

HISTORIC PRESERVATION COMMISSION

Marc Elrich County Executive Karen Burditt Chair

Date: 5/20/2025

MEMORANDUM

TO:	Rabbiah Sabbakhan
	Department of Permitting Services
FROM:	Laura DiPasquale
	Historic Preservation Section
	Maryland-National Capital Park & Planning Commission
SUBJECT:	Historic Area Work Permit #1104437– Partial demolition, construction of new two-story rear addition, new detached accessory structure; tree removal; siding, window and roof replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached applications for a Historic Area Work Permit (HAWP). This application was **approved with four (4) conditions** at the March 26, 2025 HPC meeting:

- 1. The applicant must submit additional and precise documentation and updated window specifications confirming the dimensions for all window types. The proposed windows must match exactly the dimensions of the historic windows.
- 2. The presence and condition of the shutter hardware must be added to the window survey. The historic shutter hardware must be retained on all windows where it exists.
- 3. The front door must be a single-light half-light door, based on a design in Figure 19 or Figure 20 of the staff report.
- 4. The applicant must submit a ridge detail for the standing-seam porch roof. The panel width must be between 12 and 18 inches. The seams must be hand crimped in the field and measure no more than 1" high.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.





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Applicant:Pat and Wyman Stokes; Shawn Buehler, Architect.Address:3806 Williams Lane, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The subject property is a 2.5 story wood-framed farm house built in 1895. The T-shaped building mass features a gable facing the street with a perpenducular ridge across the rear. An open porch spans the front and wraps around to the right (west), featuring simplified columns and railings. Exterior finishes include dutch lap siding (with a triple groove routed into the face of each plank), painted wood trim and windows with 2/2 and 1/1 grills and gable-end windows with a perimter lite pattern. Exterior finishes also inlude fiberglass roofing, aluminum gutters. Siding and windows are in poor condition, siding is rotted or missing in several locations. Lead testing has indicated significant amounts of lead in exterior siding, windows and trim.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The proposed scope inludes renovation of the exsiting structure, a two-story rear addition (over a below grade cellar), and a new detached accessory structure to house a garage with finished space above. The addition is similar to a previously-approved HAWP at this address with a few notable differences:

The rear addition massing is the same width (east-to-west) but not as deep as previously proposed due to elimination of a 6' deep two-story element. Rear addition still features a 5'-6" wide "link" element between the existing and new cross gables, and still features a new gable at 17'-5" deep (front-to-back). The side entrance is relocated from the west side to the less visible / prominent east side.

The rear screened porch location is shifted from the south east corner to the southwest corner, away from the closer of the two side neighbors - to better orient to the larger side yard.

Several window locations within the addition have been reconfigured, moved or changed from the previously approved HAWP; most notably a shallow 12" deep one story window bay on the west facade and a one story window bay on the rear elevation have been added.

The scope includes a new curb cut and driveway on the east side of the home. This location has been reviewed and endorsed by the Chevy Chase Section 5 Arborist.

The scope includes a new detached garage with finished / conditioned space above. The space above is NOT proposed as an ADU. The detached structure size and location have been reviewed and endorsed by the Chevy Chase Section 5 Arborist.

We believe the proposed design is compatible with the resource and similar in scale to the additions and renovations to the companion resource directly across the street. Edits to the previously approved HAWP are a reflection of new ownership and design team, seeking to retain the general direction of the previously approved scope, while meeting slightly different interior goals for the new owners.

REVIEWED By Laura DiPasquale at 1:01 pm, May 20, 2025 APPROVED

Montgomery County Historic Preservation Commission

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Work Item 1: Exterior Siding	
Description of Current Condition: The existing trim and siding is in very poor condition, including multiple locations where siding is missing entirely. Both the trim and siding have been tested for lead and have been found to have extremely high levels of lead paint.	Proposed Work: The existing trim profiles are generally simple and relatively easy to source with replacement wood trim. The siding is a deep dutch lap profile with a unique triple groove in the flat surface of the siding plank. The proposed scope of work includes custom milling new wood siding to match the existing siding and replacing trim as needed to match existing trim profiles. This will also allow installation of a weather barrier within the wall system to better project the structural elements of the home for the forseeable future.
Work Item 2: Existing windows Description of Current Condition: The existing wood double-hung windows are in poor condition. Several of the windows do not have the orignial glazing, show termite damage, and / or have significant rot in the sashes or frames. Several windows are wracked from structural settling of the home. All of the windows have been tested and have shown significantly high levels of lead paint.	Proposed Work: Proposed replacement windows are wood, true divided light windows (by Lincoln). Windows will match the grill patterns and precise sizes and profiles of existing windows.

Work Item 3: Rear addition and po	orch	
Description of Current Condition: The existing home has a rear deck 40" above grade. The deck extend the east side of the home. REVIEWED By Laura DiPasquale at 1:01 pm, May APPROV Montgomery	r, roughly ds beyond a 7 20, 2025 (reD County	roposed Work: The proposed scope includes a two-story rear ddition over a basement below grade. The rear ddition includes a one-story screened porch and a one-story window bay on the rear elevation. The hassing of the addition mimics the existing cross able on the historic home, connected by a 5.5' wide nk that steps in from the corners of the historic ome. The new gable is slightly narrower than the existing, to keep the new roof ridge lower than existing. Exterior trim, siding and windows will be letailed to be consistent with existing conditions.
Historic Preservation		

Description of Current Condition:	Proposed Work:
NA	The accessory structure is proposed at 1.5 stories with a modest conditioned / finished space above. This will not be used as an ADU. The driveway will be pavers at the front and rear yards with a split-track configuration along the side of the house. The Section 5 arborist has reviewed the proposed structure location and has endorsed the proposal. Exterior siding will be vertical nickel gap Boral siding and windows will be aluminum clad wood windows. Trim will be Boral synthetic composite trim.
Work Item 5: Driveway	-
Description of Current Condition: The existing property has no driveway or off street parking. Williams Lane is a narrow street with limited on-street parking.	Proposed Work: The proposed scope includes a new driveway along the east side of the home, wrapping around the rear of the home to a detached garage at the southwest corner of the lot. The driveway will be pavers at the front yard with a split-track configuration along the side of the house. The Section 5 arborist has reviewed the proposed apron and driveway locations and has endorsed the proposal.

Work Item 6: tree removal	
The trees to be removed include a 7" cherry rated in fair condition and a 14" sugar maple	Proposed Work: The section 5 arborist has reviewed our tree protection plan and endorsed removal of both trees to accommodate the proposed scope of work.
REVIEWED By Laura DiPasquale at 1:01 pm, May 20, 2025	APPROVED Montgomery County Historic Preservation Commission Kare Bulit

WILLIAMS LANE RENOVATION

3806 Williams Lane, Chevy Chase, MD 20815 - Project # 2462

SPECIFICATIONS

DIVISION 1: GENERAL REQUIREMENTS

- 1.1.1 General Conditions; The general conditions of the Agreement Between the Owner and Contractor if not addressed here, shall be AIA Document A201 (most current edition).
- 1.1.2 Lien Waivers: At the time of final payment by the Owner, the Contractor shall provide lien waivers from his company as well as all major subcontractors (plumbing, electrical, mechanical, mason, roofer, etc.) and suppliers exceeding \$10,000 in value.
- 1.2.1 Contractor's Liability Insurance: The Contractor shall purchase and maintain such insurance as will protect the Contractor from claims which may arise out of or result from the Contractor's or Subcontractors' operations under the Contract. The Architect shall be named as an additional insured on the General Contractor's policy.
- 1.2.2 Owner's Liability Insurance: The Owner shall be responsible for purchasing and maintaining the Owner's usual liability insurance.
- 1.2.3 Property Insurance: The Owner shall purchase and maintain property insurance in the amount of the initial Contract Sum (as well as subsequent modifications) on a replacement cost basis. The policy shall be on an all-risk policy form and shall insure against the perils of fire and extended coverage and loss or damage including theft, vandalism, malicious mischief, collapse and falsework. The Contractor shall be responsible for paying the deductible for losses attributable to an unsecured job-site.
- 1.3 Licensure: the Contractor and all Subcontractors shall be licensed and/or registered to perform their respective trades in the jurisdiction of the project property.
- 1.4 Permits: Owner shall obtain general building permit. General Contractor shall be responsible for all other permits including, but not limited to trade permits, right-of-way / public space permits, parking and dumpster permits, etc.
- 1.5 Warranty: All workmanship and materials shall be guaranteed for a minimum period of one year from the date of Substantial Completion.
- 1.6 Owners Manuals and Instructions: The General Contractor shall collect, consolidate and convey to the Owner all Owners Manuals, Instructions, Warranty registrations and all other pertinent information for new equipment and fixtures. The General Contractor or designated subcontractor(s) shall review with the Owner the proper operation and maintenance schedule as appropriate for all equipment and controls
- 1.7 Interpretation: The Architect shall be the interpreter of the requirements of the Contract Documents. If the builder or subcontractor has any question about the meaning of the drawings or specifications for the Work, or should he find any discrepancy or omission therein, the Builder/subcontractor shall immediately so notify the Architect.
- 1.8 Dimensions: Verify all dimensions. All dimensions are to framing, except to existing construction or where otherwise noted. Window opening dimensions are to rough openings; add 2 1/2" to swinging interior door sizes for rough openings. Do NOT scale drawings.
- 1.9 Building Protection: All precautions shall be taken by subcontractors to protect existing hardwood floors, tile and other finishes to remain for the period of construction. Any damage shall be rectified by the responsible subcontractor(s) or general contractor prior to completion of work. See also section 2.2.
- Debris: All subcontractors shall, at regular intervals, remove all their 1.10 respective construction debris from site and shall not allow such debris to drift, be blown or otherwise transported onto adjacent property. Subcontractors shall place barricades or take such other precautions as necessary to prevent injury to the public.
- 1.11 Codes: All construction to be in accordance with International Residential Code 2021 edition, and in accordance with all applicable Montgomery County, State of Maryland and Federal rules and regulations (including local amendments to model code).
- 1.12 Quality: All work will be performed in a workmanlike fashion in conformance with rules of accepted good practice. All materials contemplated in these drawings shall be new and of good quality and shall be protected from weather when stored on the building site. 1.13 Changes in Work: The Owner without invalidating the Contract, may order
- extra work or make changes by altering, adding or deducting from the work, the contract sum being adjusted accordingly by a change order. All such work shall be executed under the conditions of the original contract except for claims for extension of time caused hereby which shall be adjusted at time of change order execution.
- 1.14 Claims for Extra Work: If a subcontractor claims that any instructions by drawings or other requests for changes in the work involve extra cost under the contract he shall give the Owner written notice thereof within a reasonable time after receipt of such instructions and in any event before proceeding to execute the work.

1.15 Allowances: NA

- 1.16 Punchlist: At the time of making the final contract payment, the owner may hold back 200% of the value of all Punch List work. The Architect and Contractor will place a fair and reasonable value on each Punch List item. This 200% hold back for Punch List work is intended to assure the Owner that all Punch List work will be completed in a timely manner.
- 1.17 MISS UTILITY: Prior to any excavation at the site the Contractor shall contact Miss Utility, 1-800-257-7777 to ascertain the location of all underground utilities. Avoid unnecessary disturbance, conflict or interruption of services with underground utilities to the fullest extent possible.

1.10	in these documents, includes the purchase of the item specified, including taxes and any associated shipping and handling charges. Also included sha be the procurement and provision of all materials, equipment and labor associated with the complete installation of the item(s) specified in good working order.
1.19	Construction by Owner or By Separate Contractors: The Owner reserves the right to perform construction or operations related to the Project with the Owner's own forces. The Contractor shall provide the Owner and separate contractors reasonable opportunity for placement and storage of materials and equipment in the performance and completion of other activities. The Contractor shall cooperate and coordinate activities as provided within the agreement between the Owner and the Contractor.
1.20	Temporary Utilities: Electricity and water shall be provided to the General Contractor from the existing house. The General Contractor shall be responsible for providing and maintaining porta potty and propane fired beating as needed

- heating as needed 1.21 Coordination between Drawings and Specifications: Should a conflict exist between the drawings and specifications, the more restrictive or costly shall
- apply for pricing. The Owner and Architect shall be consulted to determine proper design alternative. If the less restrictive or costly item is selected the Contractor shall apply appropriate credit to the Owner under the contract. 1.22 Shop Drawings: Shop Drawings are required for, but not limited to, the
- following items: Prefabricated stairs
 - Prefabricated floor or roof trusses

Metal railings

- 1.23 Samples: provide samples for the following items: Flagstone
 - Stone and brick veneer, including mortar
 - Roof shingles Hardwood floor stain and finish options
 - Paint colors, per Division 9
 - Gutter and downspout colors Exterior flashing colors

1.24 Owner Supplied Items: see individual specification divisions for further information. Install the following Owner provided: Bath accessories

- Primary closet shelving / rod / built-ins
- Items salvaged for re-use as noted in Division 2 or on demolition drawings • Kitchen and bathroom cabinets, hardware and tops
- Exterior doors and windows
- Appliances Interior door hardware
- Plumbing fixtures
- Electrical fixtures Shower glass
- Tile
- Sheet flooring and laminated plank flooring

1.25 Energy Code Certificate: Owner shall provide an Energy Coder Certificate Label, per DC Energy Code 401.3. Label shall include all energy code requirements and features identified by 401.3

DIVISION 2: SITEWORK AND DEMOLITION

- 2.1 Utilities: Water, sewer, gas, electric, telephone and CATV utilities on site are to remain and be extended as required. Verify size and condition and remove, replace, upgrade as necessary. Locate all underground utilities. See note above regarding contact with Miss Utility.
- 2.2 Protection of Existing Landscaping: Protect from physical damage all paved / hardscaped surfaces, existing trees, and vegetation that are to remain. Consult with Owner and Section 5-approved Tree Protection Plan (TPP) prior to removing any trees, vegetation or obstructions as indicated or which would interfere with new construction. Feeder root zones below all tree canopies shall be respected such that no heavy equipment storage/parking or regrading shall occur without the permission of the Owner. See also section 1.9. Damaged elements shall be replaced or restored as appropriate.
- 2.3 Landscape: Landscape work shall be limited to finish grading and seeding of disturbed areas. Redistribute available topsoil. Provide finish grade that slopes approximately 1/4" per foot away from perimeter of the building.
- Erosion Control: Provide staked hay bales and/or siltation fence, or other 2.4 means as necessary to provide erosion control in accordance with requirements of the local jurisdiction.
- 2.5 Demolition: Protect all adjacent finishes to remain. Protect sensitive equipment and surfaces from dust and debris. Provide and secure plastic sheeting to isolate the area of work from occupied portions of the residence. Provide adequate shoring and bracing as necessary before removing any load bearing components. Cap/block HVAC registers in affected areas to avoid the conveyance of dust into any central systems.
 - Not used

2.6

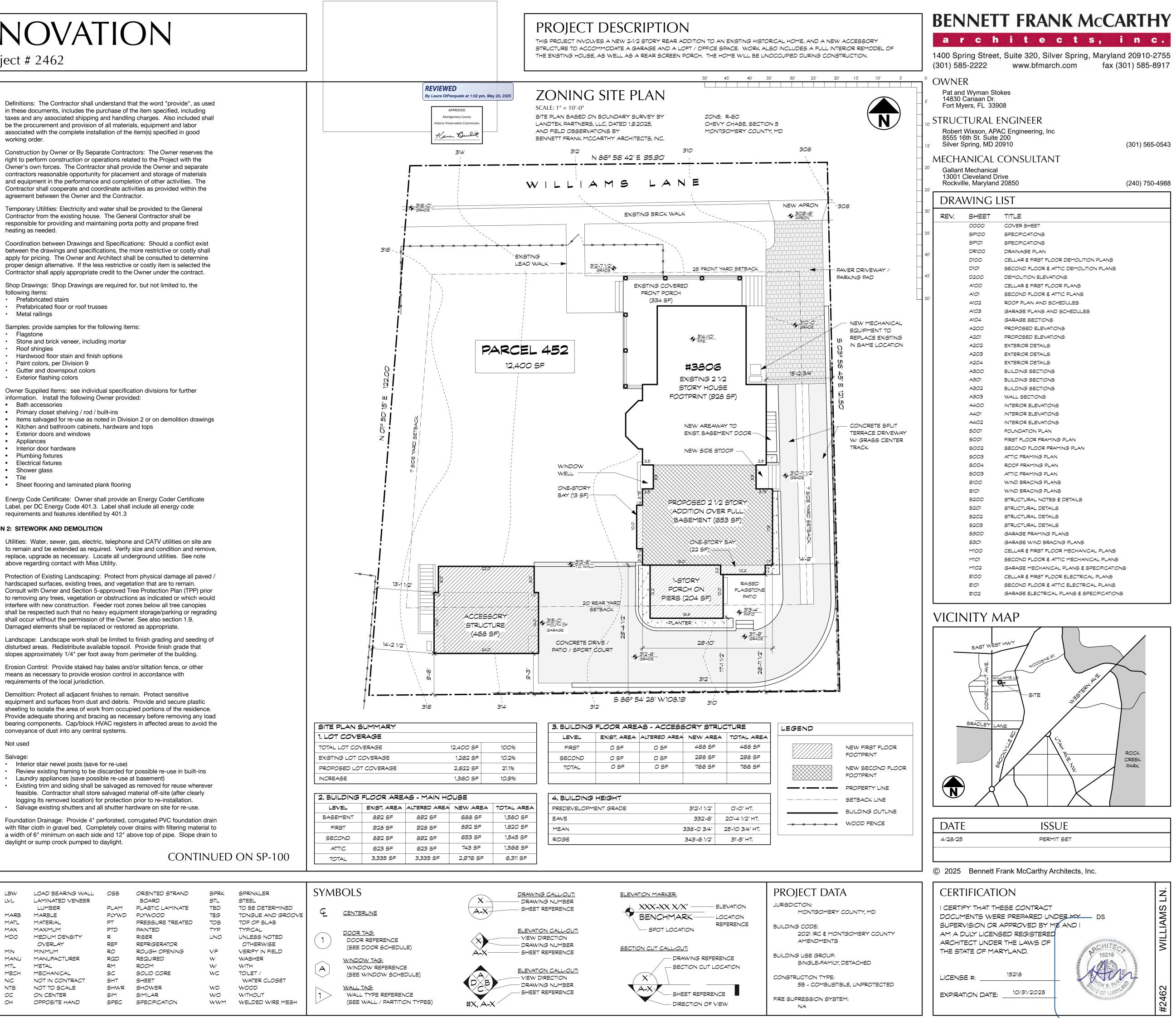
2.7

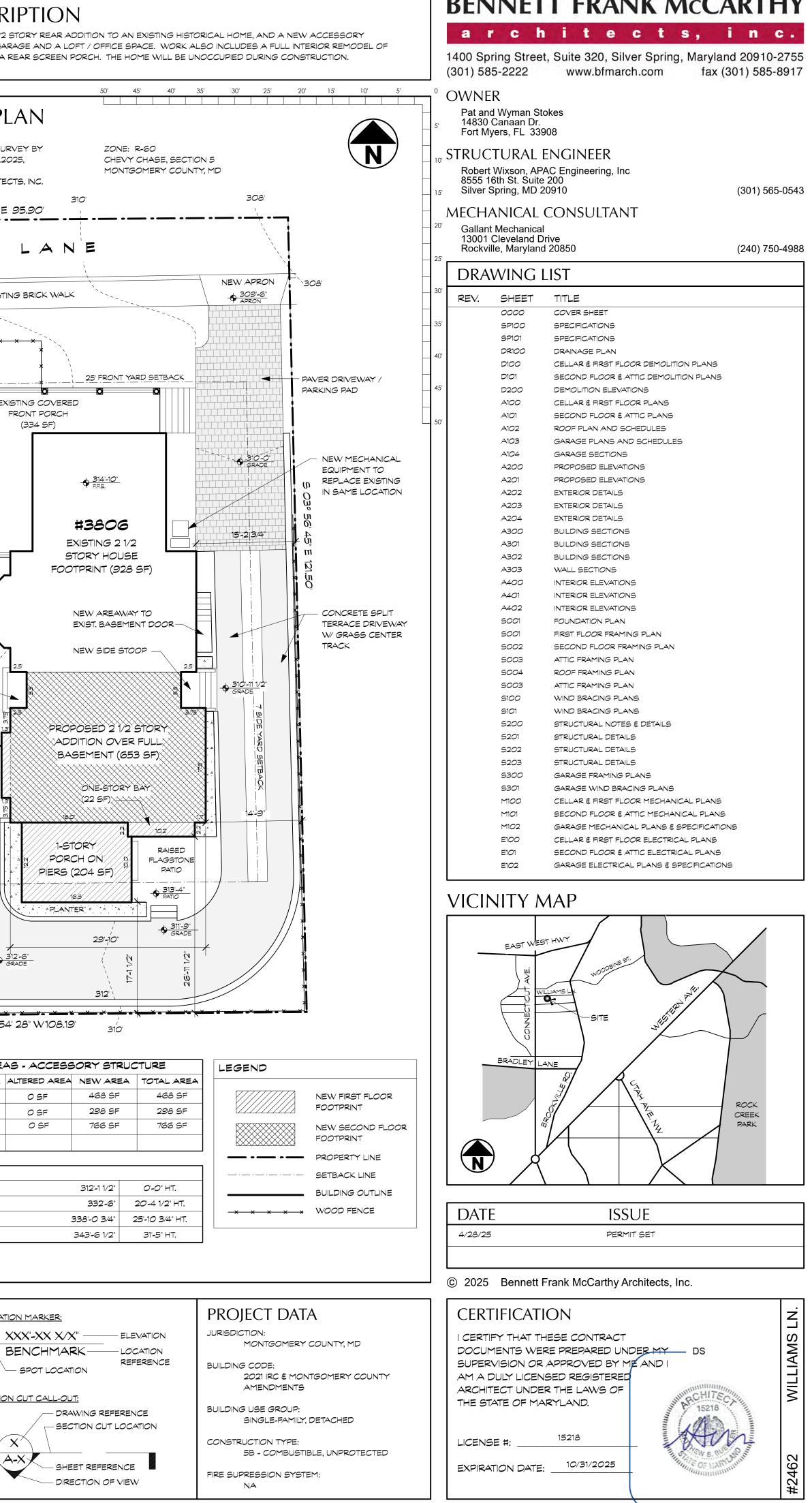
2.8

- Salvage: • Interior stair newel posts (save for re-use)
- Review existing framing to be discarded for possible re-use in built-ins • Laundry appliances (save possible re-use at basement)
- Existing trim and siding shall be salvaged as removed for reuse wherever
- feasible. Contractor shall store salvaged material off-site (after clearly logging its removed location) for protection prior to re-installation. • Salvage existing shutters and all shutter hardware on site for re-use.

Foundation Drainage: Provide 4" perforated, corrugated PVC foundation drain with filter cloth in gravel bed. Completely cover drains with filtering material to a width of 6" minimum on each side and 12" above top of pipe. Slope drain to daylight or sump crock pumped to daylight.

ABB	REVIATIONS	COND	CONDITION	ELEC	ELECTRICAL	LBW	LOAD BEARING WALL	OSB	ORIENTED STRAN
		CONC	CONCRETE	EXP	EXPANSION	LVL	LAMINATED VENEER		BOARD
\$	AND	CONT	CONTINUOUS	EQ	EQUAL		LUMBER	PLAM	PLASTIC LAMINA
0	AT	D	DRYER	ETR	EXISTING TO REMAIN	MARB	MARBLE	PLYWD	PLYWOOD
AFF	ABOVE	DH	DOUBLE HUNG	EΧ	EXISTING	MATL	MATERIAL	PT	PRESSURE TREA
	FINISHED FLOOR	DIA	DIAMETER	FF	FINISH FLOOR	MAX	MAXIMUM	PTD	PAINTED
APT	APARTMENT	DIM	DIMENSION	FIN	FINISH	MDO	MEDIUM DENSITY	R	RISER
BLDG	BUILDING	DN	DOWN	FLR	FLOOR		OVERLAY	REF	REFRIGERATOR
BSMT	BASEMENT	DR	DOOR	GA	GAUGE	MIN	MINIMUM	RO	ROUGH OPENING
CJ	CONTROL JOINT	DS	DOWNSPOUT	GWB	GYPSUM WALL BOARD	MANU	MANUFACTURER	RQD	REQUIRED
CAB	CABINET	DTL	DETAIL	HB	HOSE BIB	MTL	METAL	RM	ROOM
CL	CENTER LINE	DW	DISHWASHER	HC	HOLLOW CORE	MECH	MECHANICAL	SC	SOLID CORE
CLG	CEILING	DWG	DRAWING	ΗT	HEIGHT	NIC	NOT IN CONTRACT	SHT	SHEET
CLR	CLEAR	EIFS	EXTERIOR INSULATION	HDWR	HARDWARE	NTS	NOT TO SCALE	SHWR	SHOWER
CMU	CONCRETE		FINISHING SYSTEM	JB	JUNCTION BOX	00	ON CENTER	SIM	SIMILAR
	MASONRY UNIT	EL	ELEVATION	LB	POUND	ОН	OPPOSITE HAND	SPEC	SPECIFICATION





SP	ECIFICATIONS	0.3.0
2.9	Roof Leader Drainage: Connect new downspouts to PVC downspout boots connected to empty into new, buried, 4" corrugated plastic drain piping run around building perimeter. Slope to provide positive drainage. See storm water management plan for discharge locations.	
2.10	Backfill: backfill soil in 8 inch deep lifts and compact to 95% dry density. Provide stone backfill against drainage board outside all waterproofed basement walls and dampproofed retaining walls. Provide 2" diameter PVC weeps @32" on center at the base of all retaining walls	6.3.7
2.11	Termite Treatment: Apply interior perimeter termite control treatment prior to placement of concrete slab(s). Apply exterior perimeter soil treatment after excavating, filling, and grading operations are completed.	6.3.8 6.3.9
2.12	Site access: Via street and yard.	0.0.9
2.13	Driveway: provide new driveway per plans. Driveway shall be a combination of permeable pavers and concrete split tracks (see plans for configuration). Install pavers over gravel base per paver manufacturer guidleins. Provide new concrete driveway apron(s) per local Department of Transportation codes.	
DIVISIO	ON 3: CONCRETE (See Structural sheets for additional notes)	6.3.10
3.1	Concrete footings shall project at least 1'-0" into undisturbed natural soil or compacted fill having a bearing value at least equal to that specified above. Bottoms of all exterior footings shall be at least 2'-6" below finished grade.	
3.2	Continuous wall footings shall be minimum 10" thick and shall project 6" at each side of masonry walls supported on the footing. Wall footings supporting masonry walls are to be reinforced with three #4 longitudinal continuous bottom bars, unless otherwise noted (UNO). All disturbed earth under footings shall be replaced with concrete.	6.3.11
3.3	Step footings in a ratio of 2 horizontal to 1 vertical, as required to maintain a distance of 2'-6" from finish grade to bottom of footing. All bearing strata shall be adequately drained before foundation concrete is placed. No excavation shall be closer than 2:1 (2 horizontal to one vertical) to a footing. Do not place concrete over frozen soil.	6.3.12
3.4	Concrete slabs on grade shall be 4" thick, reinforced with 6x6 – W2.0xW2.0 WWM that conforms with ASTM A185, UNO. Lap mesh 6" in each direction. Provide control joints in interior slabs on grade at 20'-0" o.c. max. Interior slabs shall be laid on a layer of 6 mil thick polyethylene moisture barrier over 4" washed gravel set on undisturbed earth or structural fill, UNO. Provide trowel finish to interior monolithic slab surfaces that are exposed to view.	6.3.13
	DN 4: UNIT MASONRY (See Structural sheets for additional notes)	
4.1	CMU walls to be standard running bond with mortar joints at 3/8" flush, tooled slightly concave. Fill all top course CMU units solid. Fill all bottom course CMU units solid.	6.4
4.2	Use foundation anchors, Simpson or equivalent @ 4' o.c. minimum, and within 15" of all corners, or as required by code. Fill foundation anchor cells with F'c=3000 psi concrete. Provide dowels from all footings to masonry walls to match size and spacing of vertical reinforcing.	
4.3	 CMU Foundation walls – apply cementitious parging as follows: Exposed above grade: Provide thin scratch coat and heavier finish coat of Portland cement/sand mix stucco/plaster. Minimum overall thickness shall be ½ inch. Provide wire reinforced corners at outside corners near high traffic areas. Finish shall be smooth U.N.O. 	0 F
	 Below grade substrate for waterproofing/damproofing: skim coat as required for smooth/uniform surface. 	6.5 6.6
4.4	Brick: Appearance (color and texture), pattern and coursing of brick shall be to match existing. Patch shall be tooth-in unless noted otherwise. Masonry mortar and setting bed shall be same as CMU. Mortar color shall match existing. For brick veneers, provide corrugated one piece anchors screwed to studs. Anchors shall be placed approximately 16" on center vertically and spaced maximum 24" o.c. horizontally (coordinate with stud spacing) Maintain min. 3/4" wide air cavity to allow moisture to drain from wall assembly. Sills shall be sloped 15 degrees minimum to drain.	6.7
4.5	 Flagstone Raised Patio and Stair Treads: Provide and install square cut, full color flagstone in a random, orthogonal pattern mudset over a reinforced concrete slab as shown at front stoop, reconfigured front walk and steps. Pitch @ 1/4" per foot to drain away from house Treads and borders: flagstone shall be thermal cut, uniform 1-1/2" thickness. Border stones shall be min. 10 inches wide x 4 ft long. Treads shall be one stone and a <u>full 12 "</u> wide. Stair risers shall be uniform in height as required by code. Treads and border stones shall overhang the riser/finish below by a minimum of ¾" to a maximum of one inch. Field and landings (inset within border): flagstone shall be thermal cut, uniform 1" thickness. Stagger joints a minimum of 6 inches. 	6.8
DIVISIO	DN 5: METALS (See Structural sheets for additional notes)	6.9
5.1	See drawings for all structural steel lintels, beams and columns.	
6.1	DN 6: WOOD/CARPENTRY (See Structural sheets for additional notes) Design Live Loads: Loads greater than design live loads shall not be placed on the structure. It is the contractor's responsibility to determine allowable construction loads and to provide proper design and construction of falsework, formwork, bracing, sheeting and shoring, etc.	
6.2	All existing conditions shall be checked and verified in the field before construction is begun. Field measurements shall be made of adjoining construction relative to the proper installation of new work. All discrepancies shall be reported to the Architect prior to the start of construction.	6.10
6.3.1	All wood construction including lumber, connections, and details shall be in accordance with the requirements of the local building code and the current "National Design Specification" by the National Forest Products Association.	6.11
6.3.2	Use IRC 2021 tables R602.3(1) and R602.3(2) for nailing schedule, unless	DIVIS
6.3.3	noted otherwise. Roof sheathing shall be standard CDX 16/32 (span rating) plywood with exterior glue (min. thickness 19/32") UNO. Nail roof plywood to rafters and/or trusses with 8d nails @ 6" o.c. at sheet edges and 8d nails @ 12" o.c. at all intermediate rafters and trusses. Install clips between rafters as required. Floor sheathing shall be tongue and groove CD 16/32 (span rating) plywood (min. thickness 23/32"). Glue and screw floor plywood to joists with 2 inch deck screws @ 6" o.c. at sheet edges and @ 10" o.c. at all intermediate joists. Plywood shall be identified with the APA grade trademark and shall be installed in accordance to code and project requirements as well as APA's recommendations. Wall sheathing shall be Zips R-6 insulated sheathing wall panels at new addition and existing to remain or plywood to wall studs with 8d nails @ 6" o.c. at sheet edges and 8d nails @ 12" o.c. at all intermediate	7.1
6.3.4	studs. All exposed, exterior framing members shall be pressure-treated Southern Pine # 2 (19% max. moisture content). Unless indicated otherwise, all lintels shall have one king stud and one jack stud at each end.	
6.3.5	All jacks and posts are to be continuous, or increased as shown, down to the foundation or beam support. In other words, posts shall be added below higher posts even when posts are not required by the floor framing.	

6.3.6 Use TECO or Simpson Strong Tie structural wood connectors unless otherwise noted. Only specialty connectors are typically shown in structural drawings but additional metal connectors shall be provid follows (or as required to meet code). Joists and rafters shall be conflush beams with hangers. Joists and rafters shall be connected to with hurricane ties. Wood beams and headers shall be connected posts with column connectors and bases of isolated posts shall be to their supports with metal connectors. All fasteners and connected pressure treated lumber shall have triple G-185 galvanized coating exception of bolts one-half-inch or larger in diameter).

- 6.3.7 All common lumber shall be clearly stamped with the lumber inspectation seal indicating the lumber species and grade.
- 6.3.8 Joists shall have a minimum 3 1/2" bearing. Joists running parallel shall be anchored with 3/16" x 2" steel straps (or solid wood blocki o.c., extended to engage 3 joists.
- 6.3.9 Stud bearing walls shall be 2x4 (minimum) with studs at 16" on cen shown otherwise in framing plans, and shall have 2 continuous top which are to be spliced at stud locations only. Splices shall be stag least 4'-0". At least one side of each bearing wall and exterior wall s sheathed with a minimum of 1/2" gypsum board fastened accordin manufacturer's recommendations or building code requirements, w stricter.
- 6.3.10 Pressure-treated wood shall be used whenever wood joists are close inches (or wood beams/girders are closer than 12 inches) to expose in crawl spaces or unexcavated area located within the periphery o building foundation. All structural wood members and sheathing ex weather or located within 8" of soil, or wood in contact with concre masonry shall be treated to resist decay and insect infestation. Trea shall meet American Wood Preservers Institute Standard U-1.
- 6.3.11 Multiple LVLs shall be fastened together with a minimum of 2 rows nails at 12" o.c. Nails shall be spaced 3 " from the top and bottom beams. LVL beams designated on plans shall be as sized.
- 6.3.12 Wood Floor Trusses: All engineered floor trusses shall be sized and accordance with the framing plans. Installation, attachment, blocki and stiffening shall be per manufacturer's recommendations. Use rim board around entire perimeter of floor system as shown. Any jo penetrations shall comply with manufacturer's recommendations. shall be protected from the elements and stored off the ground.
- 6.3.13 Wood Roof Trusses: All roof trusses shall be designed in accordance Circular 4950.2, January 1973, Design Criteria for Trussed Rafters" Department of Housing and Urban Development and TPI 1-95 Design Specifications for Metal Plate Connected Wood Trusses. Erection a bracing of wood trusses is the responsibility of the General Contrace shop drawings must be certified by a Registered Structural Engineer truss bracing shall be furnished in accordance with "Commentary a Recommendations" (HIB-91) by the Truss Plate Institute.

Framing Sizes: Wood building components are as follows (Hem Fir or Spruce-Pine-Fir, #2 or Better):

- Exterior walls: 2x6 @ 16" o.c. stud walls
 Interior load bearing walls: 2x4 @16" o.c. stud walls
- Interior load bearing walls. 2x4 @ 10" 0.0. stud
 Interior partitions: 2x4 @ 16" o.c. stud walls
- Floor and Roof Framing: See framing plans.
- Subfloors: 3/4" tongue and groove CDX plywood, glued and sc
 Roof sheathing: 5/8" APA span rated CDX plywood. Provide cl req'd.
- Wall sheathing: Zips R-6 insulated sheathing at new addition, s match thickness of existing at existing house.
- Flooring: See Division 9.

Stairs: shall be shop fabricated. Provide shop drawings for review oak treads with painter risers U.N.O. with 2" nominal rectangular no Stringers shall be paint grade. Handrail shall be stain grade oak. F handrails as shown in the drawings or as required by code if not sh wood fasteners shall be concealed. Re-use existing newel posts as by Owner.

Interior trim: unless otherwise noted, all interior trim shall be paint g Size and profile to be confirmed by Owner prior to installation. Pro painted faux beam ceiling at main floor and primary suite, see arch Provide painted tongue and groove ceilings at all locations on plans faux beams.

Architectural Casework/Custom Built-ins:

- All custom casework shall be medium density fiberboard (MDF) cab Tops to be of same material and quality unless noted otherwise.
 All casework shall conform to AWI Custom standards of quality craftsmanship.
- All casework slides and concealed hardware and all exposed, p other exposed hardware shall be provided by Contractor unless noted. Samples of exposed, pulls and other exposed hardware provided to the Architect for approval if submittals deviate from items.

Exterior trim:

Trim at the existing house shall be wood to match existing. Custom profiles if / as required to exactly match the existing trim. Save exist during removal for re-use where feasible and match existing profile installation configuration where re-use is not possible.

Trim at new addition and garage shall be painted Boral TruExterior primed, and shall be painted. Exterior solid panels shall be vertical and groove beaded plank, per elevations. All joints shall be concea Factory prime or field backprime all exterior woodwork, including c See Painting requirements in Division 9 below.

- 6.10 Fasteners: All exterior sidings and trim shall be fastened with galva stainless steel nails of appropriate type and size, U.N.O.
- 6.11 Screen porch floor: The deck surface shall be plastic-wood compo or equal) 5/4 x 6 planks on tapered sleepers at roof deck surface. I samples for selection. Install with concealed fasteners.

DIVISION 7: THERMAL/MOISTURE PROTECTION

- 7.1 Insulation: All insulation shall be installed per manufacturer's require
 Sub slab: / foundation perimeter: 2" thick extruded polystyrene insulation (Dow Blue Board or equal) at the perimeter of all new
 - concrete slabs and perimeter foundation walls below slabs, 2 fe horizontally and vertically. Expanded/molded polystyrene is no for damp locations and shall NOT be used.
 Floors over unconditioned space: 9-1/2" (R-30) fiberglass batt installed with substantial contact with underside of subfloor, installed with substantial contact with underside of subfloor.
 - combination with R-6 min continuous exterior foam insulation (a below).
 Addition walls: 5-1/2" (R-21) fiberglass batt insulation at 2x6 exterior foam and the second stability of th
 - installed in combination with R-6 min continuous exterior foam (see 7.3.1 below).
 - Existing house walls: 5-1/2" (R-21) fiberglass batt insulation ex
 - or spray-applied icynene foam insulation as required to achieve
 All new and existing ceiling/attic surfaces: install spray applied celled, 2.0 lb icynene insulation on the underside of roof sheath between truss chords and rafters. Provide uniform thickness/c necessary for min R-49.
 - Basement walls: 3 ½" (R-15) fiberglass batt insulation installed 2x4 furring studs with R-10 continuous rigid insulation between the macon used
 - the masonry wall.
 Fiberglass batt insulation shall be Kraft paper faced when conc suitable finishes. Insulation installed in unfinished conditions sl faced.

					7.40	
ess the led as onnected to top plates to isolated e fastened tors to					7.13	 Exterior siding: See elevations and trim details for siding locations and profiles. Provide wood siding (custom-milled to exact match existing siding) at all existing house walls. Provide dutch lap cementitious composite siding at all new house walls. Install in accordance with manufacturer recommendations. Install flashing in accordance with section 7.12. Siding shall be installed to provide a minimum of 2 inches clearance to horizontal surfaces such as decks, porches and balconies that may
(with the ection				REVIEWED By Laura DiPasquale at 1:02	pm, May 20, 2	 retain moisture. Provide "butt and weave" joining technique at all outside corners unless corner boards are expressly shown. Cut edges adjacent to roof slopes shall be primed/painted prior to installation.
to a wall ing) at 4'-0"		Insulating Foam Sheat	hina: see 7.3.1 below.	APPROVED Montgomery County Historic Preservation Commissio		 Use "blind nailing" application technique. Nails shall be 6d (or alternatives as approved by manufacturer), corrosion resistant (galvanized or stainless steel). Butt joints shall be installed loosely touching. Butt joints shall NOT be
nter, unless plates ggered at shall be		 Air seal/Draft stop at the caulk to seal all penetry floors, walls and ceiling All spaces around windows 	nermal envelope: apply foam sealant ations and construction joints betwee gs, etc. Draft stop using fire caulk or f s and doors to be filled with expanded nd other inaccessible spaces in framir	n walls and fire foam. d urethane	_	caulked. Install flashing behind all butt joints to shed water out and onto the siding course below. Suitable flashing materials include strips of house wrap material or application specific materials like "Bear Skin". Comparable flashing shall be installed behind siding butt joints to shed water over the siding course below.
ng to drywall whichever is oser than 18	7.2	at unconditioned attics and	ning. Provide access as required by code. A d crawlspaces shall be insulated to the ride ventilation as required at uncondi	e level of	7.14	Exterior Sealant Compound for all exterior joints shall be general purpose polyether sealant that meets or exceeds FS TT-S 00230. Shall be VOC-free, solvent-free, paintable after 24 hours. Sealant shall be Great Seal PE-150, DuraLink or equal.
ed ground of the exposed to ete and/or	7.3		ts and seams between different mater		DIVISION 8.1	N 8: DOORS AND WINDOWS
ated plates	701	thermal barrier per IECC 40 requirements.	construction to maintain a continuous 02.4. Install all components per manuf	facturer	8.1.1	Interior Doors: Interior doors shall be solid core, 1 3/8" thick, paneled doors to match existing style (U.N.O). Hollow core Masonite type doors are not an acceptable substitution. All doors shall be primed and painted. Door
of 16d of the d spaced in	7.3.1	exterior roof and wall sheat Install per manufacturers re to ensure continuous vapo	rrier (at addition): Provide Zip System thing and air / moisture barrier at new equirements with all associated tapes r barrier. Zip panel joints must be gap n and contraction and all tape must b	addition. and flashings oped 1/8 inch	8.1.2	undercuts shall be ³ / ₄ " above the finished floor, U.N.O. Refer to drawings for size, type and locations. Interior hardware: All doors shall have chrome hinges. Owner to provide
ing, bracing compatible oist		between different materials	lled for full adhesion. Coordinate joints and between existing and new const and thermal barrier per IECC 402.4.		8.1.3	interior knob hardware, Contractor to install.Exterior doors: General notes (unless noted otherwise):Owner to provide, Contractor to install.
Material nce with ' from U.S. ign and ctor. All	7.3.2	moisture barrier (by Benjan receive wood siding. Insta associated lapped joints fla Coordinate joints and sean	rrier (at existing house): Provide Hydro nin Obdyke) at all existing house wall Il per manufacturers requirements wit ashings to ensure continuous vapor bans between different materials and be a between different materials and be	surfaces to h all arrier. tween existing		 See drawings for size and configuration. Provide tempered, low-E insulated glazing unless otherwise noted. Where a deadbolt is noted, use a lock with a 1-inch-long deadbolt and a reinforced metal box strike. Use 3-inch-long mounting screws so they lodge in the framing beyond the door jamb. All exterior doors shall be operable from the interior without the use of a key.
er. Wood and	7.4	Sill Plate Seal: provide flex between masonry foundati	kible, ¼" x 5-1/2" polyethylene foam g on wall and pressure treated sill plate ning Foam SealR or equal).			 Exterior doors shall be provided with pre - finished screen doors from same manufacturer. Exterior in-swing doors shall be installed to allow doors to open 180 degrees. For walls greater than 2x4 framing depth provide <u>exterior</u> extension iamb and sill.
r, Grade #2	7.5	concrete slabs on grade. V crawlspaces. Crawlspace	er shall be 6 mil over 4" compacted gr 'apor barrier shall be 20 mil on grade i vapor barrier shall extend min 6 inche imeter rigid insulation. Lap and seal a	n conditioned es up and be		extension jamb and sill. Front entry door and hardware: Owner to provide, Contractor to install. Full light exterior doors: All exterior full light doors shall be as shown on
crewed. lips as sheathing to	7.6	be 60 mil. self-adhering me footing and over cant parg installation with foundation	nick parging with membrane. Waterprembrane. Waterproofing shall be insta e joint at footing. Coordinate waterprodrainage installation. Protect waterp and filter cloth (Miradrain or equivale	alled down to oofing roofing with		 drawings, provided by Owner, installed by Contractor. Provide insulated, tempered, Low E glazing with simulated divided lites with false spacer bar as indicated in the drawings (some custom patterns may be required); muntin bars shall be 7/8" in width. Cladding color: TBD Interior finish: white
v. Provide	7.7.1	accordance with manufact	nance: All pitched roofs to be installed urers recommendations and NRCA H. letal roofs shall be installed in accorda	ARK and	8.1.3	 Factory hardware, finish TBD Screen porch doors: Screen porch doors shall be prefabricated painted wood doors, with dummy pulls and spring closers.
osings. Provide nown. All is directed	7.7.2		yment: Titanium-UDL (coordinate uno ranty) or equal. See 7.8 for underlayn roofs.		8.1.4 8.2	Overhead door and closer: Owner to provide, Contractor to install. Windows:
grade pine. ovide i plans. is showing binets.	7.7.3	Laminated Fiberglass Com "asphalt" shingles over roc Owner/Architect to make o a prefinished aluminum dri minimum material warrante "Woven", "California weave	position Shingle Roof: fiberglass con ofing underlayment. Provide sample b color selection. See 7.7 through 7.8 b p edge at all eaves and rakes. Shingle ee of 40 years. Shall be UL. Class A f e" and "closed cut" valleys will NOT b Acceptable manufacturers include:	oards for elow. Provide es shall have a fire rated.	8.2.1	 New Windows: Windows shall be provided by Owner, installed by Contractor. See drawings for general size and locations. U-Factor ≤ 0.30. SHGC (Solar Heat Gain Coefficient) ≤ 0.26, or as noted on window schedule. All U-Factors and SHGC values are determined in accordance w/ NFRC. Exterior color: white Interior finish: painted (white) HardwareTBD Provide jamb extensions as required by framing depths. Provide white vinyl jamb liners on double hung units, typically.
y and pulls, and	7.7.4	Tamko Heritage Membrane Roof: Provide	TPO membrane roof, by Firestone or e wed substrate at low-sloping central r			 All operable windows shall be provided with screens and screen hardware. All windows shall be provided <u>without</u> factory brickmould, and shall be provided with 5/4 board primed wood trim. Interior sill horns shall be
s otherwise e shall be n specified		manufacturer's requiremen system as required by mar polyethylene root barrier (b	per 12" horizontally. Install system pents, provide flashings and UV / weather nufacturer. Provide WSF40 high-densi by green roof supplier) over roofing at a fing shall a minimum three-year-aged	er protection ty all green roof	8.2.2	provided. Window installation shall be in accordance with all manufacturer's guidelines. Provide preformed or membrane formed sill drain pans with integral backdam (or sloped to drain). Pans shall return up jambs min. 6 inches. Integrate the
m mill isting trim es and		Reflective Index (SRI) of 64 defined in "ENERGY STA for Roof Products, Eligibilit	or comply with the criteria for roof AR® Program Requirements, Product y Criteria."	products as Specification	8.2.3	pan and window into the drainage plane of the wall using high quality flashing and sealing materials. Provide tempered/safety glass in windows adjacent to a door (within 24"), staircase/landing (where glazing is <36" above plane of adjacent walking
[.] Trim, pre- l tongue aled. cut joints.	7.7.5	or equivalent) at new front approved bond-breaker / u shall be 1" max height. Hip	nding seam metal roofing (by Fireston porch. Install per manufacturer's requinderlayment and substrate. Metal ro ps and ridges shall be hand-cripped to cover plates or overpanels shall be u	uirements over ofing seams o match		surface, and within 60" of bottom tread) or shower/tub (where bottom of glazing is <60" above floor and within 60" horizontally of waters edge), or as required by section R308 of the IRC.
anized or osite ("Trex" Provide	7.8	locations). Maximum pany Ice Dam: Provide and insta valleys, and perimeter in ar extend min. 24 inches (mea exterior walls. Provide Ice I	width shall be 12". all Ice Dam Membrane material at all r reas to receive new roofing. Ice dam a asured horizontally) upslope of interior Dam Membrane as a continuous barri	akes, eaves, It eaves shall r face of er under all	8.2.4	Basements, habitable attics and every sleeping room shall have at least one operable egress window. The minimum net clear opening shall be 5.7 square feet (some localities may allow 5.0 sq. ft where openings are at grade). The minimum net clear height shall be 24 inches. The minimum net clear width shall be 20 inches. The maximum clear opening height shall be 44 inches above the floor. Egress openings with a finished sill height below grade shall be provide with a window well in accordance with code.
iromonto	7.9	Winterguard, manufactured Termite Barrier: Provide 1	ches less than 3.5 in 12. Ice dam sha d by Certainteed, or equivalent. 6 oz. copper flashing where in contac luminum is incompatible). Alternate p	t with AQC	8.2.5	Provide window opening control devices for all windows where the clear opening is less than 24" above the finished floor when windows are 6 feet above grade, in accordance with section R312 of the IRC.
irements. e rigid v interior feet	7.10	and laps with mastic or can Flashing: 0.025" thick (22 g	gauge) aluminum flashing, where expc	osed and	8.2.6	Window Wells: the minimum horizontal area of the window well shall be 9 sq. ft. with a min. horizontal projection and width of 36 inches. Wells greater than 44 inches deep shall be provided with a permanently affixed ladder or steps that allow the window to open fully.
ot suitable t insulation, stalled in (see 7.3.1		contact with AQC pressure Exposed flashings shall be	therwise. Provide 16 oz. copper flash treated lumber (aluminum is incompa color coordinated (with factory finish) I. Provide aluminum drip edge at the plor(s) to be determined.	atible). to blend with	8.3 DIVISION	Skylights: Provide skylights as follows as manufactured by Velux. Install per manufacturer requirements, including associated flashings and accessories.
exterior walls insulation	7.11	aluminum flashings for thro at door heads and head fla locations throughout buildi	nings at Stud Frame / Siding: Provide bugh wall flashings at base of doors, h ishing at window heads in sheathing t ng. Provide flashing wherever exterior	nead flashings o siding r cladding	9.1.1	 Drywall: 1/2" GWB throughout, glued and screwed. Nails should <u>not</u> be used. Provide moisture resistant Greenboard at the following locations: all bathroom walls (except as noted below), floor to ceiling. kitchen walls within 4 ft of sink centerline.
e R-21. d closed hing, coverage as		other penetrations. Flashir conduct water clear of inte typical <u>only</u> , not inclusive.	pted by, roof slopes, horizontal trim, on ng shall tuck behind cladding and be f rruptions. Flashing locations on drawi Flashing shall be placed and installed standards. See section 8.2.2 regarding	ormed to ings are I in		 behind and adjacent to laundry equipment and utility sink(s). all other potentially wet locations. Durock/Wonderboard shall be used behind all wall tile finishes at showers and around tubs.
d between n studs and cealed by hall be foil	7.12	Gutters & Downspouts: Pr style gutters and round do	rovide and install 0.025" thick aluminu wnspouts (to match existing in size ar e pipe to drain to daylight or drywell, ι	m 6" wide K nd profile) to	9.1.2	Drywall Level of Finish: unless noted otherwise, drywall surfaces to receive flat sheen paint shall be finished consistent with Level 4 of Recommended Levels of Gypsum Board Finish (GA-214-10e). Drywall surfaces designated to receive eggshell or semi-gloss sheen paint shall be finished consistent with Level 5. Substrates to receive tile, and garages, may be finished to level 2

9.2	 Paint – General notes: Existing surfaces should be thoroughly prepped, free of loose material and dust, clean and dry. Paint on casework/trim should be brushed or sprayed, not rolled.
9.2.1	Interior Paint: Latex paint by Sherwin Williams or Benjamin Moore (or approved equal), premium grade, no or low VOC. Provide one prime coat and two finish coats throughout new or substantially renovated areas on all surfaces, including walls, ceilings and features such as windows, millwork and radiators (coordinate with Finish Schedule if applicable). Existing walls and ceilings that have been patched/repaired should be painted in their entirety. Anticipate eight wall colors, one ceiling, and one trim color.
9.2.2	 Exterior Paint: Vinyl acrylic latex paint. Apply one coat primer / backprimer on all new and existing surfaces of all wood fascia, soffit, casing, siding and trim boards and existing brick. Apply two finish coats to exposed surfaces. Paint should only be applied when the weather is projected to be dry and above 40 degrees for 48 hours. Acceptable manufacturers/lines include: Sherwin Williams Duration Benjamin Moore Aura Behr Premium Plus Ultra
	Provide satin finish on new siding, panels and battens. Semi-gloss finish on new trim, columns and railings, unless noted otherwise. Exterior paint scope to include all new and existing exterior surfaces.
9.3	Flooring:
9.3.1	 Hardwood: Oak plank width and species to match existing, U.N.O. Provide hardwood floor in the following locations: Main floor (all locations) Second floor (all locations except bathrooms and laundry room) Stairs to attic.
9.3.2	 Wood flooring shall be tongue and groove oak flooring of 3/4" nominal thickness. Provide 4" wide plank flooring, or as required to match existing, in all hardwood locations. Finish to be selected by Owner and Architect. Machine and surface wood flooring smooth, using (progressively finer) coarse, medium, and fine sandpaper. Installation shall be in accordance with The Wood Flooring Manufacturer's Association (NOFMA) recommendations. A summary of Basic Rules of installation is a s follows: The building should be closed in with windows and doors in place.
	 All concrete, masonry, sheetrock and framing, etc. should be thoroughly dry before flooring is delivered. The average moisture content of framing members and subflooring should be below 12-14%. In warm months the building must be well ventilated. During winter months heating should be maintained near occupancy levels at least 5 days before the flooring is delivered and until sanding and finishing are complete.
	 Relative humidity at the jobsite should be maintained consistently within the range of 30-50%. When job site conditions are satisfactory, have the flooring delivered and broken into small lots and stored in the rooms where it is to be
	 installed. Allow 4 to 5 days or more, for the flooring material to become acclimated to job site conditions. Flooring should be installed over a layer of #15 building felt U.N.O. and lapped 4-6 inches. When installing over a crawlspace, felt joints should be sealed with mastic. Flooring installed on p.t. wood sleepers/screeds over a concrete slab on grade should be installed over a 6 mil polyethylene film vapor retarder.
	 Basements (installation on slabs below grade is not recommended) and crawlspaces must be dry and well ventilated. Finish floor boards should be installed perpendicular to framing members U.N.O. The subfloor must be sound and tight to yield a squeak-free installation.
9.3.3	Tile and Grout: Owner to provide, Contractor to install tile floors and tub/shower surrounds in the following locations:Kitchen backsplash
	 Second floor bathrooms, including shower pans and surrounds Attic bathroom, including shower pan and surround Follow manufacturer's recommendations for installation and curing. Alternative setting beds to those noted below shall be reviewed with Architect
	 for approval prior to installation. Ceramic Tile Floors: All tiled floors shall include a tile base up from tile floor, UNO. Provide a marble threshold in doorways. Tile Walls and Tub/Shower Surrounds: tile to be selected by Owner. General Contractor to provide and install. Tile surrounds at showers and tubs shall extend to ceilings. Tile setter shall coordinate alignment, width and height of michae another and ledges with tile presentions and grout
	 and height of niches, openings and ledges with tile proportions and grout joints. Setting: Install tile in thin-set mortar bed conforming to ANSI standards as follows:
	 Ceramic and stone: ANSI 118.1 Porcelain: ANSI 118.4 (with latex binding additive) Glass: Exceeding ANSI 118.4 and 118.11 Padiant applications: Exceeding ANSI 118.14
	 Radiant applications: Exceeding ANSI 118.11 Grout: Presealed, high tech cement grout with stain resistance, mold & mildew resistance. Grout color TBD.
9.3.4	Laminate Plank Flooring: Install Owner-provided floating floor system consisting of laminate planks with mechanically interlocking tongue and groove edge profile at two basement storage rooms. Plank shall consist of a scratch resistant, decorative plastic surface bonded directly to a high density substrate of wood fibers and water resistant adhesive (HDF core), minimum 7mm thick. Plank shall have a minimum wear and use rating of AC3-23 (Heavy Residential).
	 Installation shall be in accordance with the manufacturer's instructions. Samples: provide full range of colors and patterns. Color/finish to be selected by Owner and Architect. See Division 17 for Allowance Summary.
	 All concrete, masonry, sheetrock and framing, etc. should be thoroughly dry before flooring is delivered. Maintain relative humidity planned for building occupants and ambient temperature between 65 F and 75 F in spaces to receive flooring for 48 hours prior and during installation.
	 Allow minimum of 48 hours for the flooring material to become acclimated to job site conditions. Verify strip flooring direction with Architect before starting installation. Fill voids in subfloor to provide a maximum 3/16" deviation in any direction when checked with a 10 foot straight edge. The subfloor must be sound and tight to yield a squeak-free installation.
	 Stagger end joint locations a minimum of 10-12 inches. Install divider strips where flooring terminates at centerline of doors and adjacent to other materials.
	 Provide expansion space of not less than 1/4 inch at walls and other obstructions and terminations of flooring. Provide end caps, T expansions and transition strips as needed. Nail trim to wall; do not nail to flooring.
	 Seal flooring penetrations and perimeters at wet areas with silicone sealant. Undercut wood door frames and allow for 1/4" minimum expansion
	 clearance. Installations above concrete slabs on grade or other moisture sensitive areas should be over a 24 mil high-density polyethylene vapor barrier with joints lapped and tapped.
9.3.5	 Provide surplus material equivalent to 3% of the installed floor area. Carpet: Provided and installed by Owner at attic and basement rec room.

BENNETT FRANK McCARTHY architects, inc.

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 www.bfmarch.com
 fax (301) 585-8917

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SPECIFICATIONS

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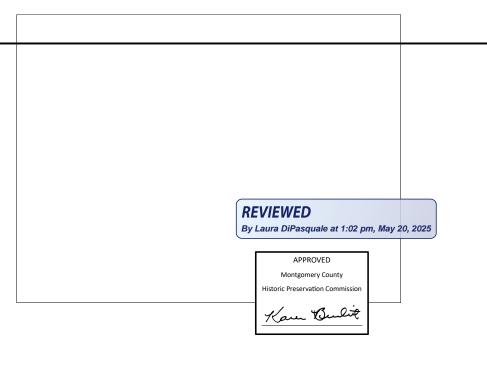
SPECIFICATIONS

DIVISION 10: SPECIALTIES

- 10.1 Bathroom accessories: Owner shall provide all bathroom accessories including hung mirrors, medicine cabinets, curtain rods, towel bars, toilet paper holders, hooks, etc. Contractor shall install. Coordinate and install blocking for all wall hung accessories.
- 10.2 Glass shower enclosures: Owner to provide and install. Coordinate and provide blocking for shower enclosures.
- 10.3 Fixed mirrors: Owner to provide, Contractor to install.
- 10.4 Closets interiors: provide 3/4" thick (actual) plastic laminate shelves with perimeter wood 1x3 cleats and intermediate shelf supports as necessary for span. Coordinate layout with Owner and as noted below.
 - Clothes closets: provide with chrome rod @60" AFF. (with intermediate bracket supports max. 32" o.c.), one 12" deep shelf @ 63" AFF and second shelf @ 78" AFF. Provide additional shelves as ceiling height permits.
 - Linen/pantry closets: provide 16" deep shelving (or shallower as necessitated by closet depth) at 14" increments vertically, or as shown.
 Master bedroom closet shelving and rod provided and installed by Owner.
- 10.5 Soffit Vent: Provide continuous 1-1/2" aluminum vent. See Drawings for locations and installation.
- 10.6 Access Panels: Provide paint grade, hinged, metal access panels to all concealed mechanical, plumbing and electrical devices to include (but not limited to) dampers, valves, shut-offs, disconnects, transformers, etc.
- 10.7 Acoustics Accessories at Primary Bath plumbing above LR
 - Pipe isolation: all supply and waste pipe penetrations shall be acoustically isolated from joists, blocking, plywood, studs and drywall to isolate pipes fro structure and finishes. Isolation shall be by means of appropriate Hubbard Enterprises "HoldRite" accessories, such as Isolator 261, 262, or 271, or alternate resilient sealer where installation of accessories is infeasible.
 - See Section 15.1.3 for use of cast iron waste pipe. Wrap all PVC sanitary waste lines and fittings with Soundlag 4525C flexible convoluted foam by Pyrotek Industries, per manufacturer's recommendations. Seal joints with Soundlag Tape ALR.
- 10.8 Wood burning fireplace: Owner to select, Contractor to provide and install Isokern wood-burning fireplace, and all associated flues and components. Install per manufacturer's requirements, including approved chimney / flue pipe, flashing kit, pipe termination kit as required for complete installation. Provide flush tile hearth at fireplace. Provide tight fitting flue dampers and outdoor air for combustion.

DIVISION 11: EQUIPMENT

- 11.1 Cabinets and countertops: Owner to provide, Contractor to install.
- 11.2 Appliances: Owner to provide, Contractor to install. Appliances and heating equipment shall all be Energy Star rated. Provide overflow pan and drain at washing machine with water alarm in overflow pan. Use braided stainless steel supply hoses.



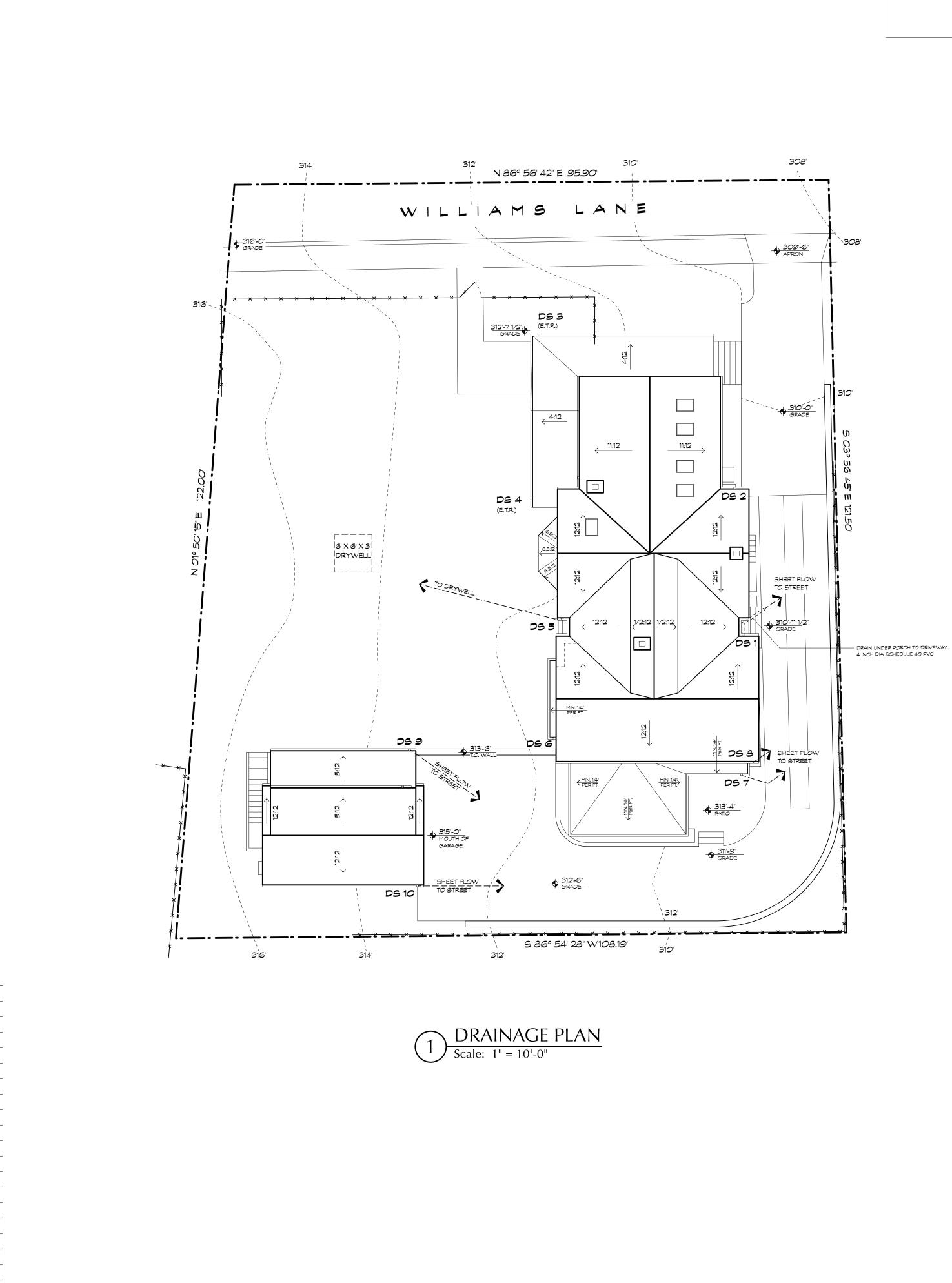
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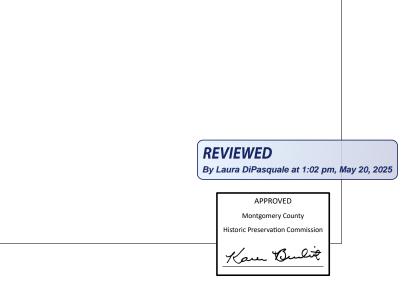
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SP101

5' 10' 15' 20' 25' 30' 35' 40' 45' 50'





ROOF DRAINAGE ANALYSIS

DRAINAGE LOCATION	EXISTING ROOF AREA SERVED	PROPOSED ROOF AREA SERVED	DRAINAGE DESTINATION
DOWNSPOUT #1	160 SF	370 SF	SHEET FLOW TO STREET
DOWNSPOUT #2	373 SF	373 SF	EXISTING D.S. CONNECTED TO EXISTING SUBSURFACE DRAIN PIPE
DOWNSPOUT #3	234 SF	234 SF	EXISTING D.S. CONNECTED TO EXISTING SUBSURFACE DRAIN PIPE
DOWNSPOUT #4	470 SF	470 SF	EXISTING D.S. CONNECTED TO EXISTING SUBSURFACE DRAIN PIPE
DOWNSPOUT #5	160 SF	362 SF	TO DRYWELL
DOWNSPOUT #6	0 SF	29 SF	CONNECT TO SUBSURFACE DRAIN PIPE
DOWNSPOUT #7	0 SF	228 SF	SHEET FLOW TO STREET
DOWNSPOUT #8	0 SF	330 SF	SHEET FLOW TO STREET
DOWNSPOUT #9	0 SF	340 SF	SHEET FLOW TO STREET
DOWNSPOUT #10	0 SF	208 SF	SHEET FLOW TO STREET
TOTAL	1397 SF	2944 SF	Δ=1547 SF

Appendix B

Drywell Information and Detail

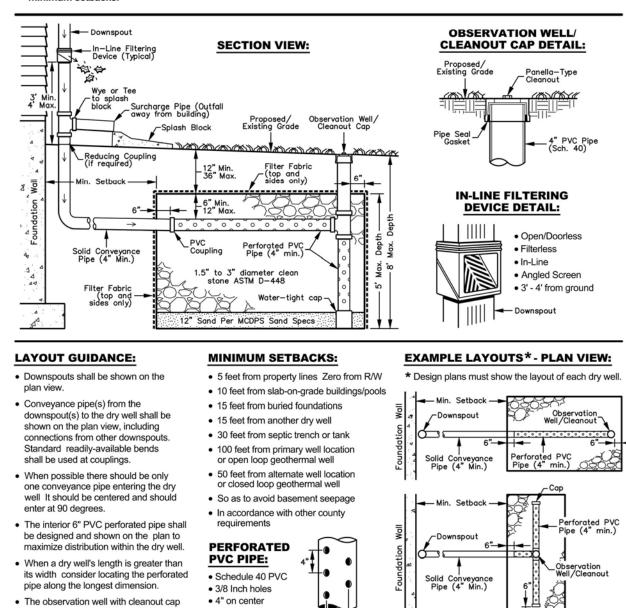
invert shall be shown.

engineer and shown on the plan.

GENERAL NOTES:

shall be shown on the plan view.

- Dry wells may receive water from roof downspouts only.
 Length, width and depth of each dry well is to be as
 Impermeable liners may be used when specified by the design engineer and shown on the plan.
- 2 Length, width and depth of each dry well is to be as specified by the design engineer on the approved plan.
- 3 Manufactured sand is not acceptable. Refer to the MCDPS
- Sand Specifications. 4. With the inspector's approval dry well locations may be field adjusted for site conditions All adjustments must meet the minimum setbacks.



8

90° around pipe

90.

6. Overflow pipes may be used when specified by the design engineer and shown on the plan They shall be set at a minimum 2% slope. If the outfall is to daylight the outfall

Pop-up emitters may be used when specified by the design

Panella-Type Cleanout

(ANCAYA

4" PVC Pipe

• 3' - 4' from ground

Observation_ Well/Cleanout

Perforated PV Pipe (4" min.) _Observation Well/Cleanou

LEGEND

----- PROPERTY LINE ------ SETBACK LINE

50' 45' 40' 35' 30' 25' 20' 15' 10' 5'

BUILDING OUTLINE

DR100

DRAINAGE PLAN

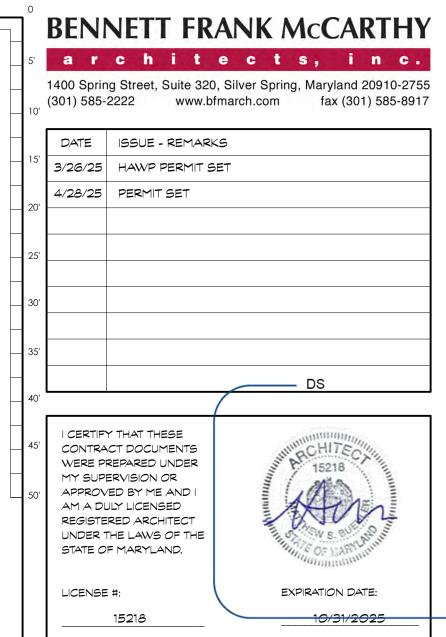
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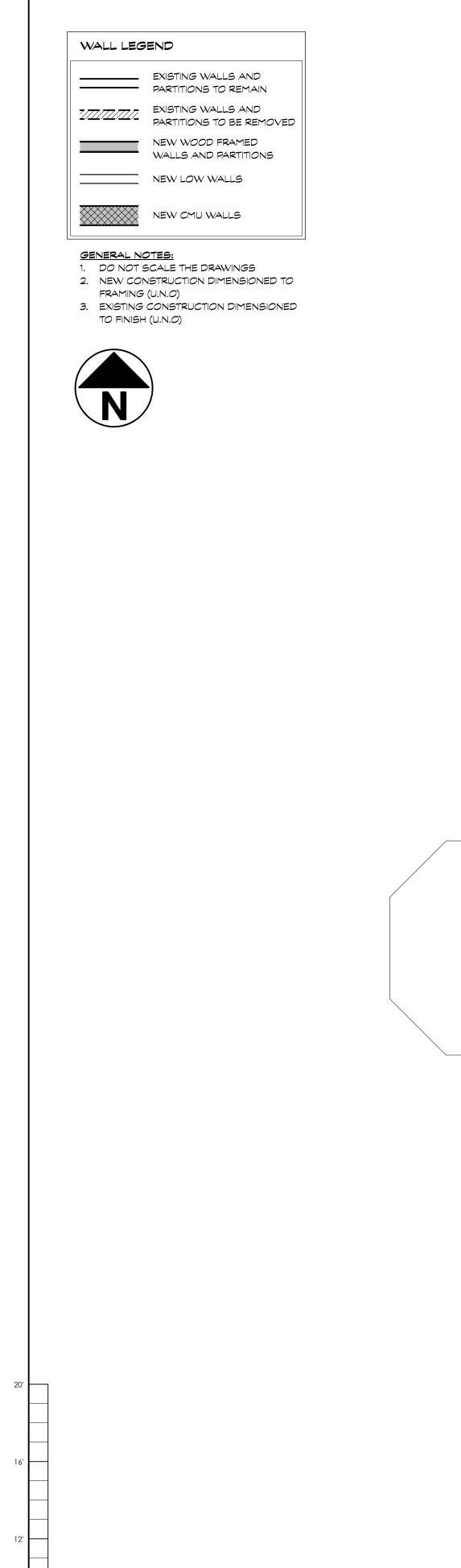
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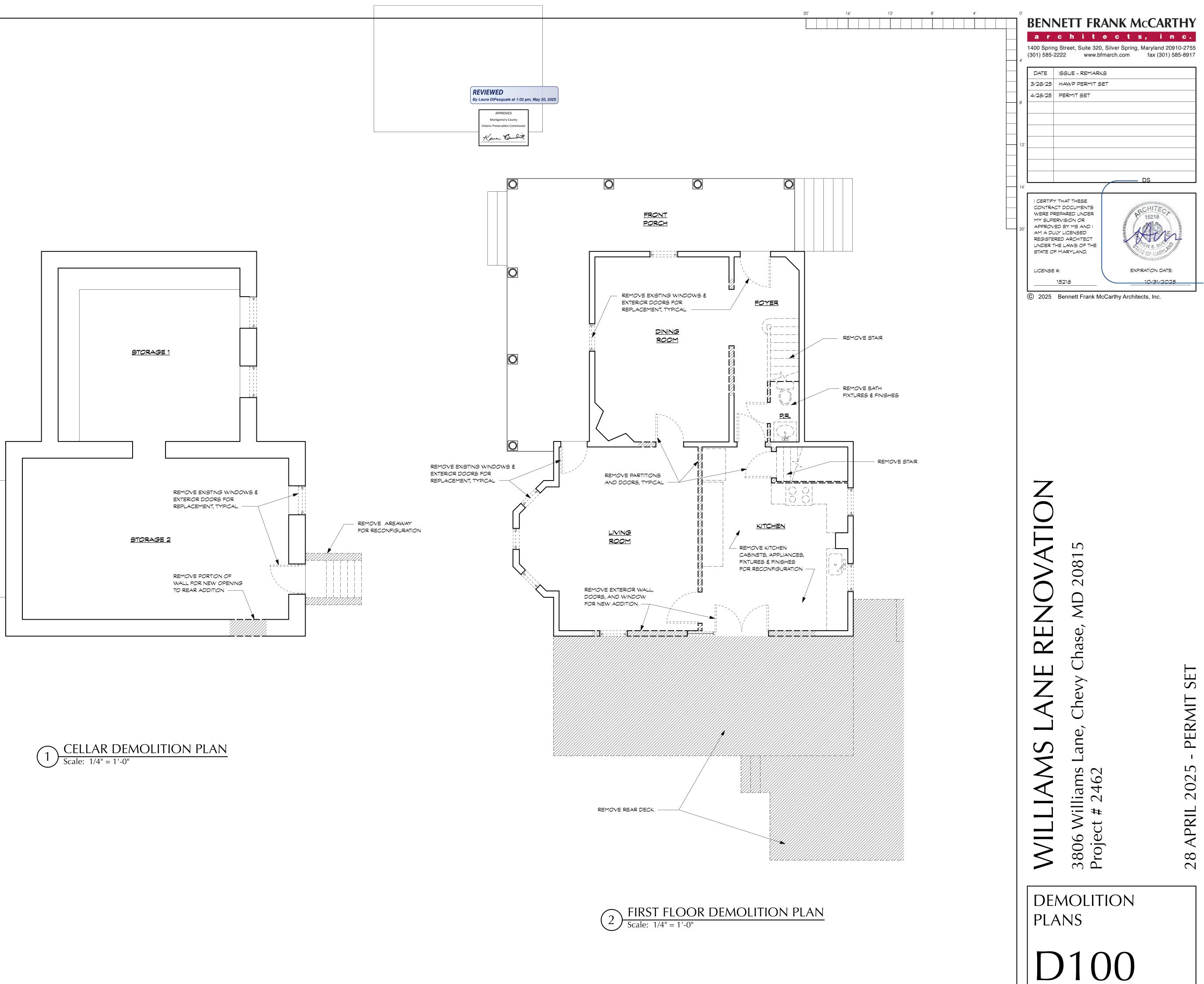
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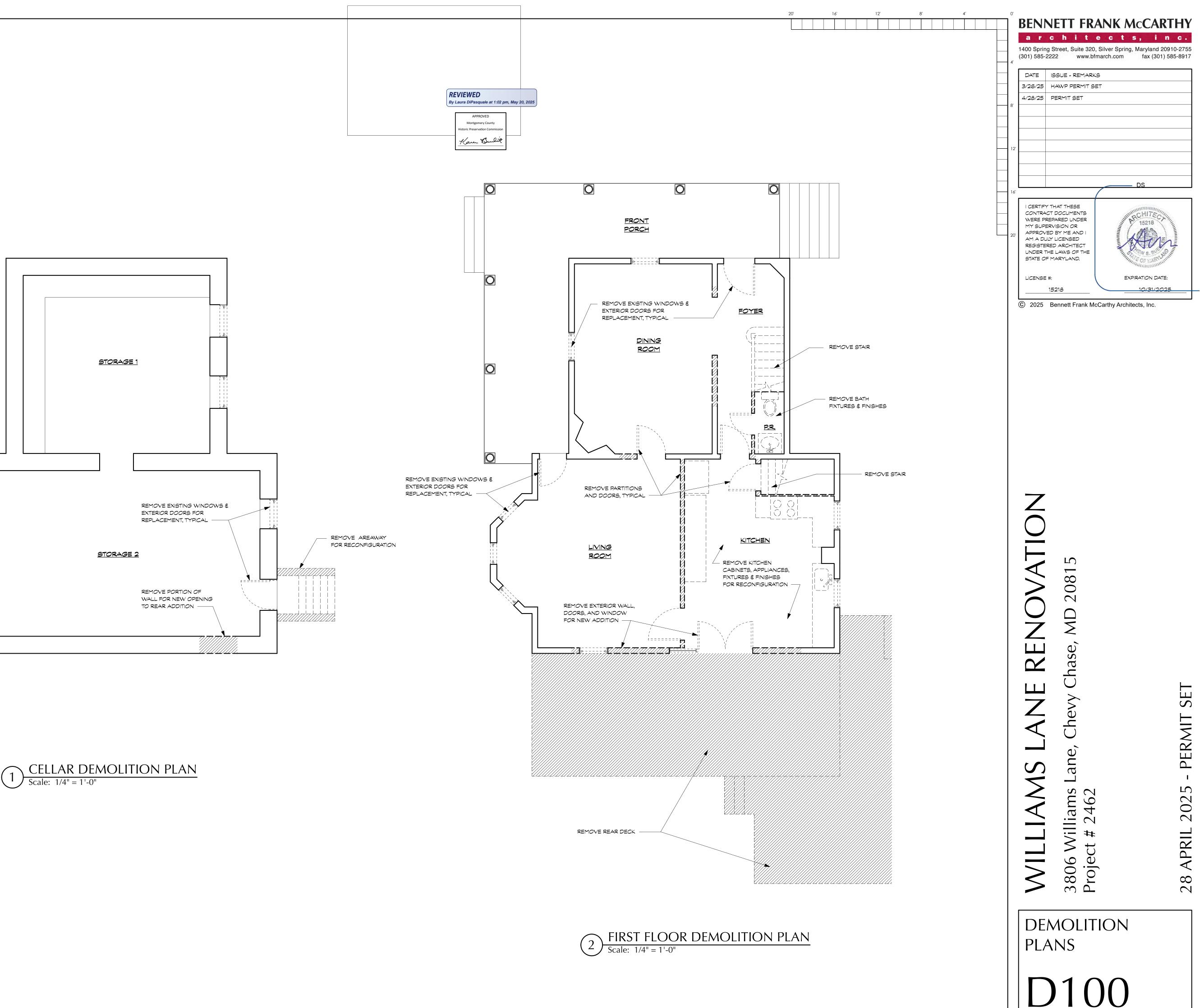
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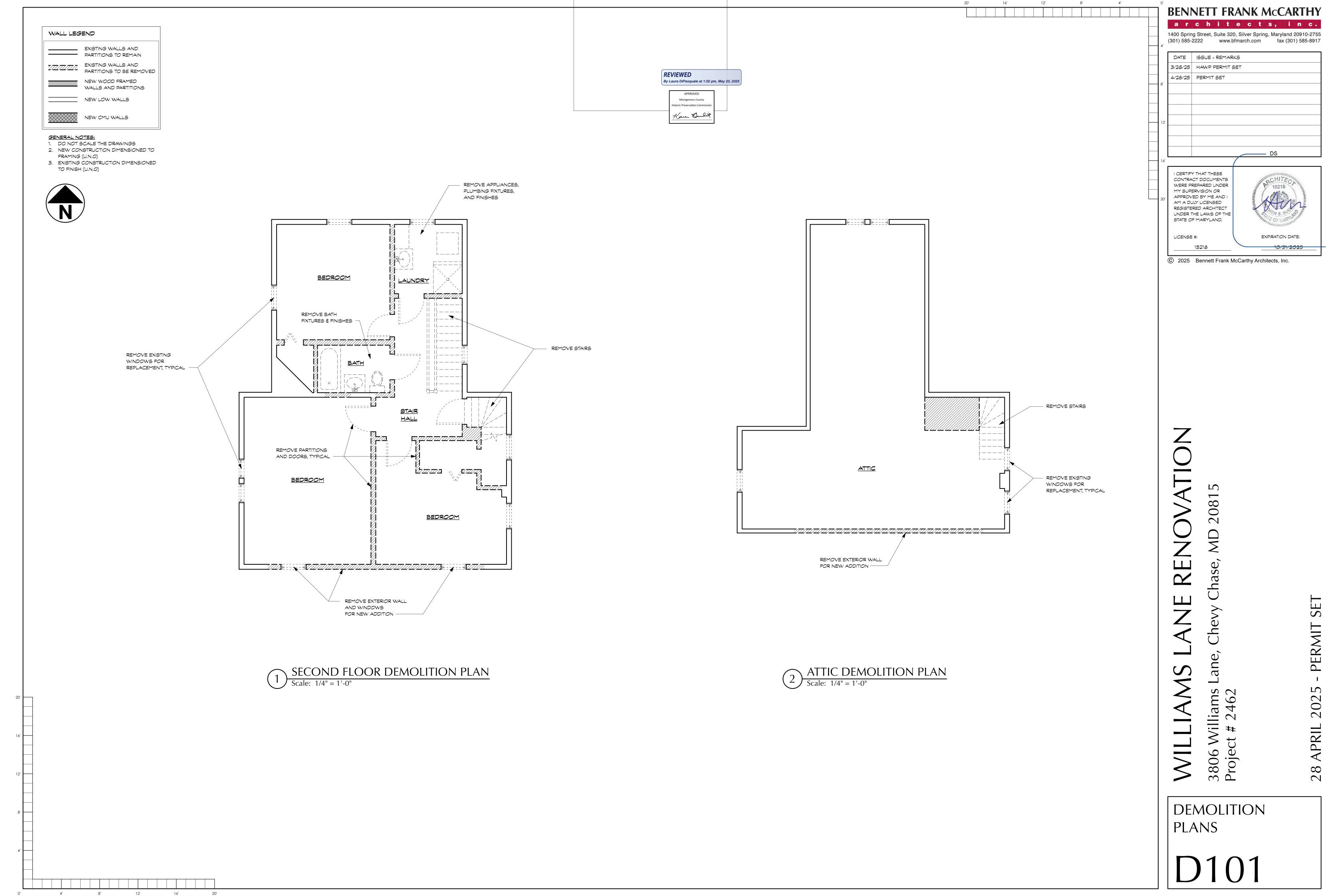
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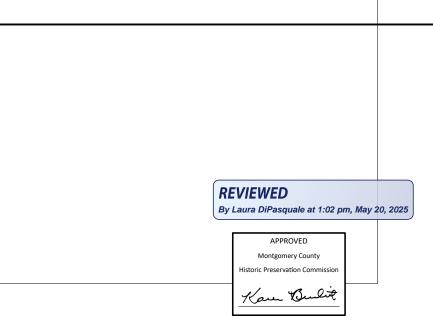
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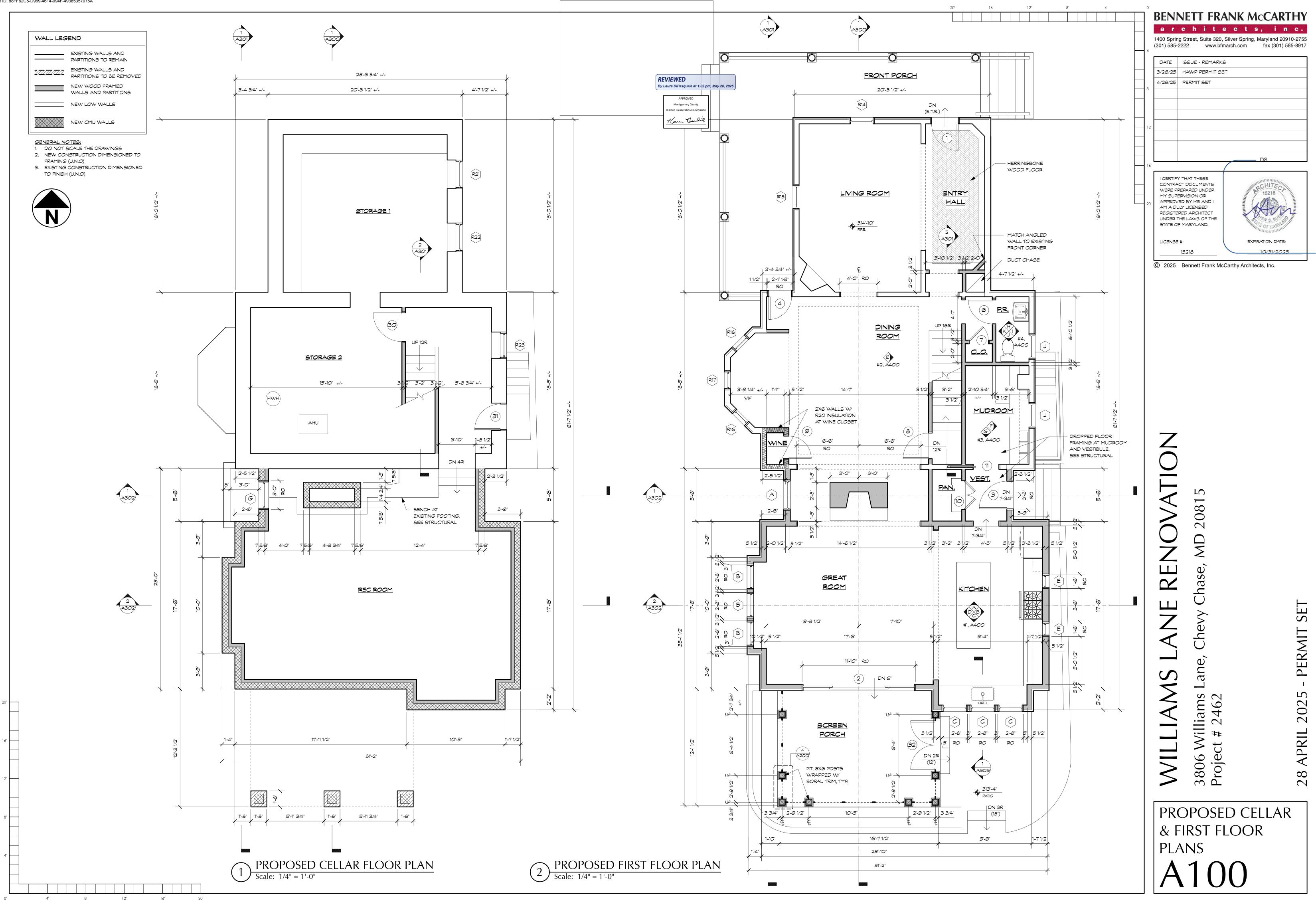
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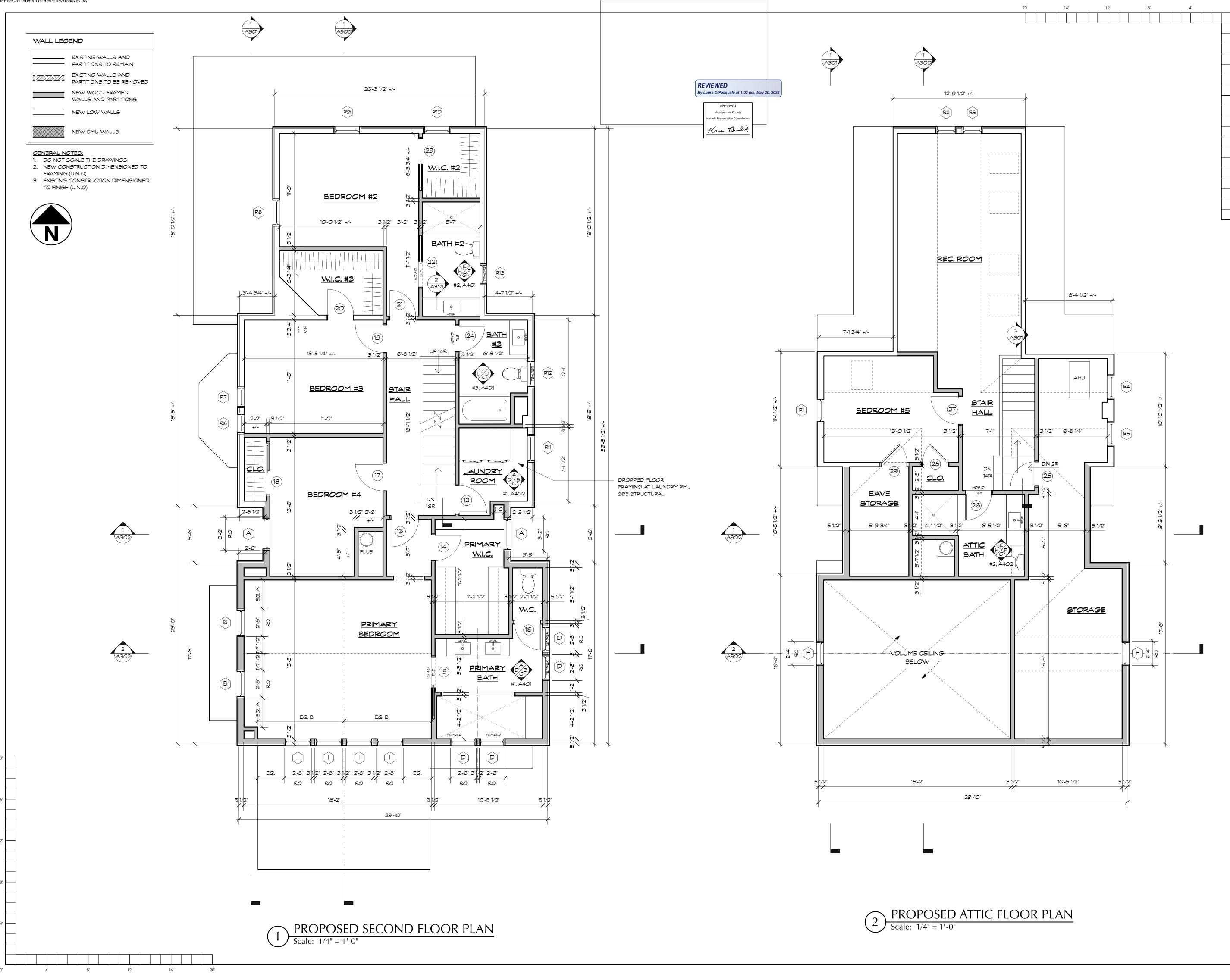
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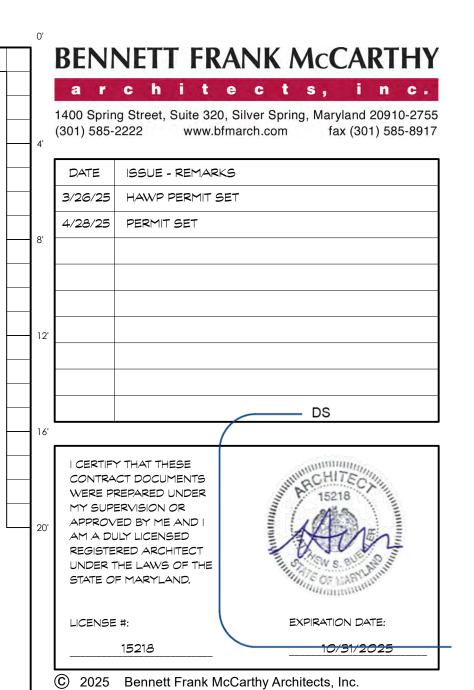
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WIN														
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MARK	WEATHERSHIELD	MODEL NO.	TYPE			IT SIZE V × H)		R. <i>O</i> . (W × H)	OPER. E	GRESS		GLAZING	U-VALUE	. 5
A B	SIGNATURE SERIES SIGNATURE SERIES	3256 2856	DOUBLE H DOUBLE H	e e	3'-1 1/2' 2'-7 1/2	" X 5'-5		3'-2" X 5'-6" 2'-8" X 5'-6"	Y Y	Y N		E W/ ARG E W/ ARG		(
C D	SIGNATURE SERIES SIGNATURE SERIES	2846 2646	DOUBLE H DOUBLE H		2'-7 1/2 2'-5 1/2			2'-8" X 4'-6" 2'-6" X 4'-6"	Y Y	N		E W/ ARG	00	
E	SIGNATURE SERIES	1646 2440	DOUBLE H DOUBLE H		1'-5 1/2' 2'-3 1/2			1'-6" X 4'-6" 2'-4" X 4'-0"	Y	N		E W/ ARG		
G	SIGNATURE SERIES	3640	CASEME	NT	3'-5 1/2	2" X 3'-1'	1/2"	3'-6" X 4'-0"	Y	Y	LOW-	E W/ ARG	ON 0.30	
H	SIGNATURE SERIES SIGNATURE SERIES	2826 2860	CASEME DOUBLE H	UNG	2'-7 1/2 2'-7 1/2	" X 5'-11	1/2"	2'-8" X 2'-6" 2'-8" X 6'-0"	Y Y	N Y	LOW-	E W/ ARG E W/ ARG	ON 0.30	
J Rx	SIGNATURE SERIES FOR ALL REPLACEMENT WIN	NDOWS, SEE WI					2" VIF 2'	2'-8" X 5'-10" VIF	Y	N	LOW-	E W/ ARG	60N 0.30	+
	R SCHEDULE				MATE		TYPE /							
D00 NO. 1	R SCHEDULE LOCATION FRONT ENTRY	SIZE 3'-0" × 6'-8		ТНК. 1 3/4"	MATE DR WD		STYLE	E CONFIG	OPER. SWING		ACTOR 0.30	SHGC 0.40	H BY DOOR M	-
NO. 1 2	LOCATION FRONT ENTRY GREAT ROOM - ENTRY	3'-0" × 6'-8 11'-10" × 7-2	8" VIF 1/2" RO	1 3/4" 1 3/4"	DR WD GLS	FR WD WD	STYLE HALF LITI FULL LITE	E CONFIG TE SINGLE TE 4 PANEL	SWING		0.30 0.30	0.40 0.40	BY DOOR M	
NO. 1 2 3	LOCATION FRONT ENTRY	3'-0" × 6'-8	B" VIF 1/2" RO "-O"	1 3/4"	DR WD	FR WD WD WD	STYLE HALF LIT	E CONFIG TE SINGLE TE 4 PANEL TE SINGLE	SWING		0.30	0.40	BY DOOR M	4NI 4NI 7 Di
NO. 1 2 3 4 5	LOCATION FRONT ENTRY GREAT ROOM - ENTRY VESTIBULE - ENTRY DINING ROOM - ENTRY NOT USED	3'-0" × 6'-5 11'-10" × 7-2 ⁻ 3'-0" × 7 2'-7 1/16" × 6	B" VIF 1/2" RO 7-0" 5'-8" RO	1 3/4" 1 3/4" 1 3/4" 1 3/4"	DR WD GLS GLS GLS	FR WD WD WD	STYLE HALF LITI FULL LITE HALF LITI	E CONFIG TE SINGLE TE 4 PANEL TE SINGLE D SINGLE	SWING SLIDE SWING SWING		0.30 0.30 0.30	0.40 0.40 0.40	BY DOOR M, BY DOOR M, LOCKSET W, BY DOOR M,	4 NI 4 NI 7 DI 4 NI
NO. 1 2 3 4 5 6 7	LOCATION FRONT ENTRY GREAT ROOM - ENTRY VESTIBULE - ENTRY DINING ROOM - ENTRY NOT USED POWDER ROOM CLOSET	3'-0" × 6'-8 11'-10" × 7'-2 ' 3'-0" × 7 2'-7 1/16" × 6 2'-4" × 6 2'-0" × 6	B" VIF 1/2" RO 7-0" 5-8" RO 5-8" RO	1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/8"	DR WD GLS GLS GLS WD WD	FR WD WD WD WD WD WD	STYLE HALF LITI HALF LITI PANELED - -	E CONFIG TE SINGLE TE 4 PANEL TE SINGLE D SINGLE SINGLE SINGLE	SWING SLIDE SWING SWING SWING SWING		0.30 0.30 0.30	0.40 0.40 0.40	BY DOOR M. BY DOOR M. LOCKSET W. BY DOOR M. PRIVACY SET PASSAGE SE	ANI 7 D ANI -
NO. 1 2 3 4 5 6 7 8 9	LOCATION FRONT ENTRY GREAT ROOM - ENTRY VESTIBULE - ENTRY DINING ROOM - ENTRY NOT USED POWDER ROOM CLOSET BASEMENT STAIR WINE CLOSET	3'-0" × 6'-5 11'-10" × 7-2 ⁻ 3'-0" × 7 2'-7 1/16" × 6 2'-4" × 6 2'-0" × 6 2'-8" × 6 2'-6" × 6	B" VIF 1/2" RO "-O" 5-8" RO 5-8" 5-8" 5-8" 5-8"	1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/8" 1 3/8" 1 3/8" 1 3/8"	DR WD GLS GLS GLS WD WD WD WD	FR WD WD WD WD WD WD WD	STYLE HALF LITI HALF LITI PANELED - -	E CONFIG TE SINGLE TE 4 PANEL TE SINGLE D SINGLE SINGLE SINGLE SINGLE	SWING SLIDE SWING SWING SWING SWING SWING		0.30 0.30 0.30	0.40 0.40 0.40	BY DOOR M, BY DOOR M, LOCKSET W, BY DOOR M, PRIVACY SET PASSAGE SE PASSAGE SE PASSAGE SE	ANI ANI ANI ET ET
NO. 1 2 3 4 5 6 7 8 9 10 11	LOCATION FRONT ENTRY GREAT ROOM - ENTRY VESTIBULE - ENTRY DINING ROOM - ENTRY NOT USED POWDER ROOM CLOSET BASEMENT STAIR WINE CLOSET PANTRY MUDROOM	3'-0" × 6'-5 11'-10" × 7-2 ' 3'-0" × 7 2'-7 1/16" × 6 2'-4" × 6 2'-6" × 6 2'-8" × 6 3'-0" × 6 2'-8" × 6	B" VIF 1/2" RO 7-0" 5-8" RO 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8"	1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/8" 1 3/8" 1 3/8" 1 3/8" 1 3/8" 1 3/8"	DR WD GLS GLS GLS WD WD WD WD WD WD	FR WD WD WD WD WD WD WD WD WD	STYLE HALF LITI HALF LITI PANELED - -	E CONFIG TE SINGLE TE 4 PANEL TE SINGLE D SINGLE SINGLE SINGLE SINGLE PAIR SINGLE	SWING SLIDE SWING SWING SWING SWING SWING SWING SWING POCKET		0.30 0.30 0.30	0.40 0.40 0.40	BY DOOR M, BY DOOR M, LOCKSET W, BY DOOR M, PRIVACY SET PASSAGE SE PASSAGE SE PASSAGE SE DUMMY PULL TRACK AND I	
NO. 1 2 3 4 5 6 7 8 9 10 11 12 13	LOCATION FRONT ENTRY GREAT ROOM - ENTRY VESTIBULE - ENTRY DINING ROOM - ENTRY NOT USED POWDER ROOM CLOSET BASEMENT STAIR WINE CLOSET PANTRY MUDROOM LAUNDRY ROOM PRIMARY BEDROOM	3'-0" × 6'-5 11'-10" × 7-2 ' 3'-0" × 7 2'-7 1/16" × 6 2'-4" × 6 2'-8" × 6 2'-8" × 6 3'-0" × 6 2'-8" × 6 2'-8" × 6 2'-8" × 6 2'-8" × 6	B" VIF 1/2" RO 7-0" 5-8" RO 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8"	1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/8" 1 3/8" 1 3/8" 1 3/8" 1 3/8" 1 3/8" 1 3/8" 1 3/8" 1 3/8"	DR WD GLS GLS GLS WD WD WD WD WD WD WD WD WD	FR WD WD WD WD WD WD WD WD WD WD	STYLE HALF LITI HALF LITI PANELED - -	E CONFIG TE SINGLE TE 4 PANEL TE SINGLE D SINGLE SINGLE SINGLE SINGLE PAIR SINGLE SINGLE SINGLE SINGLE SINGLE	SWING SLIDE SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING		0.30 0.30 0.30	0.40 0.40 0.40	BY DOOR M, BY DOOR M, LOCKSET W, BY DOOR M, PRIVACY SET PASSAGE SE PASSAGE SE DUMMY PULL TRACK AND I PASSAGE SE PRIVACY SET	
NO. 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15	LOCATION FRONT ENTRY GREAT ROOM - ENTRY VESTIBULE - ENTRY DINING ROOM - ENTRY NOT USED POWDER ROOM CLOSET BASEMENT STAIR WINE CLOSET PANTRY MUDROOM LAUNDRY ROOM PRIMARY BEDROOM PRIMARY BATH	3'-0" × 6'-5 11'-10" × 7-2 ' 3'-0" × 7 2'-7 1/16" × 6 2'-4" × 6 2'-8" × 6 2'-6" × 6 3'-0" × 6 2'-6" × 6 3'-0" ×	B" VIF 1/2" RO 7-0" 5-8" RO 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8"	1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/8" 1 3/8"	DR WD GLS GLS GLS WD WD WD WD WD WD WD WD WD WD WD WD WD	FR WD WD WD WD WD WD WD WD WD WD WD WD WD	STYLE HALF LITI HALF LITI PANELED - -	E CONFIG TE SINGLE TE 4 PANEL TE SINGLE D SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE	SWING SLIDE SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING		0.30 0.30 0.30	0.40 0.40 0.40	BY DOOR M, BY DOOR M, LOCKSET W, BY DOOR M, PRIVACY SET PASSAGE SE PASSAGE SE DUMMY PULL TRACK AND T PASSAGE SE PRIVACY SET PASSAGE SE TRACK AND T	
NO. 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17	LOCATION FRONT ENTRY GREAT ROOM - ENTRY VESTIBULE - ENTRY DINING ROOM - ENTRY NOT USED POWDER ROOM CLOSET BASEMENT STAIR WINE CLOSET PANTRY MUDROOM LAUNDRY ROOM PRIMARY BEDROOM PRIMARY BATH PRIMARY BATH PRIMARY BATH W.C. BEDROOM 4	3'-0" × 6'-5 11'-10" × 7-2 ' 3'-0" × 7 2'-7 1/16" × 6 2'-4" × 6 2'-8" × 6 2'-8" × 6 2'-8" × 6 2'-8" × 6 2'-8" × 6 2'-8" × 6 2'-6" × 6 2'-6" × 6 2'-6" × 6 2'-8" × 6 2'-6" × 6 2'-8" × 6 2'-6" × 6 2'-8" × 6 2'-6" × 6 3'-0" × 6 2'-6" × 6 3'-0" × 6 2'-6" × 6 3'-0" × 6 2'-6" × 6 3'-0" × 6 2'-6" × 6 2'-6" × 6 2'-6" × 6 2'-6" × 6 2'-6" × 6 2'-8" × 6 2'-6" × 6 2'-8" ×	B" VIF 1/2" RO 7-0" 5-8" RO 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8" 5-8"	1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/8" 1 3/8"	DR WD GLS GLS GLS WD WD WD WD WD WD WD WD WD WD WD WD WD	FR WD WD WD WD WD WD WD WD WD WD WD WD WD	STYLE HALF LITI HALF LITI PANELED - -	E CONFIG TE SINGLE TE 4 PANEL TE SINGLE D SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE	SWING SLIDE SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING		0.30 0.30 0.30	0.40 0.40 0.40	BY DOOR M, BY DOOR M, LOCKSET W, BY DOOR M, PRIVACY SET PASSAGE SE PASSAGE SE PASSAGE SE DUMMY PULL TRACK AND I PASSAGE SE PRIVACY SET PRIVACY SET PRIVACY SET	
NO. 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19	LOCATION FRONT ENTRY GREAT ROOM - ENTRY VESTIBULE - ENTRY DINING ROOM - ENTRY DINING ROOM - ENTRY NOT USED POWDER ROOM CLOSET BAGEMENT STAIR WINE CLOSET PANTRY MUDROOM LAUNDRY ROOM PRIMARY BEDROOM PRIMARY BATH PRIMARY BATH PRIMARY BATH W.C. BEDROOM 4 BEDROOM 4 BEDROOM 3	3'-O" × 6'-E 11'-1O" × 7-2 ' 3'-O" × 7 2'-7 1/16" × 6 2'-4" × 6 2'-6" × 6 2'-8" × 6 2'-8" × 6 2'-8" × 6 2'-8" × 6 2'-8" × 6 2'-8" × 6 2'-6" × 6 2'-6" × 6 2'-6" × 6 2'-6" × 6 2'-8" ×	B" VIF 1/2" RO 7-0" 5-8" RO 5-8" 5-8	1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/8" 1 3/8"	DR WD GLS GLS GLS WD WD WD WD WD WD WD WD WD WD WD WD WD	FR WD WD WD WD WD WD WD WD WD WD WD WD WD	STYLE HALF LITI HALF LITI PANELED - -	E CONFIG TE SINGLE TE 4 PANEL TE SINGLE D SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE	SWING SUIDE SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SUIDER		0.30 0.30 0.30	0.40 0.40 0.40	BY DOOR M, BY DOOR M, LOCKSET W, BY DOOR M, PRIVACY SET PASSAGE SE PASSAGE SE PASSAGE SE DUMMY PULL TRACK AND I PASSAGE SE TRACK AND I PRIVACY SET TRACK AND I PRIVACY SET	
NO. 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21	LOCATION FRONT ENTRY GREAT ROOM - ENTRY VESTIBULE - ENTRY DINING ROOM - ENTRY NOT USED POWDER ROOM CLOSET BASEMENT STAIR WINE CLOSET PANTRY MUDROOM LAUNDRY ROOM PRIMARY BEDROOM PRIMARY BATH PRIMARY BATH PRIMARY BATH PRIMARY BATH PRIMARY BATH VI.C. BEDROOM 4 BEDROOM 3 BEDROOM 3 BEDROOM 2	3'-O" × 6'-5 11'-10" × 7-2 ' 3'-O" × 7 2'-7 1/16" × 6 2'-4" × 6 2'-8" × 6 2'-6" ×	B" VIF 1/2" RO 7-0" 5-8" RO 5-8" 5-8	1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/8" 1 3/8"	DR WD GLS GLS GLS WD WD WD WD WD WD WD WD WD WD WD WD WD	FR WD WD WD WD WD WD WD WD WD WD WD WD WD	STYLE HALF LITI HALF LITI PANELED - -	E CONFIG TE SINGLE TE 4 PANEL TE SINGLE D SINGLE	SWING SLIDE SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING SWING		0.30 0.30 0.30	0.40 0.40 0.40	BY DOOR M, BY DOOR M, LOCKSET W, BY DOOR M, PRIVACY SET PASSAGE SE PASSAGE SE PASSAGE SE DUMMY PULL TRACK AND I PASSAGE SE TRACK AND I PRIVACY SET PRIVACY SET PRIVACY SET PASSAGE SE PRIVACY SET	
NO. 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23	LOCATION FRONT ENTRY GREAT ROOM - ENTRY VESTIBULE - ENTRY DINING ROOM - ENTRY NOT USED POWDER ROOM CLOSET BASEMENT STAIR WINE CLOSET PANTRY MUDROOM LAUNDRY ROOM PRIMARY BEDROOM PRIMARY BEDROOM PRIMARY BATH PRIMARY BATH PRIMARY BATH W.C. BEDROOM 4 BEDROOM 4 BEDROOM 3 BEDROOM 2 BATH 2 BEDROOM 2 CLOSET	3'-O" × 6'-5 11'-10" × 7-2 ' 3'-O" × 7 2'-7 1/16" × 6 2'-4" × 6 2'-6" × 6 2'-8" × 6 2'-6" ×	B" VIF 1/2" RO 7-0" 5-8" RO 5-8" 5-8	1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/8" 1 3/8"	DR WD GLS GLS GLS WD WD WD WD WD WD WD WD WD WD WD WD WD	FR WD WD WD WD WD WD WD WD WD WD WD WD WD	STYLE HALF LITI HALF LITI PANELED - -	E CONFIG TE SINGLE TE 4 PANEL TE SINGLE D SINGLE	SWING SUIDE SWING		0.30 0.30 0.30	0.40 0.40 0.40	BY DOOR M, BY DOOR M, LOCKSET W, BY DOOR M, BY DOOR M, PRIVACY SET PASSAGE SE PASSAGE SE PASSAGE SE DUMMY PULL TRACK AND I PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PASSAGE SE PRIVACY SET TRACK AND I TRACK AND I TRACK AND I	
NO. 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23	LOCATION FRONT ENTRY GREAT ROOM - ENTRY VESTIBULE - ENTRY DINING ROOM - ENTRY NOT USED POWDER ROOM CLOSET BASEMENT STAIR WINE CLOSET PANTRY MUDROOM LAUNDRY ROOM PRIMARY BEDROOM PRIMARY BEDROOM PRIMARY BATH PRIMARY BATH PRIMARY BATH W.C. BEDROOM 4 BEDROOM 4 BEDROOM 3 BEDROOM 2 BATH 2	3'-0" x 6'-8 11'-10" x 7-2 ⁻ 3'-0" x 7 2'-7 1/16" x 6 2'-4" X 6 2'-6" X 6 2'-8" X 6 2'-6"	B" VIF 1/2" RO 7-0" 5-8" RO 5-8" 5-8	1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/8" 1 3/8"	DR WD GLS GLS GLS WD WD WD WD WD WD WD WD WD WD WD WD WD	FR WD WD WD WD WD WD WD WD WD WD WD WD WD	STYLE HALF LITI HALF LITI PANELED - -	E CONFIG TE SINGLE TE 4 PANEL TE SINGLE D SINGLE	SWING SLIDE SWING		0.30 0.30 0.30	0.40 0.40 0.40	BY DOOR M, BY DOOR M, LOCKSET W, BY DOOR M, PRIVACY SET PASSAGE SE PASSAGE SE PASSAGE SE DUMMY PULL TRACK AND I PASSAGE SE TRACK AND I PRIVACY SET TRACK AND I PRIVACY SET PRIVACY SET TRACK AND I PRIVACY SET TRACK AND I	
NO. 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24	LOCATION FRONT ENTRY GREAT ROOM - ENTRY VESTIBULE - ENTRY DINING ROOM - ENTRY NOT USED POWDER ROOM CLOSET BASEMENT STAIR WINE CLOSET PANTRY MUDROOM LAUNDRY ROOM PRIMARY BEDROOM PRIMARY BEDROOM PRIMARY BATH PRIMARY BATH PRIMARY BATH W.C. BEDROOM 4 BEDROOM 3 BEDROOM 3 BEDROOM 2 BATH 2 BEDROOM 2 CLOSET BATH 3	3'-O" × 6'-5 11'-1O" × 7-2 ' 3'-O" × 7 2'-7 1/16" × 6 2'-4" × 6 2'-8" × 6 2'-6" ×	B" VIF 1/2" RO 7-0" 5-8" RO 5-8" 5-8	1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/8" 1 3/8"	DR WD GLS GLS GLS WD WD WD WD WD WD WD WD WD WD WD WD WD	FR WD WD WD WD WD WD WD WD WD WD WD WD WD	STYLE HALF LIT FULL LITE HALF LIT PANELED -	E CONFIG TE SINGLE TE 4 PANEL TE SINGLE D SINGLE	SWING SUIDE SWING		0.30 0.30 0.30	0.40 0.40 0.40	BY DOOR M, BY DOOR M, LOCKSET W, BY DOOR M, PRIVACY SET PASSAGE SE PASSAGE SE PASSAGE SE DUMMY PULL TRACK AND 1 PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET TRACK AND 1 PRIVACY SET TRACK AND 1 PRIVACY SET	
NO. 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28	LOCATION FRONT ENTRY GREAT ROOM - ENTRY VESTIBULE - ENTRY DINING ROOM - ENTRY DINING ROOM - ENTRY NOT USED POWDER ROOM CLOSET BASEMENT STAIR WINE CLOSET PANTRY MUDROOM LAUNDRY ROOM PRIMARY BEDROOM PRIMARY BEDROOM PRIMARY BATH PRIMARY BATH PRIMARY BATH W.C. BEDROOM 4 BEDROOM 4 BEDROOM 3 BEDROOM 3 BEDROOM 2 BATH 2 BEDROOM 2 CLOSET BATH 3 STORAGE ATTIC BATH	3'-O" × 6'-8 11'-10" × 7-2 ⁻ 3'-O" × 7 2'-7 1/16" × 6 2'-4" × 6 2'-8" × 6 2'-6"	B" VIF 1/2" RO 7-0" 5-8" RO 5-8" 5-8	1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/8" 1 3/8"	DR WD GLS GLS GLS WD WD WD WD WD WD WD WD WD WD WD WD WD	FR WD WD	STYLE HALF LIT FULL LITE HALF LIT PANELED -	E CONFIG TE SINGLE SINGLE D SINGLE D SINGLE	SWING SUIDE SWING		0.30 0.30 0.30	0.40 0.40 0.40	BY DOOR M, BY DOOR M, LOCKSET W, BY DOOR M, BY DOOR M, PRIVACY SET PASSAGE SE PASSAGE SE PASSAGE SE DUMMY PULI TRACK AND I PRIVACY SET PRIVACY SET TRACK AND I PRIVACY SET PRIVACY SET PASSAGE SE PRIVACY SET	
NO. 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30	LOCATION FRONT ENTRY GREAT ROOM - ENTRY VESTIBULE - ENTRY DINING ROOM - ENTRY NOT USED POWDER ROOM CLOSET BASEMENT STAIR WINE CLOSET PANTRY MUDROOM LAUNDRY ROOM PRIMARY BEDROOM PRIMARY BEDROOM PRIMARY BATH PRIMARY BATH PRIMARY BATH PRIMARY BATH W.C. BEDROOM 4 BEDROOM 4 BEDROOM 3 BEDROOM 3 BEDROOM 3 CLOSET BATH 2 BATH 2 BEDROOM 2 BATH 2 BATH 3 STORAGE ATTIC BATH BEDROOM 5 BEDROOM 5 BEDROOM 5 CLOSET BATH STORAGE BASEMENT STORAGE BASEMENT STORAGE	3'-O" × 6'-5 11'-1O" × 7-2 ' 3'-O" × 7 2'-7 1/16" × 6 2'-4" × 6 2'-8" × 6 2'-8" × 6 2'-8" × 6 2'-8" × 6 2'-8" × 6 2'-8" × 6 2'-6" × 6 2'-8" ×	B" VIF 1/2" RO 7-0" 5-8" RO 5-8" 5-8	1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/4" 1 3/8" 1 3/8"	DR WD GLS GLS GLS WD WD WD WD WD WD WD WD WD WD WD WD WD	FR WD WD WD	STYLE HALF LIT FULL LITE HALF LIT PANELED - </td <td>E CONFIG TE SINGLE SINGLE D SINGLE D SINGLE</td> <td>SWING SUIDE SWING SWING</td> <td></td> <td>0.30 0.30 0.30</td> <td>0.40 0.40 0.40</td> <td>BY DOOR M, BY DOOR M, LOCKSET W, BY DOOR M, PRIVACY SET PASSAGE SE PASSAGE SE PASSAGE SE PASSAGE SE PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PASSAGE SE PRIVACY SET PASSAGE SE PRIVACY SET PASSAGE SE PRIVACY SET PASSAGE SE PRIVACY SET</td> <td></td>	E CONFIG TE SINGLE SINGLE D SINGLE D SINGLE	SWING SUIDE SWING SWING		0.30 0.30 0.30	0.40 0.40 0.40	BY DOOR M, BY DOOR M, LOCKSET W, BY DOOR M, PRIVACY SET PASSAGE SE PASSAGE SE PASSAGE SE PASSAGE SE PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PRIVACY SET PASSAGE SE PRIVACY SET PASSAGE SE PRIVACY SET PASSAGE SE PRIVACY SET PASSAGE SE PRIVACY SET	
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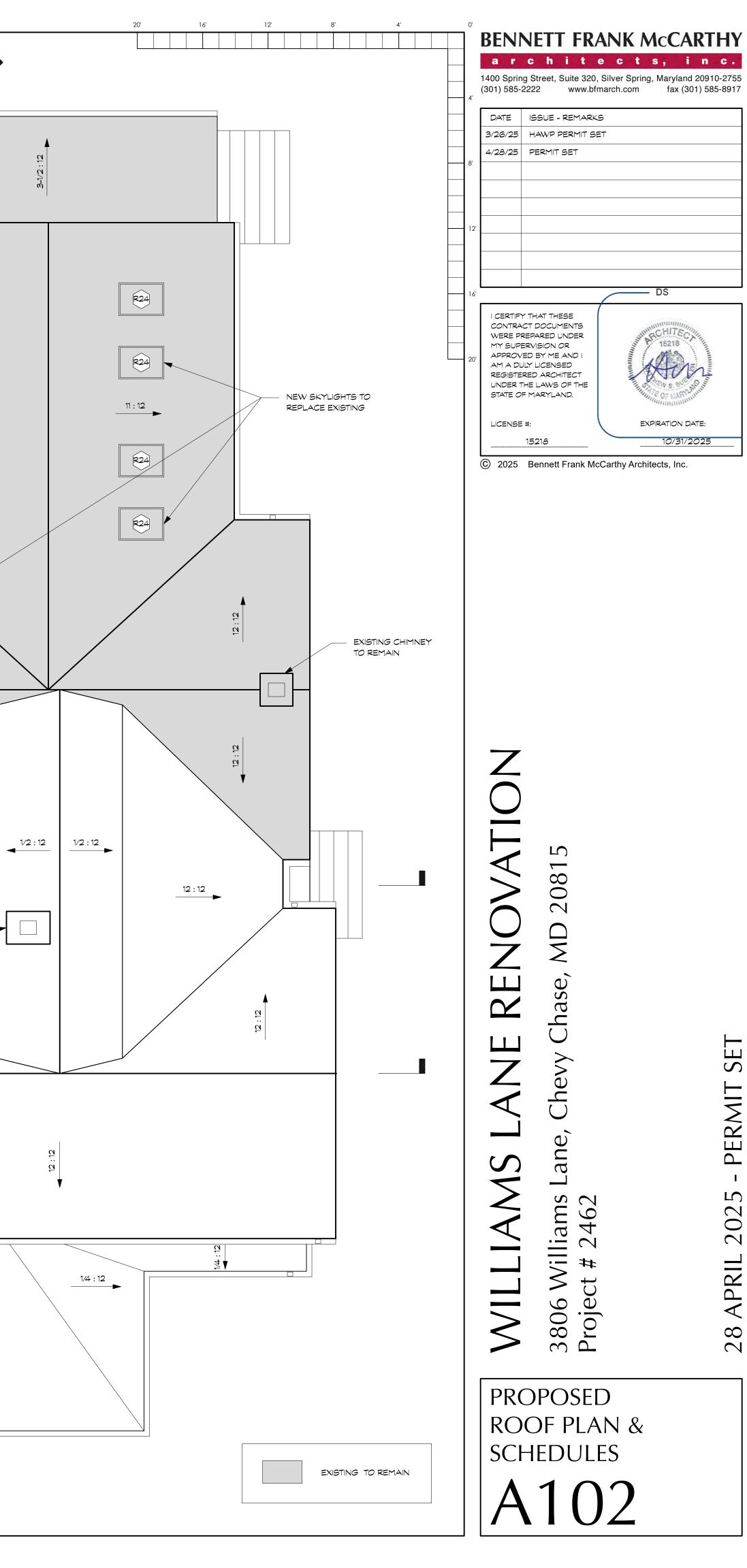
16'

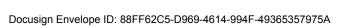
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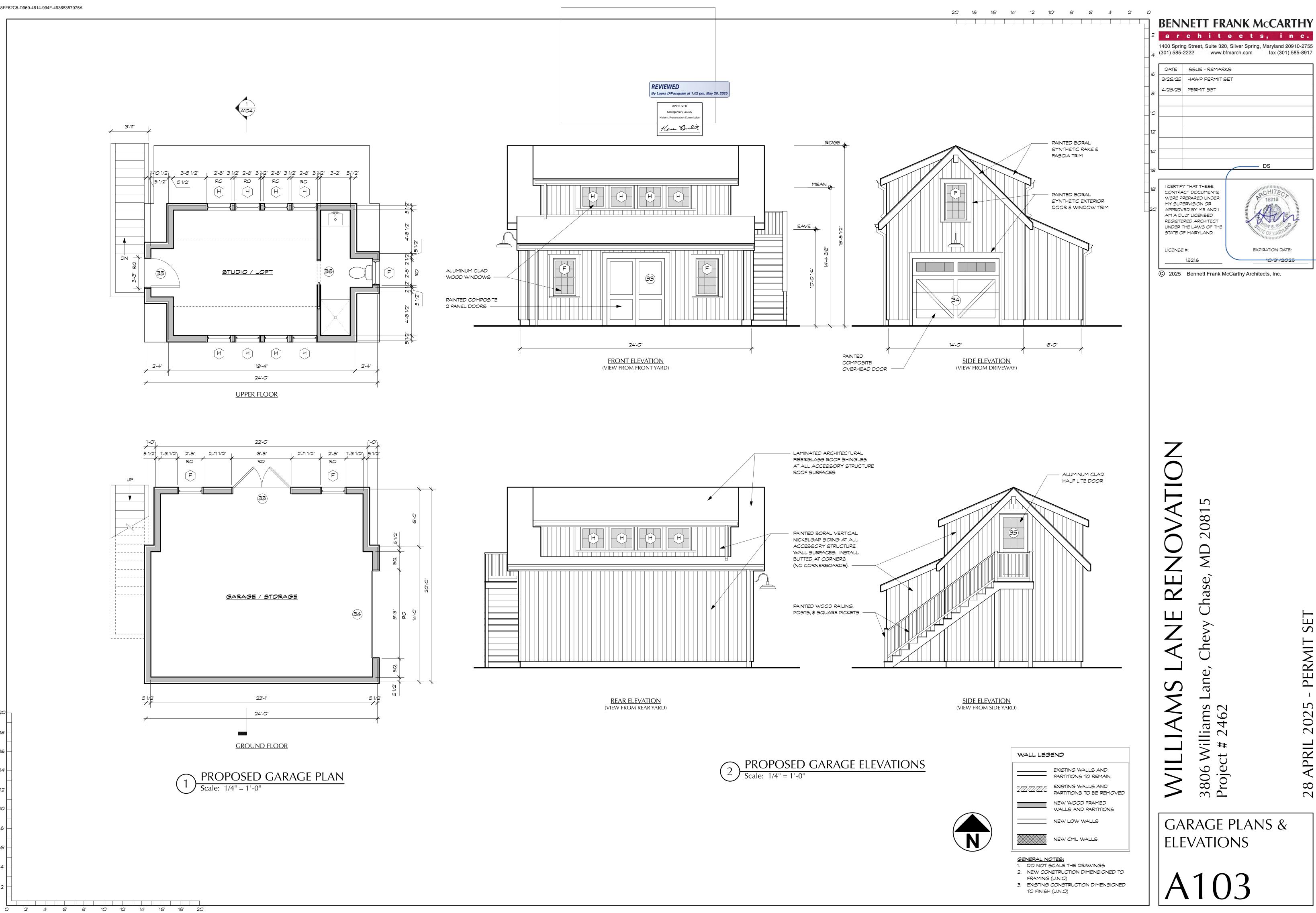
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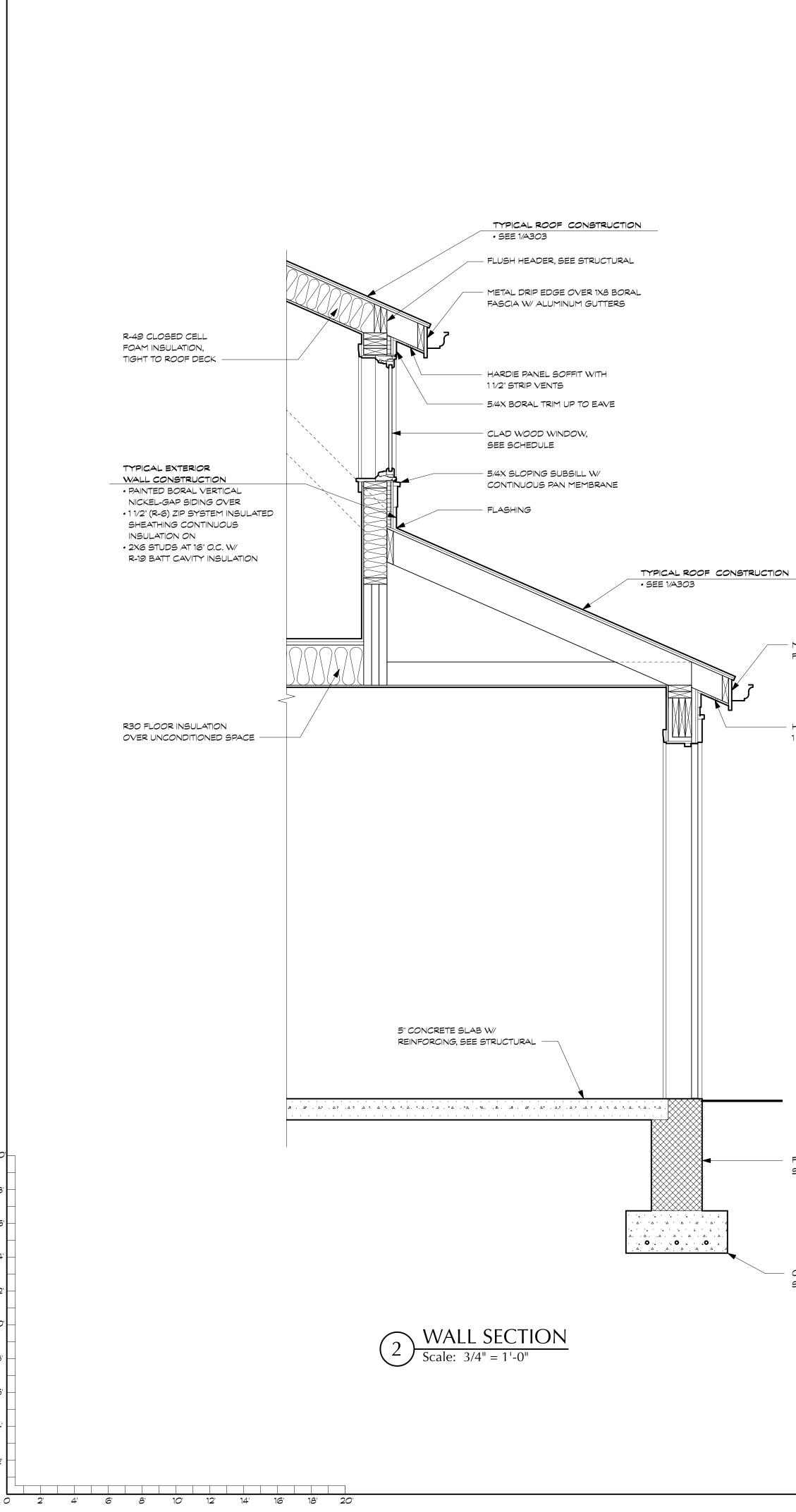
 $1 \frac{PROPOSED ROOF PLAN}{Scale: 1/4" = 1'-0"}$

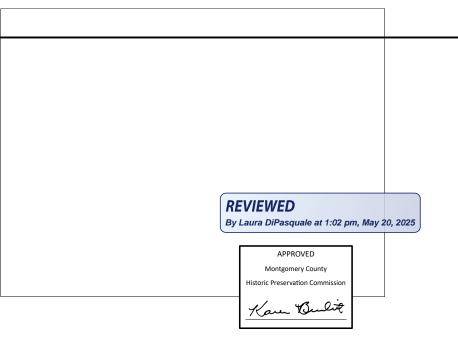






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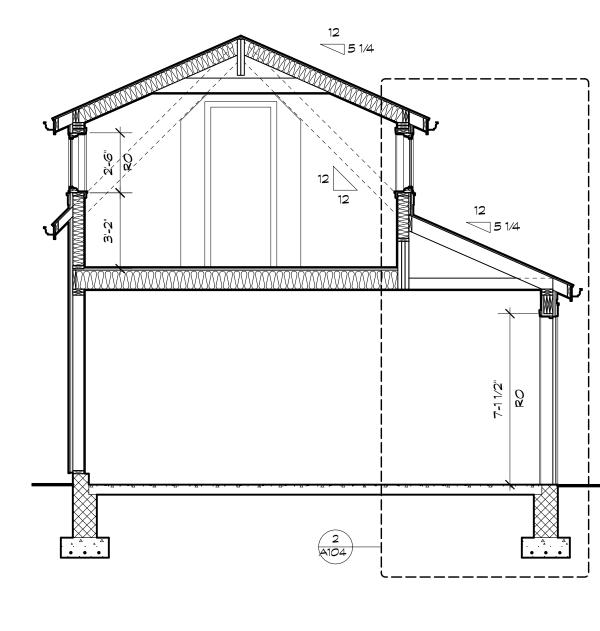




RUCTION

- METAL DRIP EDGE OVER 1X8 BORAL FASCIA W/ ALUMINUM GUTTERS

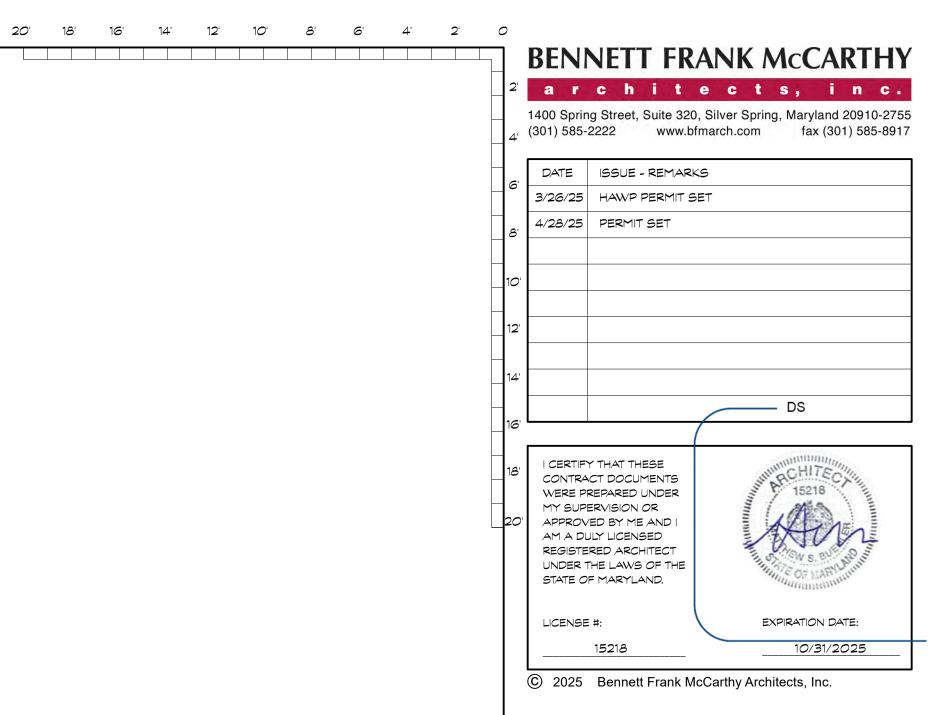
- HARDIE PANEL SOFFIT WITH 1 1/2" STRIP VENTS

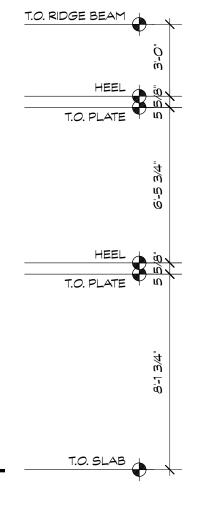


GARAGE SECTION Scale: 1/4" = 1'-0"

- FOUNDATION WALL,, SEE STRUCTURAL

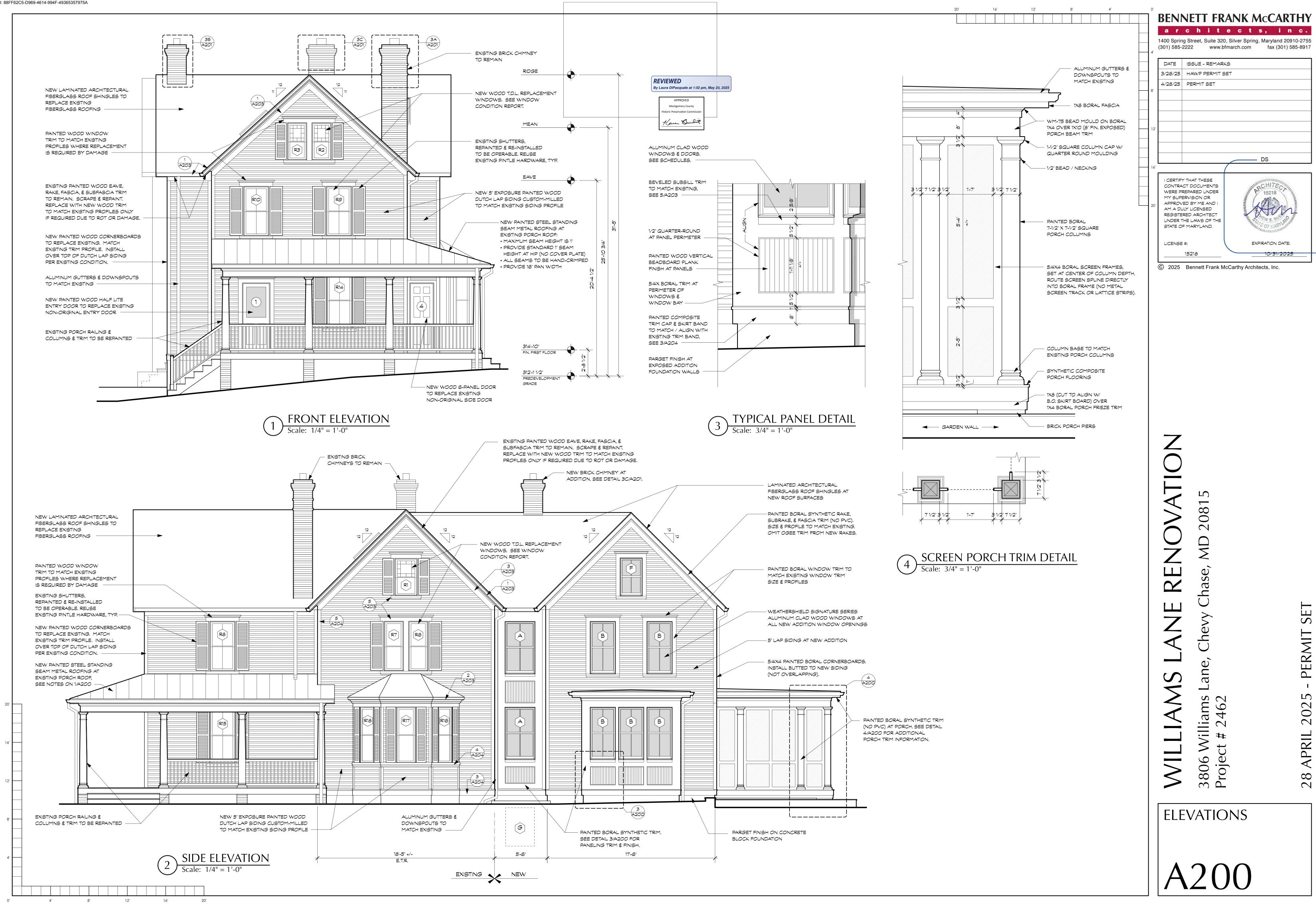
- CONCRETE FOOTING, SEE STRUCTURAL





7 20815 MD Ζ hase, RE ШZ SET Chevy PERMIT С, an \mathbf{S} 2025 Williams ct # 2462 APRIL 3806 W Project \geq 28 GARAGE SECTIONS

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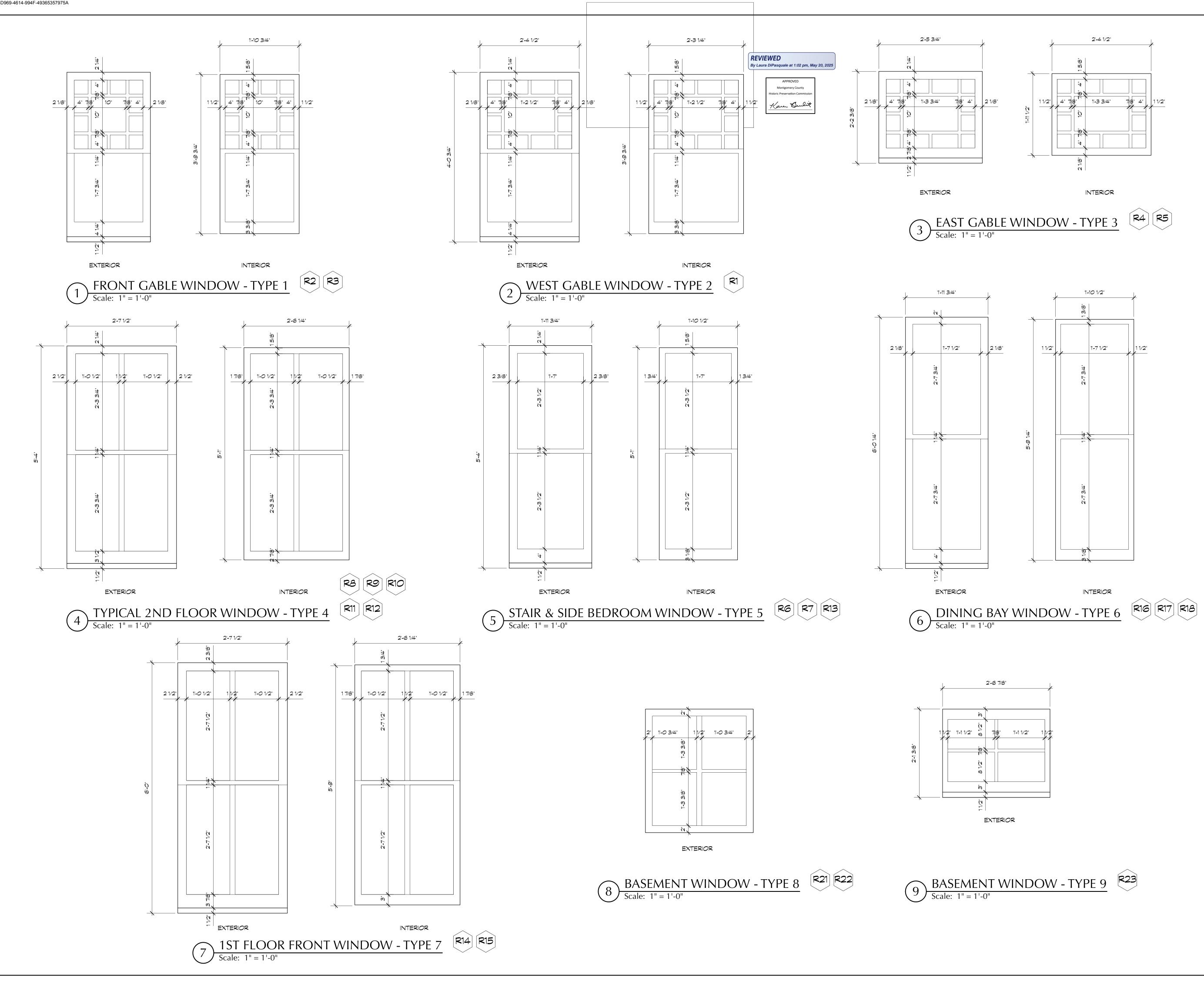


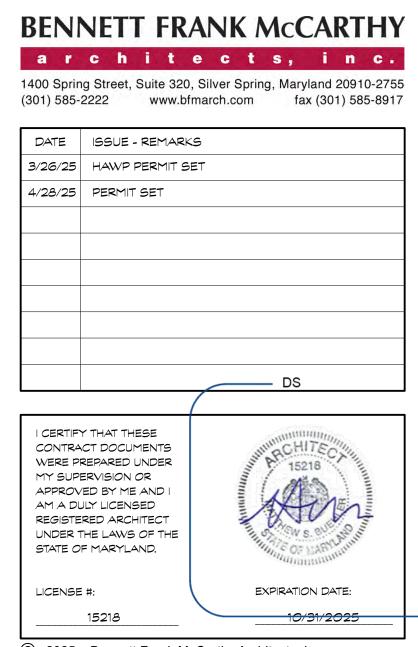


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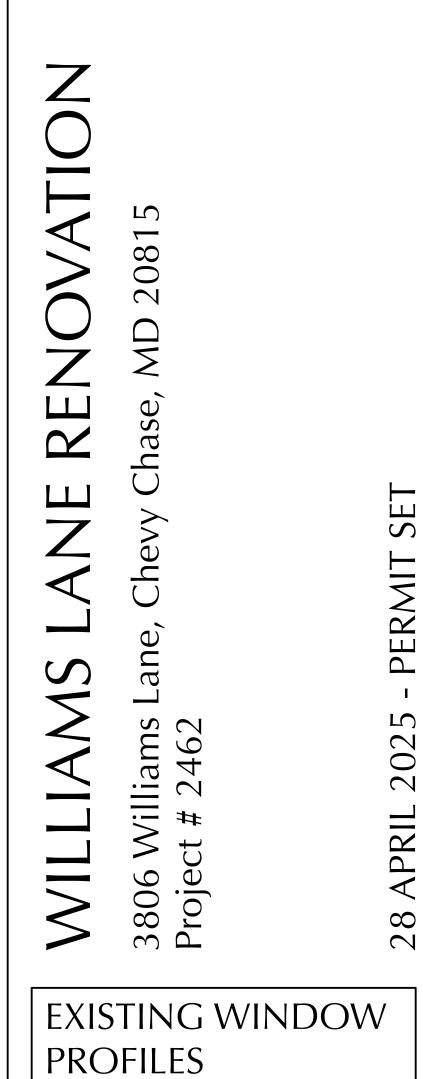
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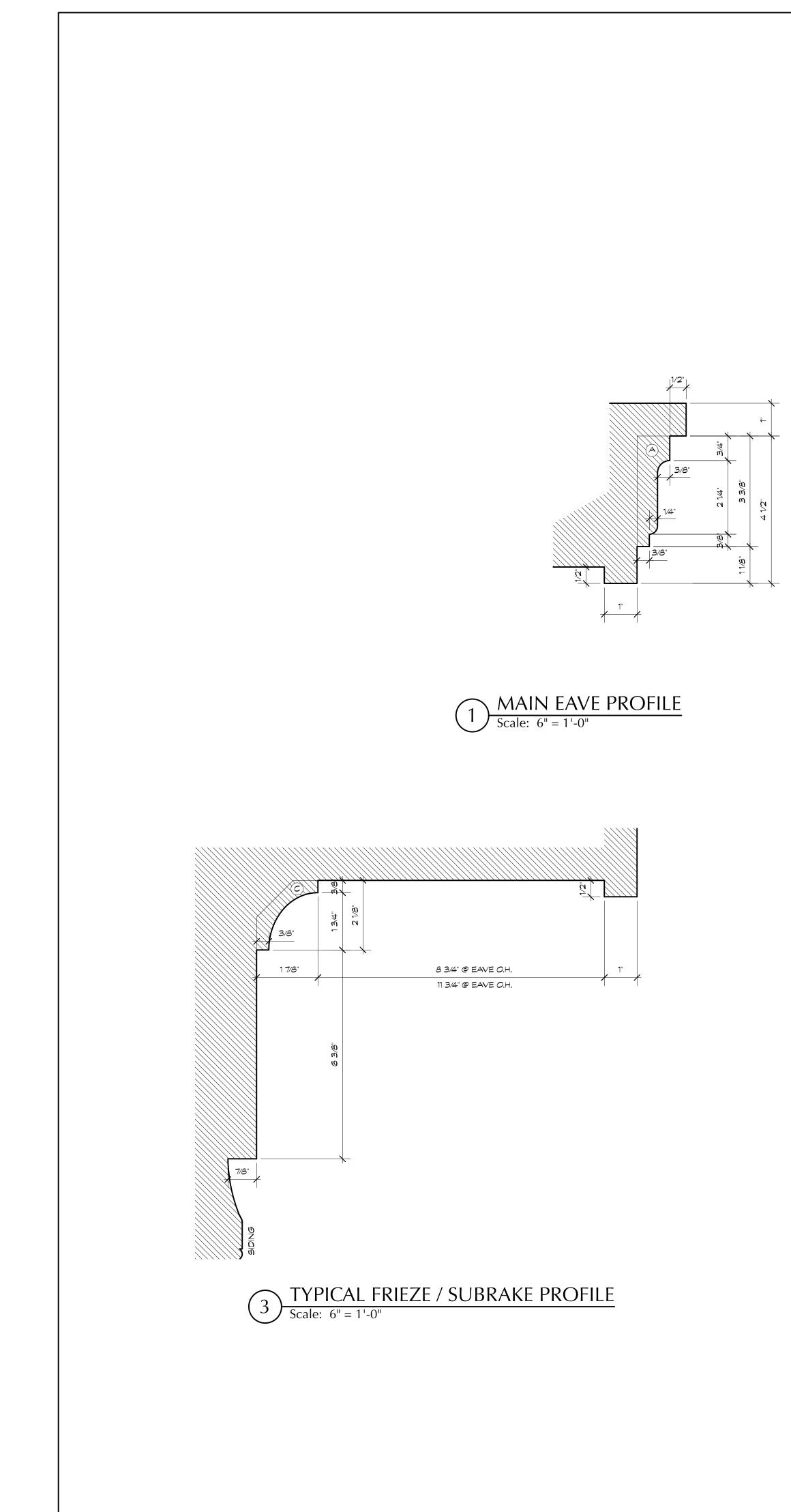


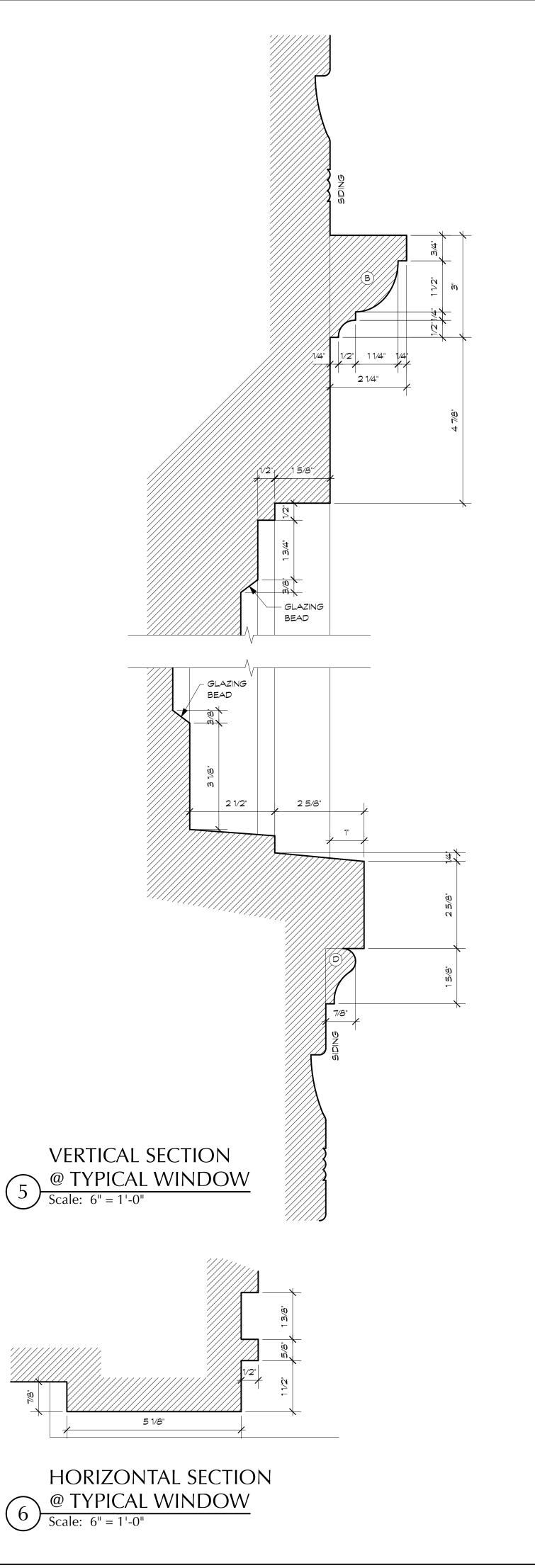


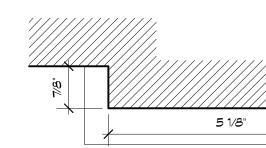
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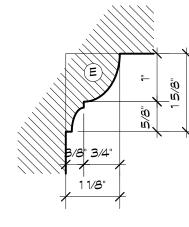
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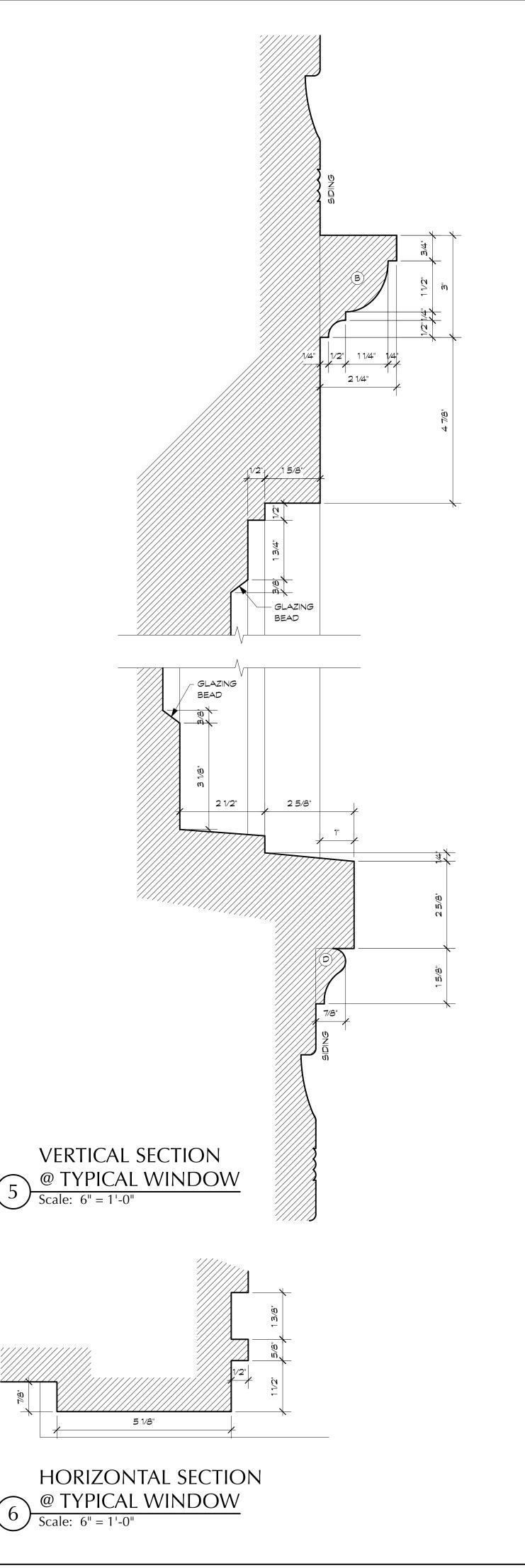




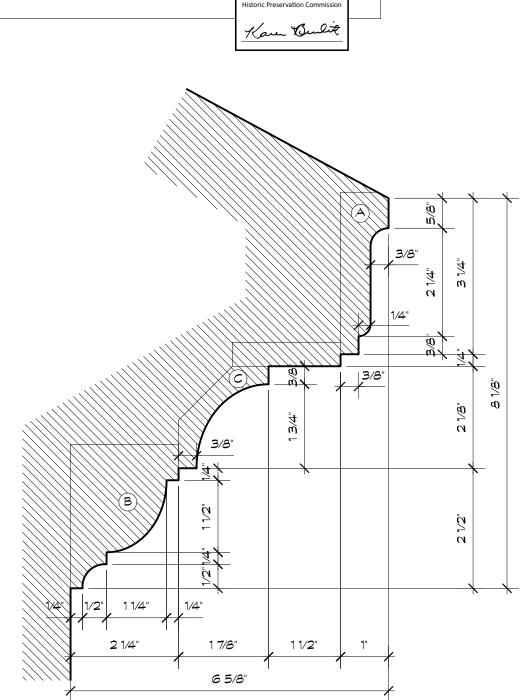


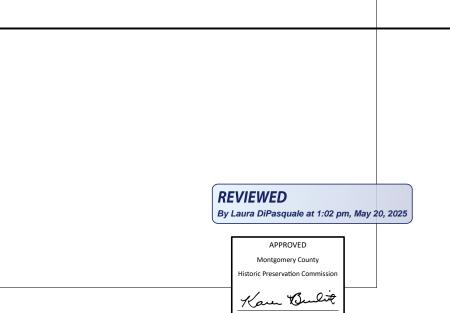
4 PORCH CEILING OGEE PROFILE Scale: 6'' = 1'-0''

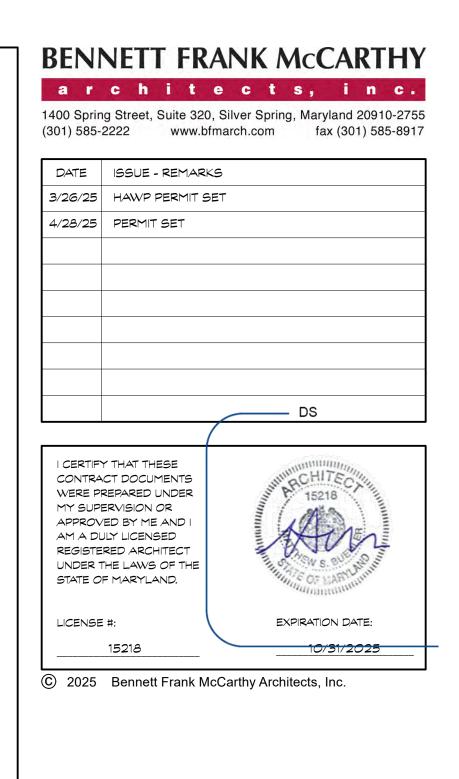








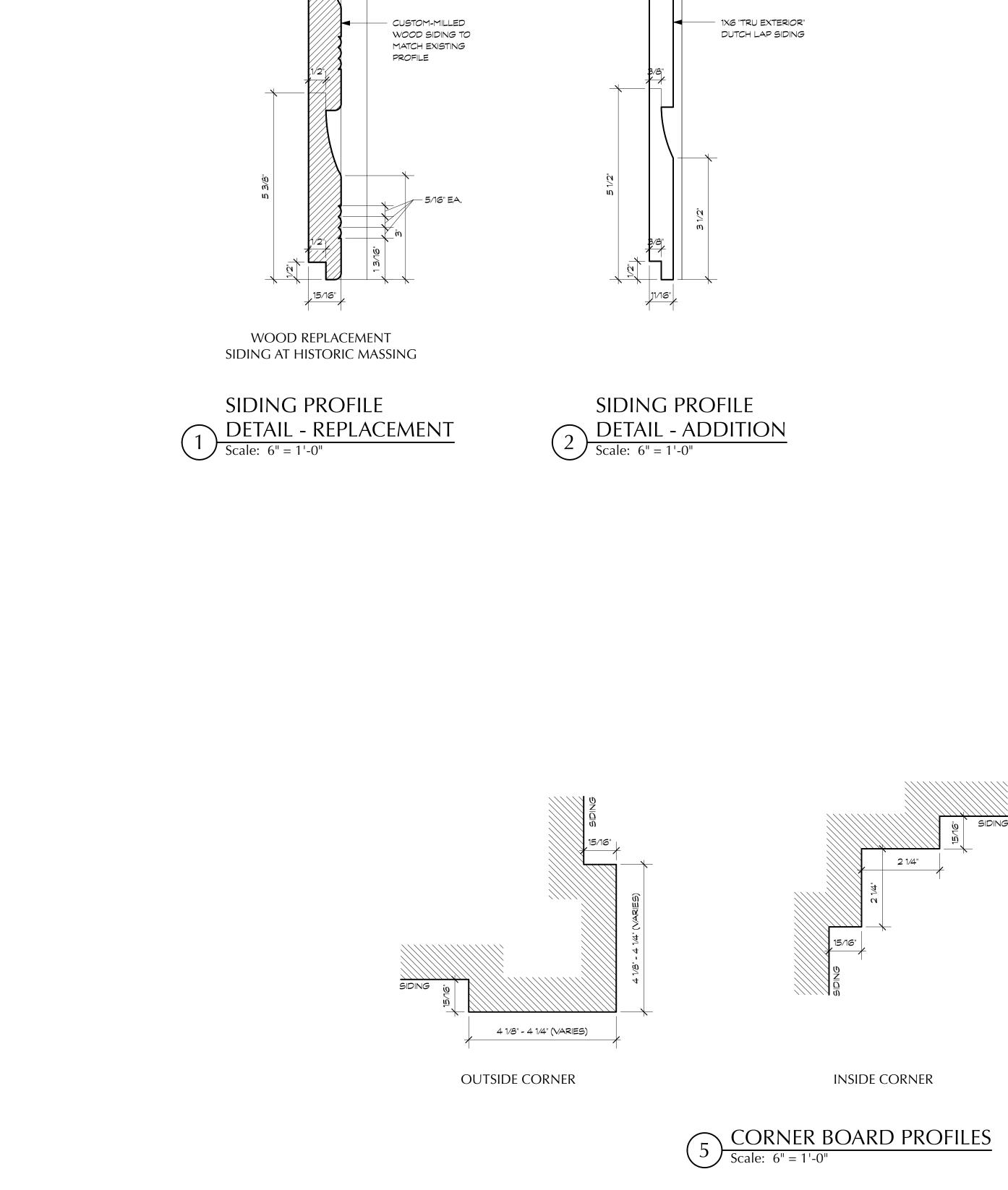






PROFILES

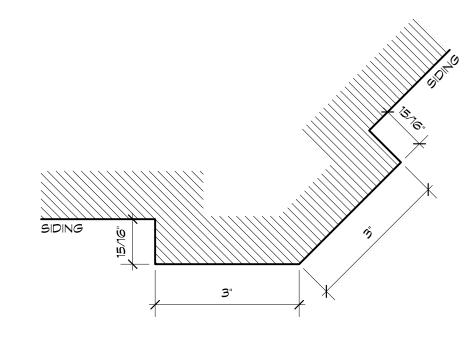
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CORNERBOARDS BEYOND TO OVERLAP SIDING, PER EXISTING

CONDITION

DINING ROOM BAY CORNER



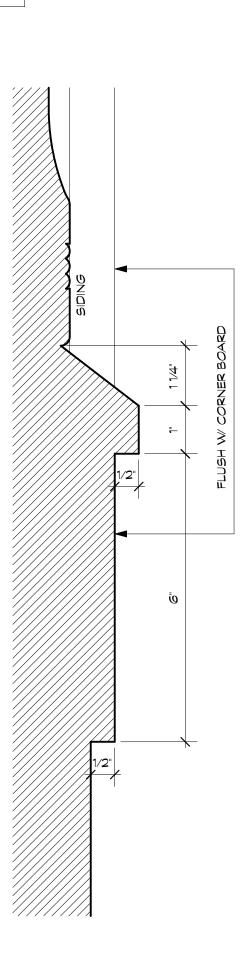


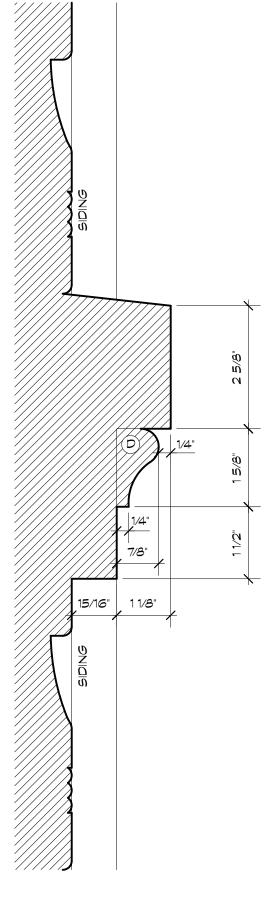


BUTT SIDING AT ALL NEW ADDITIONS

CORNERBOARDS TO

REVIEWED By Laura DiPasquale at 1:02 pm, May 20, 2025 APPROVED Montgomery County istoric Preservation Commiss Kar Bulit

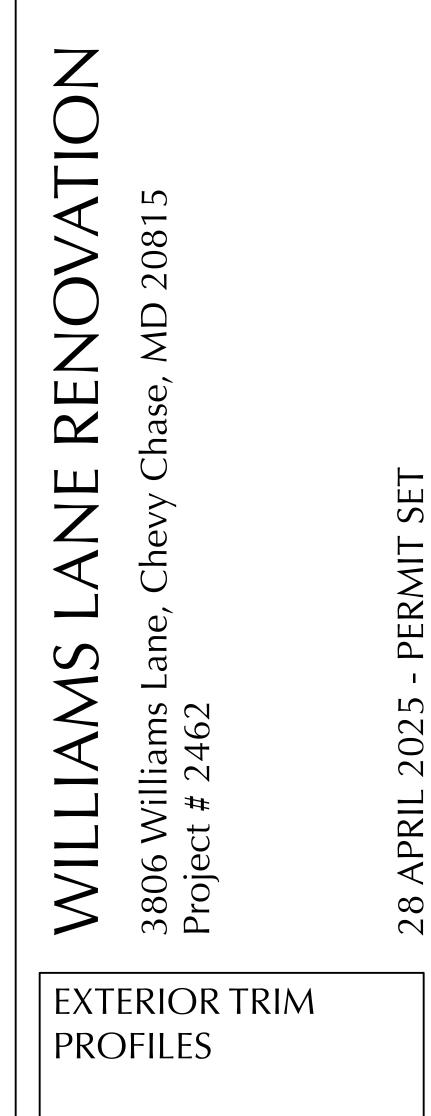


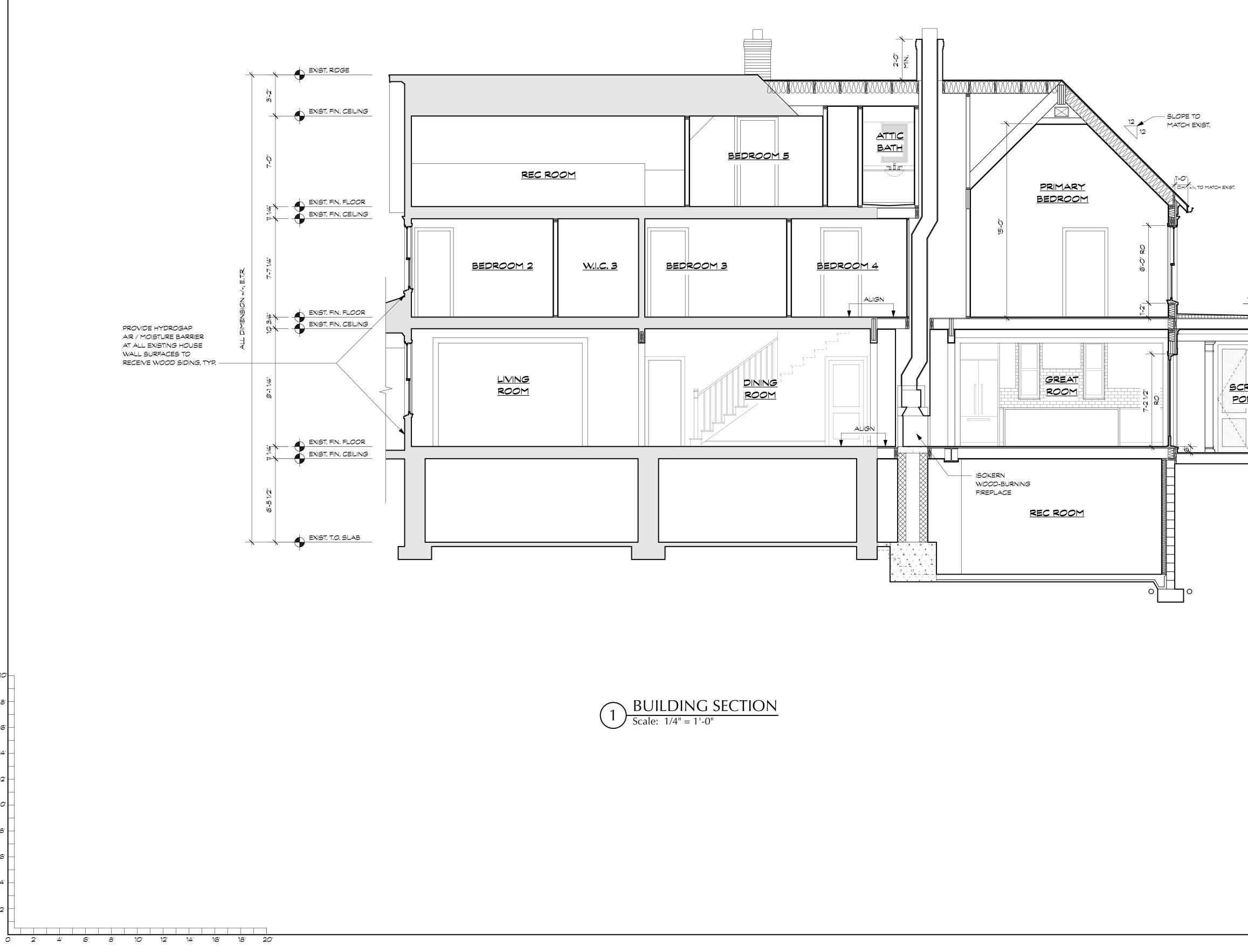


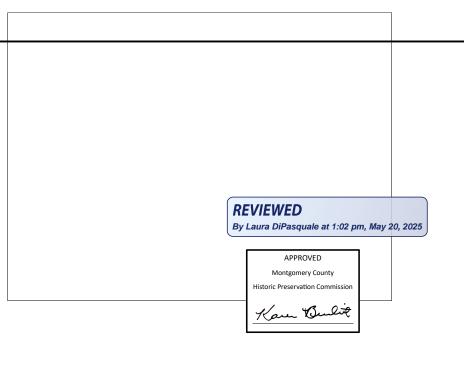
architects, inc. 1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755 (301) 585-2222 www.bfmarch.com fax (301) 585-8917 DATE ISSUE - REMARKS 3/26/25 HAWP PERMIT SET 4/28/25 PERMIT SET DS I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF TH STATE OF MARYLAND. EXPIRATION DATE: LICENSE #: 15218 10/31/2025

BENNETT FRANK McCARTHY

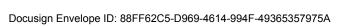
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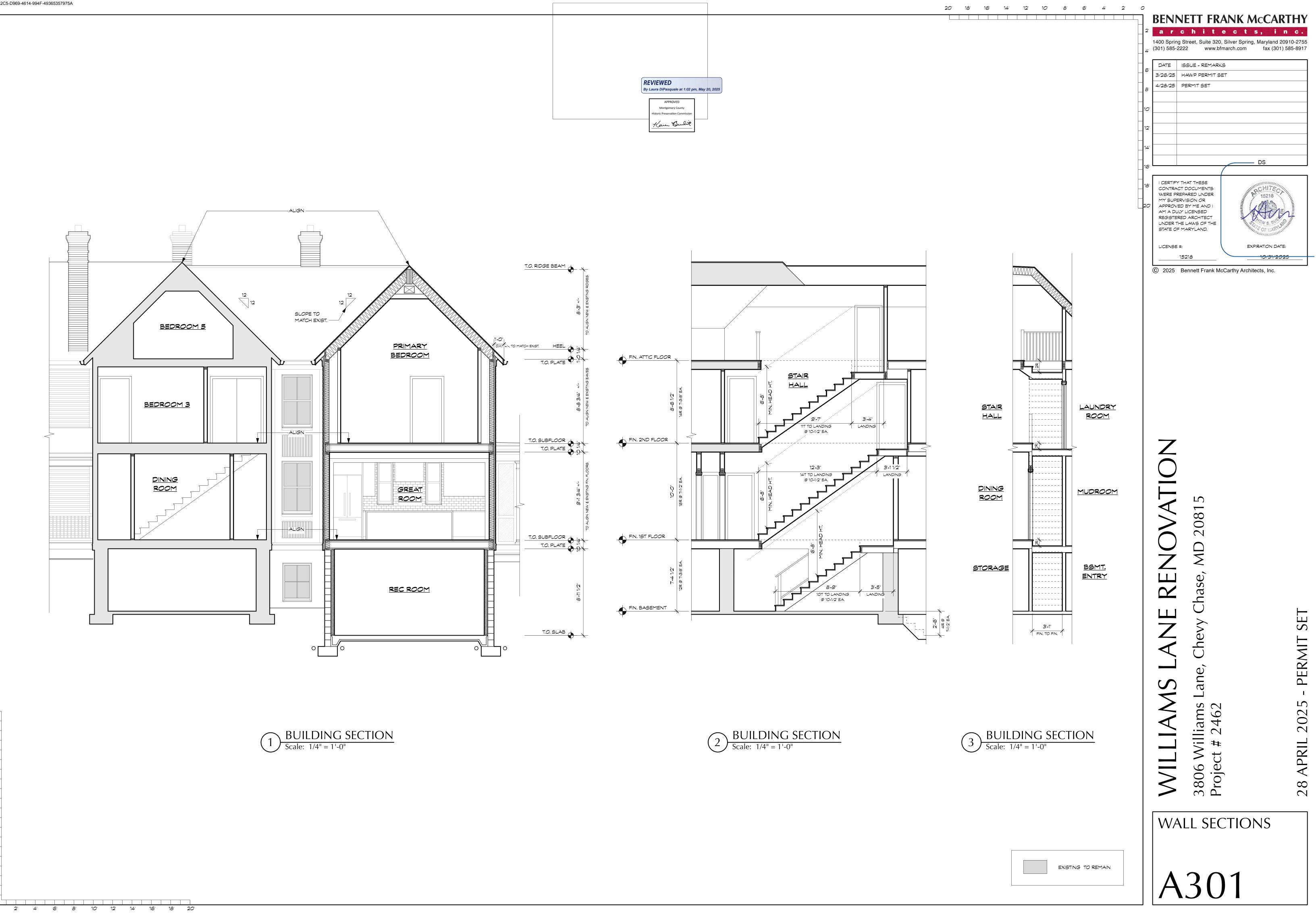


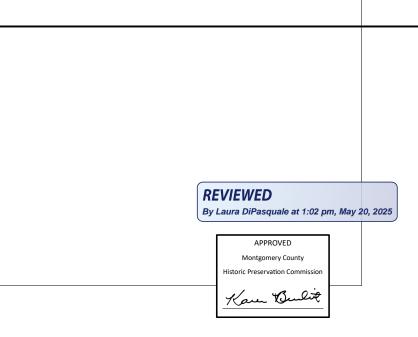


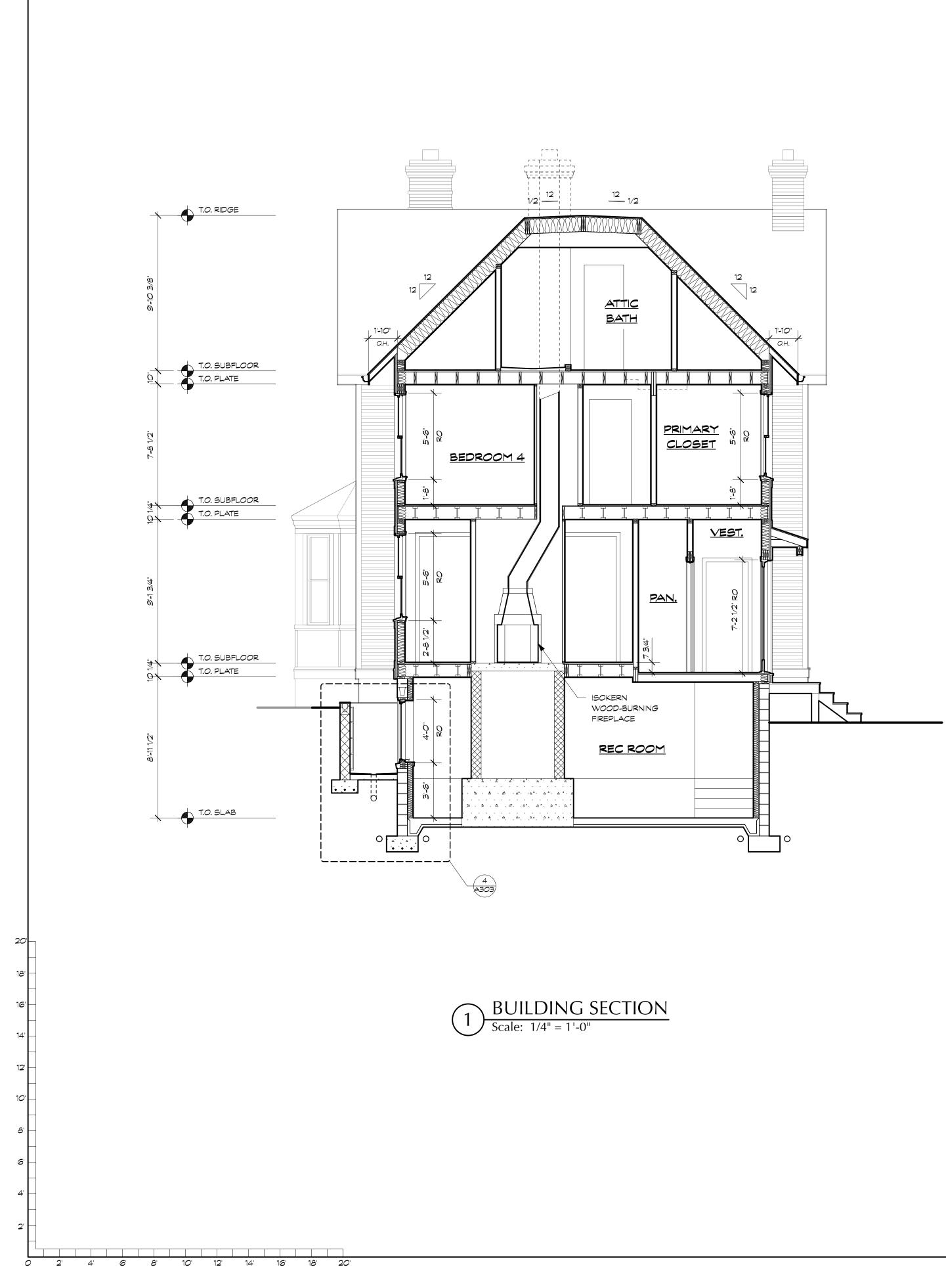


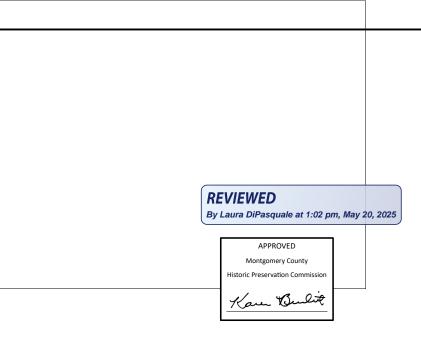
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28 APRIL 2025 - PERMIT SET		1400 Spring Street, Suite 320, Silver Spring, Marylan	d 20910-2755
3806 WIIIIams Lane, Chevy Chase, MD 20815 18 APRIL 2025 - FERMIT SET		6 3/26/25 HAWP PERMIT SET	
28 APRIL 2025 - FEMIL SET 28 APRIL 2025 - FEMIL SET 29 APRIL 2025 - FEMIL SET 29 APRIL 2025 - FEMIL SET 29 APRIL 2025 - FEMIL SET 20 APRIL 2025 - FEMIL		10'	
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28 APRIL 2025 - PERMIT SET		1521810/31/	2025
		MILLIAMS LANE RENOVATIO 3806 Williams Lane, Chevy Chase, MD 20815 Project # 2462	28 APRIL 2025 - PERMIT SET

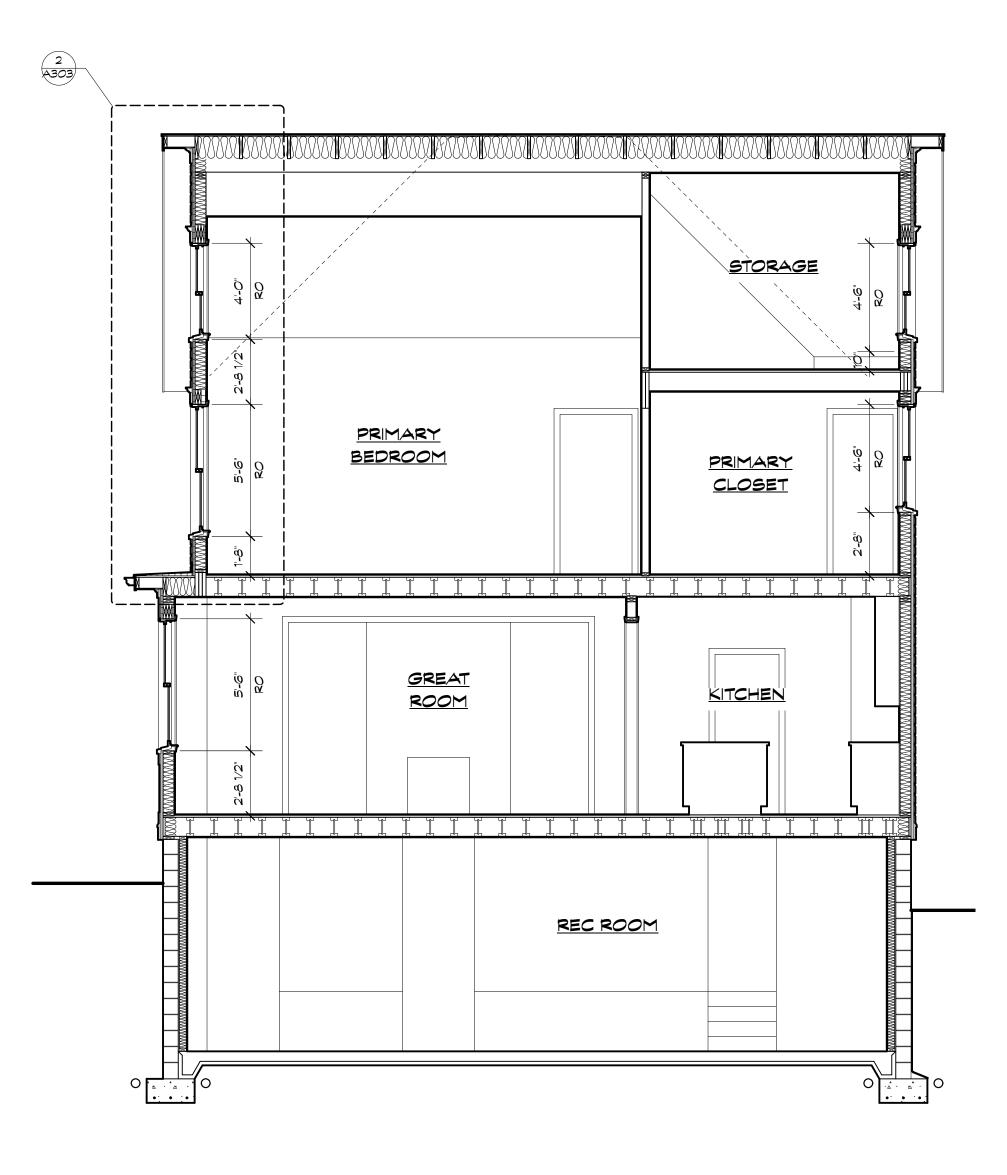




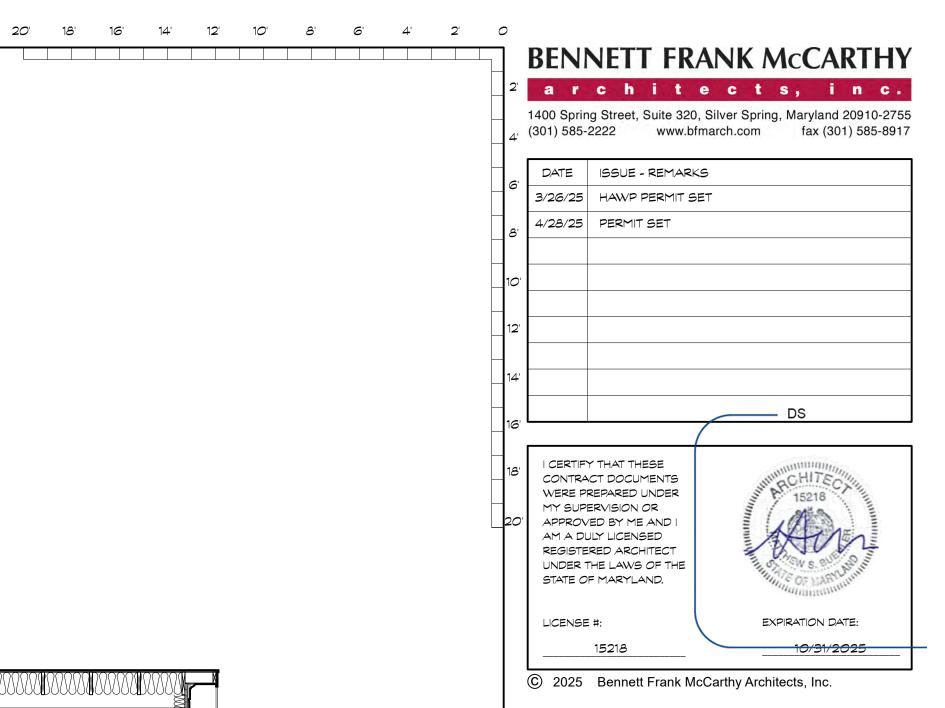






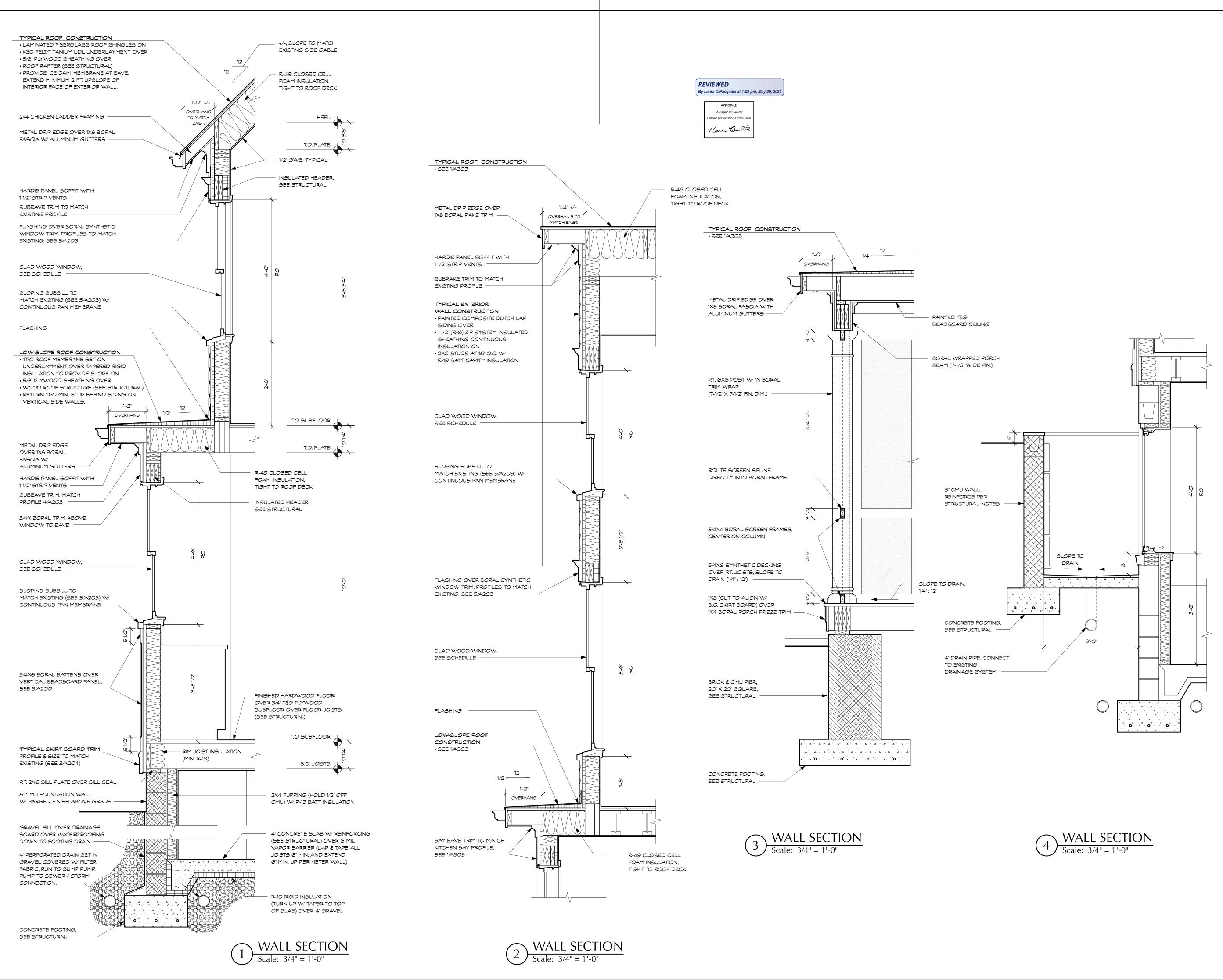


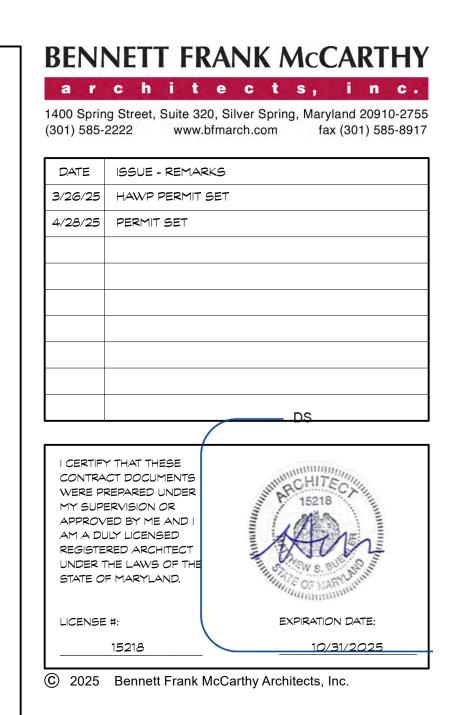






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WALL SECTIONS

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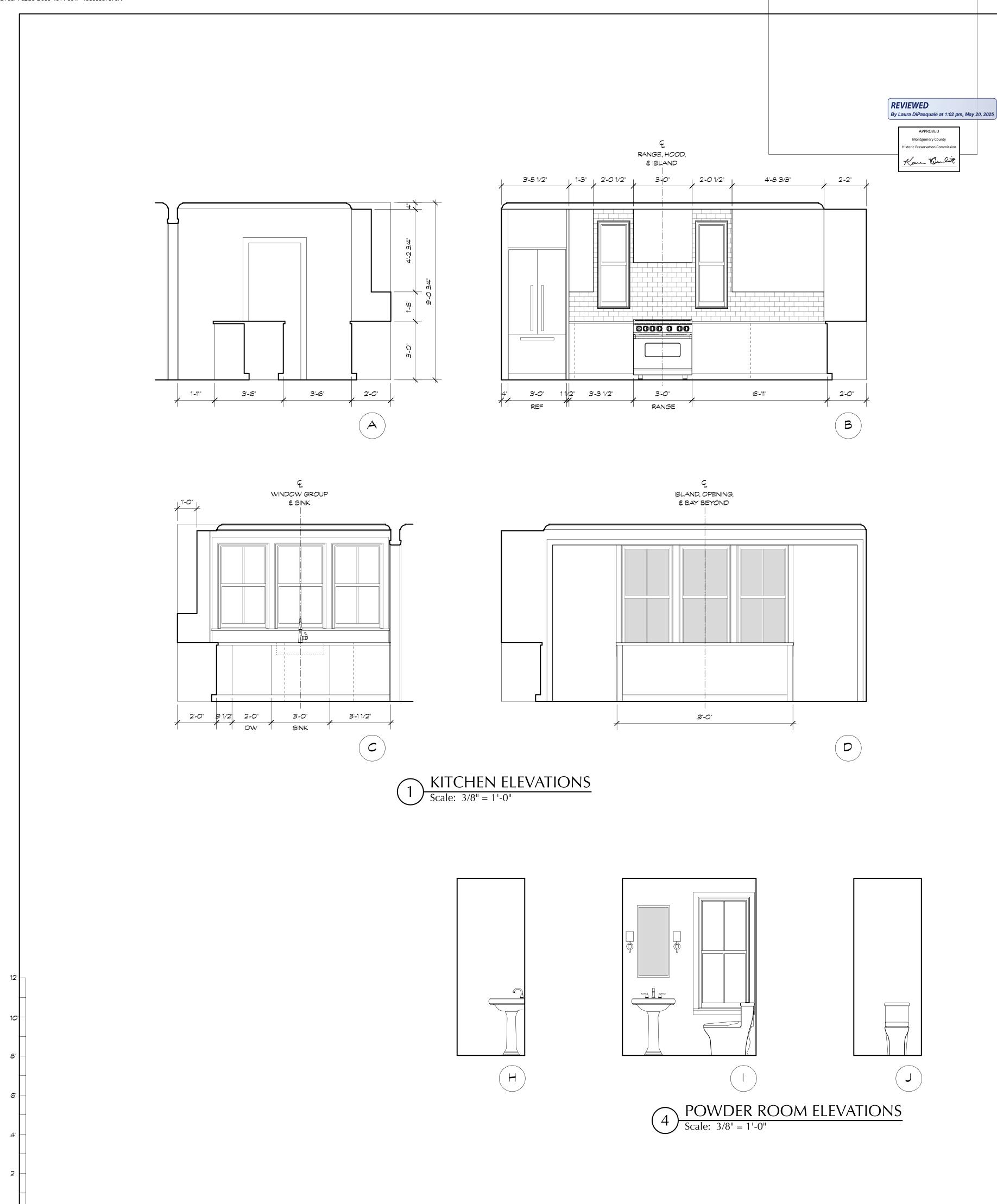
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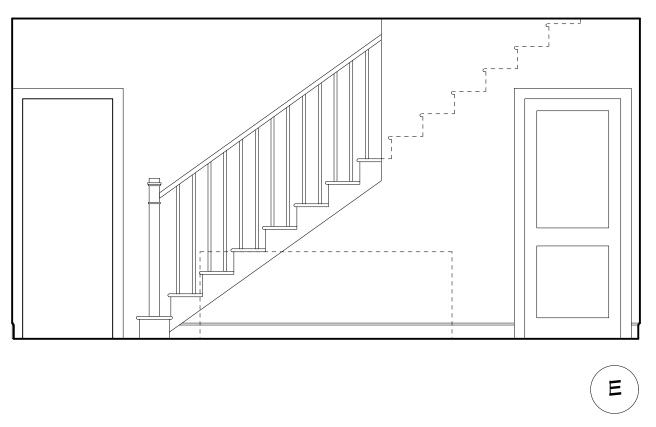
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12'

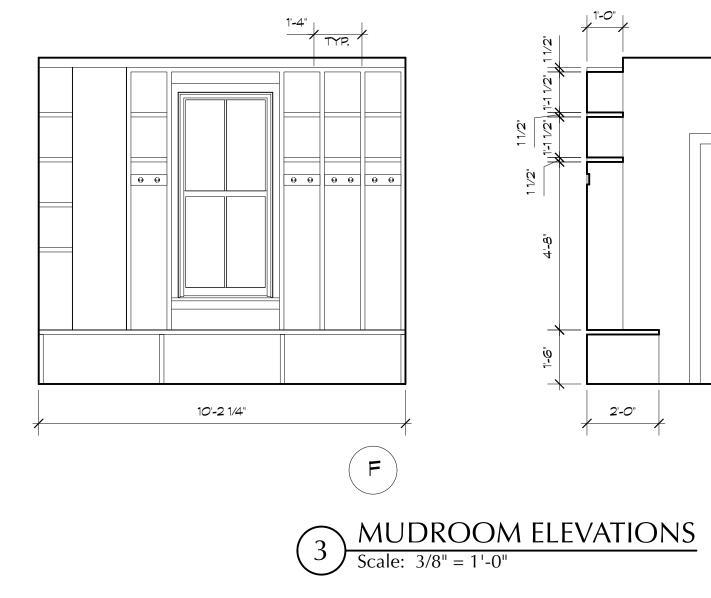
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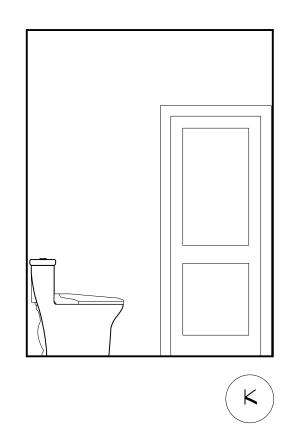
4'

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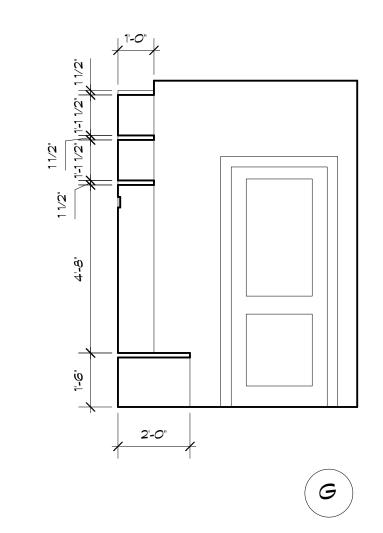










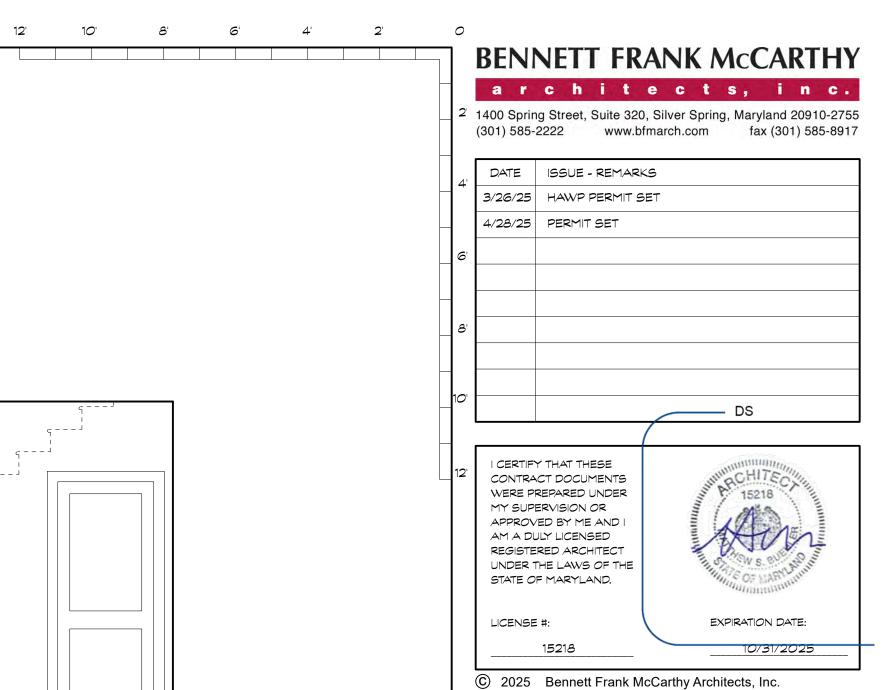






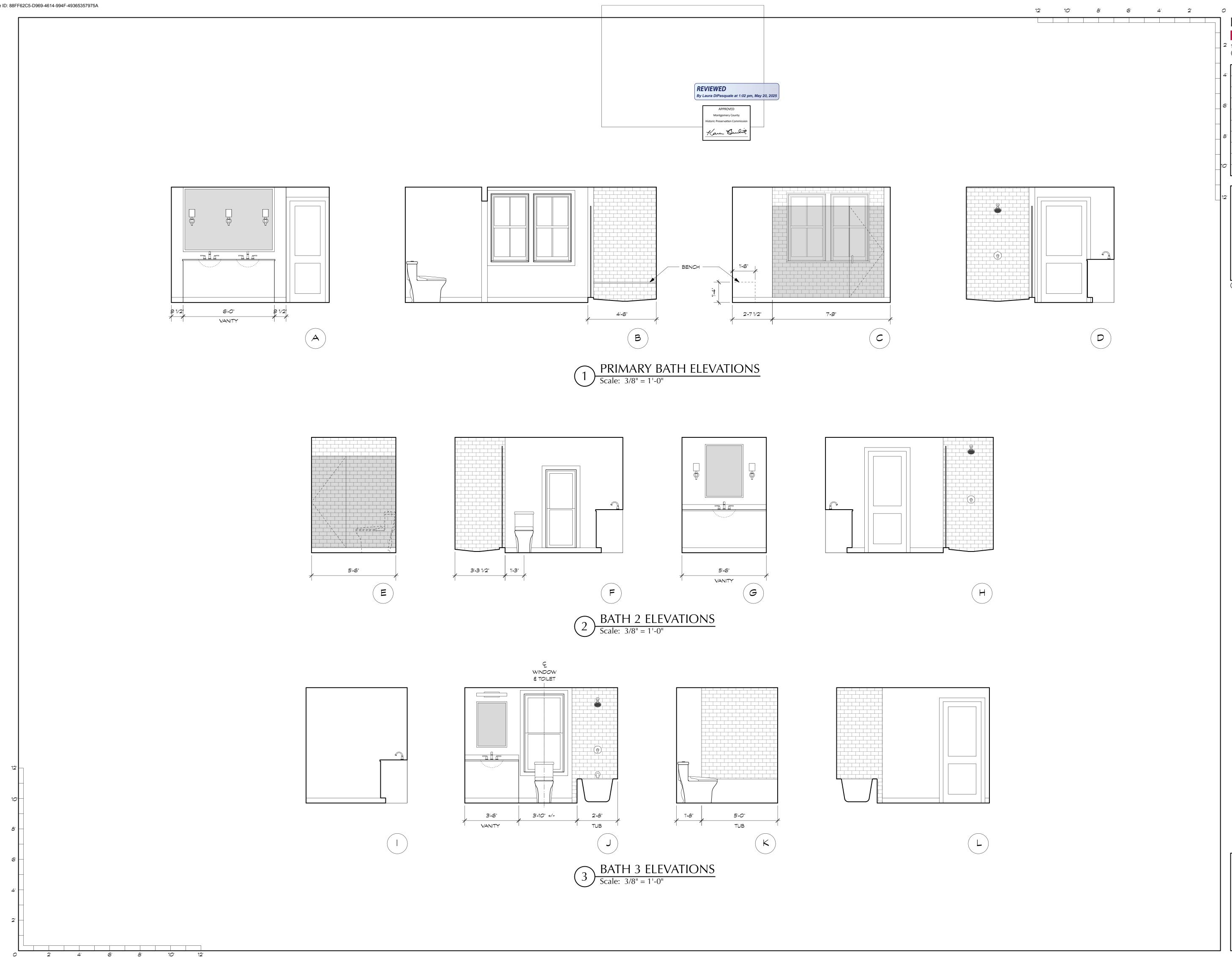
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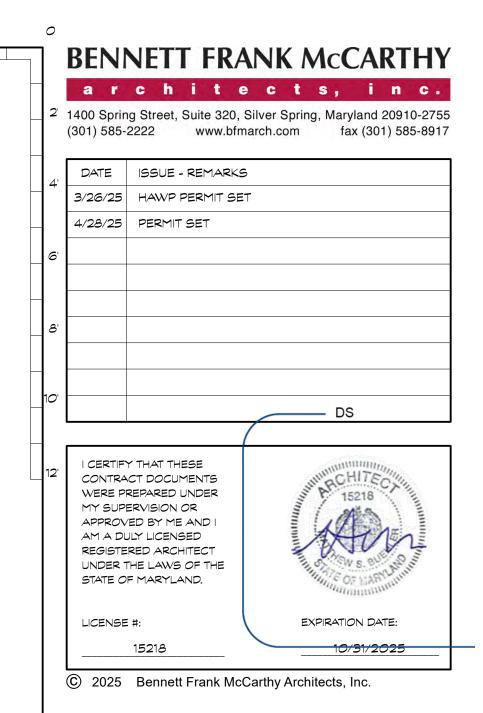
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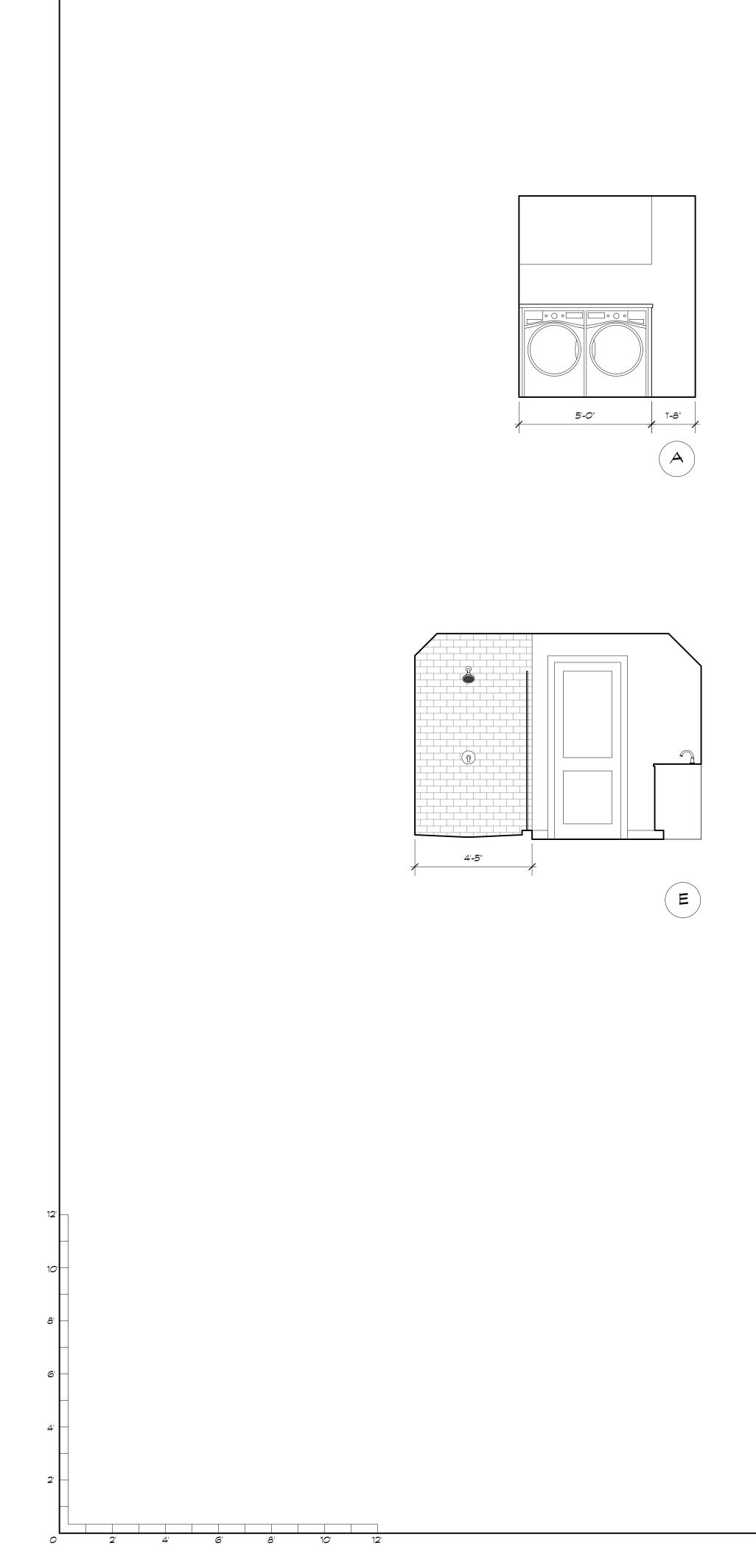
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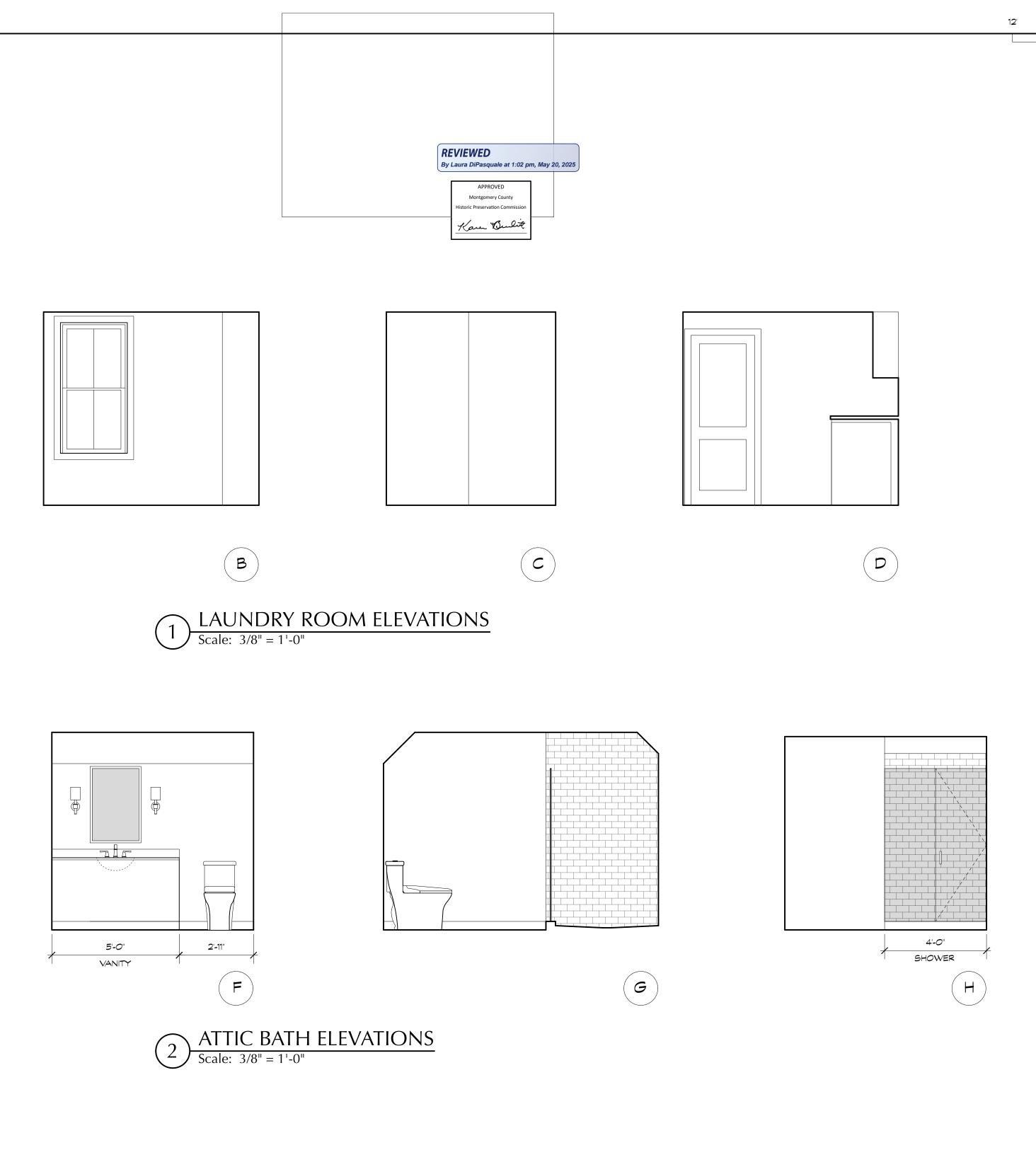
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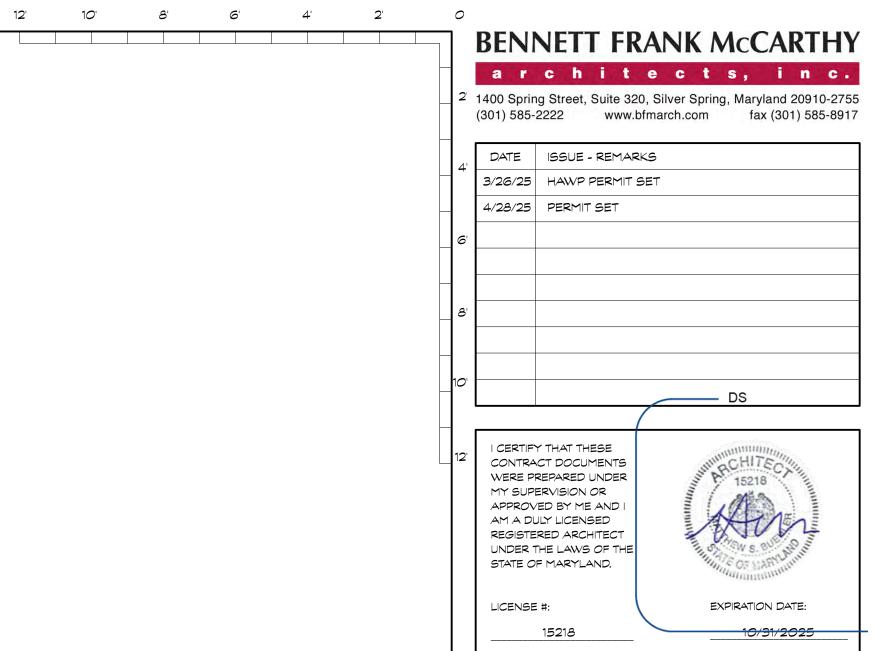
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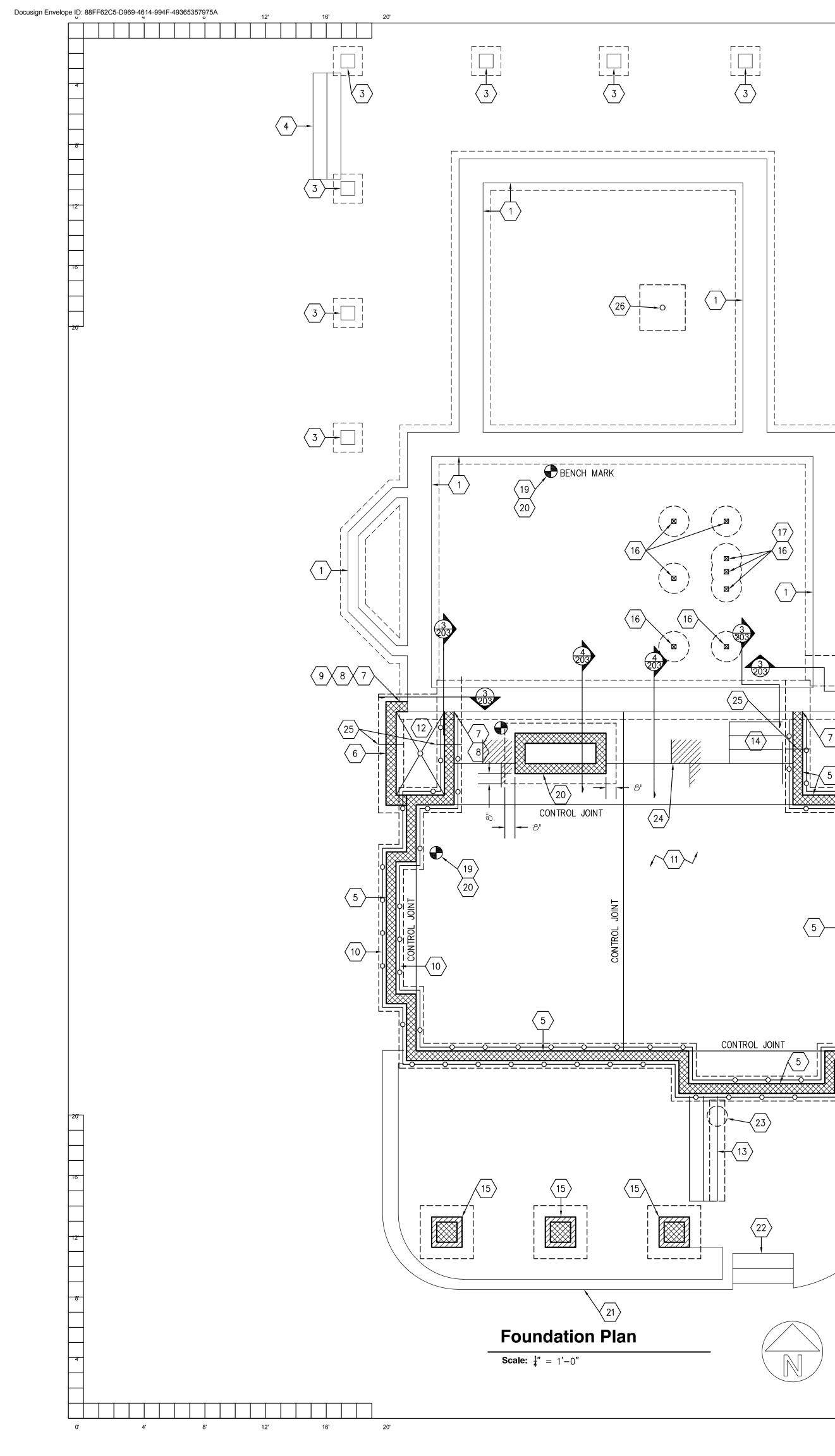




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A401



 EVIEWED Laura DiPasquale at 1:02 pr	m, May 20, 2025
APPROVED	
Montgomery County	
Historic Preservation Commission	
Kan Dulit	

EXISTING FOUNDATION WALL AND FOOTING. IF THE EXISTING WALL IS FOUND TO BOW INWARD BY 3" OR MORE, NOTIFY THE STRUCTURAL ENGINEER SO THAT REPAIR DETAILS CAN BE PROVIDED.

(2) NOT USED.

(3)

(4)

(14)

- EXISTING PIER AND FOOTING
- EXISTING STAIRS UNCHANGED
- 8" CMU WALL PLACED ON A 24X10 FOOTING WITH (3)#4 BARS. REINFORCE THE WALL WITH #4 BARS AT 8" O.C. FILL ALL CELLS SOLID IN THE WALL. PROVIDE #4 BAR DOWELS BETWEEN THE WALL AND THE FOOTING AT 48" O.C.
- 8" CMU WINDOW WELL WALL OR AREAWAY WALL WITH AN 8" BOND BEAM ON THE TOP OF THE WALL. REINFORCE THE WALL WITH #4 BARS AT 16" O.C. AND REINFORCE THE BOND BEAM WITH (2)#4 BARS. FILL ALL CELLS SOLID IN THE WALL. PLACE THE WALL ON A 24X10 CONCRETE FOOTING REINFORCED WITH (3)#4 BARS. PLACE #4 BAR DOWELS BETWEEN THE WALL AND THE FOOTING AT 16" O.C.
- PLACE THE NEW FOOTING BELOW THE EXISTING FOOTING PER THE STRUCTURAL DETAIL.
- ATTACH THE NEW CMU WALL TO THE EXISTING WALL WITH METAL TIES 〈 8 〉 AT 16" O.C. CAULK THE JOINT BETWEEN THE NEW CMU WALL AND THE EXISTING WALL WITH WATERSTOP RX BY CETCO.
- DOWEL THE BOND BEAM REBAR INTO THE EXISTING FOUNDATION WALL 〈 9 〉 WITH SIMPSON SET-XP EPOXY AND 3" EMBEDMENT.
- 4"Ø PERFORATED DRAIN WRAPPED WITH FILTER FABRIC. PLACE THE EXTERIOR DRAIN IN GRAVEL COVERED WITH FILTER FABRIC. FIELD DETERMINE THE DISCHARGE OF THE DRAIN.
- 4" CONCRETE SLAB ON A 6 MIL POLY VAPOR BARRIER ON 4" GRAVEL PLACED ON STABLE SOIL. REINFORCE THE SLAB WITH 6X6 W2.0XW2.0 WWF. SEE THE ARCHITECTURAL DRAWINGS FOR INSULATION REQUIREMENTS BELOW THE SLAB.
- 4" CONCRETE SLAB ON 4" GRAVEL PLACED ON STABLE SOIL. REINFORCE THE SLAB WITH 6X6 W2.0XW2.0 WWF. SLOPE THE SLAB TO A DRAIN IN THE CENTER OF THE WINDOW WELL. PLACE A CONTROL JOINT ON EACH VALLEY OF THE SLOPE IN THE LANDING.
- PLACE THE STAIRS ON A 12" WIDE BY 30" DEEP CONCRETE FOOTING PER THE TYPICAL DETAIL.
- NEW SLAB ON GRADE STAIRS PER THE TYPICAL DETAIL. PROVIDE A 4" WIDE CONCRETE CURB ON THE SIDE OF THE STAIRS WHEN NEEDED. WHEN APPLICABLE, DOWEL THE SLAB REBAR INTO THE ADJACENT FOUNDATION WALLS WITH SIMPSON SET-XP EPOXY AND 3" EMBEDMENT.
- NEW BONDED BRICK AND BLOCK PIER. FILL ALL CELLS SOLID IN THE 〈15〉 CMU PORTION OF THE PIER. BOND THE BRICK TO THE CMU WITH METAL TIES AT 12" O.C. IN EACH DIRECTION AND BY FILLING THE VERTICAL JOINT BETWEEN THE BRICK AND BLOCK WITH MORTAR. PLACE THE PIER ON A 42"X42"X10" FOOTING REINFORCED WITH (4)#4 BARS IN EACH DIRECTION.
- 4X4 PSL POST UP ON A 24"ØX10" THICK FOOTING. ATTACH THE 〈16〉 POST TO THE FOOTING WITH A SIMPSON ABA44.
- COMBINE THE FOOTING AS NEEDED.
- PT4X4 POST UP ON A 16" CONCRETE FOOTING. THE BOTTOM OF (18) THE FOOTING SHALL MATCH THE BOTTOM OF THE ADJACENT WALL FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA44.
- $\langle 19 \rangle$ 4" CONCRETE SLAB ON 4" GRAVEL PLACED ON STABLE SOIL. REINFORCE THE SLAB WITH #3 BARS AT 15" O.C. IN EACH DIRECTION. DOWEL THE REBAR INTO THE NEW OR EXISTING FOUNDATION WALLS WITH SIMPSON SET-XP EPOXY AND 3" EMBEDMENT. SLOPE THE SLAB TO A DRAIN IN THE CENTER OF THE WINDOW WELL. FIELD DETERMINE THE DISCHARGE OF THE DRAIN. PLACE A CONTROL JOINT ON EACH VALLEY OF THE SLOPE IN THE LANDING. PLACE THE SLAB ON 2" RIGID INSULATION TO PROVIDE FROST PROTECTION TO THE EXISTING FOOTING.
- $\langle 20 \rangle$ 8" CMU CHIMNEY PLACED ON A 10" MINIMUM THICKNESS FOOTING. REINFORCE THE FOOTING WITH #4 BARS AT 10" O.C. IN EACH DIRECTION PER THE STRUCTURAL DETAIL.
- NEW GARDEN WALL DESIGNED BY OTHERS. 〈 21 〉
- $\langle 22 \rangle$ NEW LANDSCAPE STAIRS BY OTHERS.
- $\langle 23 \rangle$ PLACE A 16"Ø FOOTING BELOW THE FOOTING FOR THE STAIRS. THE BOTTOM OF THE FOOTING SHALL MATCH THE BOTTOM OF THE ADJACENT WALL FOOTING.
- $\langle 24 \rangle$ STEP THE SLAB PER THE TYPICAL DETAIL.
- <25> FOOTING STEP PER THE TYPICAL DETAIL.
- (26) 3"ø SCHEDULE 40 LALLY COLUMN UP PLACED ON A 36"X36"X10" THICK FOOTING. REINFORCE THE FOOTING WITH (4)#4 BARS IN EACH DIRECTION.

FRAMING NOTES:

- 1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
- SINGLE KING STUD, UNLESS NOTED OTHERWISE. 3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND
- MULTIPLE STUDS.
- ¹/₂"ø BOLTS AT 16" O.C. STAGGERED.
- EPOXY BOLTS SHALL BE SIMPSON "SET-XP". FOLLOW MANUFACTURES
- HOLLOW MASONRY UNLESS NOTED OTHERWISE. HOME
- ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
- **BE GALVANIZED** 9. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
- 10. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT.
- JOIST AND THE HANGER.
- 13. TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
- SIDE OF THE RAFTER.
- EACH SIDE OF THE POST.
- EACH SIDE.
- 20. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS. 21. TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH
- BEAM AND THE HANGER. ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC .
- WALLS AT 16" O.C.
- CONNECTORS, STRAPS OR NAILING MULTIPLE MEMBERS TOGETHER.
- THE EXISTING STAIRS.

1766).



16' 12' 8' 20' 4'

2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND

4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF

INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN

6. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING AND PROPOSED STRUCTURAL ELEMENTS OF THE

8. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL

11. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE

12. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS. THE MORTAR, BRICKS AND BLOCKS SHALL MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL

14. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSSR. 15. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH

16. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE. 17. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON

18. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS16 ON

19. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.

22. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN

23. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT ARE PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE JOISTS BELOW THE

24. ADD BLOCKING TO THE WEB OF ENGINEERED JOISTS AS NEEDED FOR HANGERS, 25. ADD JOIST HANGERS TO ALL EXISTING FRAMING CONNECTIONS THAT ARE FOUND TO LACK THEM SUCH AS FRAMING AROUND PLUMBING STACKS, CHIMNEYS, OR

26. LALLY COLUMNS SHALL BE BY THE TIGERBRAND JACK POST COMPANY. (ESR



ENGINEERING, Inc

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Silver Spring, MD 20910 301-565-0543

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301-563-9477 (fax)

BENNETT FRANK McCARTHY architects, inc. 1400 Spring Street, Suite 320 www.bfmarch.com Silver Spring, Maryland 20910-2755 (301-585-2222 ISSUE - REMARKS DATE

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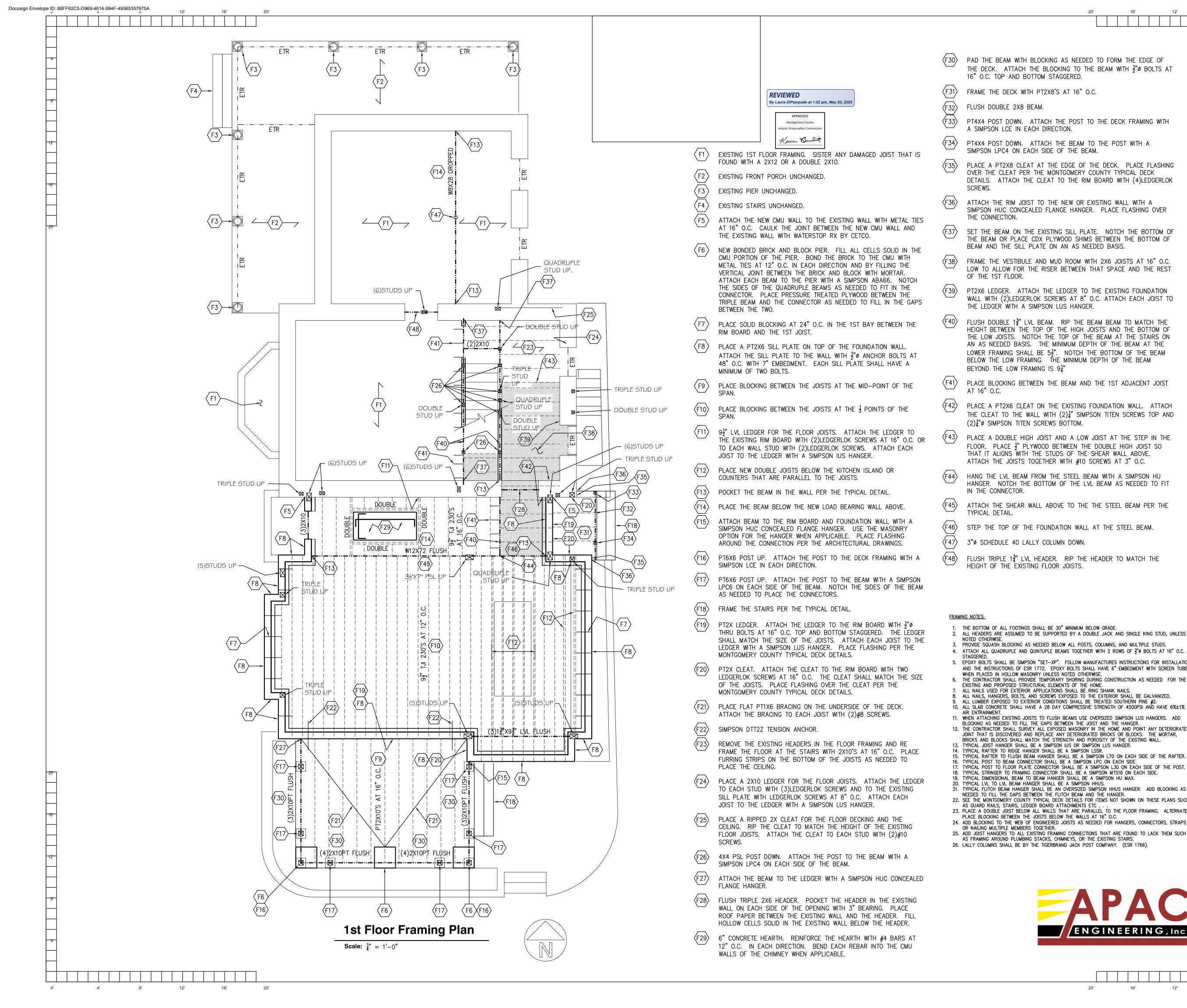
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April

12' 8' 4' 16'



16' 12' 8' 20'

PAD THE BEAM WITH BLOCKING AS NEEDED TO FORM THE EDGE OF THE DECK. ATTACH THE BLOCKING TO THE BEAM WITH $\frac{1}{2}$ " BOLTS AT

PT4X4 POST DOWN. ATTACH THE POST TO THE DECK FRAMING WITH

PT4X4 POST DOWN. ATTACH THE BEAM TO THE POST WITH A

PLACE A PT2X8 CLEAT AT THE EDGE OF THE DECK. PLACE FLASHING OVER THE CLEAT PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS. ATTACH THE CLEAT TO THE RIM BOARD WITH (4)LEDGERLOK

ATTACH THE RIM JOIST TO THE NEW OR EXISTING WALL WITH A SIMPSON HUC CONCEALED FLANGE HANGER. PLACE FLASHING OVER

SET THE BEAM ON THE EXISTING SILL PLATE. NOTCH THE BOTTOM OF THE BEAM OR PLACE CDX PLYWOOD SHIMS BETWEEN THE BOTTOM OF

FRAME THE VESTIBULE AND MUD ROOM WITH 2X6 JOISTS AT 16" O.C. LOW TO ALLOW FOR THE RISER BETWEEN THAT SPACE AND THE REST

PT2X6 LEDGER. ATTACH THE LEDGER TO THE EXISTING FOUNDATION WALL WITH (2)LEDGERLOK SCREWS AT 8" O.C. ATTACH EACH JOIST TO

FLUSH DOUBLE 1³/₂" LVL BEAM. RIP THE BEAM BEAM TO MATCH THE HEIGHT BETWEEN THE TOP OF THE HIGH JOISTS AND THE BOTTOM OF THE LOW JOISTS. NOTCH THE TOP OF THE BEAM AT THE STAIRS ON AN AS NEEDED BASIS. THE MINIMUM DEPTH OF THE BEAM AT THE LOWER FRAMING SHALL BE $5\frac{1}{2}$ ". NOTCH THE BOTTOM OF THE BEAM BELOW THE LOW FRAMING. THE MINIMUM DEPTH OF THE BEAM

PLACE BLOCKING BETWEEN THE BEAM AND THE 1ST ADJACENT JOIST

PLACE A PT2X6 CLEAT ON THE EXISTING FOUNDATION WALL. ATTACH THE CLEAT TO THE WALL WITH $(2)_4^{1"}$ SIMPSON TITEN SCREWS TOP AND

PLACE A DOUBLE HIGH JOIST AND A LOW JOIST AT THE STEP IN THE FLOOR. PLACE ¹/₂" PLYWOOD BETWEEN THE DOUBLE HIGH JOIST SO THAT IT ALIGNS WITH THE STUDS OF THE SHEAR WALL ABOVE. ATTACH THE JOISTS TOGETHER WITH #10 SCREWS AT 3" O.C.

HANG THE LVL BEAM FROM THE STEEL BEAM WITH A SIMPSON HU HANGER. NOTCH THE BOTTOM OF THE LVL BEAM AS NEEDED TO FIT

ATTACH THE SHEAR WALL ABOVE TO THE THE STEEL BEAM PER THE

STEP THE TOP OF THE FOUNDATION WALL AT THE STEEL BEAM.

 $\langle F48 \rangle$ Flush TRIPLE 1³/₄" LVL HEADER. RIP THE HEADER TO MATCH THE

PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS. 4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF $\frac{1}{2}$ " BOLTS AT 16" O.C. 5. EPOXY BOLTS SHALL BE SIMPSON "SET-XP". FOLLOW MANUFACTURES INSTRUCTIONS FOR INSTALLATION

AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE

8. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2. 10. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6%±1% 11. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD

BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER. 12. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS. THE MORTAR, BRICKS AND BLOCKS SHALL MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL.

TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST. 18. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS16 ON EACH SIDE.

21. TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS HANGER. ADD BLOCKING AS 22. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH 23. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT ARE PARALLEL TO THE FLOOR FRAMING. ALTERNATE: 24. ADD BLOCKING TO THE WEB OF ENGINEERED JOISTS AS NEEDED FOR HANGERS, CONNECTORS, STRAPS 25. ADD JOIST HANGERS TO ALL EXISTING FRAMING CONNECTIONS THAT ARE FOUND TO LACK THEM SUCH



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8555 16th Street #200 Silver Spring, MD 20910

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1400 Sprin	chitects, in o ng Street, Suite 320 www. bfmarch.c
Silver Sprir	ng, Maryland 20910-2755 (301-585-2
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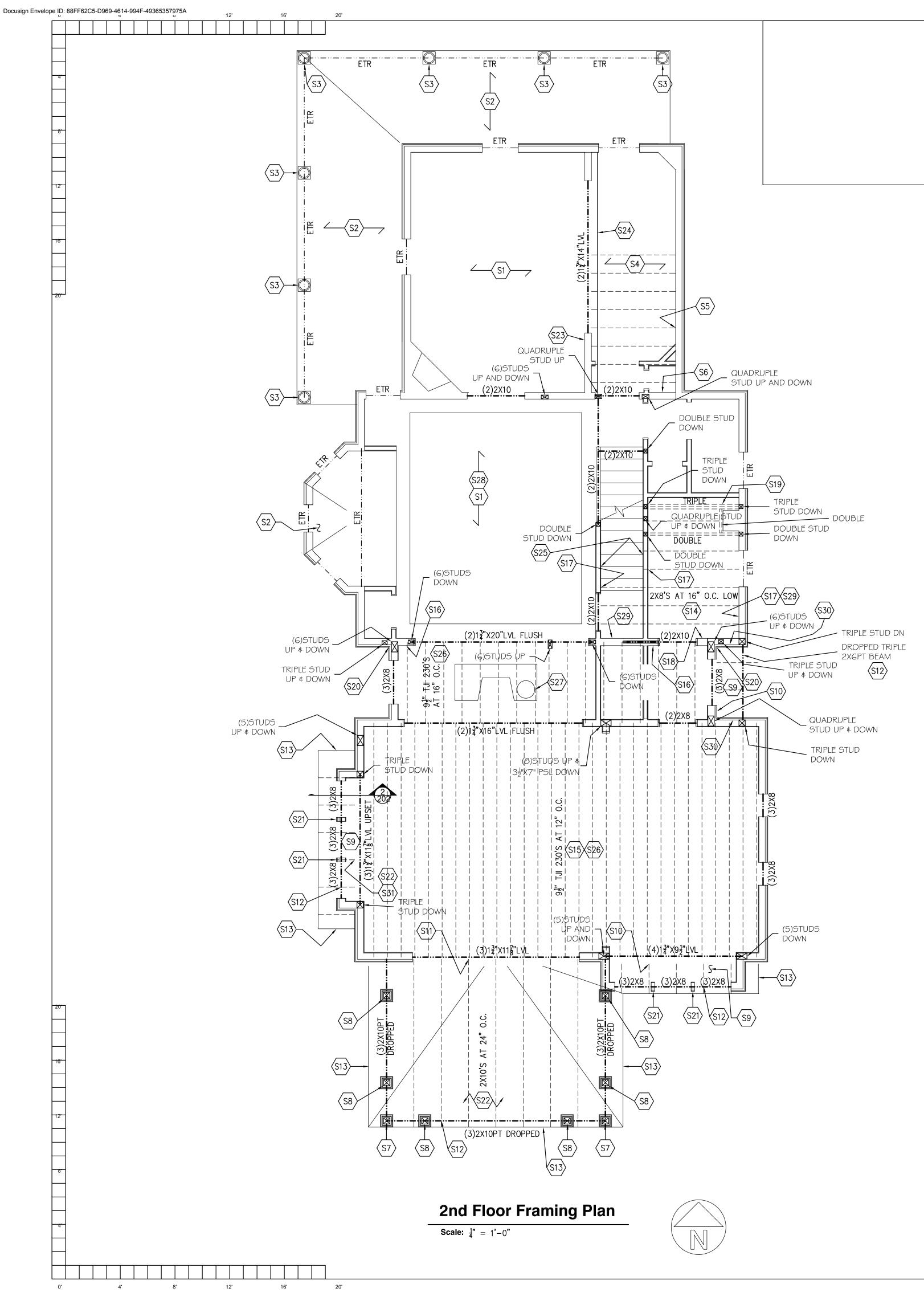
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1ST FLOOR FRAMING PLAN





 EVIEWED Laura DiPasquale at 1:02 pi	m, May 20, 2025
APPROVED Montgomery County Historic Preservation Commission	
Karen Bulit	

- EXISTING 2ND FLOOR FRAMING. SISTER ANY DAMAGED JOIST THAT IS < S1 FOUND WITH A 2X12 OR A DOUBLE 2X10.
- $\langle S2 \rangle$ EXISTING ROOF FRAMING UNCHANGED.
- $\langle S3 \rangle$ EXISTING POST.
- $\langle S4 \rangle$ REMOVE THE EXISTING HEADERS IN THE FLOOR FRAMING AND SISTER EACH EXISTING JOIST WITH A 2X10 TO INFILL THE STAIRS. PLACE FURRING STRIPS ON THE BOTTOM OF THE JOISTS AS NEEDED TO PLACE THE CEILING.
- $\langle S5 \rangle$ PLACE A 2X10 LEDGER FOR THE FLOOR JOISTS. ATTACH THE LEDGER TO EACH STUD WITH (3)LEDGERLOK SCREWS. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER.
- $\langle S6 \rangle$ PLACE A RIPPED 2X CLEAT FOR THE FLOOR DECKING AND THE CEILING. RIP THE CLEAT TO MATCH THE HEIGHT OF THE EXISTING FLOOR JOISTS. ATTACH THE CLEAT TO EACH STUD WITH (2)#10 SCREWS.
- $\langle S7 \rangle$ PT6X6 POST DOWN. ATTACH THE POST TO THE BEAMS WITH A SIMPSON LCE IN EACH DIRECTION.
- $\langle S8 \rangle$ PT6X6 POST DOWN. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC6 ON EACH SIDE OF THE BEAM.
- $\langle S9 \rangle$ FRAME THE ROOF WITH 2X8 RAFTERS AND 2X8 CEILING JOISTS AT 24" 0.C.
- $\langle S10 \rangle$ 2X8 LEDGER FOR THE ROOF. ATTACH THE LEDGER TO EACH WALL STUD WITH (2)LEDGERLOK SCREWS. ATTACH EACH RAFTER TO THE LEDGER WITH A SIMPSON LSSR HANGER.
- 2X10 LEDGER FOR THE ROOF. ATTACH THE LEDGER TO THE RIM BOARD (2)LEDGERLOK SCREWS AT 12" O.C. ATTACH EACH RAFTER TO THE LEDGER WITH A SIMPSON LUS HANGER.
- ATTACH EACH RAFTER THE BEAM OR WALL WITH A SIMPSON H2.5A (S12) HURRICANE TIE. WHEN APPLICABLE, HOLD THE TOP OF THE RAFTER UP AS NEEDED FOR INSULATION AND VENTILATION.
- (S13) THE ROOF DECKING SHALL CANTILEVER OVER THE END WALL OR RIM BEAM TO SUPPORT THE RAKE OR EAVE. NO SPLICE SHALL OCCUR IN THE ROOF DECKING WITHIN 48" OF THE END WALL OR RIM BEAM. PLACE SOLID BLOCKING OR 2X LADDER FRAMING AT 24" O.C. AS NEEDED TO FORM THE RAKE OR EAVE.
- (S14) PLACE BLOCKING BETWEEN THE JOISTS AT THE MID-POINT OF THE SPAN.
- (S15) PLACE SOLID BLOCKING BETWEEN THE JOISTS AT THE $\frac{1}{3}$ POINTS OF THE SPAN.
- (S16) 9¹/₇" LVL LEDGER FOR THE FLOOR JOISTS. ATTACH THE LEDGER TO THE EXISTING RIM BOARD WITH (2)LEDGERLOK SCREWS AT 16" O.C. OR TO EACH WALL STUD WITH (2)LEDGERLOK SCREWS. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON IUS HANGER.
- 2X8 LEDGER FOR THE FLOOR JOISTS. ATTACH THE LEDGER TO EACH WALL STUD WITH (2)LEDGERLOK SCREWS. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER.
- (S18) 2X8 CLEAT FOR THE FLOOR DECKING. ATTACH THE CLEAT TO THE EXISTING WALL WITH (2)#10 SCREWS AT EACH STUD.
- (S19) EXTEND THE LOW FRAMING TO THE FRONT SIDE OF THE EXISTING CHIMNEY. OVERBUILD THE HIGHER FRAMING ON TOP OF THE NEW LOW FRAMING. SHIM THE EXISTING JOISTS TO THE NEW LOW FRAMING OR NOTCH THE HIGH JOISTS AND PLACE THEM ON THE LOW FRAMING.
- (S20) ATTACH THE 1ST STUD TO THE EXISTING WALL WITH #10 SCREWS AT 6" O.C.
- (S21) PLACE A DOUBLE JACK STUD BETWEEN EACH WINDOW.
- (\$22) MAKE THE ROOF SLOPE WITH BUILT UP RIGID INSULATION. ATTACH THE INSULATION TO THE ROOF DECKING WITH #10 SCREWS AT 12" O.C. IN EACH DIRECTION.
- VERIFY THAT THE EXISTING WALL CAN BE USED AS A LOAD BEARING WALL. THE WALL SHALL HAVE A MINIMUM OF 2X4 STUDS AT 16" O.C. WITH A DOUBLE TOP PLATE. IF THE WALL HAS A SINGLE TOP PLATE OR IF THE STUD SPACING IS GREATER THAN 16", PLACE A STUD BELOW EACH EXISTING JOIST.
- (S24) PLACE SOLID BLOCKING BETWEEN THE EXISTING JOISTS BELOW THE NEW LOAD BEARING WALL ABOVE.
- (S25) PLACE A LOAD BEARING WALL MADE WITH 2X4 STUDS AT 16" O.C. ON EACH SIDE OF THE STAIRS. PLACE A 2X RIM BOARD ON TOP OF THE WALL. RIP THE RIM BOARD TO MATCH THE HEIGHT OF THE EXISTING FLOOR JOISTS.
- (S26) PLACE FURRING STRIPS ON THE UNDERSIDE OF THE JOISTS AS NEEDED TO PLACE THE CEILING.
- (S27) PLACE THE FLUE BETWEEN THE JOISTS. ADJUST THE LOCATION OF THE JOISTS AS NEEDED TO MAINTAIN THE REQUIRED AIR GAP.
- (S28) PRIOR TO CONSTRUCTION, VERIFY THAT THE EXISTING JOISTS SPAN IN THE FRONT TO BACK DIRECTION. NOTIFY THE STRUCTURAL ENGINEER IF THEY SPAN IN THE SIDE TO SIDE DIRECTION.
- (S29) SISTER EACH STUD IN THE EXISTING WALL WITH A 2X4 AS NEEDED TO EXTEND THE WALL DOWN TO THE LOWER FLOOR OF THE VESTIBULE.

FRAMING NOTES:

- MULTIPLE STUDS.
- HOME.
- BE GALVANIZED
- PINE #2.
- JOIST AND THE HANGER.

- SIDE OF THE RAFTER.
- EACH SIDE OF THE POST. EACH SIDE.
- BEAM AND THE HANGER.
- ATTACHMENTS ETC .
- WALLS AT 16" O.C.
- TO LACK THEM SUCH AS FRAMING AROUND PLUMBING STACKS, CHIMNEYS, OR THE EXISTING STAIRS.

PLACE A 2X8 CLEAT FOR THE ROOF AND A 2X8 CLEAT FOR THE CEILING. ATTACH EACH CLEAT TO THE NEW OR EXISTING WALL WITH (2)#10 SCREWS AT 6" O.C. FRAME THE ROOF WITH 2X12 RAFTERS AT 24" O.C. ATTACH EACH

RAFTER TO THE UPSET BEAM WITH A SIMPSON LUS HANGER.



12' 8' 4'



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24. ADD BLOCKING TO THE WEB OF ENGINEERED JOISTS AS NEEDED FOR HANGERS, CONNECTORS, STRAPS OR NAILING MULTIPLE MEMBERS TOGETHER. 25. ADD JOIST HANGERS TO ALL EXISTING FRAMING CONNECTIONS THAT ARE FOUND

23. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT ARE PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE JOISTS BELOW THE

ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD

22. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN

20. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS. 21. TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH

18. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS16 ON 19. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.

17. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON

15. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH 16. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.

14. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSSR.

13. TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.

MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL.

12. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS. THE MORTAR, BRICKS AND BLOCKS SHALL

4500PSI AND HAVE 6%±1% AIR ENTRAINMENT. 11. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE

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8. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL 9. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN

7. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.

AS NEEDED FOR THE EXISTING AND PROPOSED STRUCTURAL ELEMENTS OF THE

6. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION

BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY UNLESS NOTED OTHERWISE.

¹/₂"ø BOLTS AT 16" O.C. STAGGERED 5. EPOXY BOLTS SHALL BE SIMPSON "SET-XP". FOLLOW MANUFACTURES INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY

4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF

SINGLE KING STUD, UNLESS NOTED OTHERWISE. 3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND

1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE. 2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND

20'

BENNETT FRANK McCARTHY

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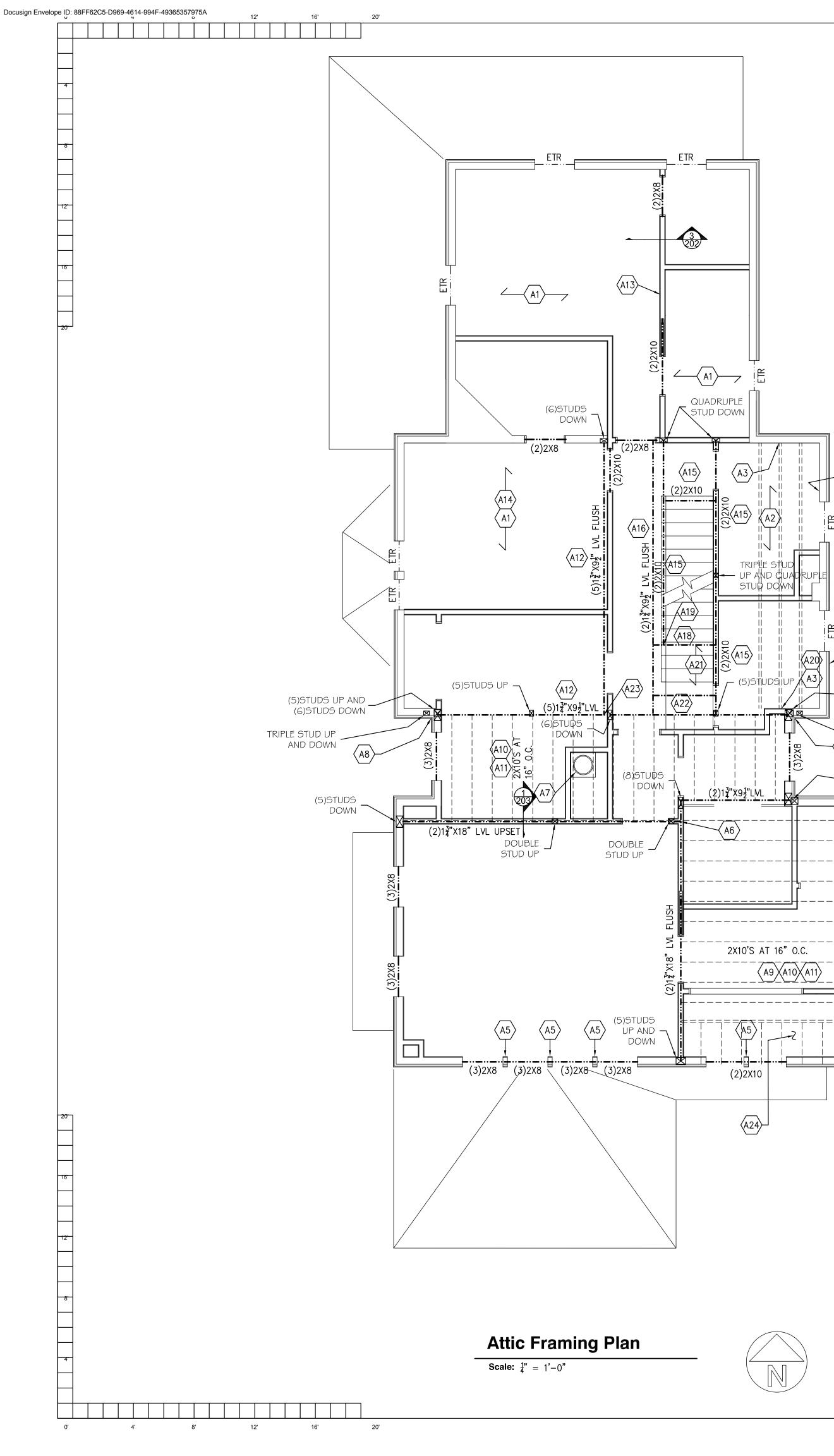
FRAMING PLAN

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REVIEWED By Laura DiPasquale a	t 1:02 pm, May 20, 2025
APPROVED Montgomery Cour Historic Preservation Con Karr Bu	nmission

- $\langle A1 \rangle$ EXISTING ATTIC JOISTS. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A 2X10 OR A DOUBLE 2X8.
- $\langle A2 \rangle$ REMOVE THE EXISTING HEADERS IN THE FLOOR FRAMING AND SISTER EACH EXISTING JOIST WITH A DOUBLE 2X10 OR A DOUBLE $1\frac{3}{4}$ "X7 $\frac{1}{4}$ " LVL TO INFILL THE STAIRS. PLACE BLOCKING BETWEEN THE SISTERED JOISTS AT THE ¹/₄ POINTS OF THE SPAN. PLACE FURRING STRIPS ON THE BOTTOM OF THE JOISTS AS NEEDED TO PLACE THE CEILING.
- $\langle A3 \rangle$ PLACE A 2X LEDGER FOR THE FLOOR JOISTS. ATTACH THE LEDGER TO EACH STUD WITH (4)LEDGERLOK SCREWS. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. THE LEDGER SHALL MATCH THE SIZE OF THE FLOOR JOISTS.
- $\langle A4 \rangle$ PLACE A RIPPED 2X CLEAT FOR THE FLOOR DECKING AND THE CEILING. RIP THE CLEAT TO MATCH THE HEIGHT OF THE EXISTING FLOOR JOISTS. ATTACH THE CLEAT TO EACH STUD WITH (2)#10 SCREWS.
- $\langle A5 \rangle$ PLACE A DOUBLE JACK STUD BETWEEN EACH WINDOW.
- $\langle A6 \rangle$ ATTACH THE SIDE TO SIDE LVL BEAM TO THE FRONT TO BACK LVL BEAM WITH A SIMPSON HGUS 5.50/10 HANGER.
- $\langle A7 \rangle$ PLACE THE FLUE BETWEEN THE JOISTS. ADJUST THE LOCATION OF THE JOISTS AS NEEDED TO MAINTAIN THE REQUIRED AIR GAP.
- $\langle 88 \rangle$ ATTACH THE 1ST STUD TO THE EXISTING WALL WITH (2)#10 SCREWS AT 6" O.C.
- $\langle A9 \rangle$ PLACE BLOCKING BETWEEN THE JOISTS AT THE MID-POINT OF THE SPAN.
- $\langle A10 \rangle$ ALTERNATE JOISTS = DOUBLE 2X8'S AT 16" O.C.
- (A11) PLACE FURRING STRIPS ON THE UNDERSIDE OF THE FLOOR JOISTS AS NEEDED TO PLACE THE CEILING.
- (A12) ALTERNATE BEAM = $1^{\circ}X7^{\circ}$ STEEL FLITCH BEAM BETWEEN FOUR $1\frac{3}{4}$ X7 $\frac{1}{4}$ LVL'S. SEE THE FRAMING ELEVATION FOR THE BOLTING PATTERN BETWEEN THE STEEL PLATE AND THE LVL'S.
- (A13) NEW LOAD BEARING WALL MADE WITH 2X4 STUDS AT 16" O.C. IF THE EXISTING JOISTS DO NOT SPLICE OVERTOP OF THE WALL ATTACH THEM TOGETHER PER THE STRUCTURAL DETAIL.
- (A14) PRIOR TO CONSTRUCTION, VERIFY THAT THE EXISTING JOISTS SPAN IN THE FRONT TO BACK DIRECTION. NOTIFY THE STRUCTURAL ENGINEER IF THEY SPAN IN THE SIDE TO SIDE DIRECTION.
- $\langle A15 \rangle$ ALTERNATE BEAM = (4)2X8

ζA3

(5)STUDS UP

DOUBLE STUD UP

- AND QUADRUPLE

STUD DOWN

(6)STUDS DOWN

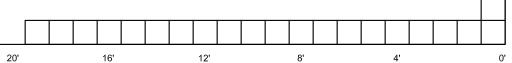
TRIPLE STUD

UP AND DOWN

- $\langle A16 \rangle$ ALTERNATE BEAM = $(5)1\frac{3}{4}$ X7¹/₄ LVL'S. IF THIS BEAM IS USED, HANG IT FROM THE SIDE TO SIDE BEAM WITH A SIMPSON HGUS 5.50/8 HANGER. CUT THE OUTER PLIES OF THE BEAM AS NEEDED TO PLACE THE CONNECTOR.
- $\langle A17 \rangle$ ALTERNATE BEAM = (2)2X8
- $\langle A18 \rangle$ LVL STRINGER PER THE STRUCTURAL DETAIL.
- PLACE THE HIGH BEAM ON TOP OF THE STRINGER. PLACE A DOUBLE $\langle A19 \rangle$ STUD BETWEEN THE TWO IF NEEDED.
- (A20) SISTER EACH STUD WITH A 2X4 AS NEEDED TO EXTEND THE WALL DOWN TO THE NEW LOWER FLOOR LEVEL.
- $\langle A21 \rangle$ FRAME THE LANDING WITH 2X8 JOISTS AT 16" O.C. IN THE FRONT TO BACK DIRECTION.
- $\langle A22 \rangle$ SOLID LVL STRINGER PER THE STRUCTURAL DETAIL.
- $\langle A23 \rangle$ ATTACH THE FRONT TO BACK BEAM TO THE SIDE TO SIDE BEAM WITH A SIMPSON HHUS HANGER OR A SIMPSON HGUS 5.50/8 HEADER. NOTCH THE SIDE PLIES AS NEEDED TO PLACE IT INTO THE CONNECTOR.
- (A23) TURN THE DIRECTION OF THE JOISTS TO ALIGN WITH THE RAFTERS ABOVE.

FRAMING NOTES:

- 1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE. 2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE. 3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND
- MULTIPLE STUDS. 4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF
- ¹/³ Ø BOLTS AT 16" O.C. STAGGERED. 5. EPOXY BOLTS SHALL BE SIMPSON "SET-XP". FOLLOW MANUFACTURES INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY
- HOLLOW MASONRY UNLESS NOTED OTHERWISE. 6. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING AND PROPOSED STRUCTURAL ELEMENTS OF THE HOME.
- ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS. 8. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
- 9. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
- 10. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT. 11. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON
- JOIST AND THE HANGER. 12. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND
- DETERIORATED BRICKS OR BLOCKS. THE MORTAR, BRICKS AND BLOCKS SHALL MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL. 13. TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
- 14. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSSR. 15. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
- 16. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE. 17. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
- 18. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS16 ON EACH SIDE.
- 20. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS. 21. TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS
- HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH BEAM AND THE HANGER. 22. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN
- ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC 23. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT ARE PARALLEL TO THE FLOOR
- FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE JOISTS BELOW THE WALLS AT 16" O.C. 24. ADD BLOCKING TO THE WEB OF ENGINEERED JOISTS AS NEEDED FOR HANGERS,
- CONNECTORS, STRAPS OR NAILING MULTIPLE MEMBERS TOGETHER. 25. ADD JOIST HANGERS TO ALL EXISTING FRAMING CONNECTIONS THAT ARE FOUND TO LACK THEM SUCH AS FRAMING AROUND PLUMBING STACKS, CHIMNEYS, OR THE EXISTING STAIRS.





301-565-0543 301-563-9477 (fax)

8555 16th Street #200 Silver Spring, MD 20910

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ATTIC FRAMING PLAN

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19. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.

POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY

LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE

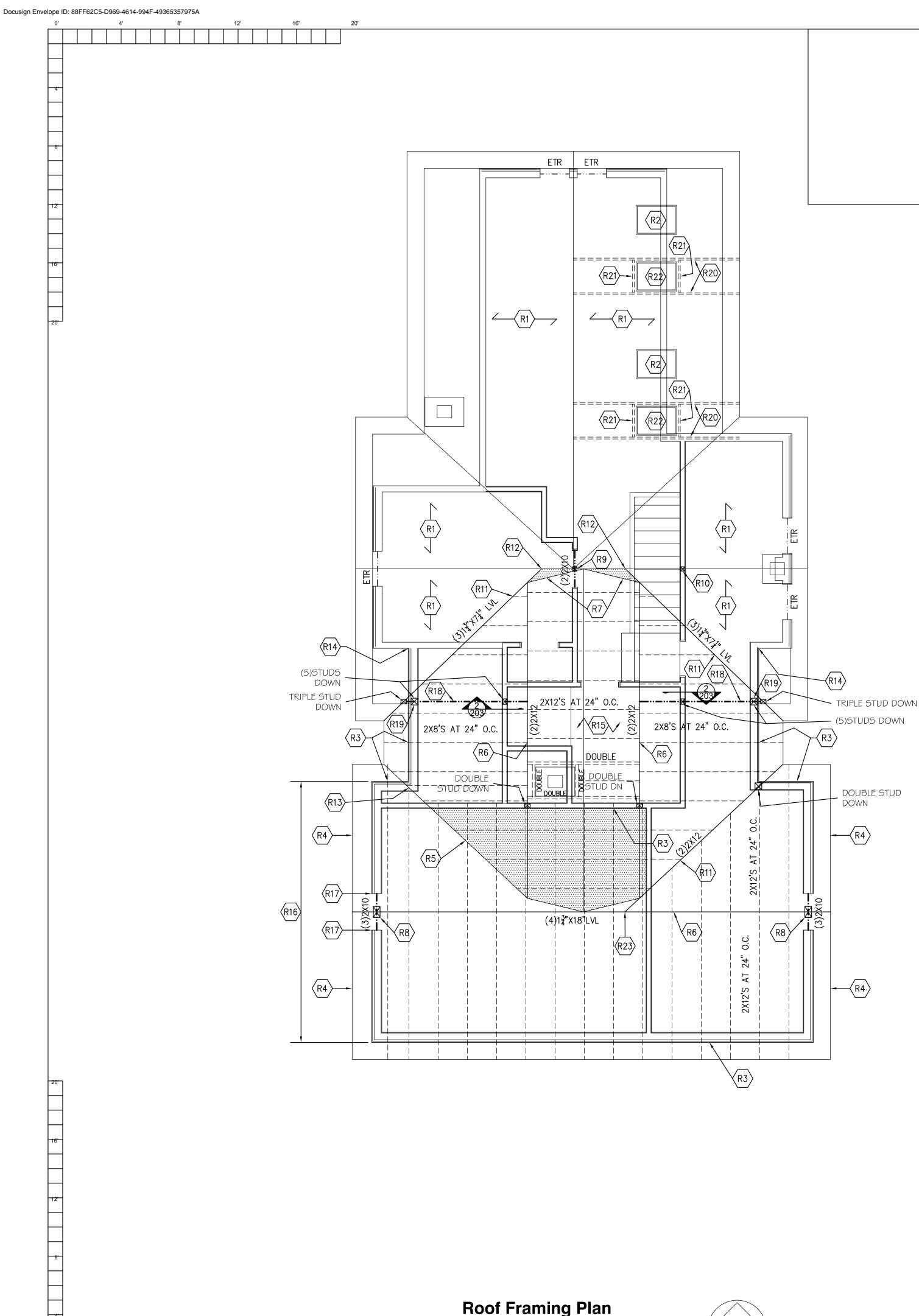
BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN

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20' 16' 12' 8' 4'



Scale: $\frac{1}{4}$ = 1'-0"

4'

8'

12'

16'

20'



REVIEWED By Laura DiPasquale at 1:02 pr	n, May 20, 2025
APPROVED Montgomery County Historic Preservation Commission Karen Wenlit	

- $\langle R1 \rangle$ EXISTING RAFTERS. SISTER ANY DAMAGED RAFTER THAT IS FOUND WITH A 2X8 OR A DOUBLE 2X6.
- $\langle R2 \rangle$ EXISTING SKYLIGHT FRAMING UNCHANGED.
- $\langle R3 \rangle$ ATTACH EACH RAFTER TO THE SUPPORTING WALL WITH A SIMPSON H2.5A HURRICANE TIE. HOLD THE TOP OF THE RAFTERS UP AS NEEDED FOR VENTILATION AND INSULATION AT THE EAVE.
- $\langle R4 \rangle$ THE ROOF DECKING SHALL CANTILEVER OVER THE END WALL TO SUPPORT THE RAKE. NO SPLICE SHALL OCCUR IN THE ROOF DECKING WITHIN 4'-0" OF THE END WALL. PROVIDE 2X LADDER FRAMING AT 24" O.C. OR BLOCKING AS NEEDED TO FORM THE RAKE DETAIL.
- $\langle R5 \rangle$ OVERBUILT ROOF. RIP THE RAFTERS AND PLACE THEM ON THE LOWER ROOF. ATTACH EACH RAFTER TO THE LOWER ROOF WITH (3)10d TOE NAILS AND A SIMPSON LS50 ON EACH SIDE OF THE RAFTER.
- $\langle R6 \rangle$ ATTACH EACH SLOPED RAFTER TO THE RIDGE OR FLUSH BEAM WITH A SIMPSON LSSR HANGER. HOLD THE TOP OF THE RIDGE OR BEAM DOWN AS NEEDED FOR VENTILATION AND SO THAT THE BOTTOM OF THE RIDGE OR BEAM IS EVEN WITH OR DEEPER THAN THE BOTTOM OF THE SLOPED RAFTERS. WHEN APPLICABLE, ATTACH THE FLAT ROOF RAFTERS TO THE BEAM WITH A SIMPSON LUS HANGER.
- $\langle R7 \rangle$ OVERBUILD THE EXISTING STEEP ROOF ON THE FLAT ROOF ON AN AS NEEDED BASIS.
- $\langle R8 \rangle$ PLACE FIVE STUDS BETWEEN THE RIDGE AND THE HEADER BELOW.
- $\langle R9 \rangle$ PLACE A DOUBLE STUD BETWEEN THE EXISTING RIDGE AND THE HEADER BELOW.
- (R10) PLACE THE EXISTING RIDGE ON A TRIPLE STUD DOWN.
- $\langle R11 \rangle$ ATTACH EACH NEW AND EXISTING RAFTER TO THE VALLEY WITH (6)10d TOE NAILS AND A SIMPSON LS70 ON ONE SIDE OF THE RAFTER.
- $\langle R12 \rangle$ ATTACH THE VALLEY TO THE EXISTING RIDGE BOARD WITH A SIMPSON LS70 ON ONE SIDE AND (8)LEDGERLOK TOE SCREWS.
- $\langle R13 \rangle$ PLACE THE 1ST FRONT TO BACK RAFTER AND THE 1ST SIDE TO SIDE RAFTER AT THE CORNER. OVERBUILD THE VALLEY ON AN AS NEEDED BASIS.
- (R14) ATTACH THE 1ST STUD TO THE EXISTING WALL WITH (2)#10 SCREWS AT 6" O.C.
- (R15) MAKE THE ROOF SLOPE WITH BUILT UP RIGID INSULATION. ATTACH THE INSULATION TO THE ROOF DECKING WITH #10 SCREWS AT 12" O.C. IN EACH DIRECTION.
- (R16) FRAME THE WALL WITH 2X6 STUDS AT 12" O.C. THE STUDS SHALL BE CONTINUOUS FROM THE 2ND FLOOR TO THE CEILING FOR LATERAL STABILITY.
- $\langle R17 \rangle$ PLACE THE HEADER ON A DOUBLE JACK STUD AND TRIPLE KING STUD. THE KING STUDS SHALL BE CONTINUOUS FROM THE 2ND FLOOR TO THE CEILING FOR LATERAL STABILITY.
- (R18) QUADRUPLE $1\frac{3}{4}$ X7 $\frac{1}{4}$ LVL RAFTER. THE RAFTER CANTILEVERS OVER THE POST IN THE PARTITION WALL TO SUPPORT THE 2X12 BEAM. ATTACH THE RAFTER TO THE 2X12 BEAM WITH AN UPSIDE DOWN SIMPSON HGUS 5.50/8 HANGER. NOTCH THE TOP OF THE RAFTER AND ONE PLY OF THE RAFTER AS NEEDED TO PLACE THE CONNECTOR.
- (R19) ATTACH THE LVL RAFTER TO THE POST WITH A SIMPSON MTS12 ON EACH SIDE OF THE QUADRUPLE RAFTER.
- (R20) SISTER THE 1ST EXISTING RAFTER ADJACENT TO THE SKYLIGHT WITH A 2X8 OR A DOUBLE 2X6. ATTACH THE SISTERED RAFTER TO THE EXISTING RIDGE BOARD WITH A SIMPSON L50 ON EACH SIDE OF THE RAFTER.
- (R21) NEW DOUBLE 2X HEADER AT THE LEFT AND RIGHT SIDE OF THE SKYLIGHT. THE HEADER SHALL MATCH THE SIZE OF THE EXISTING RAFTERS. ATTACH EACH EXISTING RAFTER TO THE HEADER WITH A SIMPSON L50 ON EACH SIDE OF THE RAFTER.
- (R22) NEW SKYLIGHT. PLACE BLOCKING ON THE FRONT AND BACK SIDE OF THE SKYLIGHT BETWEEN THE HEADERS IF NEEDED.
- (R23) ATTACH THE VALLEY TO THE RIDGE BEAM WITH A SIMPSON LSSR HANGER USING THE SKEWED ANGLE OPTION.

FRAMING NOTES:

- 1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE. 2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND
- MULTIPLE STUDS. ¹/₂"ø BOLTS AT 16" O.C. STAGGERED.
- HOLLOW MASONRY UNLESS NOTED OTHERWISE.
- HOME.
- BE GALVANIZED.
- PINE #2.
- 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT.
- JOIST AND THE HANGER.
- SIDE OF THE RAFTER.
- 17. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
- EACH SIDE.
- HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH
- BEAM AND THE HANGER. ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC .
- WALLS AT 16" O.C.
- THE EXISTING STAIRS.

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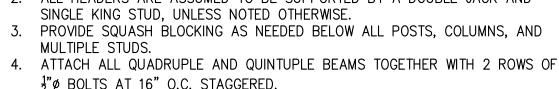
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ROOF FRAMING PLAN

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5. EPOXY BOLTS SHALL BE SIMPSON "SET-XP". FOLLOW MANUFACTURES INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN

6. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING AND PROPOSED STRUCTURAL ELEMENTS OF THE

7. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS. 8. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL

9. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN 10. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF

11. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE

12. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS. THE MORTAR, BRICKS AND BLOCKS SHALL MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL. 13. TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER. 14. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSSR.

15. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH 16. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.

18. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS16 ON

19. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX. 20. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS. 21. TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS

22. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN

23. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT ARE PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE JOISTS BELOW THE

24. ADD BLOCKING TO THE WEB OF ENGINEERED JOISTS AS NEEDED FOR HANGERS, CONNECTORS, STRAPS OR NAILING MULTIPLE MEMBERS TOGETHER. 25. ADD JOIST HANGERS TO ALL EXISTING FRAMING CONNECTIONS THAT ARE FOUND TO LACK THEM SUCH AS FRAMING AROUND PLUMBING STACKS, CHIMNEYS, OR



16'

20'

8555 16th Street #200 Silver Spring, MD 20910 301-565-0543 301-563-9477 (fax)

4'

0'

12'

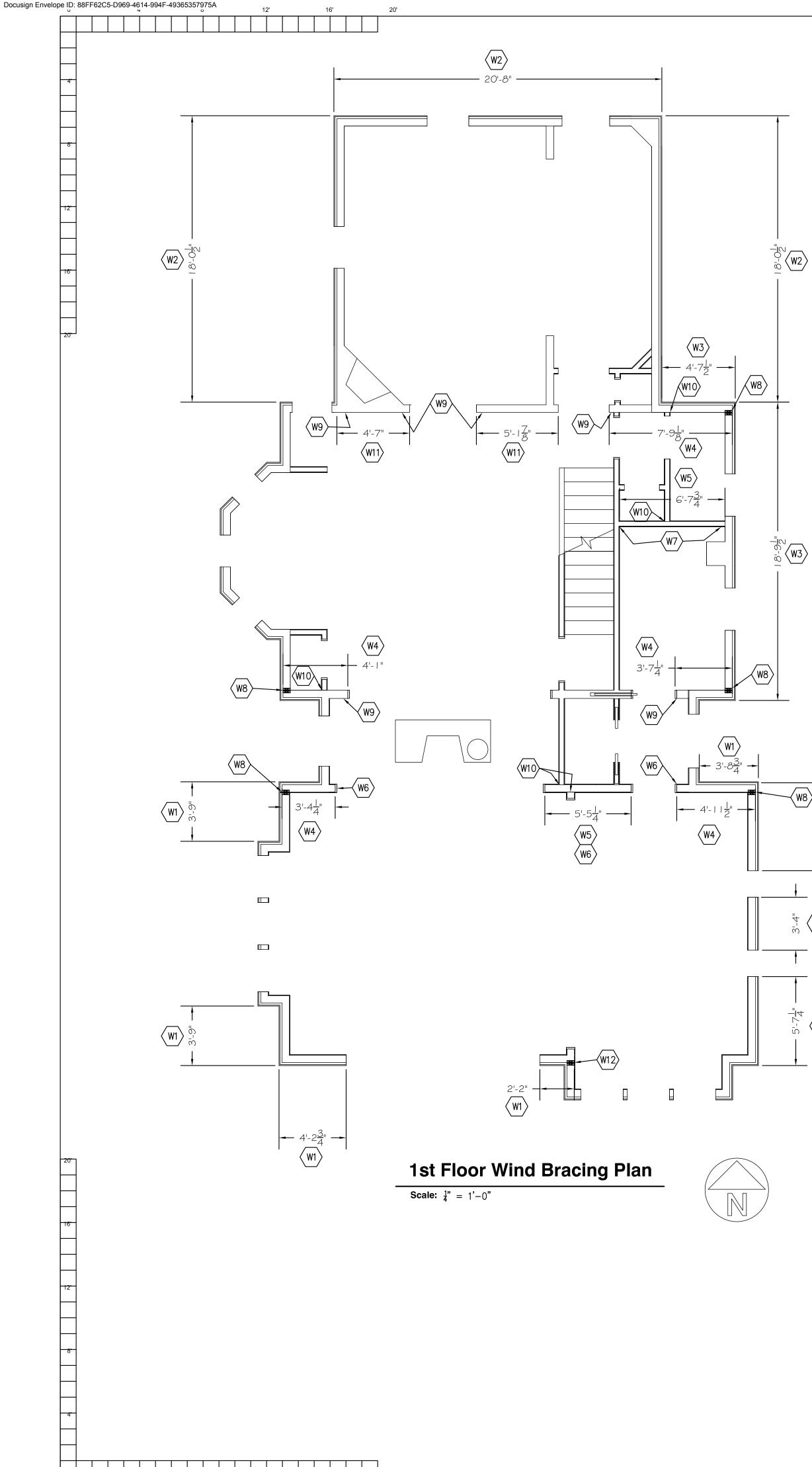
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12' 16' 0' 4' 8' 20'



- 〈 W1 〉 EDP WIND BRACING PANEL.
- $\langle W2 \rangle$ EXISTING PERFORATED WOOD SHEAR WALL.
- $\langle W3 \rangle$ EXISTING WOOD SHEAR WALL.

 $\langle w_3 \rangle$

W8)

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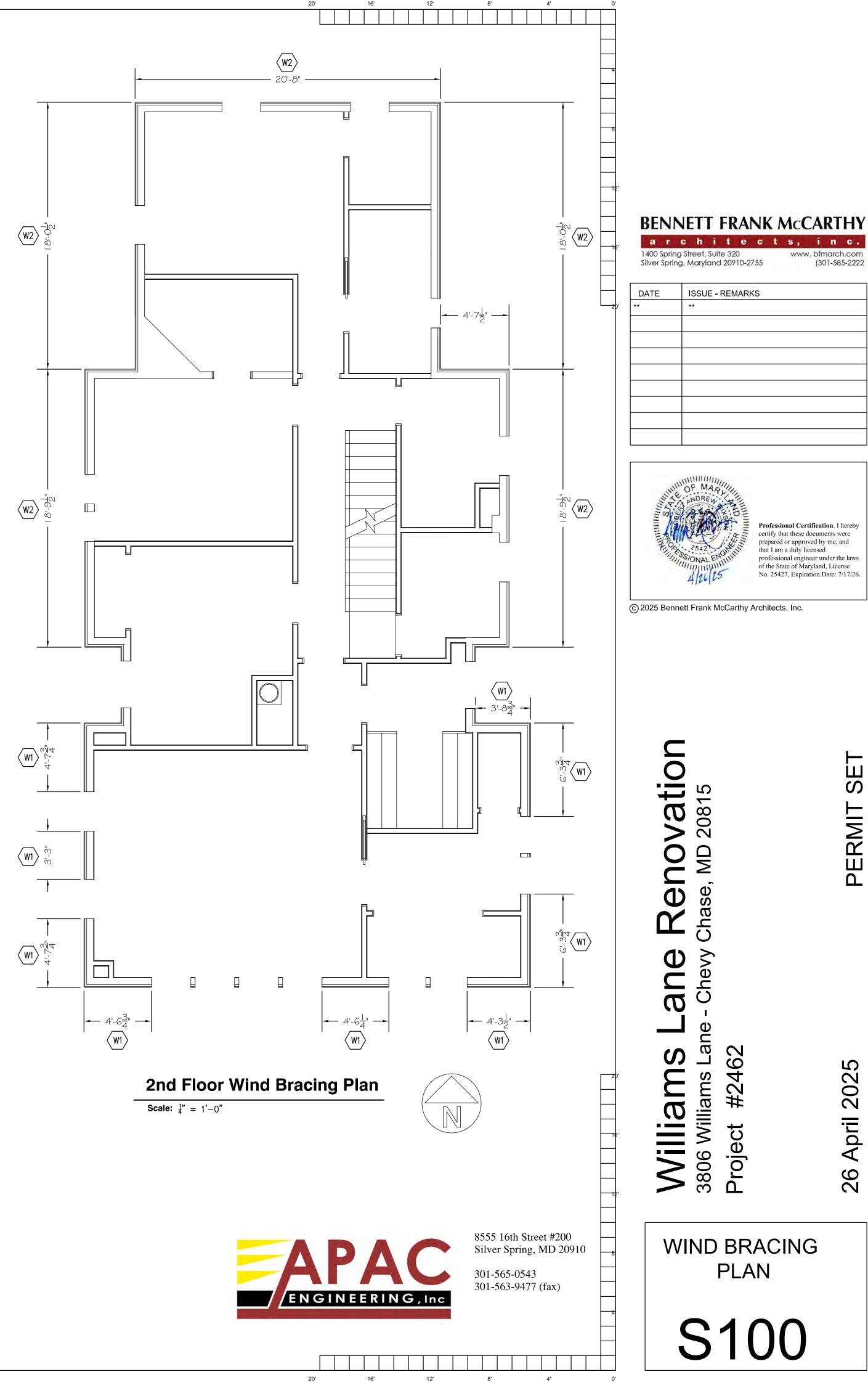
(W1)

 $\langle W1 \rangle$

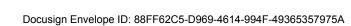
- **W4** PLACE $\frac{7}{16}$ OSB SHEATHING ON INTERIOR SIDE OF THE WALL TO MAKE AN INTERIOR EDP PANEL.
- **W**5 PLACE $\frac{7}{16}$ " OSB SHEATHING ON BOTH SIDES OF THE WALL TO MAKE AN INTERIOR EDP PANEL.
- **W6** ATTACH BOTTOM OF THE WALL TO THE STEEL BEAM PER THE TYPICAL DETAIL.
- $\langle W7 \rangle$ ATTACH THE END OF THE SHEAR WALL TO THE DOUBLE JOIST BELOW WITH A SIMPSON LSTA21 ON EACH SIDE OF THE WALL. CUT A SLOT IN THE FLOOR DECKING AND ADD EXTRA STUDS AS NEEDED TO PLACE THE STRAPS.
- **(W8**) EXTEND THE INTERIOR SHEATHING INTO THE WALL CAVITY SO THAT IT ENDS AT THE EXTERIOR WALL SHEATHING. PLACE A STUD ON EACH SIDE OF THE SHEATHING INSIDE THE WALL.
- <w9> ATTACH THE END OF THE SHEAR WALL TO THE EXISTING FOUNDATION WALL WITH A SIMPSON DTT2Z HOLD DOWN ANCHOR. PLACE THE ANCHOR ON THE 1ST STUD ADJACENT TO THE END OF THE WALL. ATTACH THE ANCHOR TO THE FOUNDATION WALL WITH A $\frac{1}{2}$ " ϕ EPOXY BOLT WITH 7" EMBEDMENT. FILL HOLLOW CELLS SOLID IN THE WALL. USE COUPLERS AS NEEDED TO EXTEND THE EPOXY BOLT TO THE CONNECTOR.
- (W10) CONTINUE THE SHEATHING THOUGH JOINTS IN THE WALL WITH PARTITIONS THAT ARE PERPENDICULAR TO THE WALL.
- (W11) PLACE $\frac{7}{16}$ " OSB SHEATHING ON THE REAR SIDE OF THE WALL TO MAKE THE INTERIOR SHEAR WALL.
- W12 EXTEND THE INTERIOR SHEATHING INTO THE WALL CAVITY SO THAT IT ENDS AT THE INTERIOR EDGE OF THE WALL. PLACE A STUD ON EACH SIDE OF THE SHEATHING INSIDE THE WALL.

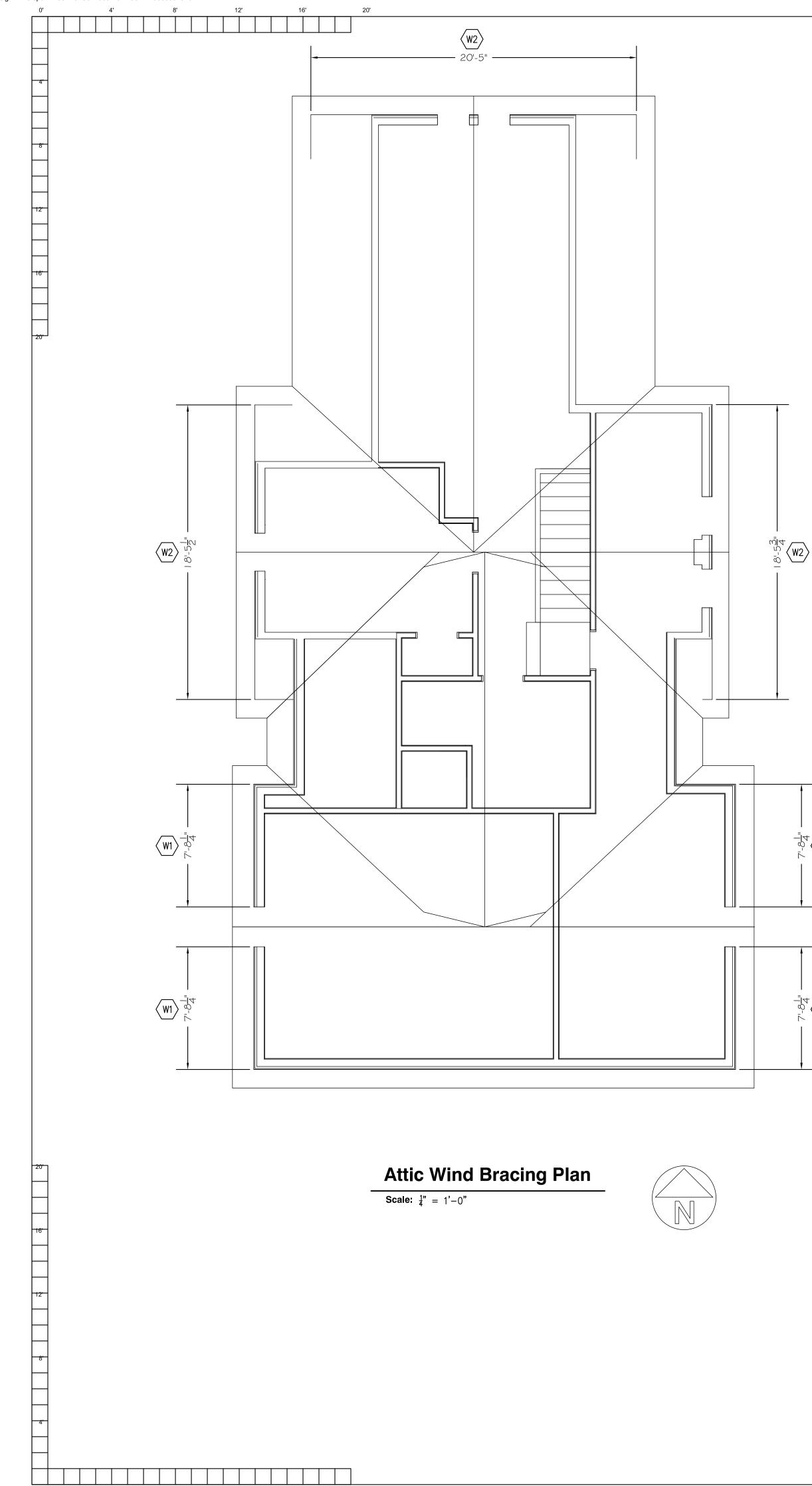
WIND BRACING NOTES:

- 1. WALLS BRACED PER IRC R602.10 AND R301.1.3 "ENGINEERED DESIGN".
- 2. APPLY $\frac{7}{16}$ OSB SHEATHING TO ALL EXTERIOR WALLS. 3. ATTACH OSB TO WOOD FRAMING WITH 8d NAILS AT 4" O.C. AT
- PANEL EDGES AND 8" O.C. ELSEWHERE.
 4. EDP DENOTES "ENGINEERED DESIGNED PANEL".
 5. ATTACH THE BOTTOM PLATE OF THE WALL TO THE JOISTS OR
- ATTACH THE BOTTOM PLATE OF THE WALL TO THE JOISTS OR BLOCKING WITH 1–16d (0.135X3¹/₂) NAIL. ATTACH THE BOTTOM PLATE TO THE RIM BOARD WITH 16d NAILS AT 12" O.C.
 ATTACH EACH JOIST AND RAFTER TO THE TOP PLATE OF THE WALL WITH 2–16d (0.135X3¹/₂) TOE NAILS.
 ATTACH THE RIM BOARD TO THE TOP PLATE OF THE WALL WITH 16d (0.135X3¹/₂) TOE NAILS AT 12" O.C.
 ATTACH RIM BOARD TO SILL PLATE WITH 16d (0.135X3¹/₂) TOE NAILS AT 12" O.C.



4'





12'

8'

0'

4'

16'

20'

 EVIEWED Laura DiPasquale at 1:02 pi	m, May 20, 2025
APPROVED Montgomery County Historic Preservation Commission	
Karen Dunlit	

- $\langle W1 \rangle$ EDP WIND BRACING PANEL.
- $\langle W2 \rangle$ EXISTING PERFORATED WOOD SHEAR WALL.
- $\langle W3 \rangle$ EXISTING WOOD SHEAR WALL.
- $\langle W4 \rangle$ PLACE $\frac{7}{16}$ OSB SHEATHING ON INTERIOR SIDE OF THE WALL TO MAKE AN INTERIOR EDP PANEL.
- $\langle W5 \rangle$ PLACE $\frac{7}{16}$ " OSB SHEATHING ON BOTH SIDES OF THE WALL TO MAKE AN INTERIOR EDP PANEL.
- W6 ATTACH BOTTOM OF THE WALL TO THE STEEL BEAM PER THE TYPICAL DETAIL.
- W7 ATTACH THE END OF THE SHEAR WALL TO THE DOUBLE JOIST BELOW WITH A SIMPSON LSTA21 ON EACH SIDE OF THE WALL. CUT A SLOT IN THE FLOOR DECKING AND ADD EXTRA STUDS AS NEEDED TO PLACE THE STRAPS.
- W8 EXTEND THE INTERIOR SHEATHING INTO THE WALL CAVITY SO THAT IT ENDS AT THE EXTERIOR WALL SHEATHING. PLACE A STUD ON EACH SIDE OF THE SHEATHING INSIDE THE WALL.
- $\langle W9 \rangle$ ATTACH THE END OF THE SHEAR WALL TO THE EXISTING FOUNDATION WALL WITH A SIMPSON DTT2Z HOLD DOWN ANCHOR. PLACE THE ANCHOR ON THE 1ST STUD ADJACENT TO THE END OF THE WALL. ATTACH THE ANCHOR TO THE FOUNDATION WALL WITH A $\frac{1}{2}$ " ϕ EPOXY BOLT WITH 7" EMBEDMENT. FILL HOLLOW CELLS SOLID IN THE WALL. USE COUPLERS AS NEEDED TO EXTEND THE EPOXY BOLT TO THE CONNECTOR.
- W10 CONTINUE THE SHEATHING THOUGH JOINTS IN THE WALL WITH PARTITIONS THAT ARE PERPENDICULAR TO THE WALL.
- (W11) PLACE $\frac{7}{16}$ OSB SHEATHING ON THE REAR SIDE OF THE WALL TO MAKE THE INTERIOR SHEAR WALL.
- (W12) EXTEND THE INTERIOR SHEATHING INTO THE WALL CAVITY SO THAT IT ENDS AT THE INTERIOR EDGE OF THE WALL. PLACE A STUD ON EACH SIDE OF THE SHEATHING INSIDE THE WALL.

WIND BRACING NOTES:

 $\bar{\bar{\mathcal{Q}}}_{\mathcal{Q}^{-}}^{\bar{\mathcal{Q}}} (W1)$

- 1. WALLS BRACED PER IRC R602.10 AND R301.1.3 "ENGINEERED DESIGN".
- 2. APPLY $\frac{7}{16}$ OSB SHEATHING TO ALL EXTERIOR WALLS. 3. ATTACH OSB TO WOOD FRAMING WITH 8d NAILS AT 4" O.C. AT
- 3. ATTACH OSB TO WOOD FRAMING WITH 8d NAILS AT 4" O.C. AT PANEL EDGES AND 8" O.C. ELSEWHERE.
- 4. EDP DENOTES "ENGINEERED DESIGNED PANEL".
- ATTACH THE BOTTOM PLATE OF THE WALL TO THE JOISTS OR BLOCKING WITH 1–16d (0.135X3¹/₂) NAIL. ATTACH THE BOTTOM PLATE TO THE RIM BOARD WITH 16d NAILS AT 12" O.C.
 ATTACH EACH JOIST AND RAFTER TO THE TOP PLATE OF THE
- WALL WITH 2–16d $(0.135X3\frac{1}{2})$ TOE NAILS. 7. ATTACH THE RIM BOARD TO THE TOP PLATE OF THE WALL WITH
- 16d $(0.135X3\frac{1}{2})$ TOE NAILS AT 12" O.C. 8. ATTACH RIM BOARD TO SILL PLATE WITH 16d $(0.135X3\frac{1}{2})$ TOE NAILS AT 12" O.C.

20' 16' 12' 8' 4'

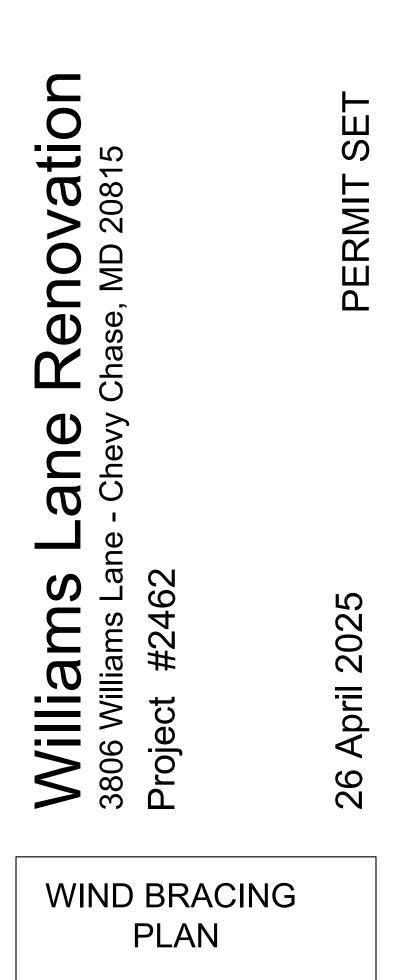
BENNETT FRANK McCARTHY

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Silver Sprin	400 Spring Street, Suite 320www. bfmarch.ccilver Spring, Maryland 20910-2755(301-585-22)	
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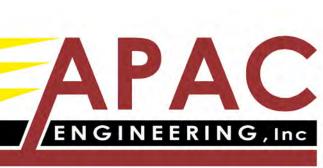


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S101



16'

20'

12'

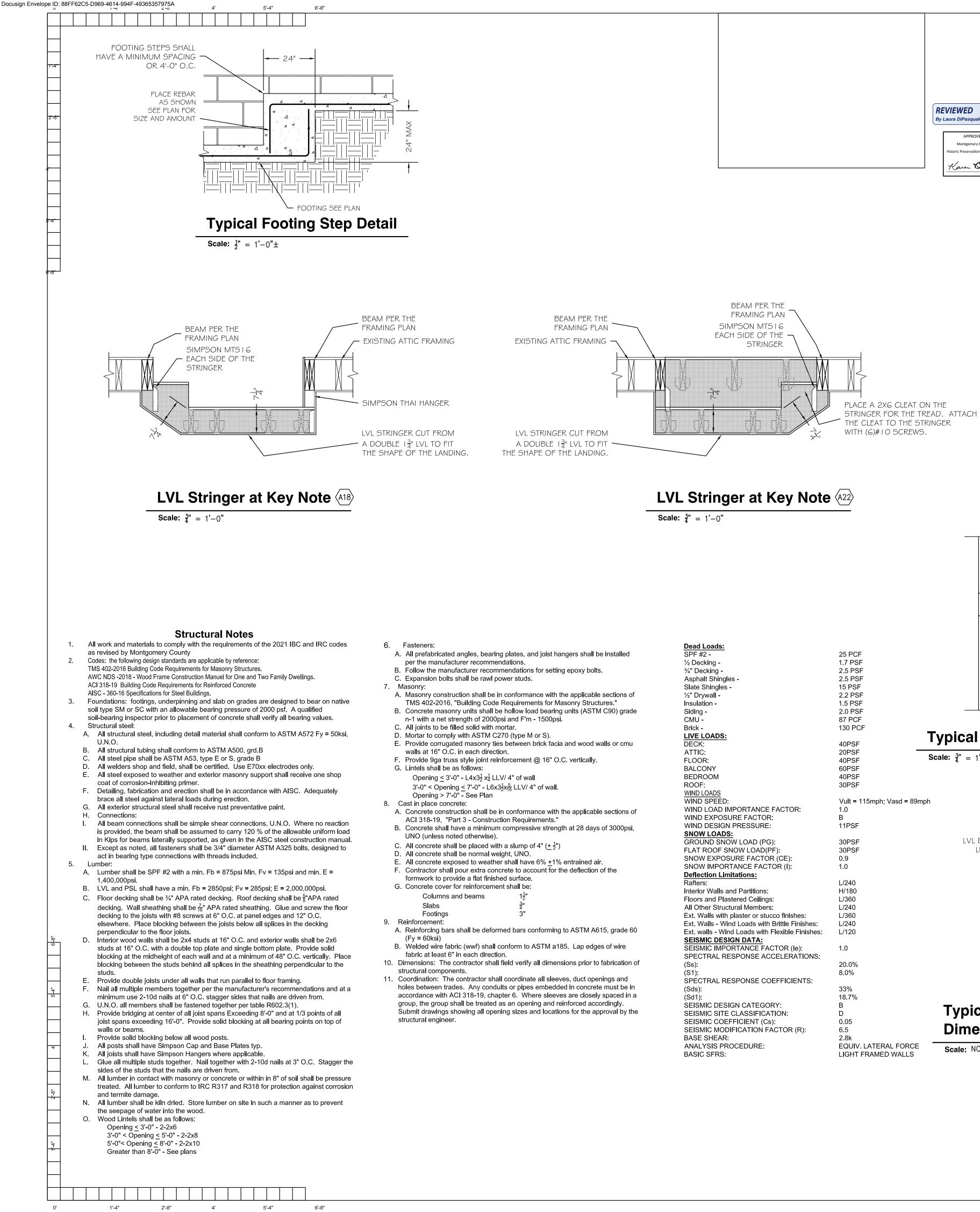
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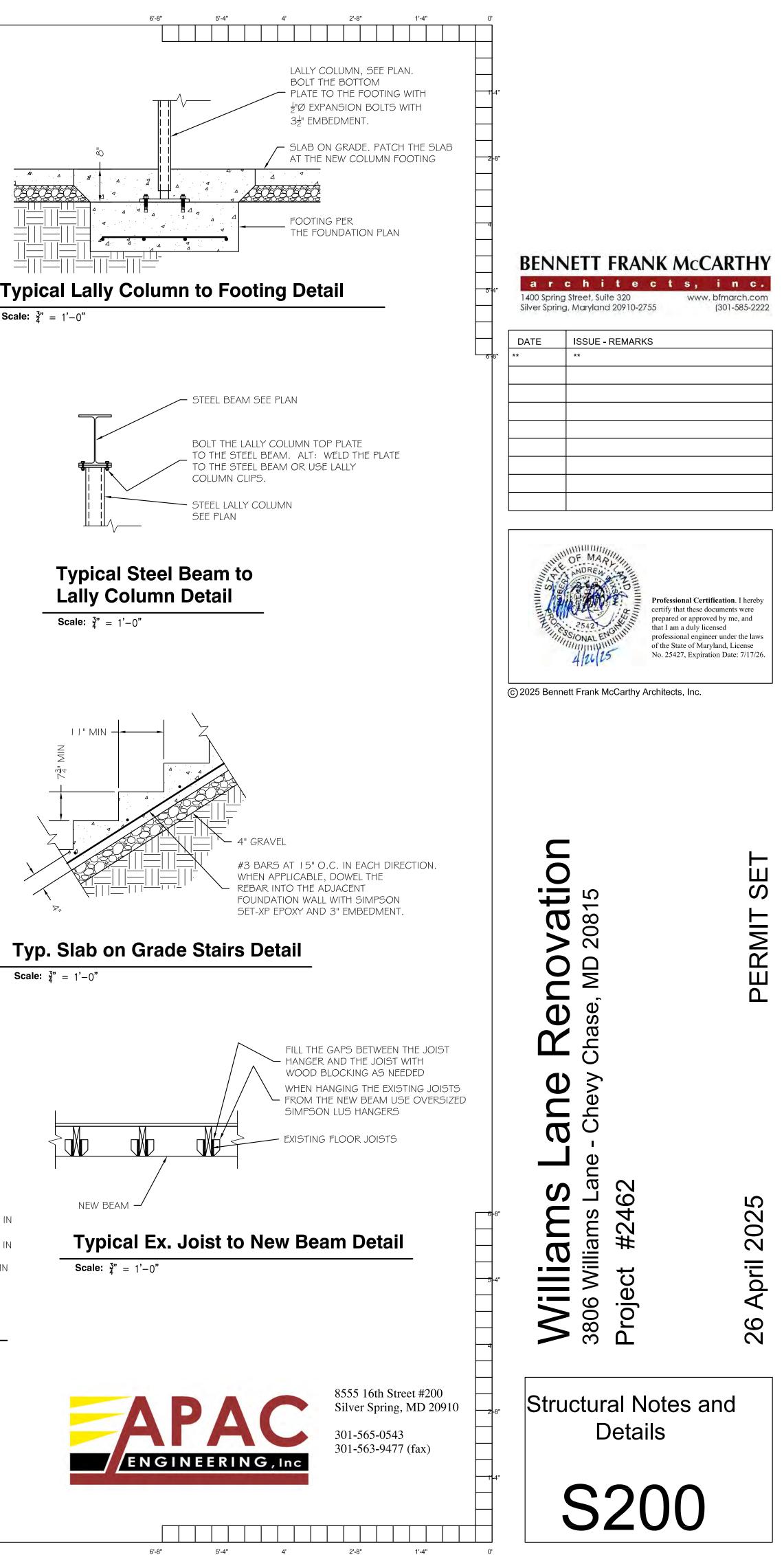
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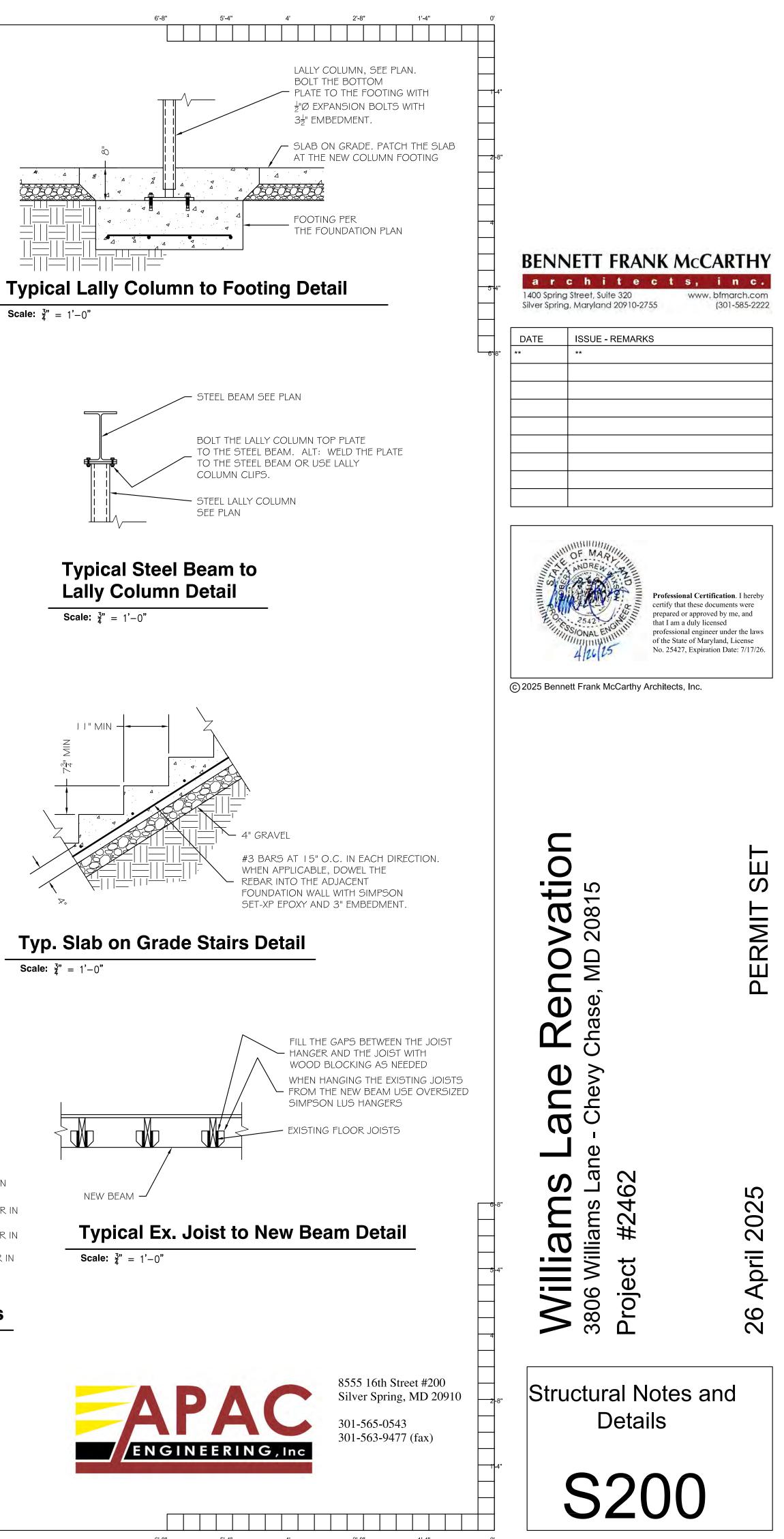
0'

4'

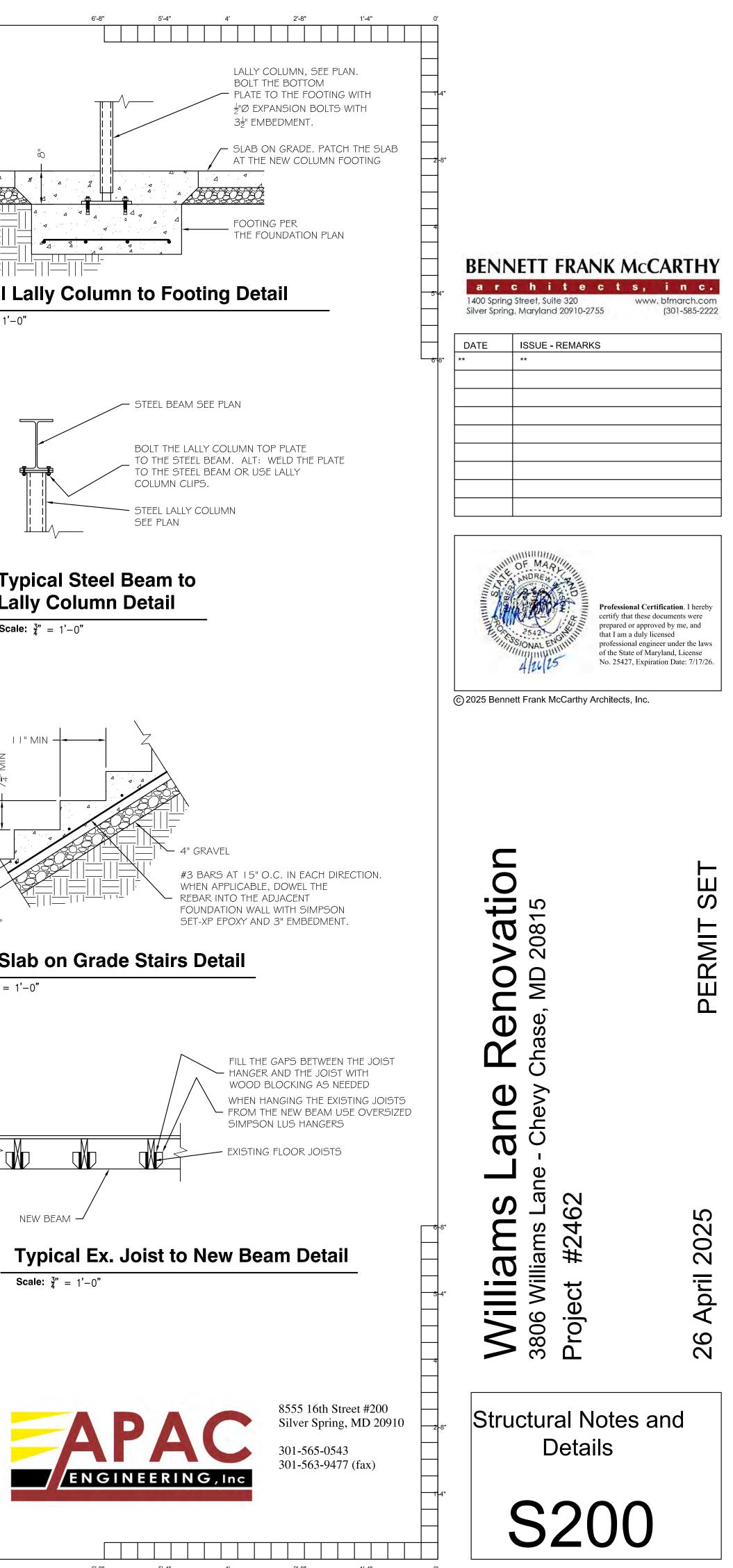


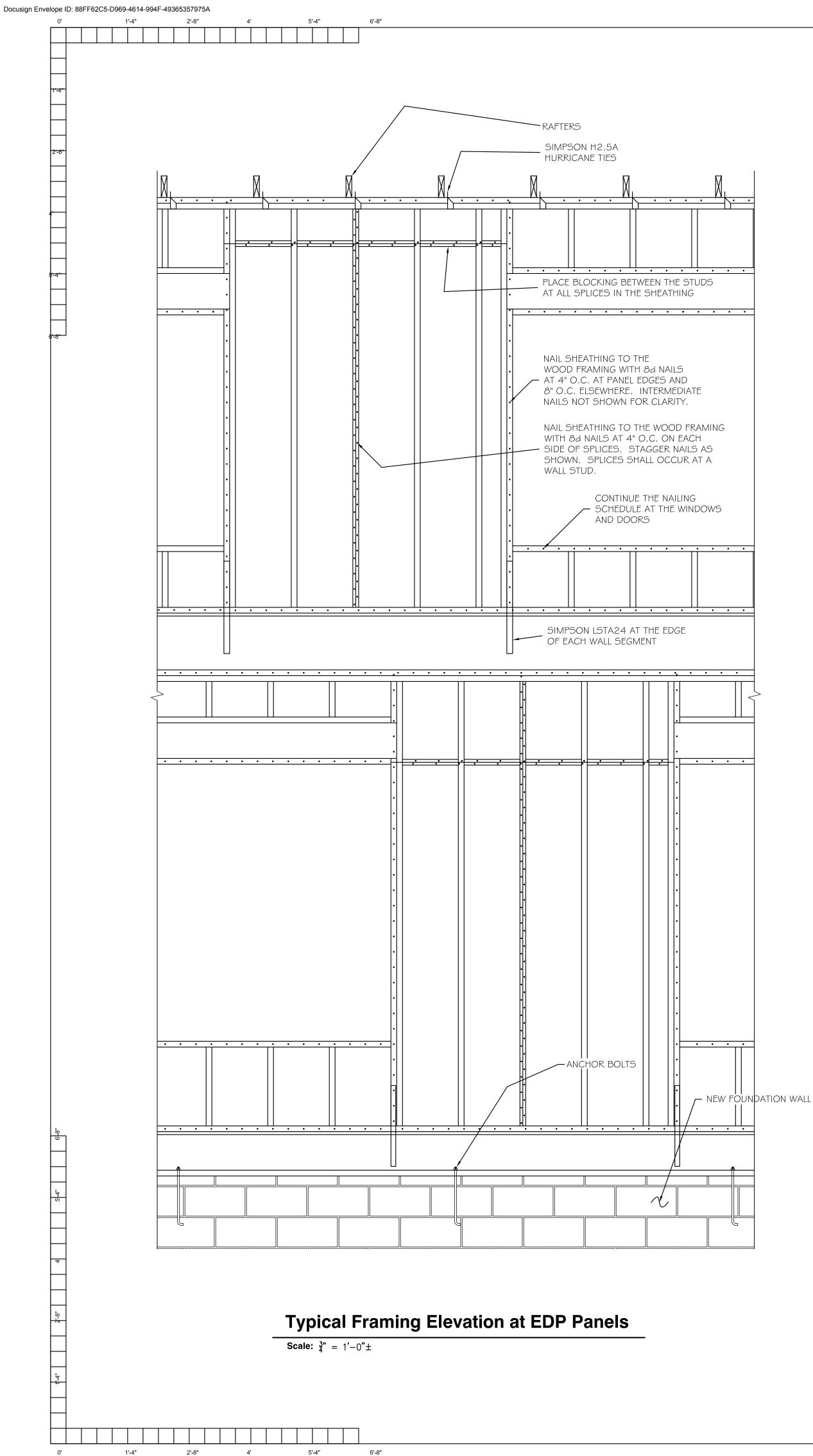
 VIEWED aura DiPasquale at 1:02 pi	m, May 20, 2025
APPROVED Montgomery County Historic Preservation Commission	
Karen Bulit	

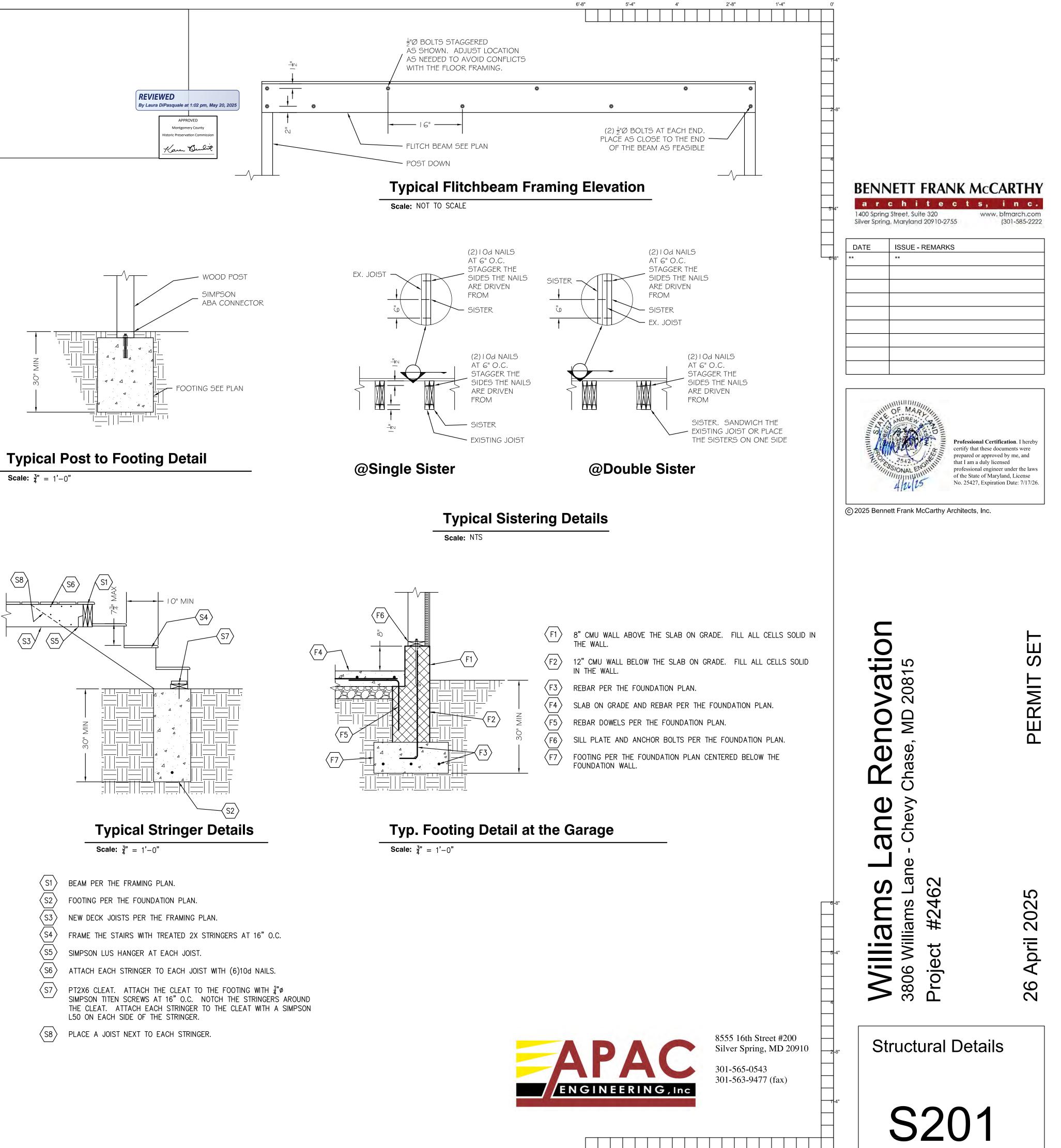




4 - 1 0		NEW EXTERIOR WALL	
		(4) I Od NAILS	
			ي MIN ۱۱. W
Dead Loads:		2XG RAFTERS AT EACH STUD	
SPF #2 - ½ Decking - ¾" Decking -	25 PCF 1.7 PSF 2.5 PSF		
Asphalt Shingles -	2.5 PSF	→ 24" MAX →	
Slate Shingles -	15 PSF		
½" Drywall - Insulation -	2.2 PSF 1.5 PSF		
Insulation - Siding -	2.0 PSF		∇_{μ}
CMU -	87 PCF	V	
Brick -	130 PCF		
LIVE LOADS:	T	ypical Details at Decorative Eave	Typ. Slab
DECK:	40F3F	Jpiear Detaile at Decorative Lave	i ypi eiao
ATTIC:	20PSF	cale: $\frac{3}{4}$ = 1'-0"	Scale: $\frac{3^{"}}{4} = 1' - 0"$
FLOOR:		4 = 1 = 0	4 = 1 = 0
BALCONY	60PSF		
BEDROOM ROOF:	40PSF 30PSF		
WIND LOADS	301 31	NO HOLE SHALL BE	
WIND SPEED:	Vult = 115mph; Vasd = 89mph	PLACED WITHIN 24"	
WIND LOAD IMPORTANCE FACTOR:	1.0	OF A SUPPORT POST	
WIND EXPOSURE FACTOR:	B	OR COLUMN \geq	
WIND DESIGN PRESSURE:	11PSF	IVI BEAM OR DIMENSIONAL	
SNOW LOADS:			
GROUND SNOW LOAD (PG):	30PSF		
FLAT ROOF SNOW LOAD(PF):	30PSF	LUMBER JOIST OR BEAM $\left\langle \begin{array}{c} z \\ z \\ z \end{array} \right\rangle$	
SNOW EXPOSURE FACTOR (CE):	0.9		I
SNOW IMPORTANCE FACTOR (I):	1.0		
Deflection Limitations:	1/240		
Rafters: Interior Walls and Partitions:	L/240 H/180	\leq \downarrow $()$ \uparrow \leq	
Floors and Plastered Ceilings:	L/360		
All Other Structural Members:	L/240	7" MAXIMUM HOLE	
Ext. Walls with plaster or stucco finishes:	L/360		
Ext. Walls - Wind Loads with Brittle Finishes:	L/240	$\begin{array}{c} \qquad \qquad$	
Ext. walls - Wind Loads with Flexible Finishes:	L/120		
<u>SEISMIC DESIGN DATA:</u>		Ξ 2X12 OR 11 Z " LUMBER.	NEW
SEISMIC IMPORTANCE FACTOR (Ie): SPECTRAL RESPONSE ACCELERATIONS:	1.0	≥ 42 [⊥] Ø MAXIMUM DIAMETER = 2XIO SIZED LUMBER	
(Ss):	20.0%	3₂"Ø MAXIMUM DIAMETER	n Ty
(S1):	8.0%	2X8 SIZE LUMBER	- 71
SPECTRAL RESPONSE COEFFICIENTS:		3"Ø MAXIMUM DIAMETER II	Scale
(Sds):	33%	2X6 SIZE LUMBER	Cource
	18.7%		
SEISMIC DESIGN CATEGORY: SEISMIC SITE CLASSIFICATION:	B D	Typical Detail at Holes in LVL's or	
SEISMIC STE CLASSIFICATION: SEISMIC COEFFICIENT (Cs):	0.05		
	6.5	Dimensional Lumber Beams or Joists	
SEISMIC MODIFICATION FACTOR (R)			
. ,			
SEISMIC MODIFICATION FACTOR (R): BASE SHEAR: ANALYSIS PROCEDURE:	2.8k EQUIV. LATERAL FORCE	Scale: NOT TO SCALE	-







5'-4"

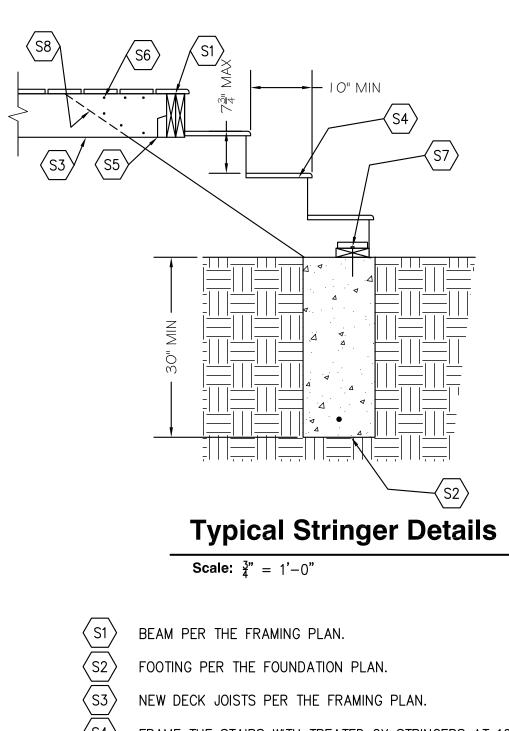
4'

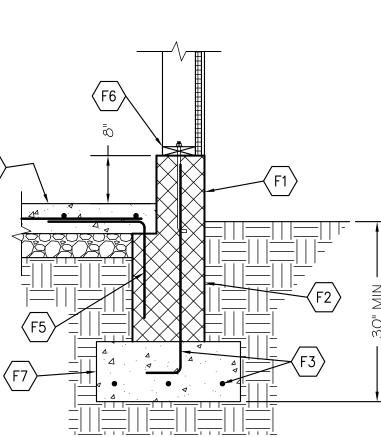
6'-8"

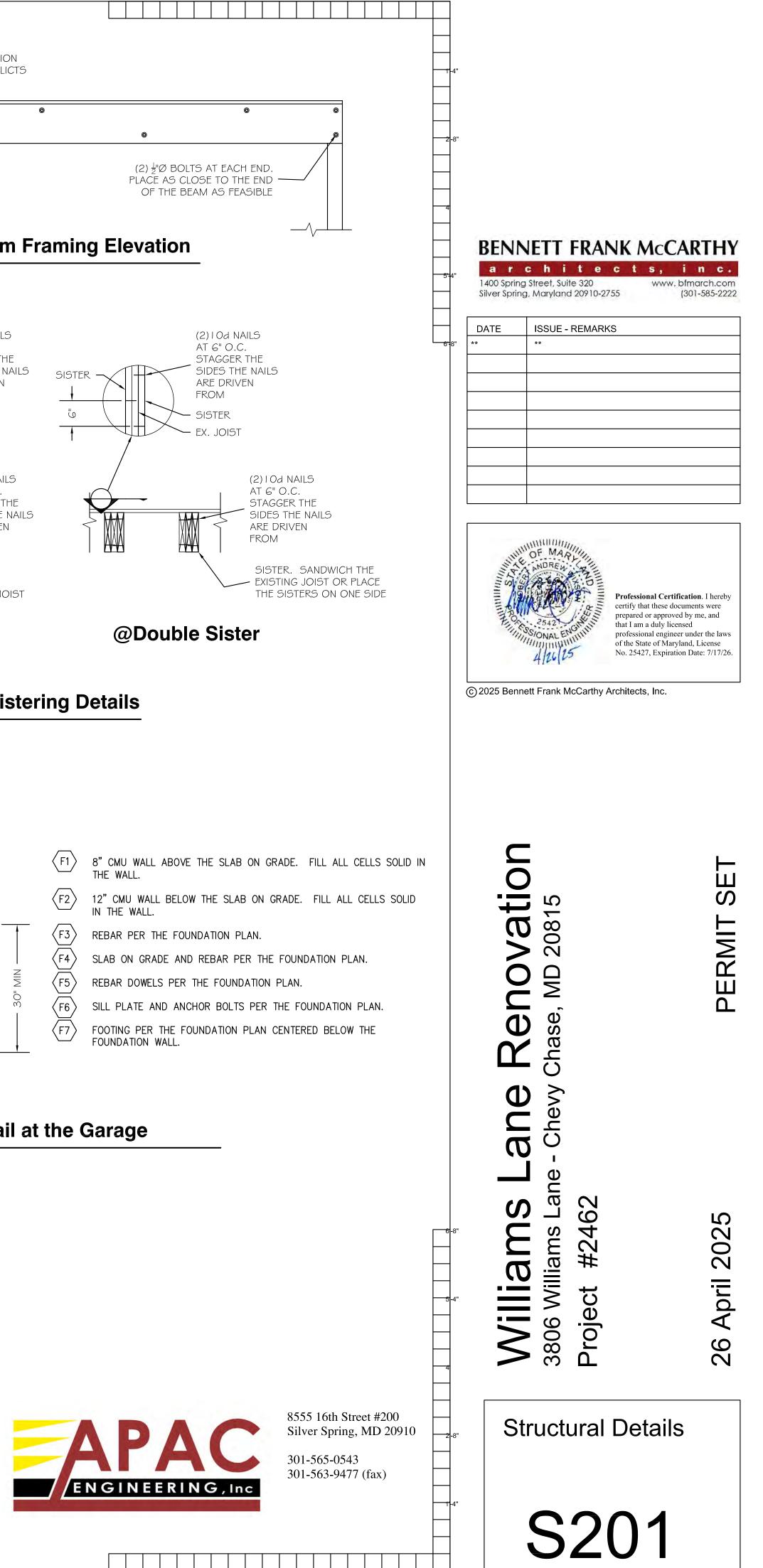
2'-8"

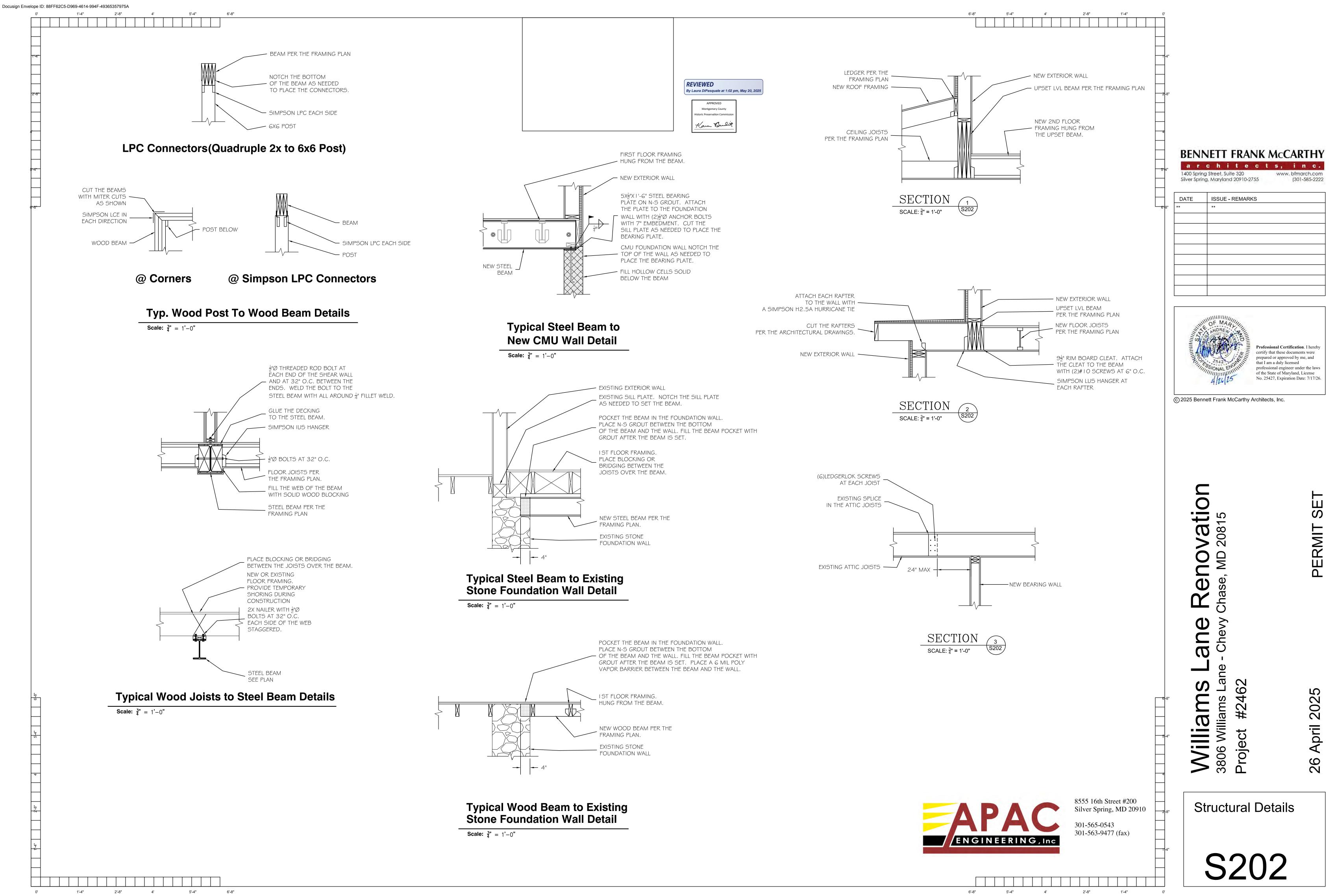
1'-4"

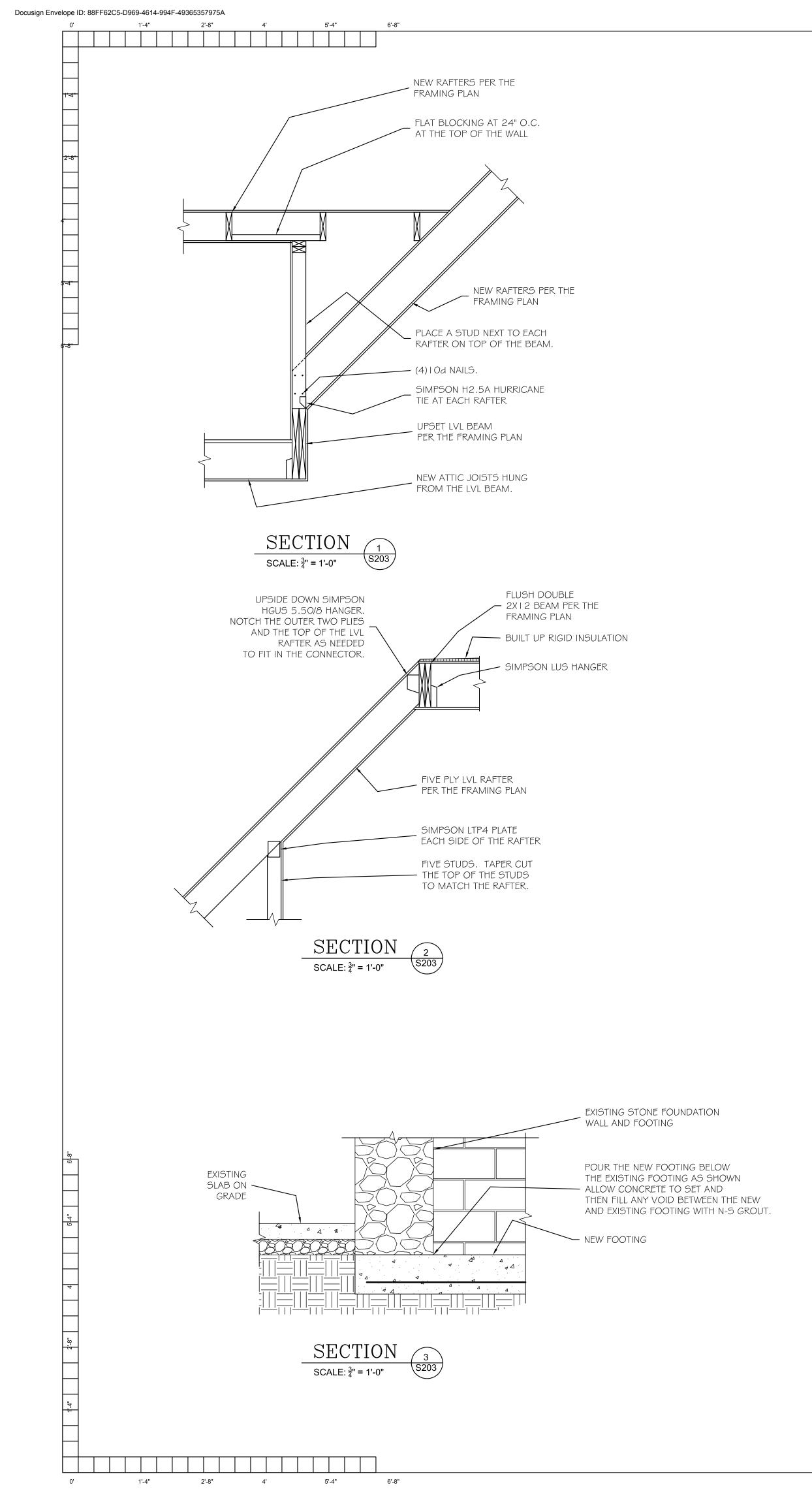










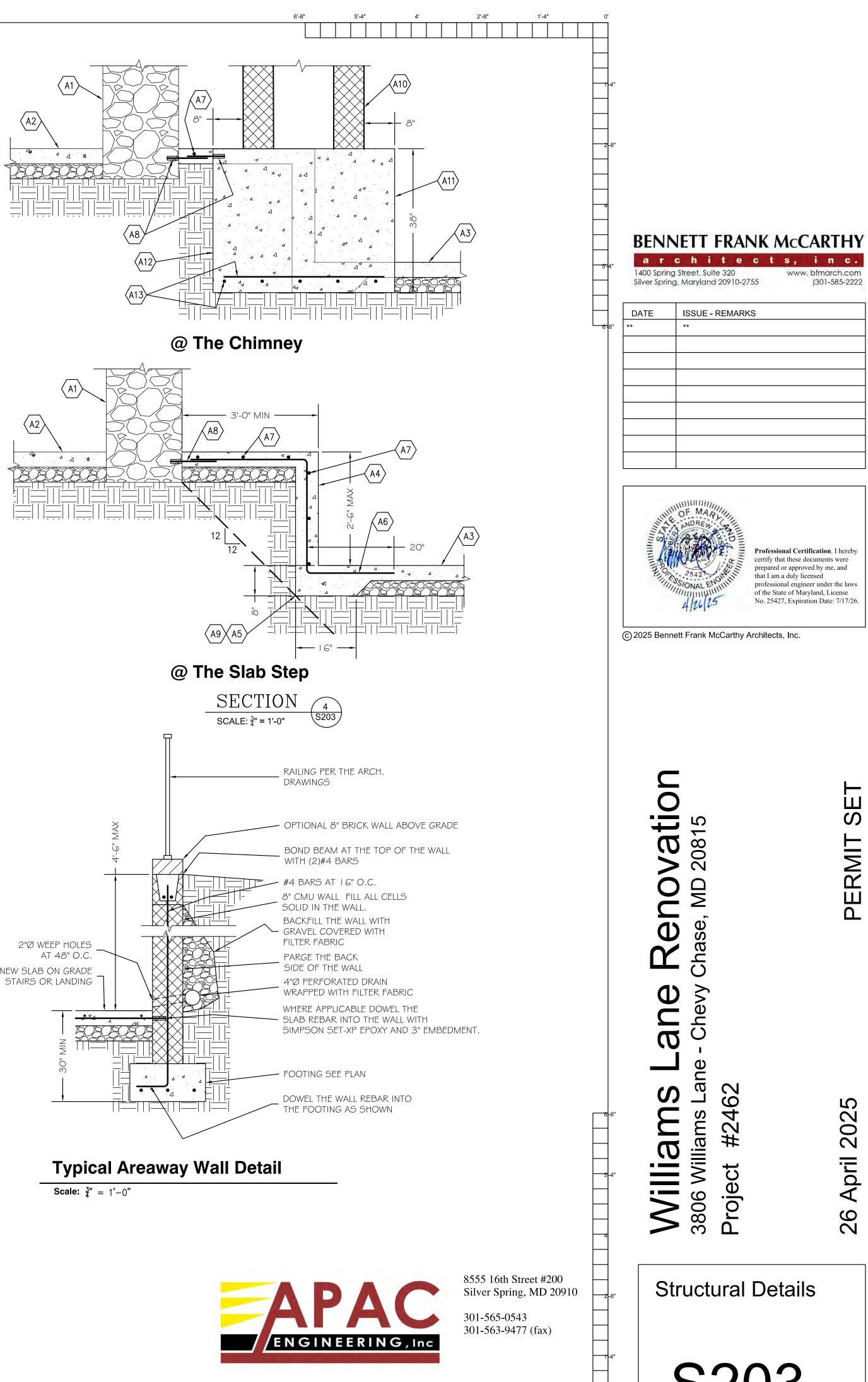


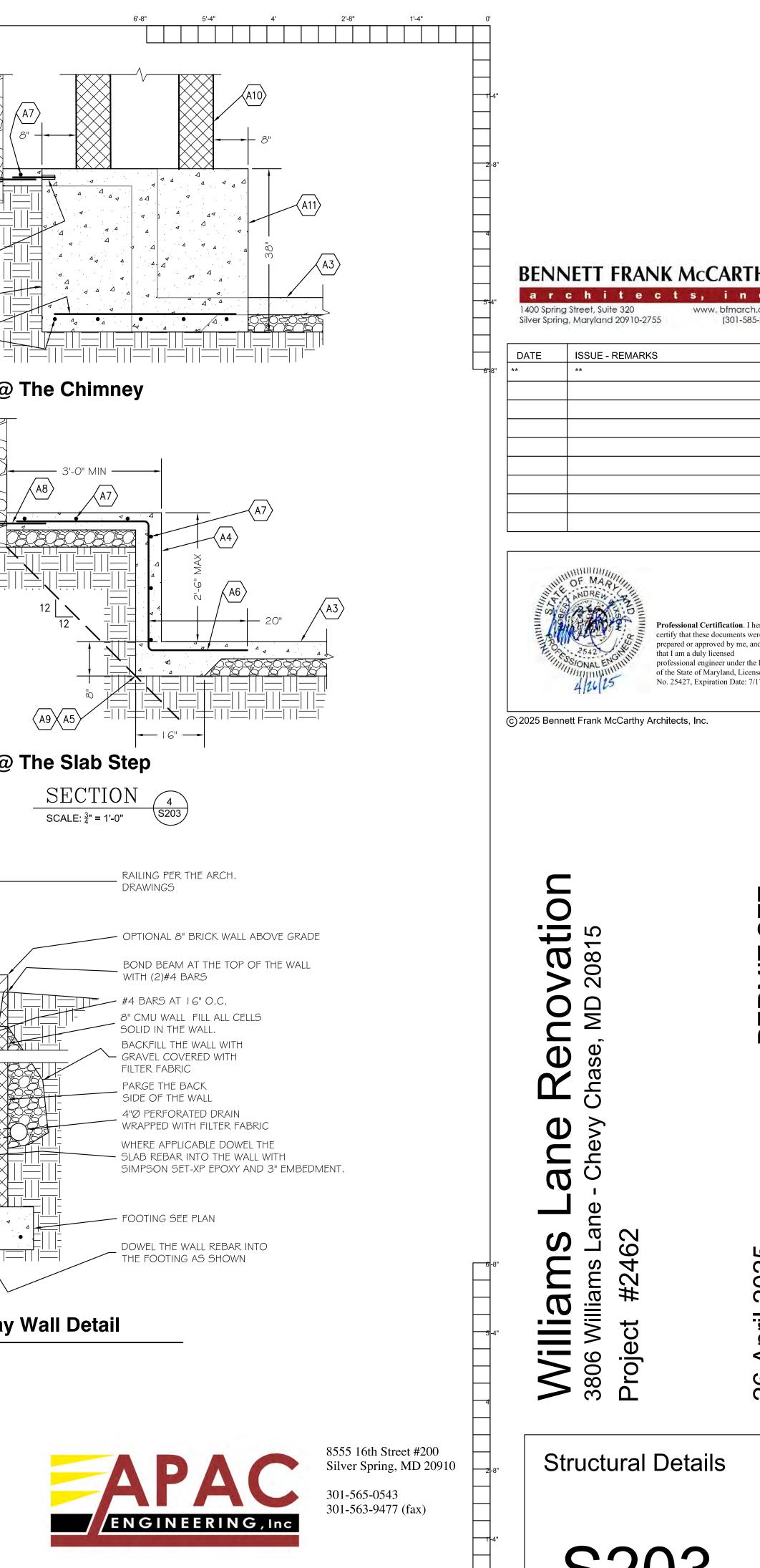
EVIEWED Laura DiPasquale at 1:02 pi	m, May 20, 2025
APPROVED Montgomery County Historic Preservation Commission Kann Burlit	

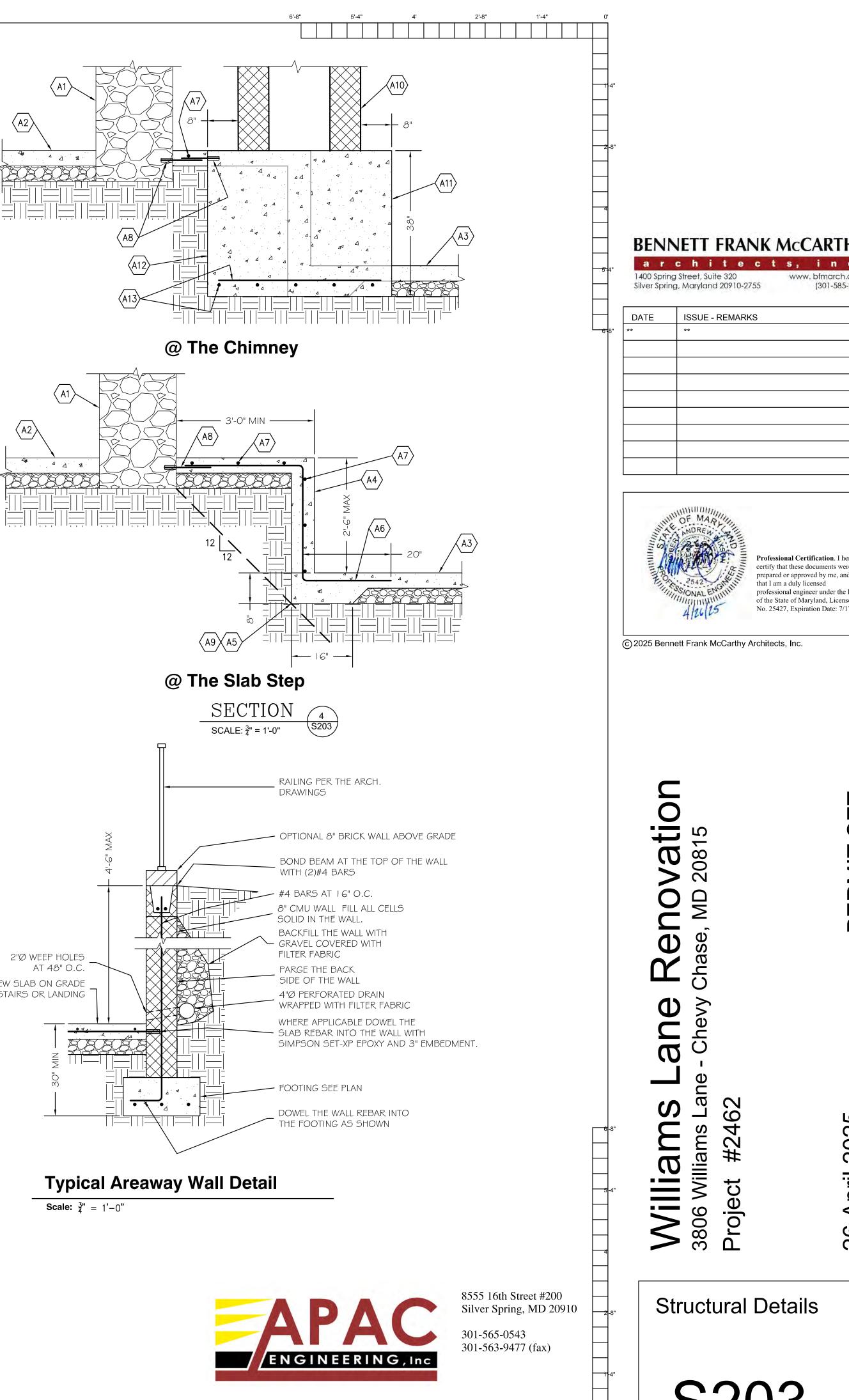
- EXISTING FOUNDATION WALL AND FOOTING. PROVIDE TEMPORARY SHORING FOR THE WALL DURING CONSTRUCTION.

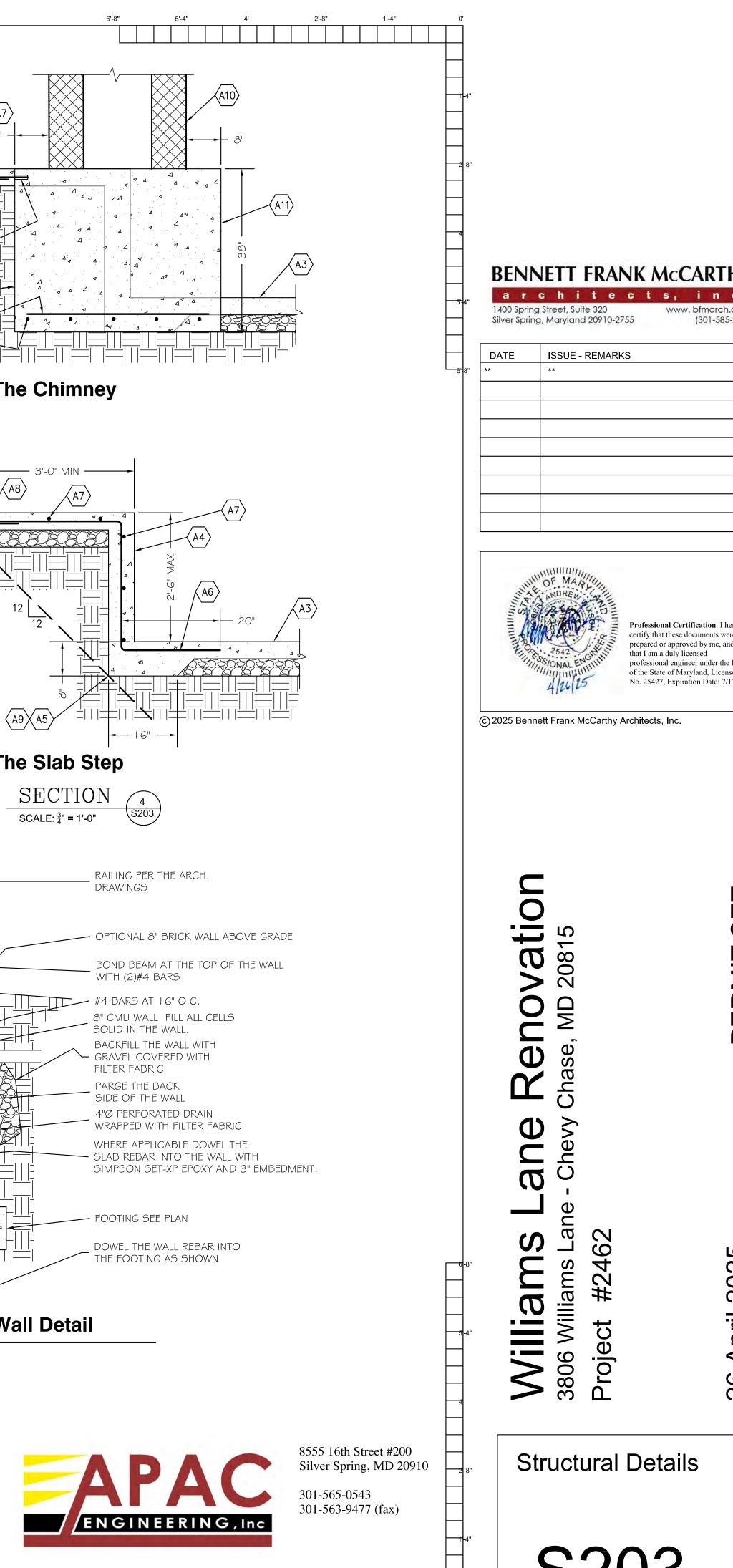
- LEFT OF THE DASHED LINE. FIELD DETERMINE THE EXACT LOCATION OF THE INTERSECTION.

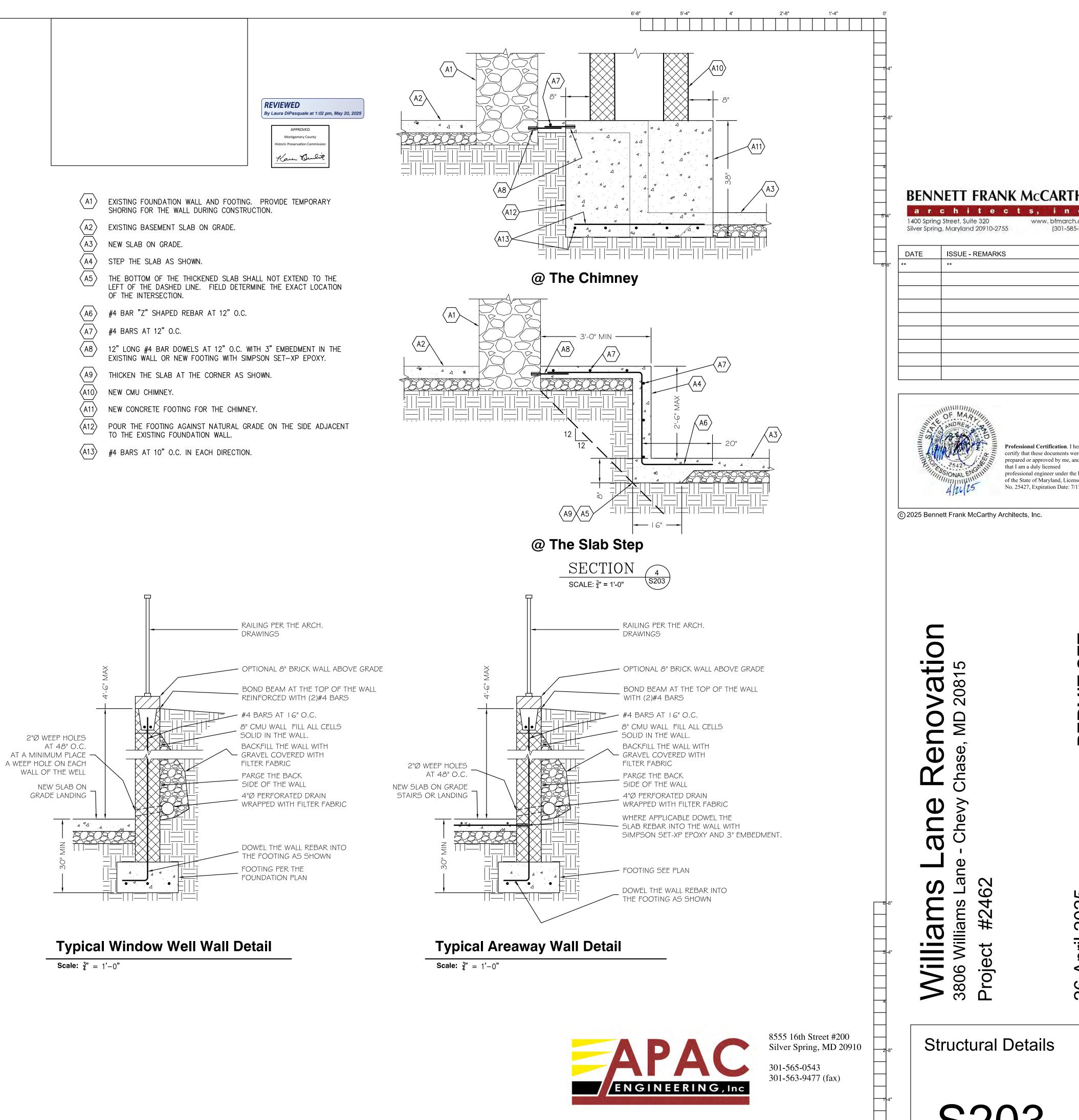
- EXISTING WALL OR NEW FOOTING WITH SIMPSON SET-XP EPOXY.
- NEW CMU CHIMNEY.
- NEW CONCRETE FOOTING FOR THE CHIMNEY.

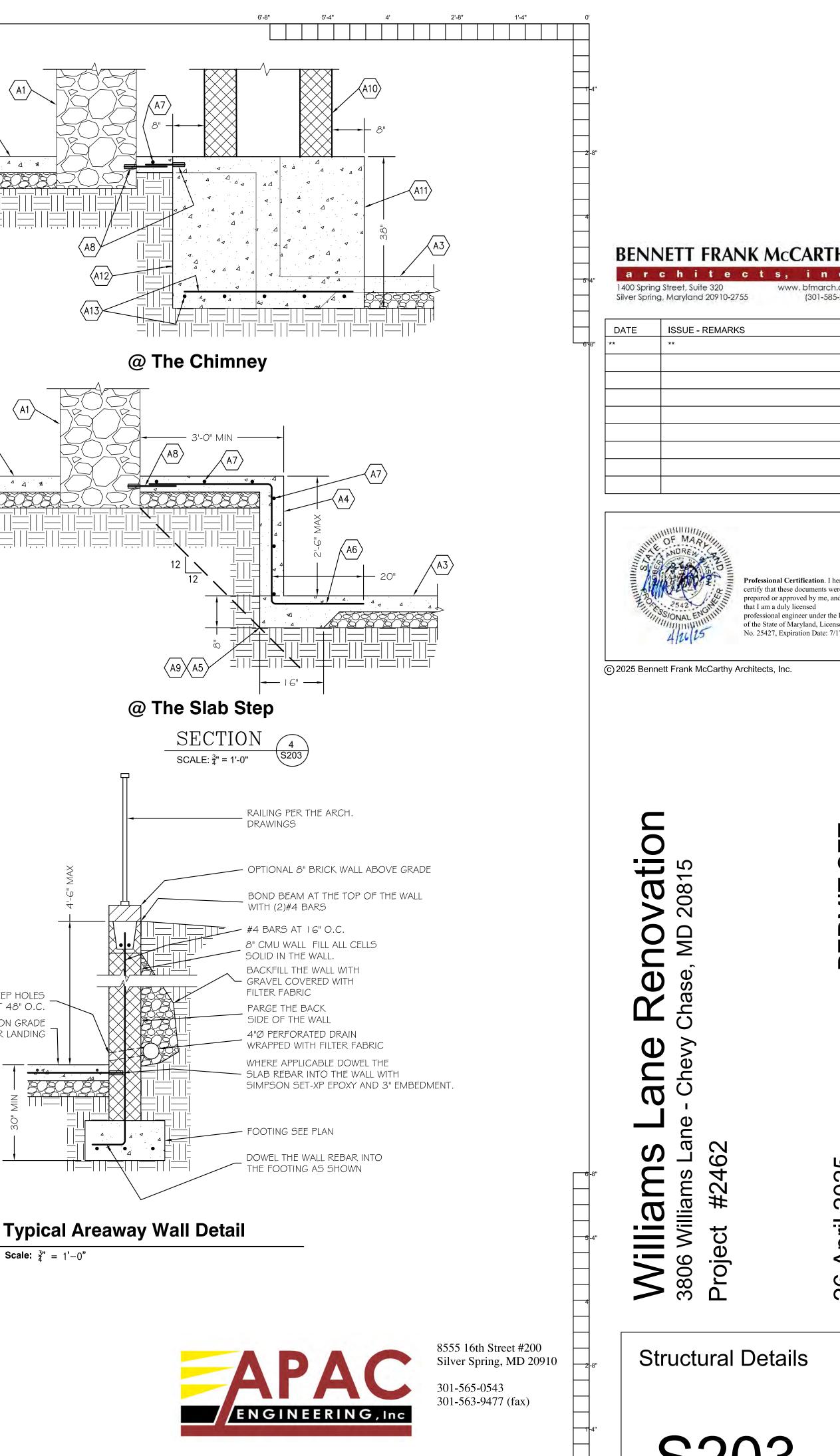


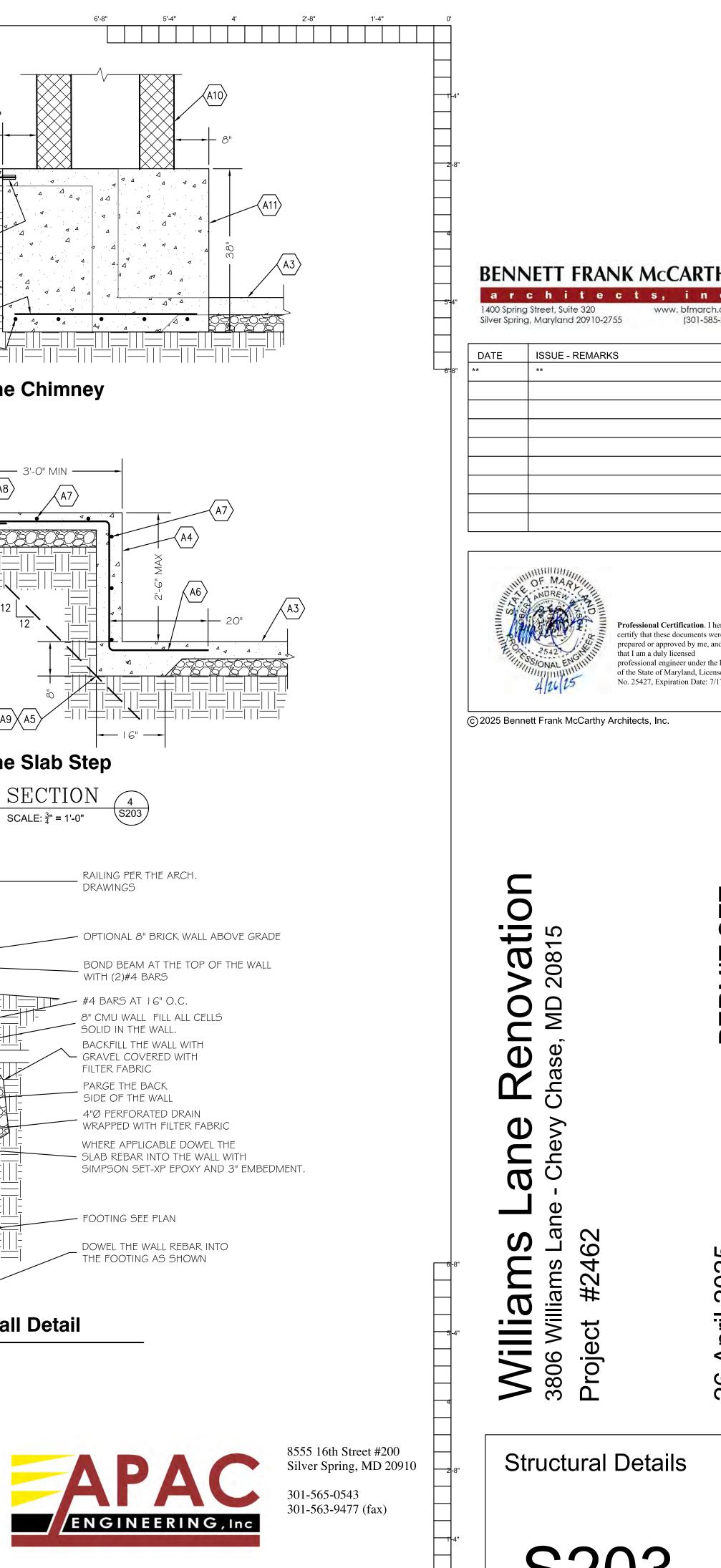








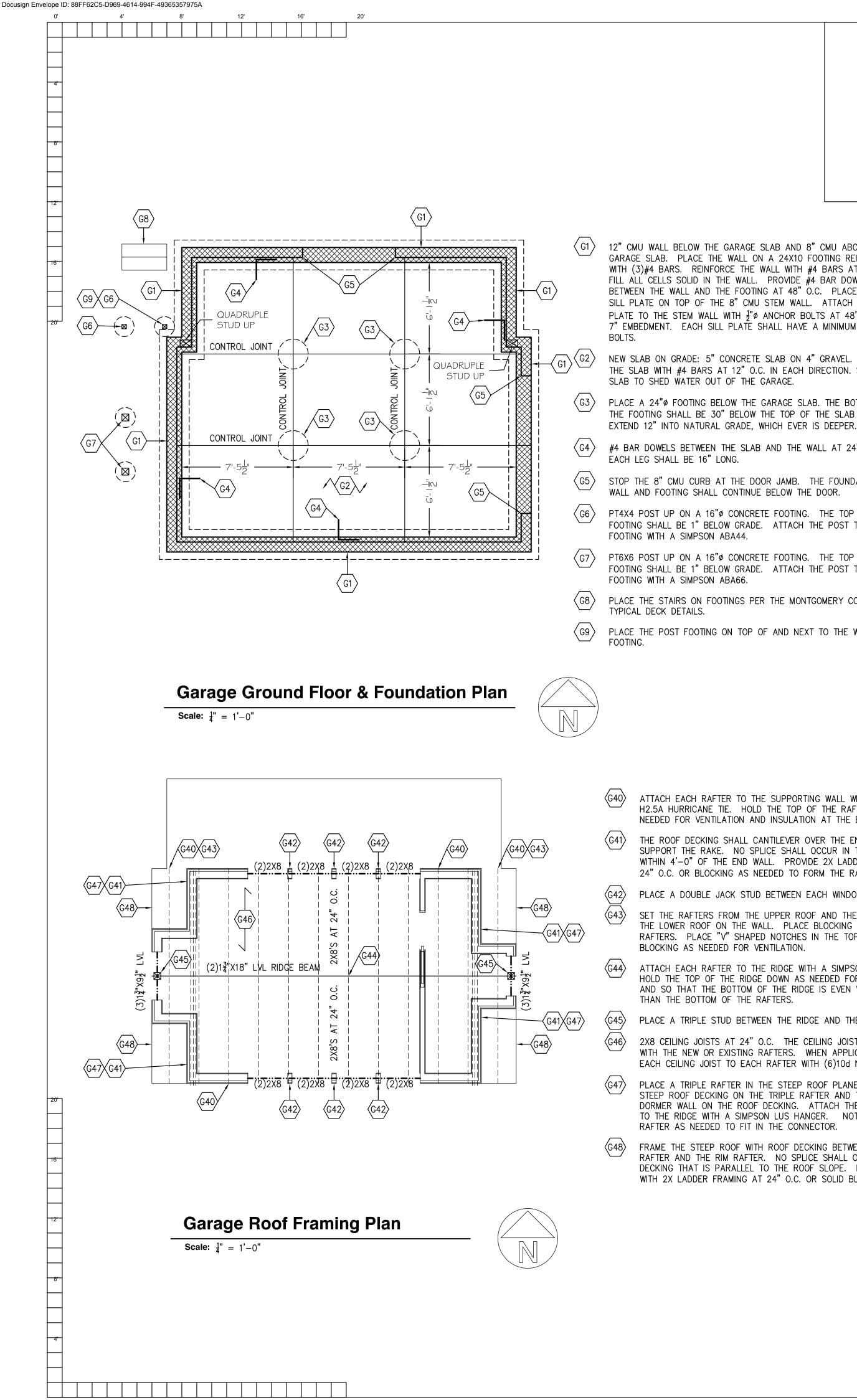




5'-4" 2'-8" 1'-4" 4'

6'-8"

S203



8'

4'

12'

16'

20'

12" CMU WALL BELOW THE GARAGE SLAB AND 8" CMU ABOVE THE GARAGE SLAB. PLACE THE WALL ON A 24X10 FOOTING REINFORCED WITH (3)#4 BARS. REINFORCE THE WALL WITH #4 BARS AT 48" O.C. FILL ALL CELLS SOLID IN THE WALL. PROVIDE #4 BAR DOWELS BETWEEN THE WALL AND THE FOOTING AT 48" O.C. PLACE A PT2X6 SILL PLATE ON TOP OF THE 8" CMU STEM WALL. ATTACH THE SILL PLATE TO THE STEM WALL WITH $\frac{1}{2}$ " ANCHOR BOLTS AT 48" O.C. WITH 7" EMBEDMENT. EACH SILL PLATE SHALL HAVE A MINIMUM OF TWO

NEW SLAB ON GRADE: 5" CONCRETE SLAB ON 4" GRAVEL. REINFORCE THE SLAB WITH #4 BARS AT 12" O.C. IN EACH DIRECTION. SLOPE THE

PLACE A 24"Ø FOOTING BELOW THE GARAGE SLAB. THE BOTTOM OF THE FOOTING SHALL BE 30" BELOW THE TOP OF THE SLAB OR

#4 BAR DOWELS BETWEEN THE SLAB AND THE WALL AT 24" O.C.

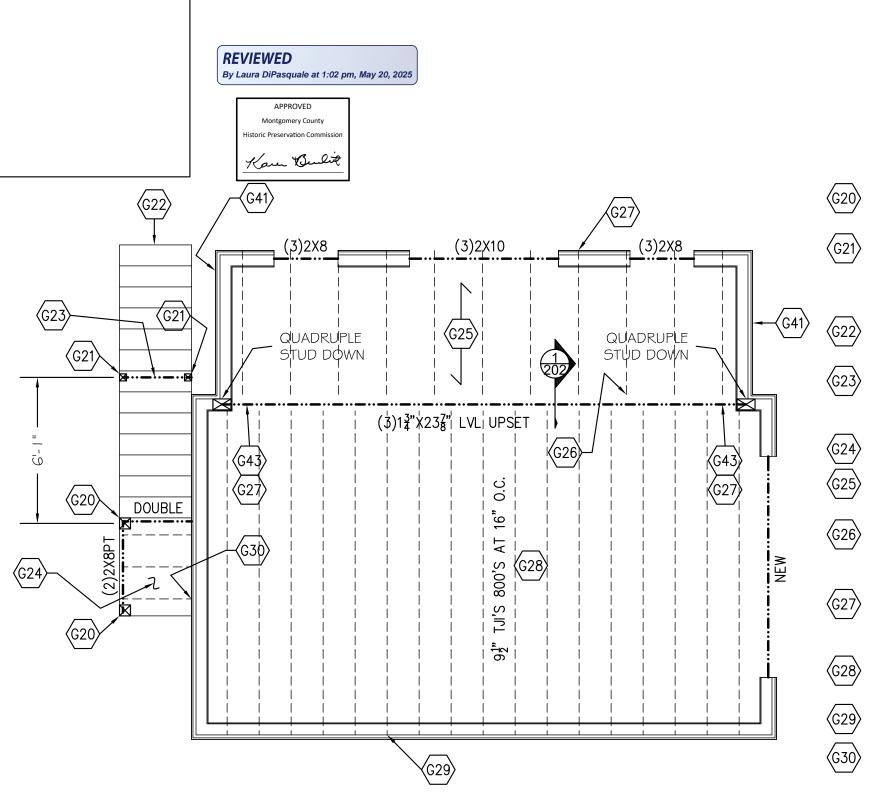
STOP THE 8" CMU CURB AT THE DOOR JAMB. THE FOUNDATION

PT4X4 POST UP ON A 16" CONCRETE FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE

PT6X6 POST UP ON A 16" CONCRETE FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE

PLACE THE STAIRS ON FOOTINGS PER THE MONTGOMERY COUNTY

PLACE THE POST FOOTING ON TOP OF AND NEXT TO THE WALL



Garage Upper Floor Framing Plan

Scale: $\frac{1}{4}$ " = 1'-0"



FRAMING NOTES:

- 1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
- 2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
- 3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND
- MULTIPLE STUDS. 4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF
- ¹/₂"ø BOLTS AT 16" O.C. STAGGERED. 5. EPOXY BOLTS SHALL BE SIMPSON "SET-XP". FOLLOW MANUFACTURES INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY UNLESS NOTED OTHERWISE.
- 6. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING AND PROPOSED STRUCTURAL ELEMENTS OF THE HOME
- 7. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS. 8. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
- 9. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN
- PINE #2. 10. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF
- 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT 11. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE
- JOIST AND THE HANGER. 12. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS. THE MORTAR, BRICKS AND BLOCKS SHALL
- MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL.
- 13. TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER. 14. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSSR.
- 15. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER. 16. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
- 17. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
- 18. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS16 ON EACH SIDE.
- 19. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX. 20. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
- 21. TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH
- BEAM AND THE HANGER. 22. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC . .
- 23. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT ARE PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE JOISTS BELOW THE WALLS AT 16" O.C.
- 24. ADD BLOCKING TO THE WEB OF ENGINEERED JOISTS AS NEEDED FOR HANGERS. CONNECTORS, STRAPS OR NAILING MULTIPLE MEMBERS TOGETHER.
- 25. ADD JOIST HANGERS TO ALL EXISTING FRAMING CONNECTIONS THAT ARE FOUND TO LACK THEM SUCH AS FRAMING AROUND PLUMBING STACKS, CHIMNEYS, OR THE EXISTING STAIRS.

- ATTACH EACH RAFTER TO THE SUPPORTING WALL WITH A SIMPSON H2.5A HURRICANE TIE. HOLD THE TOP OF THE RAFTERS UP AS NEEDED FOR VENTILATION AND INSULATION AT THE EAVE.
- THE ROOF DECKING SHALL CANTILEVER OVER THE END WALL TO SUPPORT THE RAKE. NO SPLICE SHALL OCCUR IN THE ROOF DECKING WITHIN 4'-0" OF THE END WALL. PROVIDE 2X LADDER FRAMING AT 24" O.C. OR BLOCKING AS NEEDED TO FORM THE RAKE DETAIL.
- PLACE A DOUBLE JACK STUD BETWEEN EACH WINDOW.
- SET THE RAFTERS FROM THE UPPER ROOF AND THE RAFTERS FROM THE LOWER ROOF ON THE WALL. PLACE BLOCKING BETWEEN THE RAFTERS. PLACE "V" SHAPED NOTCHES IN THE TOP OF THE
- ATTACH EACH RAFTER TO THE RIDGE WITH A SIMPSON LSSR HANGER. HOLD THE TOP OF THE RIDGE DOWN AS NEEDED FOR VENTILATION AND SO THAT THE BOTTOM OF THE RIDGE IS EVEN WITH OR DEEPER
- PLACE A TRIPLE STUD BETWEEN THE RIDGE AND THE HEADER BELOW.
- 2X8 CEILING JOISTS AT 24" O.C. THE CEILING JOISTS SHALL ALIGN WITH THE NEW OR EXISTING RAFTERS. WHEN APPLICABLE ATTACH EACH CEILING JOIST TO EACH RAFTER WITH (6)10d NAILS.
- PLACE A TRIPLE RAFTER IN THE STEEP ROOF PLANE. PLACE THE STEEP ROOF DECKING ON THE TRIPLE RAFTER AND THEN BUILD THE DORMER WALL ON THE ROOF DECKING. ATTACH THE TRIPLE RAFTER TO THE RIDGE WITH A SIMPSON LUS HANGER. NOTCH THE TRIPLE RAFTER AS NEEDED TO FIT IN THE CONNECTOR.
- FRAME THE STEEP ROOF WITH ROOF DECKING BETWEEN THE TRIPLE RAFTER AND THE RIM RAFTER. NO SPLICE SHALL OCCUR IN THE DECKING THAT IS PARALLEL TO THE ROOF SLOPE. FORM THE RAKE WITH 2X LADDER FRAMING AT 24" O.C. OR SOLID BLOCKING.

PT6X6 POST DOWN. ATTACH THE DECK FRAMING WITH A SIMPSON LCE IN EACH DIRECTION.

PT4X4 POST DOWN. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC4 ON EACH SIDE OF THE BEAM. PLACE DIAGONAL BRACING BETWEEN THE POST AND THE BEAM PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.

FRAME THE STAIRS PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.

DROPPED DOUBLE 2X8PT BEAM. NOTCH THE STRINGERS AND PLACE THEM ON THE BEAM. ATTACH EACH STRINGER TO THE BEAM WITH A SIMPSON H2.5A HURRICANE TIE.

FRAME THE LANDING WITH PT2X8 JOISTS AT 16" O.C.

FRAME THE ROOF WITH 2X8 RAFTERS AND 2X6 CEILING JOISTS AT 24"

2X8 LEDGER FOR THE ROOF. ATTACH THE LEDGER TO EACH WALL STUD WITH (2)LEDGERLOK SCREWS. ATTACH EACH RAFTER TO THE LEDGER WITH A SIMPSON LSSR HANGER.

ATTACH EACH RAFTER THE WALL WITH A SIMPSON H2.5A HURRICANE TIE. HOLD THE TOP OF THE RAFTERS UP AS NEEDED FOR INSULATION AND VENTILATION.

PLACE BLOCKING BETWEEN THE JOISTS AT THE MID-POINT OF THE SPAN.

DECORATIVE EAVE PER THE TYPICAL DETAIL.

PT2X8 LEDGER. ATTACH THE LEDGER TO THE RIM BOARD WITH $\frac{1}{2}$ " ϕ THRU BOLTS AT 16" O.C. TOP AND BOTTOM STAGGERED. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. ATTACH EACH RIM JOIST TO THE LEDGER WITH A SIMPSON HUC CONCEALED FLANGE HANGER. PLACE FLASHING PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.

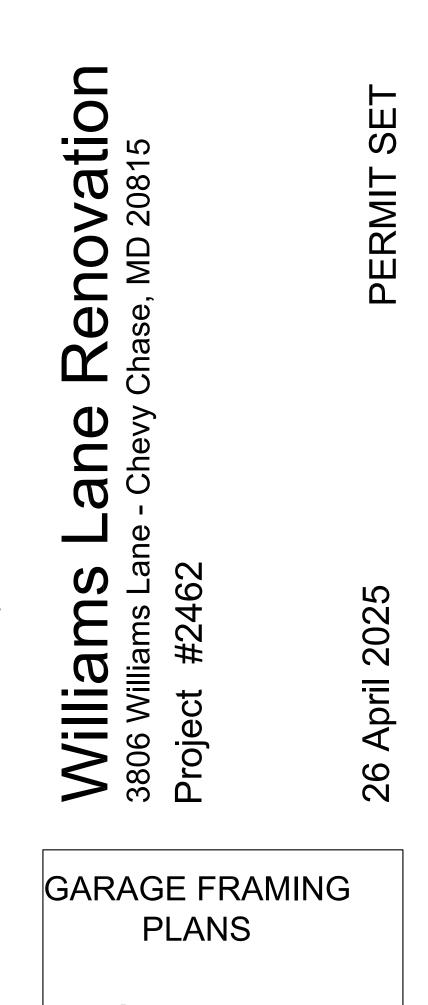
BENNETT FRANK McCARTHY	BENN	NETT	FRANK	McCARTH	Y
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1 400 S Silver S							755		www			h.coi 5-22
DATE		I	SSU	IE -	REN	ЛAR	KS					
**		*	*									



rofessional Certification. I hereb certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 25427, Expiration Date: 7/17/26.

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16'

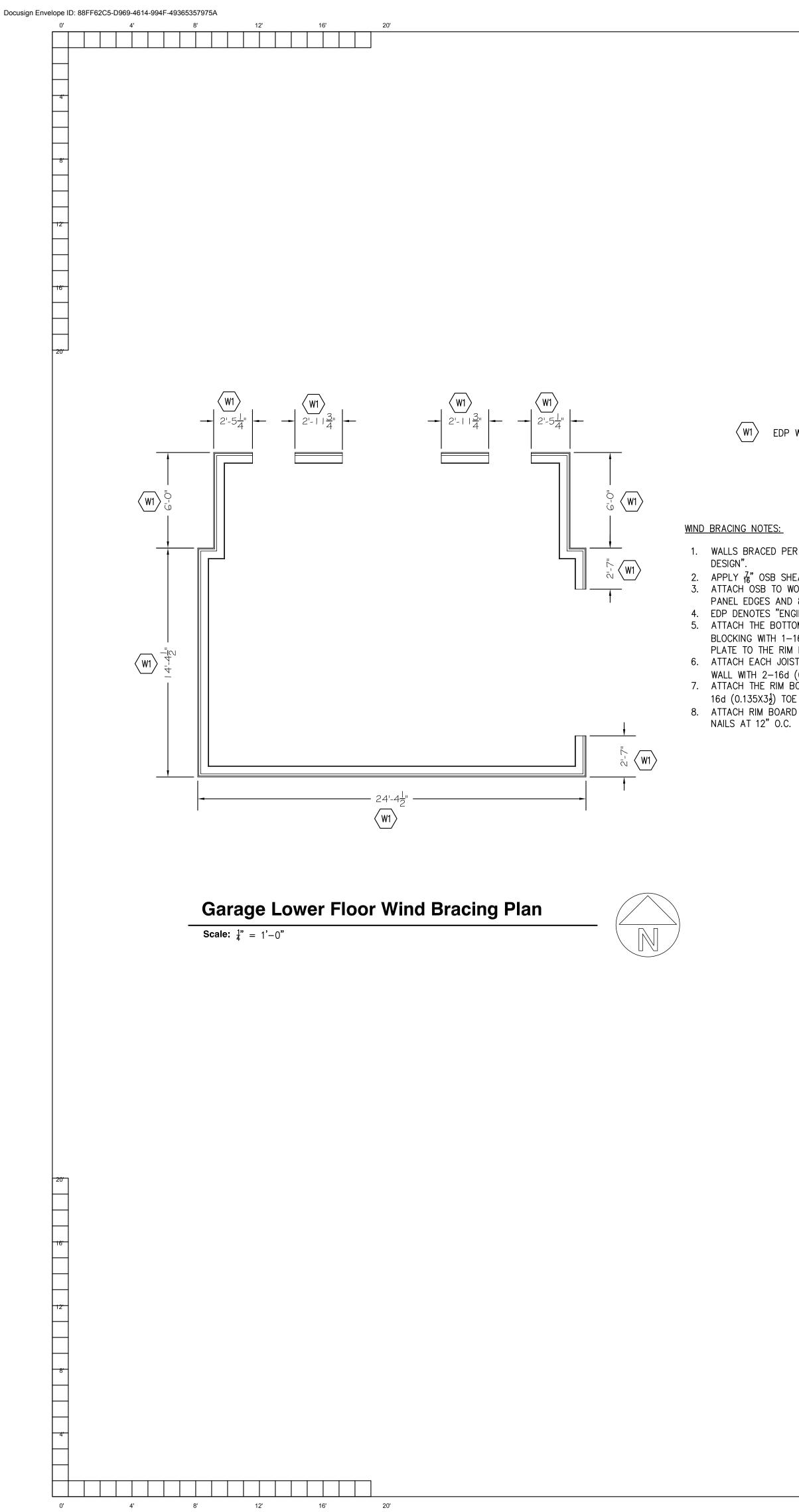
20'

Silver Spring, MD 20910 301-565-0543 301-563-9477 (fax)

4'

8555 16th Street #200

8'



 EVIEWED Laura DiPasquale at 1:02 pi	m, May 20, 2025
APPROVED Montgomery County Historic Preservation Commission Karen Burlit	

 $\langle W1 \rangle$ EDP WIND BRACING PANEL.

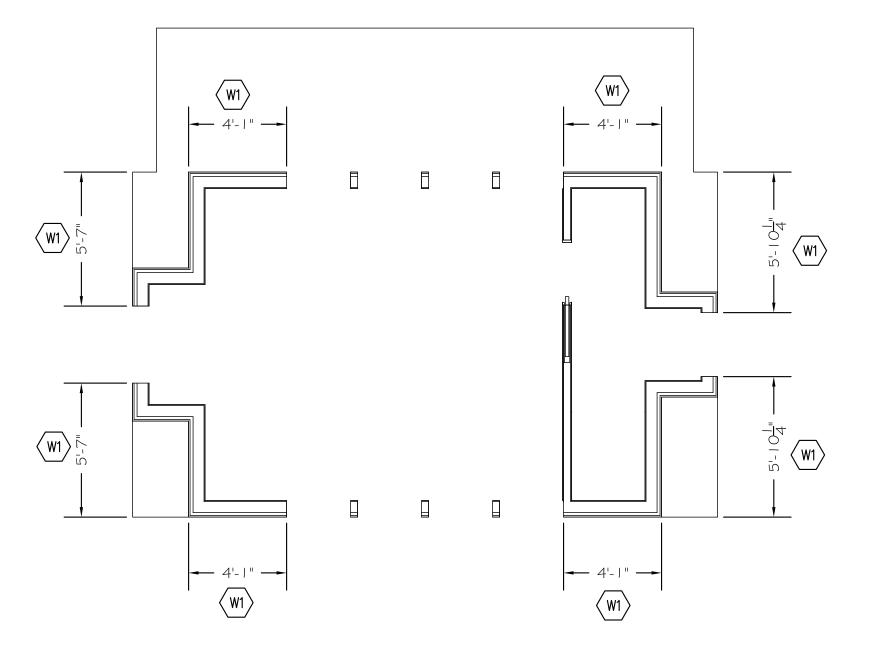
1. WALLS BRACED PER IRC R602.10 AND R301.1.3 "ENGINEERED

2. APPLY $\frac{7}{16}$ " OSB SHEATHING TO ALL EXTERIOR WALLS. 3. ATTACH OSB TO WOOD FRAMING WITH 8d NAILS AT 4" O.C. AT PANEL EDGES AND 8" O.C. ELSEWHERE.

4. EDP DENOTES "ENGINEERED DESIGNED PANEL".

5. ATTACH THE BOTTOM PLATE OF THE WALL TO THE JOISTS OR BLOCKING WITH 1–16d $(0.135 \times 3\frac{1}{2})$ NAIL. ATTACH THE BOTTOM PLATE TO THE RIM BOARD WITH 16d NAILS AT 12" O.C. 6. ATTACH EACH JOIST AND RAFTER TO THE TOP PLATE OF THE

WALL WITH 2–16d (0.135X3 $_2^1$) TOE NAILS. 7. ATTACH THE RIM BOARD TO THE TOP PLATE OF THE WALL WITH 16d $(0.135 \times 3\frac{1}{2})$ TOE NAILS AT 12" O.C. 8. ATTACH RIM BOARD TO SILL PLATE WITH 16d $(0.135X3^{1}_{2})$ TOE



Garage Upper Floor Wind Bracing Plan

Scale: $\frac{1}{4}$ = 1'-0"



 $\mathbb{N}^{\mathbb{I}}$

20' 16' 12' 8' 4'

BENNETT FRANK McCARTHY

1400 Sprin	ng Street, Suite 320 www. bfmarch.c
Silver Spri	ng, Maryland 20910-2755 (301-585-2
DATE	ISSUE - REMARKS
**	**



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 25427, Expiration Date: 7/17/26.

© 2025 Bennett Frank McCarthy Architects, Inc.

Renovation Chase, MD 20815 PERMIT SET ane Chevy Lane WilliamS 3806 Williams Lan Project #2462 26 April 2025

GARAGE WIND BRACING PLANS

S301





16'

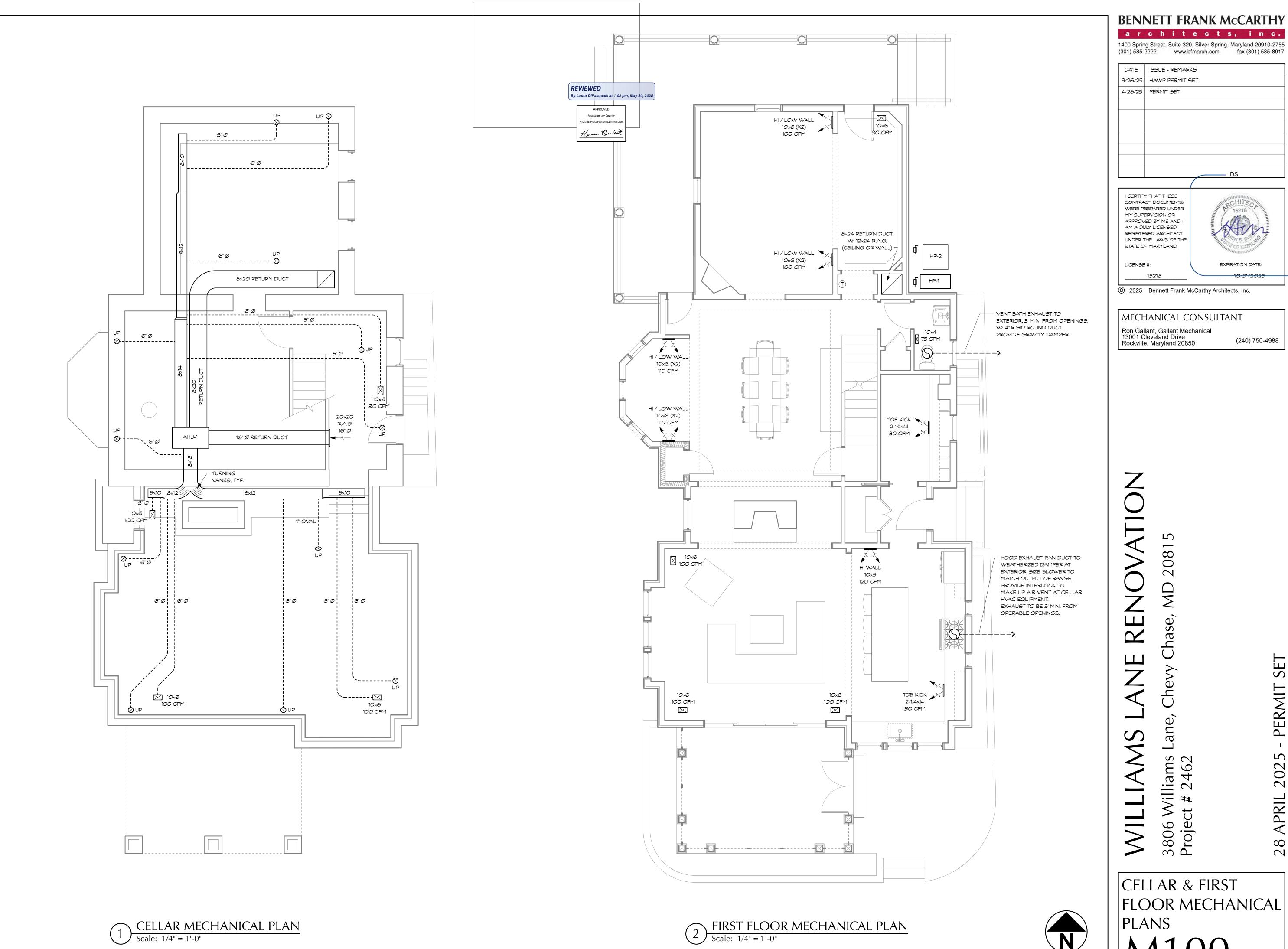
12'

20'

8555 16th Street #200 Silver Spring, MD 20910 301-565-0543 301-563-9477 (fax)

8'

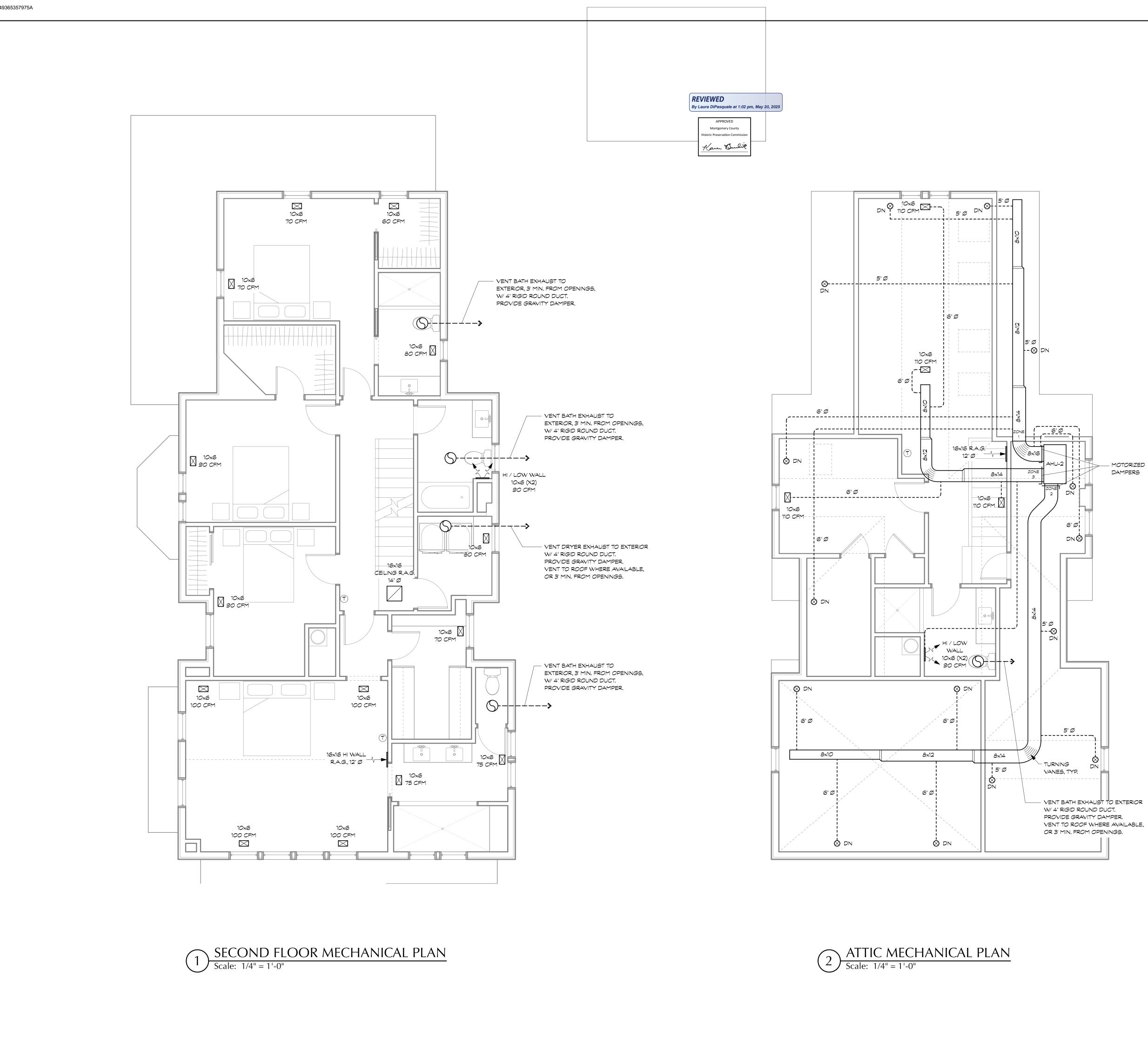
4'





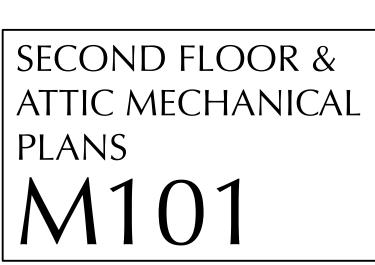
CELLAR & FIRST FLOOR MECHANICAL PLANS M100

- DS I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE: LICENSE #: 15218 10/31/2025 © 2025 Bennett Frank McCarthy Architects, Inc. MECHANICAL CONSULTANT Ron Gallant, Gallant Mechanical 13001 Cleveland Drive Rockville, Maryland 20850 (240) 750-4988 20815 MD hase, SET Chevy PERMIT e, an 2025 Williams ct # 2462 APRIL 3806 W Project 28



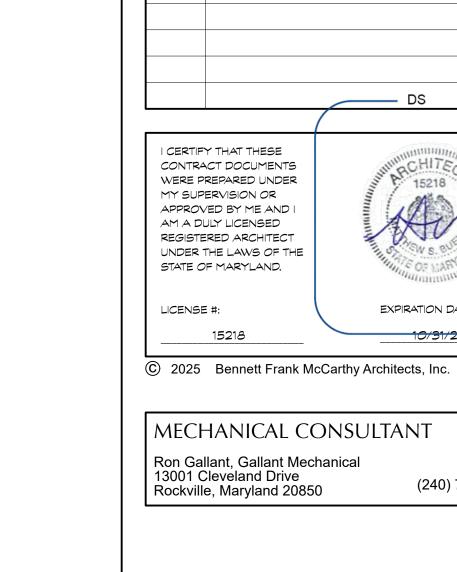


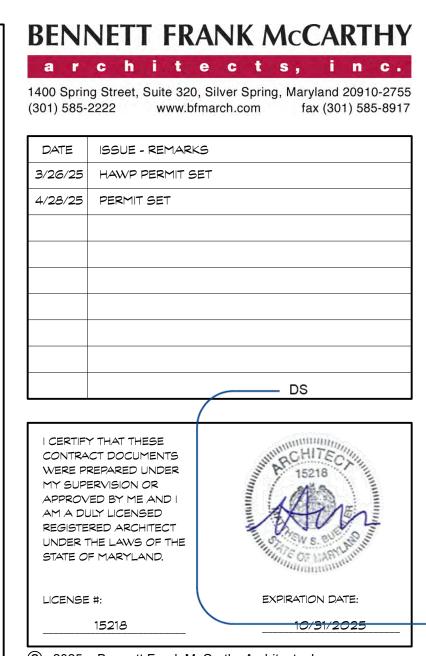












(240) 750-4988

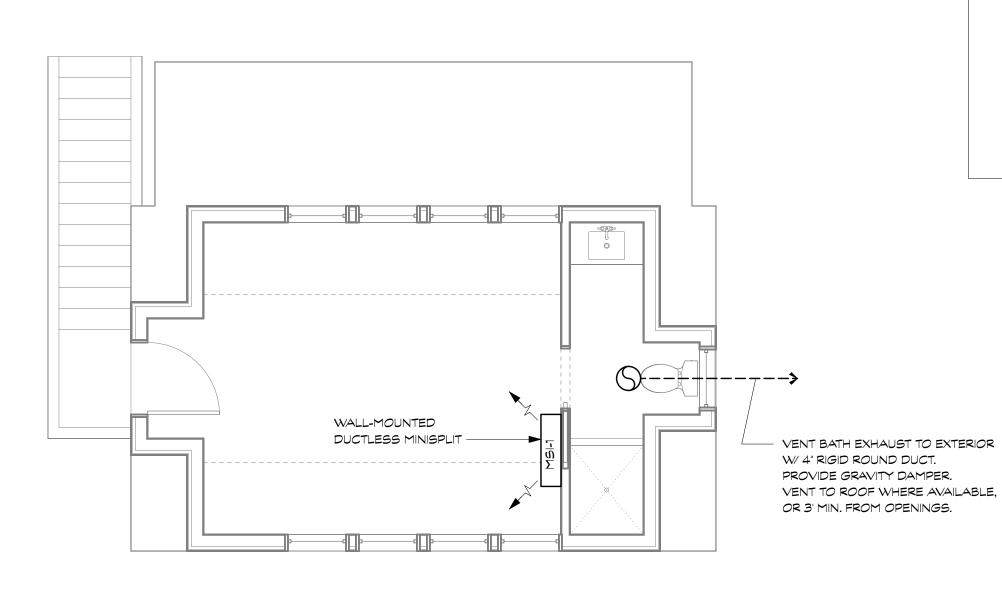
SET

PERMIT

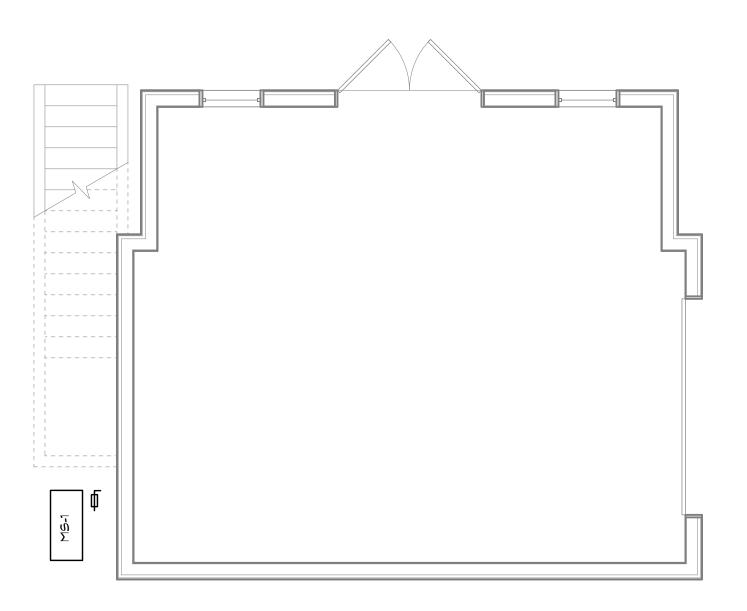
2025

APRIL

28







(1) GARAGE MECHANICAL PLAN - GROUND FLOORScale: 1/4" = 1'-0"

							MECHANI	CAL SCHEDULE								
				INDOOR AHU	l						C	OUTDOOR CO	NDENSER			
ZONE SERVED	LOCATED	TAG	MAKE/MODEL	HEATER KIT	NOM SIZE	V/PH/HZ	MCA	FUSE/BREAKER	TAG	LOCATED	MAKE/MODEL	NOM SIZE	V/PH/HZ	MCA	FUSE/BREAKER	SEER2
	CELLAR	AHU 1	DAIKIN CAPEA6030		60 KBTU/H	208 220/1/60	11 4 4	15 A	HP 1	PER PLAN	DAIKIN		208-230/1/60		40 A	16.5
CELLAR 1ST FL	CELLAR			FURNACE DR97MC080	80KBTU/H	208-230/1/60	208-230/1/60 11.4 A	11.4 A 15 A	HF I	PERPLAN	DH7VSA42	42 KBTU/H	208-230/1/60	37.5 A	40 A	10.5
STUDIO/LOFT	STUDIO	MSI 1	DAIKIN RXB09AXVJU	N/A	9 KBTU	INDOOR UNIT PO	WERED FROM	OUTDOOR UNIT	MS 1	PER PLAN	DAIKIN FTXB09AXVJU	9 KBTU/H	208-230/1/60	7.0	15 A	SEER 17
2ND FL ATTIC	2ND FL	AHU 2	DAIKIN DMVT60DP1300		60 KBTU/H	208-230/1/60	83 6 A	90 A	HP 2	PER PLAN	DAIKIN	60 KBTU/H	208-230/1/60	34.5	60 A	16
ZNDTEATIC	ZNDTL	A10 2		HKTS*15X1	15 KW	200 200/1/00	208-230/1/60 83.6 A 90 A		117 2		DH5SEA6010	00 (10/11	200 200/1/00	54.5	00 A	10

NOTES:

1. LINE SETS SHALL BE SIZED ACCORDING TO MANUFACTURERS REQUIREMENTS

2. ALL CONDENSATE LINES TO BE PITCHED DOWNWARD AWAY FROM INDOOR UNIT

3. OUTDOOR UNITS MUST HAVE LOCAL FUSED DISCONNECT

4. OUTDOOR UNITS SHALL NOT BE PLACED ON LUMBER, ONLY CONCRETE OR PREMANUFACTURERED PAD AND PUMP UPS/RISERS. 5. WALL MOUNTED THERMOSTAT TO BE 7 DAY PROGRAMMABLE

6. ALL OUTDOOR PORTIONS OF LINESET SHALL HAVE UV RATED WRAP OR PROTECTION IN ADDITION TO INSULATION

7. FOLLOW ALL MANUFACTURERS RECCOMENDATIONS / INSTALLATION INSTRUCTIONS

8. DAIKIN OR EQUAL WITH SAME UNIT MCA RATING AND NOMINAL SIZE AND HEAT OUTPUT

9. COORDINATE WITH ELECTRICIAN FOR ELECTRICAL BREAKER SIZING AND SERVICE DISCONNECTS

	VIEWED		
By	Laura DiPasquale at 1:02 pi	m, May 2	0, 2025
[APPROVED		
	Montgomery County		
	Historic Preservation Commission		
	Karen Dunlit		
SPF		\mathbf{O}	NS

<u>STECIFICATIONS</u> (CONTINUED FROM SP100)

DIVISION 15: PLUMBING / MECHANICAL

15.1	Plumbing: Contractor shall furnish and install complete domestic hot and cold copper waterpiping and PVC waste and vent system to new fixtures in	15.2.3
	accordance with all applicable codes, standards, and manufacturer's specifications. Water and waste lines to be tied into existing house system. Existing house waste to be modified as required by new construction.	15.2.4
	Condition and capacity of existing supply and drainage piping should be reviewed with recommendations for replacement/repair as necessary. All piping in finished areas shall be run in concealed spaces. Neither supply nor waste piping shall be installed anywhere it would limit headroom below 6'-8", without the expressed approval of the Owner.	15.2.5
15.1.1	Incoming service: Existing 1" service to remain. Provide 1.25" distribution pipe inside home.	15.2.6
15.1.2	Supply Piping: Hot and cold supply piping shall be type 'L' hard temper copper piping with wrought copper sweat fittings, 95-5 lead-free solder. Supply piping shall be insulated with min. R3, continuous foam pipe jacket insulation. Water service and supply shall be type 'K' copper with matching	
	fittings. Shut-off valves shall be provided at all fixtures. All exposed piping, couplings, valves and accessories shall be chrome plated unless noted otherwise. Copper piping shall be cleaned of all flux residue after installation is complete. Water hammer arrestors shall be provided at all valved appliances such as dishwashers and washing machines.	15.2.7
15.1.3	Sanitary lines and vent pipes shall be PVC (UNO). Primary (\geq 3 inch dia.) horizontal waste lines and stacks above and adjacent to primary common areas (DR/LR/FR) shall be cast iron for sound dampening. See Division 10 for acoustic accessories.	-
15.1.4	Pipe penetrations through partitions should not make rigid contact with framing of gypsum board. Provide resilient sealant around the perimeter opening where pipe passes through.	-
15.1.5	Hose Bibs: in locations as shown. Provide internal shut-offs.	_
15.1.6	Hot Water Heater: Provide new gas-fired tankless water heater (Rennai or equivalent).	-
15.1.7	Gas: Supply gas service/piping to all new gas appliances. Review gas service capacity and determine in advance if service size needs to be increased and include such increase in base bid.	-
15.1.8	Kitchen fixtures: Owner to provide, Contractor to install. Provide water via copper tubing supply with in-line filter and shut-off to main refrigerator for water / ice dispenser.	-
15.1.9	Primary bath fixtures (basins and faucets x2, toilet, shower head and controls, tub and controls). Owner to provide, Contractor to install. Provide membrane pan and tiled shower floor and curb, per Division 9.	- - 15.2.9
15.1.10	Second floor bath fixtures x2 (basin and faucet, toilet, tub, tub faucet, shower head and controls): Owner to provide, Contractor to install.	15.2.1
15.1.11	Attic bath fixtures (basin and faucet, toilet, shower head and controls): Owner to provide, Contractor to install.	15.2.1
15.1.12	Powder room fixtures (basin, faucet and toilet): Owner to provide, Contractor to install.	15.2.1
15.1.13	Lower level bath fixtures (basin, faucet, toilet, shower head and controls): Owner to provide, Contractor to install.	15.3
15.2	Mechanical	
	Remove all existing mechanical equipment and associated plumbing and ductwork for replacement.	15.0
15.2.1	Provide new heating and cooling equipment for entire house, per mechanical plans and equipment schedules. See drawings for equipment locations, sizing, and model numbers.	15.3.1
15.2.2	 All new mechanical equipment shall insulde the following: Air handler cabinet leakage shall be ≤ 2% of air flow. Programmable, WiFi enabled Touch Control Vibration isolation Back-up/emergency overflow pan drained to exterior. 	15.3.2
	 Provide balancing dampers in lieu of zone control as shown. Host pumps baving supplementary electric resistance host shall have. 	

Heat pumps having supplementary electric-resistance heat shall have

controls that, except during defrost, prevent supplemental heat operation when the heat pump compressor can meet the heating load.

2.3 Energy load calculations: See plans for load calculations.

2.4 Equipment to be installed in strict conformance with manufacturer's instructions.

.2.5 Warranties:

- 2 years on all parts and labor.
- 5 years on parts covered by Carrier; 10 years if registered on website within 90 days of installation.
- 10 years on compressor. Lifetime on heat exchanger.
- .6 Provide gravity flow PVC condensate drain lines. Condensate from systems > 90% efficient must discharge inside the conditioned envelope (i.e. laundry sink or sump) to avoid freezing at an external outfall. Include an auxiliary safety drain pan beneath fan coil unit in attic. Pan to contain float switch to cut off unit upon accumulation of water in pan.
- 2.7 Floor register equal to Lima 40, Selkirk 310 or Hart & Cooley 411. Wall and ceiling registers to be Hart & Cooley 661 (use H&C 821 in throw applications). Return grilles to be Tuttle and Bailey T-70. Registers located in damp areas notably bathrooms - shall be made of aluminum, not steel.
- 2.8 Ductwork to be galvanized steel fabricated and installed in conformance with ASHRAE GUIDE and ACCA Manual. Elbows in trunk ducts to be square-throated, square-back with turn vanes. Round branch ducts to be connected to trunk ducts using square-to-round
- take-off fittings. Maximum air velocity in the main duct and branches shall be 900 fpm and 600 fpm respectively.
- All duct joints, seams, and connections are to be sealed to SMACNA Class A regardless of pressure class.
- Total duct leakage shall be ≤ 8 cfm per 100 square feet with air handler installed. Lining only as shown. Internal duct insulation/lining shall be NOT be used on
- any supply ductwork. All returns shall be lined though the second bend away from air handler unit. Flexible pre-insulated branch ducts may be used in attic as shown. Use
- flexible duct connections to the air handler. All ductwork in unconditioned spaces shall be insulated and sealed in foilcoated (to inhibit condensation) fiberglass blanket insulation (min R8). Ductwork shall NOT be installed anywhere it would limit headroom below 6'-8" in occupied areas.
- Oval duct shall be used only as necessitated by framing depths. Building cavities shall not be used as ducts or plenums.
- 2.9 Refrigerant piping to follow routes to be determined at site.
- .10 HVAC piping carrying fluids > 105 degrees F or < 55 degrees F shall be insulated to R3 minimum. Provide UV resistant pipe protection at all exterior applications.
- 2.11 Include pre-fabricated foundation for outdoor unit(s).
- .12 Media type filters with static pressure drop higher than MERV 13 shall not be

Exhaust Fans. All exhaust fans and intakes shall have weatherized auto gravity dampers. All vents run through unconditioned space shall be insulated to min R5. Mechanical ventilation system fans shall meet the efficacy requirements of Table R403.6.1 or be certified to the most current version of ENERGY STAR.

Bath exhaust: Contractor shall install wall and ceiling mounted exhaust fans and vents per Division 16, and exterior louver in bathroom(s) per plans. Contractor shall be responsible for ducting through exterior wall and wiring as required. Provide Lutron Maestro timer switch per Division 16: Electrical.

- .2 Kitchen exhaust: install new kitchen exhaust and duct to exterior in accordance with manufacturers recommendations. Provide weatherized/dampered termination. Make-up air shall be provided for hoods \geq 400 CFM. Provide 6 inch diameter outside air duct connected to return of HVAC unit closest to kitchen. Intake shall have a 6 inch wall cap with screen (no flap) with 6 inch automated damper initiated upon operation of the hood exhaust fan at any RPM. Provide low voltage 18/5 control wire interlock from damper to hood. Use induction/current sensing relay or pressure switch on hood monitor.
- 15.3.3 Dryer vent: Duct dryer vent to exterior with rigid flue.



BENNETT FRANK McCARTHY

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755 (301) 585-2222 www.bfmarch.com fax (301) 585-8917

architects, inc.

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MECHANICAL CONSULTANT Ron Gallant, Gallant Mechanical 13001 Cleveland Drive (240) 750-4988 Rockville, Maryland 20850

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GARAGE MECHANICAL PLANS & SPECIFICATIONS

ELECTRICAL	SYMBOLS
	TAMPER RESISTANT DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 18" A.F.F COORDINATE W/ PANEL & EQUIP.
	TAMPER RESISTANT GFI DUPLEX RECEPTACLE- 15/20 AMP EXTERNALLY MOUNTED WITH EXTRA DUTY OUTLET HOOD
	TAMPER RESISTANT DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 45" AFF - COORDINATE W/ PANEL & EQUIP.
-	TAMPER RESISTANT GFI OUTLET - 20 AMP @ 18" A.F.F.
-	TAMPER RESISTANT GFI OUTLET - 20 AMP @ 45" A.F.F.
-0	HALF-SWITCH OUTLET - 20 AMP @ 18" A.F.F.
-	QUAD RECEPTACLE 15/20 AMP @ 18" A.F.F. (U.N.O.)
Ð	FLOOR MOUNTED DUPLEX RECEPTACLE W/ FLUSH DECORATIVE COVER
J	JUNCTION BOX. SIZE AS REQUIRED
	DATA/TELEPHONE JACK - MOUNT @ 18" A.F.F. (U.N.O.)
TV	CABLE TV OUTLET
$-\otimes$	DRYER OUTLET (ELECTRIC)
SEX	EXISTING SMOKE DETECTOR - REPLACE/RELOCATE AS NECESSARY TO MEET CODE
S	SMOKE / CARBON MONOXIDE DETECTOR - HARDWIRED INTERCONNECT PER CODE
9	EXHAUST FAN
* ALL ELECTRI	CAL WORK SHALL COMPLY WITH NEC 2014

LIGHTING SYMBOLS

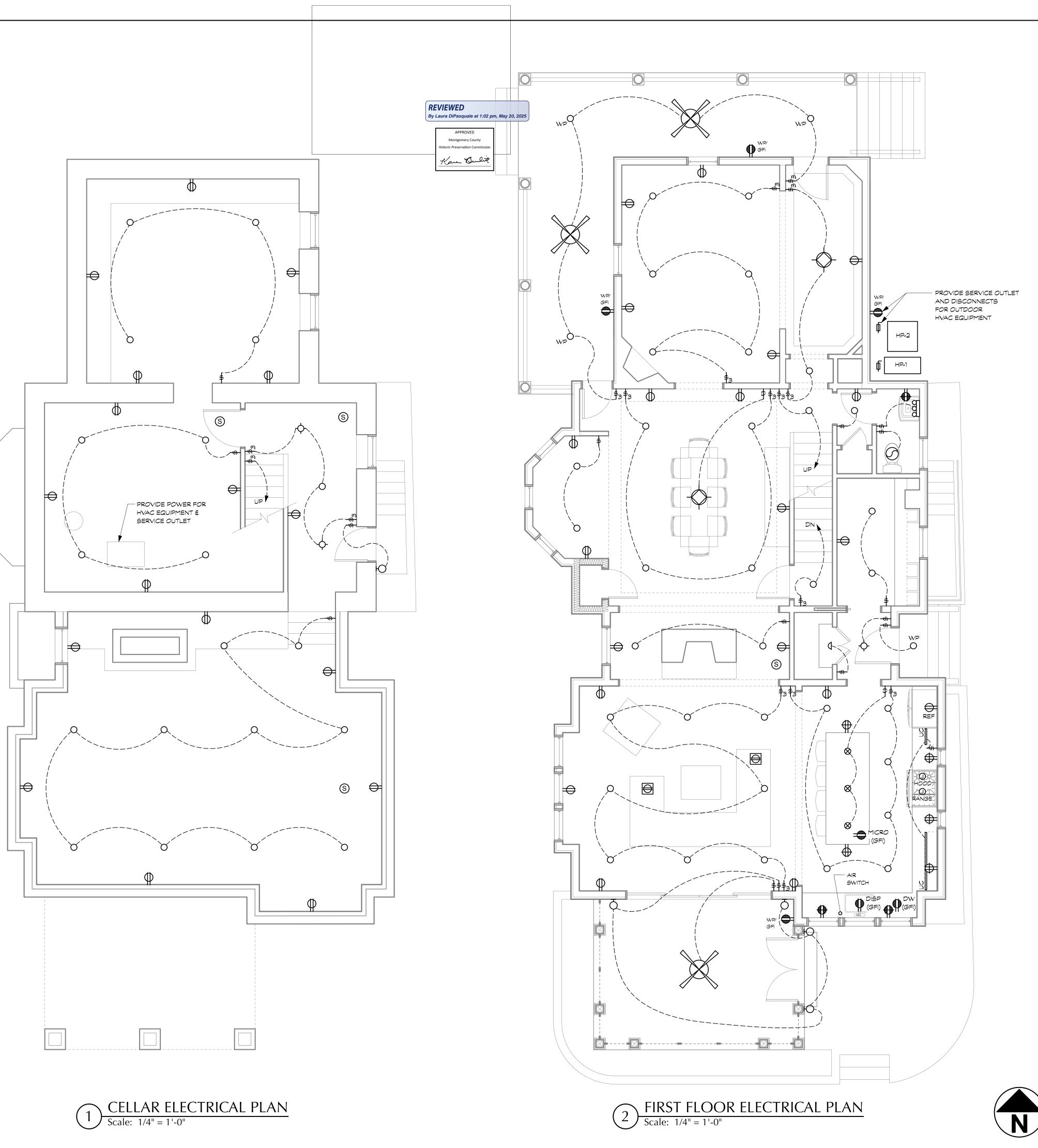
¢	SURFACE MOUNTED CEILING LIGHT FIXTURE
0	FULLY RECESSED LED LIGHT
8	SUSPENDED PENDANT FIXTURE
\diamond	PENDANT FIXTURE
6000	VANITY LIGHT
Q	WALL-MOUNTED LIGHT FIXTURE
_	SCONCE FIXTURE
$\begin{array}{c} \\ \end{array}$	CEILING FAN/LIGHT
	LED STRIP LIGHT
\$	SWITCH
9 3	THREE WAY SWITCH
P	DIMMER SWITCH
Pз	DIMMER THREE WAY SWITCH
JS	JAMB SWITCH
\checkmark	SECURITY FLOODLIGHT ON MOTION DETECTOR

GENERAL NOTES:

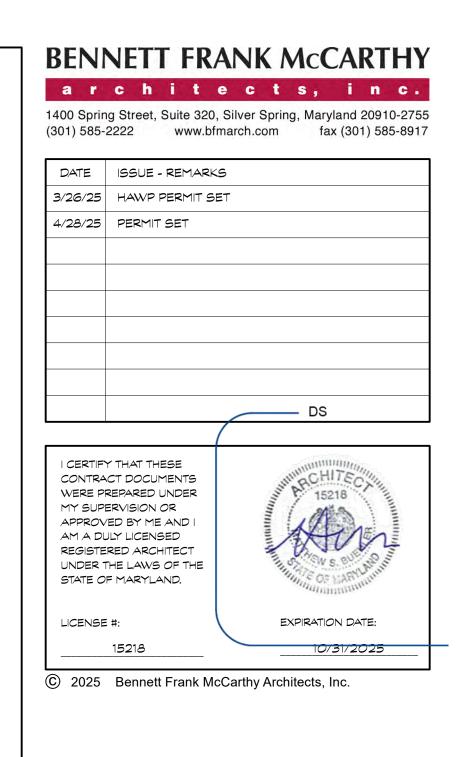
PROVIDE "I.C." HOUSING AS NECESSARY IN INSULATED CAVITIES

• PROVIDE TIMER SWITCHES AT ALL EXHAUST FANS

PROVIDE THER SWITCHES AT ALL EATROOT TANS
85% OF ALL LAMPS SHALL BE HIGH EFFICACY LAMPS
PROVIDE TAMPER RESISTANT RECEPTACLES AT ALL LOCATIONS EXCEPT WHERE MOUNTED HIGHER THAN 5.5' ABOVE FLOOR OR IN SPACE DEVOTED TO A SPECIFIC APPLIANCE







CELLAR & FIRST FLOOR ELECTRICAL PLANS E100

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ELECTRICAL	SYMBOLS
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	TAMPER RESISTANT GFI DUPLEX RECEPTACLE- 15/20 AMP EXTERNALLY MOUNTED WITH EXTRA DUTY OUTLET HOOD
	TAMPER RESISTANT DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 45" AFF - COORDINATE W/ PANEL & EQUIP.
-	TAMPER RESISTANT GFI OUTLET - 20 AMP @ 18" A.F.F.
-	TAMPER RESISTANT GFI OUTLET - 20 AMP @ 45" A.F.F.
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S	SMOKE / CARBON MONOXIDE DETECTOR - HARDWIRED INTERCONNECT PER CODE
0	EXHAUST FAN
* ALL ELECTR	CAL WORK SHALL COMPLY WITH NEC 2014

LIGHTING SYMBOLS

¢	SURFACE MOUNTED CEILING LIGHT FIXTURE
0	FULLY RECESSED LED LIGHT
8	SUSPENDED PENDANT FIXTURE
\$	PENDANT FIXTURE
60000	VANITY LIGHT
Q	WALL-MOUNTED LIGHT FIXTURE
_	SCONCE FIXTURE
$\begin{array}{c} \\ \end{array}$	CEILING FAN/LIGHT
	LED STRIP LIGHT
\$	SWITCH
\$ 3	THREE WAY SWITCH
P	DIMMER SWITCH
₽₃	DIMMER THREE WAY SWITCH
JS	JAMB SWITCH
\Diamond	SECURITY FLOODLIGHT ON MOTION DETECTOR

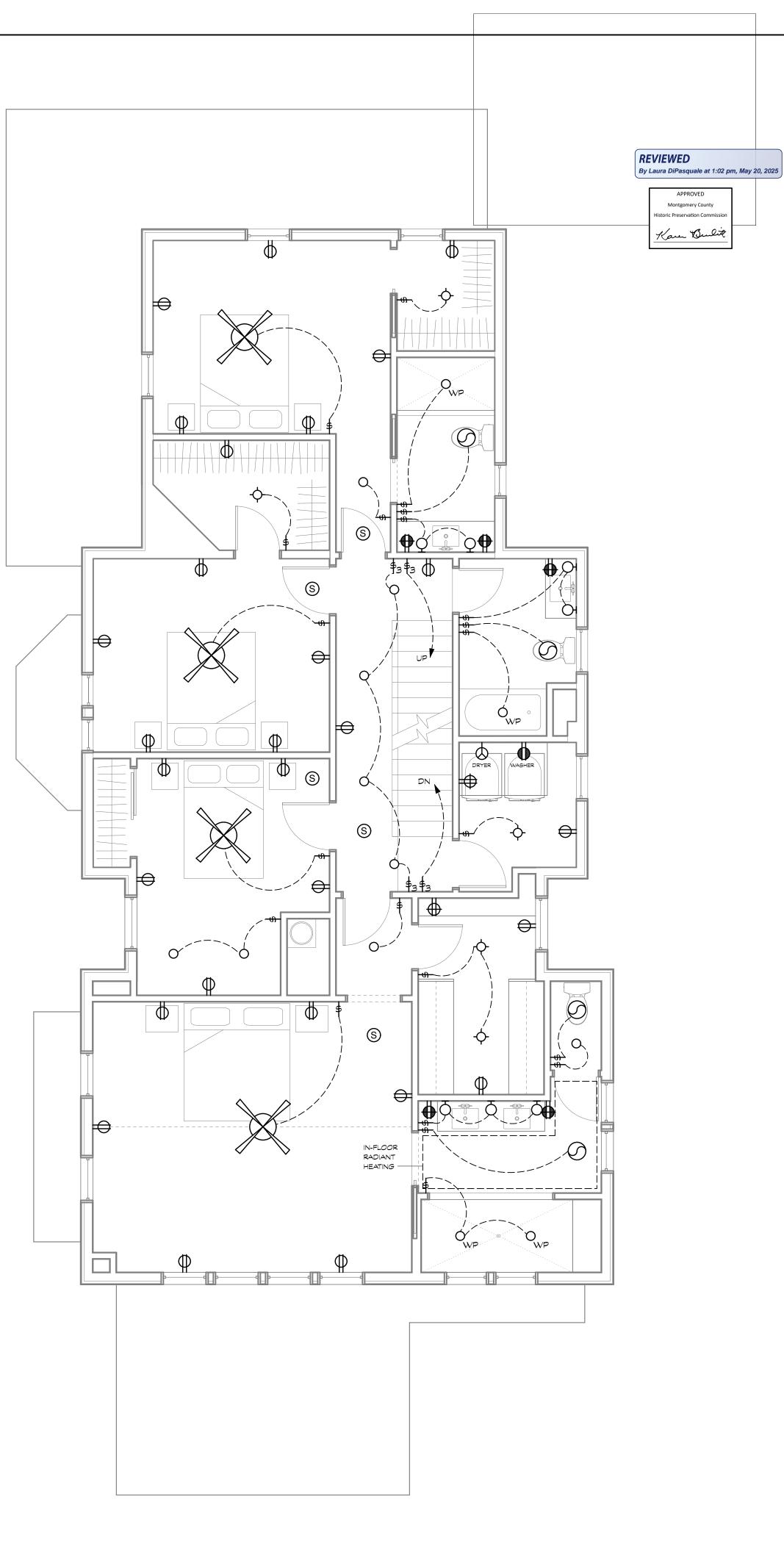
GENERAL NOTES:

PROVIDE "I.C." HOUSING AS NECESSARY IN INSULATED CAVITIES

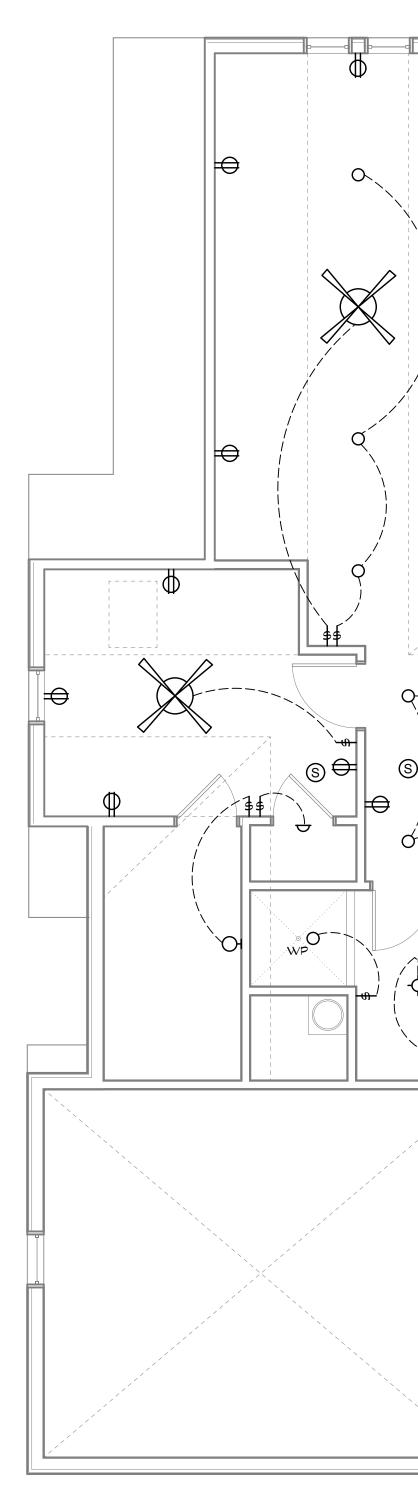
PROVIDE TIMER SWITCHES AT ALL EXHAUST FANS

• 85% OF ALL LAMPS SHALL BE HIGH EFFICACY LAMPS

PROVIDE TAMPER RESISTANT RECEPTACLES AT ALL LOCATIONS EXCEPT WHERE MOUNTED HIGHER THAN 5.5' ABOVE FLOOR OR IN SPACE DEVOTED TO A SPECIFIC APPLIANCE

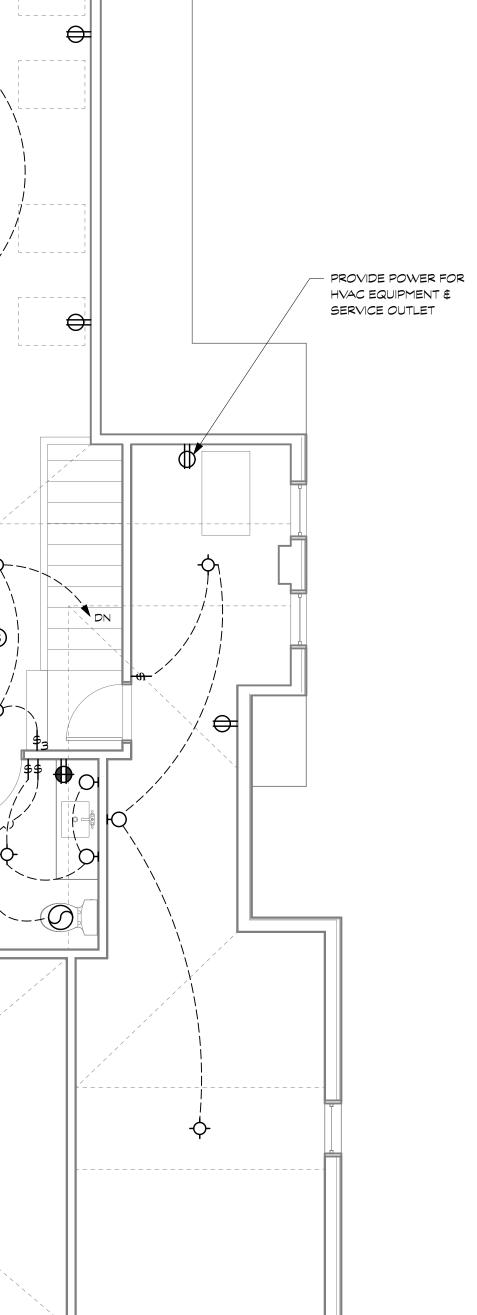


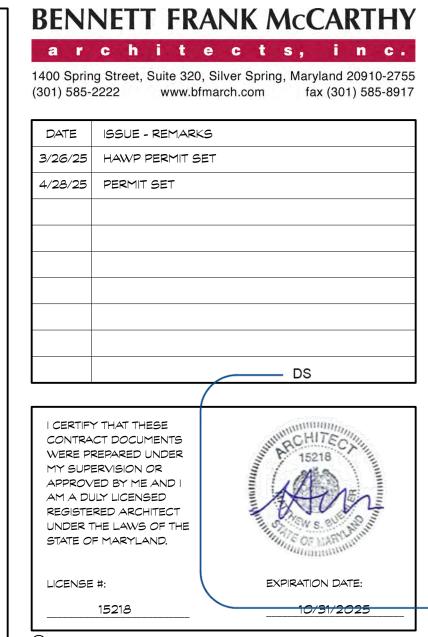






 $1 \frac{\text{SECOND FLOOR ELECTRICAL PLAN}}{\text{Scale: } 1/4" = 1'-0"}$





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ELECTRICAL	SYMBOLS
	TAMPER RESISTANT DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 18" A.F.F COORDINATE W/ PANEL & EQUIP.
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* ALL ELECTRI	CAL WORK SHALL COMPLY WITH NEC 2014

LIGHTING SYMBOLS

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8	SUSPENDED PENDANT FIXTURE
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	CEILING FAN/LIGHT
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\$ 3	THREE WAY SWITCH
P	DIMMER SWITCH
₽₃	DIMMER THREE WAY SWITCH
JS	JAMB SWITCH
\Diamond	SECURITY FLOODLIGHT ON MOTION DETECTOR

GENERAL NOTES:

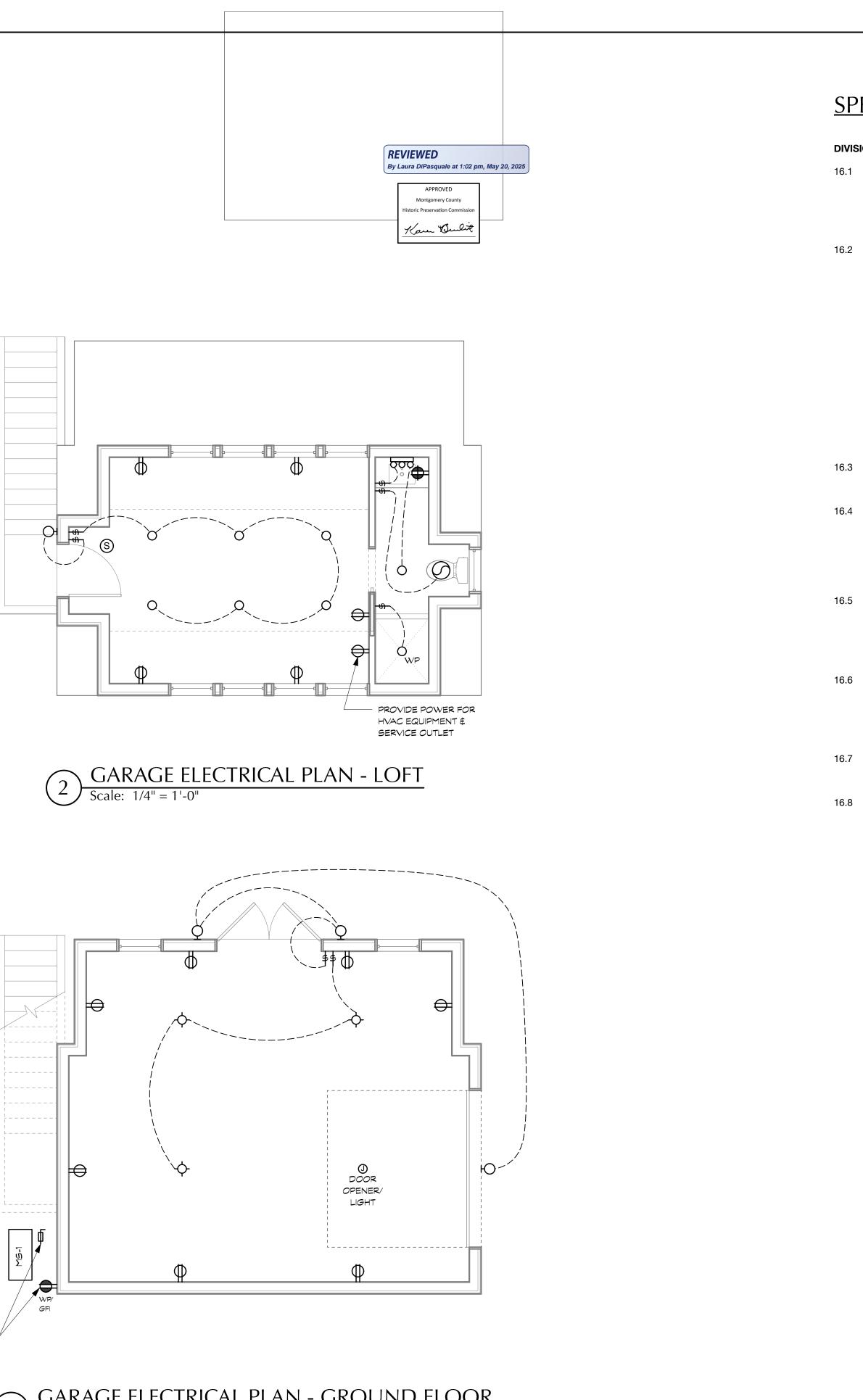
PROVIDE "I.C." HOUSING AS NECESSARY IN INSULATED CAVITIES

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 PROVIDE TAMPER RESISTANT RECEPTACLES AT ALL LOCATIONS EXCEPT WHERE MOUNTED HIGHER THAN 5.5' ABOVE FLOOR OR IN SPACE DEVOTED TO A SPECIFIC APPLIANCE





GARAGE ELECTRICAL PLAN - GROUND FLOOR Scale: 1/4" = 1'-0"

SPECIFICATIONS (CONTINUED FROM SP100)

DIVISION 16: ELECTRICAL

- 16.1 Electrical service: Existing electric service shall be reviewed by Contractor and Electrical subcontractor. Provide new service, subpanel and/or additional breakers as necessary to accommodate new work, equipment, systems and appliances. Provide ground fault circuit interrupt breakers at panels as required for all outlets requiring GFCI safety cutoff where indicated and where otherwise required. Label all new circuits at the panel.
 - Receptacles and Switches: Contractor shall provide wall switches, dimmer switches, and wall plates, etc. in areas of new work in conformance with NEC and local code. Contractor shall provide and install all specialty and appliance receptacles and switches.
 - Style: Decora style as manufactured by Lutron. - Typical single pole rocker switch shall be Lutron model CA-1PS-
 - WН
 - Three way rocker switch shall be Lutron model CA-3PS-WH. - Dimmer switch shall be Lutron model LUT DVCL-153P-WH (wattage rating requirement should be coordinated with fixtures).
 - Representative duplex receptacle style shall be Lutron model CAR-15/20-SW (coordinate amperage with equipment/circuit)
 - Timer switch for exhaust fans shall be Maestro model MA-T51-WH. Color: All devices and cover plates shall be white, unless noted
 - otherwise.
 - Consistency: Provide new switches and outlets at all new and existing devices through out the house. • Plates: use standard, not enlarged wall plates, in finish to match devices.
- 16.3 Provide ground fault interrupt devices where indicated and where otherwise required by code. Provide arc fault devices in all habitable spaces where ground fault are not otherwise provided.
 - Lighting: Owner to provide, Contractor to install. See drawings for locations. Coordinate mounting heights with Architect. Provide housings rated for insulation contact in all insulated ceiling cavities (housings shall be labeled to indicate <2.0 CFM leakage at 75 Pa.). Seal at housing / interior finish. Submit all recessed fixtures for review and approval prior to rough wiring. 85% of lamps in permanent fixtures or 85% of permanent fixtures shall use high efficiency lamps.
 - Bath exhausts: Owner to provide, Contractor to install. All exhaust fans shall be Energy Star rated.
 - Powder room: Ceiling mounted. 0.5 sones, 50 CFM with 4 inch dia duct. • Master bath: Ceiling mounted, 1.0 sones, 110 CFM with 4 inch dia duct.
 - Basement, hall and attic baths: Ceiling mounted, 1.0 sones, 100 CFM with 4" round duct.
- 16.6 Smoke/Fire protection: Smoke/Carbon Monoxide detectors shall be installed in each sleeping room, outside of each separate sleeping area in the immediate vicinity of the bedrooms and on each additional story of the dwelling, including basements and cellars. Provide 10-year lithium ion battery or hardwired with battery back-up. All detectors shall be approved and listed and shall be installed in accordance with the manufacturer's instructions.
 - Cable TV / Data: Provide Category 5E, 4 pair wiring at each jack as shown on drawings. Contractor shall provide jacks and install for data. Each jack shall be homerun to the service panel.
- 16.8 Door Bell/Chime: Contractor shall install new door bell button at the new front door, hardwired to power and an internal chime. Coordinate locations with Owner for final approval.

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1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755 (301) 585-2222 www.bfmarch.com fax (301) 585-8917 DATE ISSUE - REMARKS 3/26/25 HAWP PERMIT SET 4/28/25 PERMIT SET - DS I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE: LICENSE #: 15218

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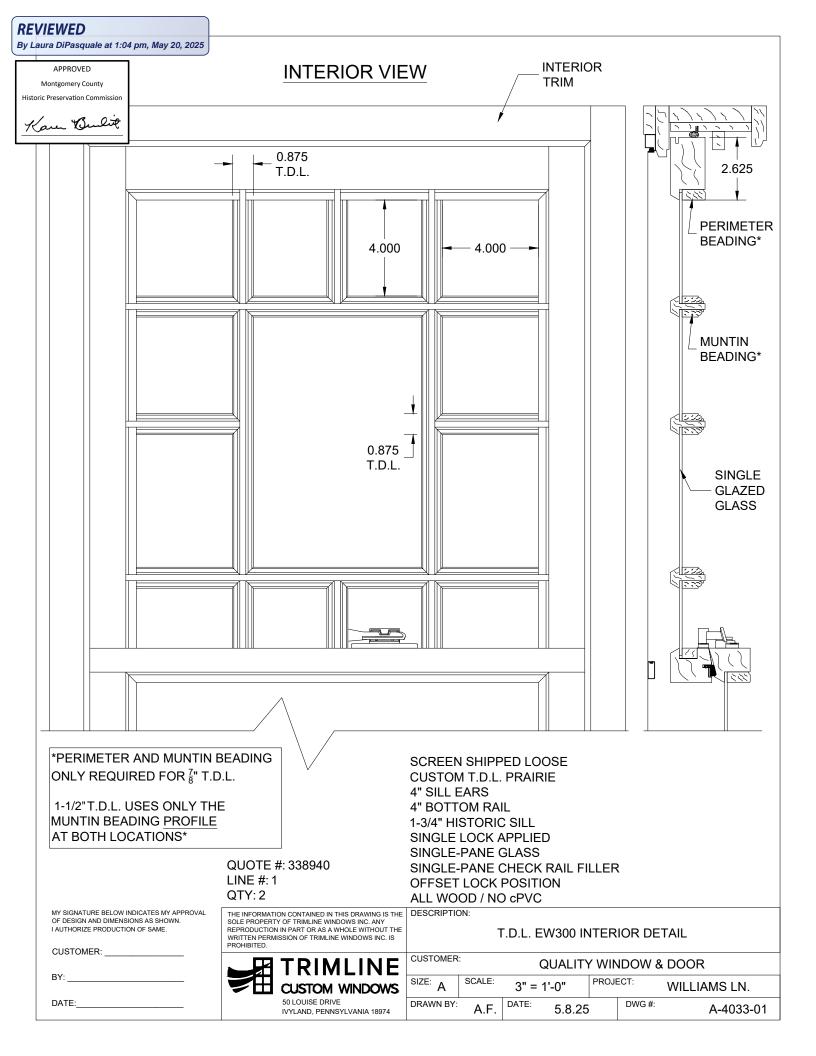
ELECTRICAL PLANS

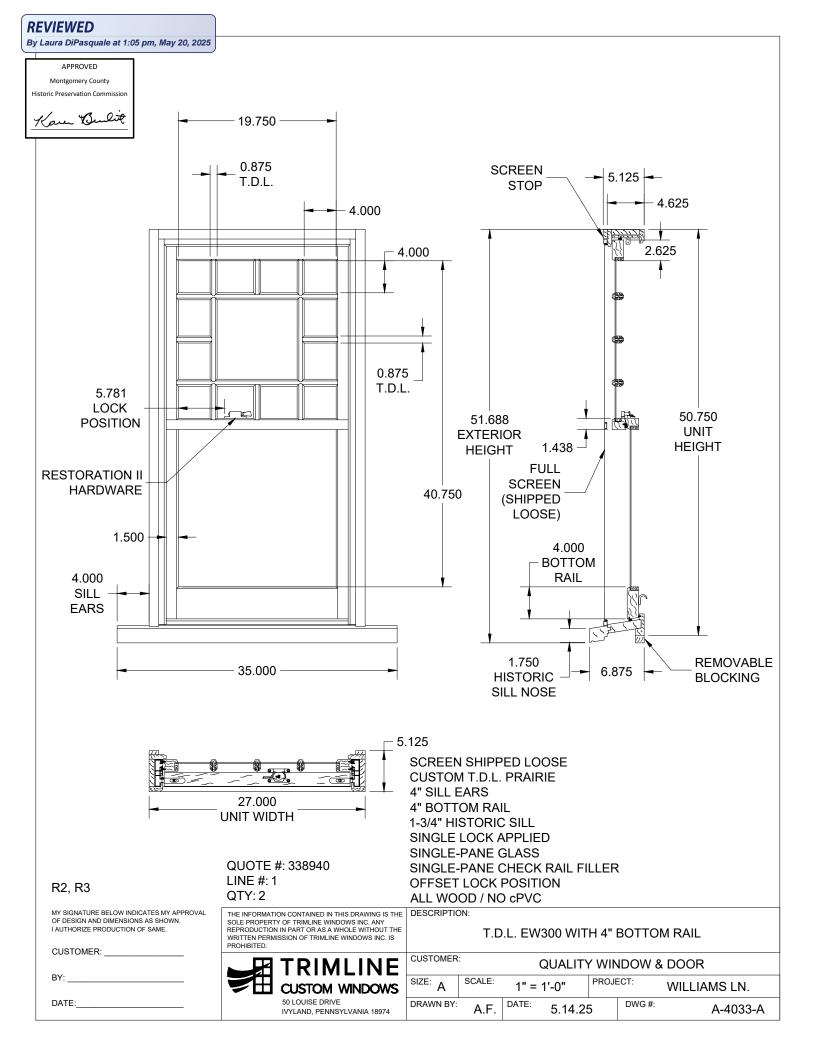
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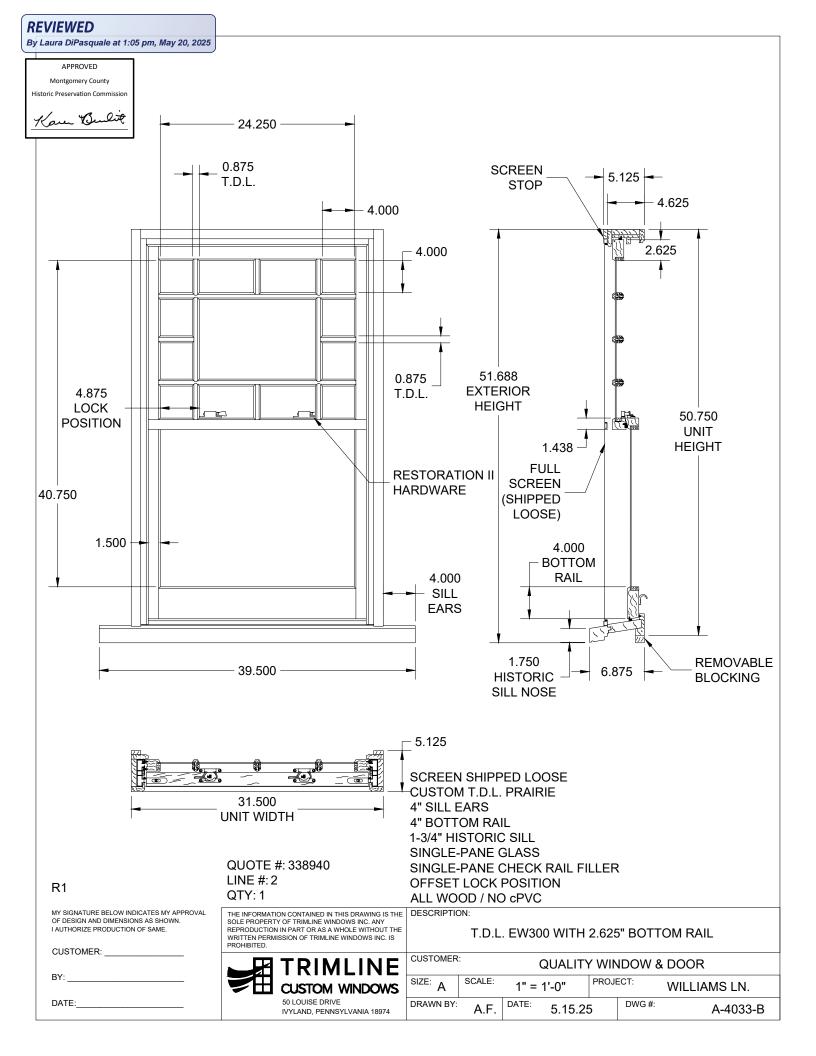
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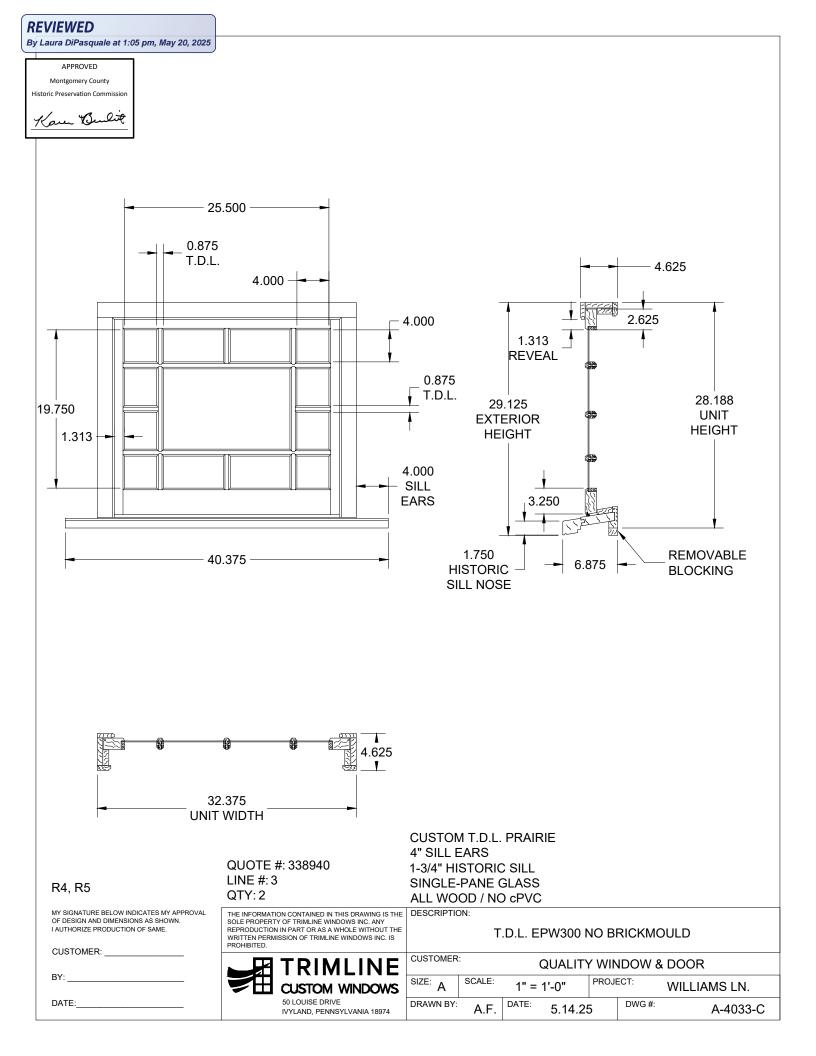
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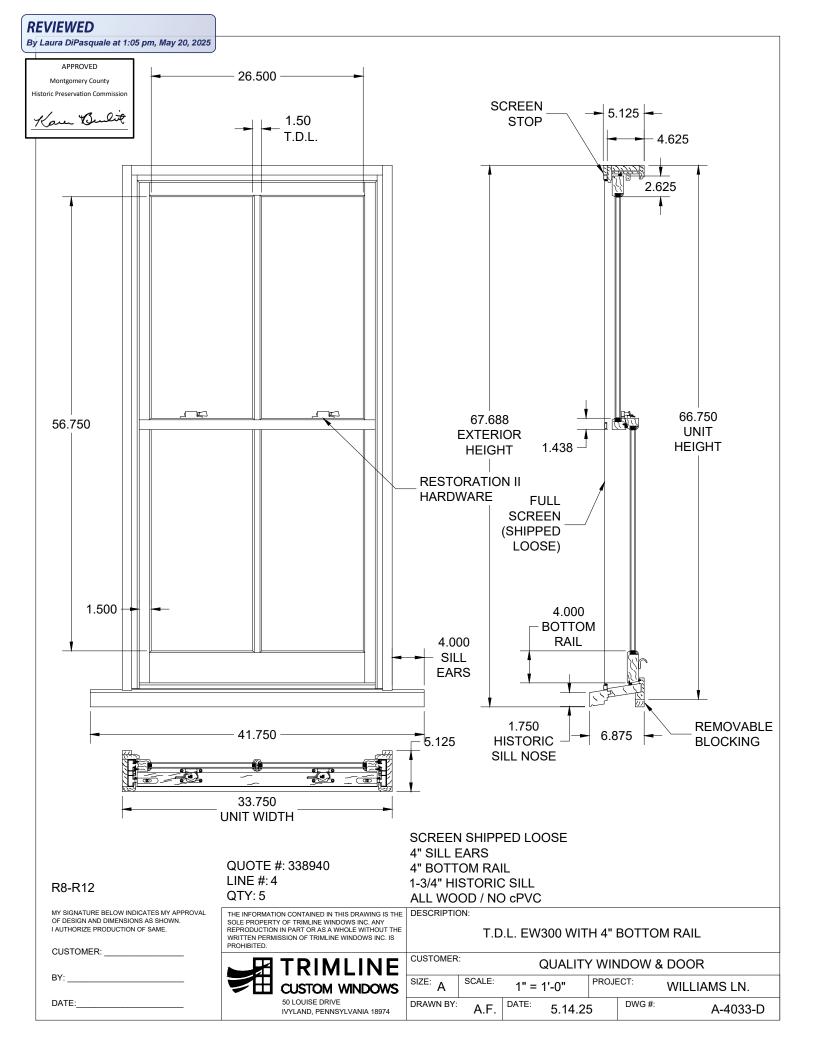
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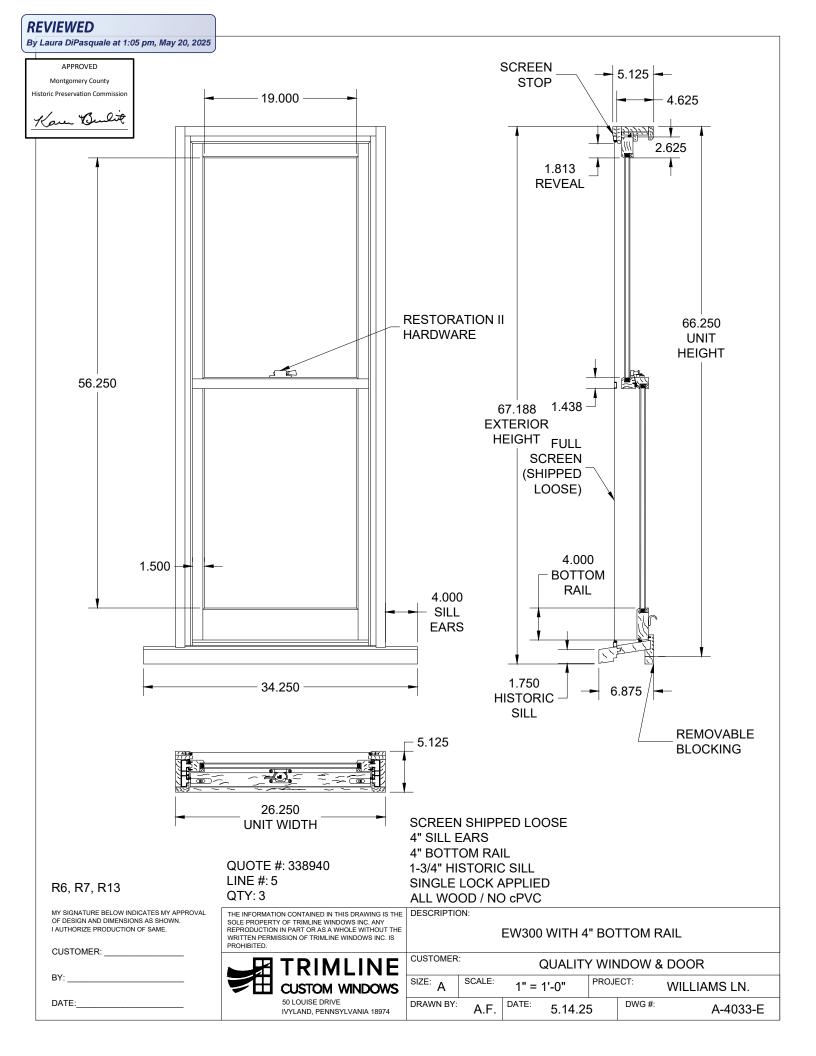


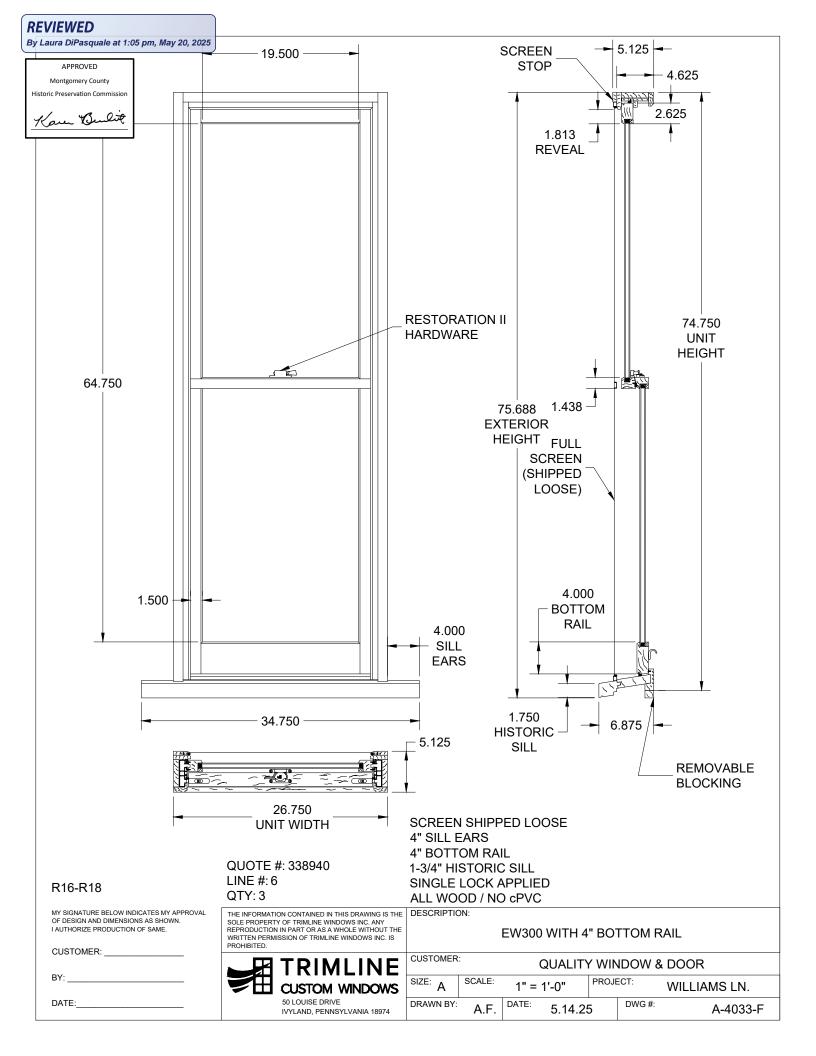


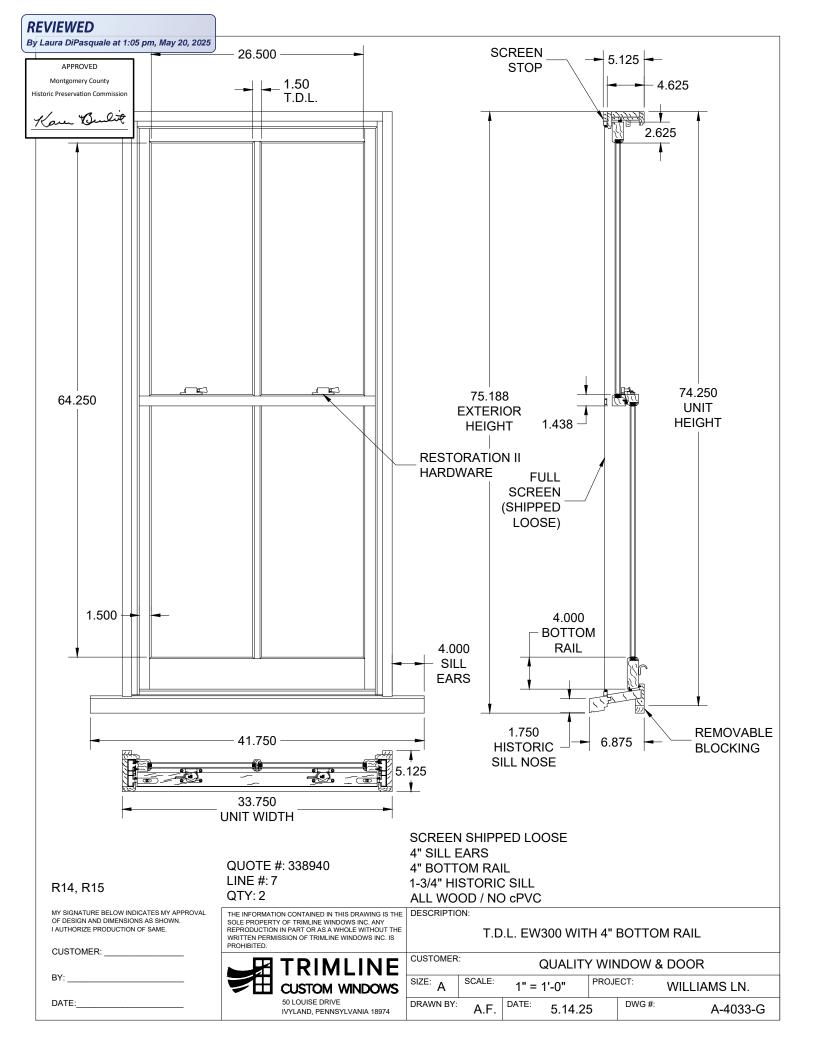


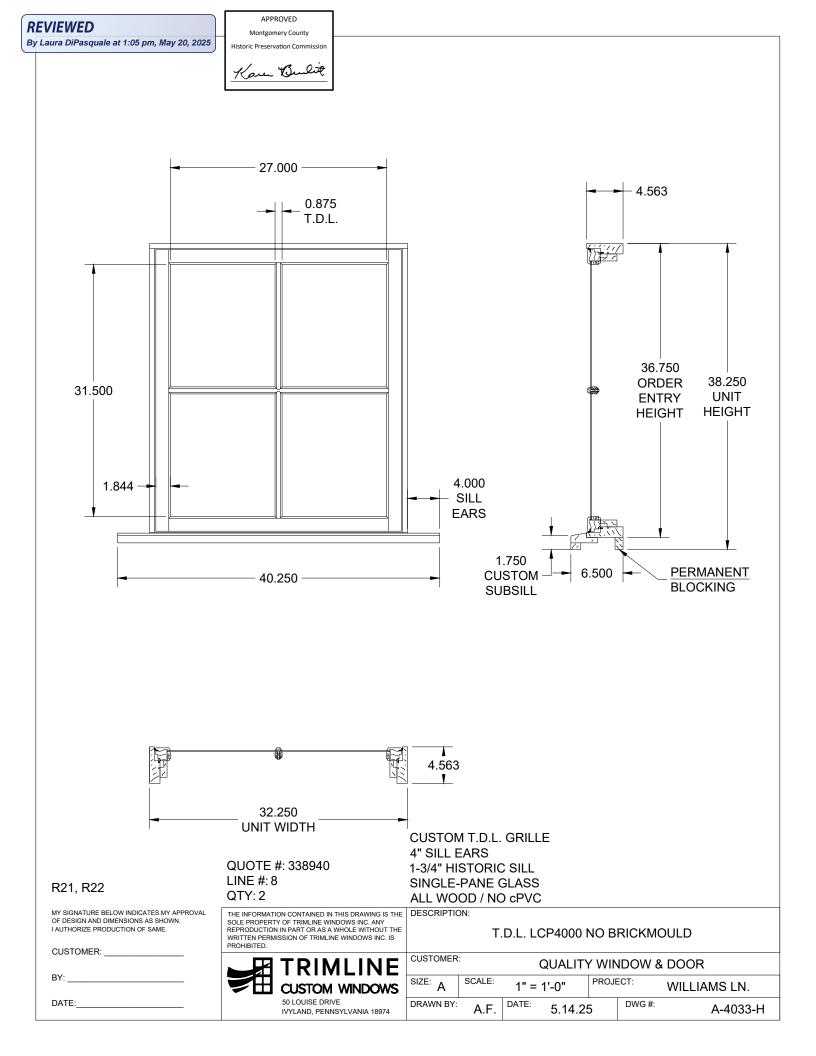


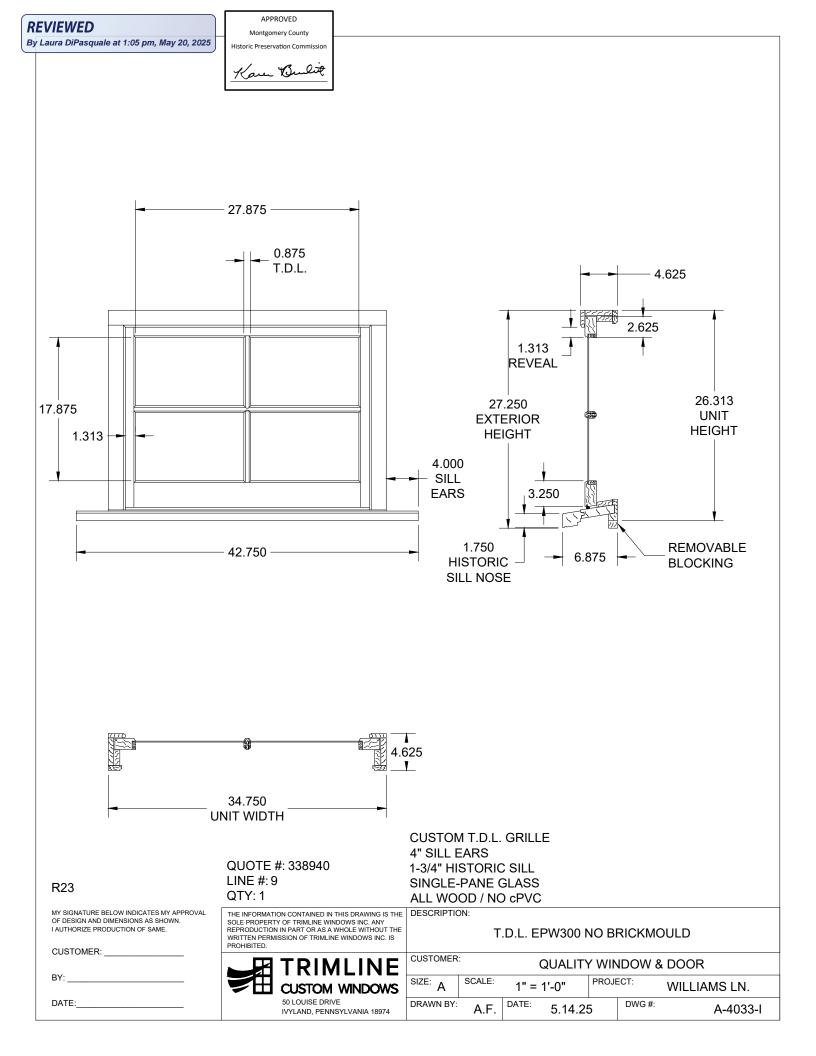










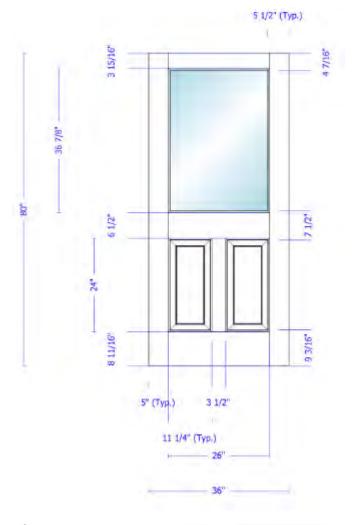


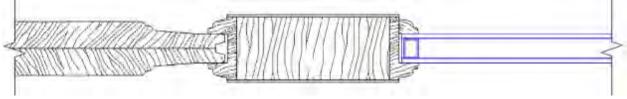


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Exterior Doors For Burlington / 3806 Williams Ln

Front Door:

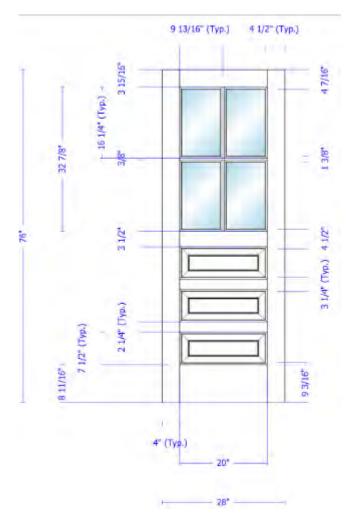


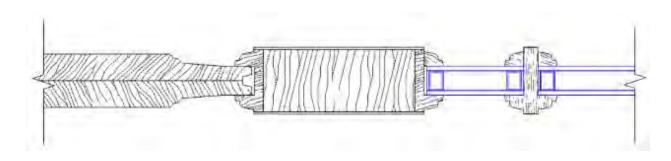






Basement door:

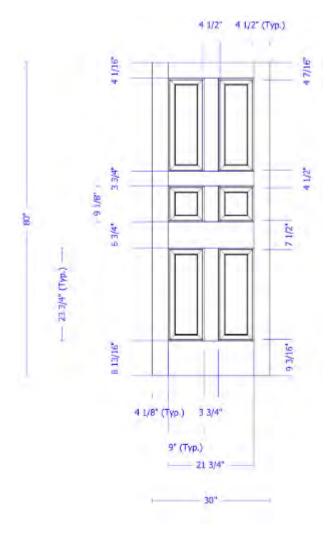


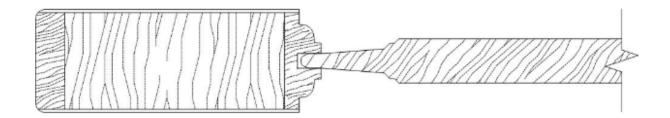


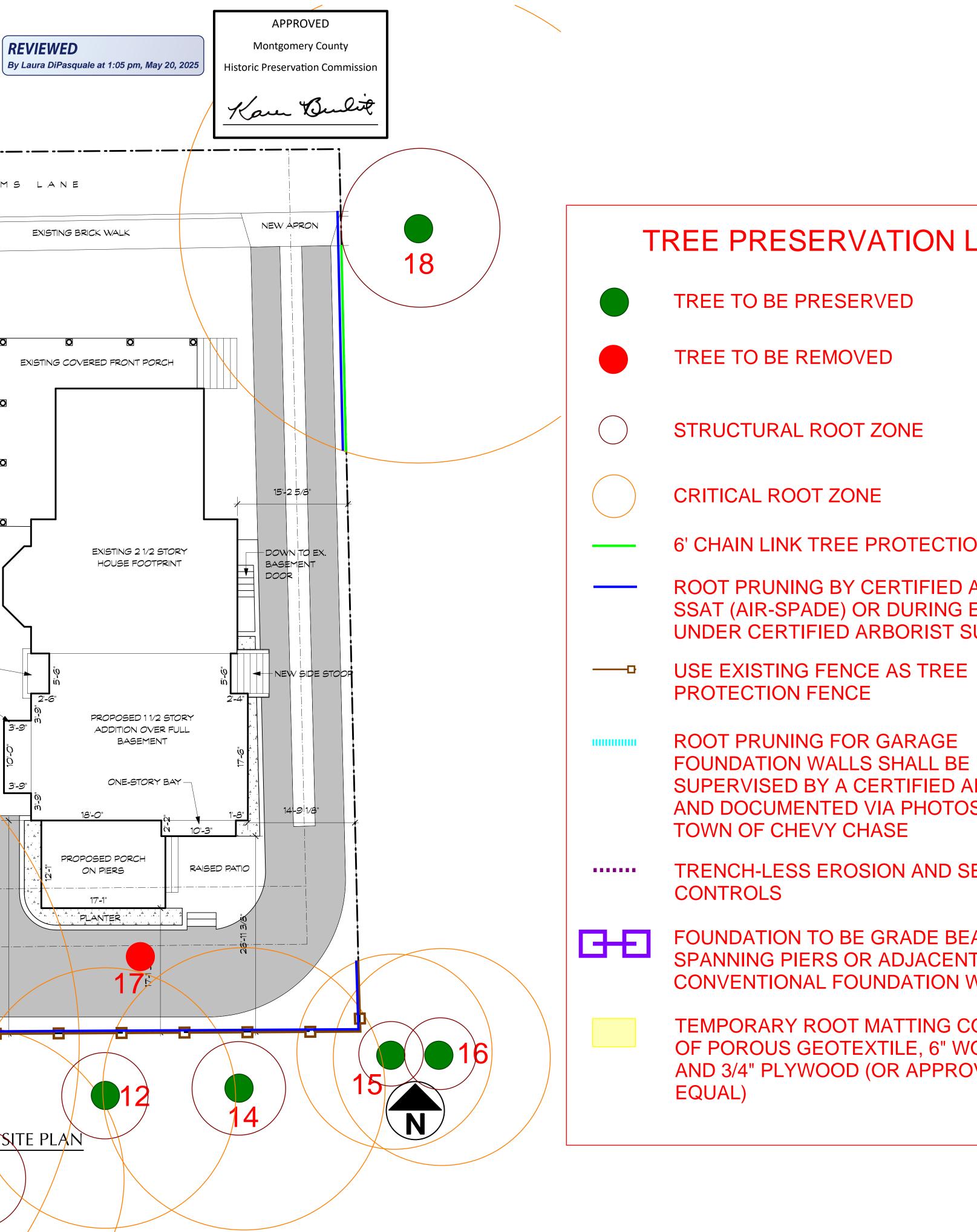


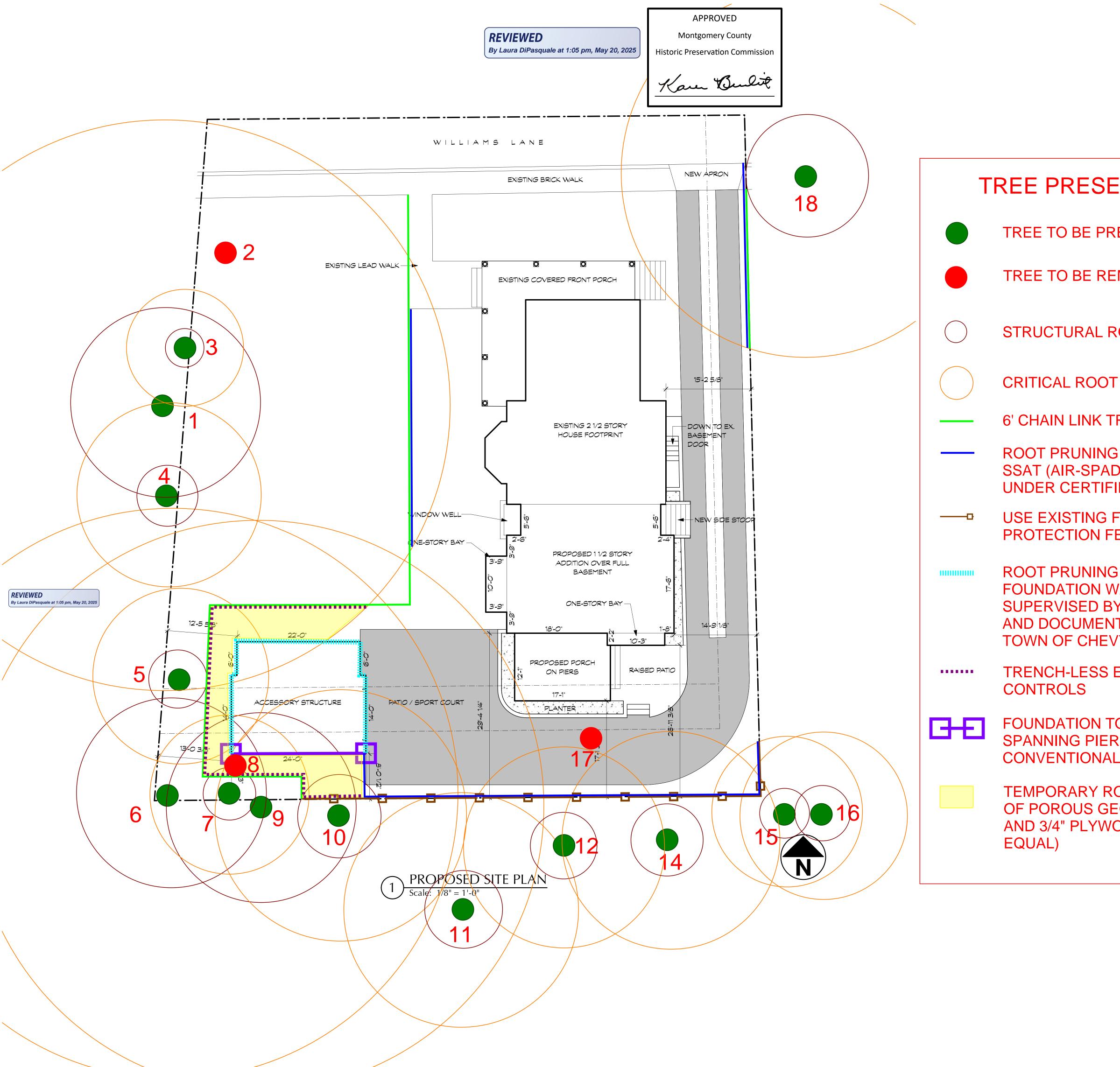


Porch Door:









TREE PRESERVATION LEGEND

6' CHAIN LINK TREE PROTECTION FENCE

ROOT PRUNING BY CERTIFIED ARBORIST USING SSAT (AIR-SPADE) OR DURING EXCAVATION UNDER CERTIFIED ARBORIST SUPERVISION

SUPERVISED BY A CERTIFIED ARBORIST AND DOCUMENTED VIA PHOTOS FOR THE

TRENCH-LESS EROSION AND SEDIMENT

FOUNDATION TO BE GRADE BEAM SPANNING PIERS OR ADJACENT **CONVENTIONAL FOUNDATION WALLS**

TEMPORARY ROOT MATTING CONSISTING OF POROUS GEOTEXTILE, 6" WOODCHIPS, AND 3/4" PLYWOOD (OR APPROVED





TREE PRESERVATION Matt Madeira Certified Arborist MA-4784A 301-832-2527 dctreepreservation@gmail.com

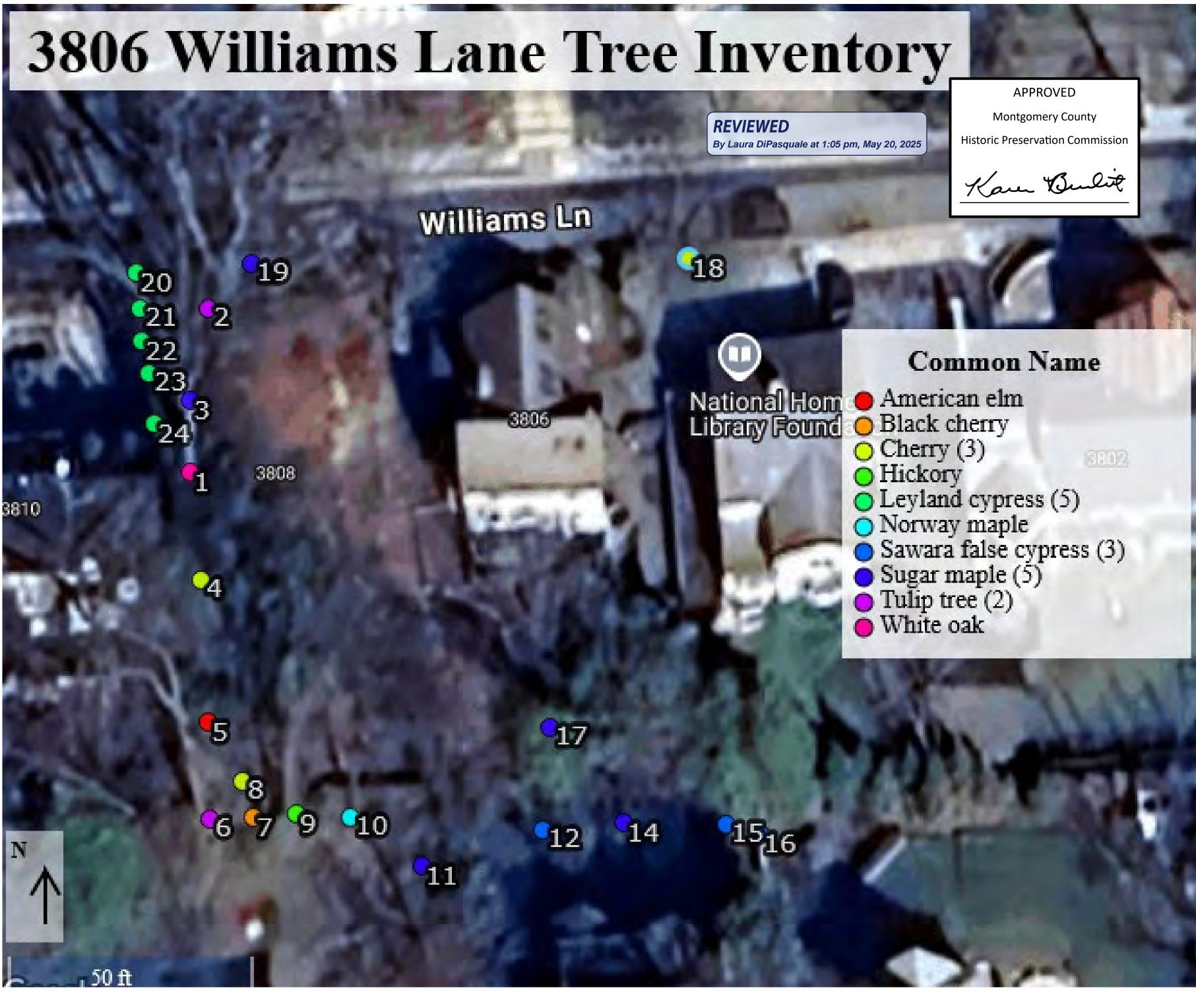
Arborist Consulting & Tree Preservation, LLC

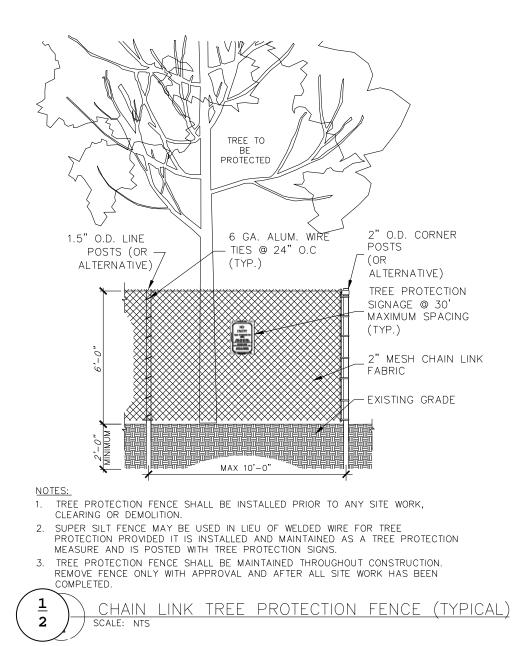
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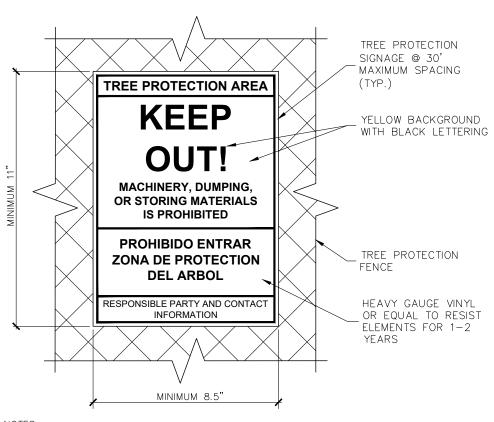
TREE PROTECTION PLAN

PLAN VIEW

1 OF 2



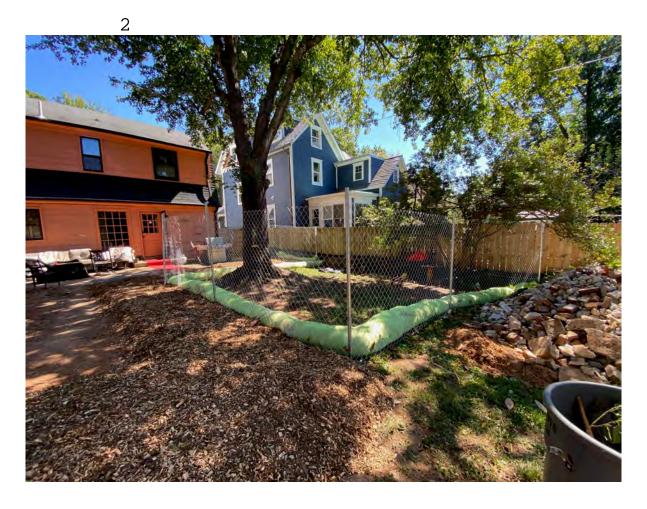


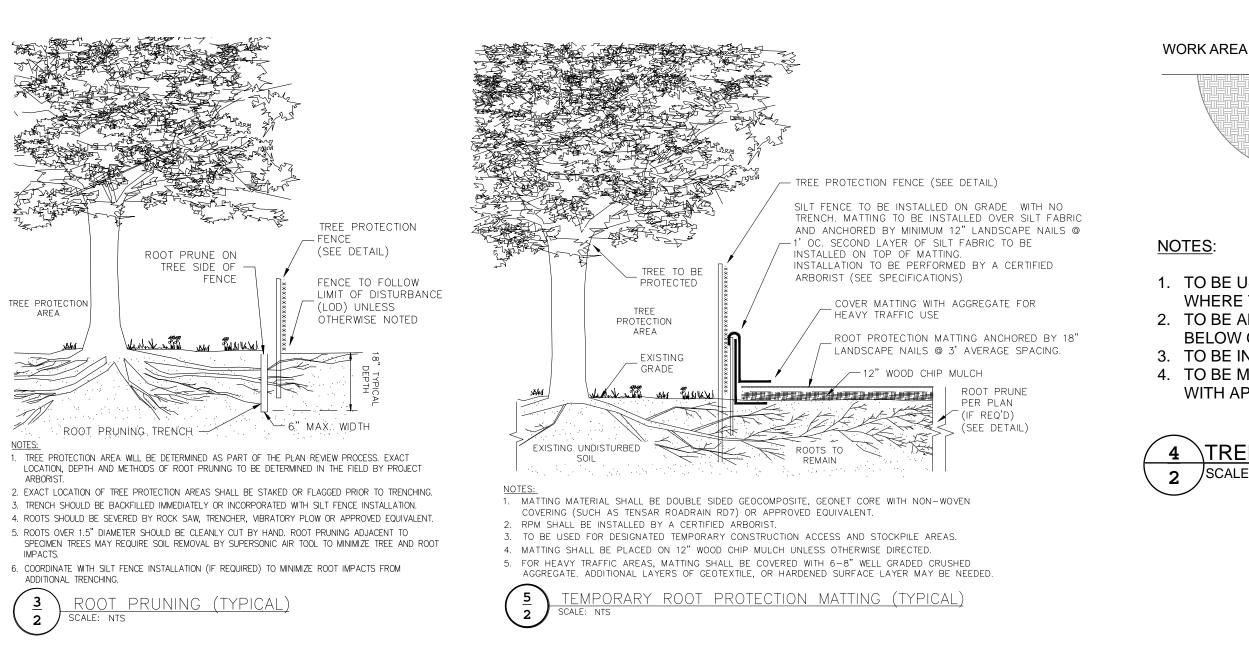


- NOTES: . SIGNS TO BE ATTACHED TO TREE PROTECTION FENCE OR POSTS AT READABLE
- 2. 30' MINIMUM SPACING AVERAGE ADJUSTED FOR MAXIMUM READABILITY.
- 3. MINIMUM ONE SIGN FOR SMALL TREE PROTECTION AREAS. 4. SIGNS MAY BE REMOVED FROM RESIDENTIAL LOTS UPON ISSUANCE OF USE
- AND OCCUPANCY. 5. SIGNS TO REMAIN ON NON RESIDENTIAL SITES FOR MAINTENANCE PERIOD.

REE PROTECTION AREA SIGN (TYPICAL)

Tree Id	Common Name	Scientific Name	DBH	Condition
1	White oak	Quercus alba	34	Fair
2	Tulip tree	Liriodendron tulipifera	50	Fair
3	Sugar maple	Acer saccharum	7	Fair
4	Cherry	Prunus species	11	Fair
5	American elm	Ulmus americana	10.5	Good
6	Tulip tree	Liriodendron tulipifera	34	Good
7	Black cherry	Prunus serotina	9.5	Good
8	Cherry	Prunus species	7	Fair
9	Hickory	Carya spp	34	Good
10	Norway maple	Acer platanoides	15	Poor
11	Sugar maple	Acer saccharum	14	Good
12	Sawara false cypress	Chamaecyparis pisifera	12	Fair
14	Sugar maple	Acer saccharum	13	Good
15	Sawara false cypress	Chamaecyparis pisifera	9	Good
16	Sawara false cypress	Chamaecyparis pisifera	10	Good
17	Sugar maple	Acer saccharum	14	Good
18	Cherry	Prunus species	22	Fair
19	Sugar maple	Acer saccharum	6	Good
20	Leyland cypress	xCupressocyparis leylandii	6	Fair
21	Leyland cypress	xCupressocyparis leylandii	5	Fair
22	Leyland cypress	xCupressocyparis leylandii	6	Fair
23	Leyland cypress	xCupressocyparis leylandii	5	Fair
24	Leyland cypress	xCupressocyparis leylandii	4	Fair











Arborist Consulting & Tree Preservation, LLC

2"X2" WOODEN STAKES PLACED 10' O.C. - COMPOST SOCK (12" OR 18" TYPICAL)

AREA TO BE PROTECTED Malaki2Malaki2Malaki 12" MIN

NOTES:

1. TO BE USED FOR SEDIMENT CONTROL IN PROTECTED CRZ AREAS WHERE TRENCHING IS NOT ALLOWED. 2. TO BE ANCHORED WITH WOODEN STAKES DRIVEN AT LEAST 12" BELOW GRADE AND DRIVEN IN AT 45-DEGREE ANGLE UPSLOPE. 3. TO BE INSPECTED AND APROVED BY DOEE 4. TO BE MAINTAIN TRHOUGHOUT CONSTRUCTION. REMOVE ONLY WITH APPROVAL AND ONLY ALL SITE WORK HAS BEEN COMPLETED.

4 TRENCHLESS EROSION CONTROL (TYPICAL) 2 /SCALE: NTS

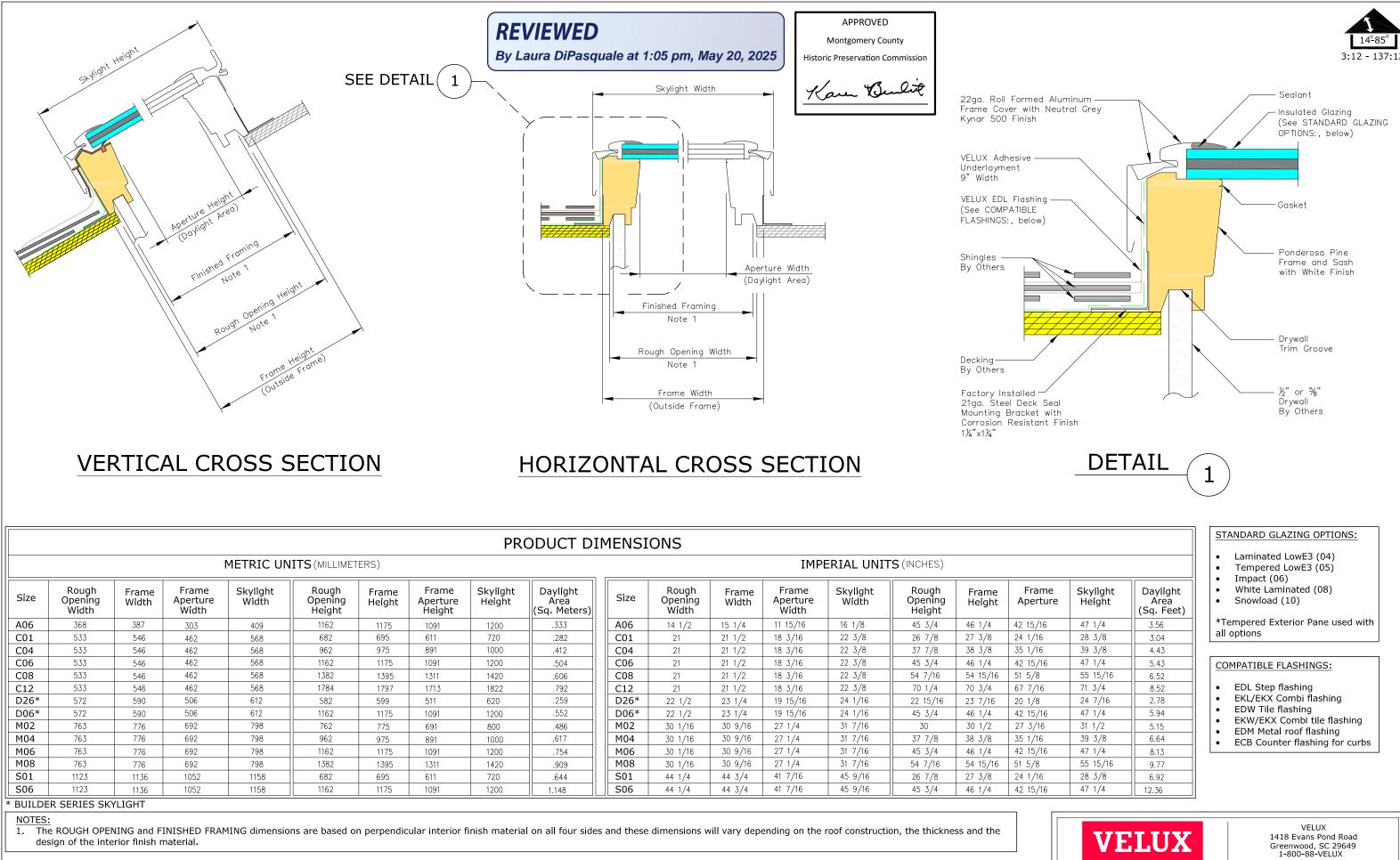
3806 WILLIAMS LANE, CHEVY CHASE, MD 20815

TREE PROTECTION PLAN

TREE INVENTORY & DETAIL **SPECIFICATIONS**

2 OF 2

F		(Quality W	/indov	w and D)oor In	c. Quote/	/Order F	orm			- <u> </u>]
Ľ	WINDOW & DOOR	WINDOW & DOOK Burlington LLC						DELIVERY ADDR 3806 William		hevy	I	date 3/3/2	2025		
QUAI	LITY WINDOW & DOOR, INC.		93-4816		E	EMAIL ADDRESS shawn@bf	ss	-							
67	700 DISTRIBUTION DRIVE	ARCHITECT Bennett, Frank, McCarthy			Nilliams Ln	n 3		DIRECTIONS							
E	BELTSVILLE, MD 20705 PHONE 301-595-9555	MANUFACTURER Velux		QUOTE #	ŧ			SALES REP Mike Hudsor	n			TOTAL WINDO	JWS	TOTAL DOORS	
	FAX 301-595-5350	REVIEWED By Laura DiPasqua	pm, N	<i>lay 20, 2</i>	2025	APPROVED Montgomery County Historic Preservation Commission									
QTY	DES	SCRIPTION	LOCATION	JAMB DEPTH		GLASS TYPE	Kare	- Bul	<u>2. 2. م</u> ه	1	INT FINISH	DOOR LOCKSET	WINDOW HDWR	NET EACH	EXT. NET
5	Velux FS-C04 fixe	ed curb mounted slylights					·							\$512.00	\$2,560.00
	w/ laminated glass	s and shingle flashing kits			<u> </u>				_ 			'			
							+							+	
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	<u> </u>					- wri	tton is			, n			Su	ub-total	\$2,560.00
		Order as-written is SUPPLY-ONLY. QWD delivery to designated job address is included @ \$200.00 (non-							Tax	\$153.60					
							address ma		rom bill				Total Materials		\$2,713.60
												elivery Labor	\$200.00		
					-							ľ		IUUB.	i
							<u>†</u>						GRA	ND Total	\$2,913.60



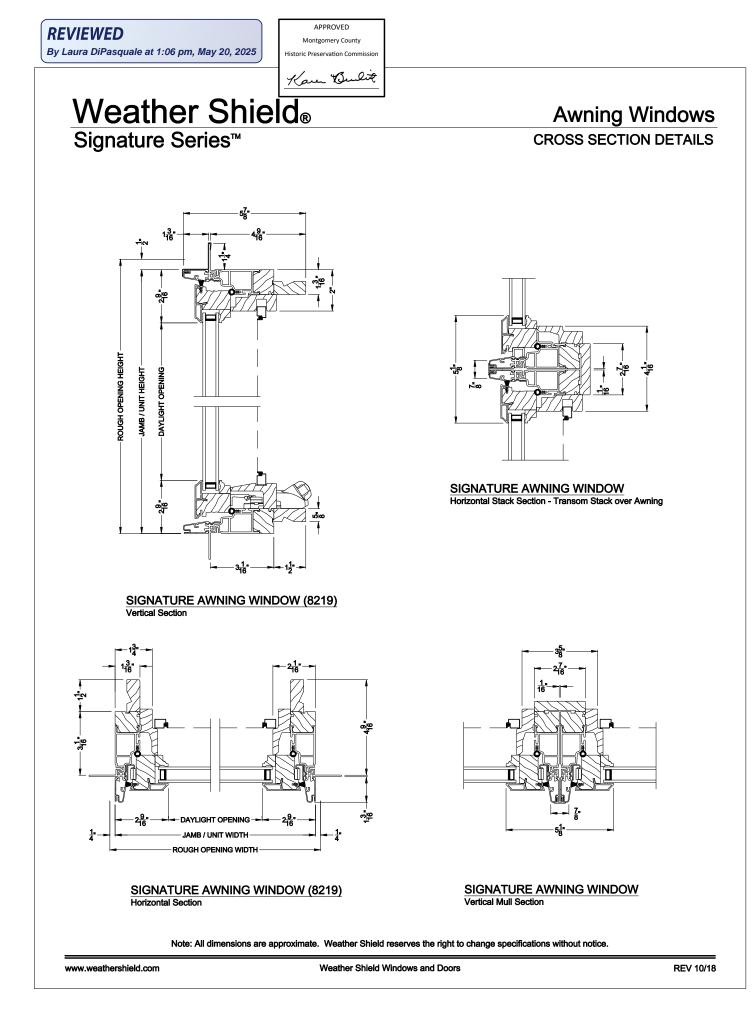
METRIC UNITS (MILLIMETERS)											IMPERIAL UNITS (INCHES)							
Size	Rough Opening Width	Frame Width	Frame Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Frame Aperture Height	Skylight Height	Daylight Area (Sq. Meters)	Size	Rough Opening Width	Frame Width	Frame Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Frame Apertu	
A06	368	387	303	409	1162	1175	1091	1200	.333	A06	14 1/2	15 1/4	11 15/16	16 1/8	45 3/4	46 1/4	42 15/16	
C01	533	546	462	568	682	695	611	720	.282	C01	21	21 1/2	18 3/16	22 3/8	26 7/8	27 3/8	24 1/16	
C04	533	546	462	568	962	975	891	1000	.412	C04	21	21 1/2	18 3/16	22 3/8	37 7/8	38 3/8	35 1/16	
C06	533	546	462	568	1162	1175	1091	1200	.504	C06	21	21 1/2	18 3/16	22 3/8	45 3/4	46 1/4	42 15/16	
C08	533	546	462	568	1382	1395	1311	1420	.606	C08	21	21 1/2	18 3/16	22 3/8	54 7/16	54 15/16	51 5/8	
C12	533	546	462	568	1784	1797	1713	1822	.792	C12	21	21 1/2	18 3/16	22 3/8	70 1/4	70 3/4	67 7/16	
D26*	572	590	506	612	582	599	511	620	.259	D26*	22 1/2	23 1/4	19 15/16	24 1/16	22 15/16	23 7/16	20 1/8	
D06*	572	590	506	612	1162	1175	1091	1200	.552	D06*	22 1/2	23 1/4	19 15/16	24 1/16	45 3/4	46 1/4	42 15/16	
M02	763	776	692	798	762	775	691	800	.486	M02	30 1/16	30 9/16	27 1/4	31 7/16	30	30 1/2	27 3/16	
M04	763	776	692	798	962	975	891	1000	.617	M04	30 1/16	30 9/16	27 1/4	31 7/16	37 7/8	38 3/8	35 1/16	
M06	763	776	692	798	1162	1175	1091	1200	.754	M06	30 1/16	30 9/16	27 1/4	31 7/16	45 3/4	46 1/4	42 15/16	
M08	763	776	692	798	1382	1395	1311	1420	.909	M08	30 1/16	30 9/16	27 1/4	31 7/16	54 7/16	54 15/16	51 5/8	
S01	1123	1136	1052	1158	682	695	611	720	.644	S01	44 1/4	44 3/4	41 7/16	45 9/16	26 7/8	27 3/8	24 1/16	
S06	1123	1136	1052	1158	1162	1175	1091	1200	1.148	S06	44 1/4	44 3/4	41 7/16	45 9/16	45 3/4	46 1/4	42 15/16	
 ∗ BUTI DE	R SERIES SK						•											
NOTES		NING and FI		1ING dimensio	ns are based o	n perpendic	cular interior f	inish materia	l on all four sides	and these	dimensions w	vill vary depo	ending on the	roof constructi	on, the thickne	ss and the		

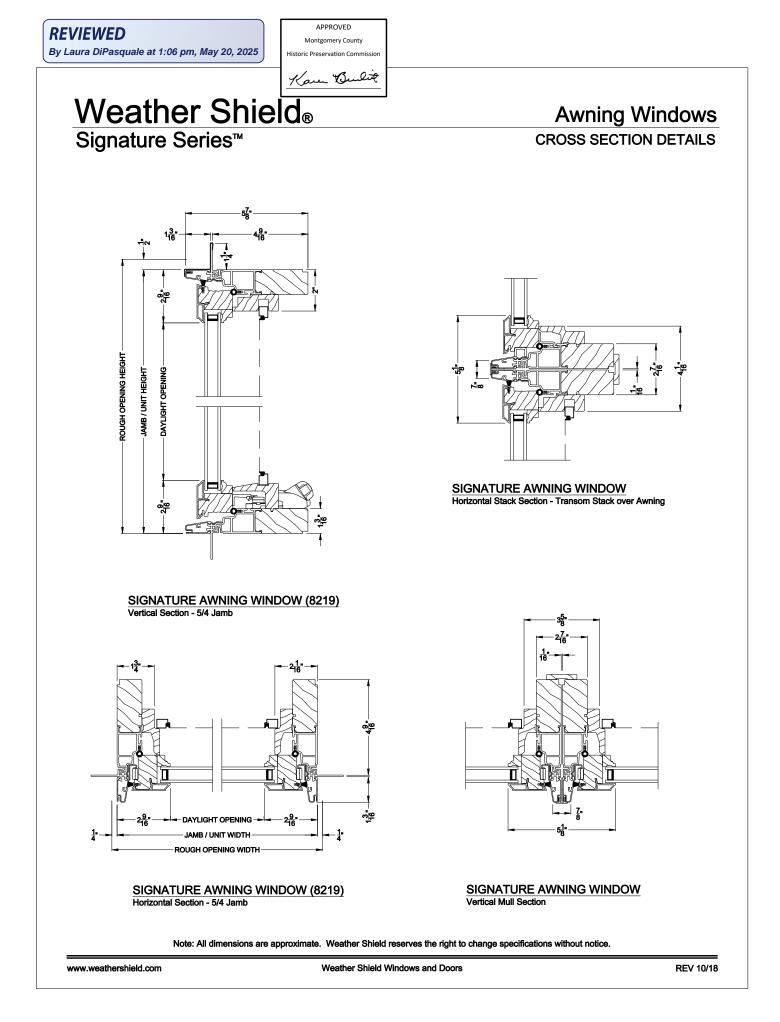
This drawing is an instrument of service and is provided for informational use only.





R VELUX is a registered trademark



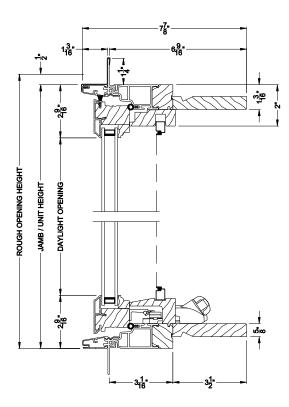




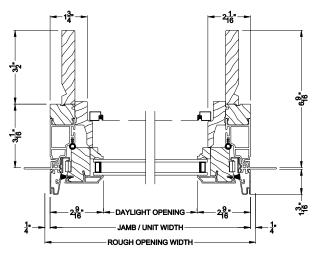
APPROVED

Weather Shield_® Signature Series[™]

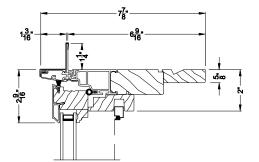
Awning Windows CROSS SECTION DETAILS



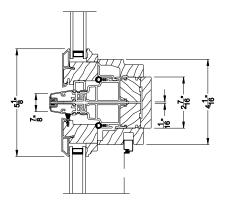
SIGNATURE AWNING WINDOW (8219) Vertical Section - 6-9/16" jamb



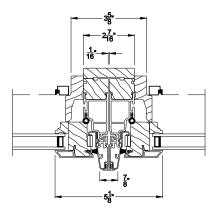
SIGNATURE AWNING WINDOW (8219) Horizontal Section - 6-9/16" jamb



SIGNATURE AWNING WINDOW Vertical Section - 5/4 jamb option with extension

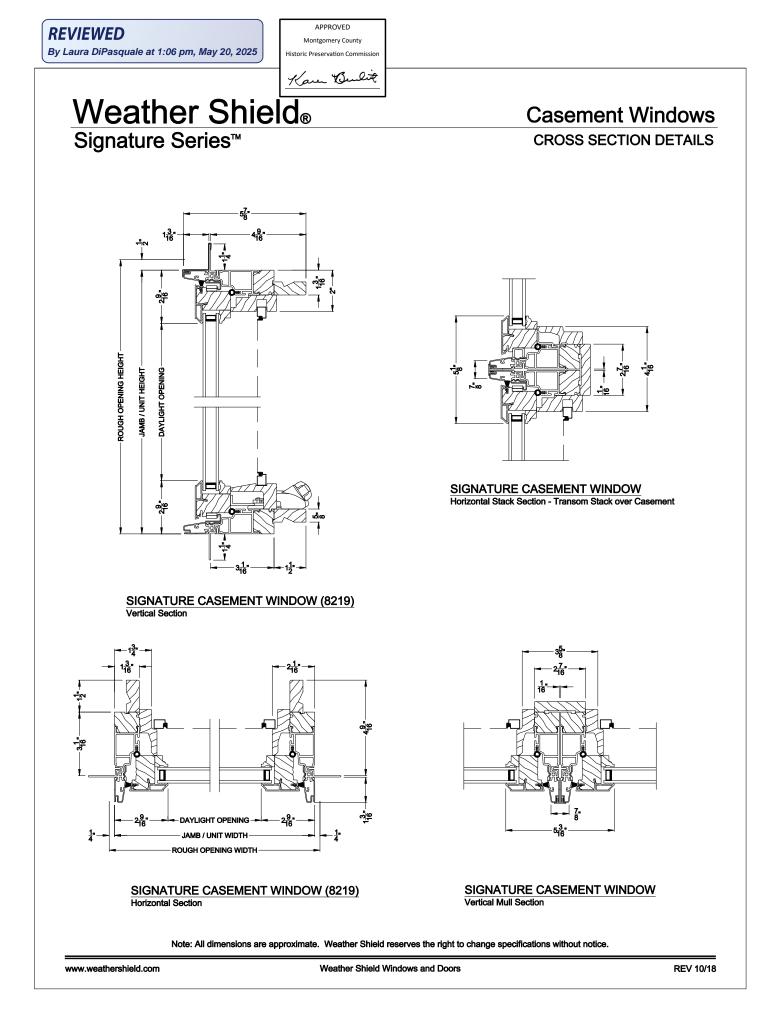


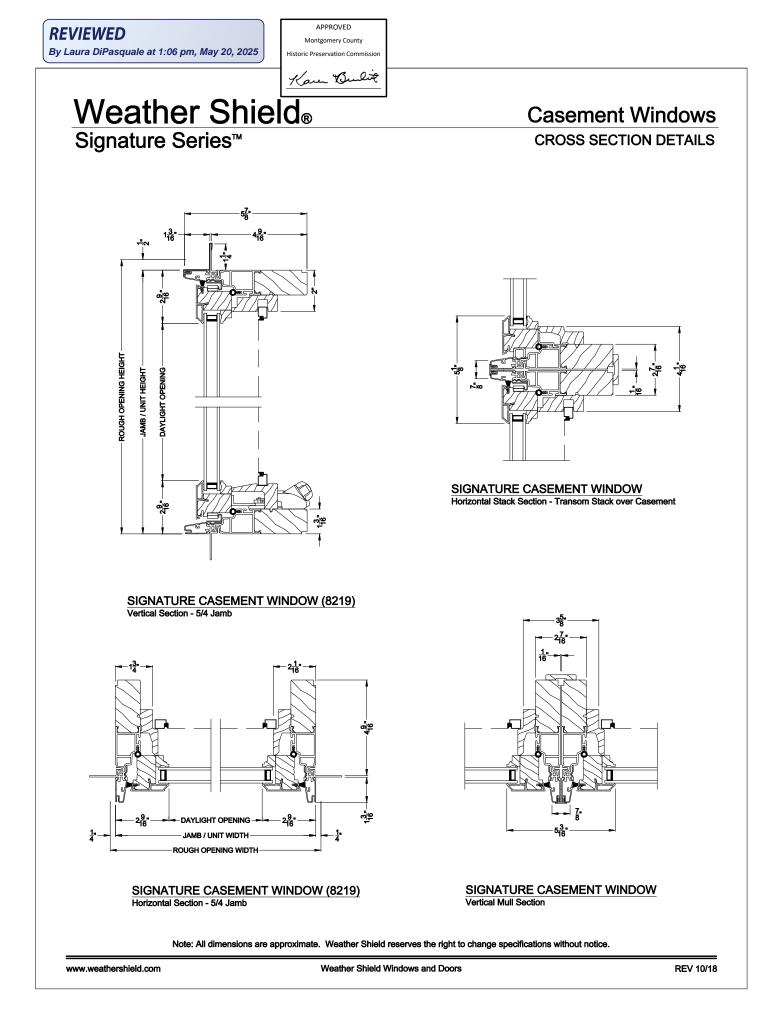
SIGNATURE AWNING WINDOW Horizontal Stack Section - Transom Stack over Awning



SIGNATURE AWNING WINDOW Vertical Mull Section

Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.





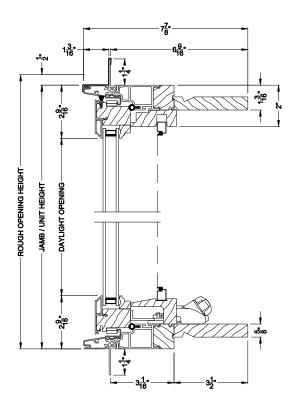
Montgomery County Historic Preservation Commission Kare Burlit

APPROVED

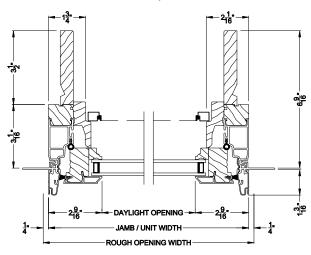
Weather Shield_® Signature Series™

Casement Windows

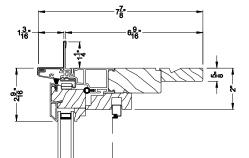
CROSS SECTION DETAILS



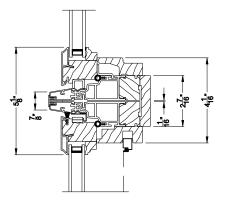
SIGNATURE CASEMENT WINDOW (8219) Vertical Section - 6-9/16" jamb



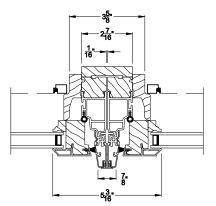
SIGNATURE CASEMENT WINDOW (8219) Horizontal Section - 6-9/16" jamb



SIGNATURE CASEMENT WINDOW Vertical Section - 5/4 jamb option with extension

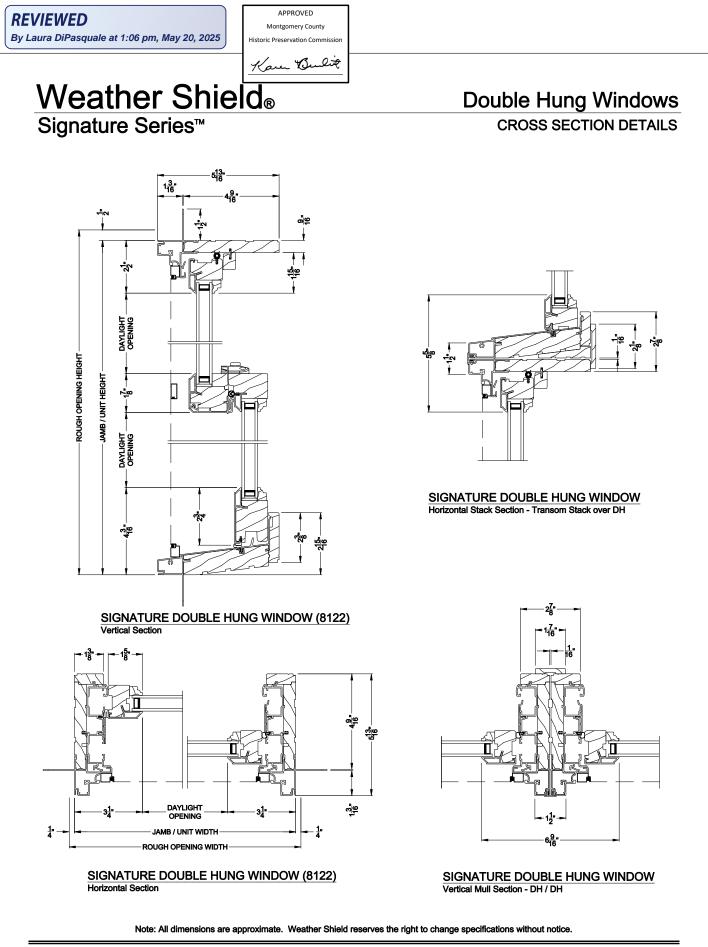


SIGNATURE CASEMENT WINDOW Horizontal Stack Section - Transom Stack over Casement



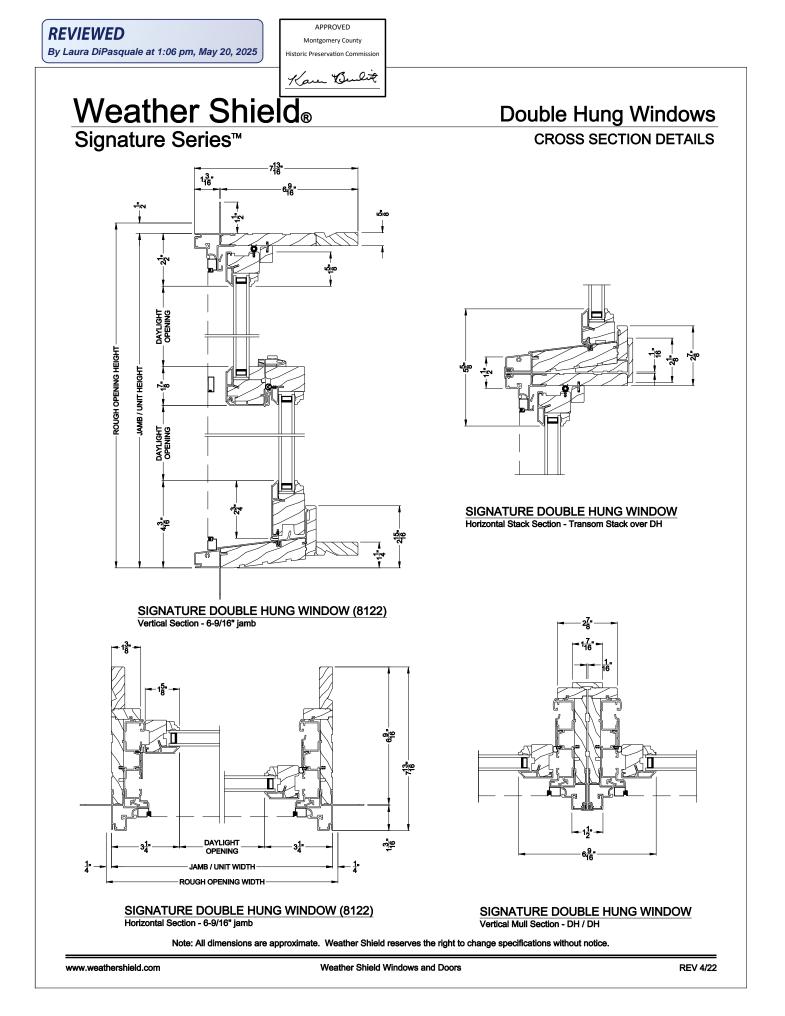
SIGNATURE CASEMENT WINDOW Vertical Mull Section

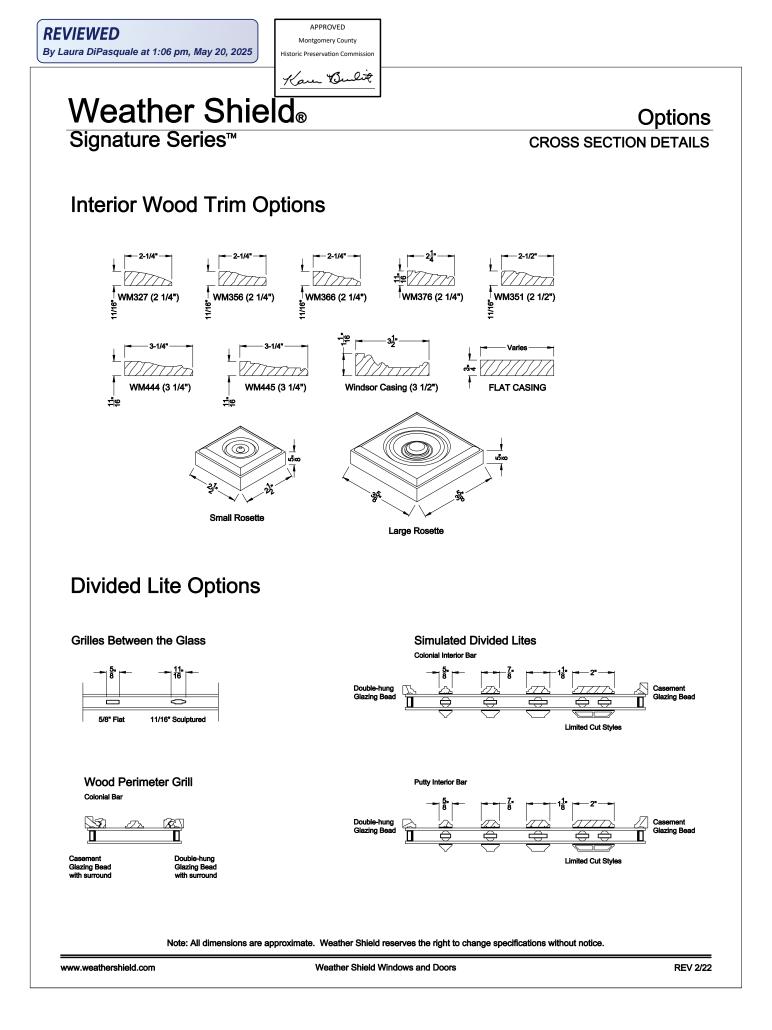
Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

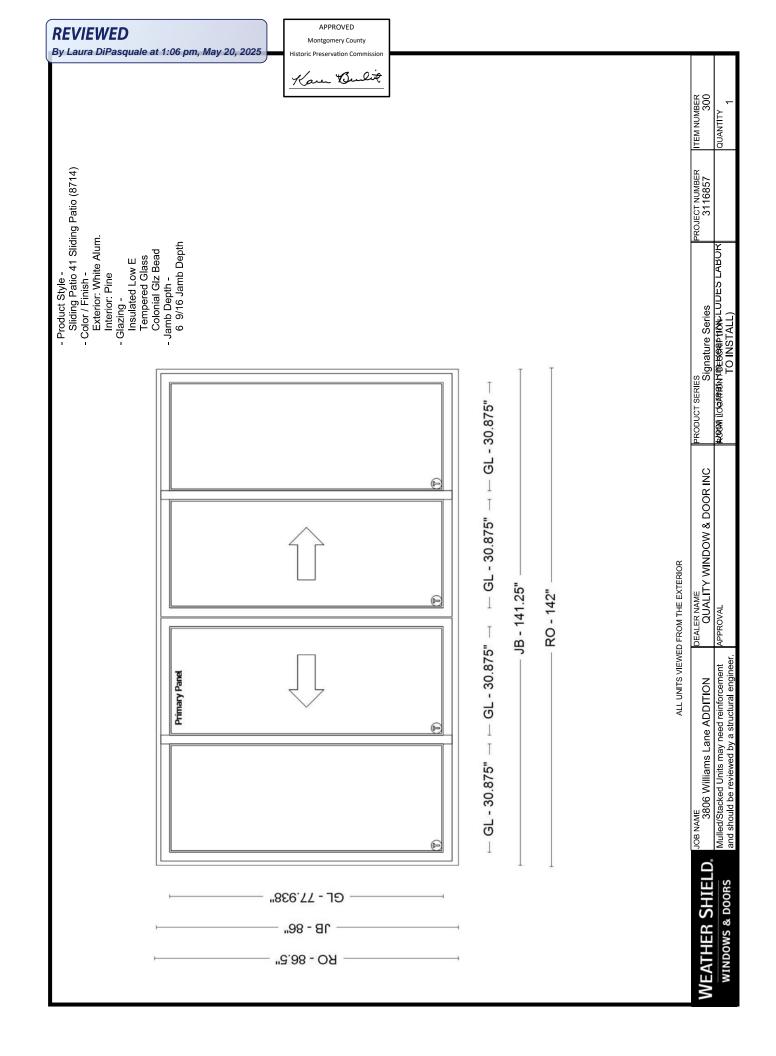


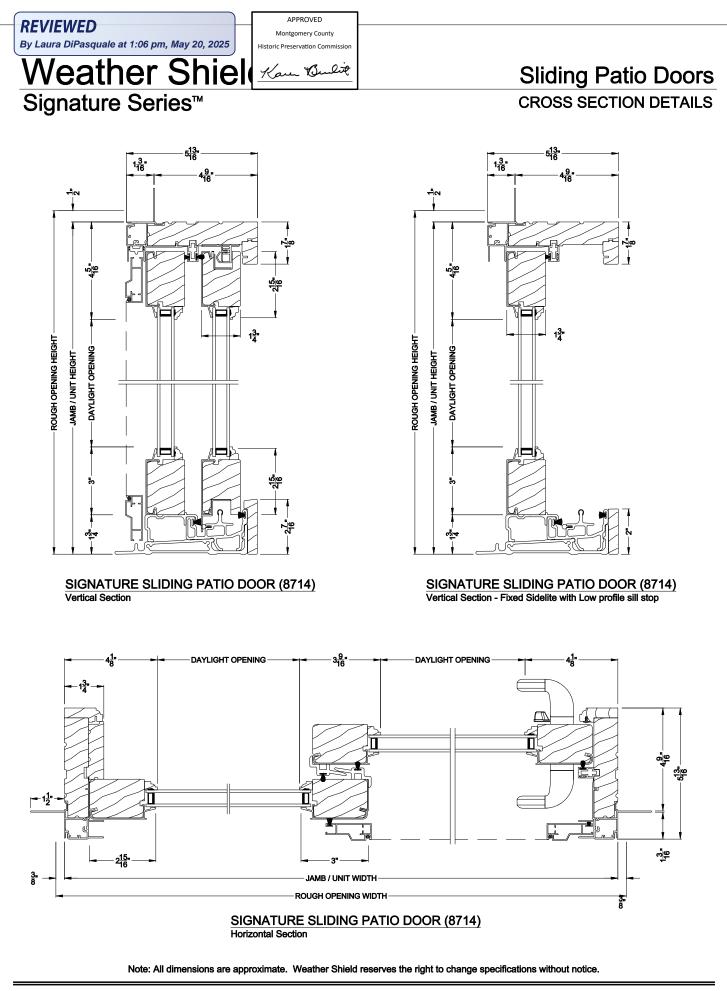
www.weathershield.com

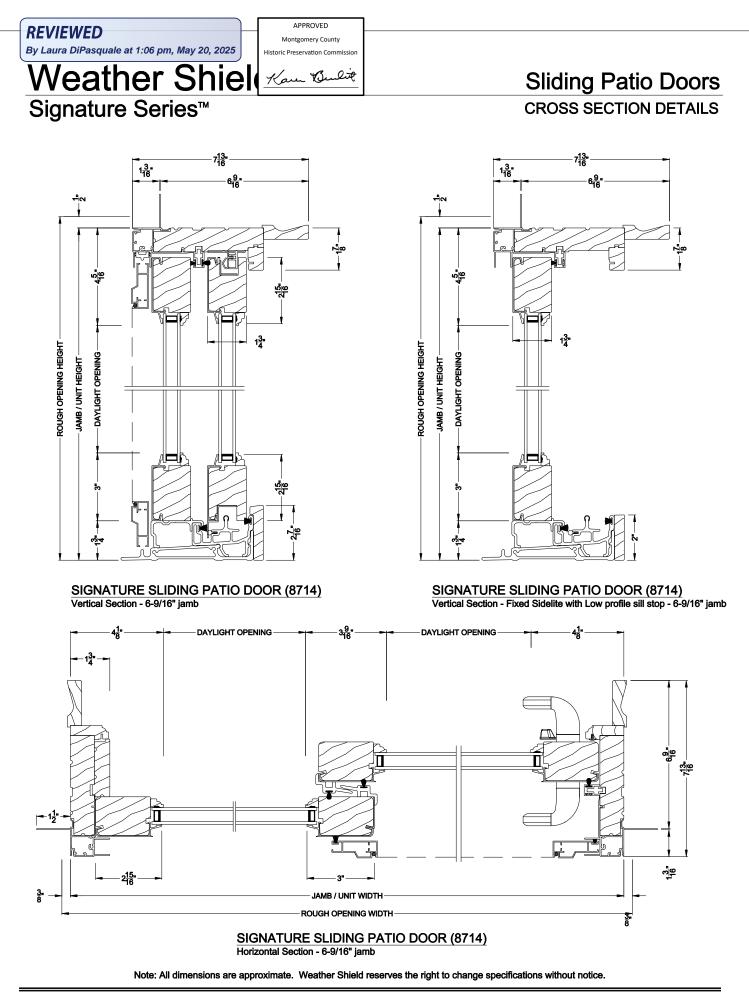
Weather Shield Windows and Doors

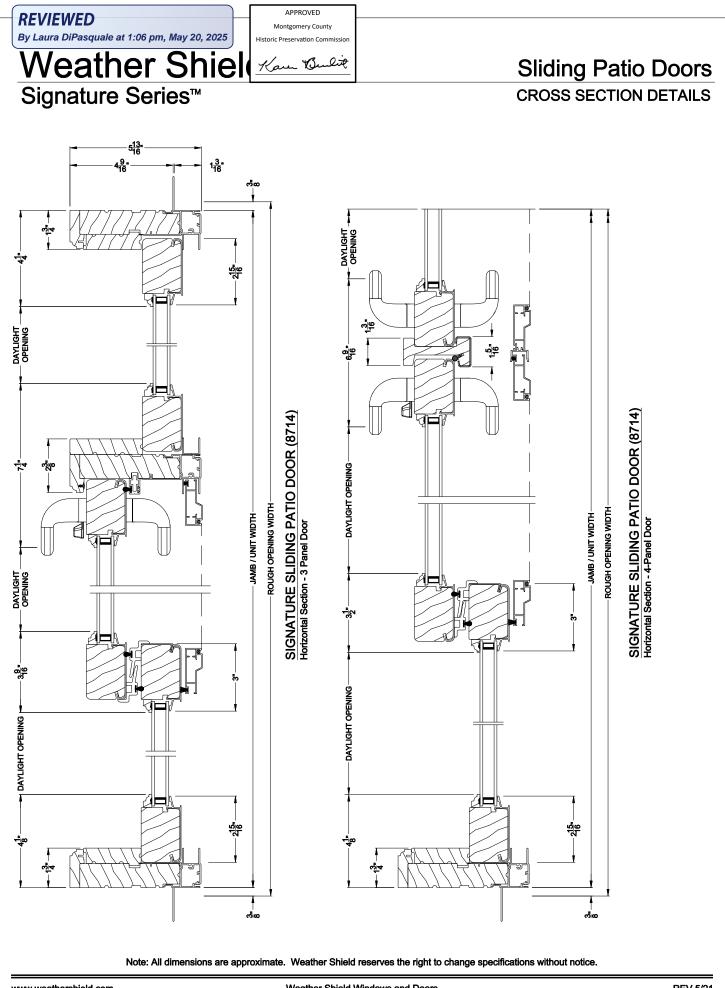






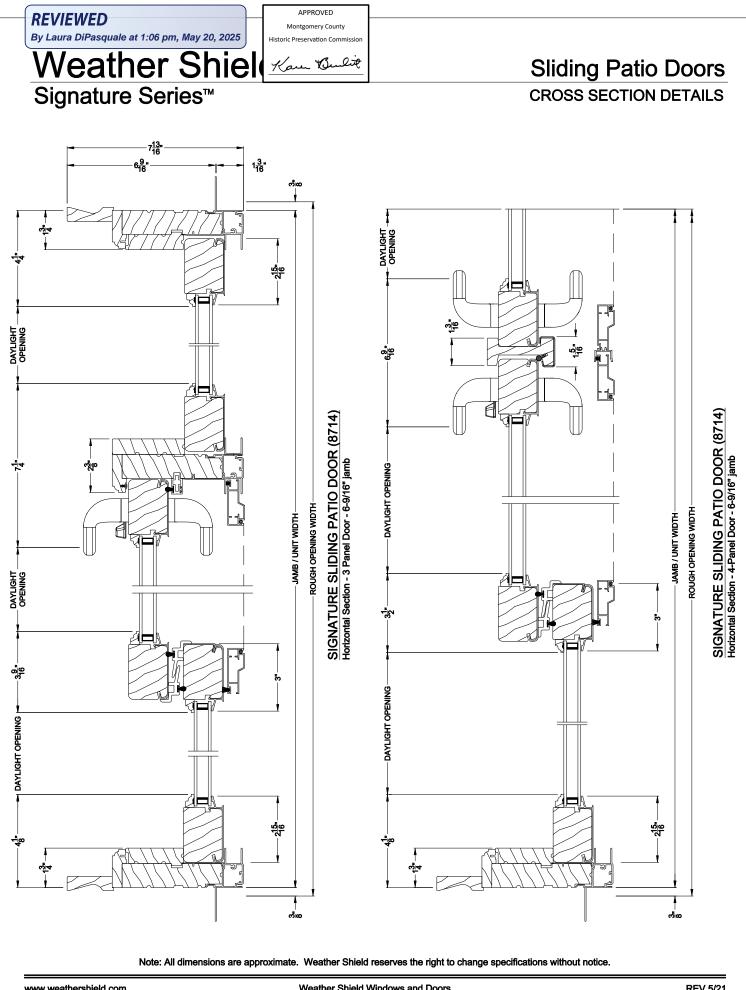






www.weathershield.com

REV 5/21



www.weathershield.com

Weather Shield Windows and Doors

REV 5/21



REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025

Canyon Ridge[®] / Carriage House 5-Layer Design 13; Shown in Dark Finis with Mahogany Cladding, Mahogany Overlays and REC13 Window Desig Photo Credit: Andy Frame Photograp1

CANYON RIDGE[®] Carriage House

APPROVED

Montgomery County

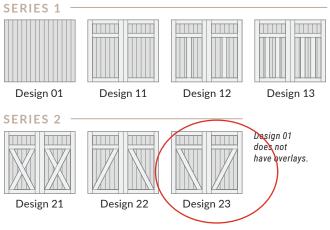
Historic Preservation Commission

5-LAYER CONSTRUCTION

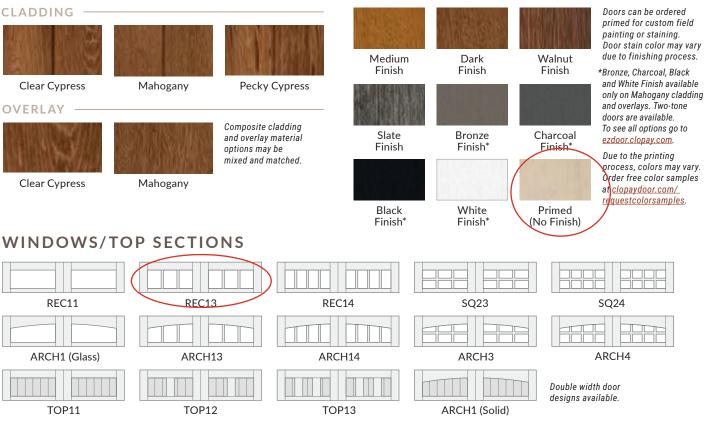
Canyon Ridge[®] Carriage House 5-Layer garage doors capture the charm of old-world carriage style doors in a durable, moisture-resistant construction. Composite overlays give you a low-maintenance wood alternative that looks and feels like the real thing, and the peace of mind that comes from having a superior insulated steel core construction. Choose from three species: Clear Cypress, Pecky Cypress or Mahogany, and a variety of paint and stain colors to create a custom look. The result is a stunning carriage house door you will enjoy for years to come.



DOOR DESIGNS



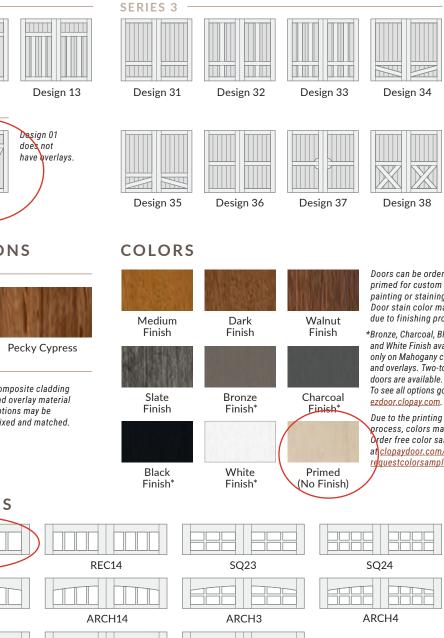
MATERIAL DESIGN OPTIONS



STYLE AND CONSTRUCTION

- 5-layer composite faux-wood doors with Intellicore[®] polyurethane insulation. 20.4 R-value.
- Insulated glass styles include clear, frosted, seeded, rain and obscure. See page 61 for details.
- Removable clip-in window grilles for easy cleaning.
- Spade lift handles and step plates included. See page 62 for more options.

Calculated door section R-value is in accordance with DASMA TDS-163. Canyon Ridge® doors not applicable for new construction in California areas designated as "Fire Hazard Severity Zones".

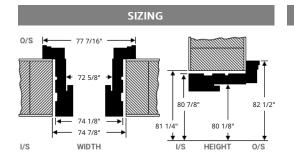


CLOPAYDOOR.COM | 35

YOUR PROFESSIONAL-CLASS PRODUCT

Heritage Smooth Fiberglass French Door





HANDING	
	ENERG
OUTSIDE	U-Factor (U
	0.1
INCIDE	ADDITIO
INSIDE	Visible Transr
	0.0
	Air Infiltration
	<= 0.
	and the





800.669.4711 2150 State Route 39 Sugarcreek, OH 44681

QUOTE INFORMATION

Job: 3806 Williams PO #BURLINGTON Order #12933080-2 Qty: 1

DETAILS

Heritage French Entry Door in FrameSaver Frame 72" x 80" Nominal Size Unit Size: 74 1/8" x 80 7/8" Frame Depth: 6 9/16" 2" Standard Brickmold Right Hand Outswing - Left Door Active (OSLI) French Doors 002 Style Heritage Smooth Fiberglass Door Prime Only Inside and Outside Hardware Georgian Lockset - Prep Only - Active Door Thumbturn Deadbolt - Prep Only - Active Door Aged Bronze Strike Plates Frame Textured Snow Mist White Aluminum Brickmold Cladding - Loose on Unit Prime Only Inside Frame Standard Astragal (Flip Lever) Bronze ZOB Outswing Bumper Threshold (7 5/8" Depth) Stainless Steel Ball Bearing Hinges

sell Price: \$2,255.00 plus tax

INFORMATION AND WARNINGS

Outswing doors include stainless steel hinges.

APPROVED Montgomery County Historic Preservation Commission e which plication rrranty, p int or ex

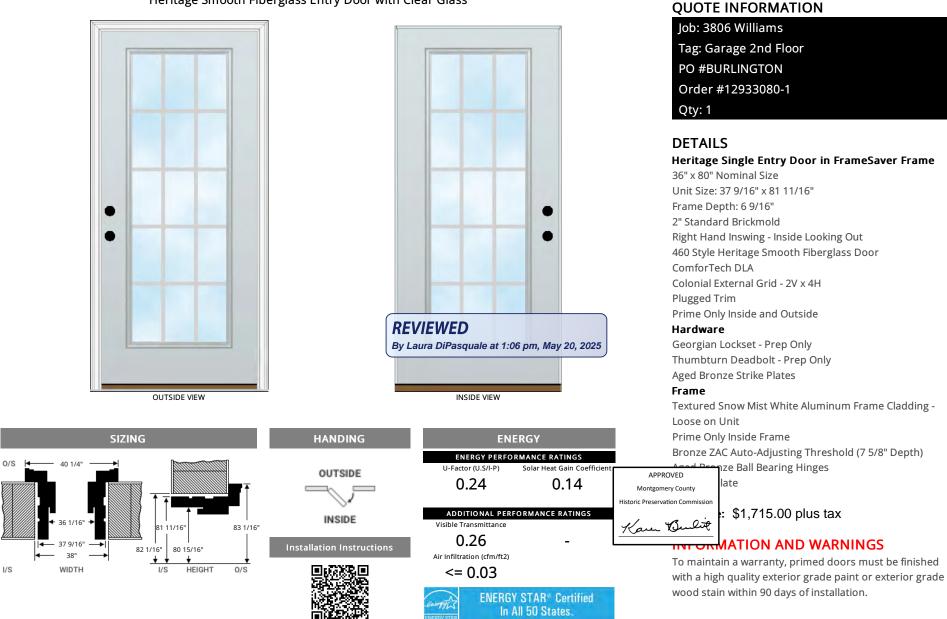
installation.

with a FrameSaver Frame only have a 2 year frame recommends that you upgrade to a PermaTech e which offers a lifetime frame warranty for both inswing plications. See warranty for limitations and exclusions. rranty, primed doors must be finished with a high quality int or exterior grade wood stain within 90 days of

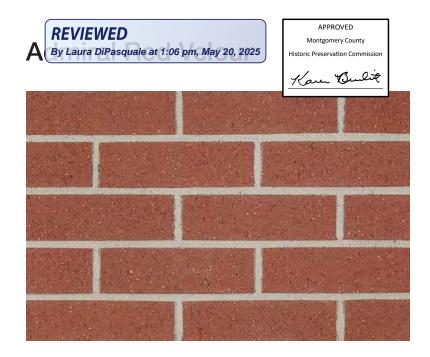
On outswing doors with brickmold and cladding, ProVia recommends that caulking be applied where the brickmold meets the frame. No caulking has been selected.

YOUR PROFESSIONAL-CLASS PRODUCT

Heritage Smooth Fiberglass Entry Door with Clear Glass





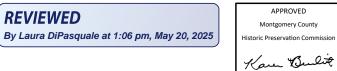




Туре	Face
Color	Red
Texture	Velour
Plant	Plant 2
Manufacturing Method	Extruded

Sizes

Sizes	Width	Height	Length	Unit/Sq Ft
Modular	3 5/8" 92mm	2 1/4" 57mm	7 5/8" 194mm	6.86
Norman	3 5/8" 92mm	2 1/4" 57mm	11 5/8" 295mm	4.57
Economo Modular	3 5/8" 92mm	3 5/8" 92mm	7 5/8" 194mm	4.50
Utility	3 5/8" 92mm	3 5/8" 92mm	11 5/8" 295mm	3.00
Monarch	3 5/8" 92mm	3 5/8" 92mm	15 5/8" 397mm	2.25
6" Thru-Wall Monarch	5 5/8" 143mm	3 5/8" 92mm	15 5/8" 397mm	2.25
8" Thru-Wall Monarch	7 5/8" 194mm	3 5/8" 92mm	15 5/8" 397mm	2.25
Double Utility	3 5/8" 92mm	7 5/8" 194mm	11 5/8" 295mm	1.50
Double Monarch	3 5/8" 92mm	7 5/8" 194mm	15 5/8" 397mm	1.13



Specs

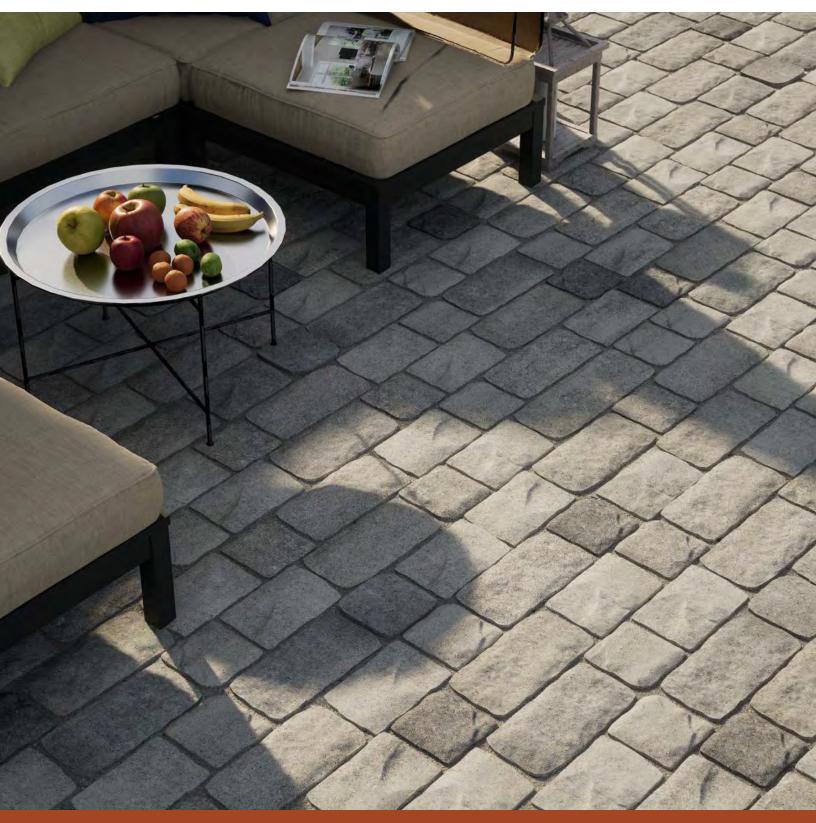
Standards / Value	FACE BRICK C216 FBX
Size	
Avg. Comp. (PSI)	28,280
Avg. 24 Hr. Cold Water Absor.	2.00
Avg. 5 Hr. Boil Absor.	2.10
Avg. Saturation Coeff.	0.92
Avg. Initial Rate Absor.	3.90
Test Report	bownload
Cleaning	Reiden Brick recommends using Vanatrol® to clean this product. Alternatively, EaCo Chem NMD 80® can be used to clean any

Cleaning Recommendation Belden Brick recommends using Vanatrol® to clean this product. Alternatively, EaCo Chem NMD 80® can be used to clean any of our brick.

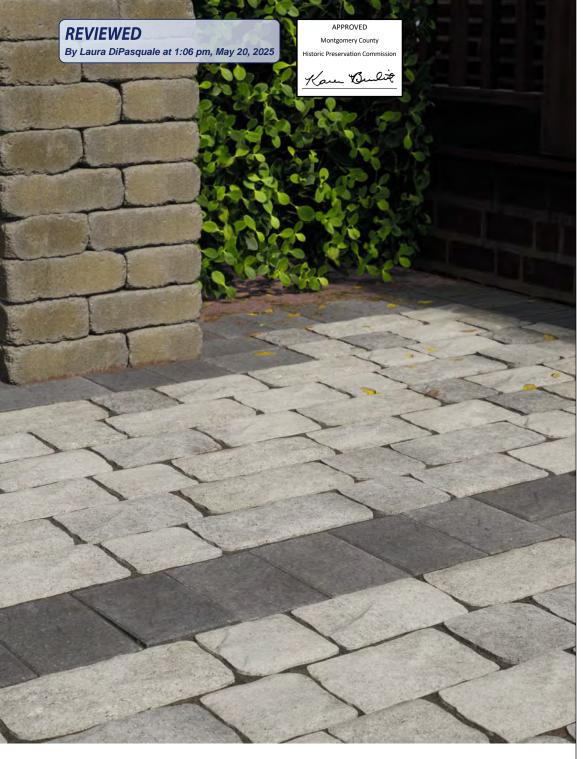




TIME HONED HAND-COBBLED APPEARANCE WITH OLD WORLD-CHARM



REVIEWED



CHARLESTONE[™] PAVER

TIME HONED HAND-COBBLED APPEARANCE WITH OLD-WORLD CHARM

- Timeless look of hand-cobbled stone
- Sized in true 3-inch increments for simplified estimating and ordering
- Reduced cuts and waste
- Compatible in sizing with Origins[™] and Dimensions[™] paver lines
- Pallet optimized for both mechanical and manual installation

♠ RICHMOND SERIES



CHESAPEAKE



For more info, visit Belgard.com



😽 MIDNIGHT



Swatch represents product color only, not surface texture, dimension and/or shape.

 SHAPES & SIZES

 3-PIECE MODULAR | 60MM

 6 x 6 x 2%

 6 x 9 x 2%

 6 x 12 x 2%

© 2022 Oldcastle[®] APG, Inc, A CRH Company. All Rights Reserved. Revised: 04/24/23 BEL22-412_Mid-Atlantic

MID-ATLANTIC CROFTON 2630 Conway Road Odenton, MD 21113 Ph: 301-261-0200

RICHMOND 1231 Willis Road Richmond, VA 23237 Ph: 804-279-7501

REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025

APPROVED Montgomery County Historic Preservation Commission

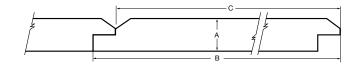
Karen Denlit

V-RUSTIC

The V-Rustic profile features a deep "V" groove that creates an appealing shadow line effect.

Smooth Finish

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	5"
1 x 8	11/16"	7-1/2"	7"
1 x 10	11/16"	9-1/2"	9"

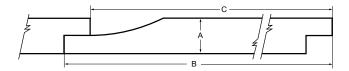


COVE/DUTCH LAP

The Cove/Dutch Lap profile features a subtle curve that creates a unique, eased appearance.

Smooth Finish

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/4"	6-23/32"
1 x 10	11/16"	9-1/4"	8-23/32

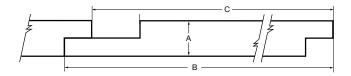


CHANNEL

The Channel profile's wide groove creates a rich shadow line effect.

Smooth Finish

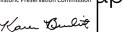
Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/4"	6-23/32"
1 x 10	11/16"	9-1/4"	8-23/32"

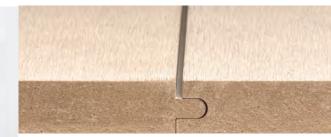


TruExterior Siding comes pre-primed and does require paint.



APPROVED Montgomery County Historic Preservation Commission







Nickel Gap Siding

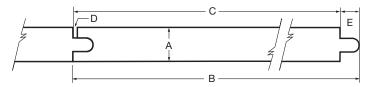
Nickel Gap Siding is the newest addition to the TruExterior[®] Siding Craftsman Collection[™]. The tongue-and-groove profile is self-gapping, creating a consistent nickel sized space between each board, allowing installers to achieve the traditional look of perfectly-spaced shiplap siding quickly and easily, without the need for spacers.

TruExterior® Siding

Boral has created an entirely new category of siding products with its TruExterior[®] Siding. The six new Craftsman Collection[™] profiles recreate the look and feel of traditional wood siding but perform better, are remarkably workable and have a lasting look – offering a solution for homeowners who desire the look and feel of traditional wood siding without the constant maintenance and upkeep associated with exterior wood products.

Nickel Gap Specifications

Nominal Size	Thickness (A)	Actual Width (B)	Reveal (C)	Gap (D)	Tongue (E)	
11/16 x 4	0.6875"	3.50"	3.1591"	0.08"	0.3409"	
11/16 x 6	0.6875"	5.50"	5.1591"	0.08"	0.3409"	
11/16 x 8	0.6875"	7.25"	6.9091"	0.08"	0.3409"	
11/16 x 10	0.6875"	9.25"	7.9091"	0.08"	0.3409"	



*See TruExterior® Siding Warranty and Data Sheet for proprietary test results, located at TruExterior.com



Boral TruExterior® Siding Facts

- Workability exceeds that of wood siding
- Installs with standard woodworking tools and methods
- · No need to prime ends or field cuts
- · Easily accepts paint of any color
- · Accepts a wide variety of fasteners
- · Resists rot and termite attacks[†]
- Maintains high level of dimensional stability[†]
- · No cracking or splitting from moisture
- 16' lengths
- Made in the USA
- · 20-year limited warranty[†]



Millions of families have found shelter and peace of mind under a Timberline® roof.

And now, a good thing just got even better again.



We protect what matters most[™]





Nationally Available Colors



Harvest Blend Colors



Regionally Available Colors (See next page for details.)



For more details visit gaf.com/TimberlineHDZ

REVIEWED y Laura DiPasquale at 1:06 pm	n, May 20, 202	5	Mor	APPROVEI ntgomery Co eservation (
Timberline	HDZ	®	Ka	n 10	uli t	lity		
Color Availability Ch	art	2	3	4	5	6	7	4
Most Popular Colors:	_							
Barkwood		•	•	•	•		•	
Charcoal	•			•	•		•	
Hickory				•	•		•	5
Hunter Green				•	•		•	
Mission Brown				•	•		•	
Pewter Gray				•	•		•	
Shakewood				•	•		•	3
Slate				•	•		•	
Weathered Wood				•	•		•	
Harvest Blend Colors:		_		_			_	1
Nantucket Morning			•	•			•	
Appalachian Sky	•			•			•	
Golden Harvest	•			•	•		•	
Cedar Falls	•			•	•		•	
Regional Colors:								
Birchwood				•	•		•	
Biscayne Blue								
Copper Canyon*								
Driftwood							•	
Fox Hollow Gray								
Golden Amber*					•			
Oyster Gray	•						•	
Patriot Red								
Sunset Brick								* Rated by the Cool Roof Rating Council (CI
Williamsburg Slate	•							to comply with 2022 Title 24 Part 6 Cool Ro the California Code of Regulations.

CRRC); can be used to comply with 2022 Title 24 Part 6 Cool Roof Requirements of the California Code of Regulations.

The protective layers of a Timberline HDZ[®] shingle

Ceramic-Coate Granules Engineered Asp High-Strength Fiberglass Core Engineered Asp Ceramic-Coate Granules Engineered Asp High-Strength Fiberglass Core Engineered Asp Ceramic-Coate Granules Engineered Asp	 Fiberglass asphalt construction Dimensions (approx.): 13 ¼ x 39 ¾ (337 mm x 1,000 mm) Exposure: 5 ½ (143 mm) Bundles/Square: 3 Pieces/Square: 64 StainGuard Plus^m Algae Protection Limited Warranty¹ Hip/Ridge: TimberTex^{®3}; TimberCrest[®]; Seal-A-Ridge^{®3}; Z[®]Ridge; Ridglass[®] Starter: Pro-Start[®]; QuickStart[®]; WeatherBlocket^m 	 Applicable Standards & Protocols: Passes UL 2218 Impact-Resistance Test with Class 3 rating State of Florida approved Classified by UL in accordance with ICC-ES AC438 Meets ASTM D7158, Class H Meets ASTM D3161, Class F Meets ASTM D3018, Type 1 Meets ASTM D3462² Miami-Dade County Product Control approved ICC-ES Evaluation Reports ESR-1475 and ESR-3267 Meets Texas Department of Insurance
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¹ 25-year StainGuard Plus[™] Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus[™] logo. See GAF Shingle & Accessory Limited Warranty for complete coverage and restrictions and qualifying products. ² Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

³ Harvest Blend colors are only available on TimberTex® and Seal-A-Ridge®.



TimberTex[®] and TimberTex[®] est[®] Premium Ridge Cap Shingles





Hip & ridge cap shingles accentuate the natural beauty of your architectural shingle roof. They're the perfect finishing touch that helps defend against leaks at the hips and ridges. gaf.com/ridgecaps

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TimberTex® and TimberCrest® premium ridge cap shingles are designed to complement the color of your Timberline® shingles. To ensure the closest color consistency for your roof, ask your contractor to use genuine TimberTex® or TimberCrest® premium ridge cap shingles.¹

- Accentuate the beauty of your newly installed shingle roof
- Protect against leaks and blow-offs at the hip and ridge areas of your roof
- Complement the color of your GAF shingles with hip and ridge cap shingles manufactured by GAF
- 25-year StainGuard Plus[™] Algae Protection Limited Warranty² against blue-green algae discoloration uses GAF time-release algae-fighting technology to help protect your ridge cap shingles from unsightly stains.

Also available¹





¹ These products are not available in all areas. See gaf.com/ridgecapavailability for details.

² 25-year StainGuard Plus[™] Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus[™] logo. See GAF Shingle & Accessory Limited Warranty for complete coverage and restrictions and qualifying products.