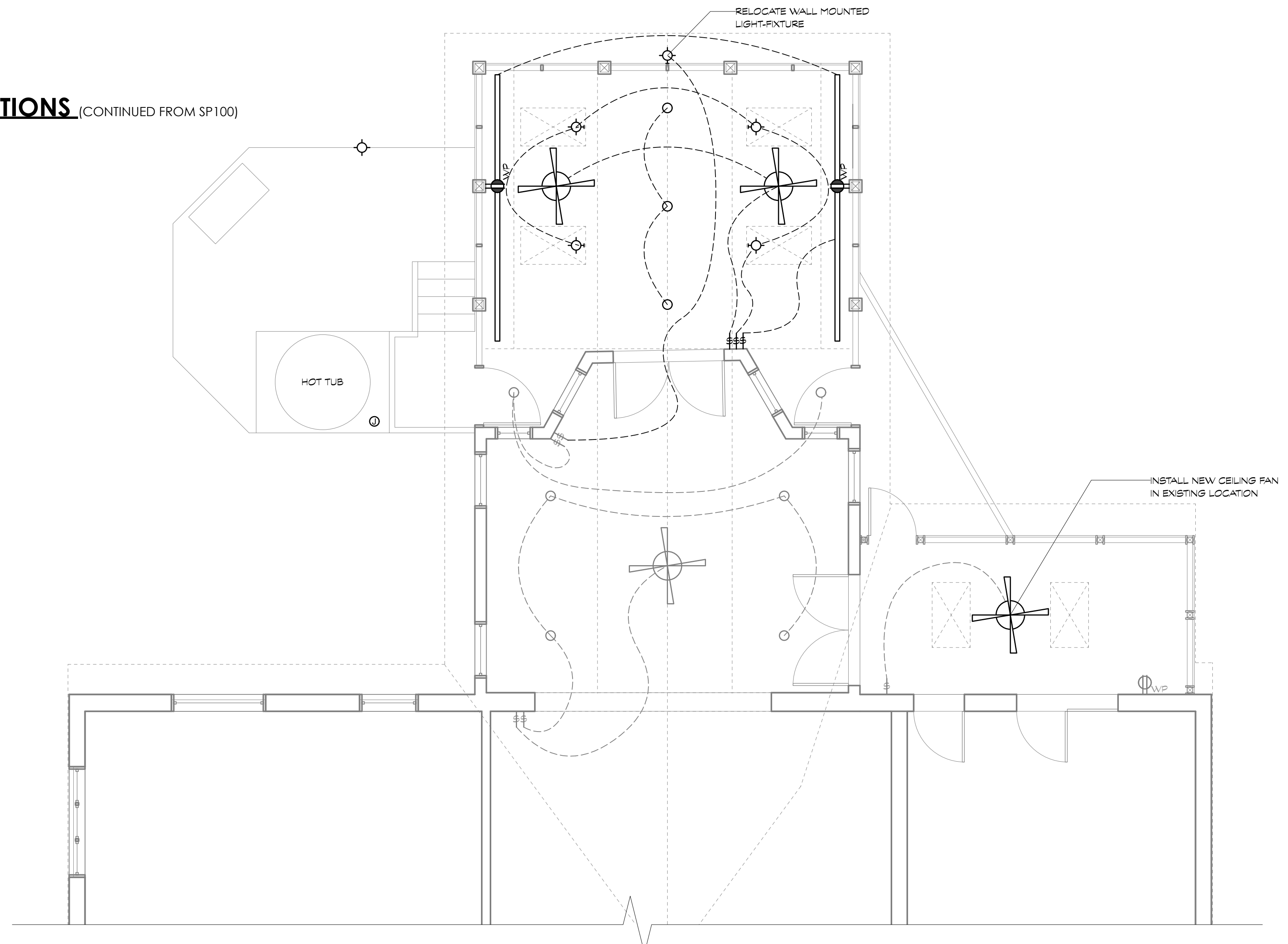
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SPECIFICATIONS (CONTINUED FROM SP100)



1 FIRST FLOOR ELECTRICAL PLAN
Scale: 1/4" = 1'-0"

LIGHTING SYMBOLS

◇	SURFACE MOUNTED CEILING LIGHT FIXTURE
○	FULLY RECESSED LED LIGHT
— UC	UNDER CABINET MOUNTED FIXTURE
⊗	SUSPENDED PENDANT FIXTURE
⊙	FULLY RECESSED INCANDESCENT WALL WASH LIGHT - MOUNT 2'-0" FROM WALL U.N.O.
◇	PENDANT FIXTURE
—	VANITY LIGHT
◇	WALL-MOUNTED LIGHT FIXTURE
△	SCONCE FIXTURE
⊗	CEILING FAN/LIGHT
—	LED LIGHT FIXTURE
⊕	SWITCH
⊕ ₃	THREE WAY SWITCH
⊕ _T	TIMER SWITCH
⊕ _D	DIMMER SWITCH
⊕ _{3D}	DIMMER THREE WAY SWITCH
JS	JAMB SWITCH
▽	SECURITY FLOODLIGHT ON MOTION DETECTOR

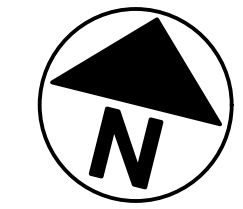
GENERAL: PROVIDE I.C. HOUSING AS NECESSARY IN INSULATED CAVITIES

ELECTRICAL SYMBOLS

⊕	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 18' A.F.F. COORDINATE W/ PANEL & EQUIP.
⊕ _{WP}	GFI DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP EXTERNALLY MOUNTED IN WATERPROOF HOUSING
⊕ ₄₅	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 45' A.F.F. COORDINATE W/ PANEL & EQUIP.
⊕	GFI OUTLET - 20 AMP @ 18' A.F.F.
⊕ ₄₅	GFI OUTLET - 20 AMP @ 45' A.F.F.
⊕ ₁₈	HALF-SWITCH OUTLET - 20 AMP @ 18' A.F.F.
⊕ ₄	QUAD RECEPTACLE 15/20 AMP @ 18' A.F.F. (U.N.O.)
⊕ _{FC}	FLOOR MOUNTED DUPLEX RECEPTACLE W/ FLUSH DECORATIVE COVER
⊕ _{JB}	JUNCTION BOX - SIZE AS REQUIRED
⊕ _{DR}	ELECTRIC DRYER RECEPTACLE
⊕ _{DT}	DATA-TELEPHONE JACK - MOUNT @ 18' A.F.F. (U.N.O.)
⊕ _{TV}	CABLE TV OUTLET
⊕ _{EX}	EXISTING SMOKE DETECTOR - REPLACE/RELOCATE AS NECESSARY TO MEET CODE
⊕ _{SD}	SMOKE DETECTOR - HARDWIRED INTERCONNECT PER CODE
⊕ _{CF}	EXHAUST FAN-CEILING MOUNTED
⊕ _{WF}	EXHAUST FAN-WALL MOUNTED

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FIRST FLOOR
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E100

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