

HISTORIC PRESERVATION COMMISSION

Marc Elrich

County Executive

Karen Burditt Chair

Date: February 4, 2025

MEMORANDUM

TO:	Rabbiah Sabbakhan
	Department of Permitting Services
FROM:	Devon Murtha
	Historic Preservation Section
	Maryland-National Capital Park & Planning Commission
SUBJECT:	Historic Area Work Permit #1101064 – For installation of rear exhaust vent.

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was <u>Approved</u> by HPC staff.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Susan Salek (owner), Chris King (agent) Address: 7014 Poplar Avenue, Takoma Park, MD 20912

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Devon Murtha at 301-495-1328 or <u>devon.murtha@montgomeryplanning.org</u> to schedule a follow-up site visit.





HAWP #:1101064 at: 7014 Poplar Ave, Takoma Park, MD 20912

submitted on: 1/17/2025

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nas	been	reviewed	and	determined	that the	pro	dosal III	s into	the to	llowing	categ	20rv/	'categ	ories:
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Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by <u>Devon Murtha</u> on $\frac{2/4/2025}{}$. The approval memo and stamped drawings follow.

Historic Preservation Commission • 2425 Reedie Drive, 13th Floor, Wheaton, MD 20902 • 301/563-3400 • 301/563-3412 FAX

APPLICATION HISTORIC PRESERVATION 301.563.3400 APPLICANT:	ORK PERMIT
Name:	E-mail:
7014 Poplar Ave, Takoma Park, MD 20912 Address:	City: Zip:
Daytime Phone:	Tax Account No.:
AGENT/CONTACT (if applicable): Name: Chris King/Case Design Address: 4701 Sangamore Rd, P40 Address: 301-320-9893 Daytime Phone: 301-320-9893 LOCATION OF BUILDING/PREMISE: MIHP # of Historic Is the Property Located within an Historic District? XY S there an Historic Preservation/Land Trust/Environme map of the easement, and documentation from the Ease Are other Planning and/or Hearing Examiner Approvals (Conditional Use, Variance, Record Plat, etc.?) If YES, in- supplemental information.	Takoma Park Tes/District Name Io/Individual Site Name Intal Easement on the Property? If YES, include a sement Holder supporting this application. /Reviews Required as part of this Application? clude information on these reviews as
Town/City: Nearest Cros Lot: 30 Block: 20 Subdivision:	s Street: 0025 _{Parcel:}
TYPE OF WORK PROPOSED: See the checklist on Participation of the proposed work are submitted with this application be accepted for review. Check all that apply: New Construction Deck/Porch Addition Fence Demolition Hardscape/Lands Grading/Excavation Roof I hereby certify that I have the authority to make the for and accurate and that the construction will comply wit agencies and hereby acknowledge and accept this to be accepted for the set of the properties and the properties and accept the properties of the properties and the properties and accept the properties of the pr	tion. Incomplete Applications will not Shed/Garage/Accessory Structure Solar Tree removal/planting Cape Window/Door Other: Other: Dregoing application, that the application is correct h plans reviewed and approved by all necessary be a condition for the issuance of this permit.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]							
Owner's mailing address Susan Salek 7014 Poplar Ave Takoma Park, MD 20912	Owner's Agent's mailing address Case Architects & Design 4701 Sangamore Rd, P40 Bethesda, MD 20816						
Adjacent and confronting	Property Owners mailing addresses						

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Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

1 story single family dwelling with steps to the front porch. Building has siding and a parking pad sits at right of property. From the street, the property slopes up. Back of the lot has mature trees. Single family dwellings on either side. Home on the right is pink/purple.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Interior Work: Bath remodel

- Pull and reset sink, toilet, vanity light, medicine cabinet
- Pull & replace tile wainscot and tub/shower surround
- Replace tub with curbless shower

Exterior Work: Exhaust bath fan through roof

APPROVED

Montgomery County

Historic Preservation Commission

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REVIEWED By Devon.Murtha at 3:04 pm, Feb 04, 2025

Work Item 1: Roof Penetration						
Description of Current Condition: No exhaust exists in current first floor bath.	Proposed Work: Install exhaust fan in bath and vent to exterior (penetrating through roof above). Roof exhaust cap is Broan model 636.					
Work Item 2:						
APPROVED	Proposed Work:					
Montgomery County						
Historic Preservation Commission Kare Dulit REVIEWED By Devon.Murtha at 3:04 pm, Feb 04, 2025	Proposed Work:					

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

Proposed	Required Attachments I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
Work New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
APPR	OVED	<u> </u>	*	*	*		*
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Historic Preservation Commission

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REVIEWED By Devon.Murtha at 3:04 pm, Feb 04, 2025









