



## HISTORIC PRESERVATION COMMISSION

**Marc Elrich**  
*County Executive*

**Karen Burditt**  
*Chair*

Date: February 19, 2025

### **MEMORANDUM**

TO: Rabbiah Sabbakhan  
Department of Permitting Services

FROM: Laura DiPasquale  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1100093– Demolition of existing rear deck, construction of new screened porch and deck with skylights

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the February 18, 2025 HPC meeting.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Jennifer McLaughlin  
Address: 3932 Prospect Street, Kensington

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or [laura.dipasquale@montgomeryplanning.org](mailto:laura.dipasquale@montgomeryplanning.org) to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Karen Benoit*

REVIEWED  
By: Laura D'Pasquale at 2:34 pm, Feb 19, 2025

Work Item 1: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

Work Item 2: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

**REVIEWED**  
By Laura DiPasquale at 2:34 pm, Feb 19, 2025

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Montgomery County  
Historic Preservation Commission  
*Karen Benoit*

Work Item 3: \_\_\_\_\_

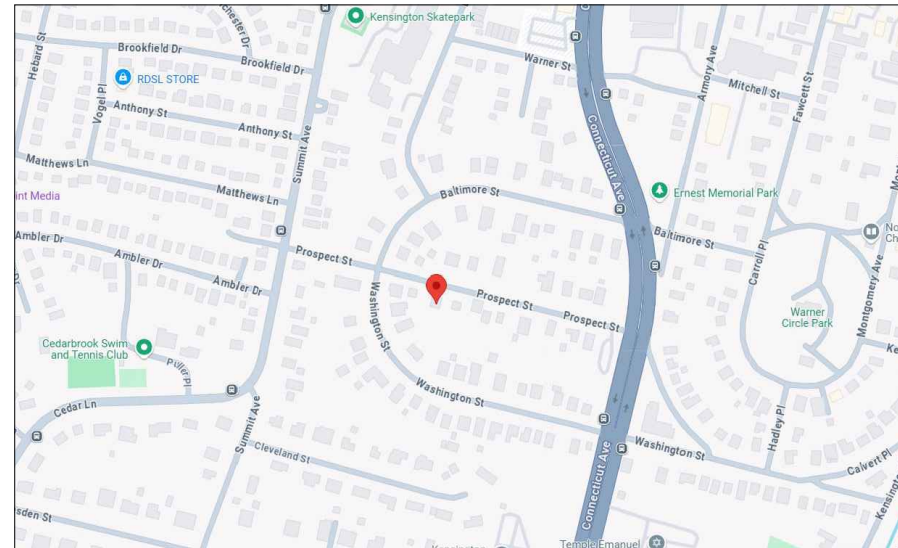
Description of Current Condition:

Proposed Work:

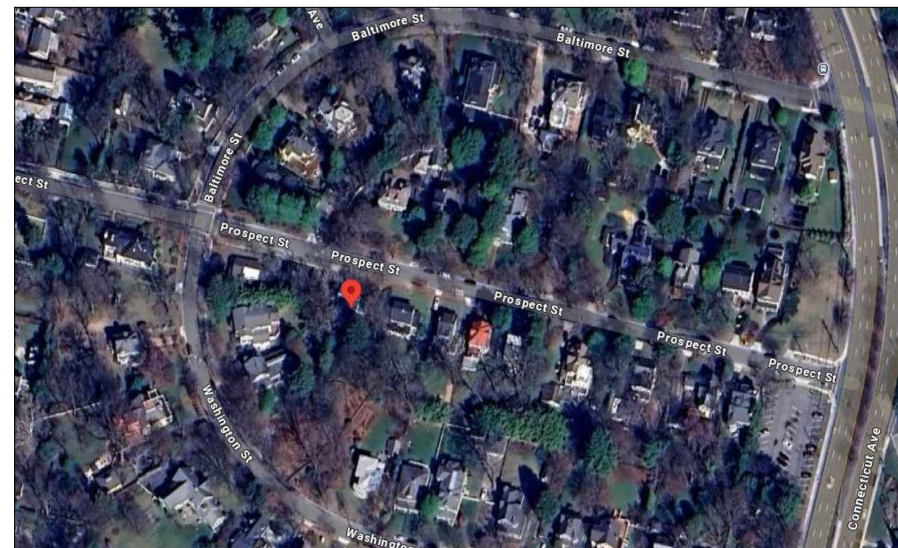


# SCREEN PORCH & COMPOSITE DECK ADDITION

3932 PROSPECT STREET, KENSINGTON, MD 20895



LOCATION MAP  
NOT TO SCALE



AERIAL IMAGE  
NOT TO SCALE

## SHEET LIST:

- C1 COVER SHEET
- A1 PORCH & DECK PLANS
- A2 ROOF FRAMING, ROOF & CEILING PLANS
- A3 PROPOSED FRONT ELEVATION
- A4 RIGHT & LEFT SIDE ELEVATIONS
- A5 TYPICAL DETAILS

## SCOPE OF WORK:

NEW SCREEN PORCH AND COMPOSITE DECK  
AREA OF SCREEN PORCH: 240 SQ FT  
AREA OF DECK: 108 SQ FT  
TOTAL AREA: 348 SQ FT

BUILDING CODE: IRC 2018

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Montgomery County  
Historic Preservation Commission  
*Karen Benoit*

CREATIVE EXTERIORS PLUS LLC  
21030 FREDERICK RD SUITE G 375  
GERMANTOWN, MD 20876



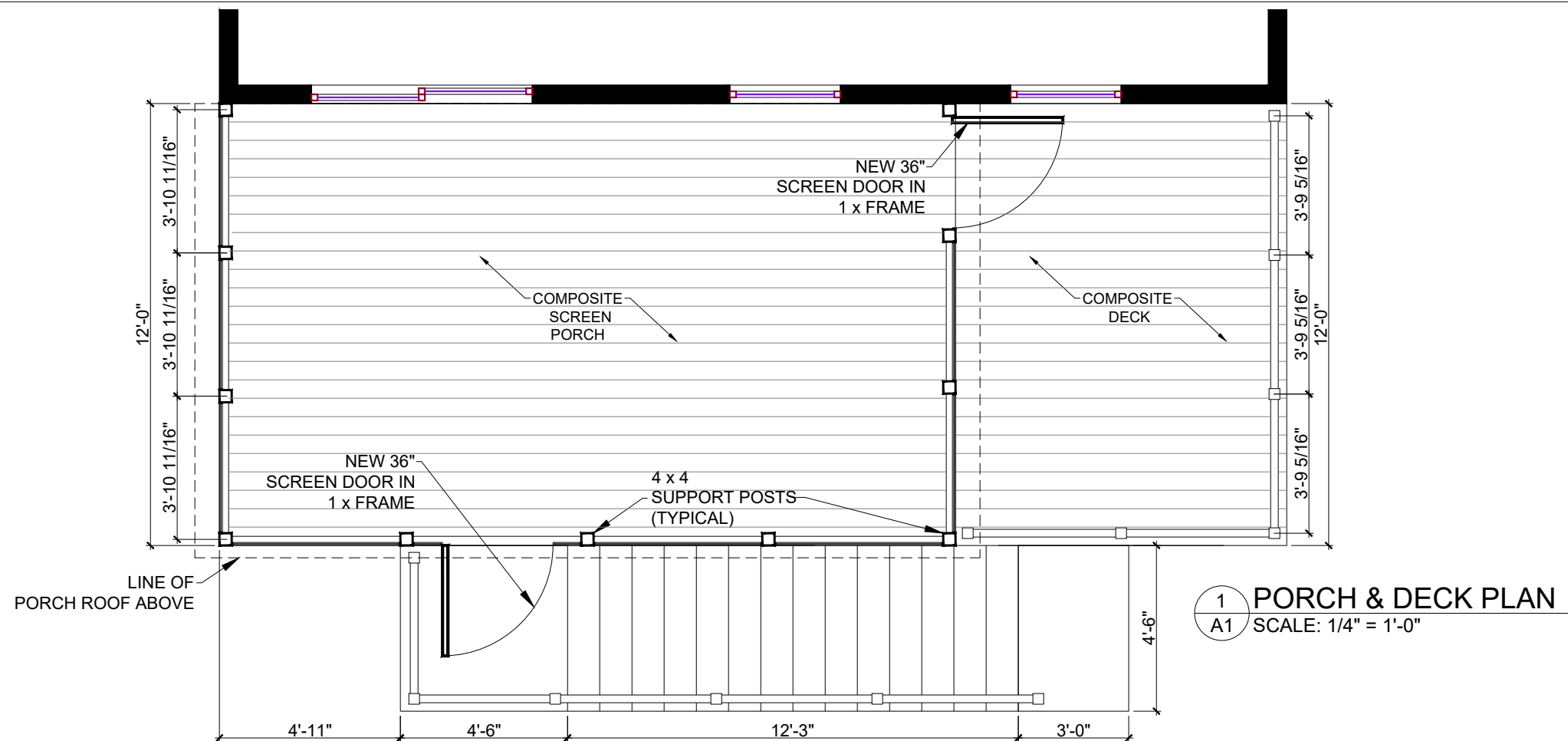
PROJECT:  
SCREEN PORCH AND COMPOSITE DECK  
3932 PROSPECT STREET, KENSINGTON, MD 20895

SHEET TITLE:  
COVER SHEET

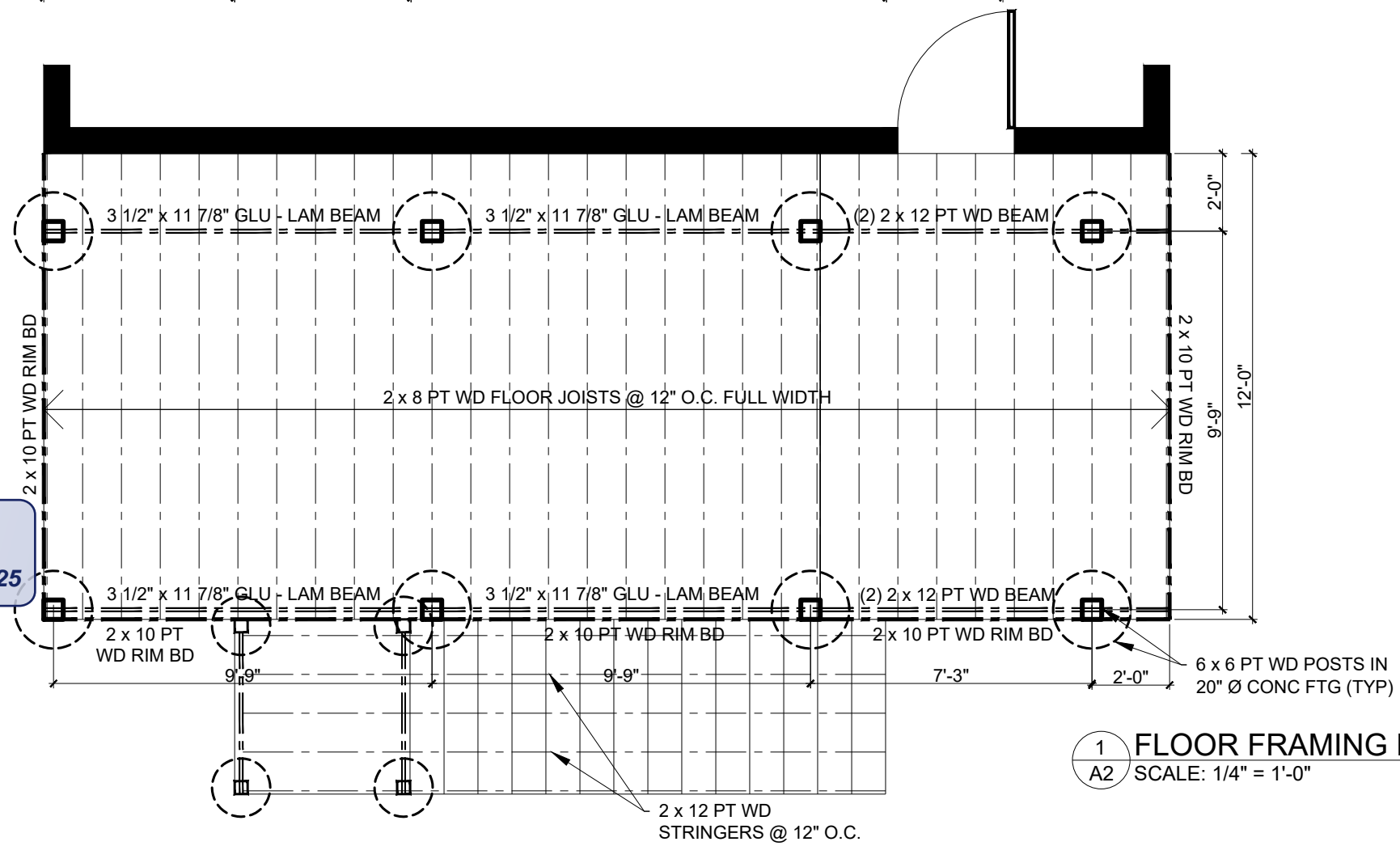
SCALE AS NOTED DATE 01/12/25

DRAWN BY  
Haytham Younis  
18228 Fifehire Drive  
Montgomery Village, MD 20886  
Tel. (240) 899 - 2165

SHEET NO.  
**C1**



1 PORCH & DECK PLAN  
A1 SCALE: 1/4" = 1'-0"



1 FLOOR FRAMING PLAN  
A2 SCALE: 1/4" = 1'-0"

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Montgomery County  
Historic Preservation Commission  
*Karen Benoit*

**REVIEWED**  
By Laura DiPasquale at 2:35 pm, Feb 19, 2025

CREATIVE EXTERIORS PLUS LLC  
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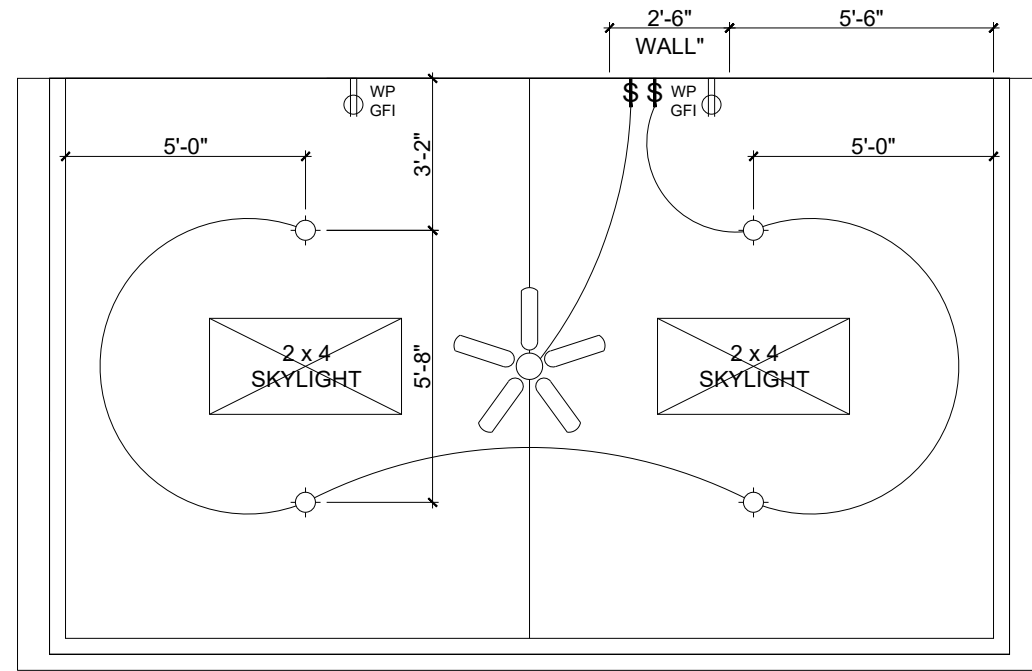
PROJECT:  
SCREEN PORCH AND COMPOSITE DECK  
3932 PROSPECT STREET, KENSINGTON, MD 20895

SHEET TITLE:  
SCREEN PORCH & DECK PLANS

SCALE AS NOTED DATE 01/12/25

DRAWN BY  
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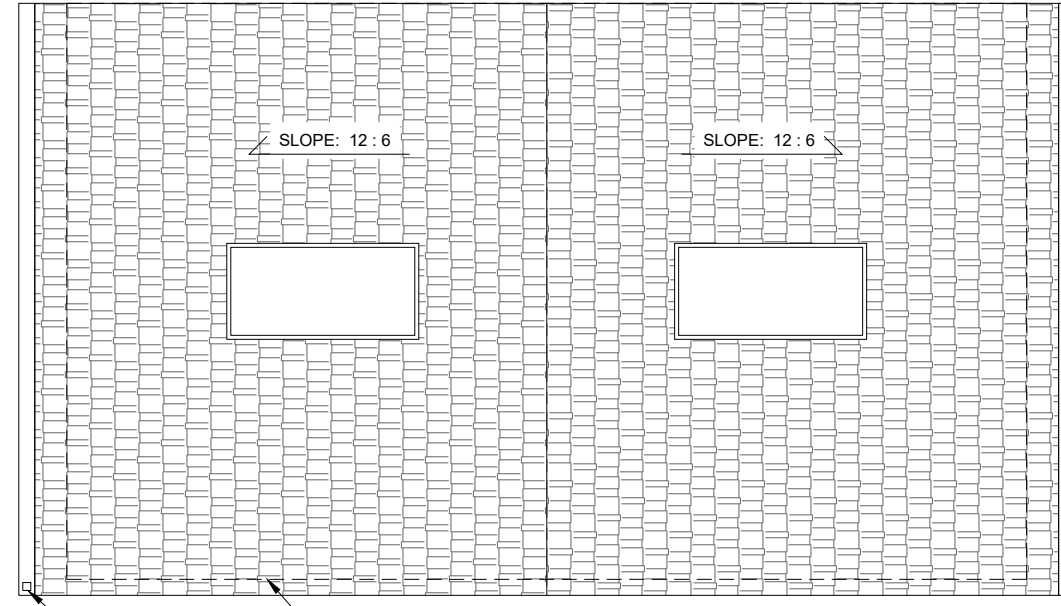
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**A1**



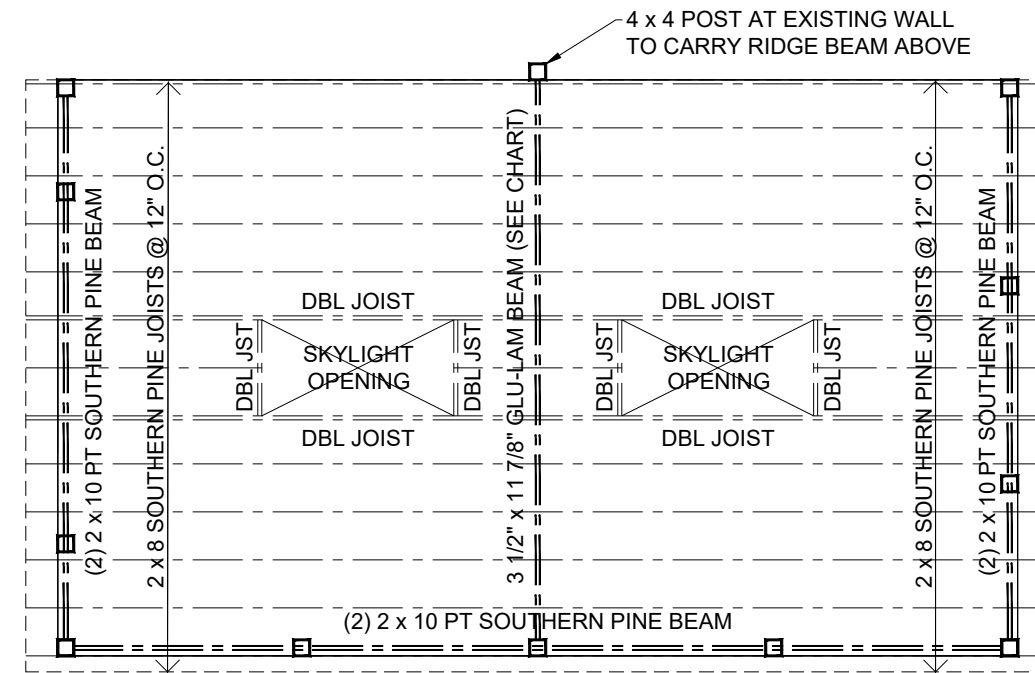
**3 REFLECTED CEILING PLAN**  
 A2 SCALE: 1/4" = 1'-0"

KEY	
	WATERPROOF GFI OUTLET (IN WALL OR CEILING)
	3 RECESSED LIGHTING W/ BATTERY BACKUP
	SWITCH
	CEILING FAN

NOTE:  
 ALL POST AND BEAM AND BEAM AND JOIST CONNECTIONS TO USE SIMPSON TIES OR EQUIVALENT



**2 ROOF PLAN**  
 A2 SCALE: 1/4" = 1'-0"



**1 ROOF FRAMING PLAN**  
 A2 SCALE: 1/4" = 1'-0"

**REVIEWED**  
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 Historic Preservation Commission  
*Karen Benoit*

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 21030 FREDERICK RD SUITE G 375  
 GERMANTOWN, MD 20876



PROJECT:  
**SCREEN PORCH AND COMPOSITE DECK**  
 3932 PROSPECT STREET, KENSINGTON, MD 20895

SHEET TITLE:  
**ROOF FRAMING, ROOF & CEILING PLANS**

SCALE  
 AS NOTED

DATE  
 01/12/25

DRAWN BY  
 Haytham Younis  
 18228 Fifeshire Drive  
 Montgomery Village, MD 20886  
 Tel. (240) 899 - 2165

SHEET NO.

**A2**

**REVIEWED**

By Laura DiPasquale at 2:35 pm, Feb 19, 2025

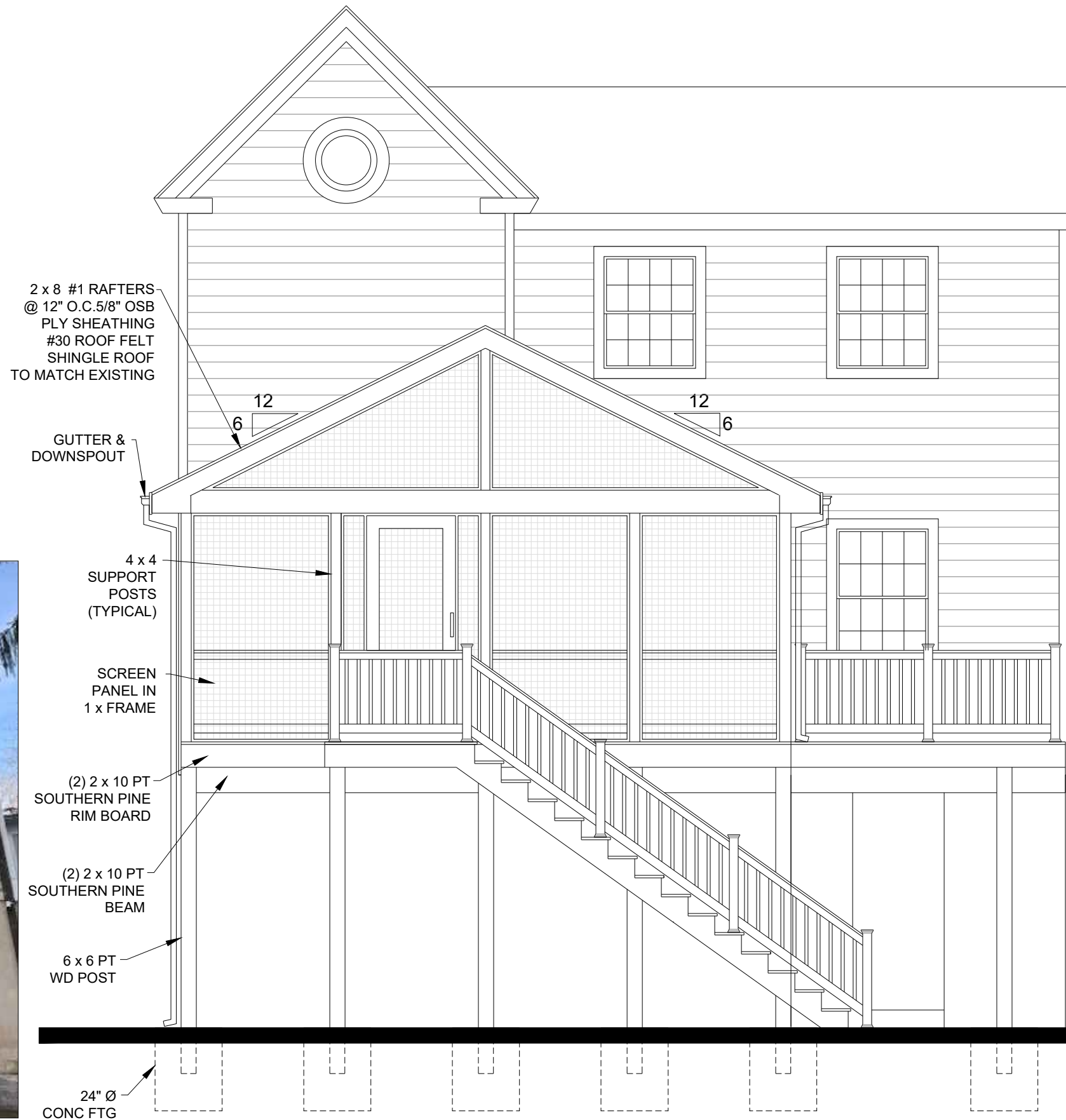
APPROVED

Montgomery County  
Historic Preservation Commission

*Karen Benoit*



2 EXISTING CONDITION  
A3 DECK & STEPS TO BE REMOVED



1 FRONT ELEVATION  
A3 SCALE: 1/4" = 1'-0"

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PROJECT:  
SCREEN PORCH AND COMPOSITE DECK  
3932 PROSPECT STREET, KENSINGTON, MD 20895

SHEET TITLE:  
FRONT ELEVATION

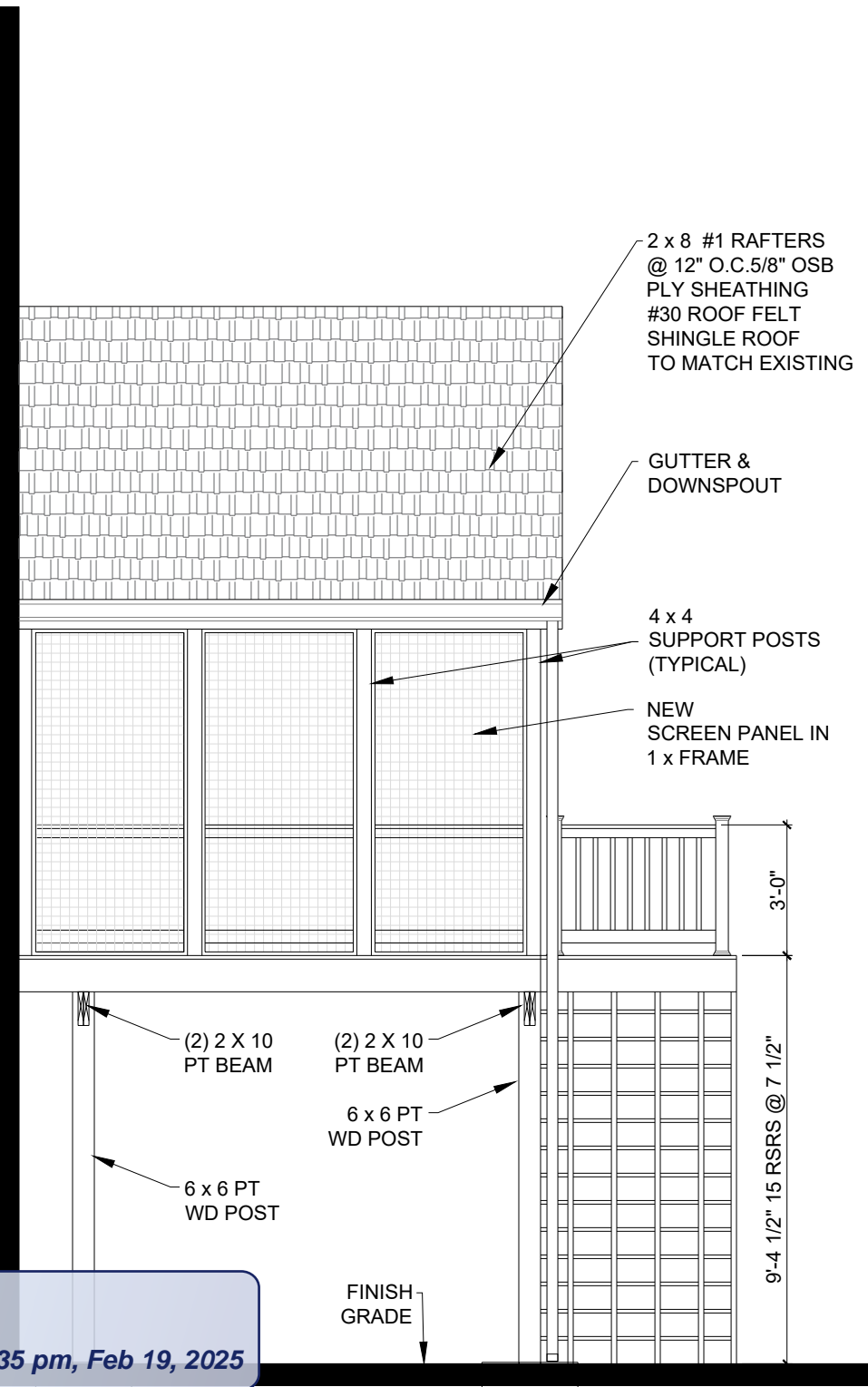
SCALE AS NOTED DATE 01/12/25

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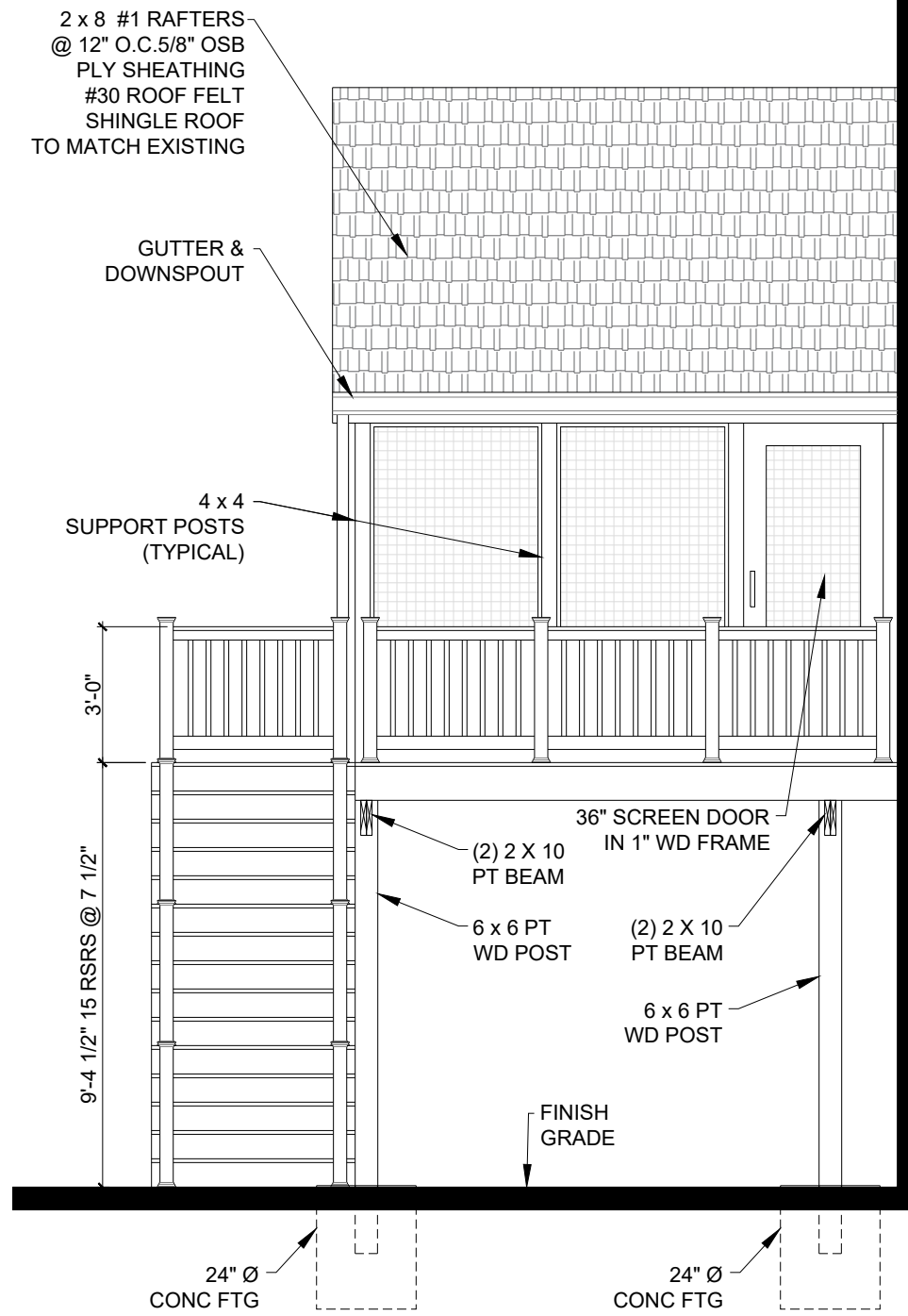
SHEET NO.

**A3**





2 LEFT SIDE ELEVATION  
A4 SCALE: 1/4" = 1'-0"



1 RIGHT SIDE ELEVATION  
A4 SCALE: 1/4" = 1'-0"

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PROJECT:  
SCREEN PORCH AND COMPOSITE DECK  
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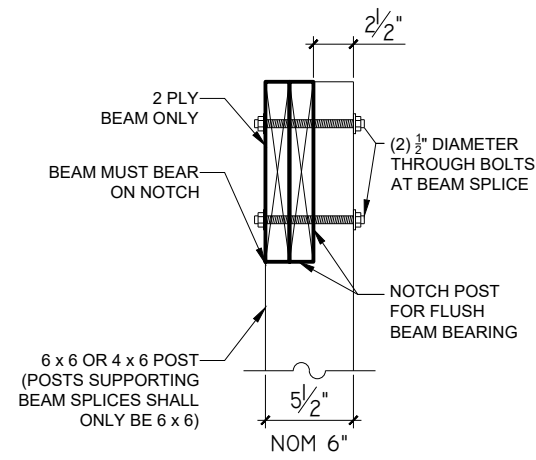
SHEET TITLE:  
RIGHT & LEFT SIDE ELEVATIONS

SCALE AS NOTED DATE 01/12/25

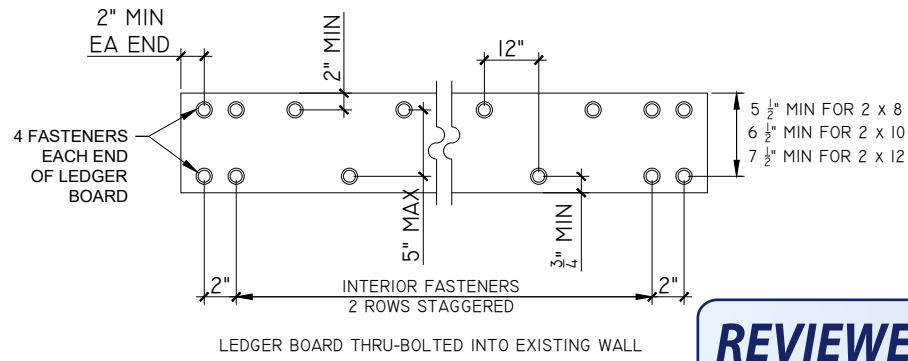
DRAWN BY  
Haytham Younis  
18228 Fishshire Drive  
Montgomery Village, MD 20886  
Tel. (240) 899 - 2165

SHEET NO.

**A4**

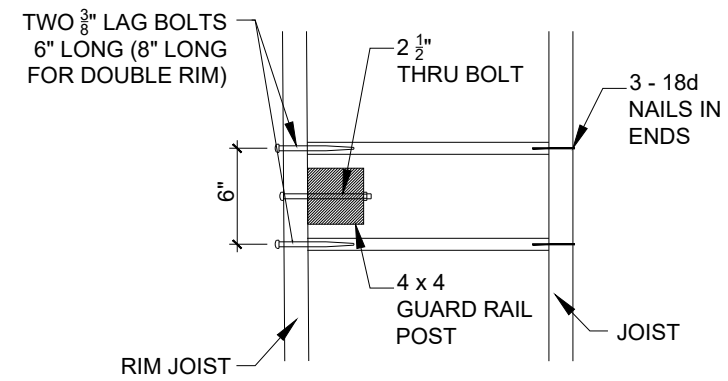


9 POST DETAIL  
A5 SCALE: 1" = 1'-0"

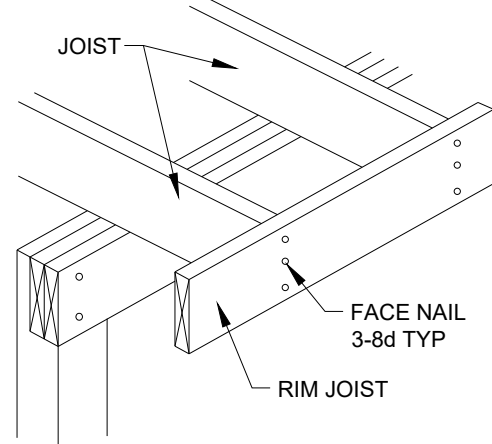


8 LEDGER DETAIL  
A5 SCALE: 1" = 1'-0"

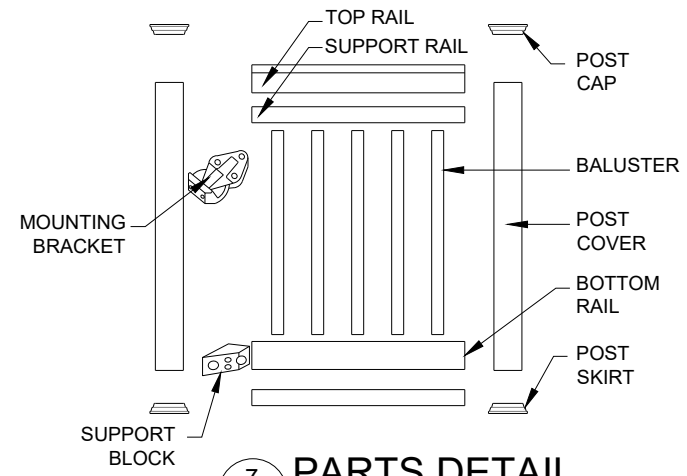
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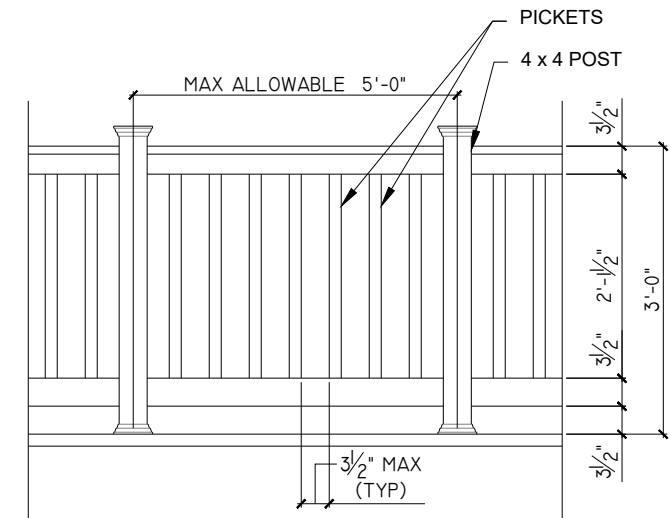
3 INTERIOR GUARD RAIL POST  
A5 NO SCALE



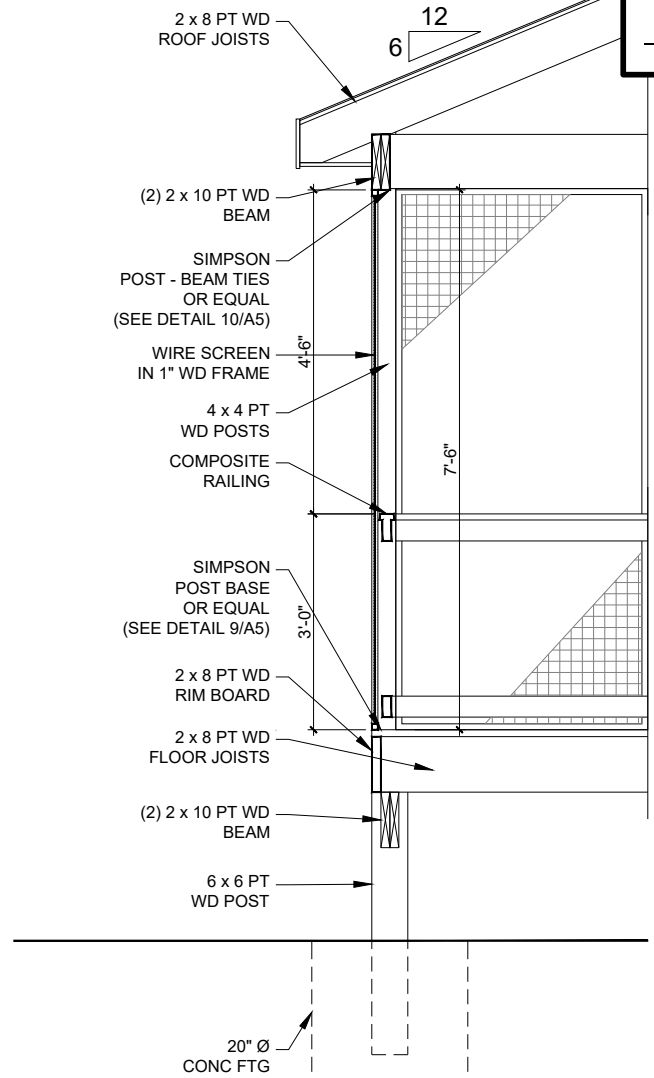
2 RIM JOIST CONNECTION  
A5 NO SCALE



7 PARTS DETAIL  
A5 SCALE: 1/2" = 1'-0"

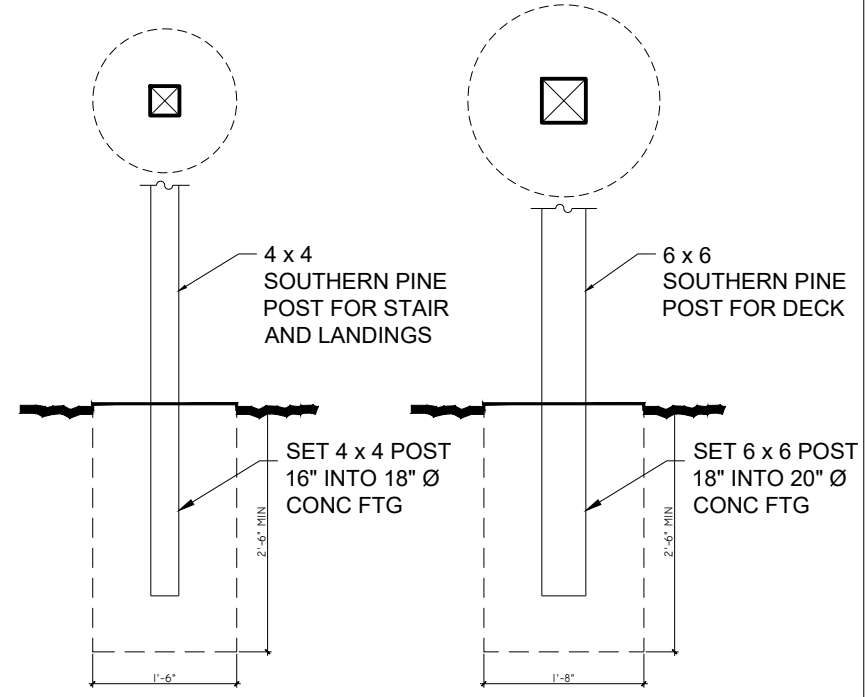


6 ELEVATION DETAIL  
A5 SCALE: 1/2" = 1'-0"



4 DETAIL SECTION  
A5 SCALE: 1/4" = 1'-0"

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Montgomery County  
Historic Preservation Commission  
*Karen Benoit*



1 POST & FOOTING DETAILS  
A5 SCALE: 1/2" = 1'-0"

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**CREATIVE EXTERIORS PLUS**

PROJECT: SCREEN PORCH AND COMPOSITE DECK  
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SHEET TITLE:  
LEFT SIDE ELEVATION

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SHEET NO.  
**A5**

ERICAN  
TOPOGRAPHIC  
ENGINEERS

Surveyors & Topographers

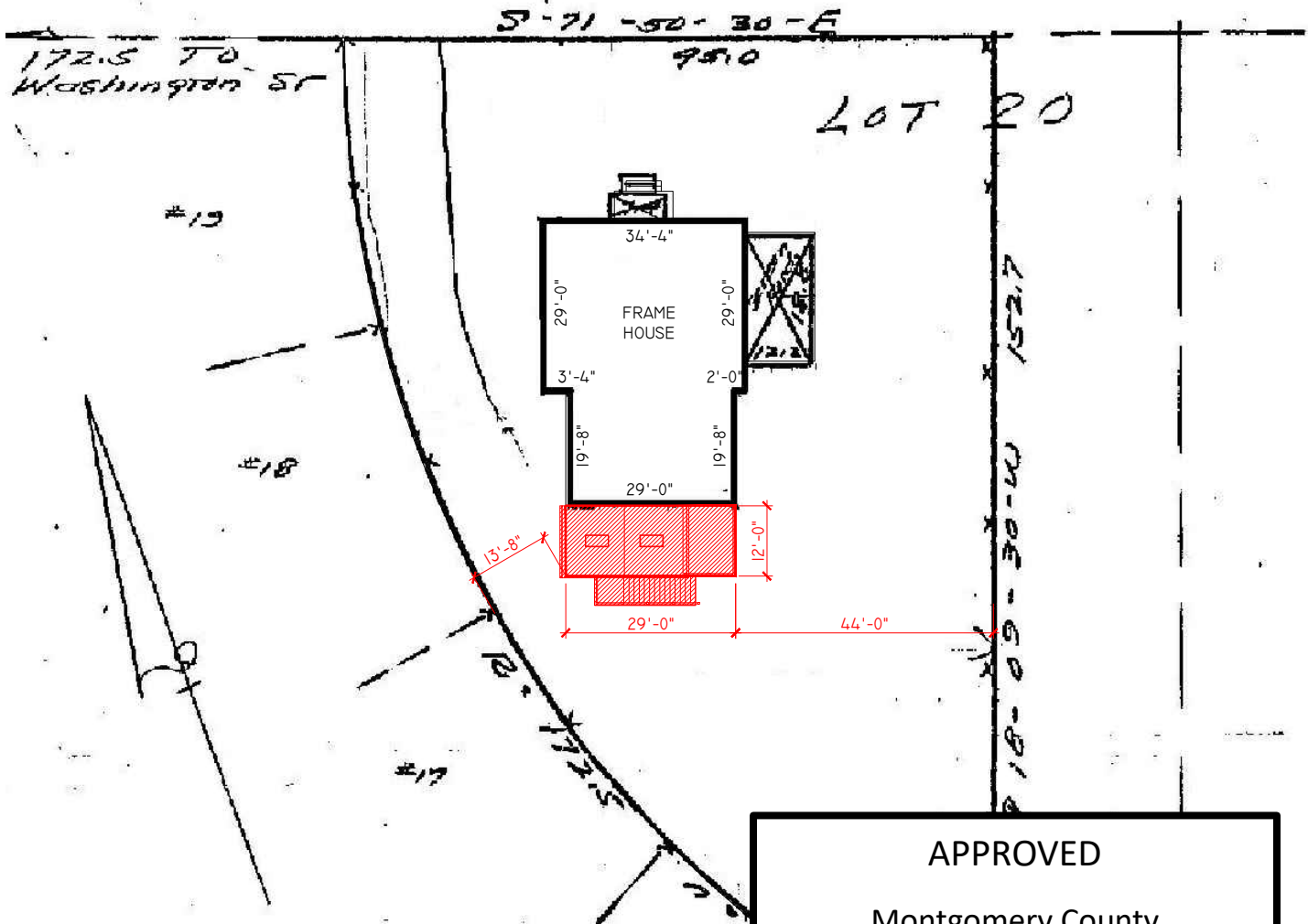
BETHESDA, MARYLAND

ATB 25597 M&C 12303  
House Location Plat  
3932 Prospect Street  
Part of Lot 20 Block 12  
Kensington Park  
Montgomery County, Maryland  
Plat Book B Plat 4  
Scale 1"=30' July 7, 1964



Prospect Street

1 SITE PLAN  
SP SCALE: 1" = 30'



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DEPARTMENT OF PERMITTING SERVICES

Marc Elrich  
County Executive

Rabbiah Sabbakhan  
Director

# HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 1/13/2025

Application No: 1100093  
AP Type: HISTORIC  
Customer No: 1512001

### Comments

Contractor for the project is Creative Exteriors Plus.

### Affidavit Acknowledgement

The Homeowner is the Primary applicant  
This application does not violate any covenants and deed restrictions

### Primary Applicant Information

Address 3932 PROSPECT ST  
KENSINGTON, MD 20895  
Homeowner McLaughlin (Primary)

### Historic Area Work Permit Details

Work Type CONST

Scope Homeowner is removing an existing deck that we believe is not up to code and was constructed by a prior owner and replacing it with a newly constructed of deck that would be up to code. The deck would be facing the back of the yard and would not be visible from the street. As a result, the homeowner Work believes it would not alter or have any effect on the historic nature of the property.

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