



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

Date: 5/20/2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1104437– Partial demolition, construction of new two-story rear addition, new detached accessory structure; tree removal; siding, window and roof replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached applications for a Historic Area Work Permit (HAWP). This application was **approved with four (4) conditions** at the March 26, 2025 HPC meeting:

1. The applicant must submit additional and precise documentation and updated window specifications confirming the dimensions for all window types. The proposed windows must match exactly the dimensions of the historic windows.
2. The presence and condition of the shutter hardware must be added to the window survey. The historic shutter hardware must be retained on all windows where it exists.
3. The front door must be a single-light half-light door, based on a design in Figure 19 or Figure 20 of the staff report.
4. The applicant must submit a ridge detail for the standing-seam porch roof. The panel width must be between 12 and 18 inches. The seams must be hand crimped in the field and measure no more than 1" high.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.





HISTORIC PRESERVATION COMMISSION

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Applicant: Pat and Wyman Stokes; Shawn Buehler, Architect.
Address: 3806 Williams Lane, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The subject property is a 2.5 story wood-framed farm house built in 1895. The T-shaped building mass features a gable facing the street with a perpendicular ridge across the rear. An open porch spans the front and wraps around to the right (west), featuring simplified columns and railings. Exterior finishes include dutch lap siding (with a triple groove routed into the face of each plank), painted wood trim and windows with 2/2 and 1/1 grills and gable-end windows with a perimeter lite pattern. Exterior finishes also include fiberglass roofing, aluminum gutters. Siding and windows are in poor condition, siding is rotted or missing in several locations. Lead testing has indicated significant amounts of lead in exterior siding, windows and trim.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The proposed scope includes renovation of the existing structure, a two-story rear addition (over a below grade cellar), and a new detached accessory structure to house a garage with finished space above. The addition is similar to a previously-approved HAWP at this address with a few notable differences:

The rear addition massing is the same width (east-to-west) but not as deep as previously proposed due to elimination of a 6' deep two-story element. Rear addition still features a 5'-6" wide "link" element between the existing and new cross gables, and still features a new gable at 17'-5" deep (front-to-back). The side entrance is relocated from the west side to the less visible / prominent east side.

The rear screened porch location is shifted from the south east corner to the southwest corner, away from the closer of the two side neighbors - to better orient to the larger side yard.

Several window locations within the addition have been reconfigured, moved or changed from the previously approved HAWP; most notably a shallow 12" deep one story window bay on the west facade and a one story window bay on the rear elevation have been added.

The scope includes a new curb cut and driveway on the east side of the home. This location has been reviewed and endorsed by the Chevy Chase Section 5 Arborist.

The scope includes a new detached garage with finished / conditioned space above. The space above is NOT proposed as an ADU. The detached structure size and location have been reviewed and endorsed by the Chevy Chase Section 5 Arborist.

We believe the proposed design is compatible with the resource and similar in scale to the additions and renovations to the companion resource directly across the street. Edits to the previously approved HAWP are a reflection of new ownership and design team, seeking to retain the general direction of the previously approved scope, while meeting slightly different interior goals for the new owners.

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REVIEWED

By Laura DiPasquale at 1:01 pm, May 20, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

Work Item 1: Exterior Siding

Description of Current Condition:

The existing trim and siding is in very poor condition, including multiple locations where siding is missing entirely. Both the trim and siding have been tested for lead and have been found to have extremely high levels of lead paint.

Proposed Work:

The existing trim profiles are generally simple and relatively easy to source with replacement wood trim. The siding is a deep dutch lap profile with a unique triple groove in the flat surface of the siding plank. The proposed scope of work includes custom milling new wood siding to match the existing siding and replacing trim as needed to match existing trim profiles. This will also allow installation of a weather barrier within the wall system to better protect the structural elements of the home for the foreseeable future.

Work Item 2: Existing windows

Description of Current Condition:

The existing wood double-hung windows are in poor condition. Several of the windows do not have the original glazing, show termite damage, and / or have significant rot in the sashes or frames. Several windows are wracked from structural settling of the home. All of the windows have been tested and have shown significantly high levels of lead paint.

Proposed Work:

Proposed replacement windows are wood, true divided light windows ~~(by Lincoln)~~. Windows will match the grill patterns and precise sizes and profiles of existing windows.

Work Item 3: Rear addition and porch

Description of Current Condition:

The existing home has a rear deck, roughly 40" above grade. The deck extends beyond the east side of the home.

Proposed Work:

The proposed scope includes a two-story rear addition over a basement below grade. The rear addition includes a one-story screened porch and a one-story window bay on the rear elevation. The massing of the addition mimics the existing cross gable on the historic home, connected by a 5.5' wide link that steps in from the corners of the historic home. The new gable is slightly narrower than the existing, to keep the new roof ridge lower than existing. Exterior trim, siding and windows will be detailed to be consistent with existing conditions.

REVIEWED

By Laura DiPasquale at 1:01 pm, May 20, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Karen Bunkit

Work Item 4: Accessory structure

Description of Current Condition:

NA

Proposed Work:

The accessory structure is proposed at 1.5 stories with a modest conditioned / finished space above. This will not be used as an ADU. The driveway will be pavers at the front and rear yards with a split-track configuration along the side of the house. The Section 5 arborist has reviewed the proposed structure location and has endorsed the proposal. Exterior siding will be vertical nickel gap Boral siding and windows will be aluminum clad wood windows. Trim will be Boral synthetic composite trim.

Work Item 5: Driveway

Description of Current Condition:

The existing property has no driveway or off street parking. Williams Lane is a narrow street with limited on-street parking.

Proposed Work:

The proposed scope includes a new driveway along the east side of the home, wrapping around the rear of the home to a detached garage at the southwest corner of the lot. The driveway will be pavers at the front yard with a split-track configuration along the side of the house. The Section 5 arborist has reviewed the proposed apron and driveway locations and has endorsed the proposal.

Work Item 6: tree removal

Description of Current Condition:

The trees to be removed include a 7" cherry rated in fair condition and a 14" sugar maple rated in good condition. The large tulip poplar at the front of the property was hazardous and has already been removed.

Proposed Work:

The section 5 arborist has reviewed our tree protection plan and endorsed removal of both trees to accommodate the proposed scope of work.

REVIEWED

By Laura DiPasquale at 1:01 pm, May 20, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

WILLIAMS LANE RENOVATION

3806 Williams Lane, Chevy Chase, MD 20815 - Project # 2462

SPECIFICATIONS

DIVISION 1: GENERAL REQUIREMENTS

- 1.1.1 General Conditions: The general conditions of the Agreement Between the Owner and Contractor if not addressed here, shall be AIA Document A201 (most current edition).
- 1.1.2 Lien Waivers: At the time of final payment by the Owner, the Contractor shall provide lien waivers from his company as well as all major subcontractors (plumbing, electrical, mechanical, mason, roofer, etc.) and suppliers exceeding \$10,000 in value.
- 1.2.1 Contractor's Liability Insurance: The Contractor shall purchase and maintain such insurance as will protect the Contractor from claims which may arise out of or result from the Contractor's or Subcontractors' operations under the Contract. The Architect shall be named as an additional insured on the General Contractor's policy.
- 1.2.2 Owner's Liability Insurance: The Owner shall be responsible for purchasing and maintaining the Owner's usual liability insurance.
- 1.2.3 Property Insurance: The Owner shall purchase and maintain property insurance in the amount of the initial Contract Sum (as well as subsequent modifications) on a replacement cost basis. The policy shall be on an all-risk policy form and shall insure against the perils of fire and extended coverage and loss or damage including theft, vandalism, malicious mischief, collapse and falsehood. The Contractor shall be responsible for paying the deductible for losses attributable to an unsecured job-site.
- 1.3 Licensure: the Contractor and all Subcontractors shall be licensed and/or registered to perform their respective trades in the jurisdiction of the project property.
- 1.4 Permits: Owner shall obtain general building permit. General Contractor shall be responsible for all other permits including, but not limited to trade permits, right-of-way / public space permits, parking and dumpster permits, etc.
- 1.5 Warranty: All workmanship and materials shall be guaranteed for a minimum period of one year from the date of Substantial Completion.
- 1.6 Owners Manuals and Instructions: The General Contractor shall collect, consolidate and convey to the Owner all Owners Manuals, Instructions, Warranty registrations and all other pertinent information for new equipment and fixtures. The General Contractor or designated subcontractor(s) shall review with the Owner the proper operation and maintenance schedule as appropriate for all equipment and controls.
- 1.7 Interpretation: The Architect shall be the interpreter of the requirements of the Contract Documents. If the builder or subcontractor has any question about the meaning of the drawings or specifications for the Work, or should he find any discrepancy or omission therein, the Builder/subcontractor shall immediately so notify the Architect.
- 1.8 Dimensions: Verify all dimensions. All dimensions are to framing, except to existing construction or where otherwise noted. Window opening dimensions are to rough openings; add 2 1/2" to swinging interior door sizes for rough openings. Do NOT scale drawings.
- 1.9 Building Protection: All precautions shall be taken by subcontractors to protect existing hardwood floors, tile and other finishes to remain for the period of construction. Any damage shall be rectified by the responsible subcontractor(s) or general contractor prior to completion of work. See also section 2.2.
- 1.10 Debris: All subcontractors shall, at regular intervals, remove all their respective construction debris from site and shall not allow such debris to drift, be blown or otherwise transported onto adjacent property. Subcontractors shall place barricades or take such other precautions as necessary to prevent injury to the public.
- 1.11 Codes: All construction to be in accordance with International Residential Code 2021 edition, and in accordance with all applicable Montgomery County, State of Maryland and Federal rules and regulations (including local amendments to model code).
- 1.12 Quality: All work will be performed in a workmanlike fashion in conformance with rules of accepted good practice. All materials contemplated in these drawings shall be new and of good quality and shall be protected from weather when stored on the building site.
- 1.13 Changes in Work: The Owner without invalidating the Contract, may order extra work or make changes by altering, adding or deducting from the work, the contract sum being adjusted accordingly by a change order. All such work shall be executed under the conditions of the original contract except for claims for extension of time caused hereby which shall be adjusted at time of change order execution.
- 1.14 Claims for Extra Work: If a subcontractor claims that any instructions by drawings or other requests for changes in the work involve extra cost under the contract he shall give the Owner written notice thereof within a reasonable time after receipt of such instructions and in any event before proceeding to execute the work.
- 1.15 Allowances: NA
- 1.16 Punchlist: At the time of making the final contract payment, the owner may hold back 200% of the value of all Punch List work. The Architect and Contractor will place a fair and reasonable value on each Punch List item. This 200% hold back for Punch List work is intended to assure the Owner that all Punch List work will be completed in a timely manner.
- 1.17 MISS UTILITY: Prior to any excavation at the site the Contractor shall contact Miss Utility, 1-800-257-7777 to ascertain the location of all underground utilities. Avoid unnecessary disturbance, conflict or interruption of services with underground utilities to the fullest extent possible.

- 1.18 Definitions: The Contractor shall understand that the word "provide", as used in these documents, includes the purchase of the item specified, including taxes and any associated shipping and handling charges. Also included shall be the procurement and provision of all materials, equipment and labor associated with the complete installation of the item(s) specified in good working order.
- 1.19 Construction by Owner or By Separate Contractors: The Owner reserves the right to perform construction or operations related to the Project with the Owner's own forces. The Contractor shall provide the Owner and separate contractors reasonable opportunity for placement and storage of materials and equipment in the performance and completion of other activities. The Contractor shall cooperate and coordinate activities as provided within the agreement between the Owner and the Contractor.
- 1.20 Temporary Utilities: Electricity and water shall be provided to the General Contractor from the existing house. The General Contractor shall be responsible for providing and maintaining porta potty and propane fired heating as needed.
- 1.21 Coordination between Drawings and Specifications: Should a conflict exist between the drawings and specifications, the more restrictive or costly shall apply for pricing. The Owner and Architect shall be consulted to determine proper design alternative. If the less restrictive or costly item is selected the Contractor shall apply appropriate credit to the Owner under the contract.
- 1.22 Shop Drawings: Shop Drawings are required for, but not limited to, the following items:
- Prefabricated stairs
 - Prefabricated floor or roof trusses
 - Metal railings
- 1.23 Samples: provide samples for the following items:
- Flagstone
 - Stone and brick veneer, including mortar
 - Roof shingles
 - Hardwood floor stain and finish options
 - Paint colors, per Division 9
 - Gutter and downspout colors
 - Exterior flashing colors
- 1.24 Owner Supplied Items: see individual specification divisions for further information. Install the following Owner provided:
- Bath accessories
 - Primary closet shelving / rod / built-ins
 - Items salvaged for re-use as noted in Division 2 or on demolition drawings
 - Kitchen and bathroom cabinets, hardware and tops
 - Exterior doors and windows
 - Appliances
 - Interior door hardware
 - Plumbing fixtures
 - Electrical fixtures
 - Shower glass
 - Tile
 - Sheet flooring and laminated plank flooring
- 1.25 Energy Code Certificate: Owner shall provide an Energy Coder Certificate Label, per DC Energy Code 401.3. Label shall include all energy code requirements and features identified by 401.3

DIVISION 2: SITEWORK AND DEMOLITION

- 2.1 Utilities: Water, sewer, gas, electric, telephone and CATV utilities on site are to remain and be extended as required. Verify size and condition and remove, replace, upgrade as necessary. Locate all underground utilities. See note above regarding contact with Miss Utility.
- 2.2 Protection of Existing Landscaping: Protect from physical damage all paved / hardscaped surfaces, existing trees, and vegetation that are to remain. Consult with Owner and Section 5-approved Tree Protection Plan (TPP) prior to removing any trees, vegetation or obstructions as indicated or which would interfere with new construction. Feeder root zones below all tree canopies shall be respected such that no heavy equipment storage/parking or regrading shall occur without the permission of the Owner. See also section 1.9. Damaged elements shall be replaced or restored as appropriate.
- 2.3 Landscape: Landscape work shall be limited to finish grading and seeding of disturbed areas. Redistribute available topsoil. Provide finish grade that slopes approximately 1/4" per foot away from perimeter of the building.
- 2.4 Erosion Control: Provide staked hay bales and/or siltation fence, or other means as necessary to provide erosion control in accordance with requirements of the local jurisdiction.
- 2.5 Demolition: Protect all adjacent finishes to remain. Protect sensitive equipment and surfaces from dust and debris. Provide and secure plastic sheeting to isolate the area of work from occupied portions of the residence. Provide adequate shoring and bracing as necessary before removing any load bearing components. Cap/block HVAC registers in affected areas to avoid the conveyance of dust into any central systems.
- 2.6 Not used
- 2.7 Salvage:
- Interior stair newel posts (save for re-use)
 - Review existing framing to be discarded for possible re-use in built-ins
 - Laundry appliances (save possible re-use at basement)
 - Existing trim and siding shall be salvaged as removed for reuse wherever feasible. Contractor shall store salvaged material off-site (after clearly logging its removed location) for protection prior to re-installation.
 - Salvage existing shutters and all shutter hardware on site for re-use.
- 2.8 Foundation Drainage: Provide 4" perforated, corrugated PVC foundation drain with filter cloth in gravel bed. Completely cover drains with filtering material to a width of 6" minimum on each side and 12" above top of pipe. Slope drain to daylight or sump crock pumped to daylight.

CONTINUED ON SP-100

PROJECT DESCRIPTION

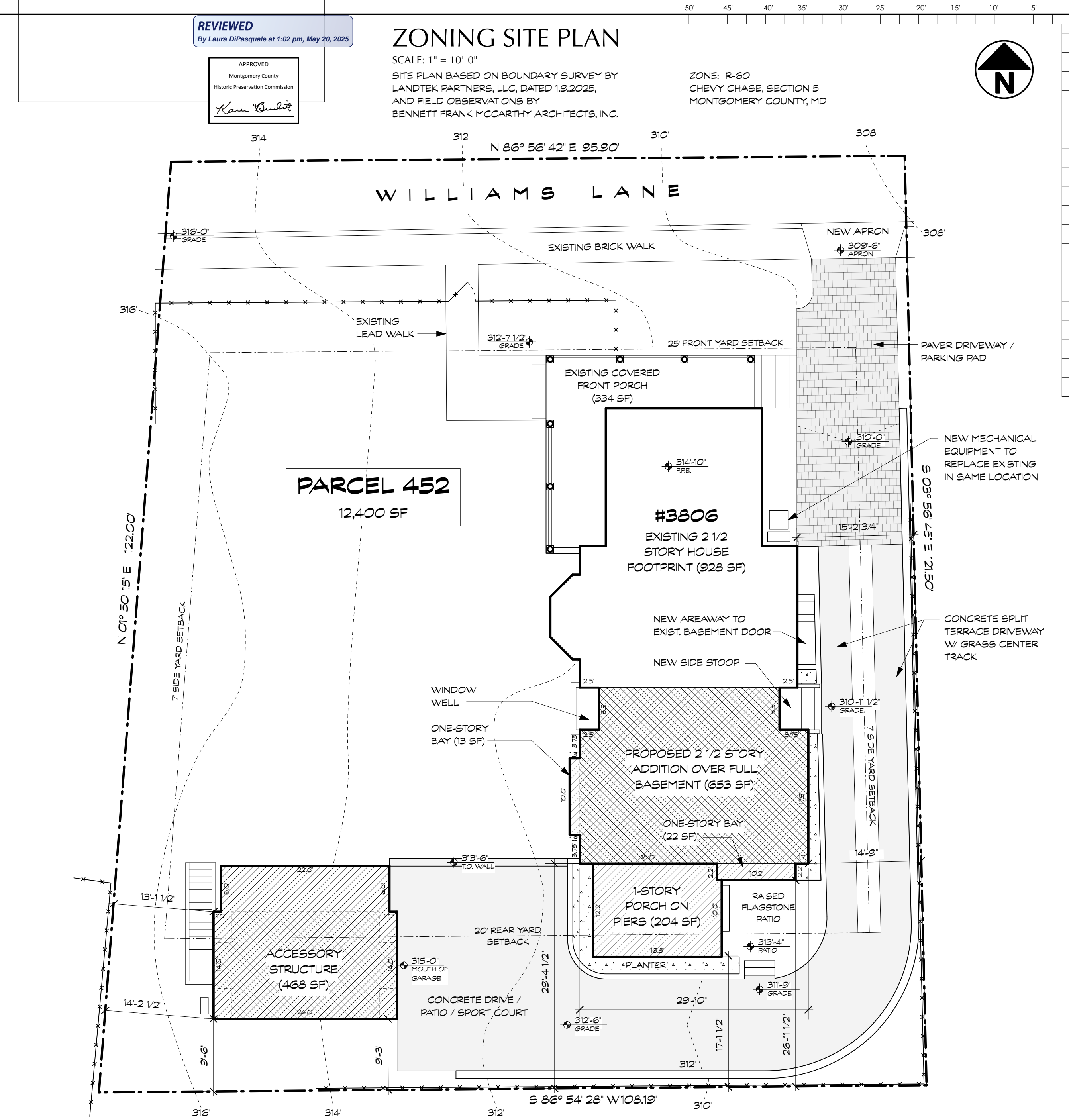
THIS PROJECT INVOLVES A NEW 2-1/2 STORY REAR ADDITION TO AN EXISTING HISTORICAL HOME, AND A NEW ACCESSORY STRUCTURE TO ACCOMMODATE A GARAGE AND A LOFT / OFFICE SPACE. WORK ALSO INCLUDES A FULL INTERIOR REMODEL OF THE EXISTING HOUSE, AS WELL AS A REAR SCREEN PORCH. THE HOME WILL BE UNOCCUPIED DURING CONSTRUCTION.

ZONING SITE PLAN

SCALE: 1" = 10'-0"

SITE PLAN BASED ON BOUNDARY SURVEY BY LANDTEK PARTNERS, LLC, DATED 1.9.2025, AND FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.

ZONE: R-60
CHEVY CHASE, SECTION 5
MONTGOMERY COUNTY, MD



SITE PLAN SUMMARY			
1. LOT COVERAGE			
TOTAL LOT COVERAGE	12,400 SF	100%	
EXISTING LOT COVERAGE	1,262 SF	10.2%	
PROPOSED LOT COVERAGE	2,622 SF	21.1%	
INCREASE	1,360 SF	10.9%	

2. BUILDING FLOOR AREAS - MAIN HOUSE				
LEVEL	EXIST. AREA	ALTERED AREA	NEW AREA	TOTAL AREA
BASEMENT	892 SF	892 SF	688 SF	1,580 SF
FIRST	928 SF	928 SF	892 SF	1,820 SF
SECOND	892 SF	892 SF	653 SF	1,545 SF
ATTIC	623 SF	623 SF	743 SF	1,366 SF
TOTAL	3,335 SF	3,335 SF	2,976 SF	6,311 SF

3. BUILDING FLOOR AREAS - ACCESSORY STRUCTURE				
LEVEL	EXIST. AREA	ALTERED AREA	NEW AREA	TOTAL AREA
FIRST	0 SF	0 SF	468 SF	468 SF
SECOND	0 SF	0 SF	298 SF	298 SF
TOTAL	0 SF	0 SF	766 SF	766 SF

4. BUILDING HEIGHT		
PREDEVELOPMENT GRADE	312'-1 1/2"	0'-0" HT.
EAVE	332'-6"	20'-4 1/2" HT.
MEAN	338'-0 3/4"	25'-10 3/4" HT.
RIDGE	343'-6 1/2"	31'-5" HT.

LEGEND	
	NEW FIRST FLOOR FOOTPRINT
	NEW SECOND FLOOR FOOTPRINT
	PROPERTY LINE
	SETBACK LINE
	BUILDING OUTLINE
	WOOD FENCE

ABBREVIATIONS

AND	COND	CONDITION	ELEC	ELECTRICAL	LSW	LOAD BEARING WALL	OSB	ORIENTED STRAND BOARD	SPRK	SPRINKLER
AT	CONC	CONCRETE	EXP	EXPANSION	LVL	LAMINATED VENEER	PLAM	PLASTIC LAMINATE	TBD	TO BE DETERMINED
ABOVE	CONT	CONTINUOUS	EQ	EQUAL	MARB	MARBLE	PLYWD	PLYWOOD	TES	TONGUE AND GROOVE
FINISHED FLOOR	D	DRYER	ETR	EXISTING TO REMAIN	MATL	MATERIAL	PTD	PRESSURE TREATED	TOS	TOP OF SLAB
APARTMENT	DH	DOUBLE HUNG	EX	EXISTING	MAX	MAXIMUM	PTD	PAINTED	TYP	TYPICAL
BUILDING	DN	DIVISION	FIN	FINISH FLOOR	MDO	MAXIMUM DENSITY	RISER	RISER	UNO	UNLESS NOTED OTHERWISE
BASEMENT	DR	DOOR	FLR	FLOOR	RO	ROUGH OPENING	REF	REFRIGERATOR	VIF	VERIFY IN FIELD
CONTROL JOINT	GA	GAUGE	MIN	MINIMUM	RQD	REQUIRED	RM	ROOM	W	WASHER
CABINET	MANU	MANUFACTURER	MTL	METAL	SC	SOLID CORE	SHT	SHEET	WC	W/ WITH
CENTER LINE	MECH	MECHANICAL	NIC	NOT IN CONTRACT	SHWR	SHOWER	SHR	SIMILAR	WD	WOOD
CEILING	NTS	NOT TO SCALE	OC	ON CENTER	OH	OPPOSITE HAND	SPEC	SPECIFICATION	WIO	WITHOUT
CLEAR	CC	CORNER	OH	OPPOSITE HAND	CC	CORNER	OH	OPPOSITE HAND	WWM	WELDED WIRE MESH
CONCRETE	CONC	CONCRETE	CONC	CONCRETE	CONC	CONCRETE	CONC	CONCRETE	CONC	CONCRETE
MASONRY UNIT	EL	ELEVATION	EL	ELEVATION	EL	ELEVATION	EL	ELEVATION	EL	ELEVATION

SYMBOLS

	CENTERLINE		DRAWING CALL-OUT: DRAWING NUMBER		ELEVATION MARKER: XXX-XX X"X" ELEVATION BENCHMARK
	DOOR TAG: DOOR REFERENCE (SEE DOOR SCHEDULE)		ELEVATION CALL-OUT: VIEW DIRECTION (SEE DOOR SCHEDULE)		SPOT LOCATION
	WINDOW TAG: WINDOW REFERENCE (SEE WINDOW SCHEDULE)		ELEVATION CALL-OUT: VIEW DIRECTION (SEE WINDOW SCHEDULE)		SECTION CUT CALL-OUT: DRAWING REFERENCE SECTION CUT LOCATION
	WALL TAG: WALL TYPE REFERENCE (SEE WALL / PARTITION TYPES)		ELEVATION CALL-OUT: VIEW DIRECTION (SEE WALL / PARTITION TYPES)		SECTION CUT CALL-OUT: DRAWING REFERENCE SECTION CUT LOCATION

PROJECT DATA

JURISDICTION:	MONTGOMERY COUNTY, MD
BUILDING CODE:	2021 IRC & MONTGOMERY COUNTY AMENDMENTS
BUILDING USE GROUP:	SINGLE-FAMILY, DETACHED
CONSTRUCTION TYPE:	SB - COMBUSTIBLE, UNPROTECTED
FIRE SUPPRESSION SYSTEM:	NA

BENNETT FRANK MCCARTHY architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

OWNER

Pat and Wyman Stokes
14830 Canaan Dr.
Fort Myers, FL 33908

STRUCTURAL ENGINEER

Robert Wixson, APAC Engineering, Inc.
8555 16th St, Suite 200
Silver Spring, MD 20910

(301) 565-0543

MECHANICAL CONSULTANT

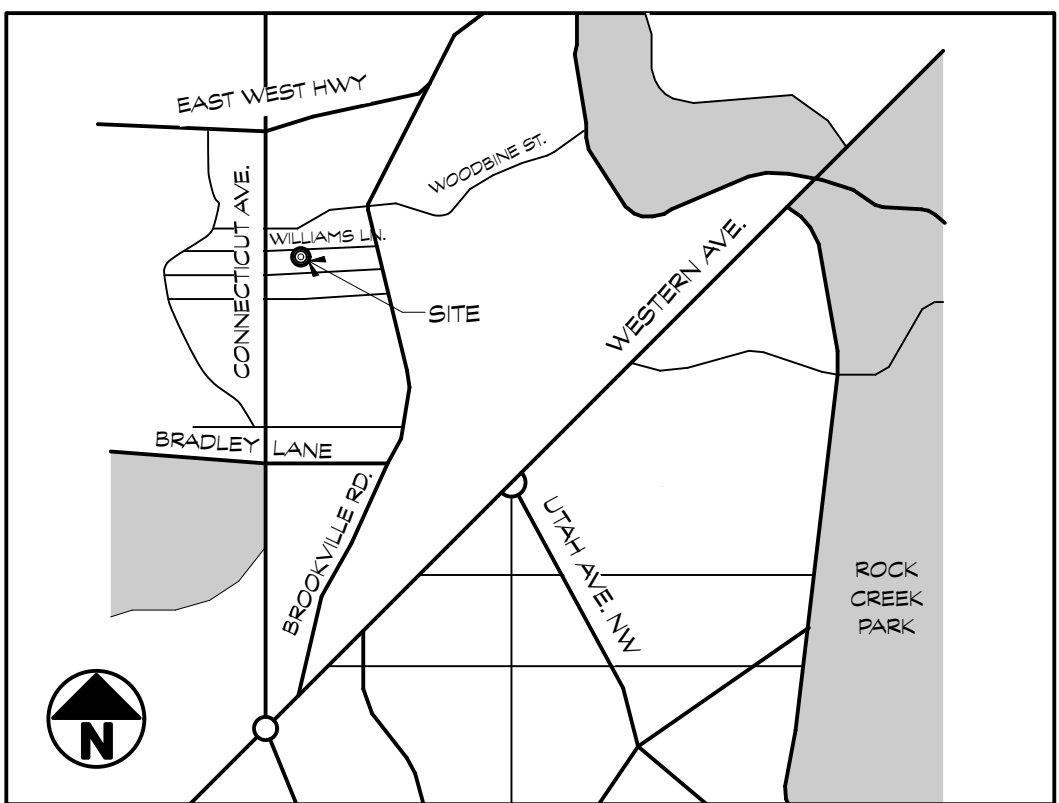
Gallant Mechanical
13001 Cleveland Drive
Rockville, Maryland 20850

(240) 750-4988

DRAWING LIST

REV.	SHEET	TITLE
0000		COVER SHEET
SPI00		SPECIFICATIONS
SPI01		SPECIFICATIONS
DR100		DRAINAGE PLAN
D100		CELLAR & FIRST FLOOR DEMOLITION PLANS
D101		SECOND FLOOR & ATTIC DEMOLITION PLANS
D200		DEMOLITION ELEVATIONS
A100		CELLAR & FIRST FLOOR PLANS
A101		SECOND FLOOR & ATTIC PLANS
A102		ROOF PLAN AND SCHEDULES
A103		GARAGE PLANS AND SCHEDULES
A104		GARAGE SECTIONS
A200		PROPOSED ELEVATIONS
A201		PROPOSED ELEVATIONS
A202		EXTERIOR DETAILS
A203		EXTERIOR DETAILS
A204		EXTERIOR DETAILS
A300		BUILDING SECTIONS
A301		BUILDING SECTIONS
A302		BUILDING SECTIONS
A303		BUILDING SECTIONS
A400		INTERIOR ELEVATIONS
A401		INTERIOR ELEVATIONS
A402		INTERIOR ELEVATIONS
S001		FOUNDATION PLAN
S002		FIRST FLOOR FRAMING PLAN
S003		SECOND FLOOR FRAMING PLAN
S004		ATTIC FRAMING PLAN
S005		ROOF FRAMING PLAN
S100		WIND BRACING PLANS
S101		WIND BRACING PLANS
S200		STRUCTURAL NOTES & DETAILS
S201		STRUCTURAL DETAILS
S202		STRUCTURAL DETAILS
S203		STRUCTURAL DETAILS
S300		GARAGE FRAMING PLANS
S301		GARAGE WIND BRACING PLANS
M100		CELLAR & FIRST FLOOR MECHANICAL PLANS
M101		SECOND FLOOR & ATTIC MECHANICAL PLANS
M102		GARAGE MECHANICAL PLANS & SPECIFICATIONS
E100		CELLAR & FIRST FLOOR ELECTRICAL PLANS
E101		SECOND FLOOR & ATTIC ELECTRICAL PLANS
E102		GARAGE ELECTRICAL PLANS & SPECIFICATIONS

VICINITY MAP



DATE	ISSUE
4/28/25	PERMIT SET

© 2025 Bennett Frank McCarthy Architects, Inc.

CERTIFICATION

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: 15218
EXPIRATION DATE: 10/31/2025



WILLIAMS LN. #2462

10.1 Bathroom accessories: Owner shall provide all bathroom accessories including hung mirrors, medicine cabinets, curtain rods, towel bars, toilet paper holders, hooks, etc. Contractor shall install. Coordinate and install blocking for all wall hung accessories.

10.2 Glass shower enclosures: Owner to provide and install. Coordinate and provide blocking for shower enclosures.

10.3 Fixed mirrors: Owner to provide, Contractor to install.

10.4 Closets interiors: provide 3/4" thick (actual) plastic laminate shelves with penetrating wood 1x3 cleats and intermediate shelf supports as necessary for span. Coordinate layout with Owner and as noted below.

- Clothes closets: provide with chrome rod @ 60" AFF. (with intermediate bracket supports max. 32" o.c.), one 12" deep shelf @ 63" AFF and second shelf @ 78" AFF. Provide additional shelves as ceiling height permits.
- Linen/pantry closets: provide 16" deep shelving (or shallower as necessitated by closet depth) at 14" increments vertically, or as shown.
- Master bedroom closet shelving and rod provided and installed by Owner.

10.5 Soffit Vent: Provide continuous 1-1/2" aluminum vent. See Drawings for locations and installation.

10.6 Access Panels: Provide paint grade, hinged, metal access panels to all concealed mechanical, plumbing and electrical devices to include (but not limited to) dampers, valves, shut-offs, disconnects, transformers, etc.

10.7 Acoustics Accessories at Primary Bath plumbing above LR

- Pipe isolation: all supply and waste pipe penetrations shall be acoustically isolated from joists, blocking, plywood, studs and drywall to isolate pipes from structure and finishes. Isolation shall be by means of appropriate Hubbard Enterprises "HoldRite" accessories, such as Isolator 261, 262, or 271, or alternate resilient sealer where installation of accessories is infeasible.
- See Section 15.1.3 for use of cast iron waste pipe. Wrap all PVC sanitary waste lines and fittings with Soundlag 4525C flexible convoluted foam by Pyrotek Industries, per manufacturer's recommendations. Seal joints with Soundlag Tape ALR.

10.8 Wood burning fireplace: Owner to select, Contractor to provide and install Isokern wood-burning fireplace, and all associated flues and components. Install per manufacturer's requirements, including approved chimney / flue pipe, flashing kit, pipe termination kit as required for complete installation. Provide flush tie hearth at fireplace. Provide tight fitting flue dampers and outdoor air for combustion.

11.1 Cabinets and countertops: Owner to provide, Contractor to install.

11.2 Appliances: Owner to provide, Contractor to install. Appliances and heating equipment shall all be Energy Star rated. Provide overflow pan and drain at washing machine with water alarm in overflow pan. Use braided stainless steel supply hoses.

DS

WILLIAMS LANE RENOVATION
3806 Williams Lane, Chevy Chase, MD 20815
Project # 2462

28 APRIL 2025 - PERMIT SET

SPECIFICATIONS

SP101

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APPROVED
Montgomery County
Historic Preservation Commission
Karen Benoit

Drywell Information and Detail

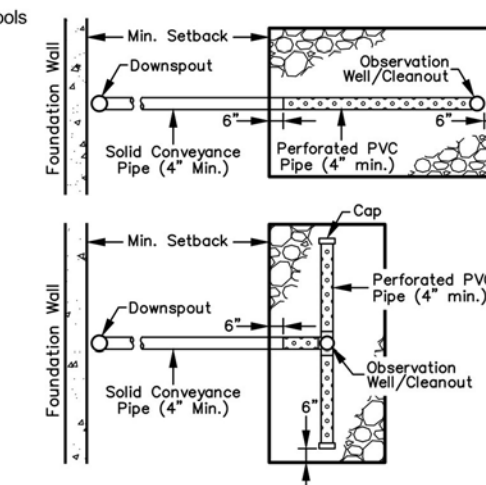
- 1 Dry wells may receive water from roof downspouts only.
- 2 Length, width and depth of each dry well is to be as specified by the design engineer on the approved plan.
- 3 Manufactured sand is not acceptable. Refer to the MCDPS Sand Specifications.
- 4 With the inspector's approval dry well locations may be field adjusted for site conditions. All adjustments must meet the minimum setbacks.
- 5 Impermeable liners may be used when specified by the design engineer and shown on the plan.
- 6 Overflow pipes may be used when specified by the design engineer and shown on the plan. They shall be set at a minimum 2% slope. If the outfall is to daylight the outfall invert shall be shown.
- 7 Pop-up emitters may be used when specified by the design engineer and shown on the plan.



- MINIMUM SETBACKS:**

EXAMPLE LAYOUTS*, PLAN VIEW:





* Design plans must show the layout of each dry we



8



LEGEND

	PROPERTY LINE
	SETBACK LINE
	BUILDING OUTLINE
	WOOD FENCE

DR100

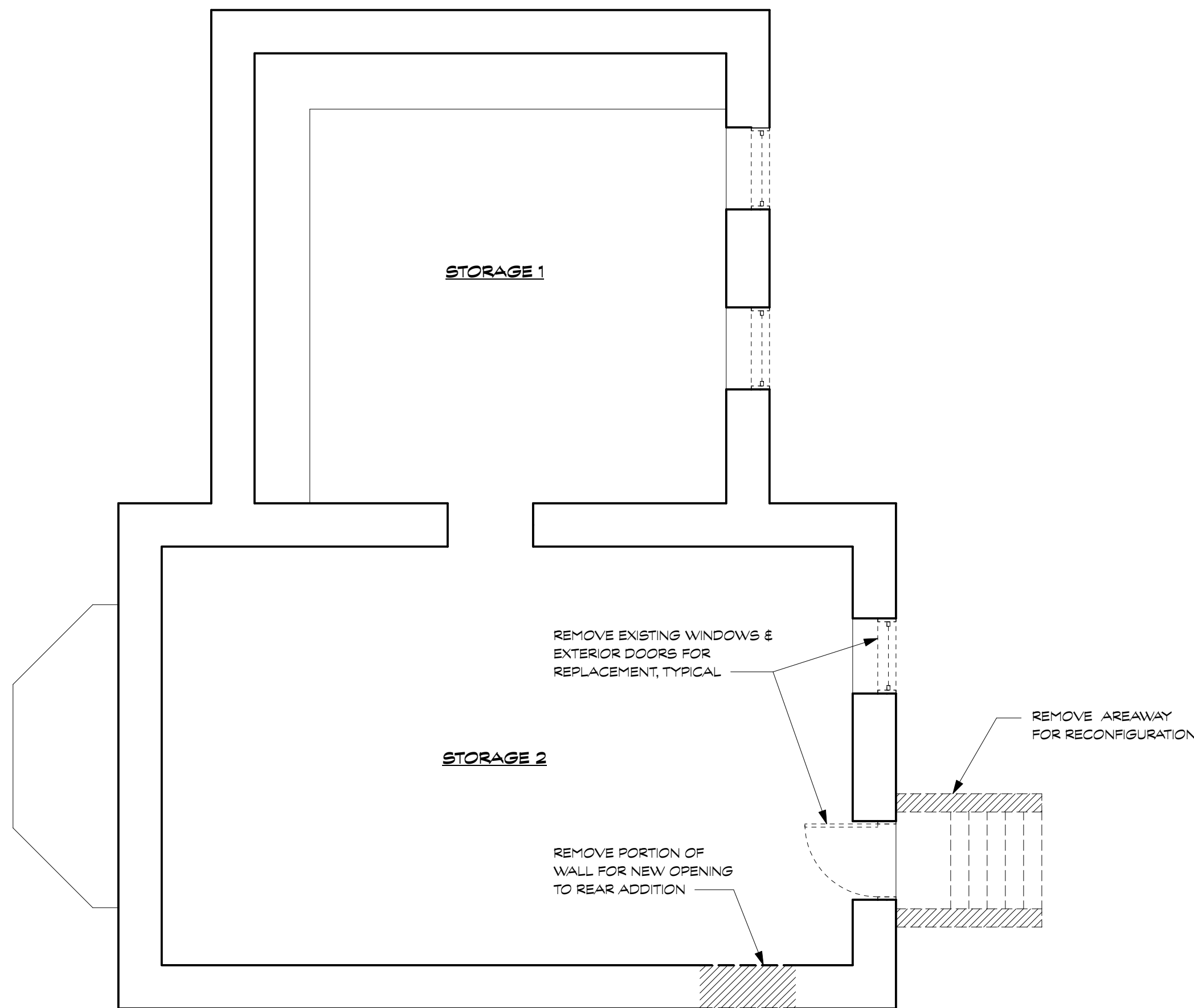
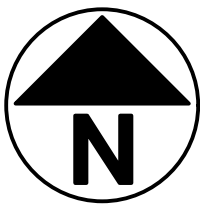
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WALL LEGEND

- EXISTING WALLS AND PARTITIONS TO REMAIN
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
- NEW WOOD FRAMED WALLS AND PARTITIONS
- NEW LOW WALLS
- NEW CMU WALLS

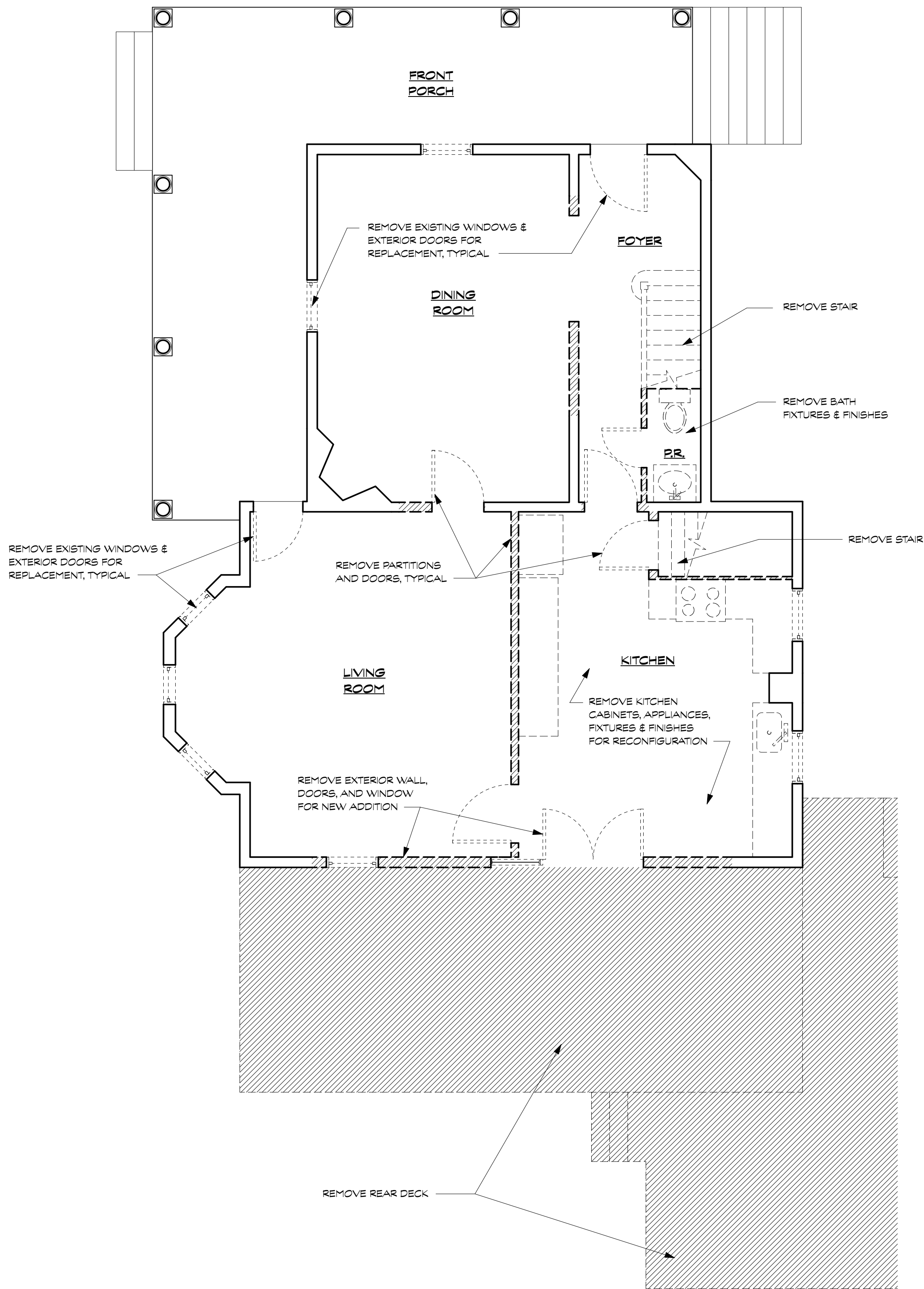
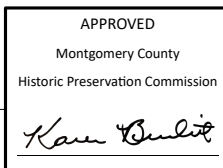
GENERAL NOTES:

- DO NOT SCALE THE DRAWINGS
- NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O.)
- EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O.)



1 CELLAR DEMOLITION PLAN
Scale: 1/4" = 1'-0"

REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025



2 FIRST FLOOR DEMOLITION PLAN
Scale: 1/4" = 1'-0"

BENNETT FRANK MCCARTHY
architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

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4/28/25	PERMIT SET

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LICENSE #: 15218

EXPIRATION DATE: 10/31/2025

ARCHITECT
15218
BENNETT FRANK MCCARTHY
STATE OF MARYLAND

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WILLIAMS LANE RENOVATION
3806 Williams Lane, Chevy Chase, MD 20815
Project # 2462

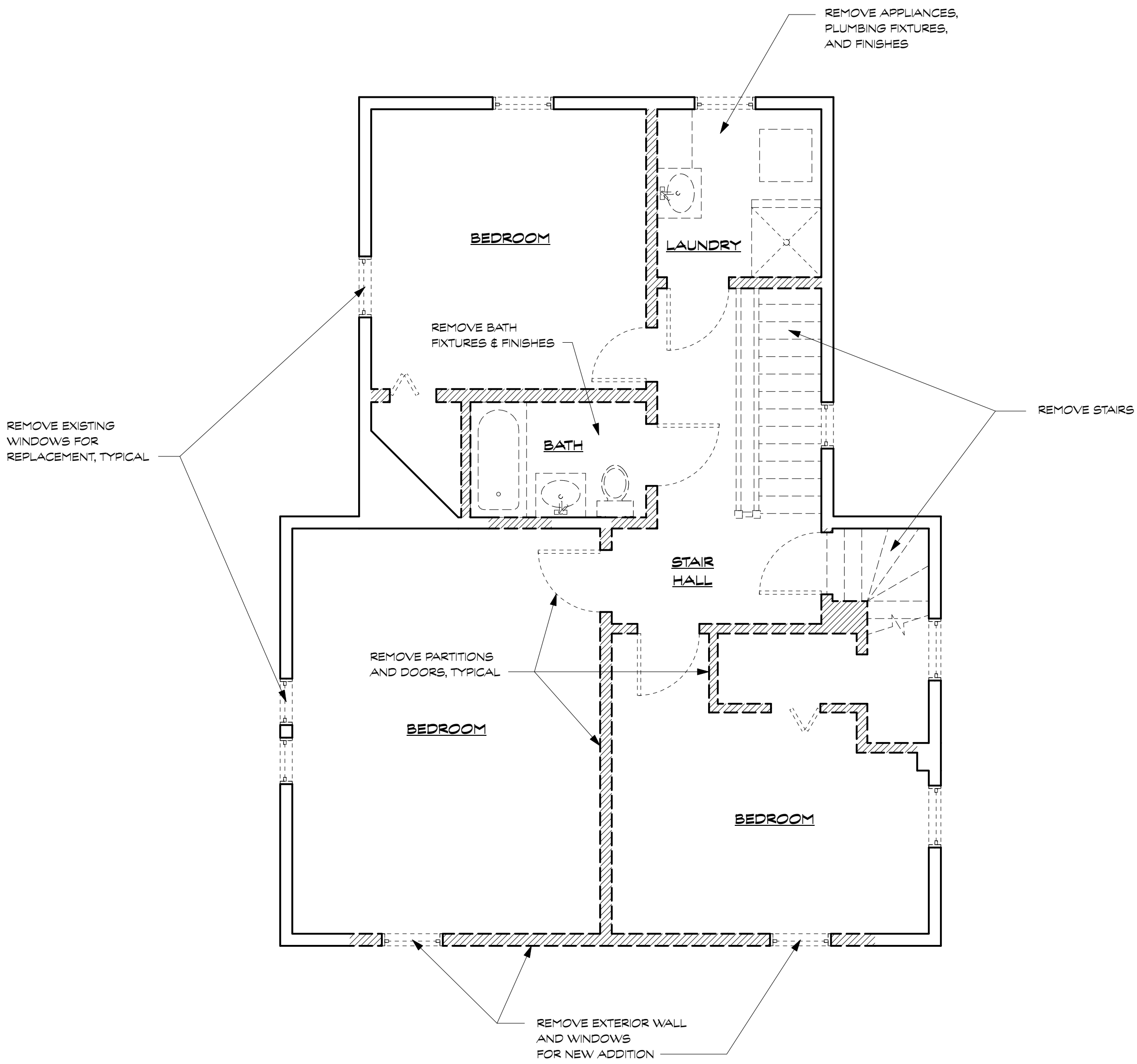
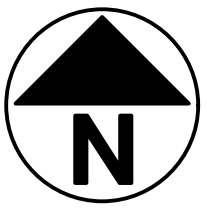
DEMOLITION
PLANS

D100

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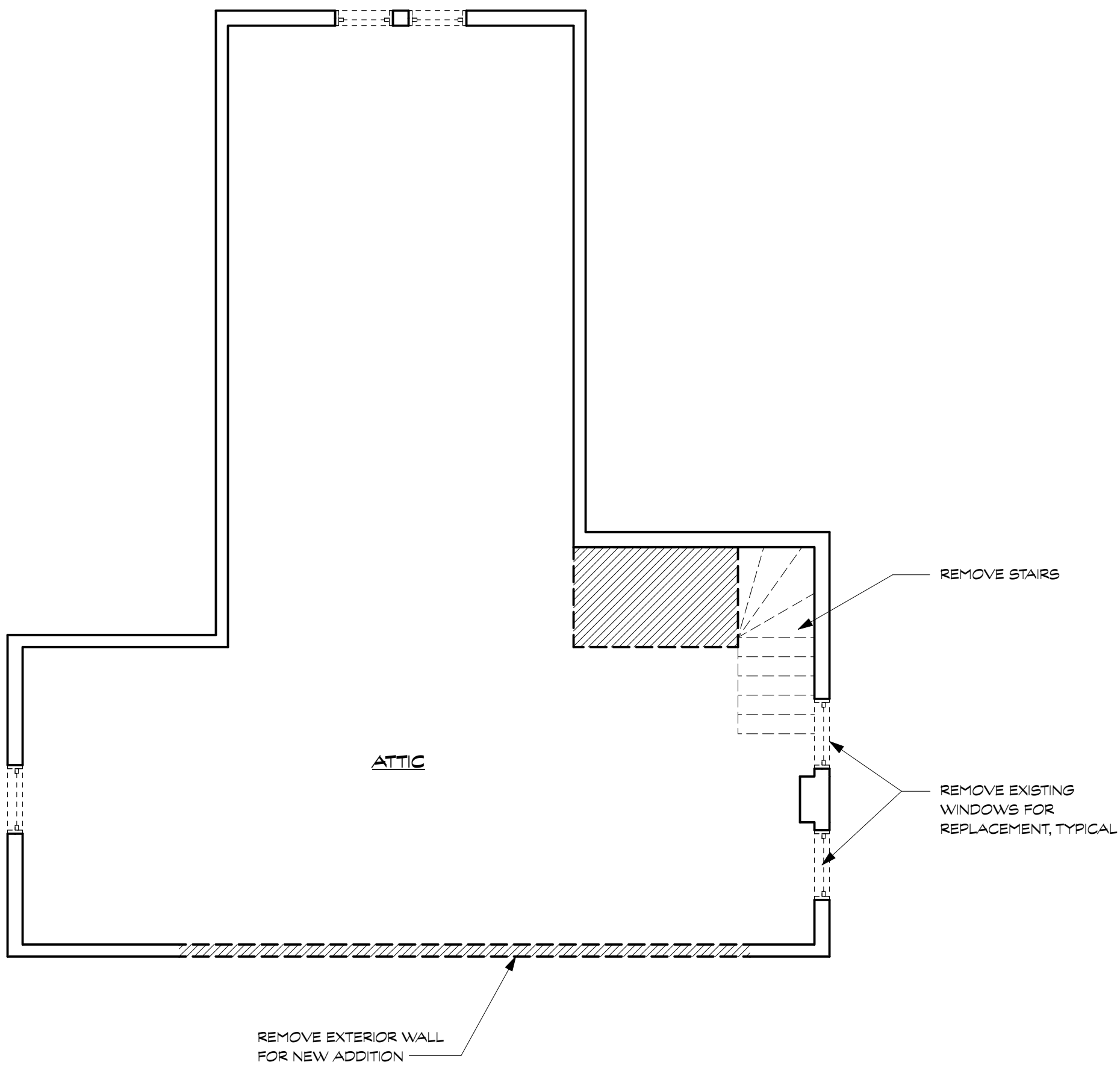
WALL LEGEND	
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	EXISTING WALLS AND PARTITIONS TO BE REMOVED
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS
	NEW CMU WALLS

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1 SECOND FLOOR DEMOLITION PLAN
Scale: 1/4" = 1'-0"

REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025



2 ATTIC DEMOLITION PLAN
Scale: 1/4" = 1'-0"

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Project # 2462

DEMOLITION
PLANS

D101

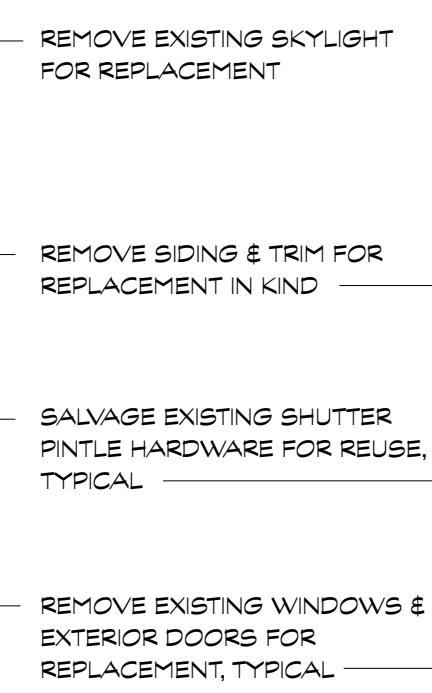
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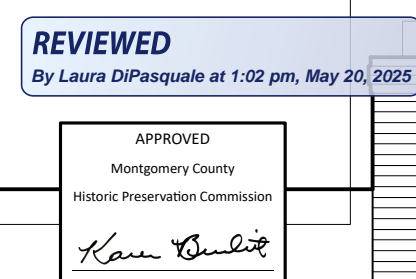


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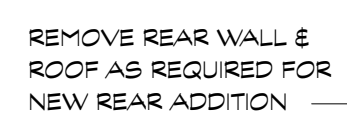
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1 FRONT DEMOLITION ELEVATION
Scale: 1/4" = 1'-0"



2 SIDE DEMOLITION ELEVATION
Scale: 1/4" = 1'-0"



3 REAR DEMOLITION ELEVATION



④ SIDE DEMOLITION ELEVATION
Scale: 1/4" = 1'-0"

WILLIAMS LANE RENOVATION

3806 Williams Lane, Chevy Chase, MD 20815

Project # 2462

28 APRIL 2025 - PERMIT SET

DEMOLITION ELEVATIONS

D200

WALL LEGEND

EXISTING WALLS AND PARTITIONS TO REMAIN

EXISTING WALLS AND PARTITIONS TO BE REMOVED

NEW WOOD FRAMED WALLS AND PARTITIONS

NEW LOW WALLS

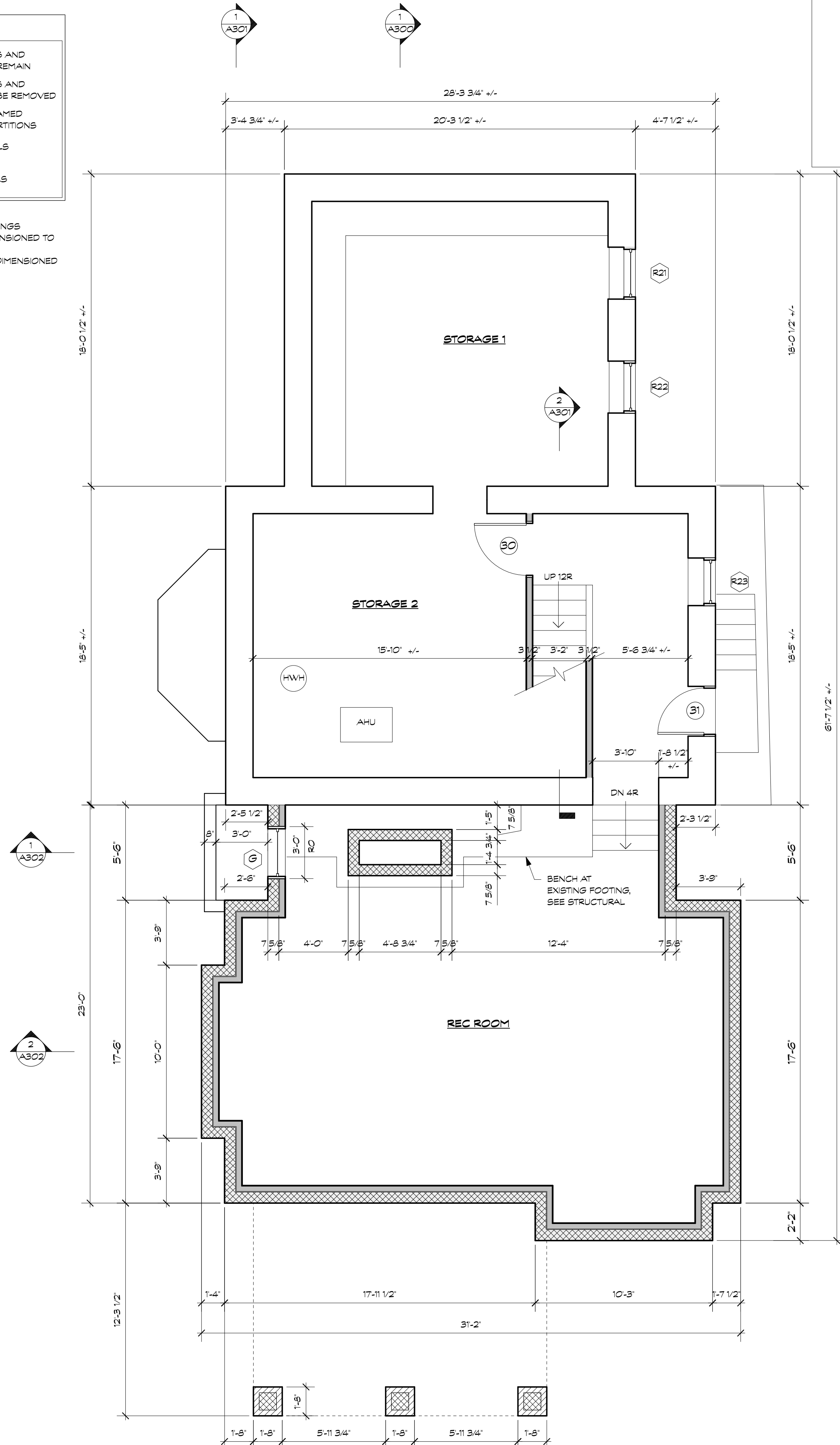
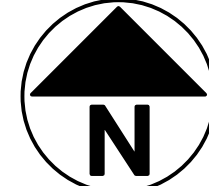
NEW CMU WALLS

GENERAL NOTES:

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3. EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O)



1 PROPOSED CELLAR FLOOR PLAN
Scale: 1/4" = 1'-0"

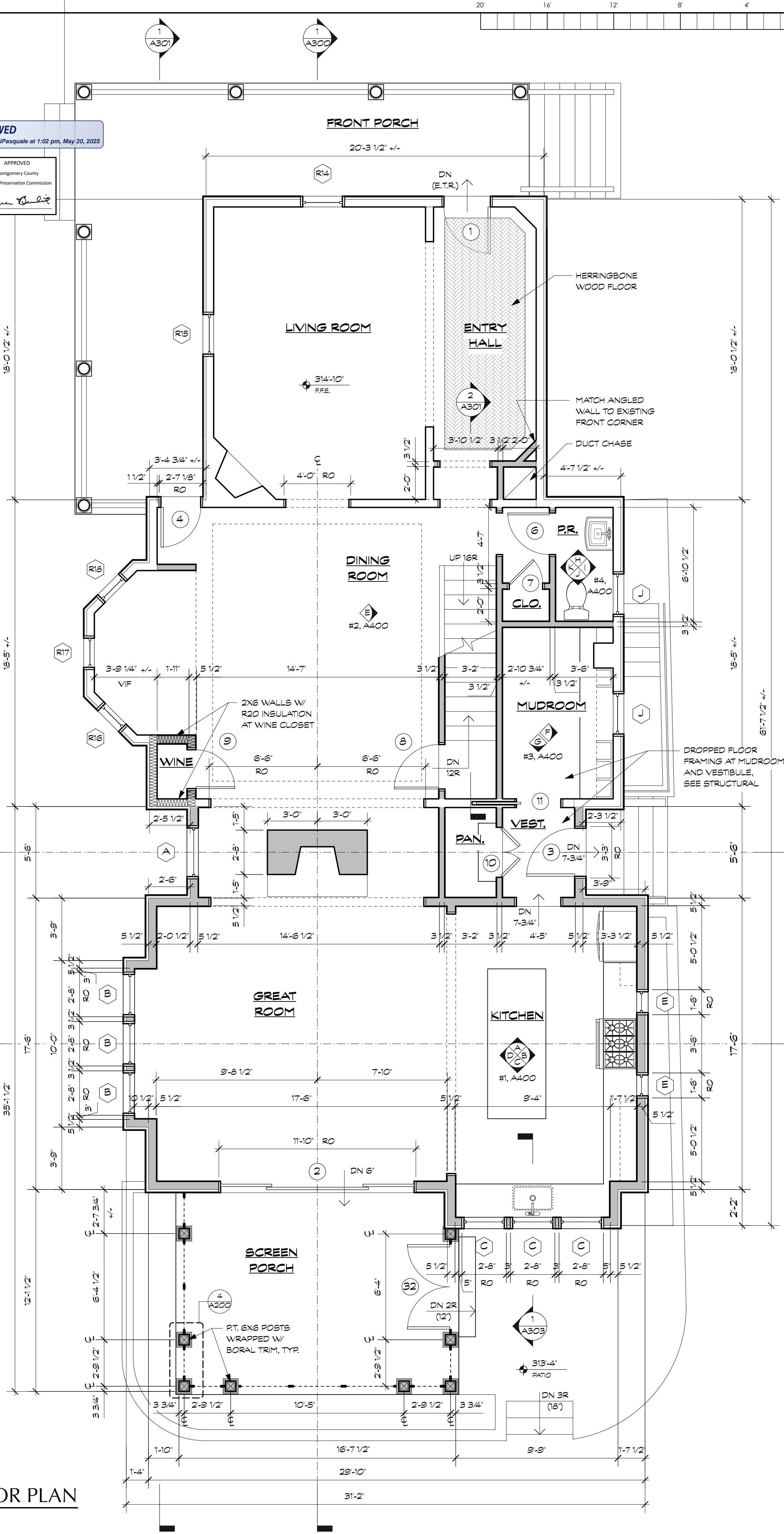
2 PROPOSED FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

REVIEWED

By Laura DiPasquale at 1:02 pm, May 20, 2025

APPROVED

Montgomery County
Historic Preservation Commission



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WILLIAMS LANE RENOVATION
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Project # 2462

PROPOSED CELLAR
& FIRST FLOOR
PLANS

A100

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WALL LEGEND

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- EXISTING WALLS AND PARTITIONS TO BE REMOVED
- NEW WOOD FRAMED WALLS AND PARTITIONS
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GENERAL NOTES:

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3. EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O)

WINDOW SCHEDULE

MARK	WEATHERSHIELD	MODEL NO.	TYPE	UNIT SIZE (W x H)	R.O. (W x H)	OPER	EGRESS	GLAZING	U-VALUE	SHGC	REMARKS	MARK
A	SIGNATURE SERIES	3256	DOUBLE HUNG	3'-1 1/2" X 5'-5 1/2"	3'-2" X 5'-6"	Y	Y	LOW-E W/ ARGON	0.30	0.40		A
B	SIGNATURE SERIES	2856	DOUBLE HUNG	2'-7 1/2" X 5'-5 1/2"	2'-8" X 5'-6"	Y	N	LOW-E W/ ARGON	0.30	0.40		B
C	SIGNATURE SERIES	2846	DOUBLE HUNG	2'-7 1/2" X 4'-5 1/2"	2'-8" X 4'-6"	Y	N	LOW-E W/ ARGON	0.30	0.40		C
D	SIGNATURE SERIES	2846	DOUBLE HUNG	2'-5 1/2" X 4'-5 1/2"	2'-6" X 4'-6"	Y	N	LOW-E W/ ARGON	0.30	0.40		D
E	SIGNATURE SERIES	1646	DOUBLE HUNG	1'-5 1/2" X 4'-5 1/2"	1'-6" X 4'-6"	Y	N	LOW-E W/ ARGON	0.30	0.40		E
F	SIGNATURE SERIES	2440	DOUBLE HUNG	2'-3 1/2" X 3'-11 1/2"	2'-4" X 4'-0"	Y	N	LOW-E W/ ARGON	0.30	0.40		F
G	SIGNATURE SERIES	3640	CASEMENT	3'-5 1/2" X 3'-11 1/2"	3'-6" X 4'-0"	Y	Y	LOW-E W/ ARGON	0.30	0.40		G
H	SIGNATURE SERIES	2826	CASEMENT	2'-7 1/2" X 2'-5 1/2"	2'-8" X 2'-6"	Y	N	LOW-E W/ ARGON	0.30	0.40		H
I	SIGNATURE SERIES	2860	DOUBLE HUNG	2'-7 1/2" X 5'-11 1/2"	2'-8" X 6'-0"	Y	Y	LOW-E W/ ARGON	0.30	0.40		I
J	SIGNATURE SERIES		DOUBLE HUNG	2'-7 1/2" X 5'-9 1/2" VIF	2'-8" X 5'-10" VIF	Y	N	LOW-E W/ ARGON	0.30	0.40	HEIGHT TO MATCH EXISTING FIRST FLOOR WINDOWS	J
Rn	FOR ALL REPLACEMENT WINDOWS, SEE WINDOW CONDITION REPORT											

NOTES:

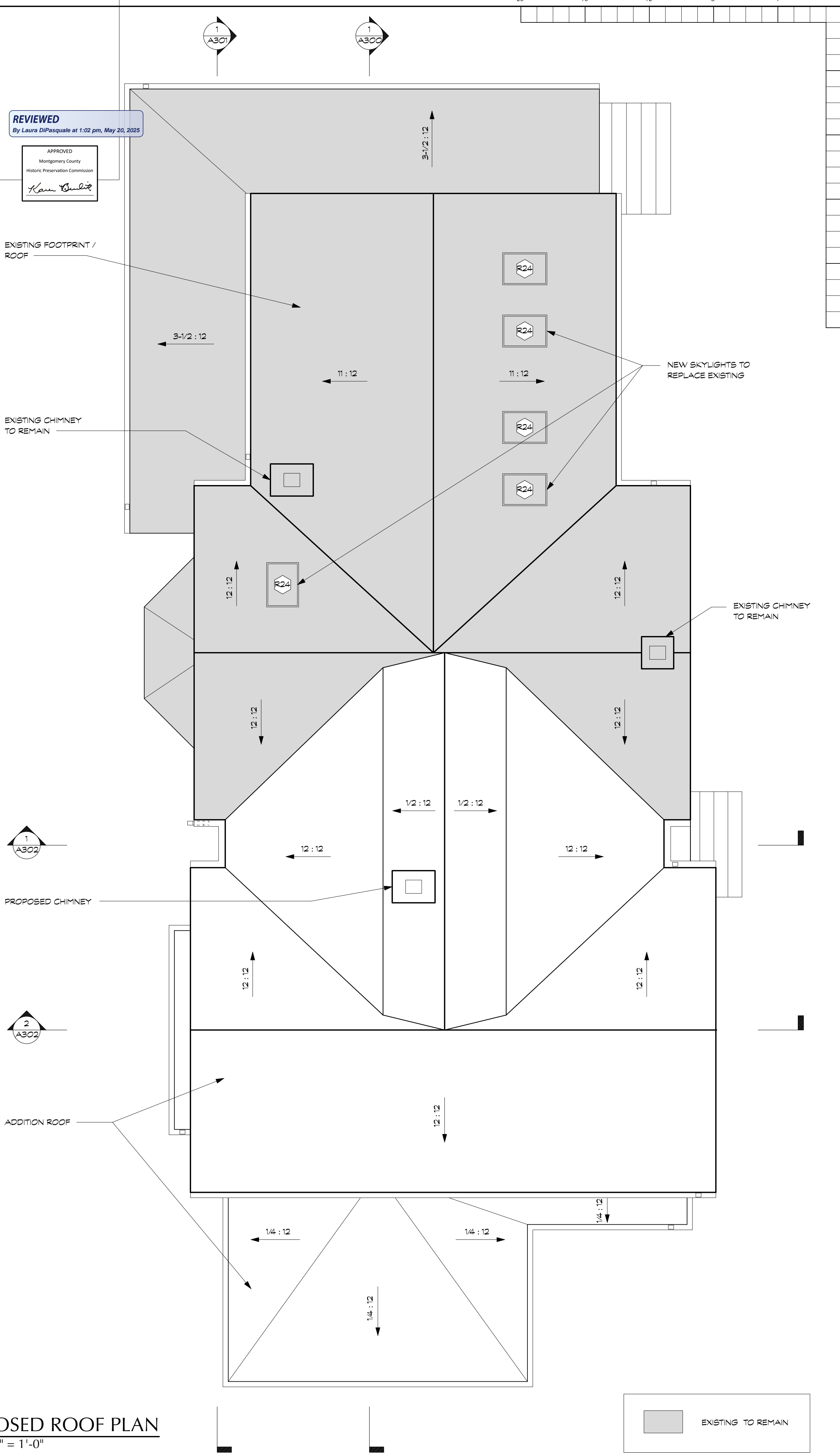
1. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE THE SILLS ARE LESS THAN 18" ABOVE THE FINISH FLOOR.
2. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS WITHIN 24" OF A DOOR OPENING.
3. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS ADJACENT TO BATHTUB & SHOWER ENCLOSURES.
4. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD.
5. PROVIDE LIMITERS ON ALL WINDOWS WITH SILL HEIGHT BELOW 24" TO PREVENT PASSAGE OF A 4" SPHERE THROUGH FULLY OPENED WINDOW.
6. ALL PENETRATION PRODUCTS SHALL BE NFRC CERTIFIED AND SHALL MEET THE PERFORMANCE CRITERIA LABELED ON THE UNIT INCLUDING U-VALUE, SHGC, AND AIR LEAKAGE RATING.
7. ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC 2406.3 SHALL BE LABELED PER IBC 2406.

DOOR SCHEDULE

NO.	LOCATION	SIZE	THK.	MATERIAL DR FR	TYPE / STYLE	CONFIG	OPER.	U-FACTOR	SHGC	HARDWARE	REMARKS	NO.
1	FRONT ENTRY	3'-0" x 6'-6" VIF	1 3/4"	WD WD	HALF LITE	SINGLE	SWING	0.30	0.40	BY DOOR MANUFACTURER	EXISTING DOOR TO BE REPLACED, G.C. TO VERIFY SIZE.	1
2	GREAT ROOM - ENTRY	11'-10" x 7'-2 1/2" RO	1 3/4"	GLS WD	FULL LITE	4 PANEL	SLIDE	0.30	0.40	BY DOOR MANUFACTURER	WEATHERSHIELD SIGNATURE SERIES #111072	2
3	VESTIBULE - ENTRY	3'-0" x 7'-0"	1 3/4"	GLS WD	HALF LITE	SINGLE	SWING	0.30	0.40	LOCKSET W/ DEADBOLT	OWNER TO SELECT	3
4	DINING ROOM - ENTRY	2'-7 1/6" x 6'-8" RO	1 3/4"	GLS WD	PANELED	SINGLE	SWING	0.30	0.40	BY DOOR MANUFACTURER	EXISTING DOOR TO BE REPLACED, G.C. TO VERIFY SIZE.	4
5	NOT USED											5
6	POWDER ROOM	2'-4" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PRIVACY SET		6
7	CLOSET	2'-0" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PASSAGE SET		7
8	BASEMENT STAIR	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PASSAGE SET		8
9	WINE CLOSET	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PASSAGE SET		9
10	PANTRY	3'-0" X 6'-8"	1 3/8"	WD WD	-	PAIR	SWING			DUMMY PULLS & BALL CATCHES		10
11	MUDROOM	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	POCKET			TRACK AND PULLS		11
12	LAUNDRY ROOM	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PASSAGE SET		12
13	PRIMARY BEDROOM	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PRIVACY SET		13
14	PRIMARY W.C.	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PASSAGE SET		14
15	PRIMARY BATH	3'-0" X 6'-8"	1 3/8"	WD WD	-	SINGLE	POCKET			TRACK AND PULLS		15
16	PRIMARY BATH W.C.	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PRIVACY SET		16
17	BEDROOM 4	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PRIVACY SET		17
18	BEDROOM 4 CLOSET	5'-0" X 6'-8"	1 3/8"	WD WD	-	PAIR	SLIDER			TRACK AND PULLS		18
19	BEDROOM 3	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PRIVACY SET		19
20	BEDROOM 3 CLOSET	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PASSAGE SET		20
21	BEDROOM 2	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PRIVACY SET		21
22	BATH 2	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	POCKET			TRACK AND PULLS		22
23	BEDROOM 2 CLOSET	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	POCKET			TRACK AND PULLS		23
24	BATH 3	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PRIVACY SET		24
25	STORAGE	2'-4" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PASSAGE SET		25
26	ATTIC BATH	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PRIVACY SET		26
27	BEDROOM 5	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PRIVACY SET		27
28	BEDROOM 5 CLOSET	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PASSAGE SET		28
29	EAVE STORAGE	2'-6" X 6'-8" +/-	1 3/8"	WD WD	-	SINGLE	SWING			PASSAGE SET	VERIFY HT. PER ROOF SLOPE	29
30	BASEMENT STORAGE	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	SWING			PRIVACY SET		30
31	BASEMENT ENTRY	2'-6" x 6'-8" VIF	1 3/4"	WD WD	HALF LITE	SINGLE	SWING			LOCKSET W/ DEADBOLT	EXISTING DOOR TO BE REPLACED, G.C. TO VERIFY SIZE.	31
32	SCREEN PORCH	5'-0" X 8'-4" +/-	1 1/2"	WD WD	SCREEN	PAIR	SWING			DUMMY PULL & SPRING CLOSER	SITE FABRICATED BY G.C.	32
33	GARAGE STORAGE	6'-0" X 7'-0"	1 1/2"	WD WD		PAIR	SWING			DUMMY PULLS & BALL CATCHES		33
34	GARAGE OVERHEAD	9'-0" X 7'-0"	1 1/2"	WD WD		SINGLE	OVERHEAD			ELECTRIC DOOR	OWNER TO SELECT	34
35	GARAGE LOFT	3'-0" X 6'-8"	1 3/4"	GLS WD	HALF LITE	SINGLE	SWING	0.30	0.40	LOCKSET W/ DEADBOLT	OWNER TO SELECT	35
36	GARAGE BATH	2'-6" X 6'-8"	1 3/8"	WD WD	-	SINGLE	POCKET			TRACK AND PULLS		36

1 PROPOSED ROOF PLAN

Scale: 1/4" = 1'-0"



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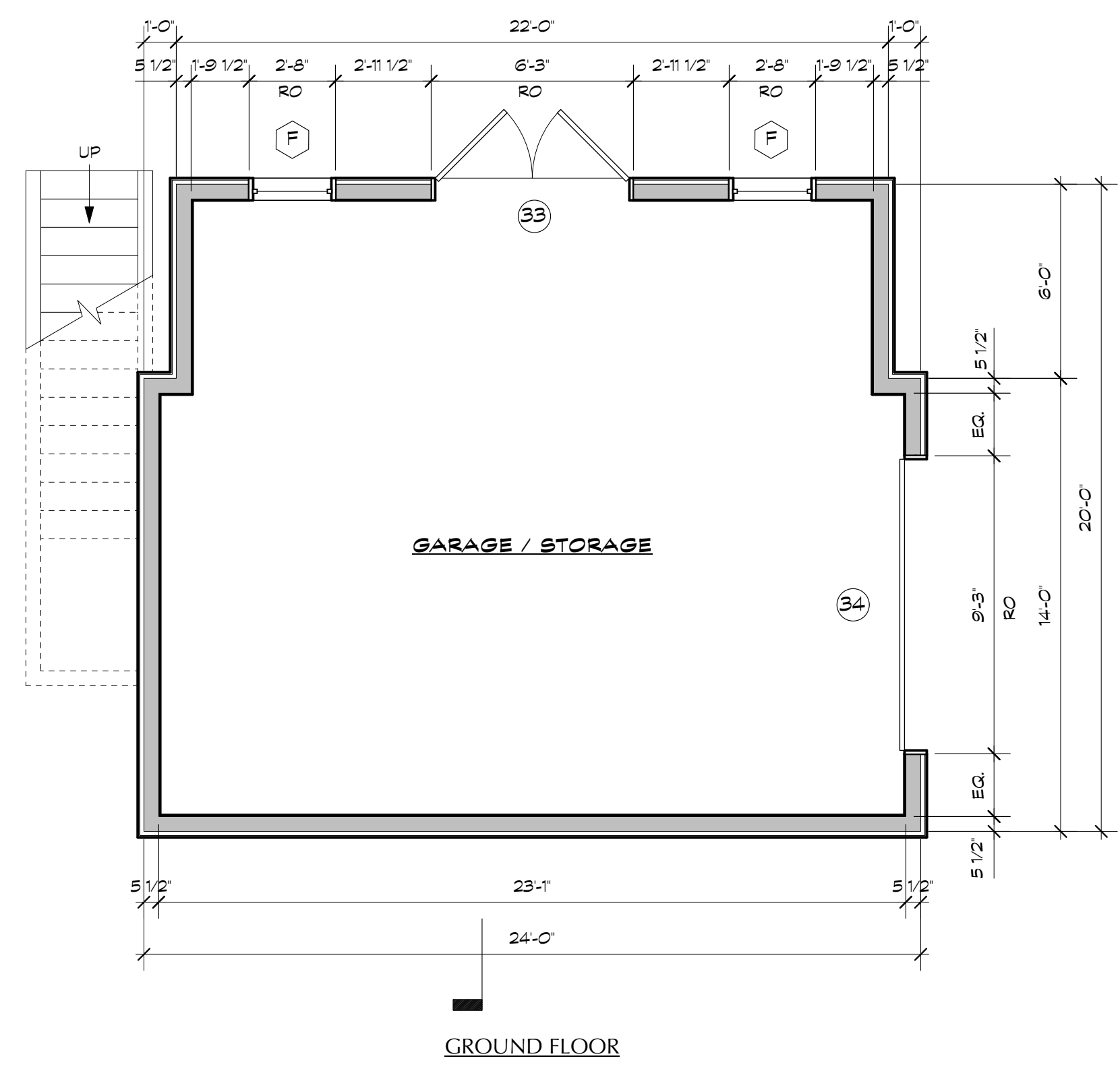
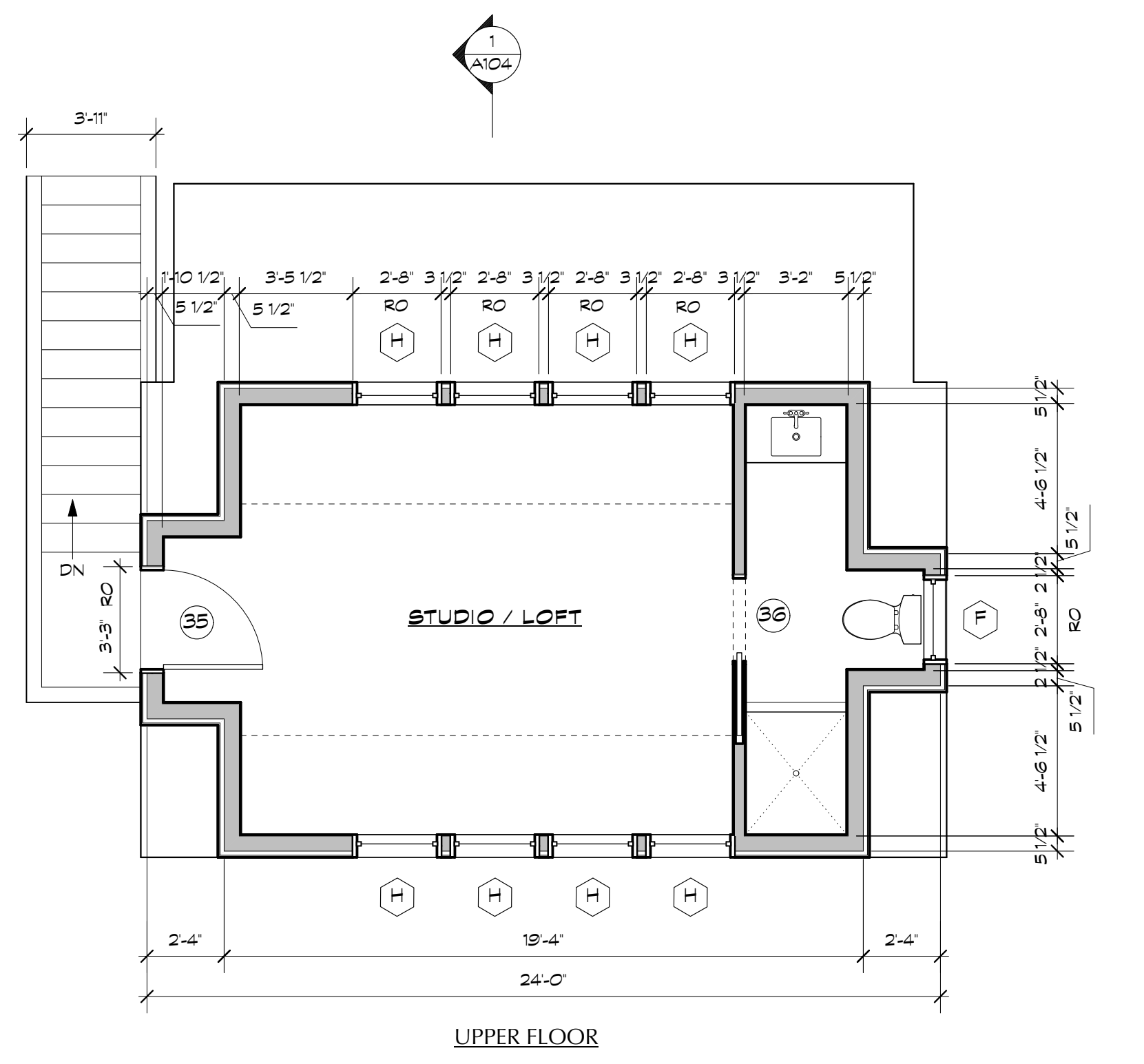
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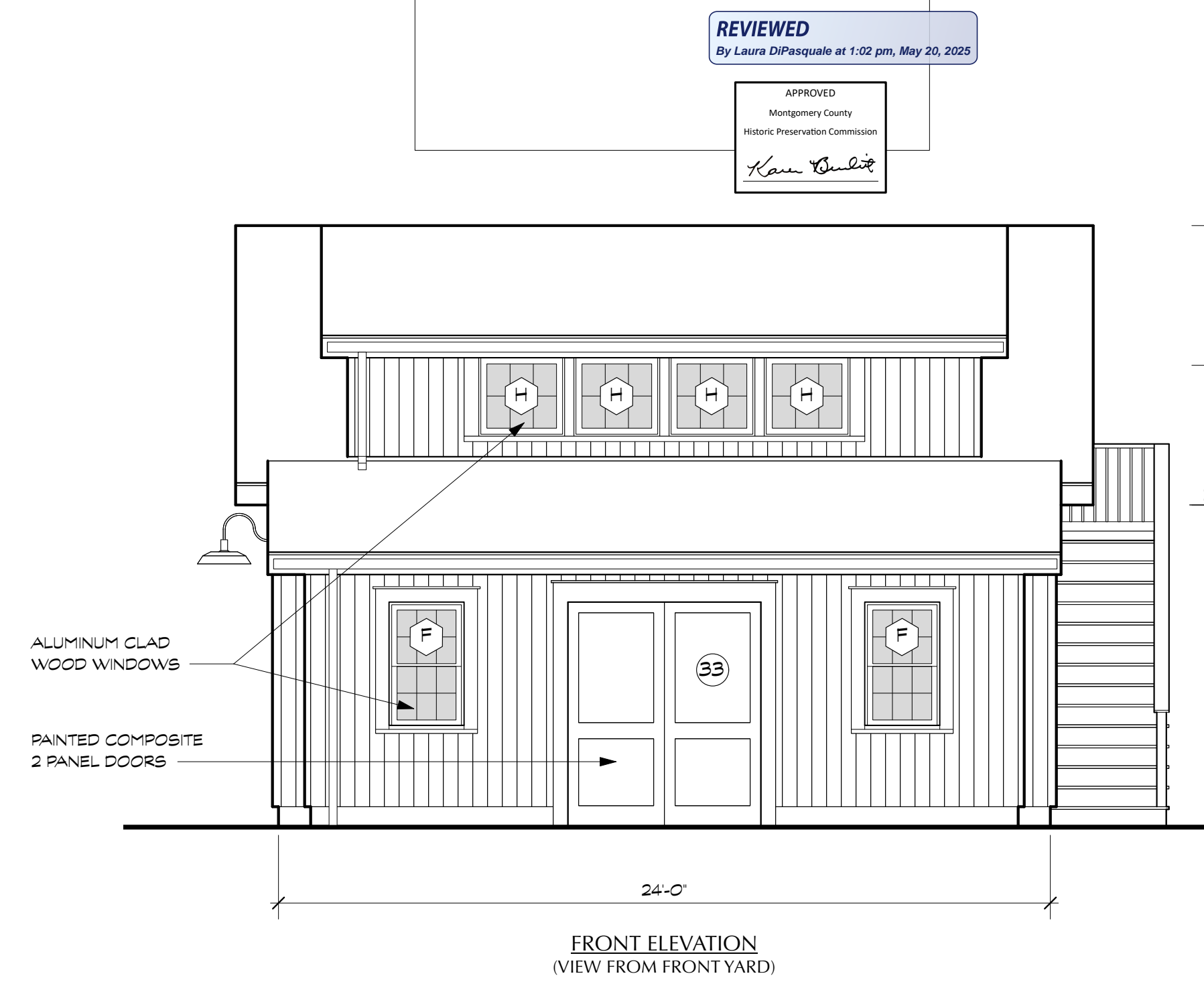
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Project # 2462
28 APRIL 2025 - PERMIT SET

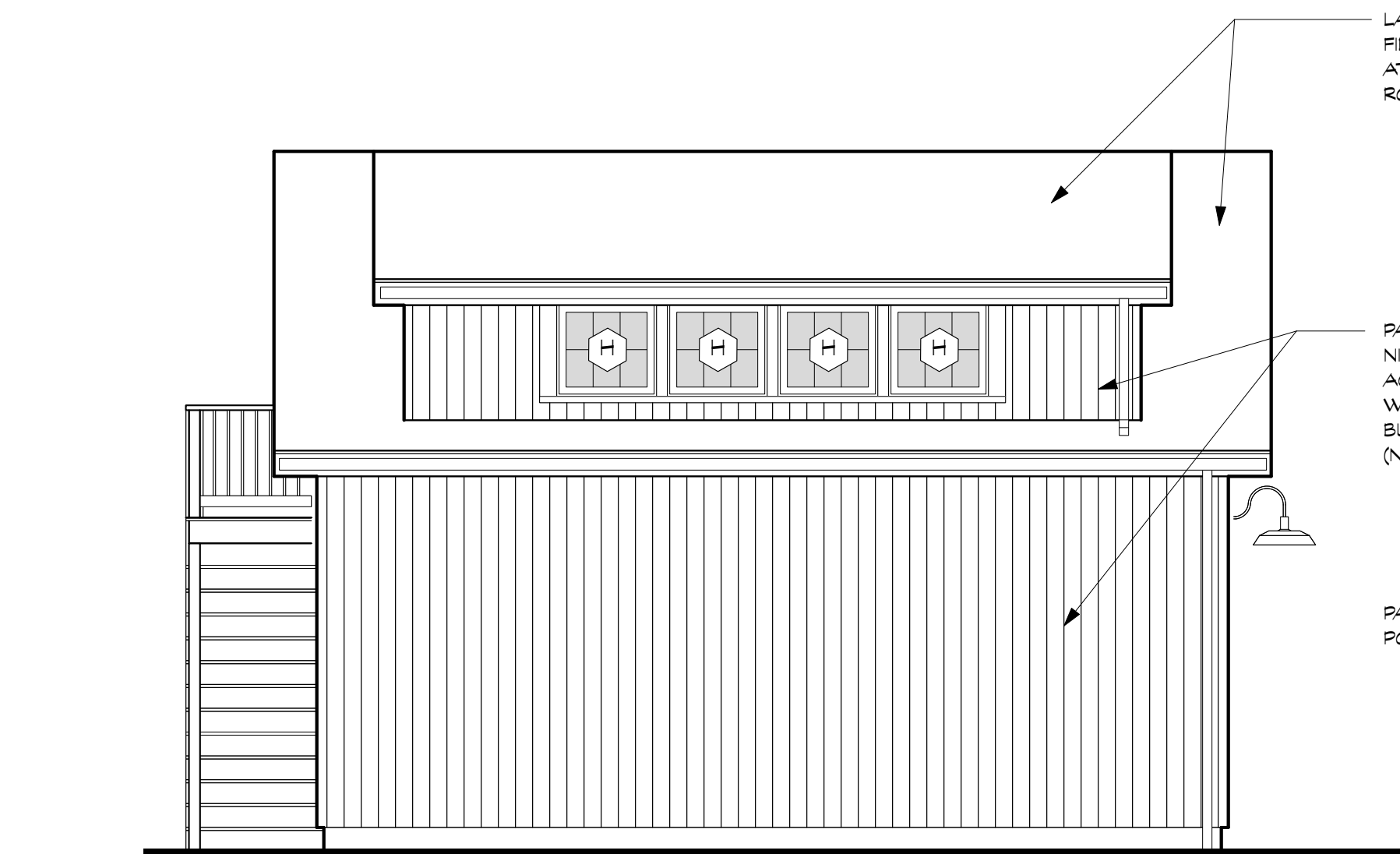
PROPOSED ROOF PLAN & SCHEDULES
A102



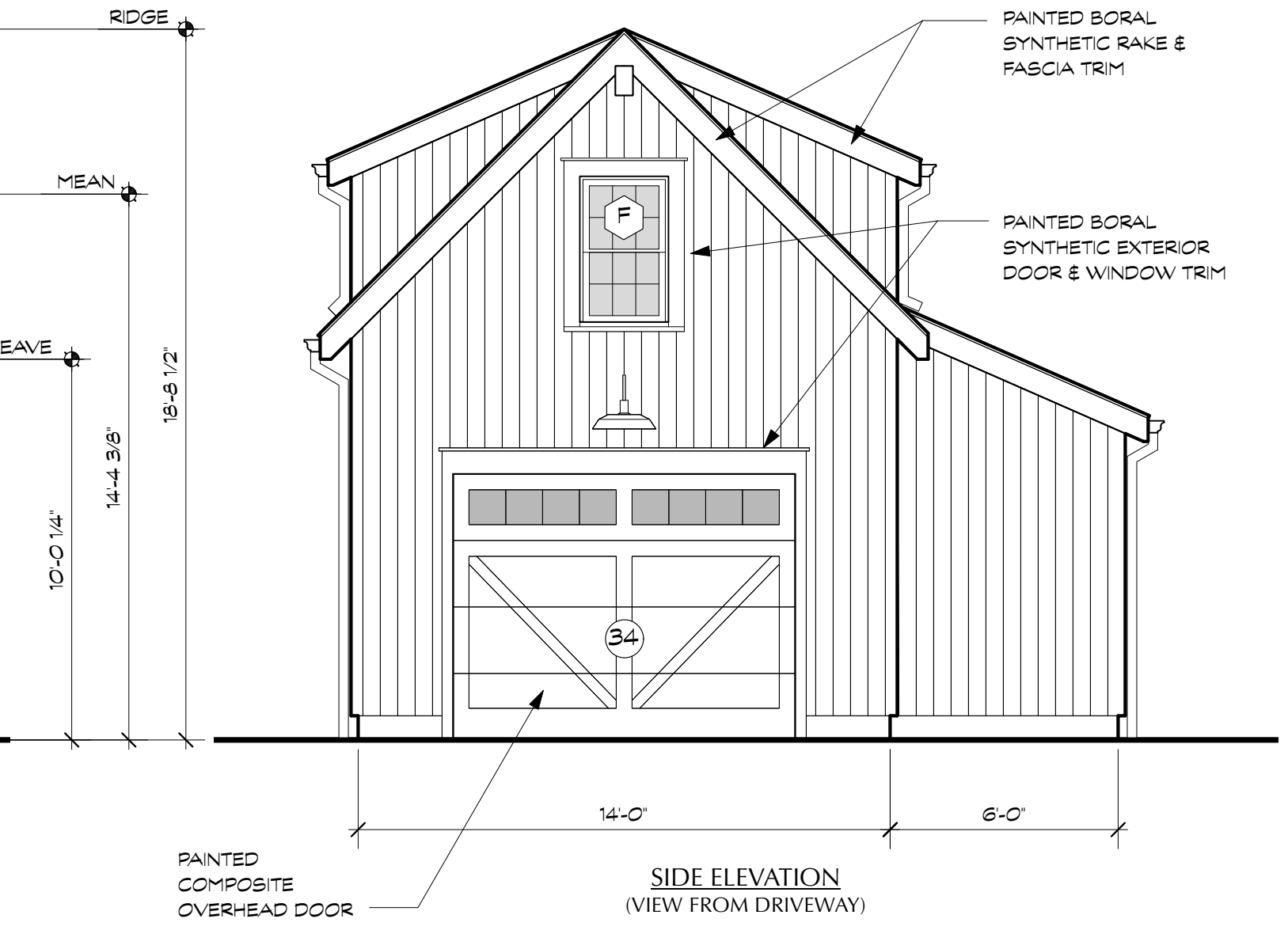
1 PROPOSED GARAGE PLAN
Scale: 1/4" = 1'-0"



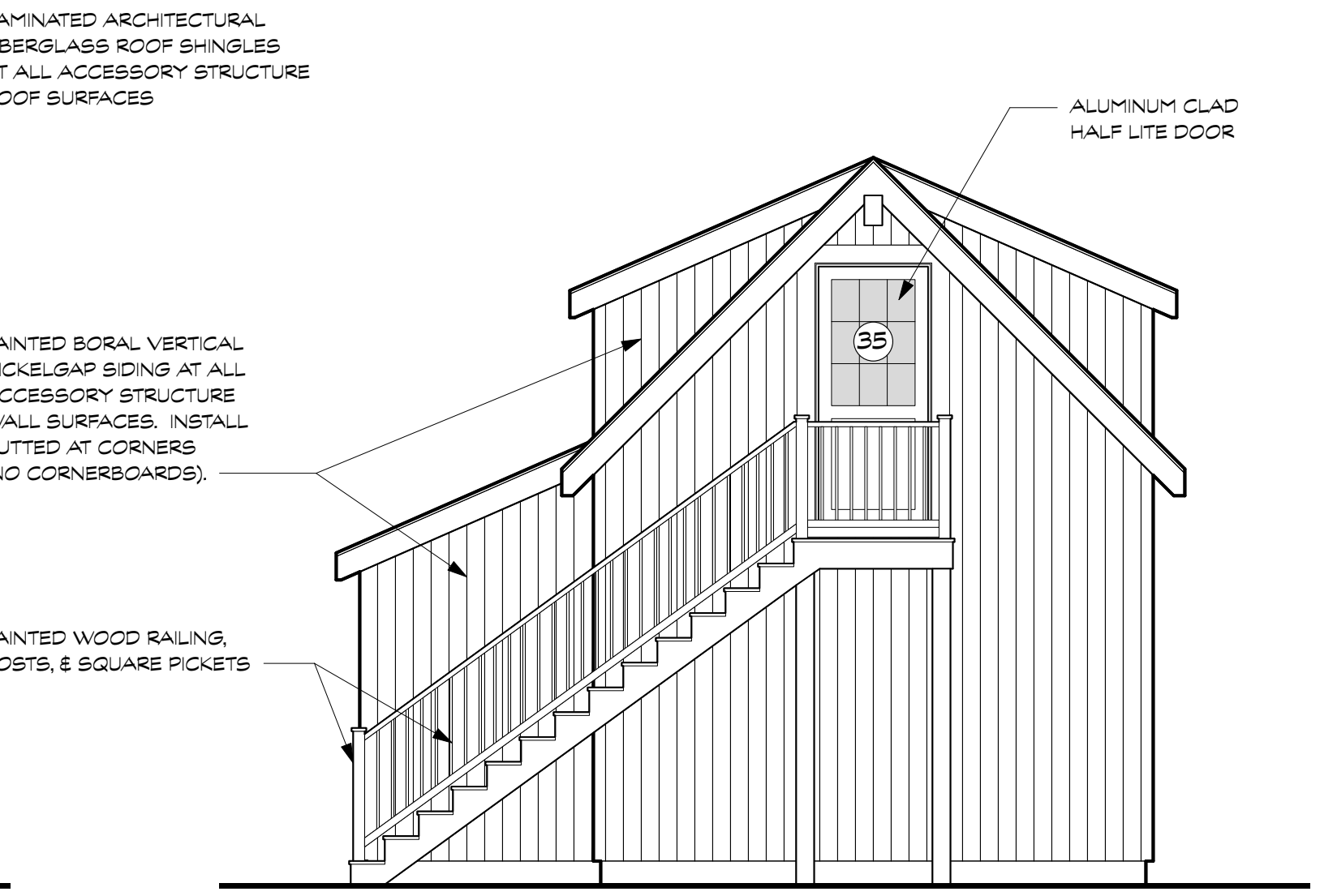
FRONT ELEVATION
(VIEW FROM FRONT YARD)



REAR ELEVATION
(VIEW FROM REAR YARD)



SIDE ELEVATION
(VIEW FROM DRIVEWAY)

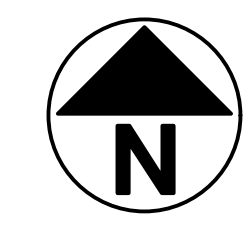


SIDE ELEVATION
(VIEW FROM SIDE YARD)

2 PROPOSED GARAGE ELEVATIONS
Scale: 1/4" = 1'-0"

WALL LEGEND	
	EXISTING WALLS AND PARTITIONS TO REMAIN
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REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen B. Smith

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architects, inc.
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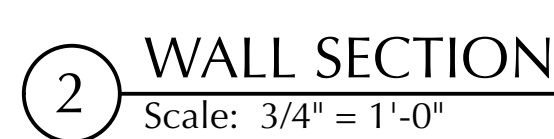
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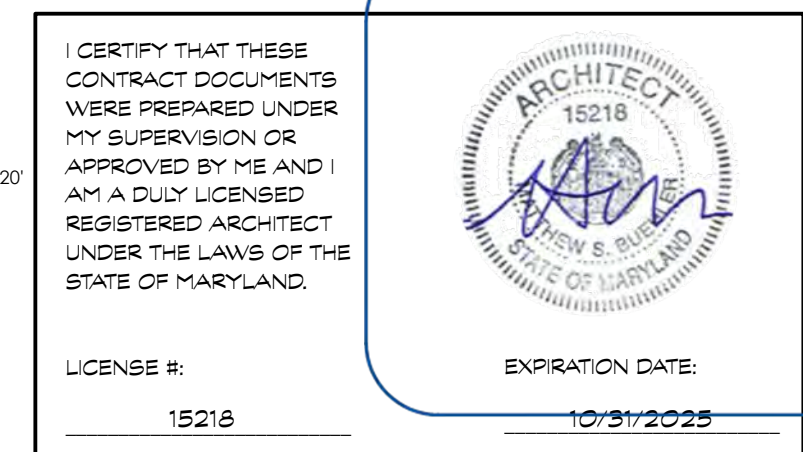
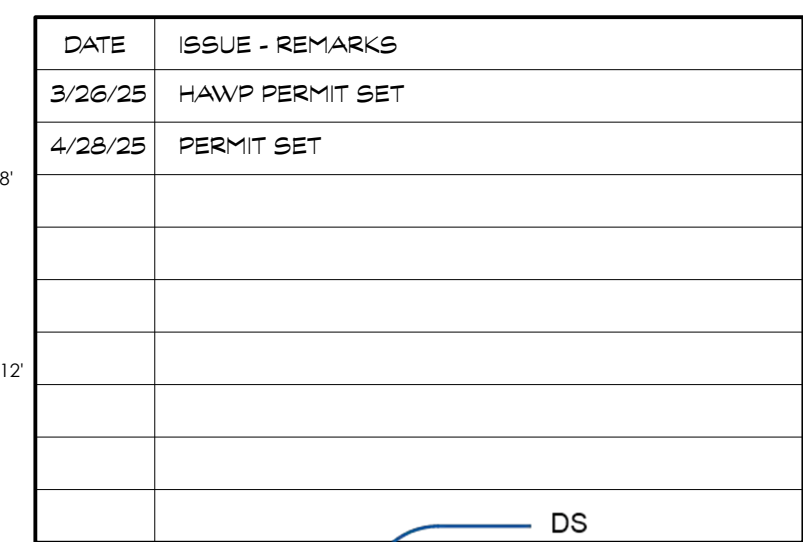
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GARAGE PLANS & ELEVATIONS
A103

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Historic Preservation Commission
Karen Boudit

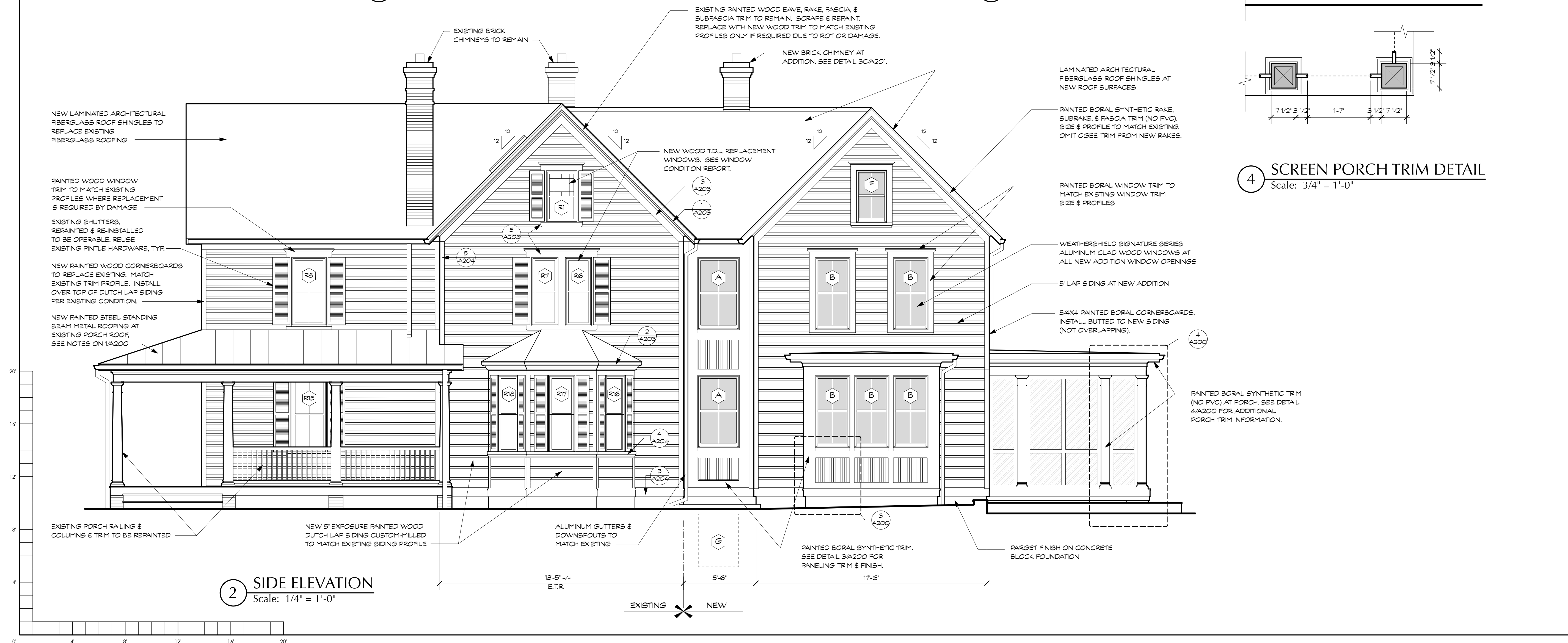




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1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

3 TYPICAL PANEL DETAIL
Scale: 3/4" = 1'-0"



2 SIDE ELEVATION
Scale: 1/4" = 1'-0"

WILLIAMS LANE RENOVATION

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Project # 2462

28 APRIL 2025 - PERMIT SET

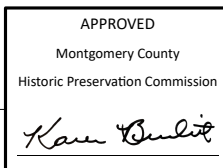
ELEVATIONS

A200

DS

EXPIRATION DATE

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FLUE CAP

STRETCH COURSES

RUNNING

EXISTING FRONT CHIMNEY CAP

PROFILE B

EXISTING REAR (SERVICE) CHIMNEY CAP

PROFILE C

NEW PROPOSED CHIMNEY CAP

Scale: $3/4'' = 1'-0''$

Scale: $1/4'' = 1'-0''$



Scale: $1/4'' = 1'-0''$

NEW EXISTING

Project # 2462

28 APRIL 2025 - PERMIT SET

ELEVATIONS

A201

[illegible]

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STATE OF MARYLAND.

15218 _____

EXPIRATION DATE: _____

10/9/2025

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WILLIAMS LANE RENOVATION

3806 Williams Lane, Chevy Chase, MD 20815

Project # 2462

28 APRIL 2025 - PERMIT SET

EXISTING WINDOW PROFILES

A202


HORIZONTAL SECTION
@ TYPICAL WINDOW
Scale: 6" = 1'-0"

DATE	ISSUE - REMARKS
3/26/25	HAMP PERMIT SET
4/28/25	PERMIT SET

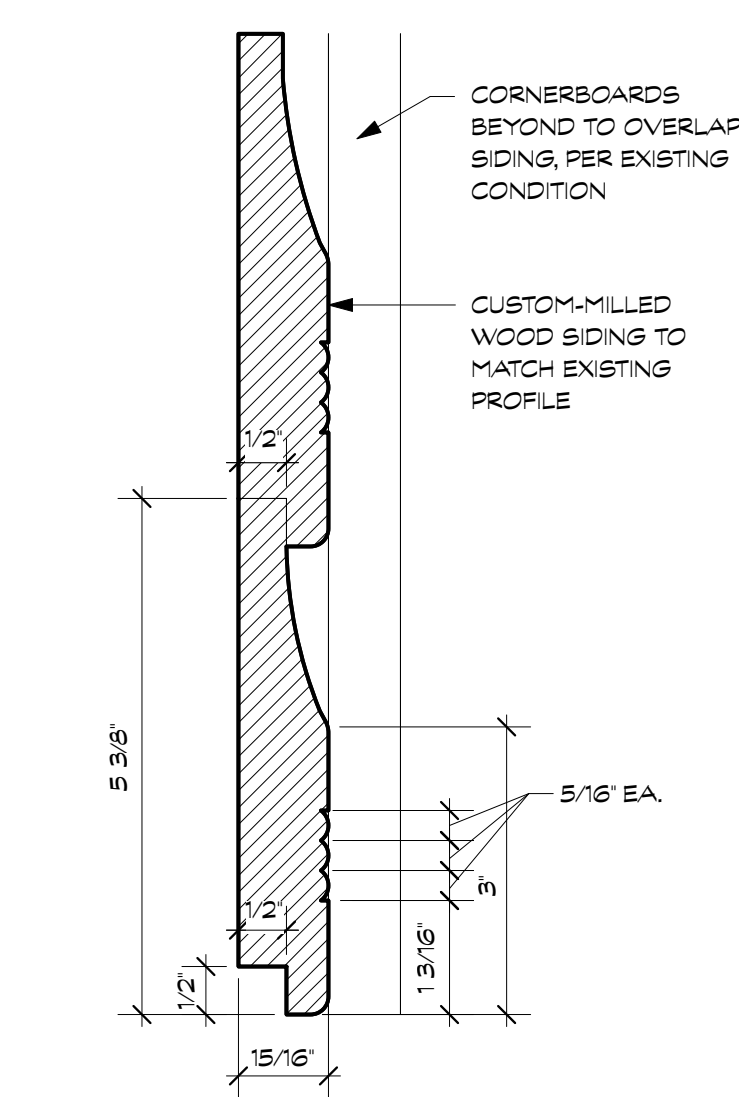
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LICENSE #: 15218 EXPIRATION DATE: 10/31/2025

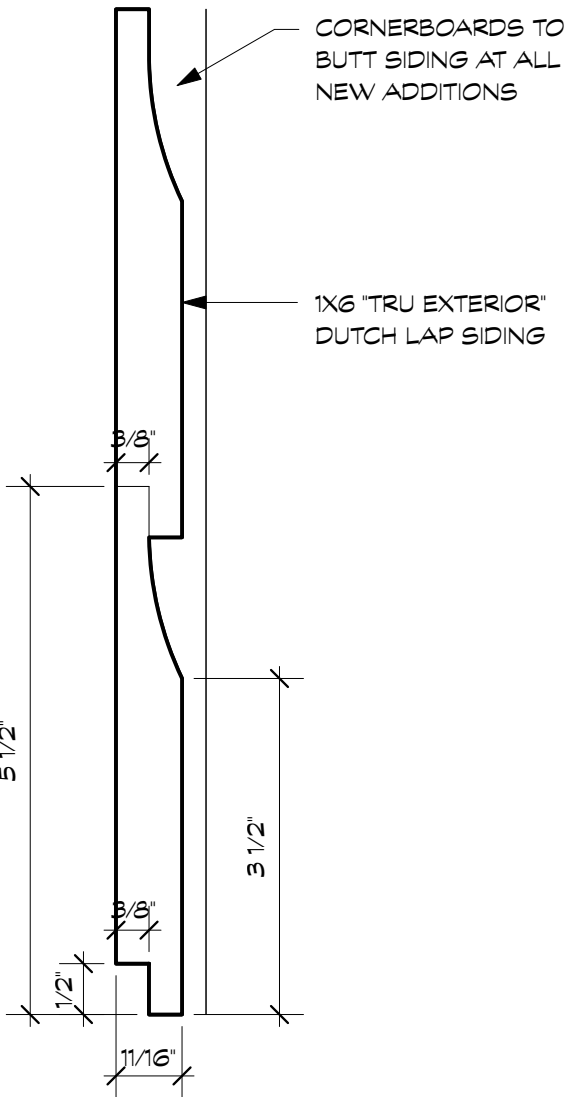


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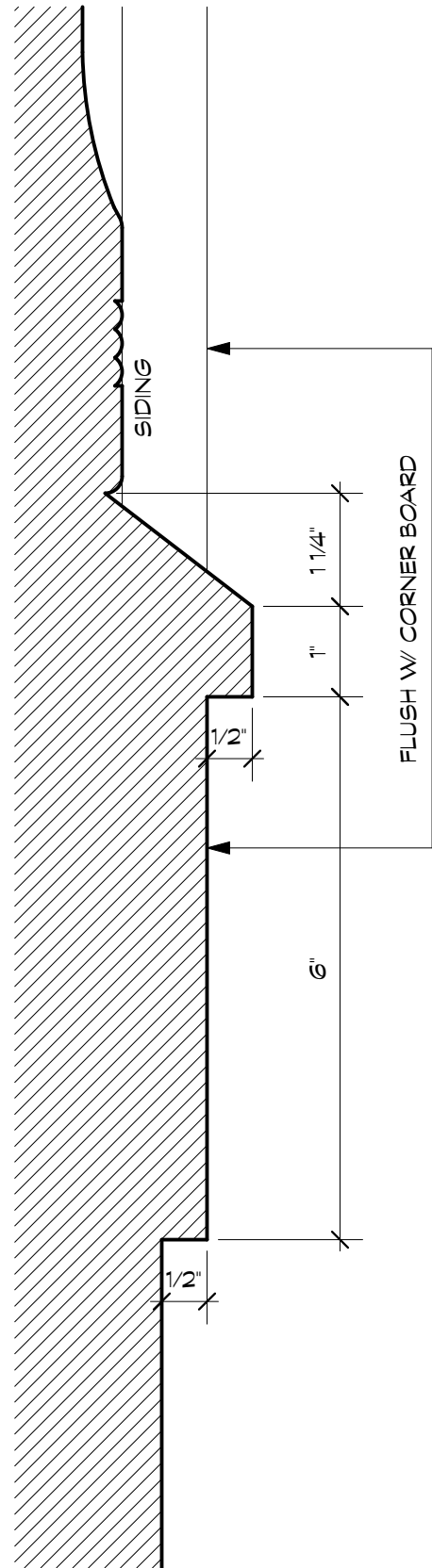


WOOD REPLACEMENT
SIDING AT HISTORIC MASSING

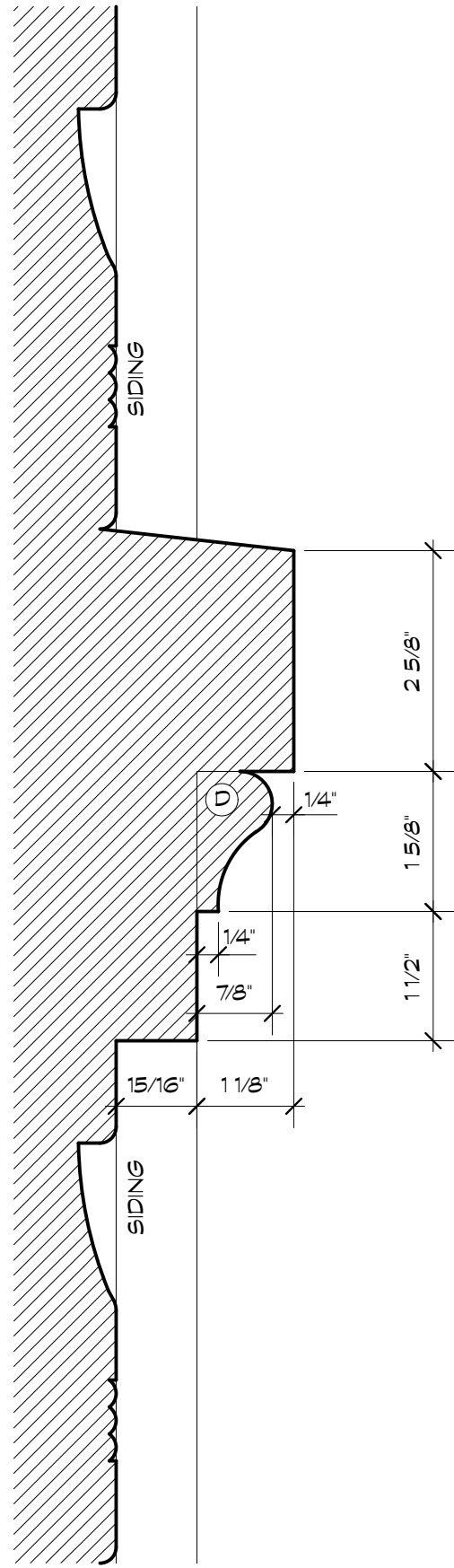
1 SIDING PROFILE
DETAIL - REPLACEMENT
Scale: 6" = 1'-0"



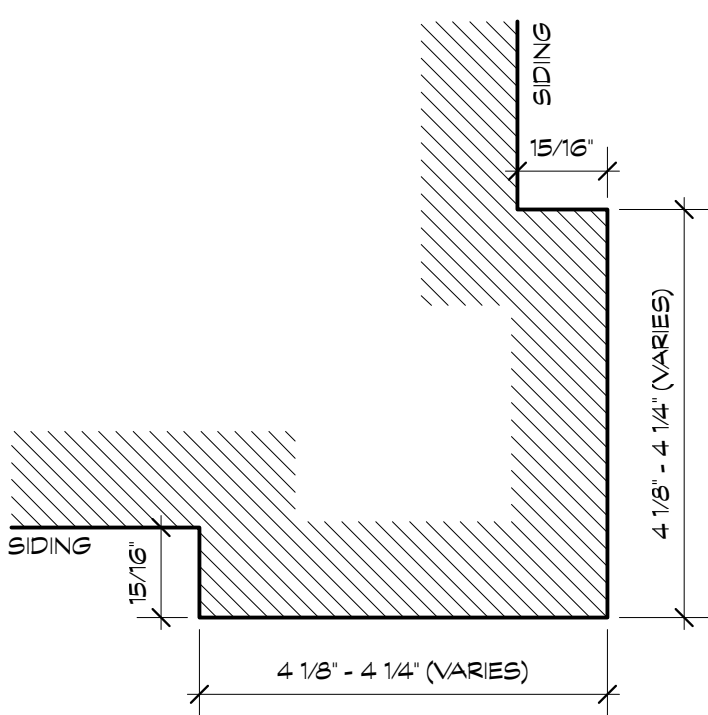
2 SIDING PROFILE
DETAIL - ADDITION
Scale: 6" = 1'-0"



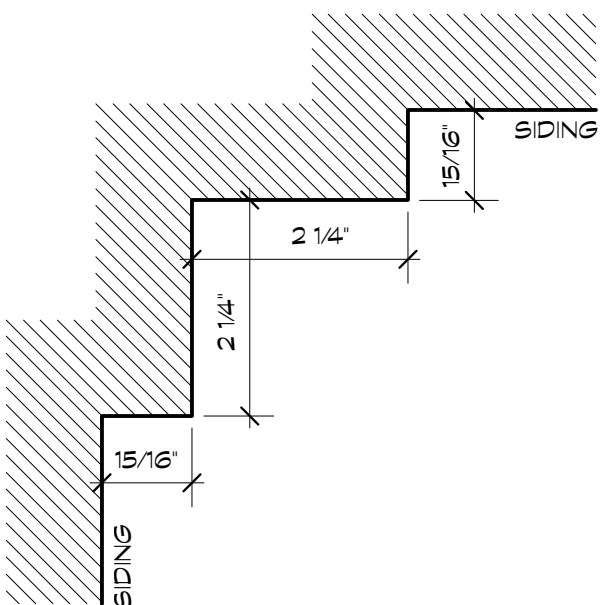
3 SKIRT BOARD PROFILE
Scale: 6" = 1'-0"



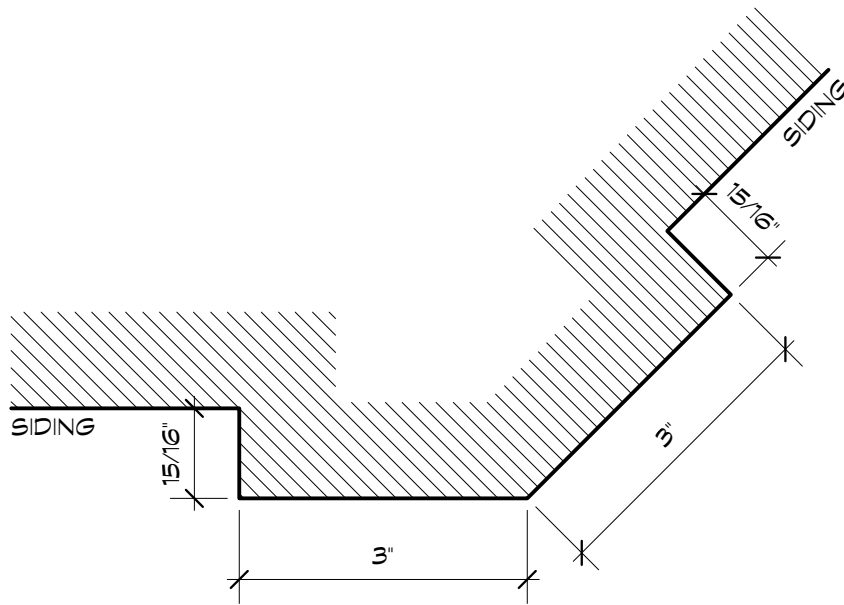
4 BELT TRIM PROFILE
@ EXISTING BAY
Scale: 6" = 1'-0"



OUTSIDE CORNER



INSIDE CORNER



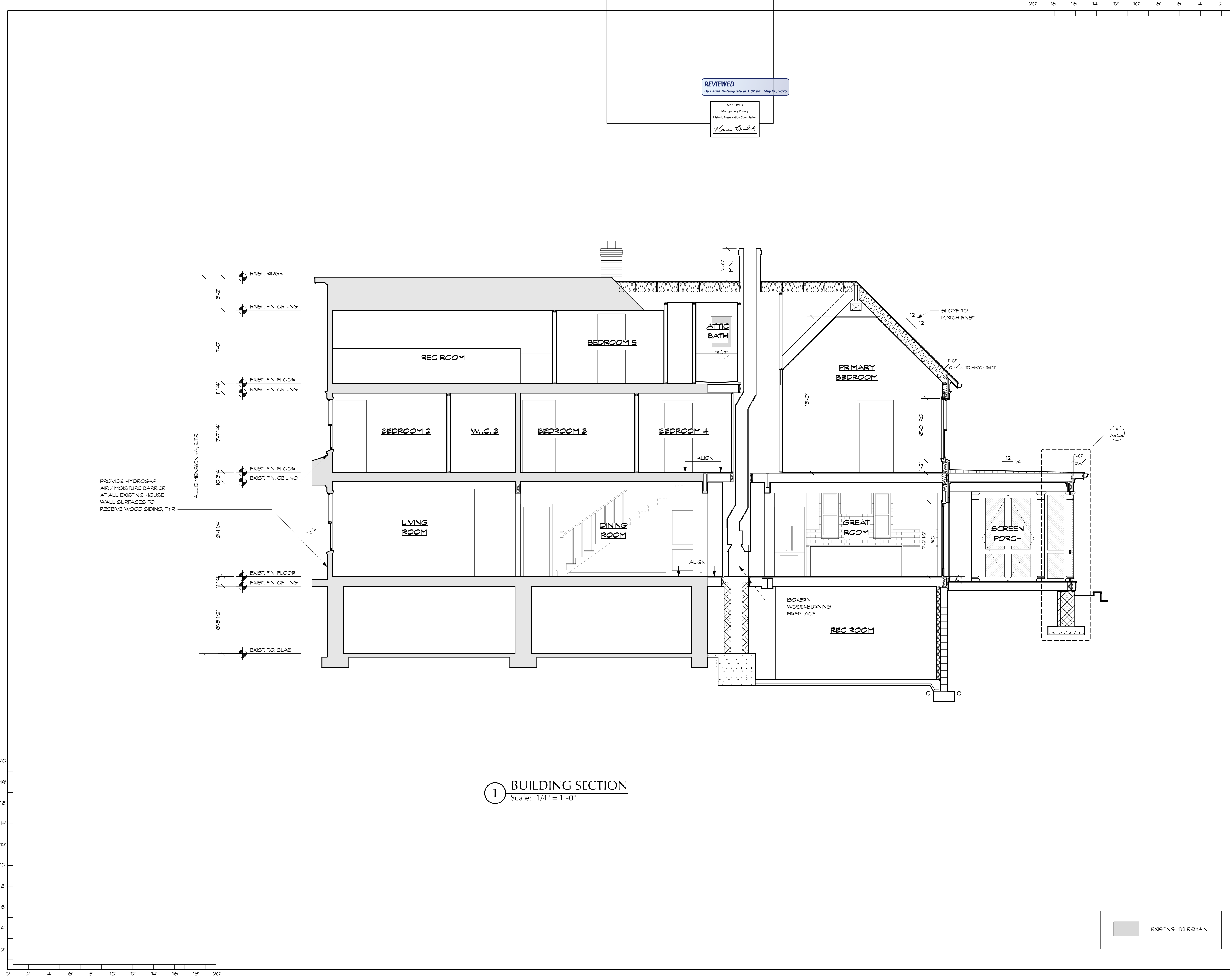
DINING ROOM BAY CORNER

5 CORNER BOARD PROFILES
Scale: 6" = 1'-0"

WILLIAMS LANE RENOVATION
3806 Williams Lane, Chevy Chase, MD 20815
Project # 2462

EXTERIOR TRIM
PROFILES

A204



BENNETT FRANK MCCARTHY
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(301) 585-2222 www.bfmarch.com fax (301) 585-8917

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4/28/25	PERMIT SET

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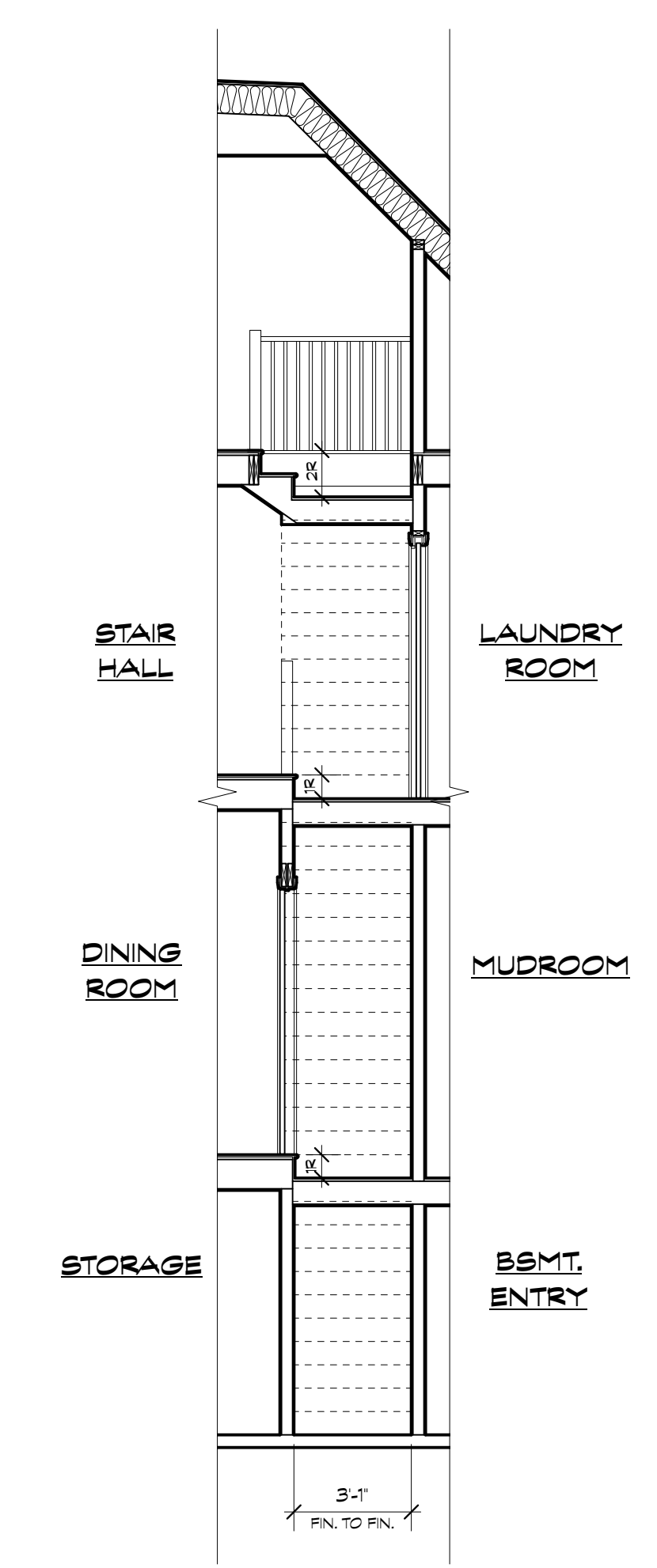
WILLIAMS LANE RENOVATION
3806 Williams Lane, Chevy Chase, MD 20815
Project # 2462

BUILDING SECTIONS

A300

28 APRIL 2025 - PERMIT SET

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3 BUILDING SECTION
Scale: 1/4" = 1'-0"

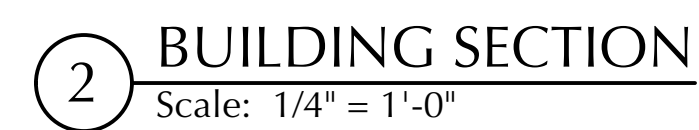
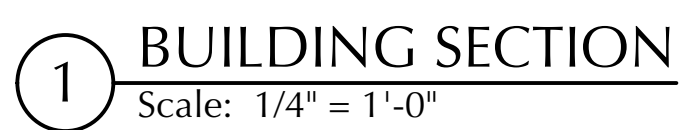
A301

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DS

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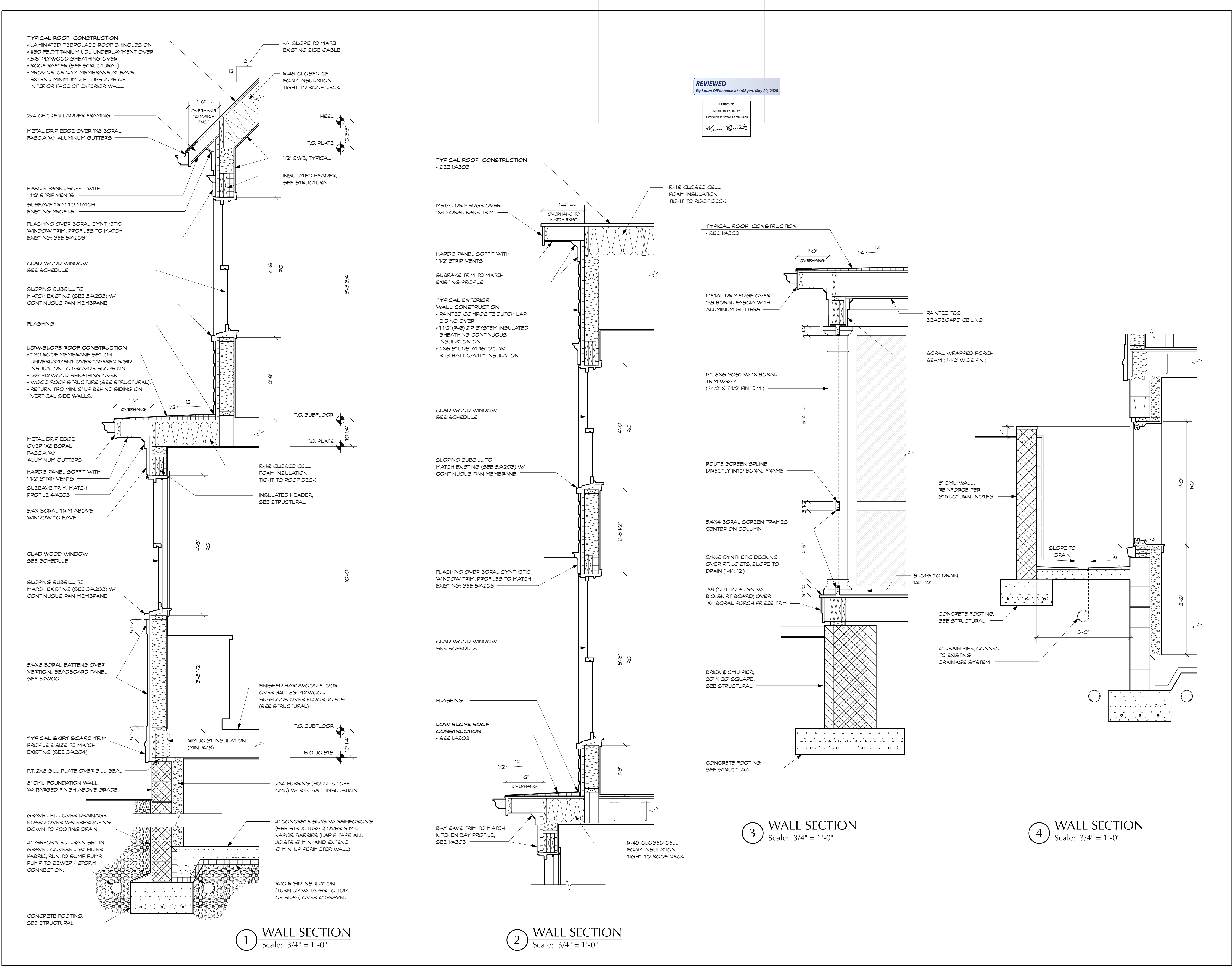


3806 Williams Lane, Chevy Chase, MD 20815

Project # 2462

WALL SECTIONS

A302



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3/26/25	HAWP PERMIT SET
4/28/25	PERMIT SET

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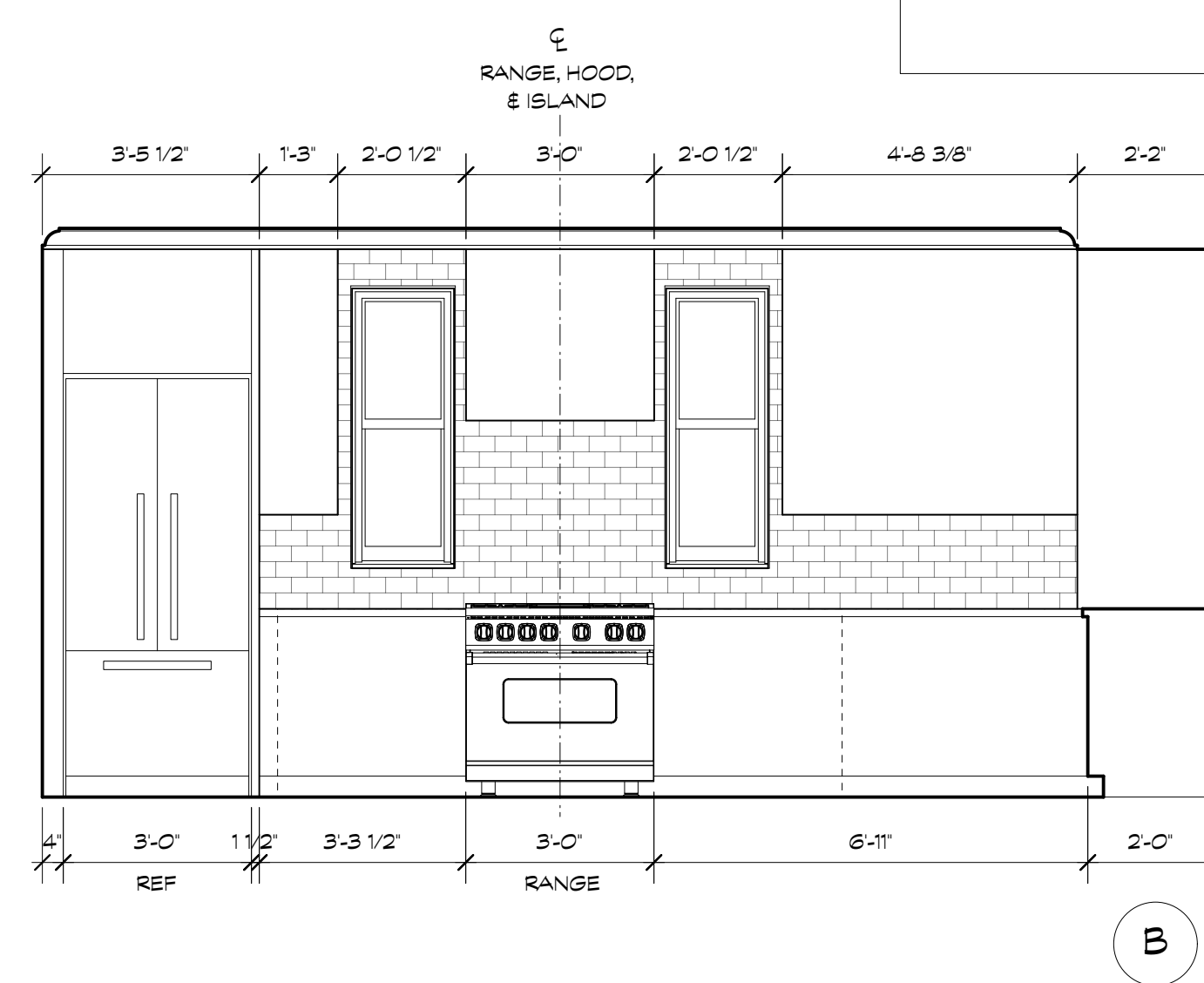
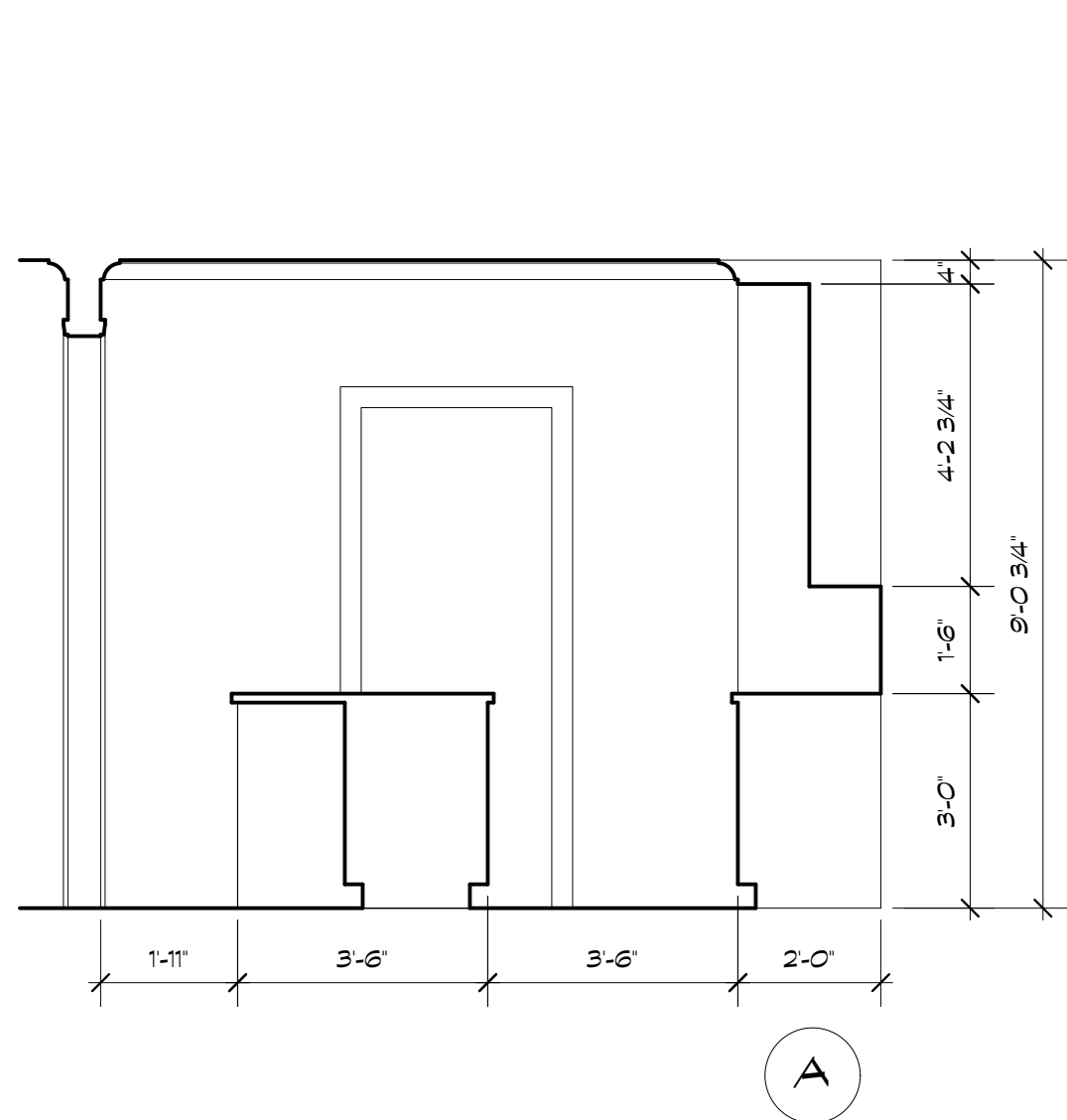
LICENSE #: 15218 EXPIRATION DATE: 10/31/2025

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WILLIAMS LANE RENOVATION
3806 Williams Lane, Chevy Chase, MD 20815
Project # 2462

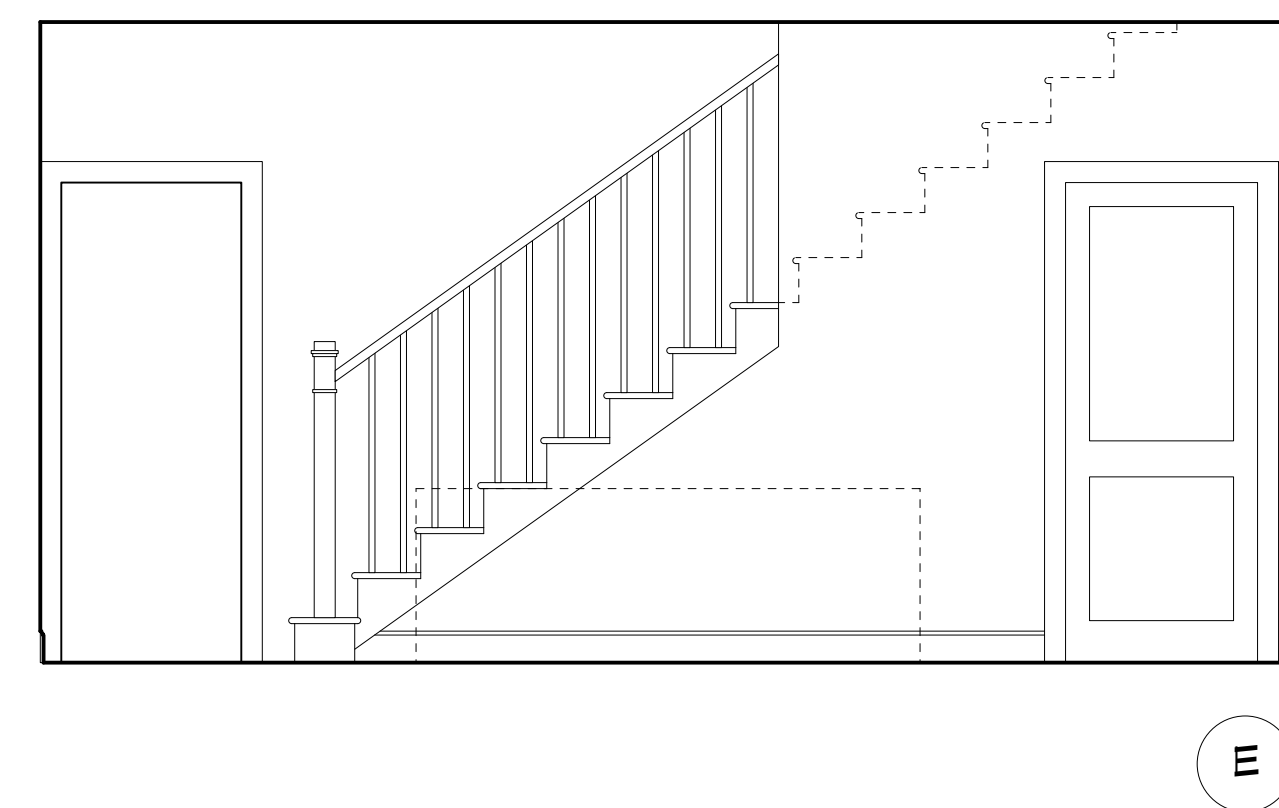
WALL SECTIONS

A303

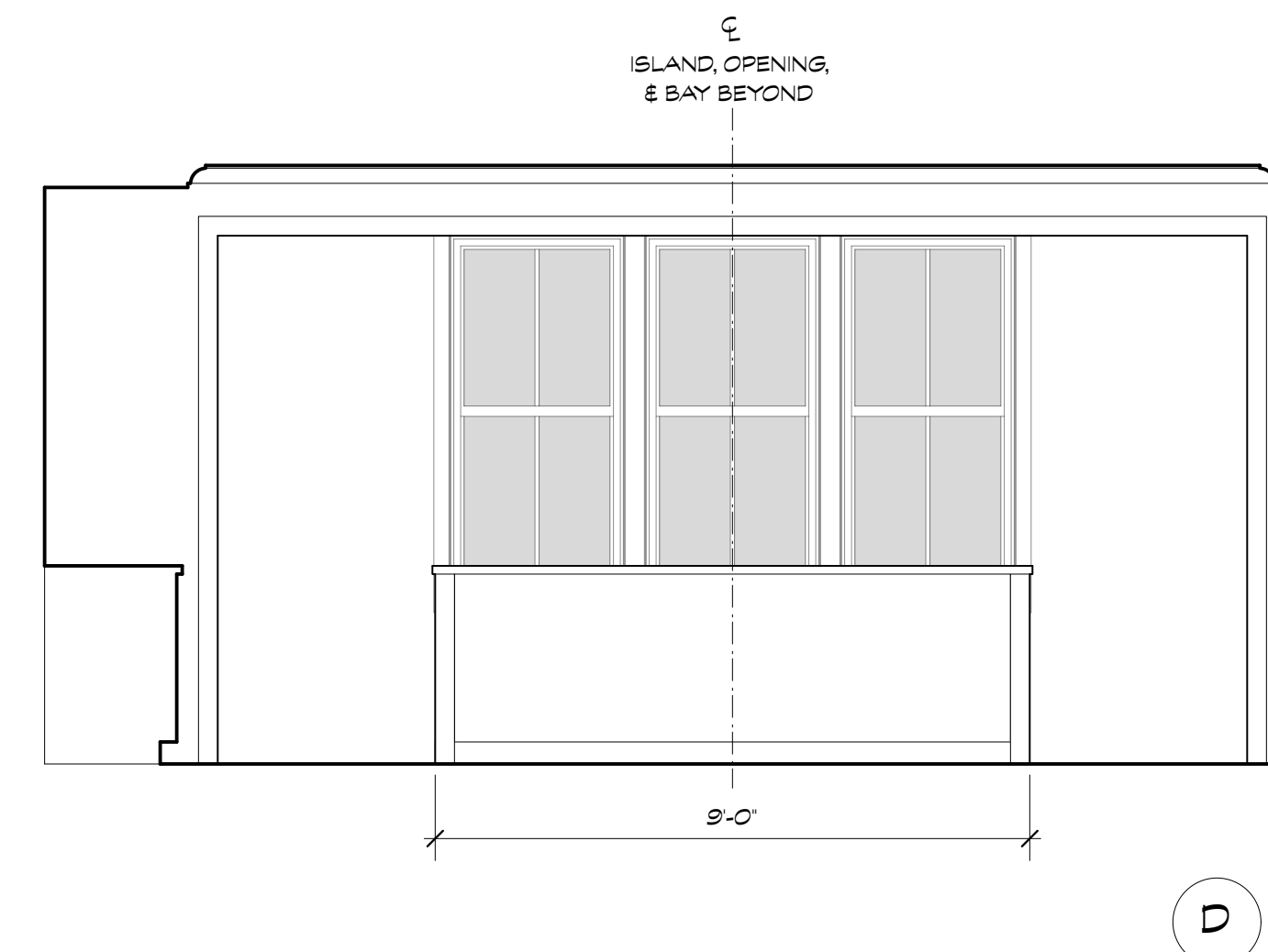
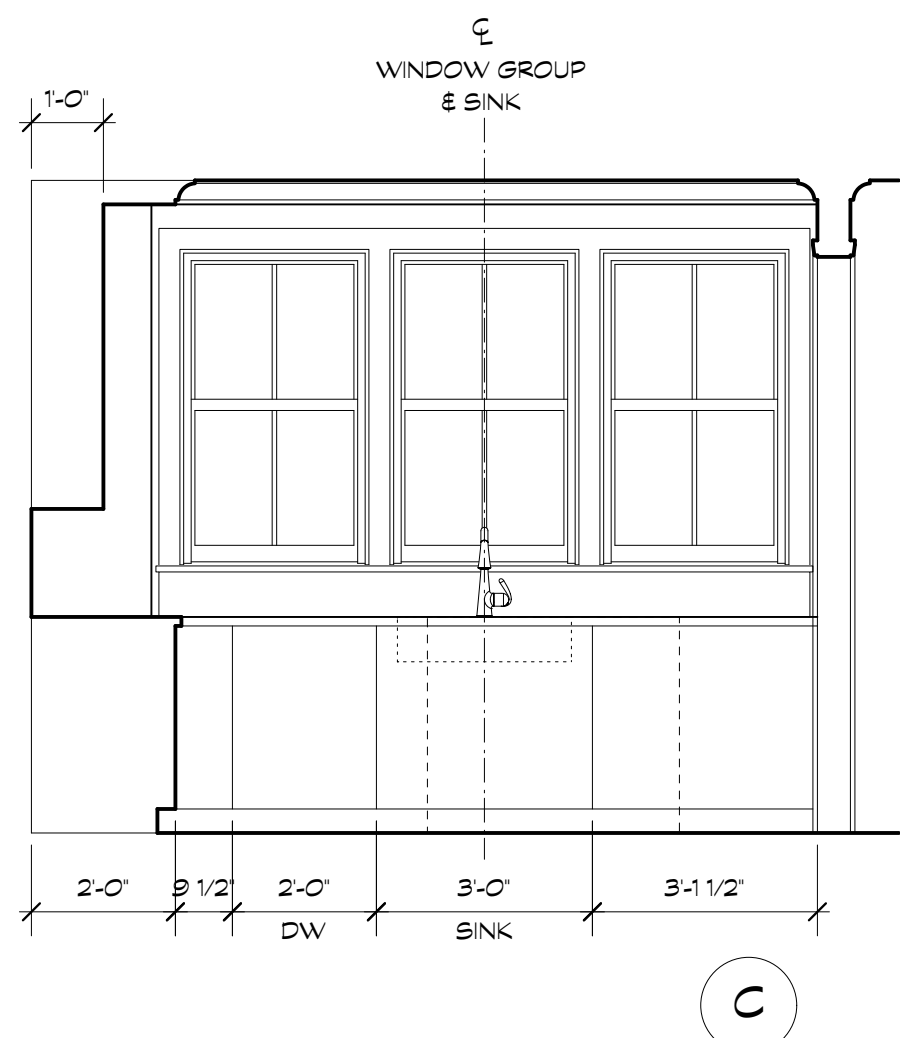


REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025

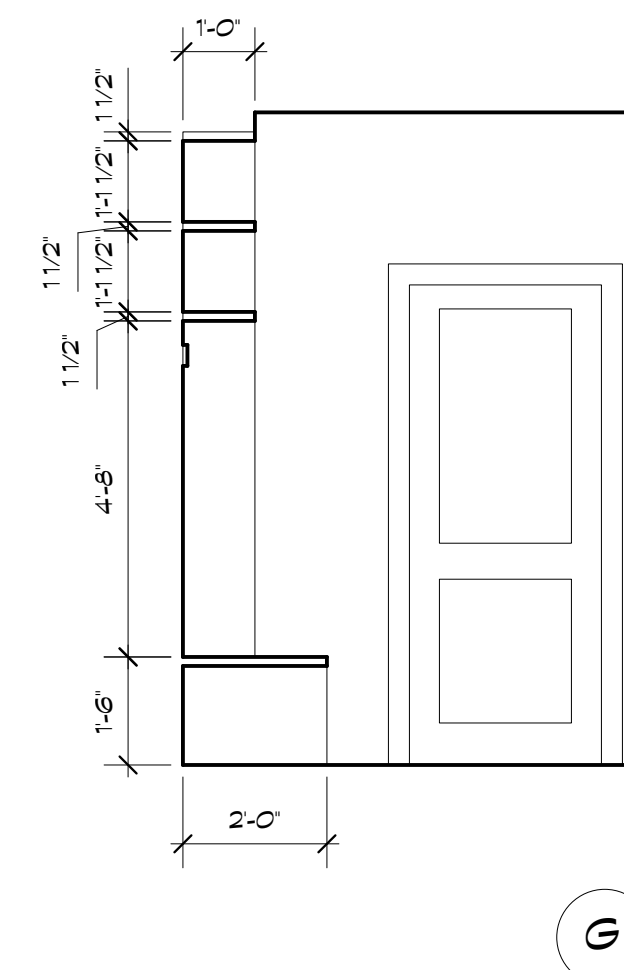
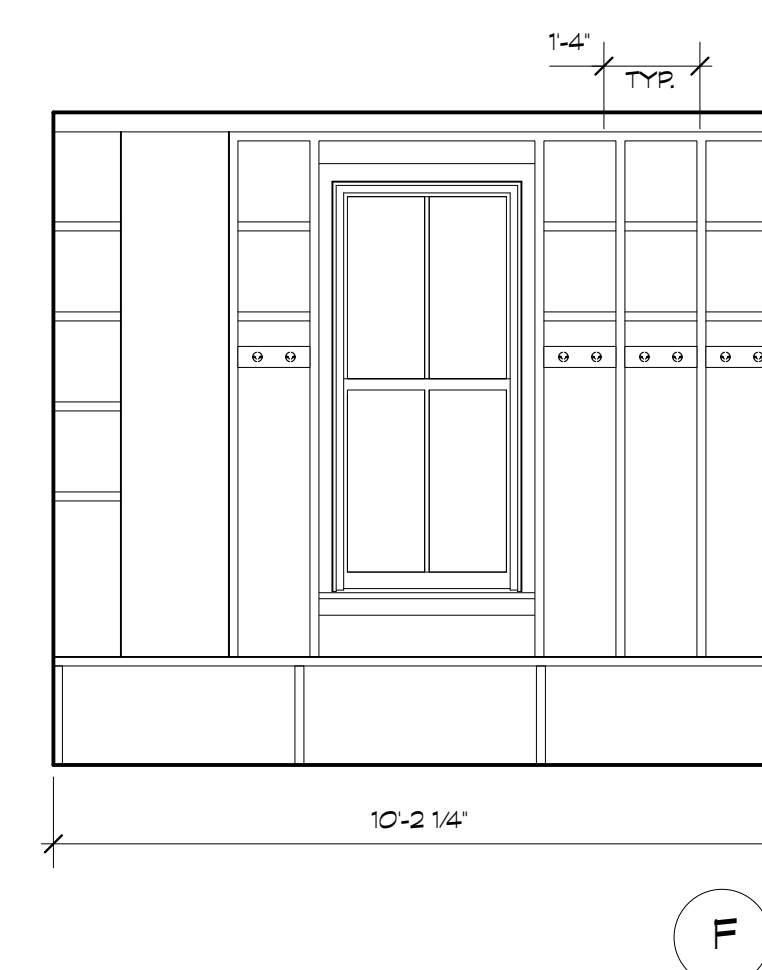
APPROVED
Montgomery County
Historic Preservation Commission
Karen B. Smith



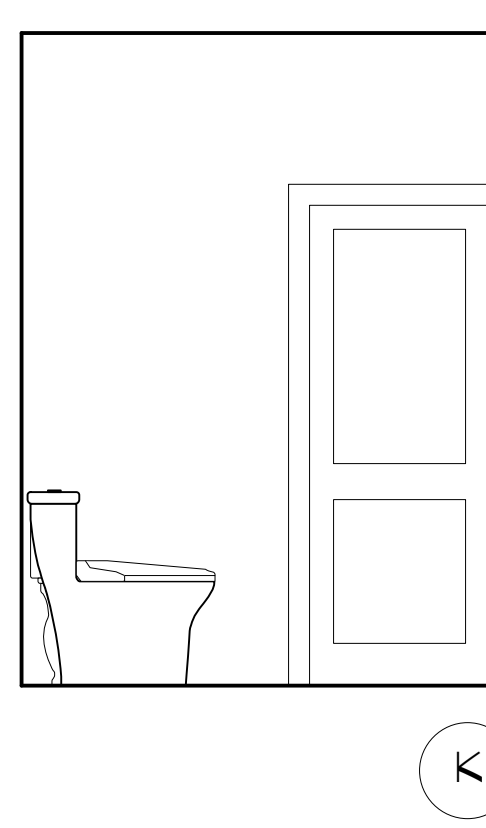
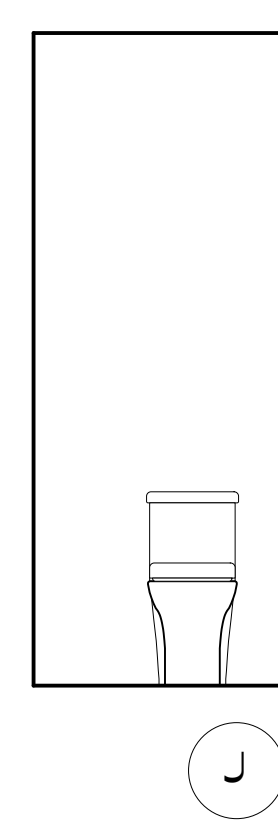
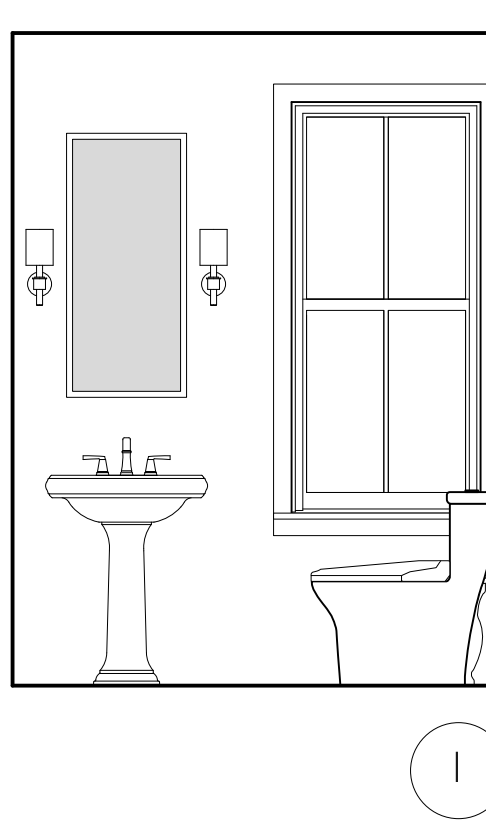
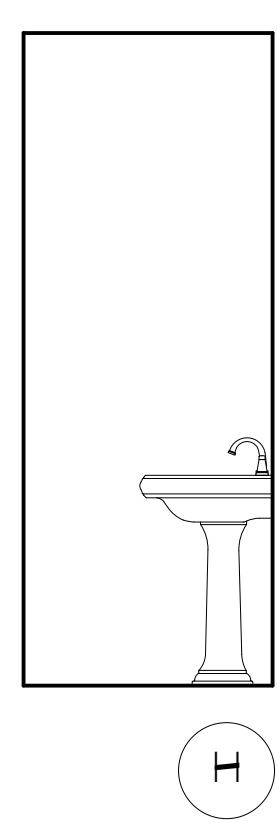
2 DINING ROOM ELEVATION
Scale: 3/8" = 1'-0"



1 KITCHEN ELEVATIONS
Scale: 3/8" = 1'-0"



3 MUDROOM ELEVATIONS
Scale: 3/8" = 1'-0"



4 POWDER ROOM ELEVATIONS
Scale: 3/8" = 1'-0"

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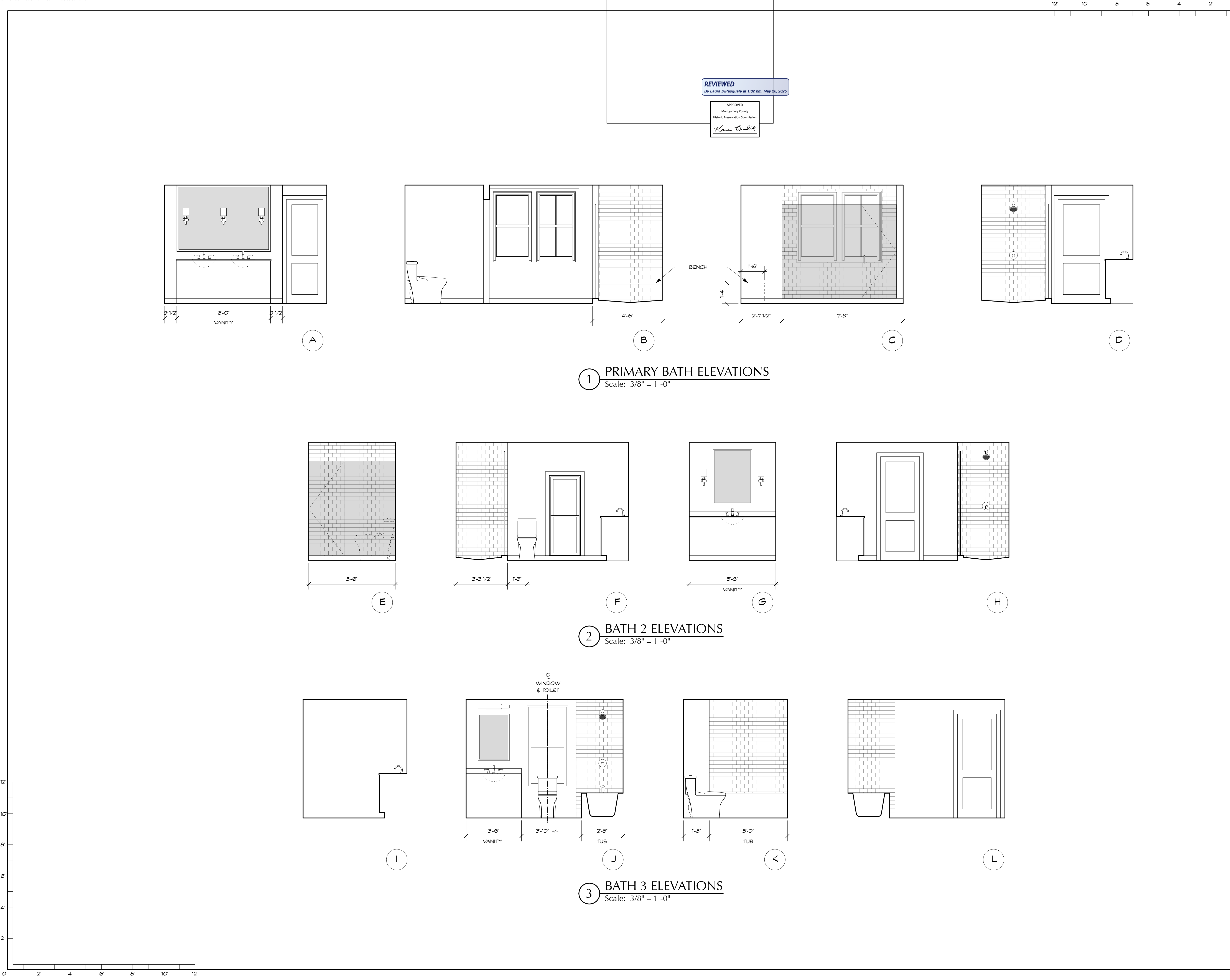
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WILLIAMS LANE RENOVATION
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Project # 2462

INTERIOR ELEVATIONS
A400

28 APRIL 2025 - PERMIT SET



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4/28/25	PERMIT SET

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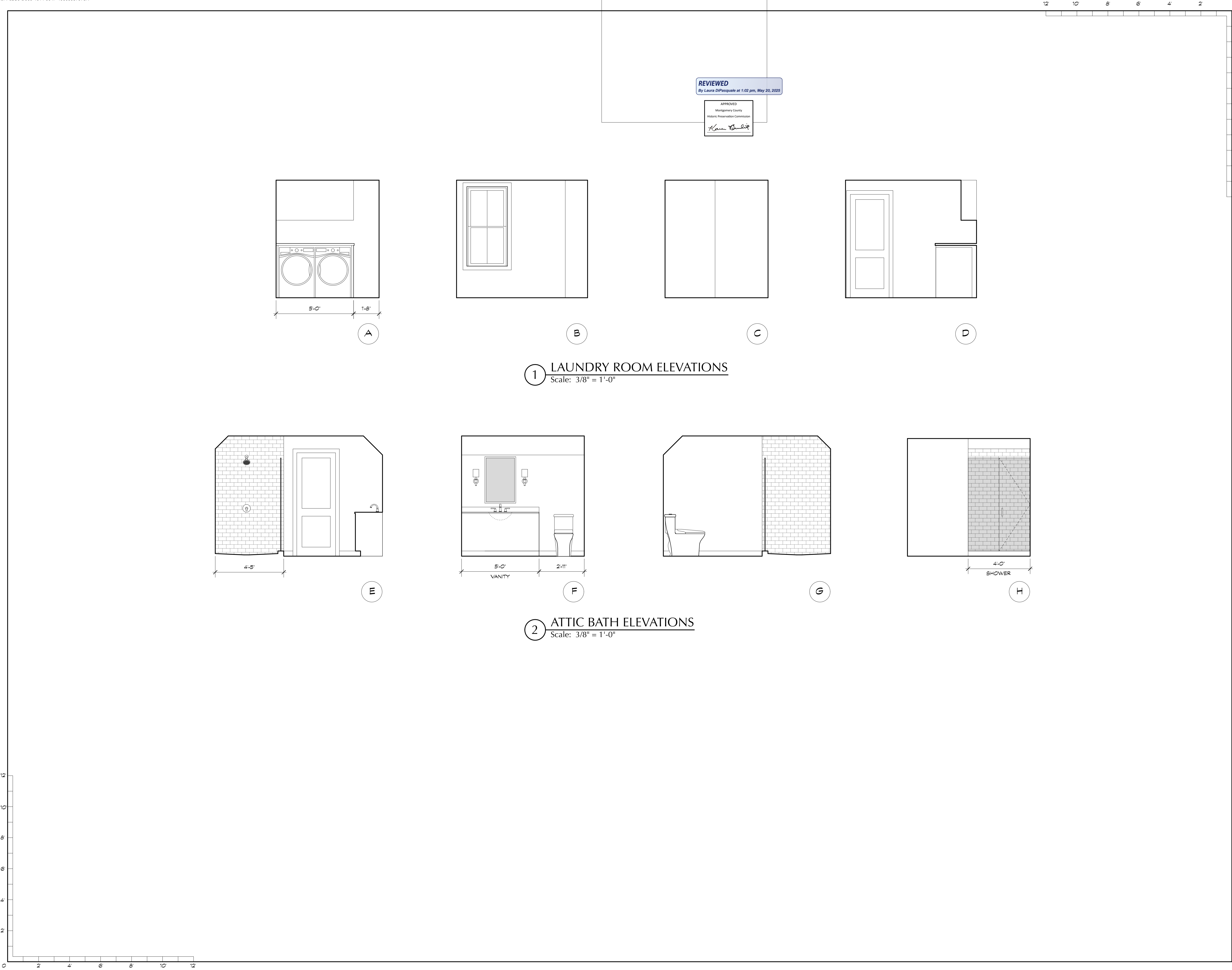
LICENSE #: 15218 EXPIRATION DATE: 10/31/2025

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WILLIAMS LANE RENOVATION
3806 Williams Lane, Chevy Chase, MD 20815
Project # 2462

INTERIOR ELEVATIONS
A401

28 APRIL 2025 - PERMIT SET

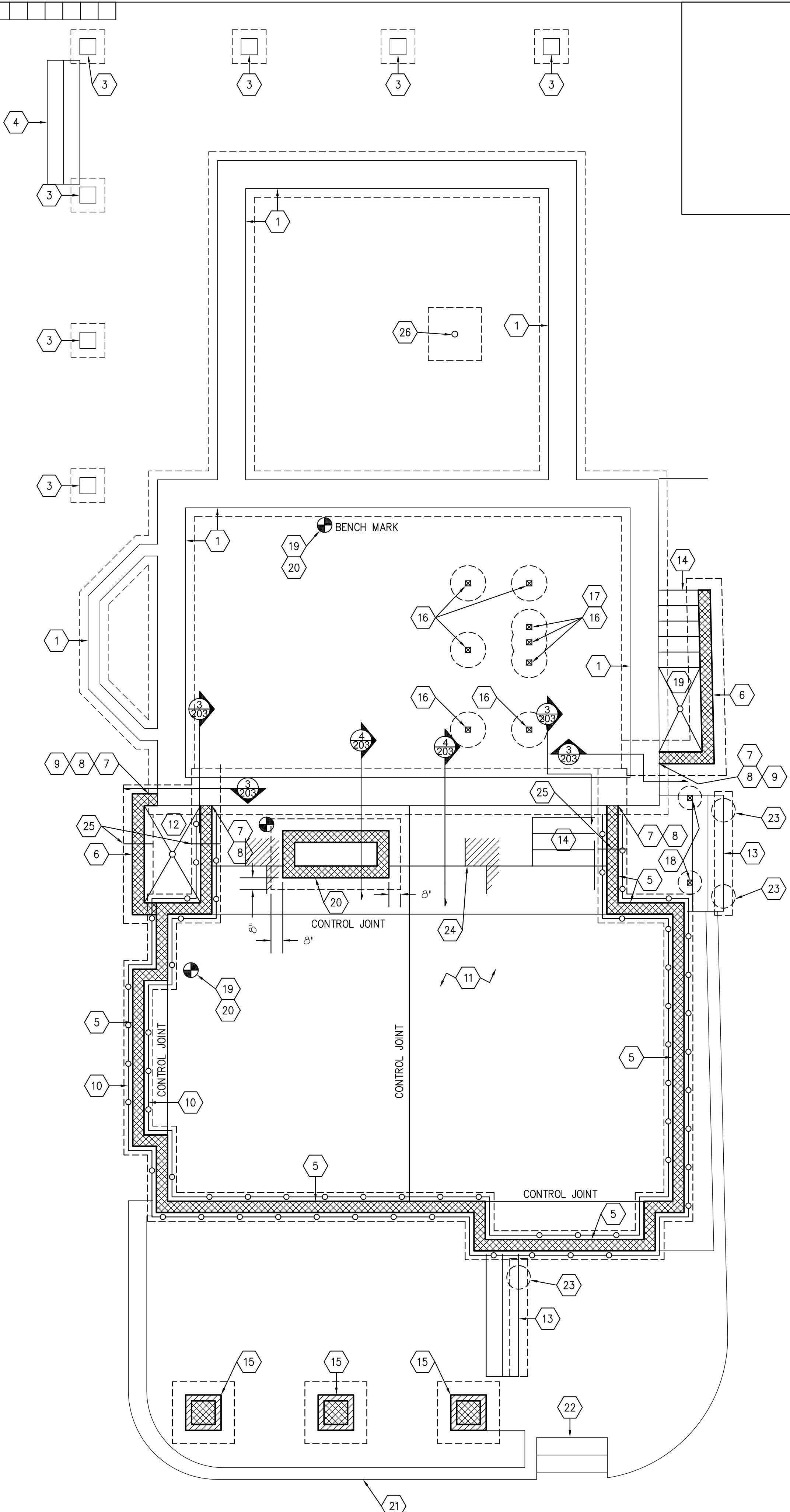


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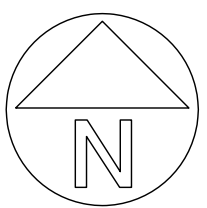
LICENSE #: 15218 EXPIRATION DATE: 10/31/2025

WILLIAMS LANE RENOVATION
3806 Williams Lane, Chevy Chase, MD 20815
Project # 2462



Foundation Plan

Scale: 1/4" = 1'-0"



REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025



- 1 EXISTING FOUNDATION WALL AND FOOTING. IF THE EXISTING WALL IS FOUND TO BOW INWARD BY 8" OR MORE, NOTIFY THE STRUCTURAL ENGINEER SO THAT REPAIR DETAILS CAN BE PROVIDED.
- 2 NOT USED.
- 3 EXISTING PIER AND FOOTING.
- 4 EXISTING STAIRS UNCHANGED.
- 5 8" CMU WALL PLACED ON A 24X10 FOOTING WITH (3)#4 BARS. REINFORCE THE WALL WITH #4 BARS AT 8" O.C. FILL ALL CELLS SOLID IN THE WALL. PROVIDE #4 BAR DOWELS BETWEEN THE WALL AND THE FOOTING AT 48" O.C.
- 6 8" CMU WINDOW WELL WALL OR AREAWAY WALL WITH AN 8" BOND BEAM ON THE TOP OF THE WALL. REINFORCE THE WALL WITH #4 BARS AT 16" O.C. AND REINFORCE THE BOND BEAM WITH (2)#4 BARS. FILL ALL CELLS SOLID IN THE WALL. PLACE THE WALL ON A 24X10 CONCRETE FOOTING REINFORCED WITH (3)#4 BARS. PLACE #4 BAR DOWELS BETWEEN THE WALL AND THE FOOTING AT 16" O.C.
- 7 PLACE THE NEW FOOTING BELOW THE EXISTING FOOTING PER THE STRUCTURAL DETAIL.
- 8 ATTACH THE NEW CMU WALL TO THE EXISTING WALL WITH METAL TIES AT 16" O.C. CAULK THE JOINT BETWEEN THE NEW CMU WALL AND THE EXISTING WALL WITH WATERSTOP RX BY CETCO.
- 9 DOWEL THE BOND BEAM REBAR INTO THE EXISTING FOUNDATION WALL WITH SIMPSON SET-XP EPOXY AND 3" EMBEDMENT.
- 10 4" PERFORATED DRAIN WRAPPED WITH FILTER FABRIC. PLACE THE EXTERIOR DRAIN IN GRAVEL COVERED WITH FILTER FABRIC. FIELD DETERMINE THE DISCHARGE OF THE DRAIN.
- 11 4" CONCRETE SLAB ON A 6 MIL POLY VAPOR BARRIER ON 4" GRAVEL PLACED ON STABLE SOIL. REINFORCE THE SLAB WITH 6X6 W2.0XW2.0 WWF. SEE THE ARCHITECTURAL DRAWINGS FOR INSULATION REQUIREMENTS BELOW THE SLAB.
- 12 4" CONCRETE SLAB ON 4" GRAVEL PLACED ON STABLE SOIL. REINFORCE THE SLAB WITH 6X6 W2.0XW2.0 WWF. SLOPE THE SLAB TO A DRAIN IN THE CENTER OF THE WINDOW WELL. PLACE A CONTROL JOINT ON EACH VALLEY OF THE SLOPE IN THE LANDING.
- 13 PLACE THE STAIRS ON A 12" WIDE BY 30" DEEP CONCRETE FOOTING PER THE TYPICAL DETAIL.
- 14 NEW SLAB ON GRADE STAIRS PER THE TYPICAL DETAIL. PROVIDE A 4" WIDE CONCRETE CURB ON THE SIDE OF THE STAIRS WHEN NEEDED. WHEN APPLICABLE, DOWEL THE SLAB REBAR INTO THE ADJACENT FOUNDATION WALLS WITH SIMPSON SET-XP EPOXY AND 3" EMBEDMENT.
- 15 NEW BONDED BRICK AND BLOCK PIER. FILL ALL CELLS SOLID IN THE CMU PORTION OF THE PIER. BOND THE BRICK TO THE CMU WITH METAL TIES AT 12" O.C. IN EACH DIRECTION AND BY FILLING THE VERTICAL JOINT BETWEEN THE BRICK AND BLOCK WITH MORTAR. PLACE THE PIER ON A 42"X42"X10" FOOTING REINFORCED WITH (4)#4 BARS IN EACH DIRECTION.
- 16 4X4 PSL POST UP ON A 24"X10" THICK FOOTING. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA44.
- 17 COMBINE THE FOOTING AS NEEDED.
- 18 PT4X4 POST UP ON A 16" CONCRETE FOOTING. THE BOTTOM OF THE FOOTING SHALL MATCH THE BOTTOM OF THE ADJACENT WALL FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA44.
- 19 4" CONCRETE SLAB ON 4" GRAVEL PLACED ON STABLE SOIL. REINFORCE THE SLAB WITH #3 BARS AT 15" O.C. IN EACH DIRECTION. DOWEL THE REBAR INTO THE NEW OR EXISTING FOUNDATION WALLS WITH SIMPSON SET-XP EPOXY AND 3" EMBEDMENT. SLOPE THE SLAB TO A DRAIN IN THE CENTER OF THE WINDOW WELL. FIELD DETERMINE THE DISCHARGE OF THE DRAIN. PLACE A CONTROL JOINT ON EACH VALLEY OF THE SLOPE IN THE LANDING. PLACE THE SLAB ON 2" RIGID INSULATION TO PROVIDE FROST PROTECTION TO THE EXISTING FOOTING.
- 20 8" CMU CHIMNEY PLACED ON A 10" MINIMUM THICKNESS FOOTING. REINFORCE THE FOOTING WITH #4 BARS AT 10" O.C. IN EACH DIRECTION PER THE STRUCTURAL DETAIL.
- 21 NEW GARDEN WALL DESIGNED BY OTHERS.
- 22 NEW LANDSCAPE STAIRS BY OTHERS.
- 23 PLACE A 16" FOOTING BELOW THE FOOTING FOR THE STAIRS. THE BOTTOM OF THE FOOTING SHALL MATCH THE BOTTOM OF THE ADJACENT WALL FOOTING.
- 24 STEP THE SLAB PER THE TYPICAL DETAIL.
- 25 FOOTING STEP PER THE TYPICAL DETAIL.
- 26 3" SCHEDULE 40 LALLY COLUMN UP PLACED ON A 36"X36"X10" THICK FOOTING. REINFORCE THE FOOTING WITH (4)#4 BARS IN EACH DIRECTION.

FRAMING NOTES:

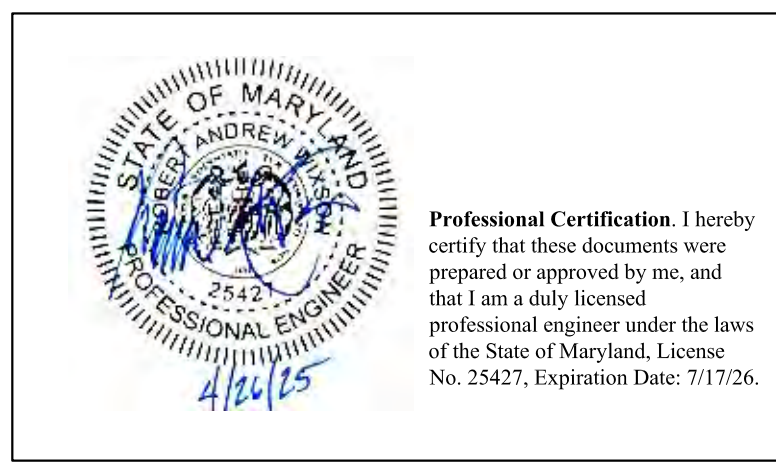
1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 3/8" BOLTS AT 16" O.C. STAGGERED.
5. EPOXY BOLTS SHALL BE SIMPSON "SET-XP". FOLLOW MANUFACTURES INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY UNLESS NOTED OTHERWISE.
6. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING AND PROPOSED STRUCTURAL ELEMENTS OF THE HOME.
7. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
8. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
9. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
10. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT.
11. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
12. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS. THE MORTAR, BRICKS AND BLOCKS SHALL MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL.
13. TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
14. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSSR.
15. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
16. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
17. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
18. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS16 ON EACH SIDE.
19. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
20. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
21. TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH BEAM AND THE HANGER.
22. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC. . . .
23. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT ARE PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE JOISTS BELOW THE WALLS AT 16" O.C.
24. ADD BLOCKING TO THE WEB OF ENGINEERED JOISTS AS NEEDED FOR HANGERS, CONNECTORS, STRAPS OR NAILING MULTIPLE MEMBERS TOGETHER.
25. ADD JOIST HANGERS TO ALL EXISTING FRAMING CONNECTIONS THAT ARE FOUND TO LACK THEM SUCH AS FRAMING AROUND PLUMBING STACKS, CHIMNEYS, OR THE EXISTING STAIRS.
26. LALLY COLUMNS SHALL BE BY THE TIGERBRAND JACK POST COMPANY. (ESR 1766).



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Silver Spring, Maryland 20910-2755
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DATE	ISSUE - REMARKS
**	**



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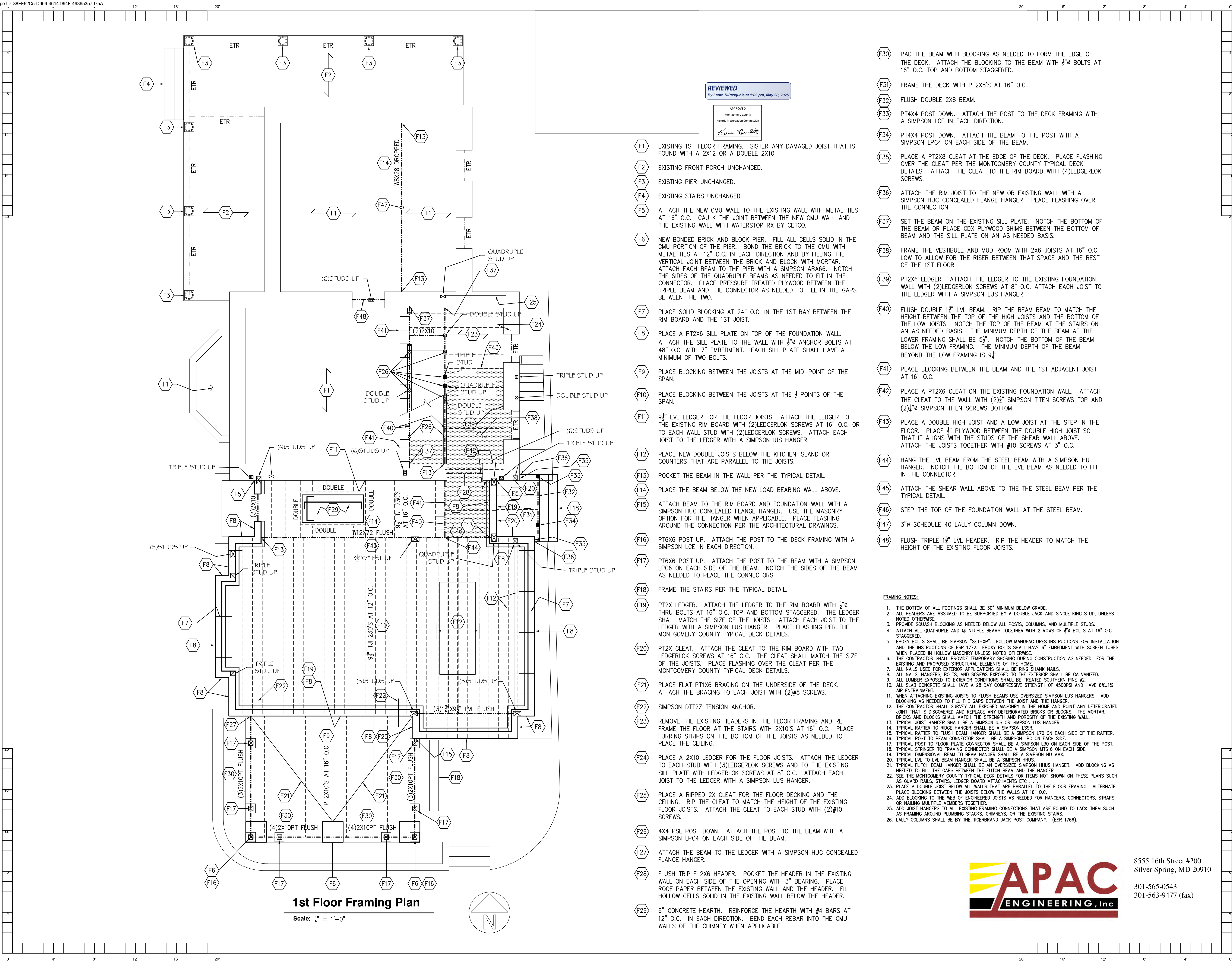
Williams Lane Renovation
3806 Williams Lane - Chevy Chase, MD 20815
Project #2462

FOUNDATION
PLAN

S001

PERMIT SET

26 April 2025



REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Smith

- F1 EXISTING 1ST FLOOR FRAMING. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A 2X12 OR A DOUBLE 2X10.
- F2 EXISTING FRONT PORCH UNCHANGED.
- F3 EXISTING PIER UNCHANGED.
- F4 EXISTING STAIRS UNCHANGED.
- F5 ATTACH THE NEW CMU WALL TO THE EXISTING WALL WITH METAL TIES AT 16" O.C. CAULK THE JOINT BETWEEN THE NEW CMU WALL AND THE EXISTING WALL WITH WATERSTOP RX BY CETCO.
- F6 NEW BONDED BRICK AND BLOCK PIER. FILL ALL CELLS SOLID IN THE CMU PORTION OF THE PIER. BOND THE BRICK TO THE CMU WITH METAL TIES AT 12" O.C. IN EACH DIRECTION AND BY FILLING THE VERTICAL JOINT BETWEEN THE BRICK AND BLOCK WITH MORTAR. ATTACH EACH BEAM TO THE PIER WITH A SIMPSON ABA66. NOTCH THE SIDES OF THE QUADRUPLE BEAMS AS NEEDED TO FIT IN THE CONNECTOR. PLACE PRESSURE TREATED PLYWOOD BETWEEN THE TRIPLE BEAM AND THE CONNECTOR AS NEEDED TO FILL IN THE GAPS BETWEEN THE TWO.
- F7 PLACE SOLID BLOCKING AT 24" O.C. IN THE 1ST BAY BETWEEN THE RIM BOARD AND THE 1ST JOIST.
- F8 PLACE A PT2X6 SILL PLATE ON TOP OF THE FOUNDATION WALL. ATTACH THE SILL PLATE TO THE WALL WITH 3/8" ANCHOR BOLTS AT 48" O.C. WITH 7" EMBEDMENT. EACH SILL PLATE SHALL HAVE A MINIMUM OF TWO BOLTS.
- F9 PLACE BLOCKING BETWEEN THE JOISTS AT THE MID-POINT OF THE SPAN.
- F10 PLACE BLOCKING BETWEEN THE JOISTS AT THE 1/3 POINTS OF THE SPAN.
- F11 9 1/2" LVL LEDGER FOR THE FLOOR JOISTS. ATTACH THE LEDGER TO THE EXISTING RIM BOARD WITH (2) LEDGERLOK SCREWS AT 16" O.C. OR TO EACH WALL STUD WITH (2) LEDGERLOK SCREWS. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON IUS HANGER.
- F12 PLACE NEW DOUBLE JOISTS BELOW THE KITCHEN ISLAND OR COUNTERS THAT ARE PARALLEL TO THE JOISTS.
- F13 POCKET THE BEAM IN THE WALL PER THE TYPICAL DETAIL.
- F14 PLACE THE BEAM BELOW THE NEW LOAD BEARING WALL ABOVE.
- F15 ATTACH BEAM TO THE RIM BOARD AND FOUNDATION WALL WITH A SIMPSON HUC CONCEALED FLANGE HANGER. USE THE MASONRY OPTION FOR THE HANGER WHEN APPLICABLE. PLACE FLASHING AROUND THE CONNECTION PER THE ARCHITECTURAL DRAWINGS.
- F16 PT6X6 POST UP. ATTACH THE POST TO THE DECK FRAMING WITH A SIMPSON LCE IN EACH DIRECTION.
- F17 PT6X6 POST UP. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC6 ON EACH SIDE OF THE BEAM. NOTCH THE SIDES OF THE BEAM AS NEEDED TO PLACE THE CONNECTORS.
- F18 FRAME THE STAIRS PER THE TYPICAL DETAIL.
- F19 PT2X LEDGER. ATTACH THE LEDGER TO THE RIM BOARD WITH 1/2" THRU BOLTS AT 16" O.C. TOP AND BOTTOM STAGGERED. THE LEDGER SHALL MATCH THE SIZE OF THE JOISTS. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. PLACE FLASHING PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- F20 PT2X CLEAT. ATTACH THE CLEAT TO THE RIM BOARD WITH TWO LEDGERLOK SCREWS AT 16" O.C. THE CLEAT SHALL MATCH THE SIZE OF THE JOISTS. PLACE FLASHING OVER THE CLEAT PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- F21 PLACE FLAT PT1X6 BRACING ON THE UNDERSIDE OF THE DECK. ATTACH THE BRACING TO EACH JOIST WITH (2) #8 SCREWS.
- F22 SIMPSON DTT2Z TENSION ANCHOR.
- F23 REMOVE THE EXISTING HEADERS IN THE FLOOR FRAMING AND RE FRAME THE FLOOR AT THE STAIRS WITH 2X10'S AT 16" O.C. PLACE FURRING STRIPS ON THE BOTTOM OF THE JOISTS AS NEEDED TO PLACE THE CEILING.
- F24 PLACE A 2X10 LEDGER FOR THE FLOOR JOISTS. ATTACH THE LEDGER TO EACH STUD WITH (3) LEDGERLOK SCREWS AND TO THE EXISTING SILL PLATE WITH LEDGERLOK SCREWS AT 8" O.C. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER.
- F25 PLACE A RIPPED 2X CLEAT FOR THE FLOOR DECKING AND THE CEILING. RIP THE CLEAT TO MATCH THE HEIGHT OF THE EXISTING FLOOR JOISTS. ATTACH THE CLEAT TO EACH STUD WITH (2) #10 SCREWS.
- F26 4X4 PSL POST DOWN. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC4 ON EACH SIDE OF THE BEAM.
- F27 ATTACH THE BEAM TO THE LEDGER WITH A SIMPSON HUC CONCEALED FLANGE HANGER.
- F28 FLUSH TRIPLE 2X6 HEADER. POCKET THE HEADER IN THE EXISTING WALL ON EACH SIDE OF THE OPENING WITH 3" BEARING. PLACE ROOF PAPER BETWEEN THE EXISTING WALL AND THE HEADER. FILL HOLLOW CELLS SOLID IN THE EXISTING WALL BELOW THE HEADER.
- F29 6" CONCRETE HEARTH. REINFORCE THE HEARTH WITH #4 BARS AT 12" O.C. IN EACH DIRECTION. BEND EACH REBAR INTO THE CMU WALLS OF THE CHIMNEY WHEN APPLICABLE.

- F30 PAD THE BEAM WITH BLOCKING AS NEEDED TO FORM THE EDGE OF THE DECK. ATTACH THE BLOCKING TO THE BEAM WITH 1/2" BOLTS AT 16" O.C. TOP AND BOTTOM STAGGERED.
- F31 FRAME THE DECK WITH PT2X8'S AT 16" O.C.
- F32 FLUSH DOUBLE 2X8 BEAM.
- F33 PT4X4 POST DOWN. ATTACH THE POST TO THE DECK FRAMING WITH A SIMPSON LCE IN EACH DIRECTION.
- F34 PT4X4 POST DOWN. ATTACH THE BEAM TO THE POST WITH A SIMPSON LPC4 ON EACH SIDE OF THE BEAM.
- F35 PLACE A PT2X8 CLEAT AT THE EDGE OF THE DECK. PLACE FLASHING OVER THE CLEAT PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS. ATTACH THE CLEAT TO THE RIM BOARD WITH (4) LEDGERLOK SCREWS.
- F36 ATTACH THE RIM JOIST TO THE NEW OR EXISTING WALL WITH A SIMPSON HUC CONCEALED FLANGE HANGER. PLACE FLASHING OVER THE CONNECTION.
- F37 SET THE BEAM ON THE EXISTING SILL PLATE. NOTCH THE BOTTOM OF THE BEAM OR PLACE CDX PLYWOOD SHIMS BETWEEN THE BOTTOM OF BEAM AND THE SILL PLATE ON AN AS NEEDED BASIS.
- F38 FRAME THE VESTIBULE AND MUD ROOM WITH 2X6 JOISTS AT 16" O.C. LOW TO ALLOW FOR THE RISER BETWEEN THAT SPACE AND THE REST OF THE 1ST FLOOR.
- F39 PT2X6 LEDGER. ATTACH THE LEDGER TO THE EXISTING FOUNDATION WALL WITH (2) LEDGERLOK SCREWS AT 8" O.C. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER.
- F40 FLUSH DOUBLE 1 1/2" LVL BEAM. RIP THE BEAM BEAM TO MATCH THE HEIGHT BETWEEN THE TOP OF THE HIGH JOISTS AND THE BOTTOM OF THE LOW JOISTS. NOTCH THE TOP OF THE BEAM AT THE STAIRS ON AN AS NEEDED BASIS. THE MINIMUM DEPTH OF THE BEAM AT THE LOWER FRAMING SHALL BE 5 1/2". NOTCH THE BOTTOM OF THE BEAM BELOW THE LOW FRAMING. THE MINIMUM DEPTH OF THE BEAM BEYOND THE LOW FRAMING IS 9 1/2"
- F41 PLACE BLOCKING BETWEEN THE BEAM AND THE 1ST ADJACENT JOIST AT 16" O.C.
- F42 PLACE A PT2X6 CLEAT ON THE EXISTING FOUNDATION WALL. ATTACH THE CLEAT TO THE WALL WITH (2) 1/2" SIMPSON TITEN SCREWS TOP AND (2) 1/4" SIMPSON TITEN SCREWS BOTTOM.
- F43 PLACE A DOUBLE HIGH JOIST AND A LOW JOIST AT THE STEP IN THE FLOOR. PLACE 1/2" PLYWOOD BETWEEN THE DOUBLE HIGH JOIST SO THAT IT ALIGNS WITH THE STUDS OF THE SHEAR WALL ABOVE. ATTACH THE JOISTS TOGETHER WITH #10 SCREWS AT 3" O.C.
- F44 HANG THE LVL BEAM FROM THE STEEL BEAM WITH A SIMPSON HU HANGER. NOTCH THE BOTTOM OF THE LVL BEAM AS NEEDED TO FIT IN THE CONNECTOR.
- F45 ATTACH THE SHEAR WALL ABOVE TO THE STEEL BEAM PER THE TYPICAL DETAIL.
- F46 STEP THE TOP OF THE FOUNDATION WALL AT THE STEEL BEAM.
- F47 3" SCHEDULE 40 LALLY COLUMN DOWN.
- F48 FLUSH TRIPLE 1 1/2" LVL HEADER. RIP THE HEADER TO MATCH THE HEIGHT OF THE EXISTING FLOOR JOISTS.

FRAMING NOTES:

- THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
- ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
- PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
- ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 1/2" BOLTS AT 16" O.C. STAGGERED.
- EPOXY BOLTS SHALL BE SIMPSON "SET-YO". FOLLOW MANUFACTURES INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING AND PROPOSED STRUCTURAL ELEMENTS OF THE HOME.
- ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
- ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
- ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
- ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6X21X12 AIR ENTRAINMENT.
- WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
- THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS. THE MORTAR, BRICKS AND BLOCKS SHALL MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL.
- TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
- TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSSR.
- TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
- TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
- TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
- TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON M516 ON EACH SIDE.
- TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
- TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
- TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH BEAM AND THE HANGER.
- SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC.
- PLACE A DOUBLE JOIST BELOW ALL WALLS THAT ARE PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE JOISTS BELOW THE WALLS AT 16" O.C.
- ADD BLOCKING TO THE WEB OF ENGINEERED JOISTS AS NEEDED FOR HANGERS, CONNECTORS, STRAPS OR NAILING MULTIPLE MEMBERS TOGETHER.
- ADD JOIST HANGERS TO ALL EXISTING FRAMING CONNECTIONS THAT ARE FOUND TO LACK THEM SUCH AS FRAMING AROUND PLUMBING STACKS, CHIMNEYS, OR THE EXISTING STAIRS.
- LALLY COLUMNS SHALL BE BY THE TIGERBRAND JACK POST COMPANY. (ESR 1766).



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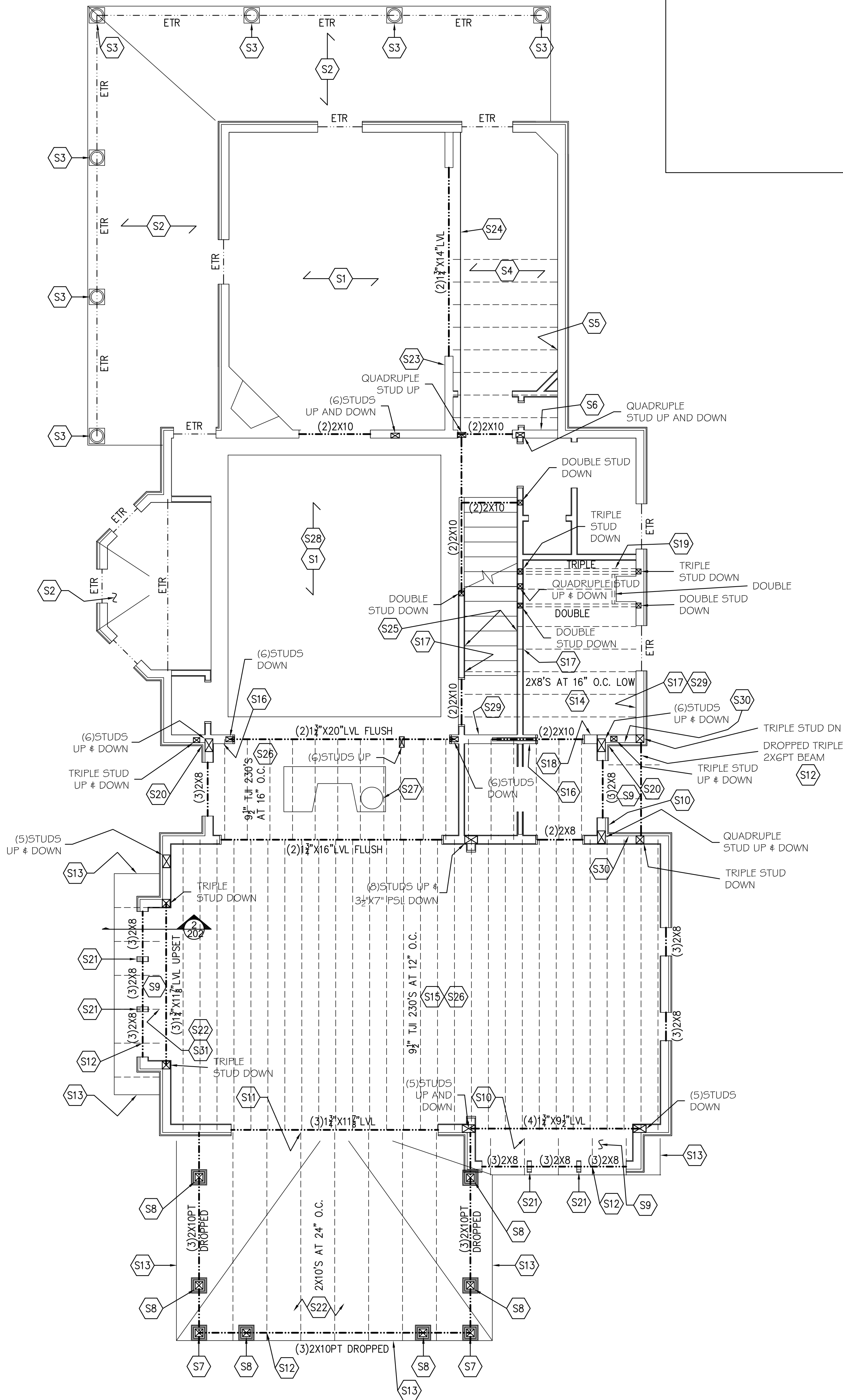
Williams Lane Renovation
3806 Williams Lane - Chevy Chase, MD 20815
Project #2462

PERMIT SET

26 April 2025

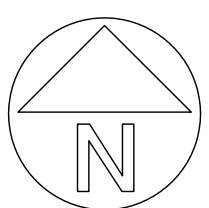
1ST FLOOR
FRAMING PLAN

S002



2nd Floor Framing Plan

Scale: 1/4" = 1'-0"



REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025



- S1 EXISTING 2ND FLOOR FRAMING. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A 2X12 OR A DOUBLE 2X10.
- S2 EXISTING ROOF FRAMING UNCHANGED.
- S3 EXISTING POST.
- S4 REMOVE THE EXISTING HEADERS IN THE FLOOR FRAMING AND SISTER EACH EXISTING JOIST WITH A 2X10 TO INFILL THE STAIRS. PLACE FURRING STRIPS ON THE BOTTOM OF THE JOISTS AS NEEDED TO PLACE THE CEILING.
- S5 PLACE A 2X10 LEDGER FOR THE FLOOR JOISTS. ATTACH THE LEDGER TO EACH STUD WITH (3)LEDGERLOK SCREWS. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER.
- S6 PLACE A RIPPED 2X CLEAT FOR THE FLOOR DECKING AND THE CEILING. RIP THE CLEAT TO MATCH THE HEIGHT OF THE EXISTING FLOOR JOISTS. ATTACH THE CLEAT TO EACH STUD WITH (2)#10 SCREWS.
- S7 PT6X6 POST DOWN. ATTACH THE POST TO THE BEAMS WITH A SIMPSON LCE IN EACH DIRECTION.
- S8 PT6X6 POST DOWN. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC6 ON EACH SIDE OF THE BEAM.
- S9 FRAME THE ROOF WITH 2X8 RAFTERS AND 2X8 CEILING JOISTS AT 24" O.C.
- S10 2X8 LEDGER FOR THE ROOF. ATTACH THE LEDGER TO EACH WALL STUD WITH (2)LEDGERLOK SCREWS. ATTACH EACH RAFTER TO THE LEDGER WITH A SIMPSON LSSR HANGER.
- S11 2X10 LEDGER FOR THE ROOF. ATTACH THE LEDGER TO THE RIM BOARD (2)LEDGERLOK SCREWS AT 12" O.C. ATTACH EACH RAFTER TO THE LEDGER WITH A SIMPSON LUS HANGER.
- S12 ATTACH EACH RAFTER THE BEAM OR WALL WITH A SIMPSON H2.5A HURRICANE TIE. WHEN APPLICABLE, HOLD THE TOP OF THE RAFTER UP AS NEEDED FOR INSULATION AND VENTILATION.
- S13 THE ROOF DECKING SHALL CANTILEVER OVER THE END WALL OR RIM BEAM TO SUPPORT THE RAKE OR EAVE. NO SPLICE SHALL OCCUR IN THE ROOF DECKING WITHIN 48" OF THE END WALL OR RIM BEAM. PLACE SOLID BLOCKING OR 2X LADDER FRAMING AT 24" O.C. AS NEEDED TO FORM THE RAKE OR EAVE.
- S14 PLACE BLOCKING BETWEEN THE JOISTS AT THE MID-POINT OF THE SPAN.
- S15 PLACE SOLID BLOCKING BETWEEN THE JOISTS AT THE 1/3 POINTS OF THE SPAN.
- S16 9/4" LVL LEDGER FOR THE FLOOR JOISTS. ATTACH THE LEDGER TO THE EXISTING RIM BOARD WITH (2)LEDGERLOK SCREWS AT 16" O.C. OR TO EACH WALL STUD WITH (2)LEDGERLOK SCREWS. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON IUS HANGER.
- S17 2X8 LEDGER FOR THE FLOOR JOISTS. ATTACH THE LEDGER TO EACH WALL STUD WITH (2)LEDGERLOK SCREWS. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER.
- S18 2X8 CLEAT FOR THE FLOOR DECKING. ATTACH THE CLEAT TO THE EXISTING WALL WITH (2)#10 SCREWS AT EACH STUD.
- S19 EXTEND THE LOW FRAMING TO THE FRONT SIDE OF THE EXISTING CHIMNEY. OVERBUILD THE HIGHER FRAMING ON TOP OF THE NEW LOW FRAMING. SHIM THE EXISTING JOISTS TO THE NEW LOW FRAMING OR NOTCH THE HIGH JOISTS AND PLACE THEM ON THE LOW FRAMING.
- S20 ATTACH THE 1ST STUD TO THE EXISTING WALL WITH #10 SCREWS AT 6" O.C.
- S21 PLACE A DOUBLE JACK STUD BETWEEN EACH WINDOW.
- S22 MAKE THE ROOF SLOPE WITH BUILT UP RIGID INSULATION. ATTACH THE INSULATION TO THE ROOF DECKING WITH #10 SCREWS AT 12" O.C. IN EACH DIRECTION.
- S23 VERIFY THAT THE EXISTING WALL CAN BE USED AS A LOAD BEARING WALL. THE WALL SHALL HAVE A MINIMUM OF 2X4 STUDS AT 16" O.C. WITH A DOUBLE TOP PLATE. IF THE WALL HAS A SINGLE TOP PLATE OR IF THE STUD SPACING IS GREATER THAN 16", PLACE A STUD BELOW EACH EXISTING JOIST.
- S24 PLACE SOLID BLOCKING BETWEEN THE EXISTING JOISTS BELOW THE NEW LOAD BEARING WALL ABOVE.
- S25 PLACE A LOAD BEARING WALL MADE WITH 2X4 STUDS AT 16" O.C. ON EACH SIDE OF THE STAIRS. PLACE A 2X RIM BOARD ON TOP OF THE WALL. RIP THE RIM BOARD TO MATCH THE HEIGHT OF THE EXISTING FLOOR JOISTS.
- S26 PLACE FURRING STRIPS ON THE UNDERSIDE OF THE JOISTS AS NEEDED TO PLACE THE CEILING.
- S27 PLACE THE FLUE BETWEEN THE JOISTS. ADJUST THE LOCATION OF THE JOISTS AS NEEDED TO MAINTAIN THE REQUIRED AIR GAP.
- S28 PRIOR TO CONSTRUCTION, VERIFY THAT THE EXISTING JOISTS SPAN IN THE FRONT TO BACK DIRECTION. NOTIFY THE STRUCTURAL ENGINEER IF THEY SPAN IN THE SIDE TO SIDE DIRECTION.
- S29 SISTER EACH STUD IN THE EXISTING WALL WITH A 2X4 AS NEEDED TO EXTEND THE WALL DOWN TO THE LOWER FLOOR OF THE VESTIBULE.

FRAMING NOTES:

1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 1/2"Ø BOLTS AT 16" O.C. STAGGERED.
5. EPOXY BOLTS SHALL BE SIMPSON "SET-XP". FOLLOW MANUFACTURES INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY UNLESS NOTED OTHERWISE.
6. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING AND PROPOSED STRUCTURAL ELEMENTS OF THE HOME.
7. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
8. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
9. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
10. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT.
11. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
12. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS. THE MORTAR, BRICKS AND BLOCKS SHALL MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL.
13. TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
14. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSSR.
15. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
16. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
17. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
18. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS16 ON EACH SIDE.
19. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
20. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
21. TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH BEAM AND THE HANGER.
22. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC.
23. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT ARE PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE JOISTS BELOW THE WALLS AT 16" O.C.
24. ADD BLOCKING TO THE WEB OF ENGINEERED JOISTS AS NEEDED FOR HANGERS, CONNECTORS, STRAPS OR NAILING MULTIPLE MEMBERS TOGETHER.
25. ADD JOIST HANGERS TO ALL EXISTING FRAMING CONNECTIONS THAT ARE FOUND TO LACK THEM SUCH AS FRAMING AROUND PLUMBING STACKS, CHIMNEYS, OR THE EXISTING STAIRS.

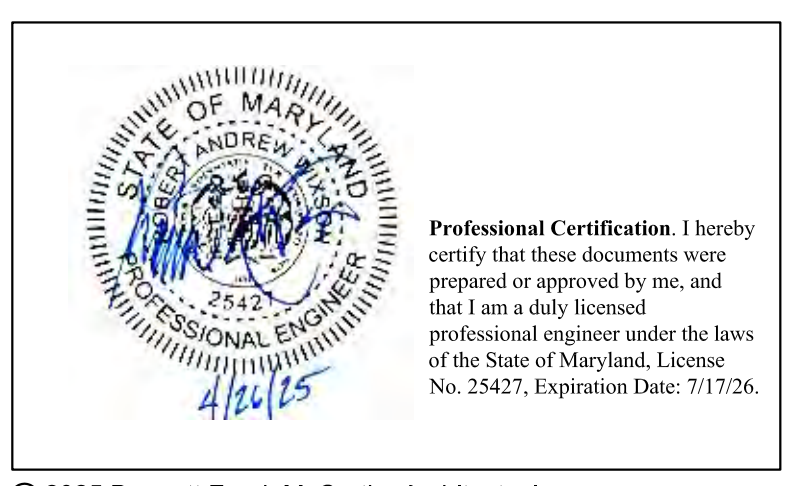
- S30 PLACE A 2X8 CLEAT FOR THE ROOF AND A 2X8 CLEAT FOR THE CEILING. ATTACH EACH CLEAT TO THE NEW OR EXISTING WALL WITH (2)#10 SCREWS AT 6" O.C.
- S31 FRAME THE ROOF WITH 2X12 RAFTERS AT 24" O.C. ATTACH EACH RAFTER TO THE UPSET BEAM WITH A SIMPSON LUS HANGER.



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Williams Lane Renovation
3806 Williams Lane - Chevy Chase, MD 20815
Project #2462

2ND FLOOR
FRAMING PLAN

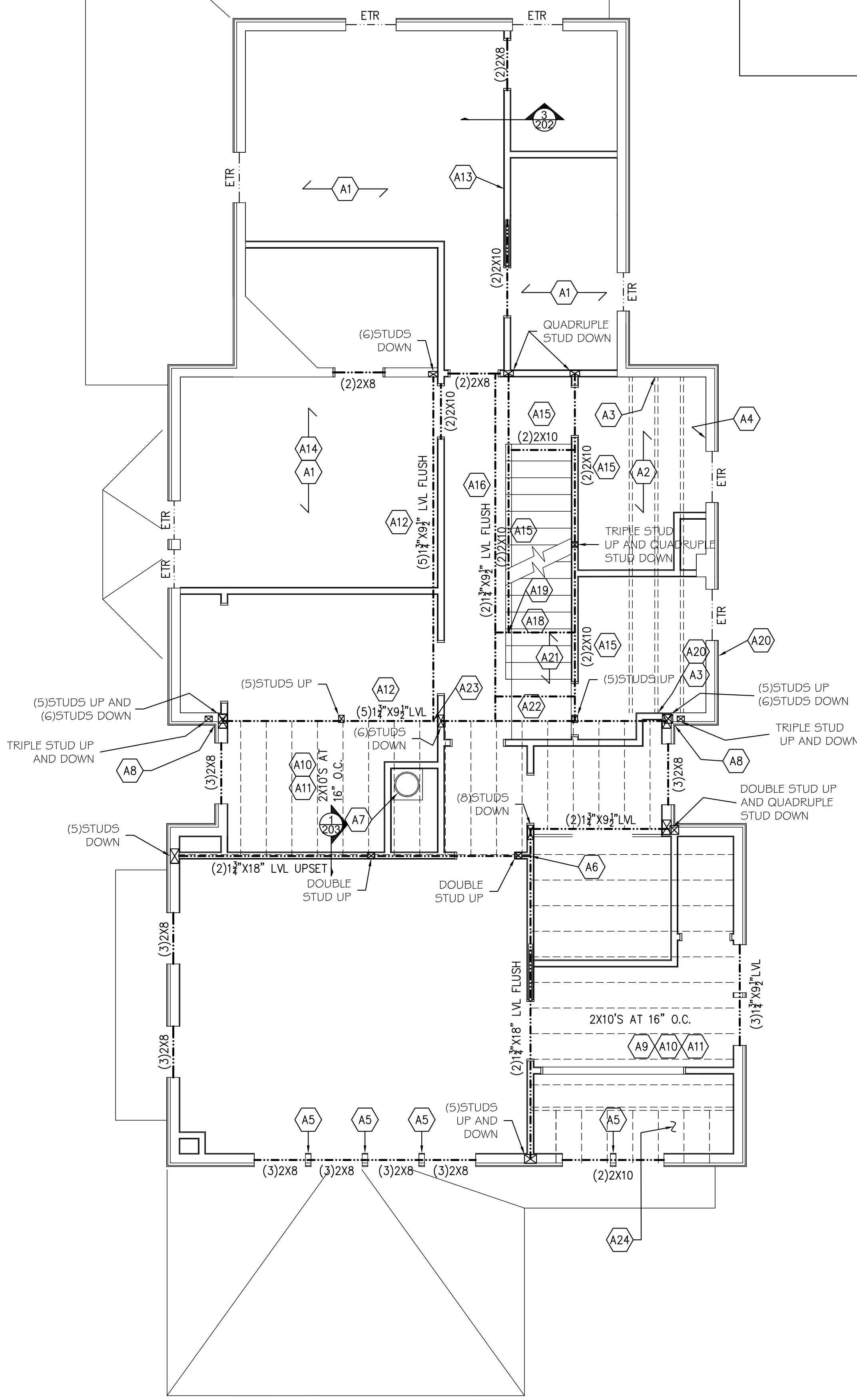
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26 April 2025

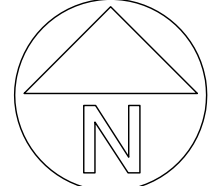
12' 16' 20'

20' 16' 12' 8' 4' 0'



Attic Framing Plan

Scale: 1/4" = 1'-0"



REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025



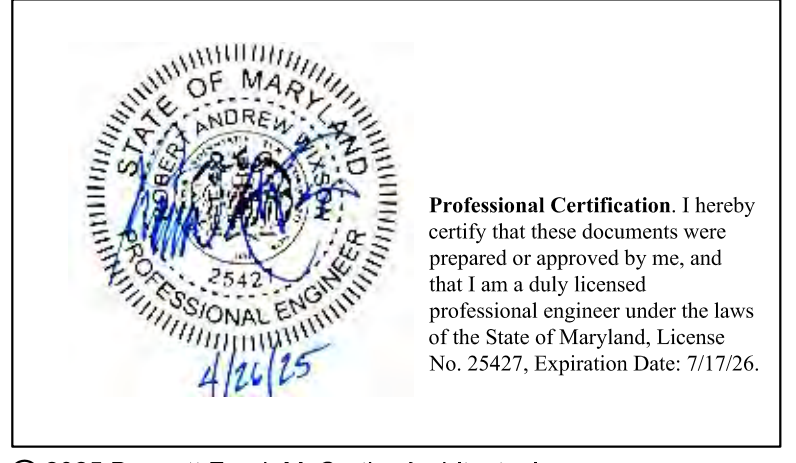
- A1 EXISTING ATTIC JOISTS. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A 2X10 OR A DOUBLE 2X8.
- A2 REMOVE THE EXISTING HEADERS IN THE FLOOR FRAMING AND SISTER EACH EXISTING JOIST WITH A DOUBLE 2X10 OR A DOUBLE 1 1/2"x7 1/2" LVL TO INFILL THE STAIRS. PLACE BLOCKING BETWEEN THE SISTERED JOISTS AT THE 1/3 POINTS OF THE SPAN. PLACE FURRING STRIPS ON THE BOTTOM OF THE JOISTS AS NEEDED TO PLACE THE CEILING.
- A3 PLACE A 2X LEDGER FOR THE FLOOR JOISTS. ATTACH THE LEDGER TO EACH STUD WITH (4) LEDGERLOK SCREWS. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. THE LEDGER SHALL MATCH THE SIZE OF THE FLOOR JOISTS.
- A4 PLACE A RIPPED 2X CLEAT FOR THE FLOOR DECKING AND THE CEILING. RIP THE CLEAT TO MATCH THE HEIGHT OF THE EXISTING FLOOR JOISTS. ATTACH THE CLEAT TO EACH STUD WITH (2) #10 SCREWS.
- A5 PLACE A DOUBLE JACK STUD BETWEEN EACH WINDOW.
- A6 ATTACH THE SIDE TO SIDE LVL BEAM TO THE FRONT TO BACK LVL BEAM WITH A SIMPSON HGUS 5.50/10 HANGER.
- A7 PLACE THE FLUE BETWEEN THE JOISTS. ADJUST THE LOCATION OF THE JOISTS AS NEEDED TO MAINTAIN THE REQUIRED AIR GAP.
- A8 ATTACH THE 1ST STUD TO THE EXISTING WALL WITH (2) #10 SCREWS AT 6" O.C.
- A9 PLACE BLOCKING BETWEEN THE JOISTS AT THE MID-POINT OF THE SPAN.
- A10 ALTERNATE JOISTS = DOUBLE 2X8'S AT 16" O.C.
- A11 PLACE FURRING STRIPS ON THE UNDERSIDE OF THE FLOOR JOISTS AS NEEDED TO PLACE THE CEILING.
- A12 ALTERNATE BEAM = 1"x7" STEEL FLITCH BEAM BETWEEN FOUR 1 1/2"x7 1/2" LVL'S. SEE THE FRAMING ELEVATION FOR THE BOLTING PATTERN BETWEEN THE STEEL PLATE AND THE LVL'S.
- A13 NEW LOAD BEARING WALL MADE WITH 2X4 STUDS AT 16" O.C. IF THE EXISTING JOISTS DO NOT SPLICE OVERTOP OF THE WALL ATTACH THEM TOGETHER PER THE STRUCTURAL DETAIL.
- A14 PRIOR TO CONSTRUCTION, VERIFY THAT THE EXISTING JOISTS SPAN IN THE FRONT TO BACK DIRECTION. NOTIFY THE STRUCTURAL ENGINEER IF THEY SPAN IN THE SIDE TO SIDE DIRECTION.
- A15 ALTERNATE BEAM = (4) 2X8
- A16 ALTERNATE BEAM = (5) 1 1/2"x7 1/2" LVL'S. IF THIS BEAM IS USED, HANG IT FROM THE SIDE TO SIDE BEAM WITH A SIMPSON HGUS 5.50/8 HANGER. CUT THE OUTER PLIES OF THE BEAM AS NEEDED TO PLACE THE CONNECTOR.
- A17 ALTERNATE BEAM = (2) 2X8
- A18 LVL STRINGER PER THE STRUCTURAL DETAIL.
- A19 PLACE THE HIGH BEAM ON TOP OF THE STRINGER. PLACE A DOUBLE STUD BETWEEN THE TWO IF NEEDED.
- A20 SISTER EACH STUD WITH A 2X4 AS NEEDED TO EXTEND THE WALL DOWN TO THE NEW LOWER FLOOR LEVEL.
- A21 FRAME THE LANDING WITH 2X8 JOISTS AT 16" O.C. IN THE FRONT TO BACK DIRECTION.
- A22 SOLID LVL STRINGER PER THE STRUCTURAL DETAIL.
- A23 ATTACH THE FRONT TO BACK BEAM TO THE SIDE TO SIDE BEAM WITH A SIMPSON HHUS HANGER OR A SIMPSON HGUS 5.50/8 HEADER. NOTCH THE SIDE PLIES AS NEEDED TO PLACE IT INTO THE CONNECTOR.
- A23 TURN THE DIRECTION OF THE JOISTS TO ALIGN WITH THE RAFTERS ABOVE.

FRAMING NOTES:

1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 3/8" BOLTS AT 16" O.C. STAGGERED.
5. EPOXY BOLTS SHALL BE SIMPSON "SET-XP". FOLLOW MANUFACTURES INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY UNLESS NOTED OTHERWISE.
6. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING AND PROPOSED STRUCTURAL ELEMENTS OF THE HOME.
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10. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT.
11. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
12. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS. THE MORTAR, BRICKS AND BLOCKS SHALL MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL.
13. TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
14. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSSR.
15. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
16. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
17. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
18. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS16 ON EACH SIDE.
19. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
20. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
21. TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH BEAM AND THE HANGER.
22. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC . . .
23. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT ARE PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE JOISTS BELOW THE WALLS AT 16" O.C.
24. ADD BLOCKING TO THE WEB OF ENGINEERED JOISTS AS NEEDED FOR HANGERS, CONNECTORS, STRAPS OR NAILING MULTIPLE MEMBERS TOGETHER.
25. ADD JOIST HANGERS TO ALL EXISTING FRAMING CONNECTIONS THAT ARE FOUND TO LACK THEM SUCH AS FRAMING AROUND PLUMBING STACKS, CHIMNEYS, OR THE EXISTING STAIRS.

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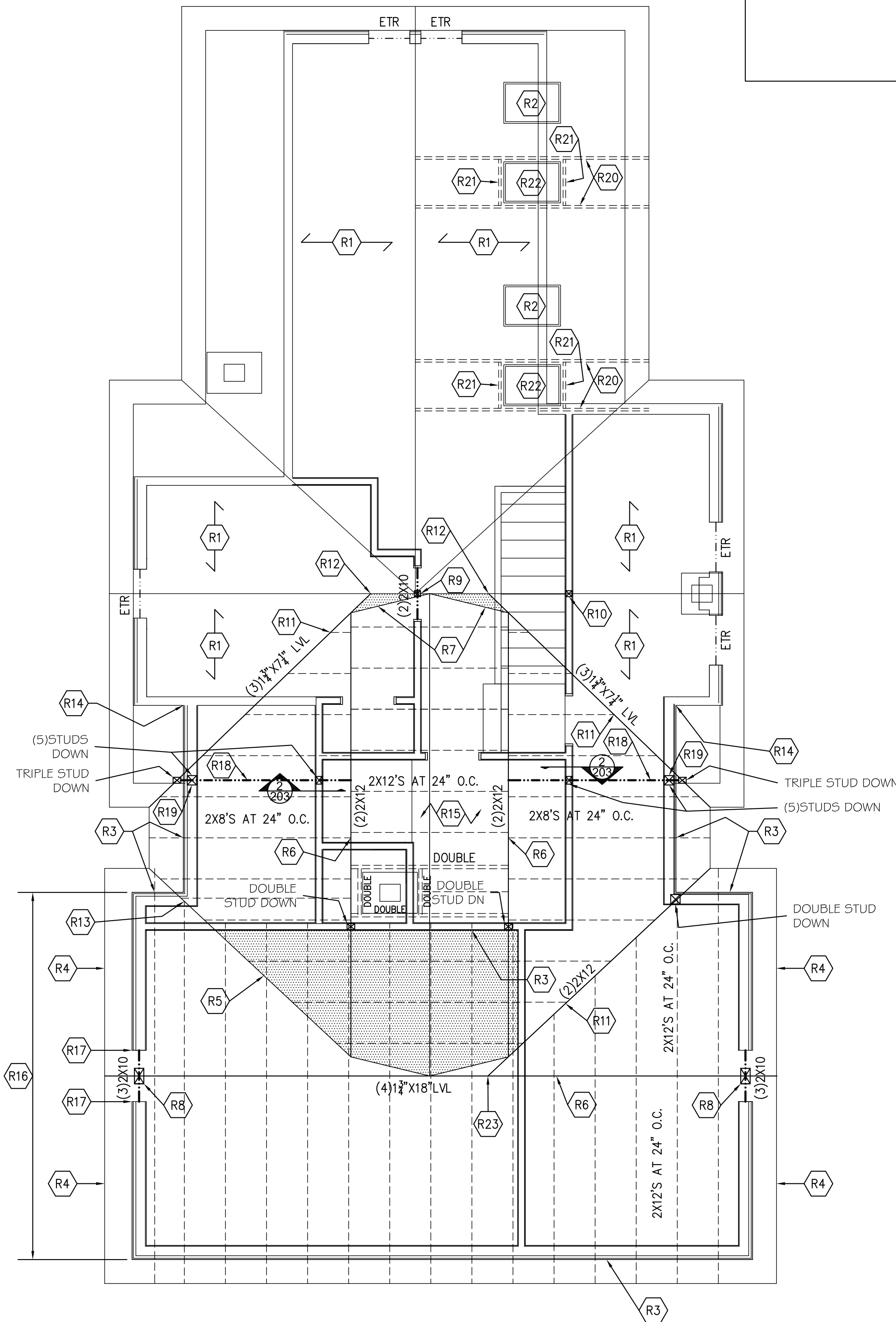
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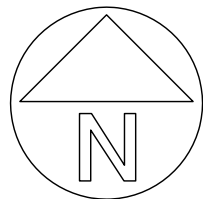
ATTIC FRAMING
PLAN

S004



Roof Framing Plan

Scale: 1/4" = 1'-0"



REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025



FRAMING NOTES:

1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 3/4" Ø BOLTS AT 16" O.C. STAGGERED.
5. EPOXY BOLTS SHALL BE SIMPSON "SET-XP". FOLLOW MANUFACTURES INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY UNLESS NOTED OTHERWISE.
6. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING AND PROPOSED STRUCTURAL ELEMENTS OF THE HOME.
7. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
8. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
9. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
10. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT.
11. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
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Project #2462

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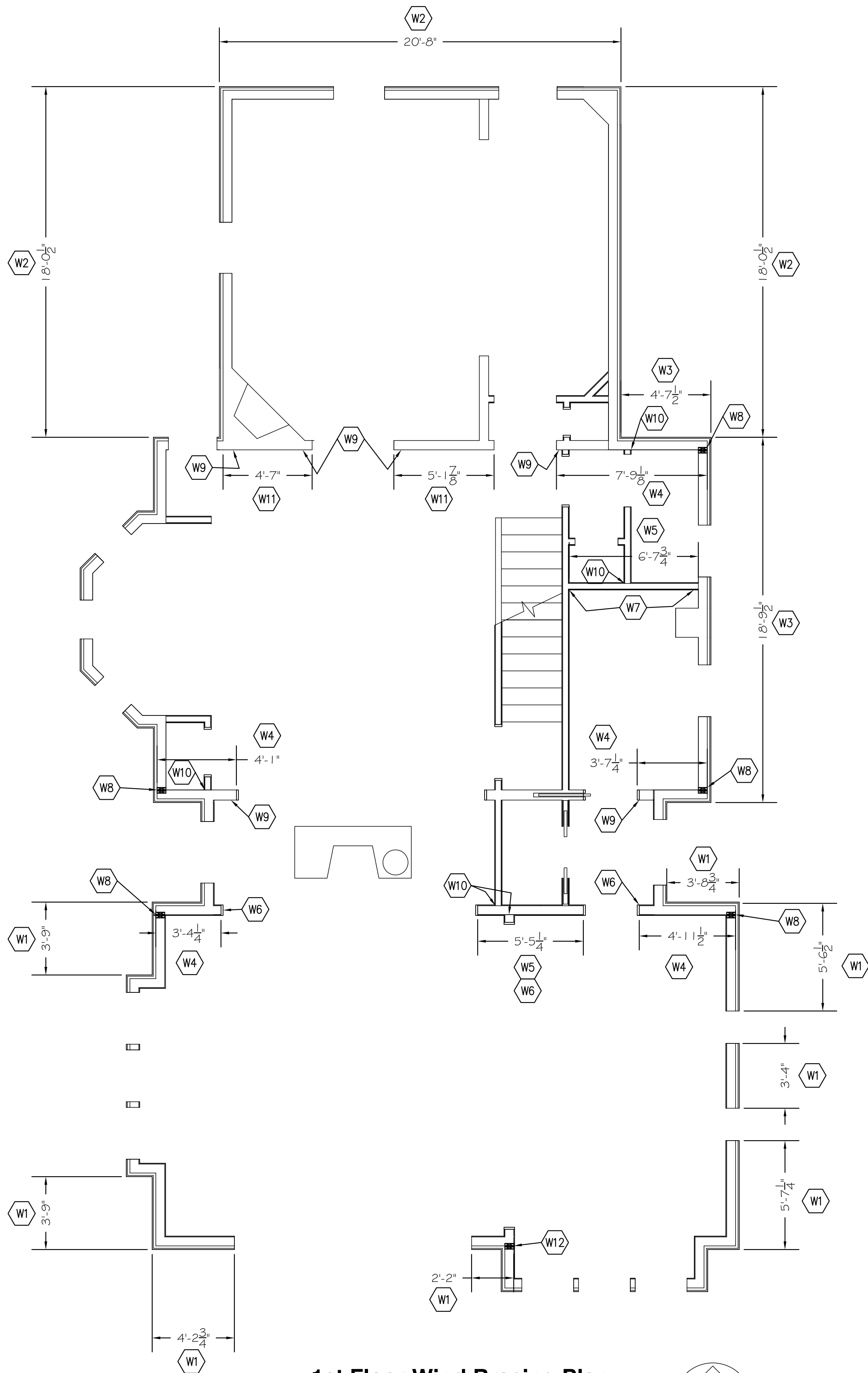
ROOF FRAMING
PLAN

S005



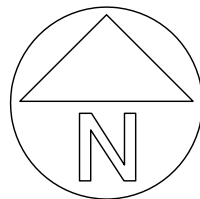
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1st Floor Wind Bracing Plan

Scale: $\frac{1}{4}" = 1'-0"$

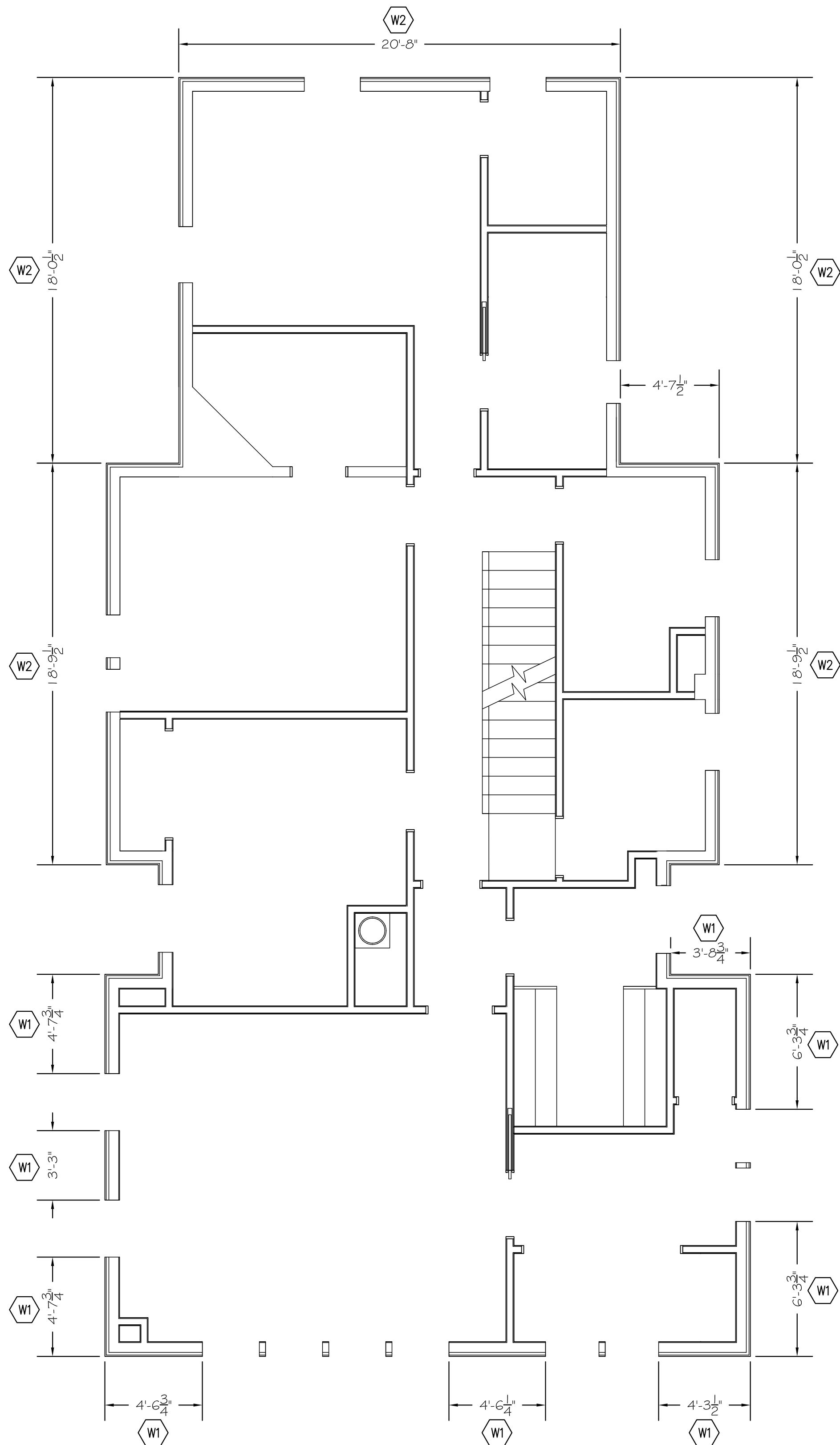


- W1 EDP WIND BRACING PANEL.
- W2 EXISTING PERFORATED WOOD SHEAR WALL.
- W3 EXISTING WOOD SHEAR WALL.
- W4 PLACE $\frac{7}{8}"$ OSB SHEATHING ON INTERIOR SIDE OF THE WALL TO MAKE AN INTERIOR EDP PANEL.
- W5 PLACE $\frac{7}{8}"$ OSB SHEATHING ON BOTH SIDES OF THE WALL TO MAKE AN INTERIOR EDP PANEL.
- W6 ATTACH BOTTOM OF THE WALL TO THE STEEL BEAM PER THE TYPICAL DETAIL.
- W7 ATTACH THE END OF THE SHEAR WALL TO THE DOUBLE JOIST BELOW WITH A SIMPSON LSTA21 ON EACH SIDE OF THE WALL. CUT A SLOT IN THE FLOOR DECKING AND ADD EXTRA STUDS AS NEEDED TO PLACE THE STRAPS.
- W8 EXTEND THE INTERIOR SHEATHING INTO THE WALL CAVITY SO THAT IT ENDS AT THE EXTERIOR WALL SHEATHING. PLACE A STUD ON EACH SIDE OF THE SHEATHING INSIDE THE WALL.
- W9 ATTACH THE END OF THE SHEAR WALL TO THE EXISTING FOUNDATION WALL WITH A SIMPSON DT12Z HOLD DOWN ANCHOR. PLACE THE ANCHOR ON THE 1ST STUD ADJACENT TO THE END OF THE WALL. ATTACH THE ANCHOR TO THE FOUNDATION WALL WITH A $\frac{3}{4}"$ EPOXY BOLT WITH 7" EMBEDMENT. FILL HOLLOW CELLS SOLID IN THE WALL. USE COUPLERS AS NEEDED TO EXTEND THE EPOXY BOLT TO THE CONNECTOR.
- W10 CONTINUE THE SHEATHING THROUGH JOINTS IN THE WALL WITH PARTITIONS THAT ARE PERPENDICULAR TO THE WALL.
- W11 PLACE $\frac{7}{8}"$ OSB SHEATHING ON THE REAR SIDE OF THE WALL TO MAKE THE INTERIOR SHEAR WALL.
- W12 EXTEND THE INTERIOR SHEATHING INTO THE WALL CAVITY SO THAT IT ENDS AT THE INTERIOR EDGE OF THE WALL. PLACE A STUD ON EACH SIDE OF THE SHEATHING INSIDE THE WALL.

WIND BRACING NOTES:

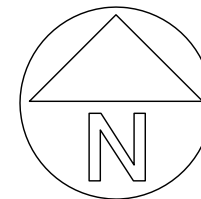
1. WALLS BRACED PER IRC R602.10 AND R301.1.3 "ENGINEERED DESIGN".
2. APPLY $\frac{7}{8}"$ OSB SHEATHING TO ALL EXTERIOR WALLS.
3. ATTACH OSB TO WOOD FRAMING WITH 8d NAILS AT 4" O.C. AT PANEL EDGES AND 8" O.C. ELSEWHERE.
4. EDP DENOTES "ENGINEERED DESIGNED PANEL".
5. ATTACH THE BOTTOM PLATE OF THE WALL TO THE JOISTS OR BLOCKING WITH 1-16d (0.135X3 $\frac{1}{2}$) NAIL. ATTACH THE BOTTOM PLATE TO THE RIM BOARD WITH 16d NAILS AT 12" O.C.
6. ATTACH EACH JOIST AND RAFTER TO THE TOP PLATE OF THE WALL WITH 2-16d (0.135X3 $\frac{1}{2}$) TOE NAILS.
7. ATTACH THE RIM BOARD TO THE TOP PLATE OF THE WALL WITH 16d (0.135X3 $\frac{1}{2}$) TOE NAILS AT 12" O.C.
8. ATTACH RIM BOARD TO SILL PLATE WITH 16d (0.135X3 $\frac{1}{2}$) TOE NAILS AT 12" O.C.

REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025



2nd Floor Wind Bracing Plan

Scale: $\frac{1}{4}" = 1'-0"$



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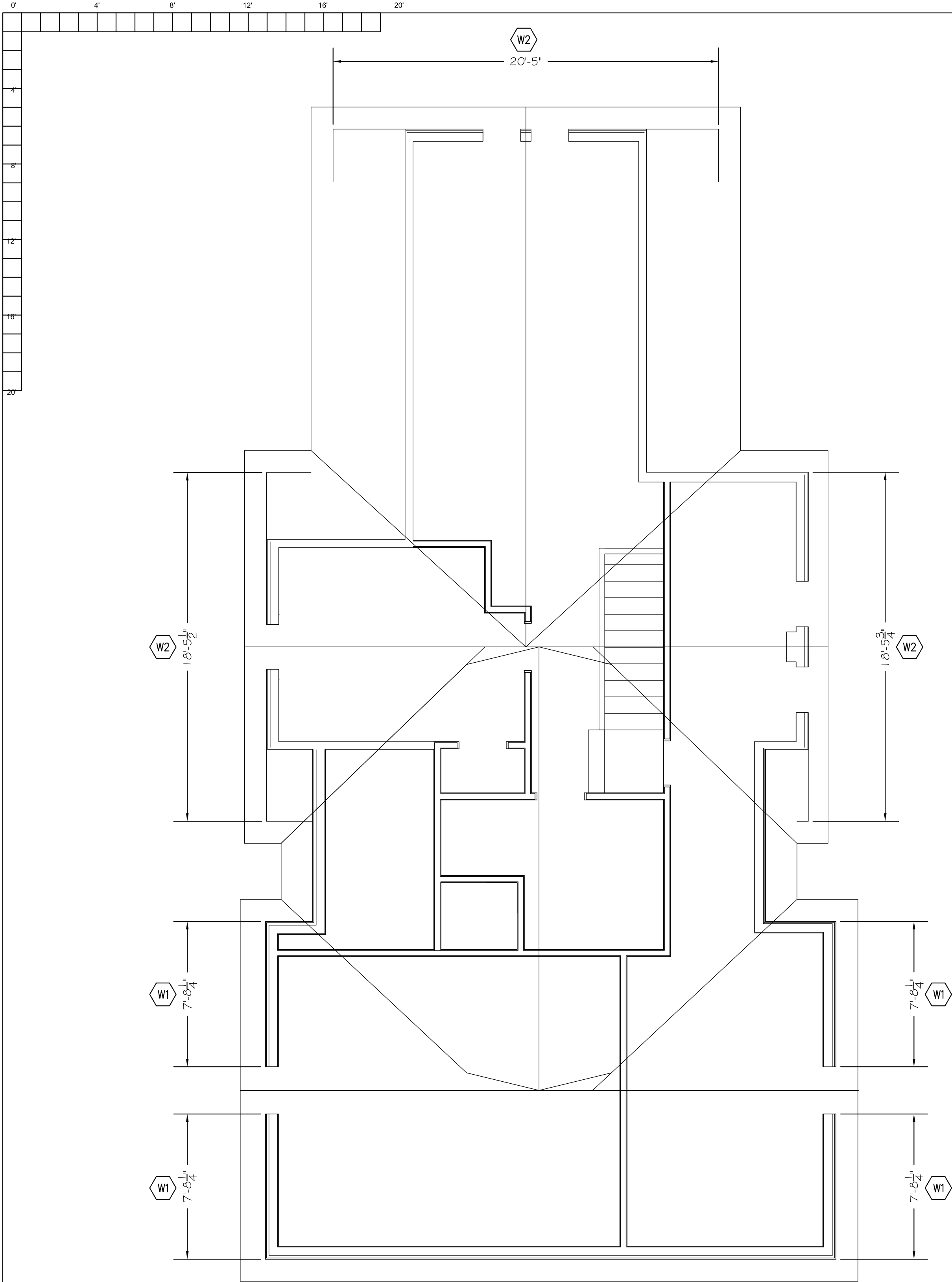
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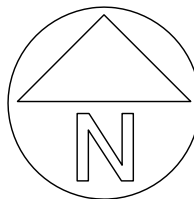
WIND BRACING
PLAN

S100



Attic Wind Bracing Plan

Scale: 3/4" = 1'-0"



REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025



- W1 EDP WIND BRACING PANEL.
- W2 EXISTING PERFORATED WOOD SHEAR WALL.
- W3 EXISTING WOOD SHEAR WALL.
- W4 PLACE 7/8" OSB SHEATHING ON INTERIOR SIDE OF THE WALL TO MAKE AN INTERIOR EDP PANEL.
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WIND BRACING NOTES:

- WALLS BRACED PER IRC R602.10 AND R301.1.3 "ENGINEERED DESIGN".
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- ATTACH EACH JOIST AND RAFTER TO THE TOP PLATE OF THE WALL WITH 2-16d (0.135X3 1/2) TOE NAILS.
- ATTACH THE RIM BOARD TO THE TOP PLATE OF THE WALL WITH 16d (0.135X3 1/2) TOE NAILS AT 12" O.C.
- ATTACH RIM BOARD TO SILL PLATE WITH 16d (0.135X3 1/2) TOE NAILS AT 12" O.C.

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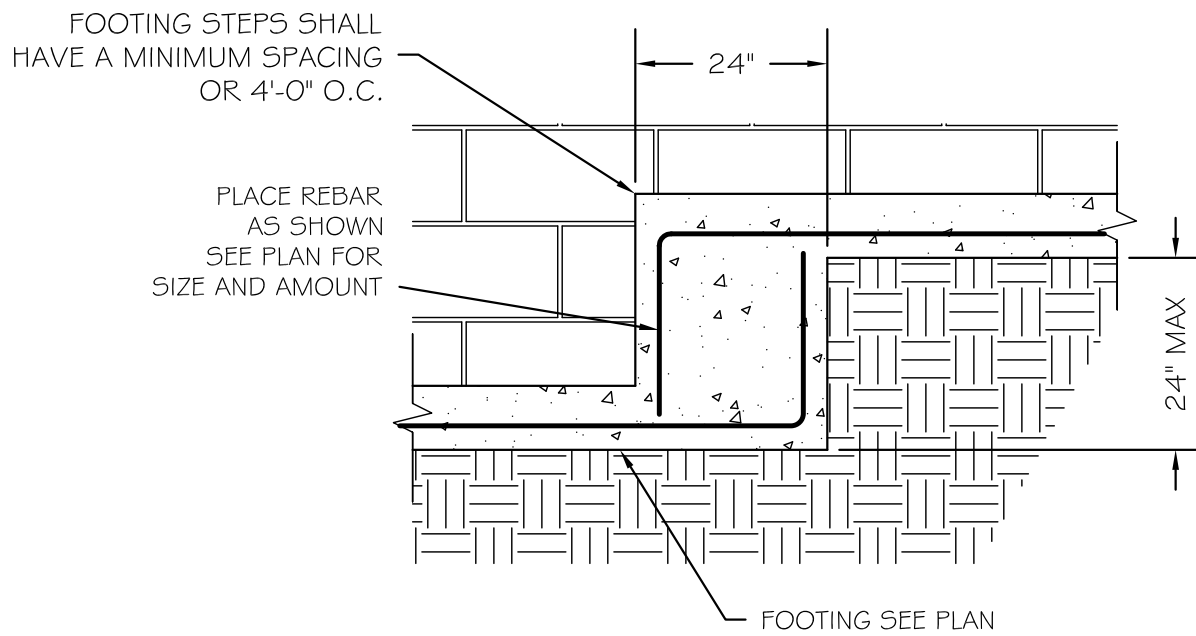
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WIND BRACING
PLAN

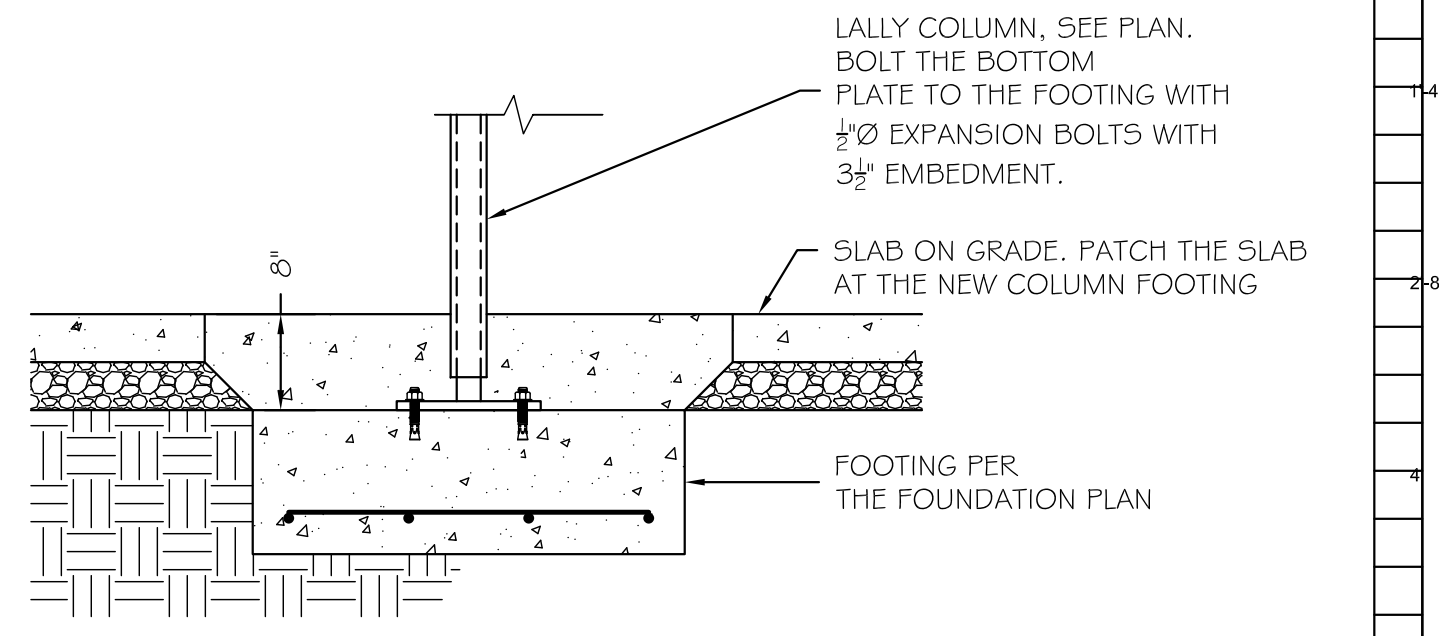
S101



Typical Footing Step Detail

Scale: $\frac{1}{2}'' = 1'-0'' \pm$

REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025



Typical Lally Column to Footing Detail

Scale: $\frac{3}{4}'' = 1'-0''$

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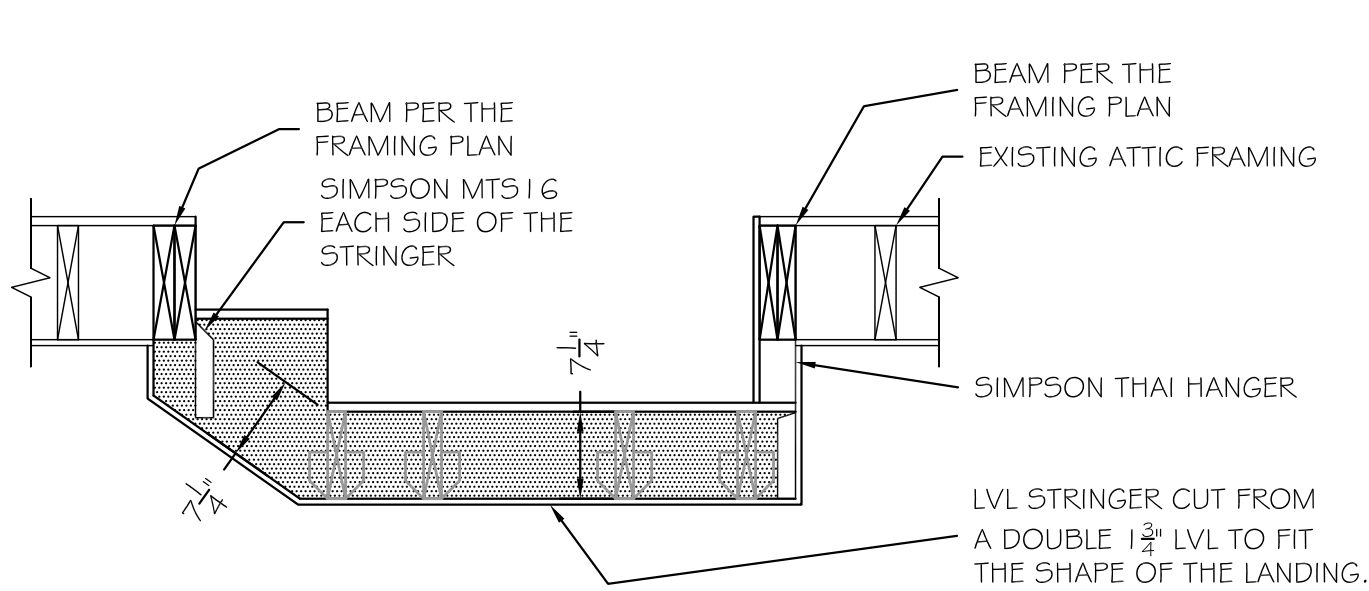
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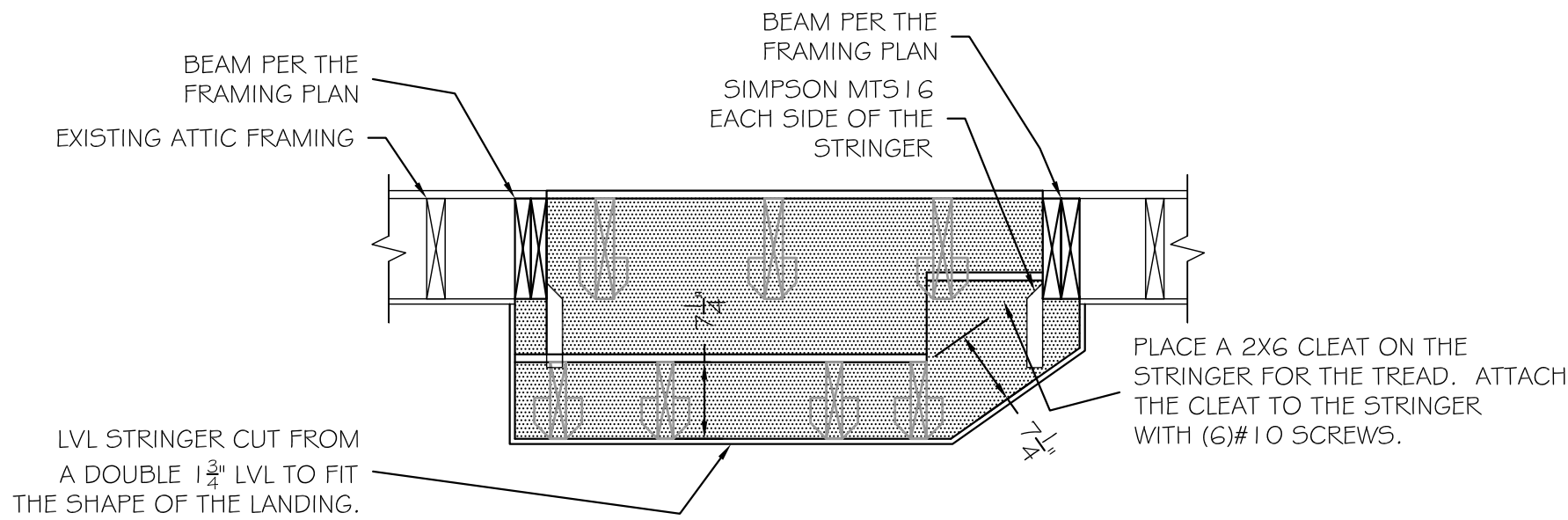


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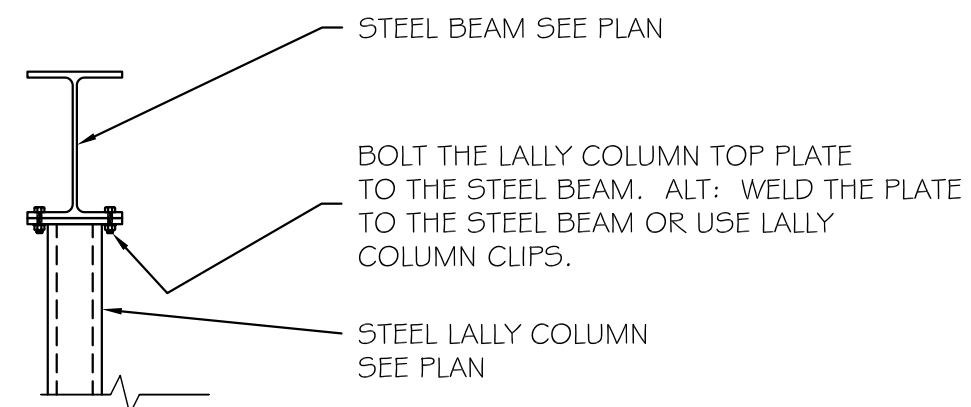
LVL Stringer at Key Note

Scale: $\frac{3}{4}'' = 1'-0''$



LVL Stringer at Key Note

Scale: $\frac{3}{4}'' = 1'-0''$



Typical Steel Beam to Lally Column Detail

Scale: $\frac{3}{4}'' = 1'-0''$

Structural Notes

- All work and materials to comply with the requirements of the 2021 IBC and IRC codes as revised by Montgomery County.
- Codes: the following design standards are applicable by reference:
TMS 402-2016 Building Code Requirements for Masonry Structures.
AWC NDS -2018 - Wood Frame Construction Manual for One and Two Family Dwellings.
ACI 318-19 Building Code Requirements for Reinforced Concrete
AISC - 360-16 Specifications for Steel Buildings.
- Foundations: footings, underpinning and slab on grades are designed to bear on native soil type SM or SC with an allowable bearing pressure of 2000 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
- Structural steel:
 - All structural steel, including detail material shall conform to ASTM A572 Fy = 50ksi, U.N.O.
 - All structural tubing shall conform to ASTM A500, grd.B
 - All steel pipe shall be ASTM A53, type E or S, grade B
 - All welders shop and field, shall be certified. Use E70xx electrodes only.
 - All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
 - Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
 - All exterior structural steel shall receive rust preventative paint.
 - Connections:
 - All beam connections shall be simple shear connections, U.N.O. Where no reaction is provided, the beam shall be assumed to carry 120 % of the allowable uniform load in Kips for beams laterally supported, as given in the AISC steel construction manual.
 - Except as noted, all fasteners shall be 3/4" diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
- Lumber:
 - Lumber shall be SPF #2 with a min. Fb = 875psi Min. Fv = 135psi and min. E = 1,400,000psi.
 - LVL and PSL shall have a min. Fb = 2850psi; Fv = 285psi; E = 2,000,000psi.
 - Floor decking shall be 3/4" APA rated decking. Roof decking shall be 5/8" APA rated decking. Wall sheathing shall be 5/8" APA rated sheathing. Glue and screw the floor decking to the joists with #8 screws at 6" O.C. at panel edges and 12" O.C. elsewhere. Place blocking between the joists below all splices in the decking perpendicular to the floor joists.
 - Interior wood walls shall be 2x4 studs at 16" O.C. and exterior walls shall be 2x6 studs at 16" O.C. with a double top plate and single bottom plate. Provide solid blocking at the midheight of each wall and at a minimum of 48" O.C. vertically. Place blocking between the studs behind all splices in the sheathing perpendicular to the studs.
 - Provide double joists under all walls that run parallel to floor framing.
 - Nail all multiple members together per the manufacturer's recommendations and at a minimum use 2-10d nails at 6" O.C. stagger sides that nails are driven from.
 - U.N.O. all members shall be fastened together per table R602.3(1).
 - Provide bridging at center of all joist spans Exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams.
 - Provide solid blocking below all wood posts.
 - All posts shall have Simpson Cap and Base Plates typ.
 - All joists shall have Simpson Hangers where applicable.
 - Glue all multiple studs together. Nail together with 2-10d nails at 3" O.C. Stagger the sides of the studs that the nails are driven from.
 - All lumber in contact with masonry or concrete or within 8" of soil shall be pressure treated. All lumber to conform to IRC R317 and R318 for protection against corrosion and termite damage.
 - All lumber shall be kiln dried. Store lumber on site in such a manner as to prevent the seepage of water into the wood.
 - Wood lintels shall be as follows:
Opening $\leq 3'-0''$ - 2-2x6
3'-0" < Opening $\leq 5'-0''$ - 2-2x8
5'-0" < Opening $\leq 8'-0''$ - 2-2x10
Greater than 8'-0" - See plans

Dead Loads:

- SPF #2 - 1.7 PSF
- 1/2" Decking - 2.5 PSF
- 3/4" Decking - 2.5 PSF
- Asphalt Shingles - 15 PSF
- Slate Shingles - 2.2 PSF
- 1/2" Drywall - 1.5 PSF
- Insulation - 2.0 PSF
- Sliding - 87 PCF
- CMU - 87 PCF
- Brick - 130 PCF

LIVE LOADS:

- DECK: 40PSF
- ATTIC: 20PSF
- FLOOR: 40PSF
- BALCONY: 60PSF
- BEDROOM: 40PSF
- ROOF: 30PSF

WIND LOADS

WIND SPEED:

WIND LOAD IMPORTANCE FACTOR:

WIND EXPOSURE FACTOR:

WIND DESIGN PRESSURE:

SNOW LOADS:

GROUND SNOW LOAD (PG):

FLAT ROOF SNOW LOAD(PF):

SNOW EXPOSURE FACTOR (CE):

SNOW IMPORTANCE FACTOR (I):

Deflection Limitations:

Rafters:

Interior Walls and Partitions:

Floors and Plastered Ceilings:

All Other Structural Members:

Ext. Walls with plaster or stucco finishes:

Ext. walls - Wind Loads with Flexible Finishes:

SEISMIC DESIGN DATA:

SEISMIC IMPORTANCE FACTOR (Ie):

SPECTRAL RESPONSE ACCELERATIONS:

(Ss):

(S1):

SPECTRAL RESPONSE COEFFICIENTS:

(Sds):

(Sd1):

SEISMIC DESIGN CATEGORY:

SEISMIC SITE CLASSIFICATION:

SEISMIC COEFFICIENT (Cs):

SEISMIC MODIFICATION FACTOR (R):

BASE SHEAR:

ANALYSIS PROCEDURE:

BASIC SFRS:

25 PCF
1.7 PSF
2.5 PSF
2.5 PSF
15 PSF
2.2 PSF
1.5 PSF
2.0 PSF
87 PCF
130 PCF

40PSF
20PSF
40PSF
60PSF
40PSF
30PSF

Vult = 115mph; Vasd = 89mph

1.0

B

11PSF

30PSF

30PSF

0.9

1.0

L/240

H/180

L/360

L/240

L/360

L/240

L/120

1.0

20.0%

8.0%

33%

18.7%

B

D

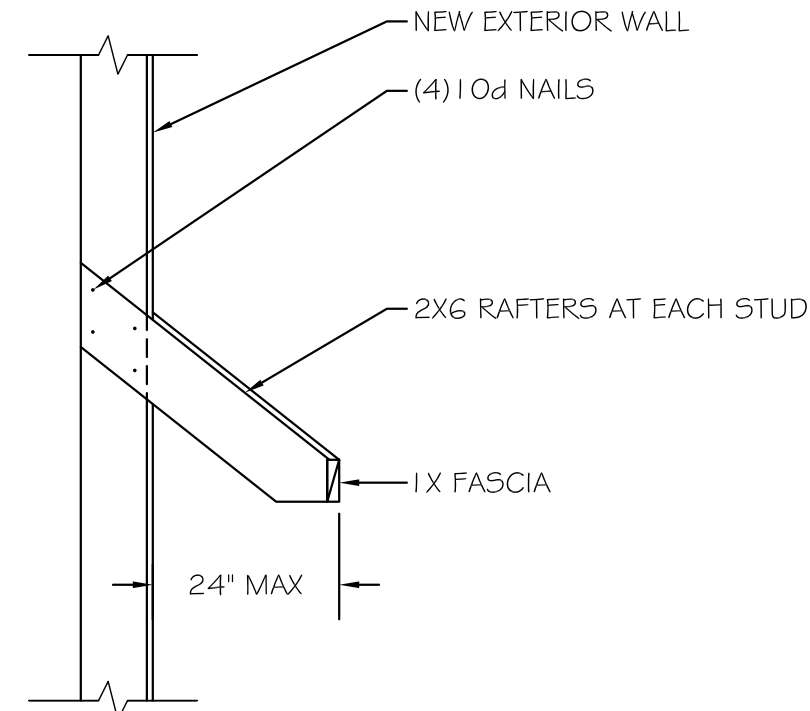
0.05

6.5

2.8k

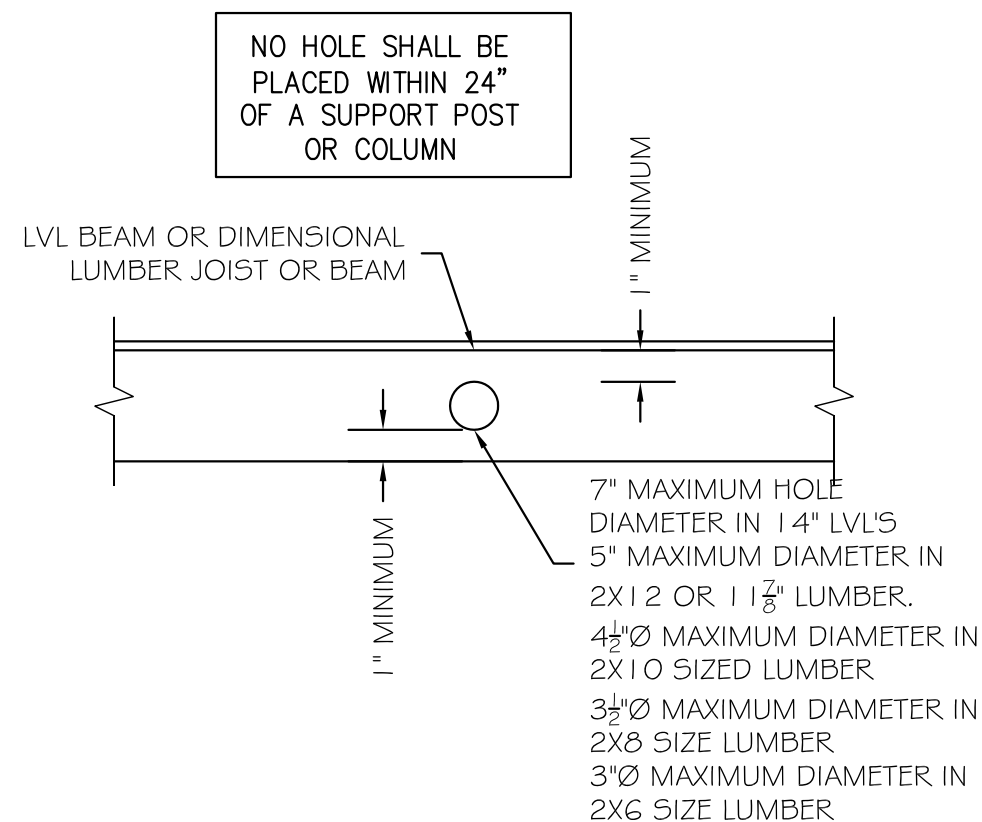
EQUIV. LATERAL FORCE

LIGHT FRAMED WALLS



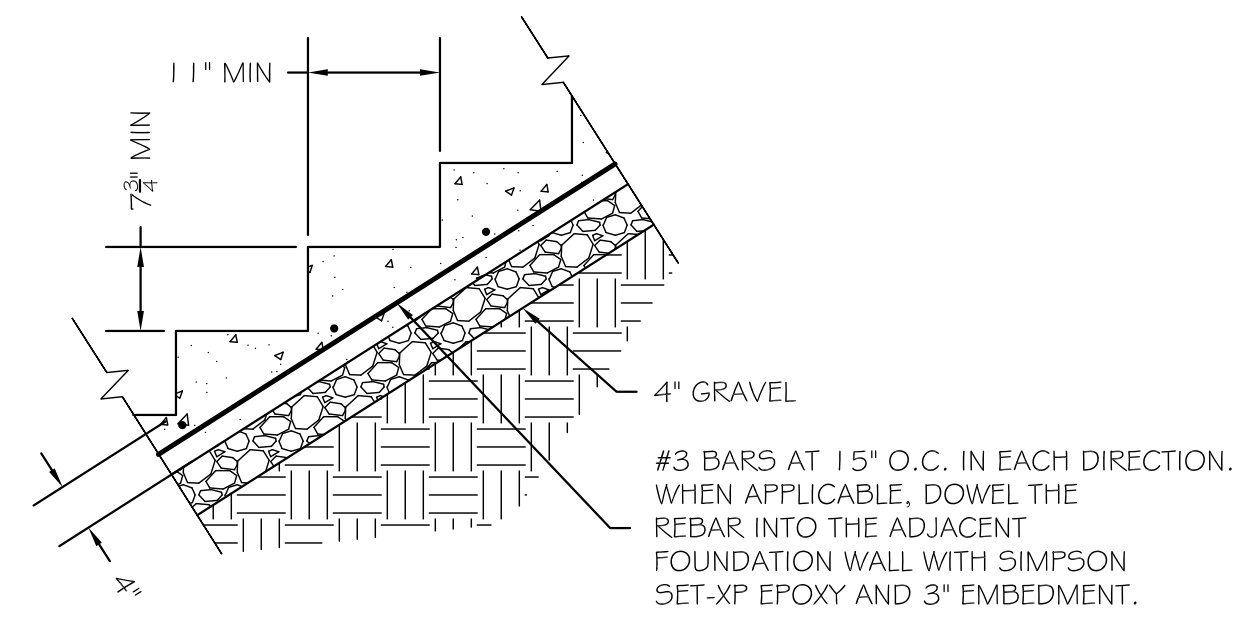
Typical Details at Decorative Eave

Scale: $\frac{3}{4}'' = 1'-0''$



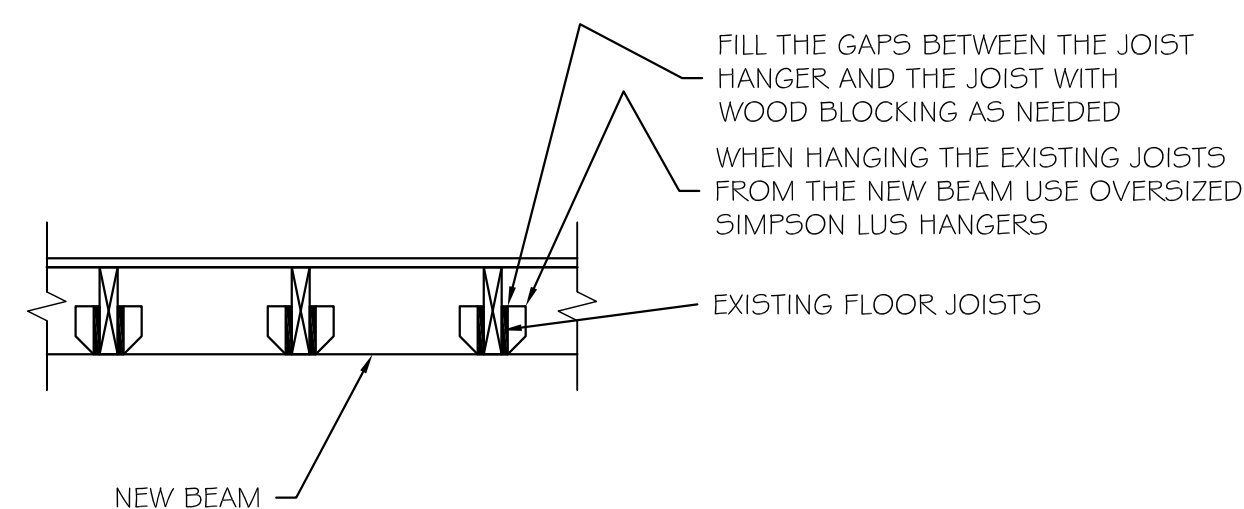
Typical Detail at Holes in LVL's or Dimensional Lumber Beams or Joists

Scale: NOT TO SCALE



Typ. Slab on Grade Stairs Detail

Scale: $\frac{3}{4}'' = 1'-0''$



Typical Ex. Joist to New Beam Detail

Scale: $\frac{3}{4}'' = 1'-0''$



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Structural Notes and Details

S200

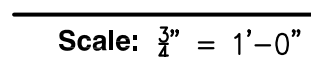
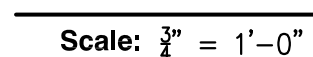
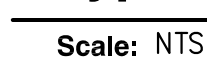
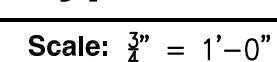
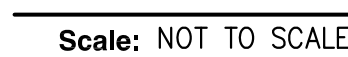
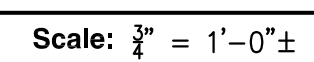
Williams Lane Renovation

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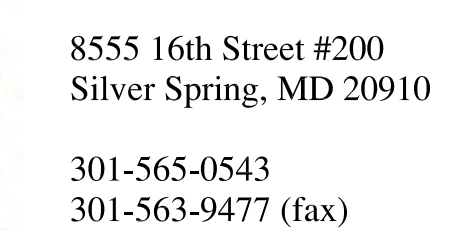
Project #2462

PERMIT SET

26 April 2025



- | | |
|----|---|
| F1 | 8" CMU WALL ABOVE THE SLAB ON GRADE. FILL ALL CELLS SOLID IN THE WALL. |
| F2 | 12" CMU WALL BELOW THE SLAB ON GRADE. FILL ALL CELLS SOLID IN THE WALL. |
| F3 | REBAR PER THE FOUNDATION PLAN. |
| F4 | SLAB ON GRADE AND REBAR PER THE FOUNDATION PLAN. |
| F5 | REBAR DOWELS PER THE FOUNDATION PLAN. |
| F6 | SILL PLATE AND ANCHOR BOLTS PER THE FOUNDATION PLAN. |
| F7 | FOOTING PER THE FOUNDATION PLAN CENTERED BELOW THE FOUNDATION WALL. |

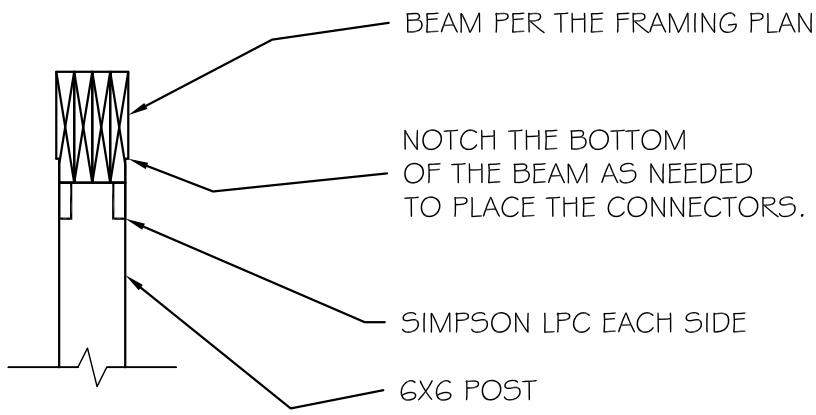


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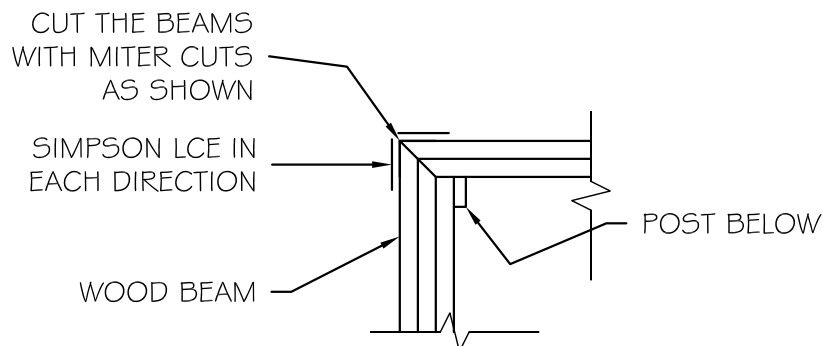
Project #2462

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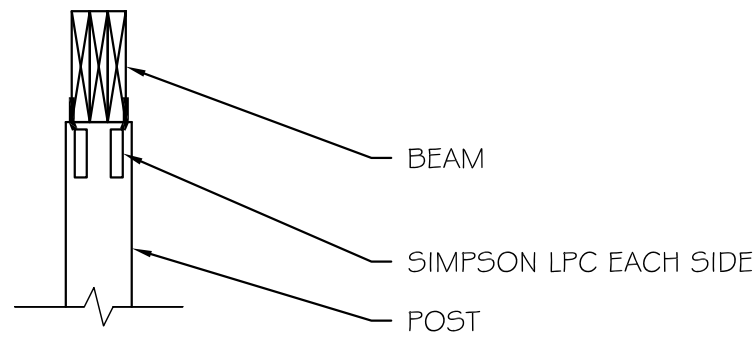
S201



LPC Connectors(Quadruple 2x to 6x6 Post)



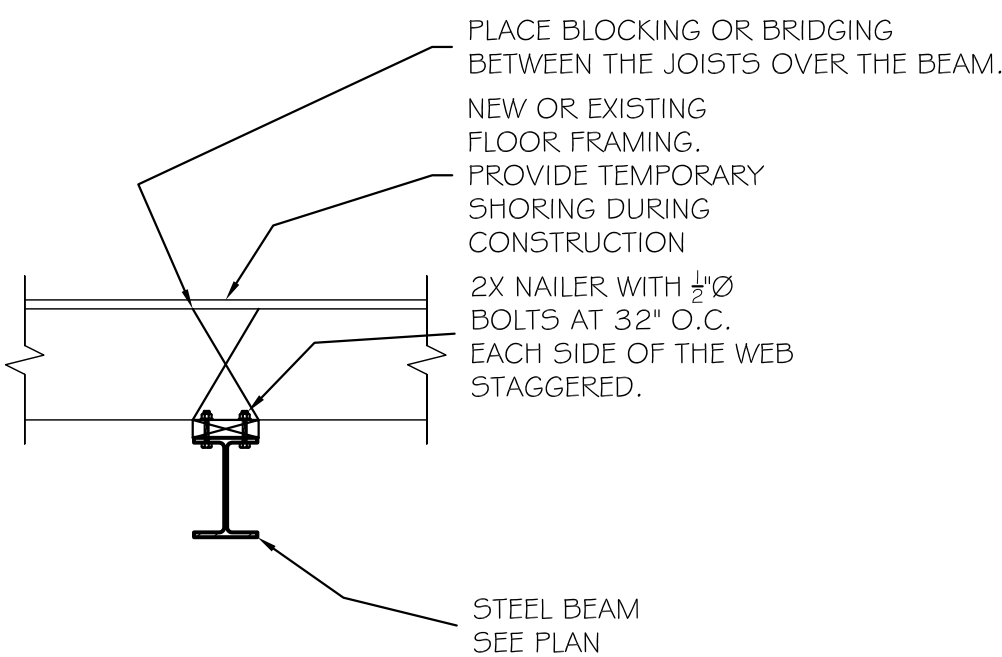
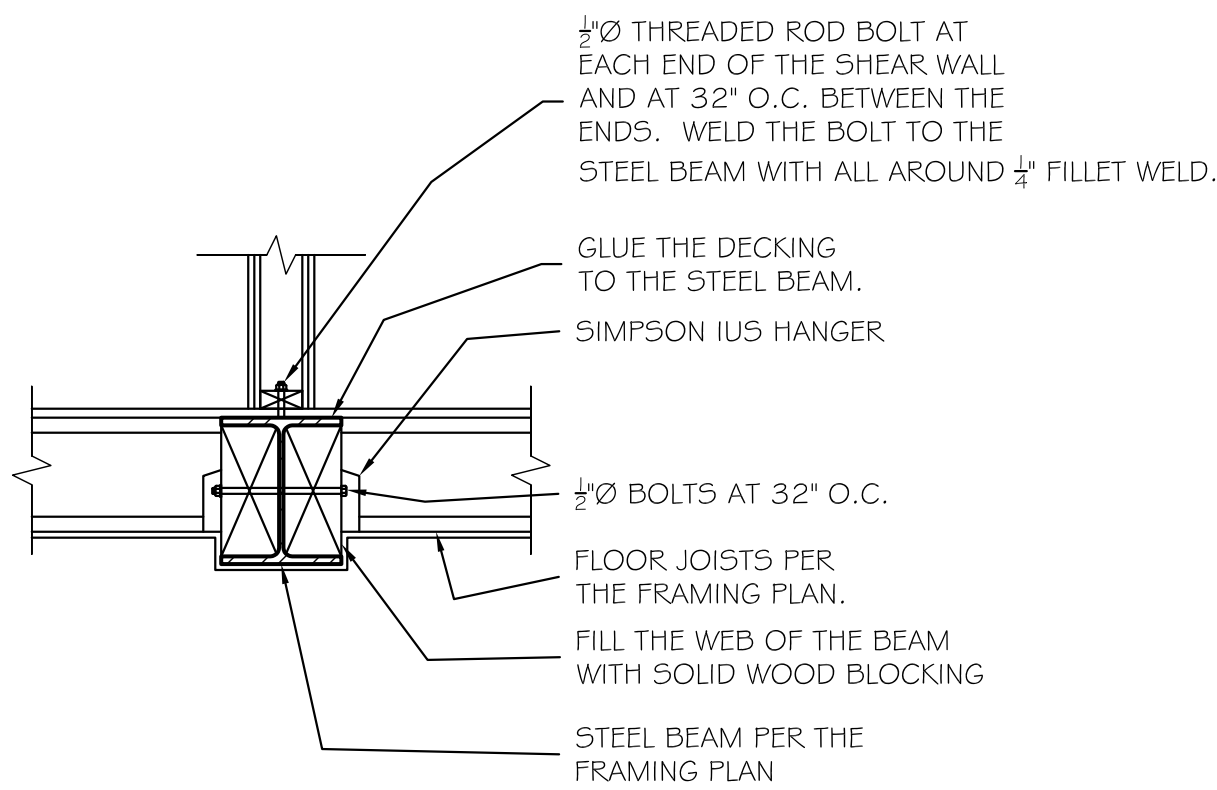
@ Corners



@ Simpson LPC Connectors

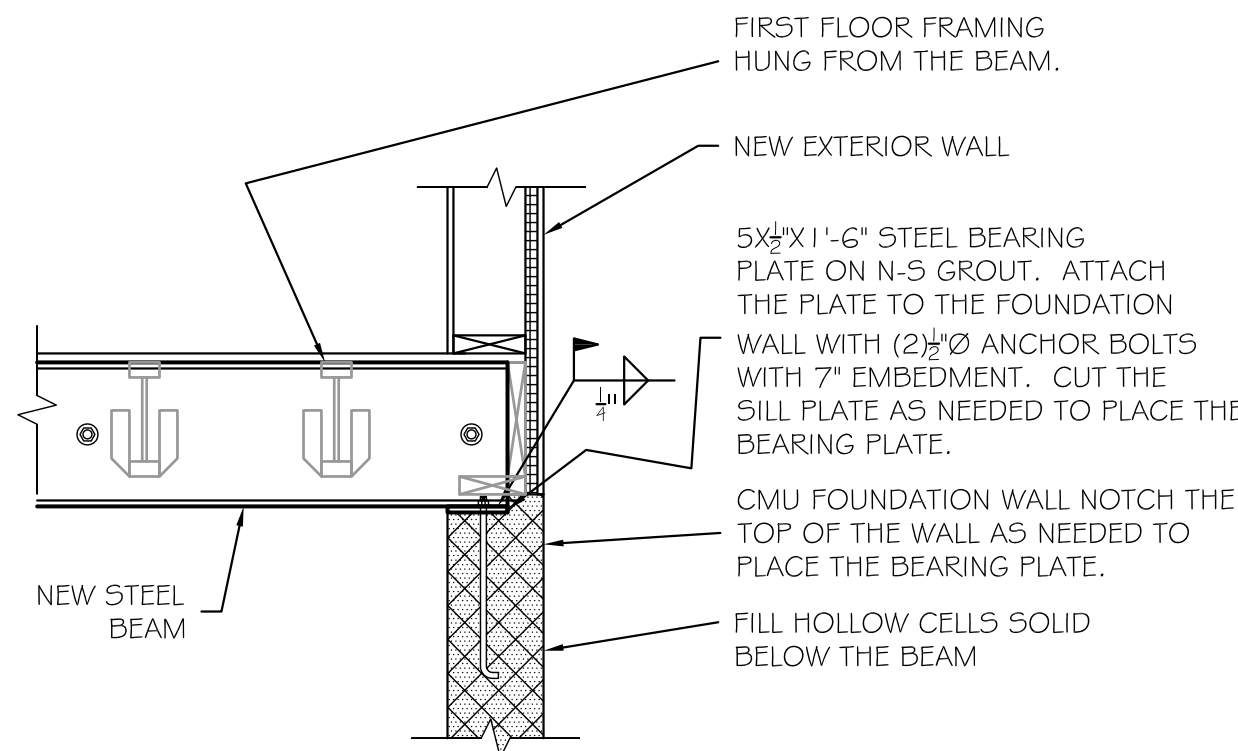
Typ. Wood Post To Wood Beam Details

Scale: $\frac{3}{4}" = 1'-0"$



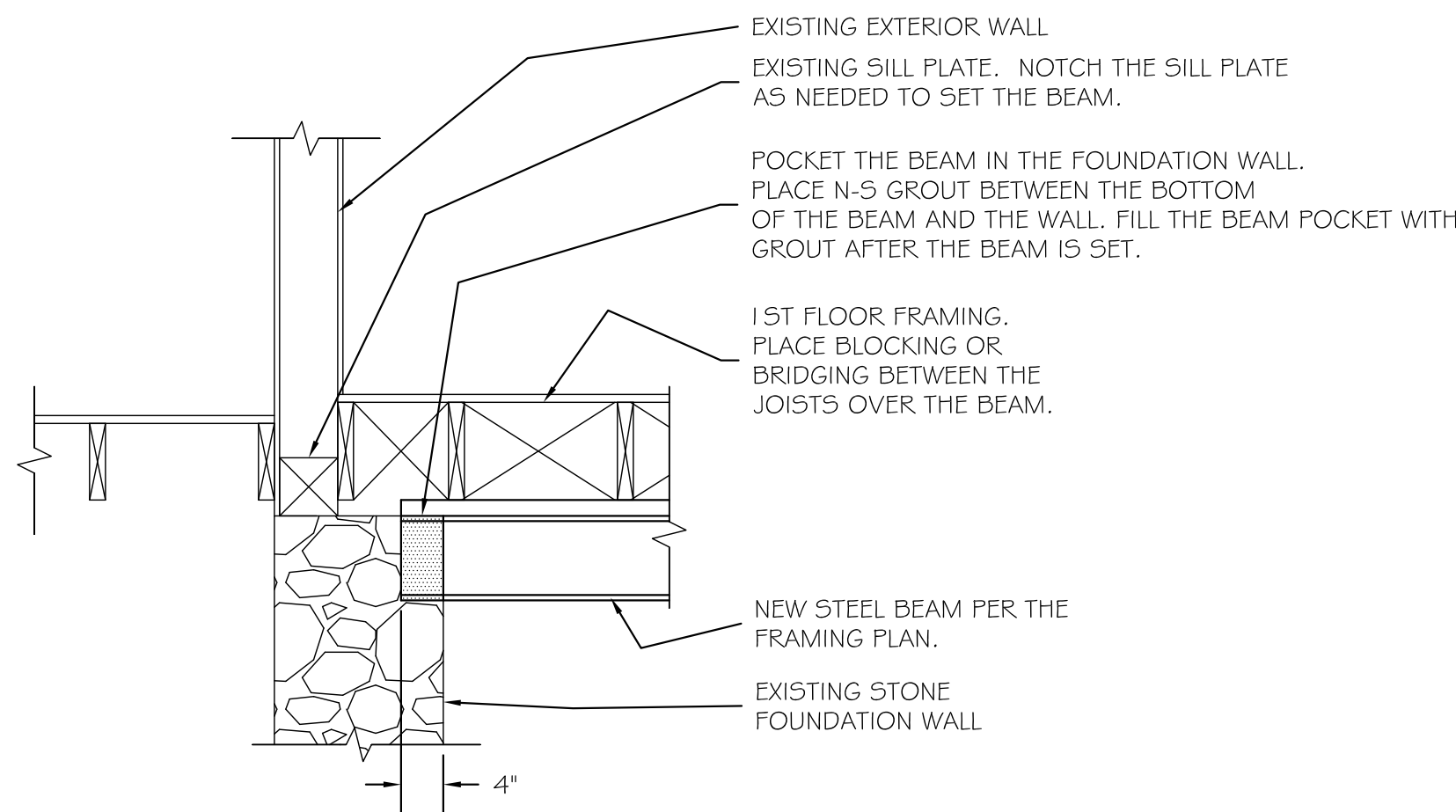
Typical Wood Joists to Steel Beam Details

Scale: $\frac{3}{4}" = 1'-0"$



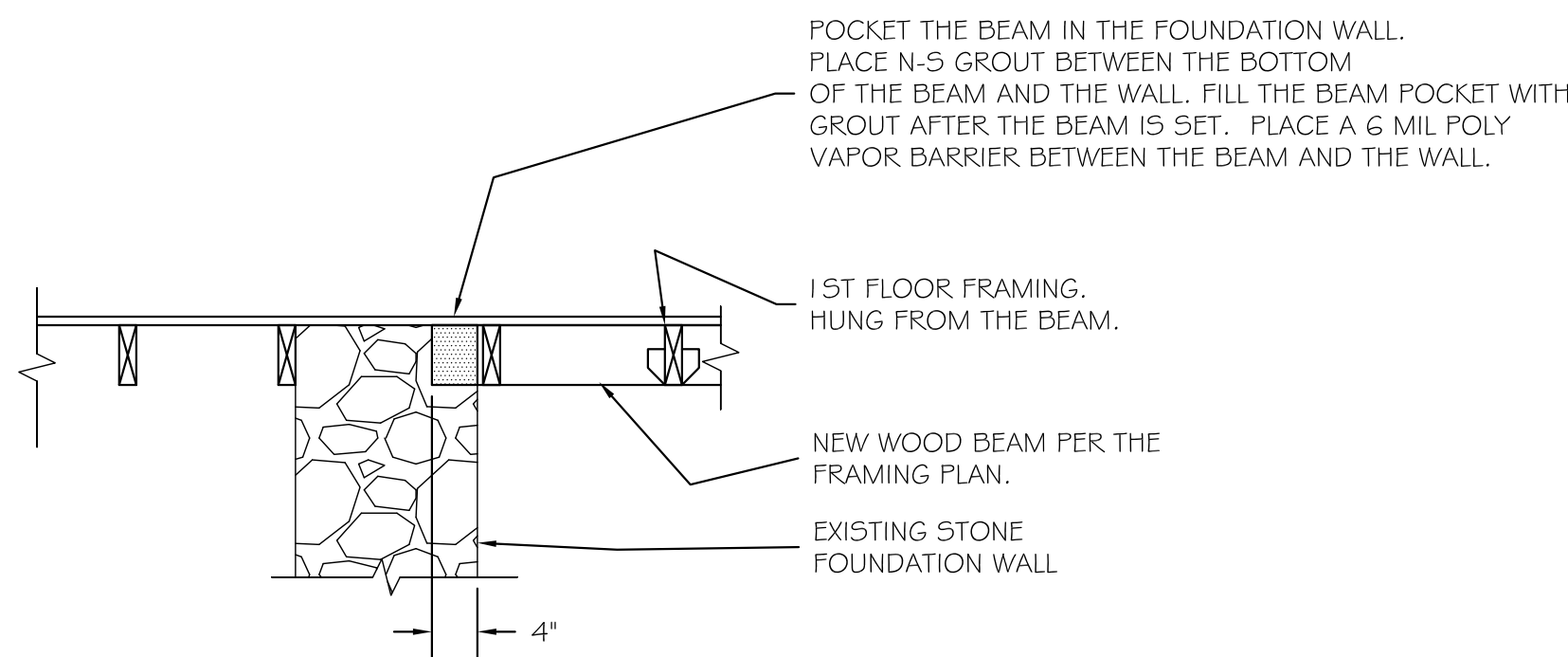
Typical Steel Beam to New CMU Wall Detail

Scale: $\frac{3}{4}" = 1'-0"$



Typical Steel Beam to Existing Stone Foundation Wall Detail

Scale: $\frac{3}{4}" = 1'-0"$

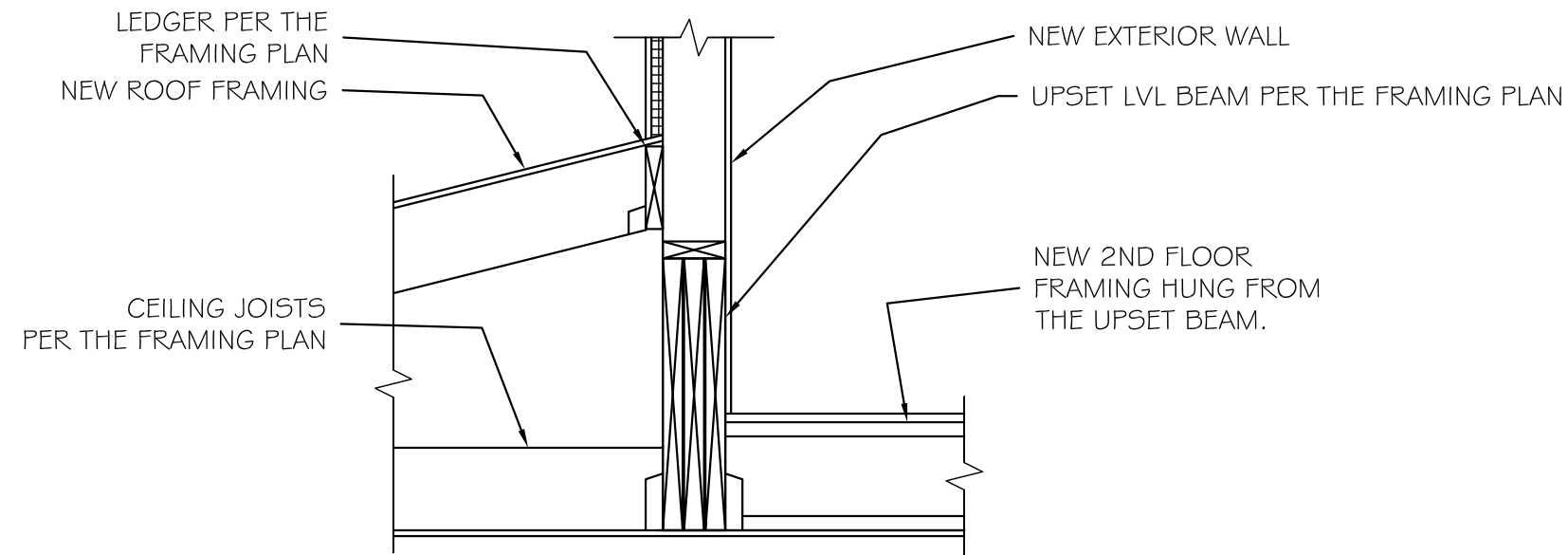


Typical Wood Beam to Existing Stone Foundation Wall Detail

Scale: $\frac{3}{4}" = 1'-0"$

REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025

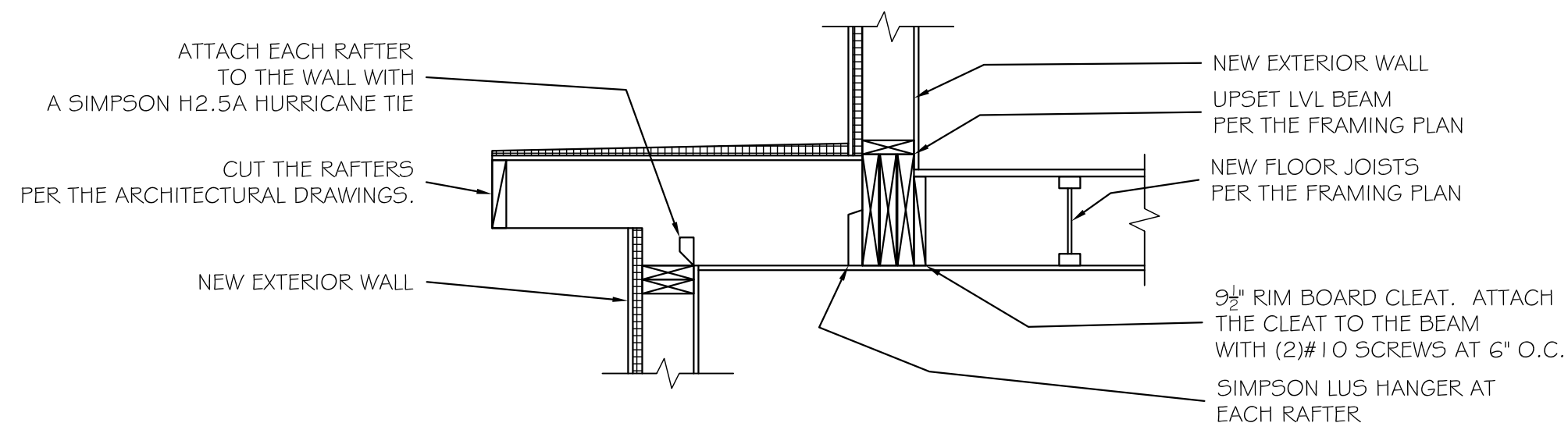
APPROVED
Montgomery County
Historic Preservation Commission
Kara Shultz



SECTION 1

SCALE: $\frac{3}{4}" = 1'-0"$

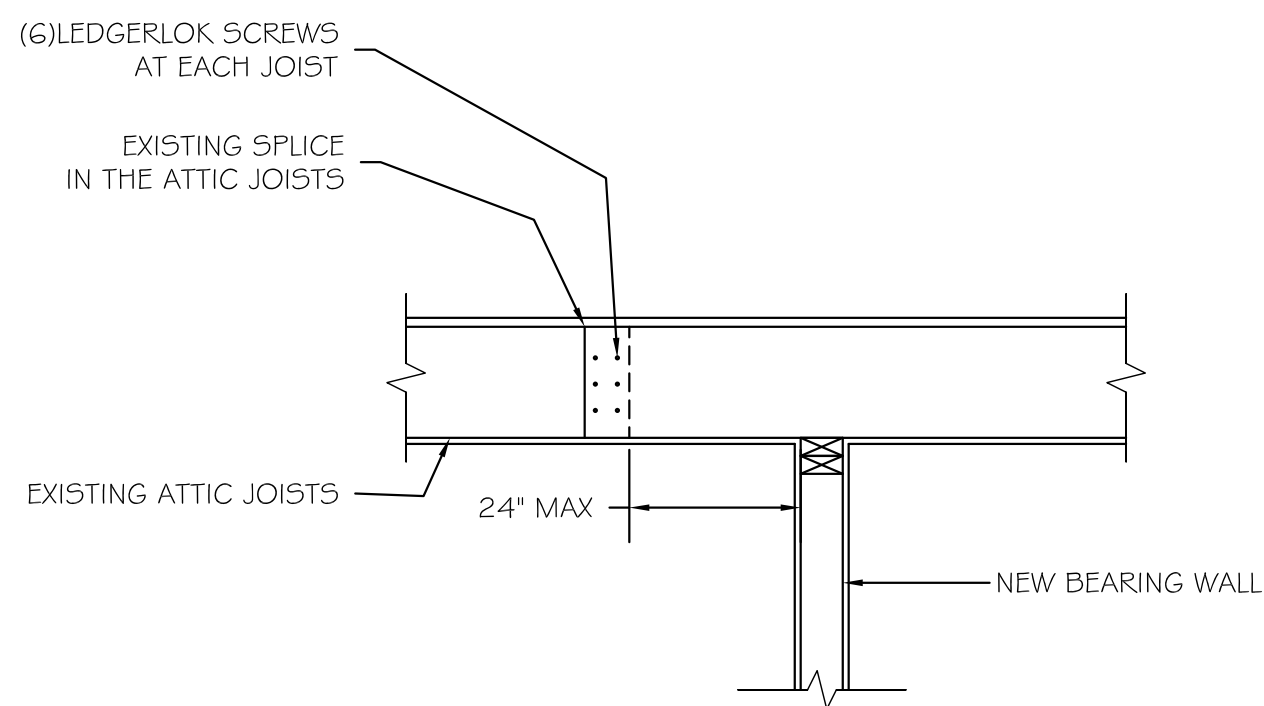
1
S202



SECTION 2

SCALE: $\frac{3}{4}" = 1'-0"$

2
S202



SECTION 3

SCALE: $\frac{3}{4}" = 1'-0"$

3
S202

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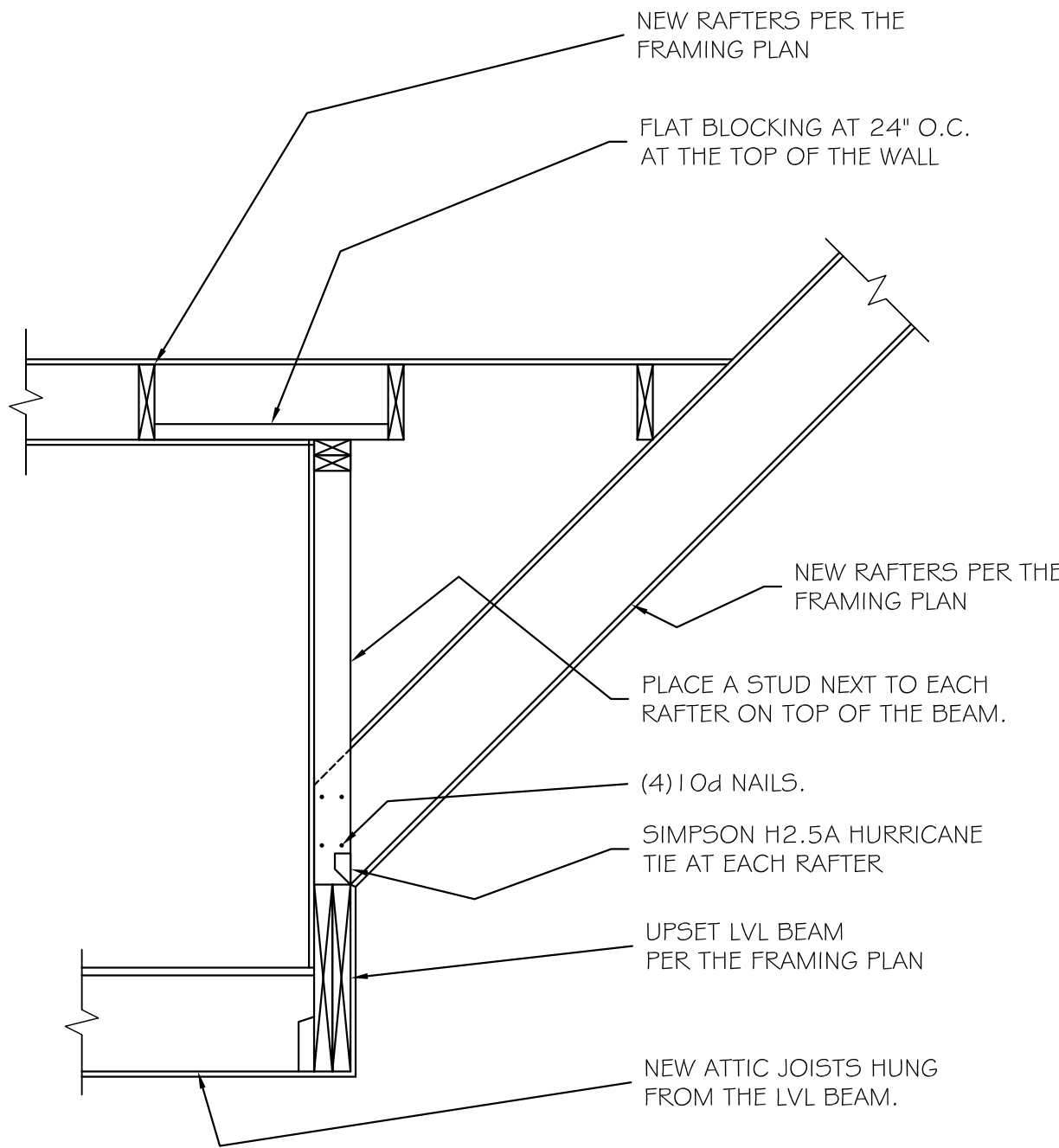
26 April 2025

Structural Details

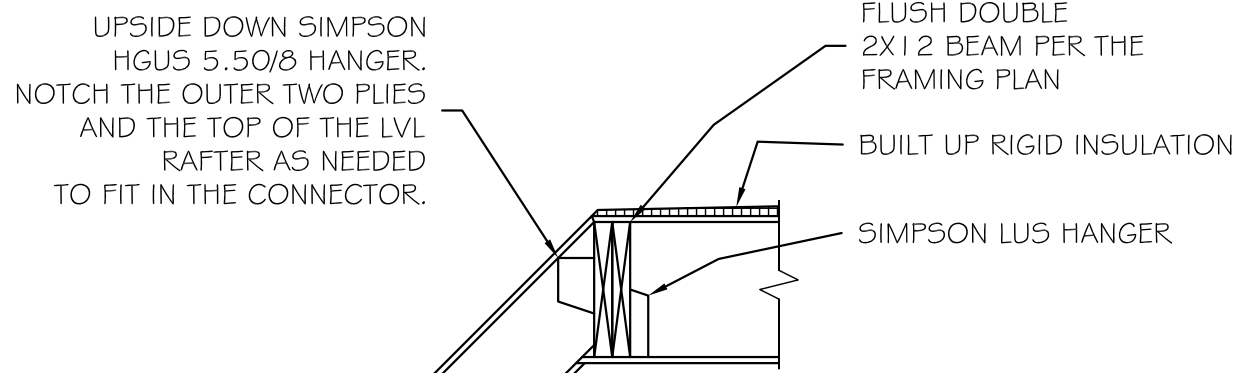
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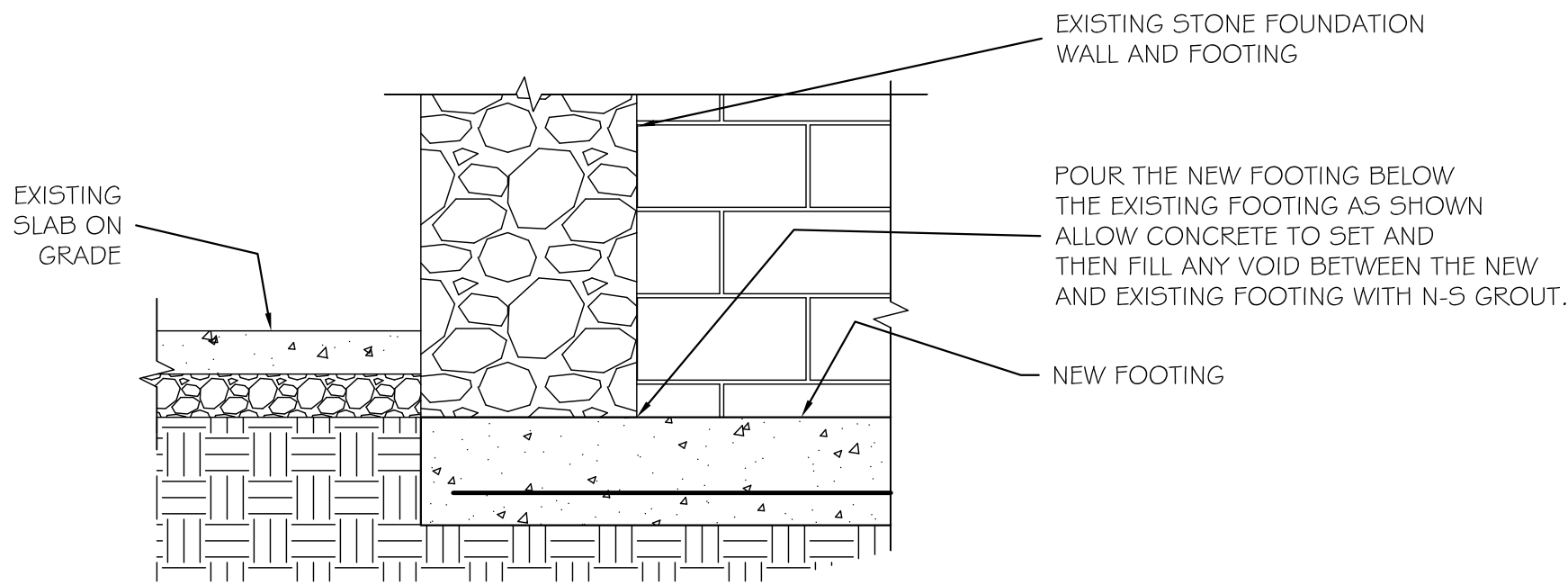
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Silver Spring, MD 20910
301-565-0543
301-563-9477 (fax)



SECTION 1
SCALE: $\frac{3}{4}" = 1'-0"$



SECTION 2
SCALE: $\frac{3}{4}" = 1'-0"$

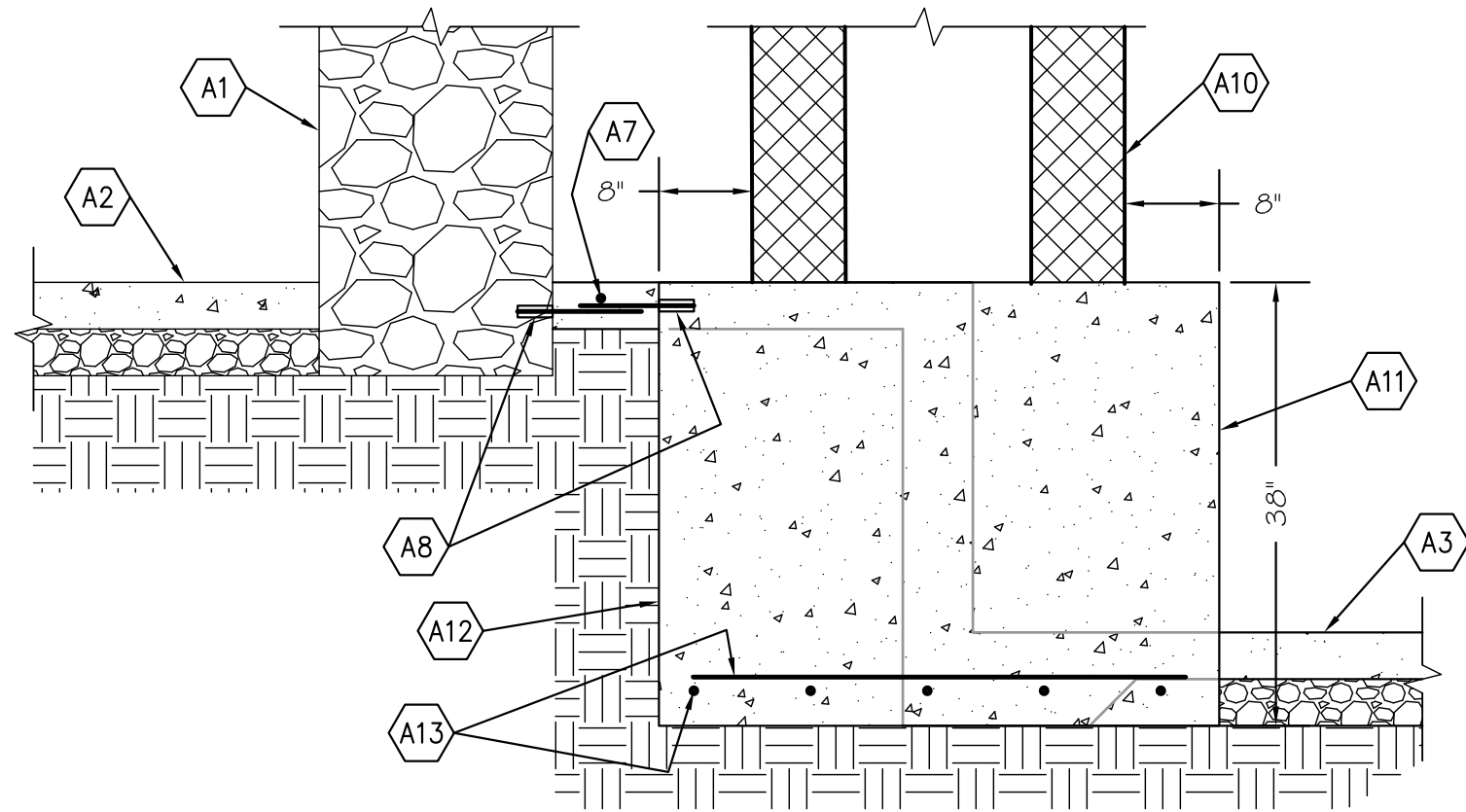


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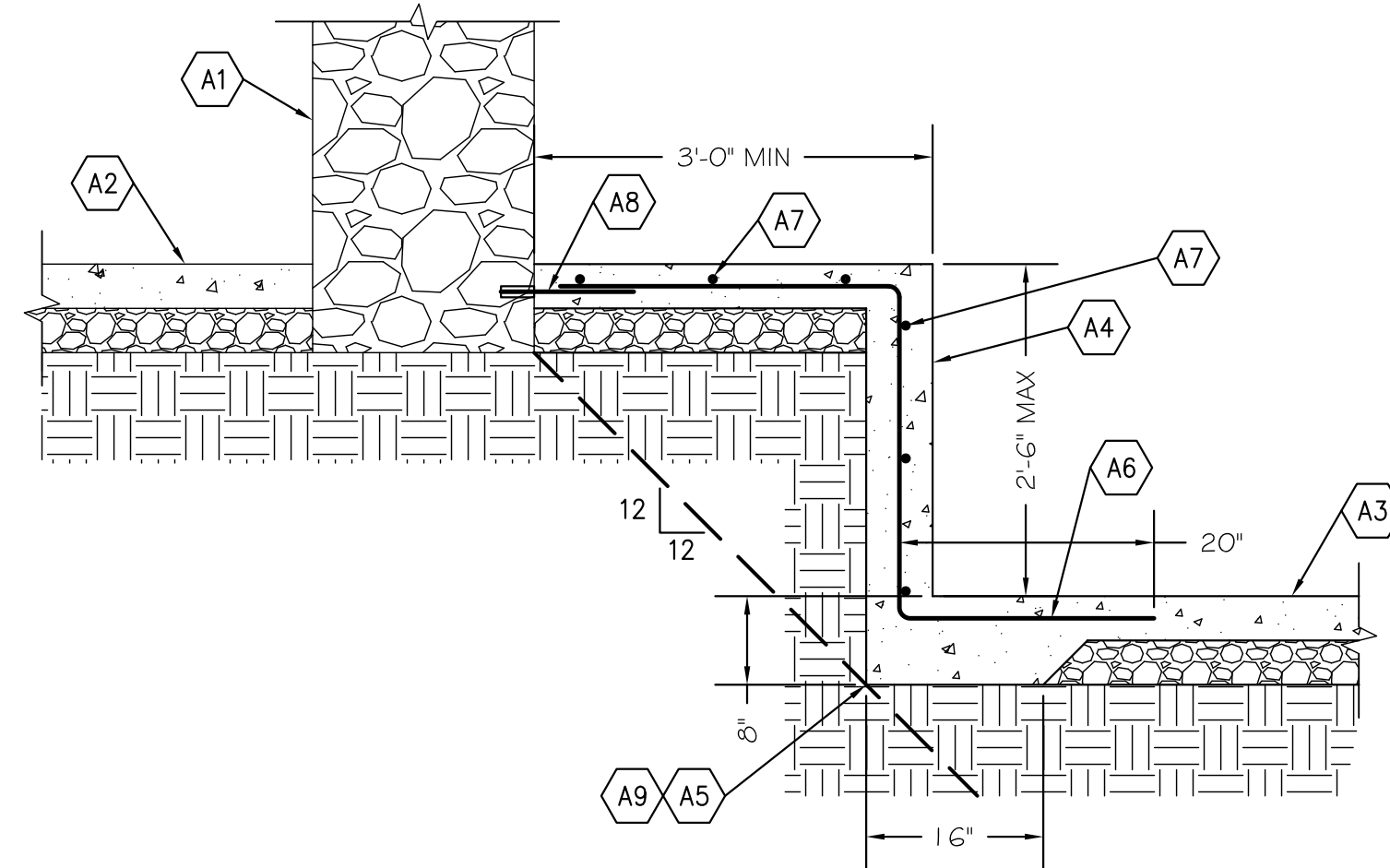
REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025



- A1 EXISTING FOUNDATION WALL AND FOOTING. PROVIDE TEMPORARY SHORING FOR THE WALL DURING CONSTRUCTION.
- A2 EXISTING BASEMENT SLAB ON GRADE.
- A3 NEW SLAB ON GRADE.
- A4 STEP THE SLAB AS SHOWN.
- A5 THE BOTTOM OF THE THICKENED SLAB SHALL NOT EXTEND TO THE LEFT OF THE DASHED LINE. FIELD DETERMINE THE EXACT LOCATION OF THE INTERSECTION.
- A6 #4 BAR "Z" SHAPED REBAR AT 12" O.C.
- A7 #4 BARS AT 12" O.C.
- A8 12" LONG #4 BAR DOWELS AT 12" O.C. WITH 3" EMBEDMENT IN THE EXISTING WALL OR NEW FOOTING WITH SIMPSON SET-XP EPOXY.
- A9 THICKEN THE SLAB AT THE CORNER AS SHOWN.
- A10 NEW CMU CHIMNEY.
- A11 NEW CONCRETE FOOTING FOR THE CHIMNEY.
- A12 POUR THE FOOTING AGAINST NATURAL GRADE ON THE SIDE ADJACENT TO THE EXISTING FOUNDATION WALL.
- A13 #4 BARS AT 10" O.C. IN EACH DIRECTION.

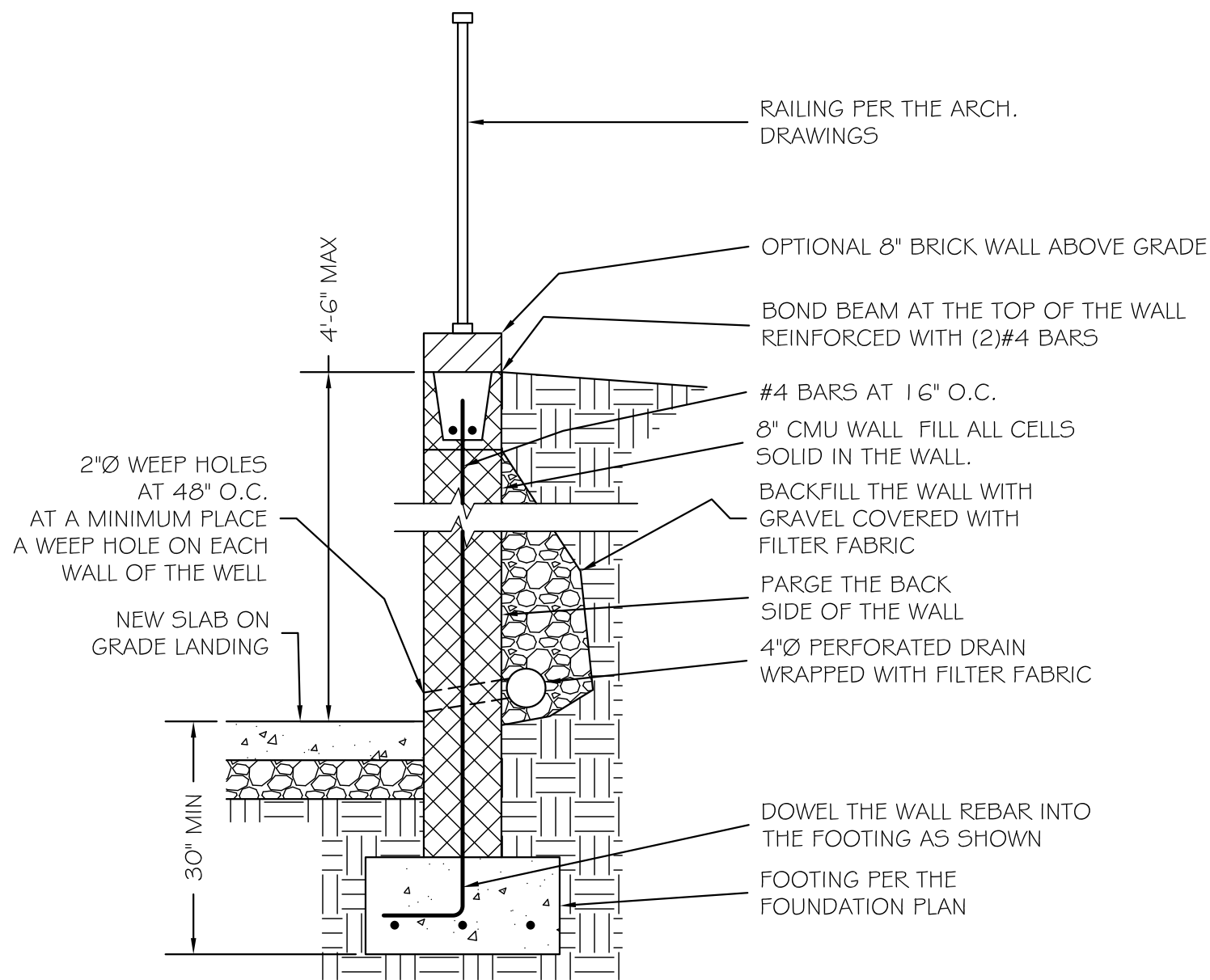


@ The Chimney



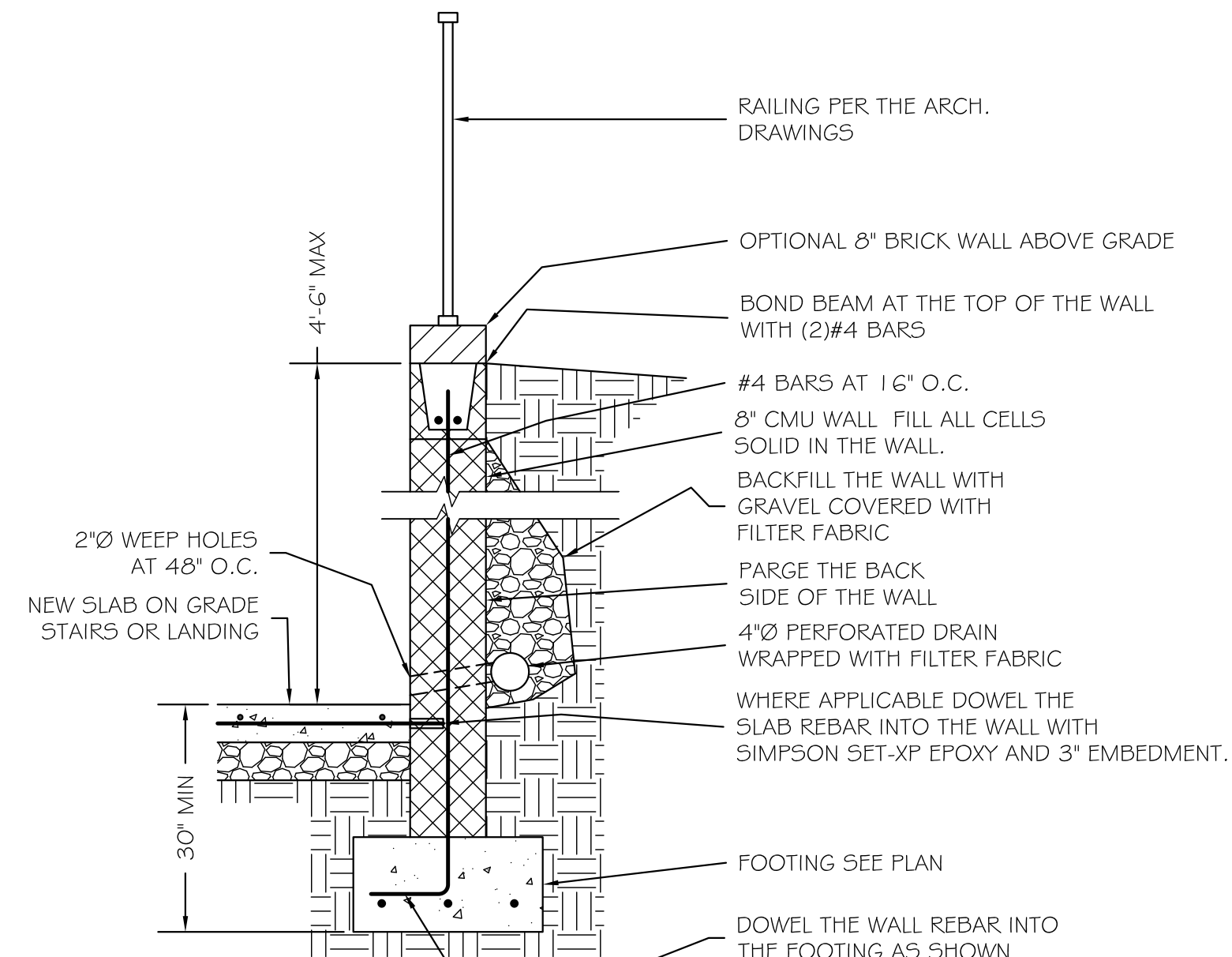
@ The Slab Step

SECTION 4
SCALE: $\frac{3}{4}" = 1'-0"$



Typical Window Well Wall Detail

Scale: $\frac{3}{4}" = 1'-0"$



Typical Areaway Wall Detail

Scale: $\frac{3}{4}" = 1'-0"$



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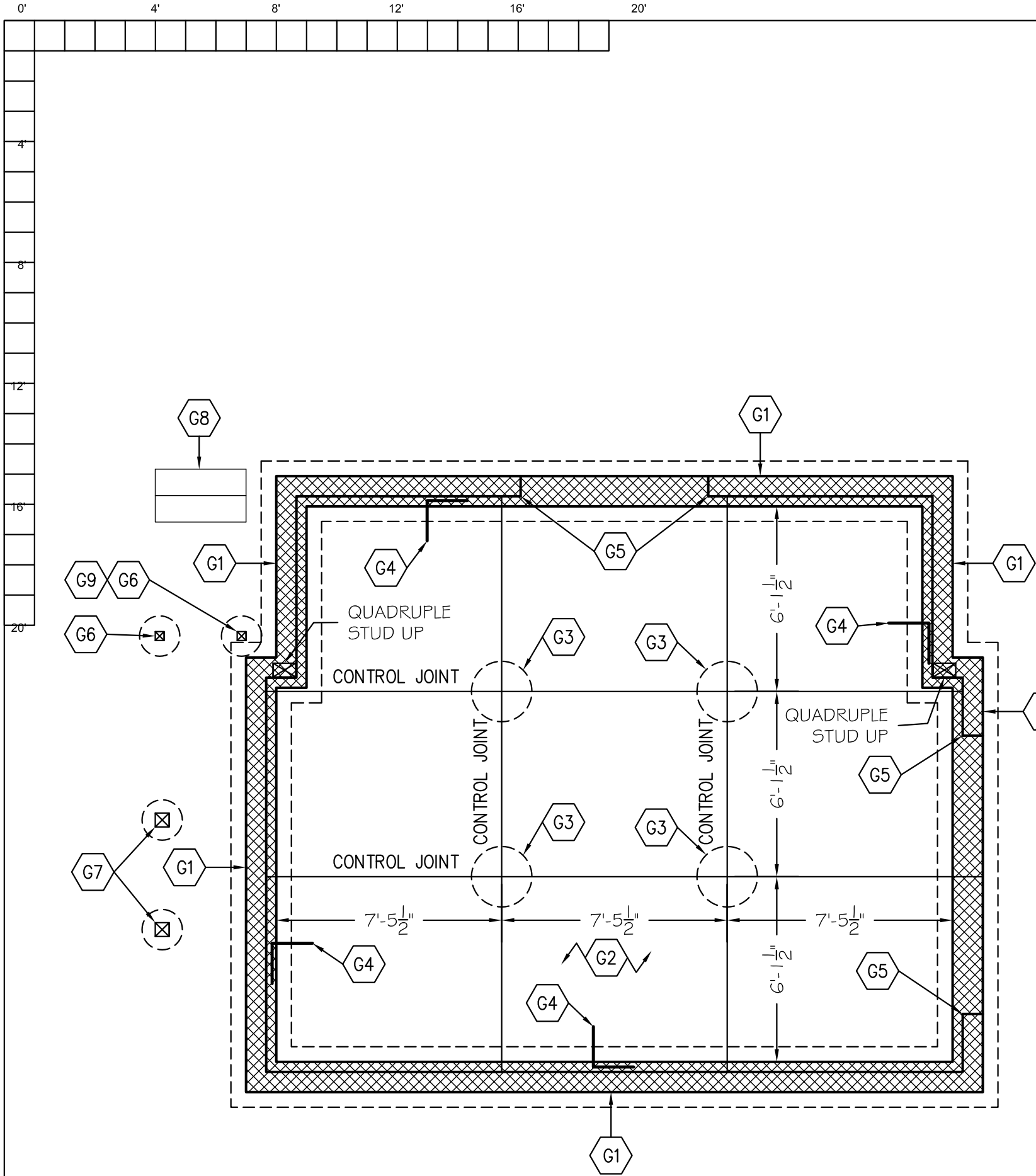
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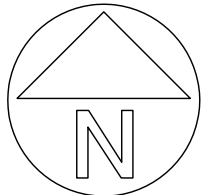
Structural Details

S203

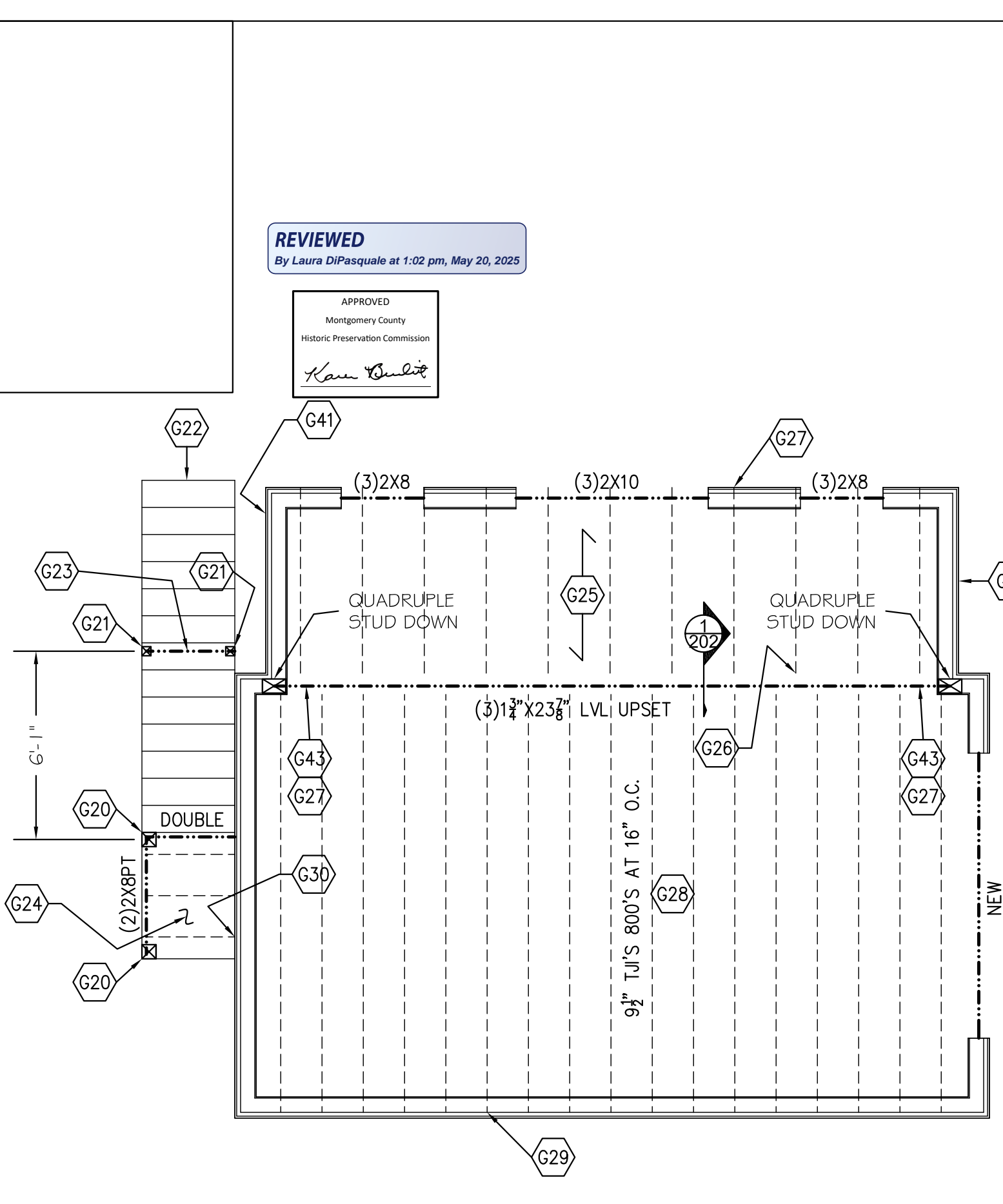


Garage Ground Floor & Foundation Plan

Scale: $\frac{1}{4}" = 1'-0"$

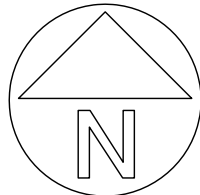


- G1 12" CMU WALL BELOW THE GARAGE SLAB AND 8" CMU ABOVE THE GARAGE SLAB. PLACE THE WALL ON A 24X10 FOOTING REINFORCED WITH (3)#4 BARS. REINFORCE THE WALL WITH #4 BARS AT 48" O.C. FILL ALL CELLS SOLID IN THE WALL. PROVIDE #4 BAR DOWELS BETWEEN THE WALL AND THE FOOTING AT 48" O.C. PLACE A PT2X6 SILL PLATE ON TOP OF THE 8" CMU STEM WALL. ATTACH THE SILL PLATE TO THE STEM WALL WITH $\frac{3}{4}"$ ANCHOR BOLTS AT 48" O.C. WITH 7" EMBEDMENT. EACH SILL PLATE SHALL HAVE A MINIMUM OF TWO BOLTS.
- G2 NEW SLAB ON GRADE: 5" CONCRETE SLAB ON 4" GRAVEL. REINFORCE THE SLAB WITH #4 BARS AT 12" O.C. IN EACH DIRECTION. SLOPE THE SLAB TO SHED WATER OUT OF THE GARAGE.
- G3 PLACE A 24"Ø FOOTING BELOW THE GARAGE SLAB. THE BOTTOM OF THE FOOTING SHALL BE 30" BELOW THE TOP OF THE SLAB OR EXTEND 12" INTO NATURAL GRADE, WHICH EVER IS DEEPER.
- G4 #4 BAR DOWELS BETWEEN THE SLAB AND THE WALL AT 24" O.C. EACH LEG SHALL BE 16" LONG.
- G5 STOP THE 8" CMU CURB AT THE DOOR JAMB. THE FOUNDATION WALL AND FOOTING SHALL CONTINUE BELOW THE DOOR.
- G6 PT4X4 POST UP ON A 16"Ø CONCRETE FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA44.
- G7 PT6X6 POST UP ON A 16"Ø CONCRETE FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA66.
- G8 PLACE THE STAIRS ON FOOTINGS PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- G9 PLACE THE POST FOOTING ON TOP OF AND NEXT TO THE WALL FOOTING.

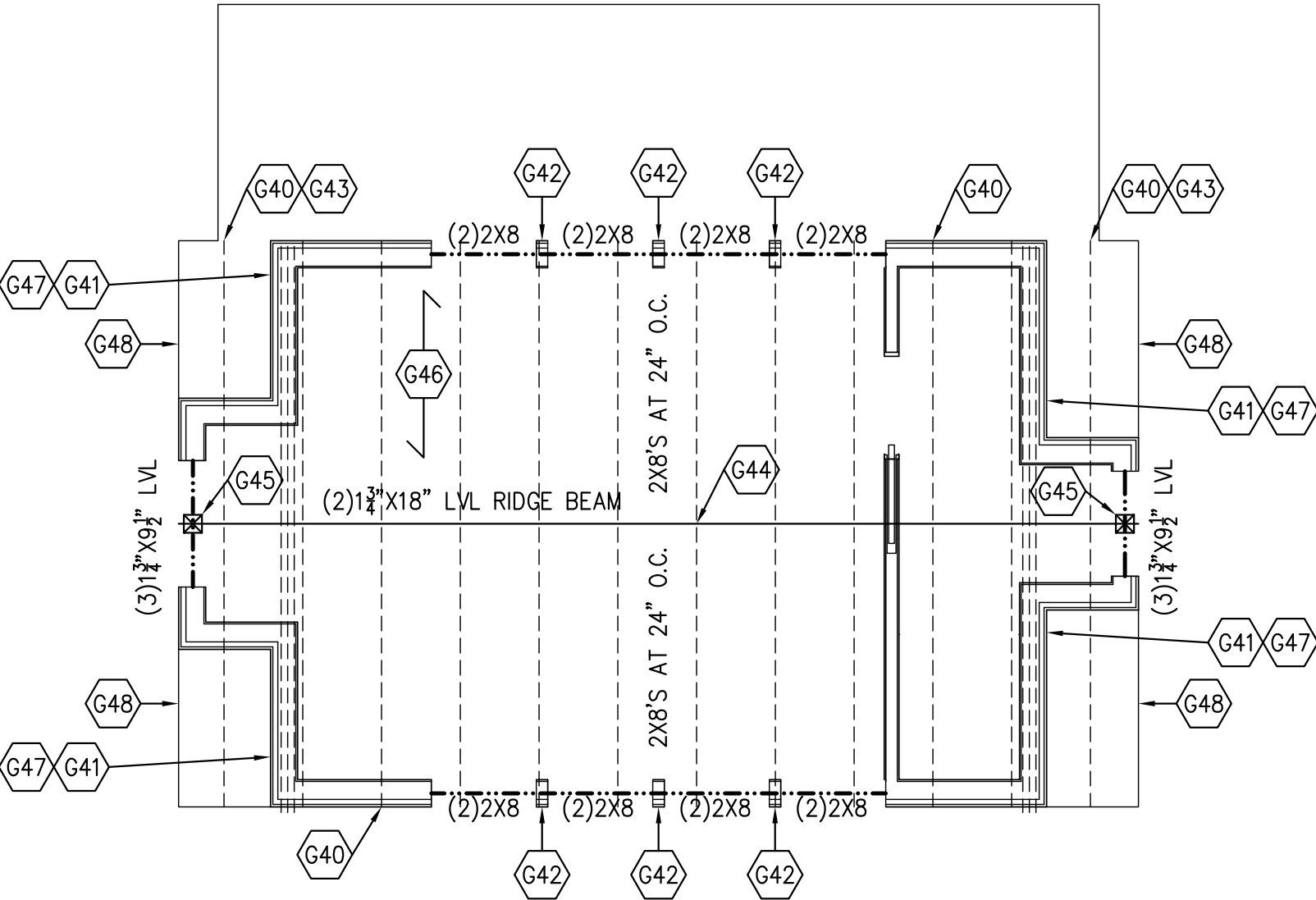


Garage Upper Floor Framing Plan

Scale: $\frac{1}{4}" = 1'-0"$

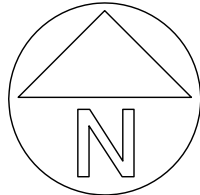


- G20 PT6X6 POST DOWN. ATTACH THE DECK FRAMING WITH A SIMPSON LCE IN EACH DIRECTION.
- G21 PT4X4 POST DOWN. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC4 ON EACH SIDE OF THE BEAM. PLACE DIAGONAL BRACING BETWEEN THE POST AND THE BEAM PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- G22 FRAME THE STAIRS PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- G23 DROPPED DOUBLE 2X8PT BEAM. NOTCH THE STRINGERS AND PLACE THEM ON THE BEAM. ATTACH EACH STRINGER TO THE BEAM WITH A SIMPSON H2.5A HURRICANE TIE.
- G24 FRAME THE LANDING WITH PT2X8 JOISTS AT 16" O.C.
- G25 FRAME THE ROOF WITH 2X8 RAFTERS AND 2X6 CEILING JOISTS AT 24" O.C.
- G26 2X8 LEDGER FOR THE ROOF. ATTACH THE LEDGER TO EACH WALL STUD WITH (2)LEDGERLOK SCREWS. ATTACH EACH RAFTER TO THE LEDGER WITH A SIMPSON LSSR HANGER.
- G27 ATTACH EACH RAFTER THE WALL WITH A SIMPSON H2.5A HURRICANE TIE. HOLD THE TOP OF THE RAFTERS UP AS NEEDED FOR INSULATION AND VENTILATION.
- G28 PLACE BLOCKING BETWEEN THE JOISTS AT THE MID-POINT OF THE SPAN.
- G29 DECORATIVE EAVE PER THE TYPICAL DETAIL.
- G30 PT2X8 LEDGER. ATTACH THE LEDGER TO THE RIM BOARD WITH $\frac{3}{4}"$ THRU BOLTS AT 16" O.C. TOP AND BOTTOM STAGGERED. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. ATTACH EACH RIM JOIST TO THE LEDGER WITH A SIMPSON HUG CONCEALED FLANGE HANGER. PLACE FLASHING PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.



Garage Roof Framing Plan

Scale: $\frac{1}{4}" = 1'-0"$



- G40 ATTACH EACH RAFTER TO THE SUPPORTING WALL WITH A SIMPSON H2.5A HURRICANE TIE. HOLD THE TOP OF THE RAFTERS UP AS NEEDED FOR VENTILATION AND INSULATION AT THE EAVE.
- G41 THE ROOF DECKING SHALL CANTILEVER OVER THE END WALL TO SUPPORT THE RAKE. NO SPLICE SHALL OCCUR IN THE ROOF DECKING WITHIN 4'-0" OF THE END WALL. PROVIDE 2X LADDER FRAMING AT 24" O.C. OR BLOCKING AS NEEDED TO FORM THE RAKE DETAIL.
- G42 PLACE A DOUBLE JACK STUD BETWEEN EACH WINDOW.
- G43 SET THE RAFTERS FROM THE UPPER ROOF AND THE RAFTERS FROM THE LOWER ROOF ON THE WALL. PLACE BLOCKING BETWEEN THE RAFTERS. PLACE "V" SHAPED NOTCHES IN THE TOP OF THE BLOCKING AS NEEDED FOR VENTILATION.
- G44 ATTACH EACH RAFTER TO THE RIDGE WITH A SIMPSON LSSR HANGER. HOLD THE TOP OF THE RIDGE DOWN AS NEEDED FOR VENTILATION AND SO THAT THE BOTTOM OF THE RIDGE IS EVEN WITH OR DEEPER THAN THE BOTTOM OF THE RAFTERS.
- G45 PLACE A TRIPLE STUD BETWEEN THE RIDGE AND THE HEADER BELOW.
- G46 2X8 CEILING JOISTS AT 24" O.C. THE CEILING JOISTS SHALL ALIGN WITH THE NEW OR EXISTING RAFTERS. WHEN APPLICABLE ATTACH EACH CEILING JOIST TO EACH RAFTER WITH (6)10d NAILS.
- G47 PLACE A TRIPLE RAFTER IN THE STEEP ROOF PLANE. PLACE THE STEEP ROOF DECKING ON THE TRIPLE RAFTER AND THEN BUILD THE DORMER WALL ON THE ROOF DECKING. ATTACH THE TRIPLE RAFTER TO THE RIDGE WITH A SIMPSON LUS HANGER. NOTCH THE TRIPLE RAFTER AS NEEDED TO FIT IN THE CONNECTOR.
- G48 FRAME THE STEEP ROOF WITH ROOF DECKING BETWEEN THE TRIPLE RAFTER AND THE RIM RAFTER. NO SPLICE SHALL OCCUR IN THE DECKING THAT IS PARALLEL TO THE ROOF SLOPE. FORM THE RAKE WITH 2X LADDER FRAMING AT 24" O.C. OR SOLID BLOCKING.

FRAMING NOTES:

- THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
- ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
- PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
- ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF $\frac{3}{4}"$ Ø BOLTS AT 16" O.C. STAGGERED.
- EPOXY BOLTS SHALL BE SIMPSON "SET-XP". FOLLOW MANUFACTURES INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING AND PROPOSED STRUCTURAL ELEMENTS OF THE HOME.
- ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
- ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
- ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
- ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT.
- WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
- THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS. THE MORTAR, BRICKS AND BLOCKS SHALL MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL.
- TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
- TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSSR.
- TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
- TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
- TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
- TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS16 ON EACH SIDE.
- TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
- TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
- TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH BEAM AND THE HANGER.
- SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC . . .
- PLACE A DOUBLE JOIST BELOW ALL WALLS THAT ARE PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE JOISTS BELOW THE WALLS AT 16" O.C.
- ADD BLOCKING TO THE WEB OF ENGINEERED JOISTS AS NEEDED FOR HANGERS, CONNECTORS, STRAPS OR NAILING MULTIPLE MEMBERS TOGETHER.
- ADD JOIST HANGERS TO ALL EXISTING FRAMING CONNECTIONS THAT ARE FOUND TO LACK THEM SUCH AS FRAMING AROUND PLUMBING STACKS, CHIMNEYS, OR THE EXISTING STAIRS.



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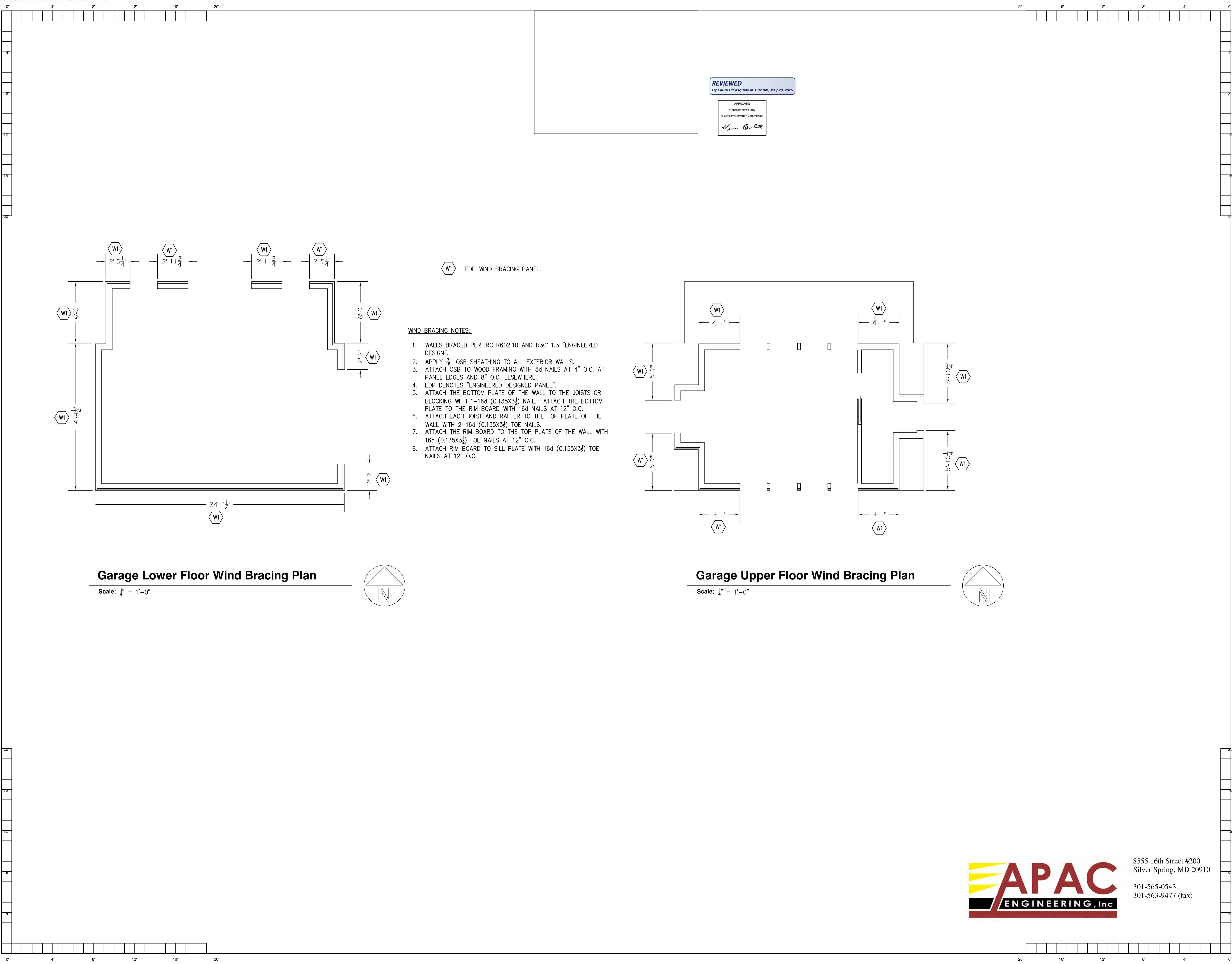
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**GARAGE FRAMING
PLANS**

S300



REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Schultz

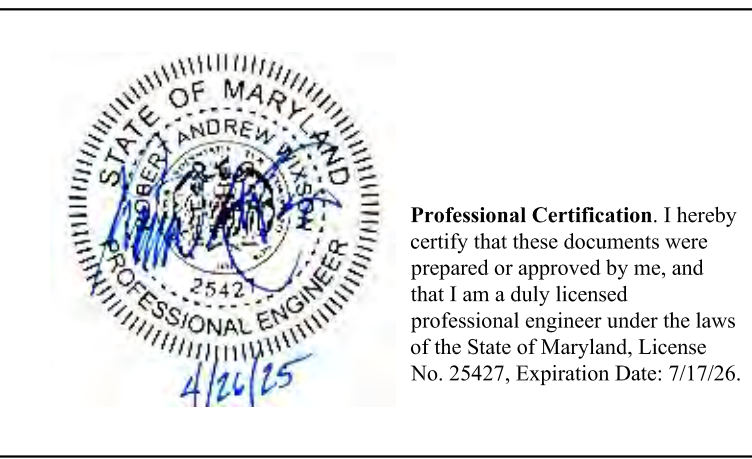
W1 EDP WIND BRACING PANEL.

WIND BRACING NOTES:

1. WALLS BRACED PER IRC R602.10 AND R301.1.3 "ENGINEERED DESIGN".
2. APPLY 7/16" OSB SHEATHING TO ALL EXTERIOR WALLS.
3. ATTACH OSB TO WOOD FRAMING WITH 8d NAILS AT 4" O.C. AT PANEL EDGES AND 8" O.C. ELSEWHERE.
4. EDP DENOTES "ENGINEERED DESIGNED PANEL".
5. ATTACH THE BOTTOM PLATE OF THE WALL TO THE JOISTS OR BLOCKING WITH 1-16d (0.135X3 1/4) NAIL. ATTACH THE BOTTOM PLATE TO THE RIM BOARD WITH 16d NAILS AT 12" O.C.
6. ATTACH EACH JOIST AND RAFTER TO THE TOP PLATE OF THE WALL WITH 2-16d (0.135X3 1/4) TOE NAILS.
7. ATTACH THE RIM BOARD TO THE TOP PLATE OF THE WALL WITH 16d (0.135X3 1/4) TOE NAILS AT 12" O.C.
8. ATTACH RIM BOARD TO SILL PLATE WITH 16d (0.135X3 1/4) TOE NAILS AT 12" O.C.

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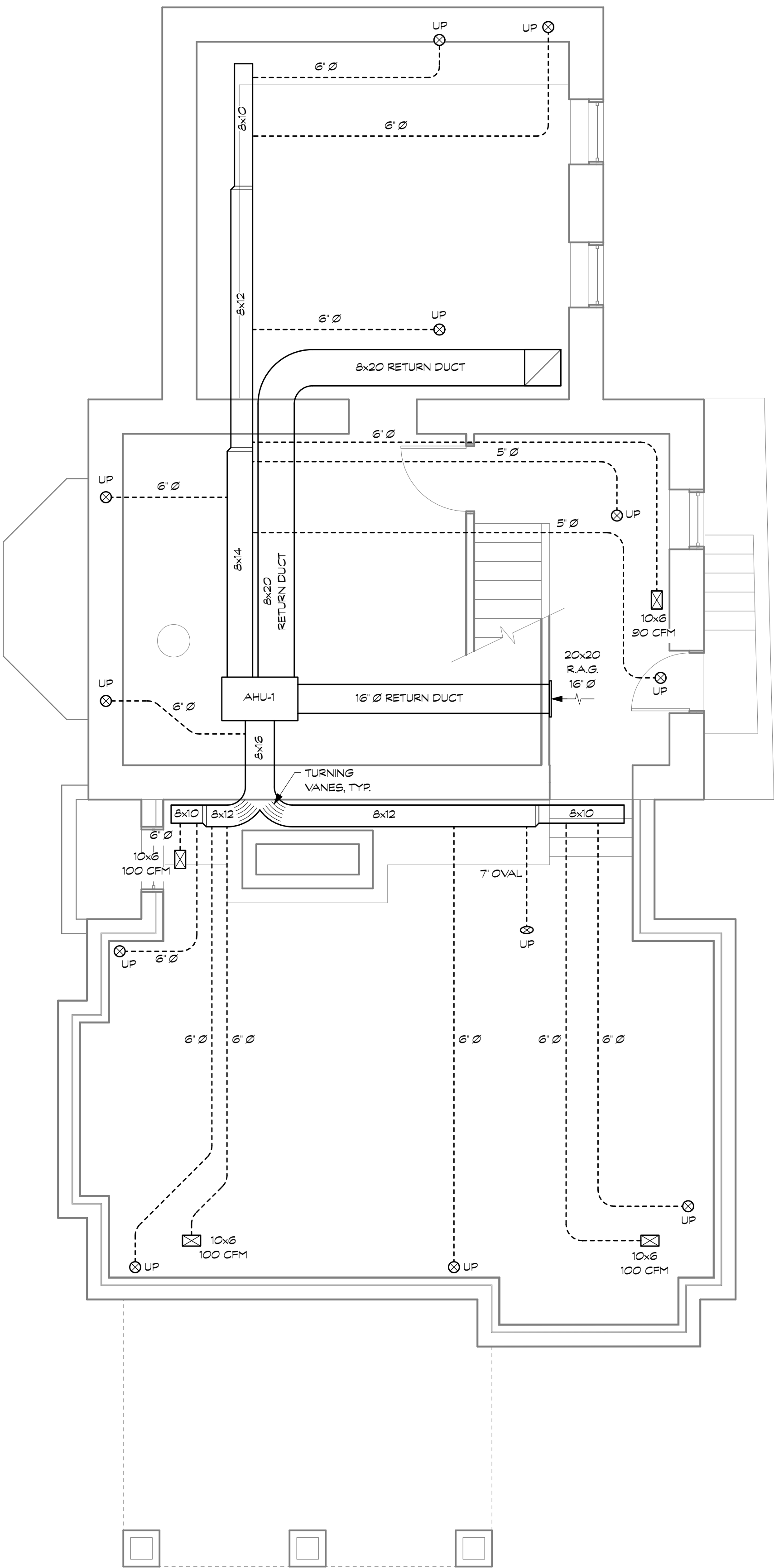
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**GARAGE WIND
BRACING PLANS**

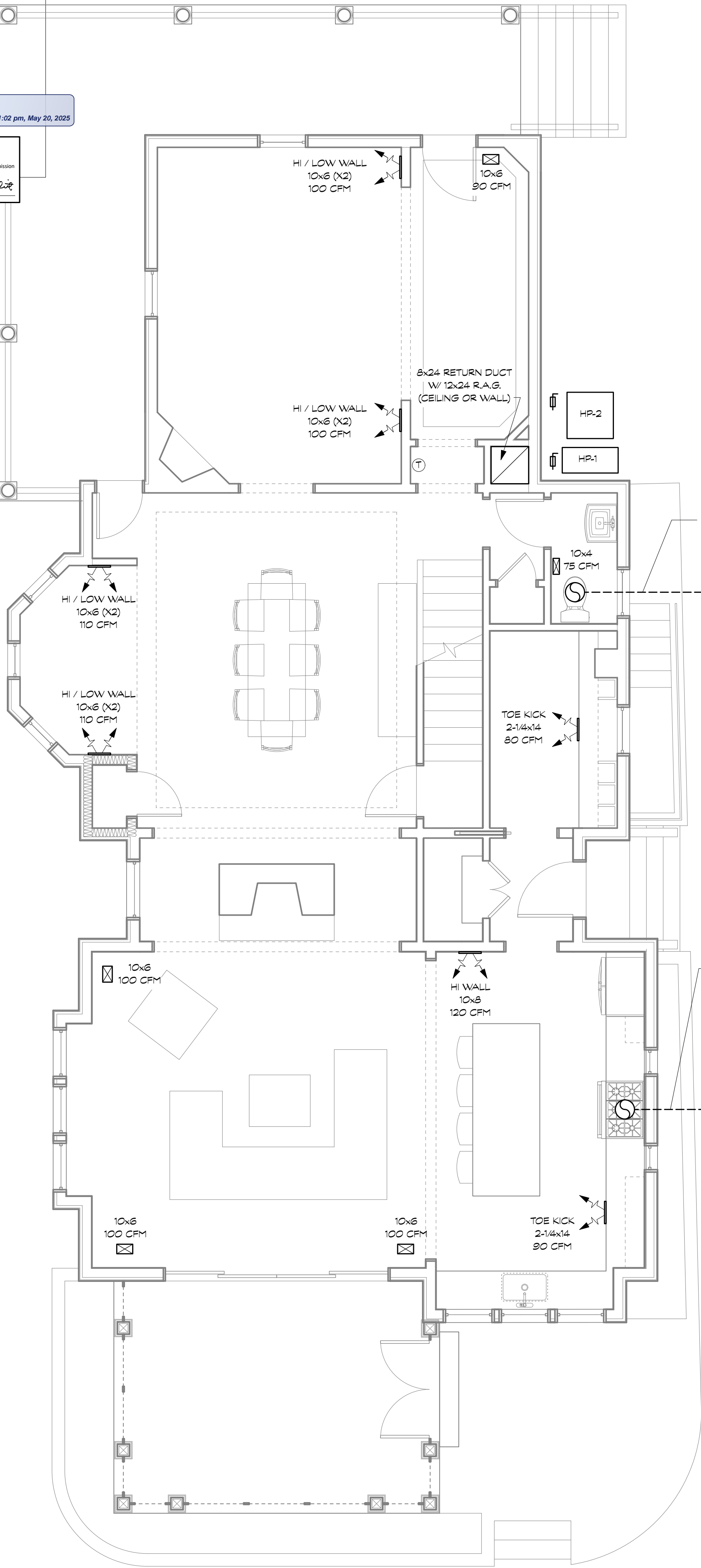
S301



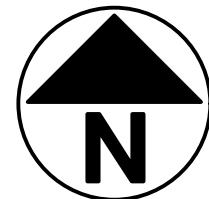
1 CELLAR MECHANICAL PLAN
Scale: 1/4" = 1'-0"

REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Weiler



2 FIRST FLOOR MECHANICAL PLAN
Scale: 1/4" = 1'-0"



BENNETT FRANK MCCARTHY
architects, inc.

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(301) 585-2222 www.bfmarch.com fax (301) 585-8917

DATE	ISSUE - REMARKS
3/26/25	HAMP PERMIT SET
4/28/25	PERMIT SET

DS

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LICENSE #: 15218 EXPIRATION DATE: 10/31/2025

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MECHANICAL CONSULTANT
Ron Gallant, Gallant Mechanical
13001 Cleveland Drive
Rockville, Maryland 20850 (240) 750-4988

WILLIAMS LANE RENOVATION
3806 Williams Lane, Chevy Chase, MD 20815
Project # 2462

CELLAR & FIRST FLOOR MECHANICAL PLANS
M100

28 APRIL 2025 - PERMIT SET

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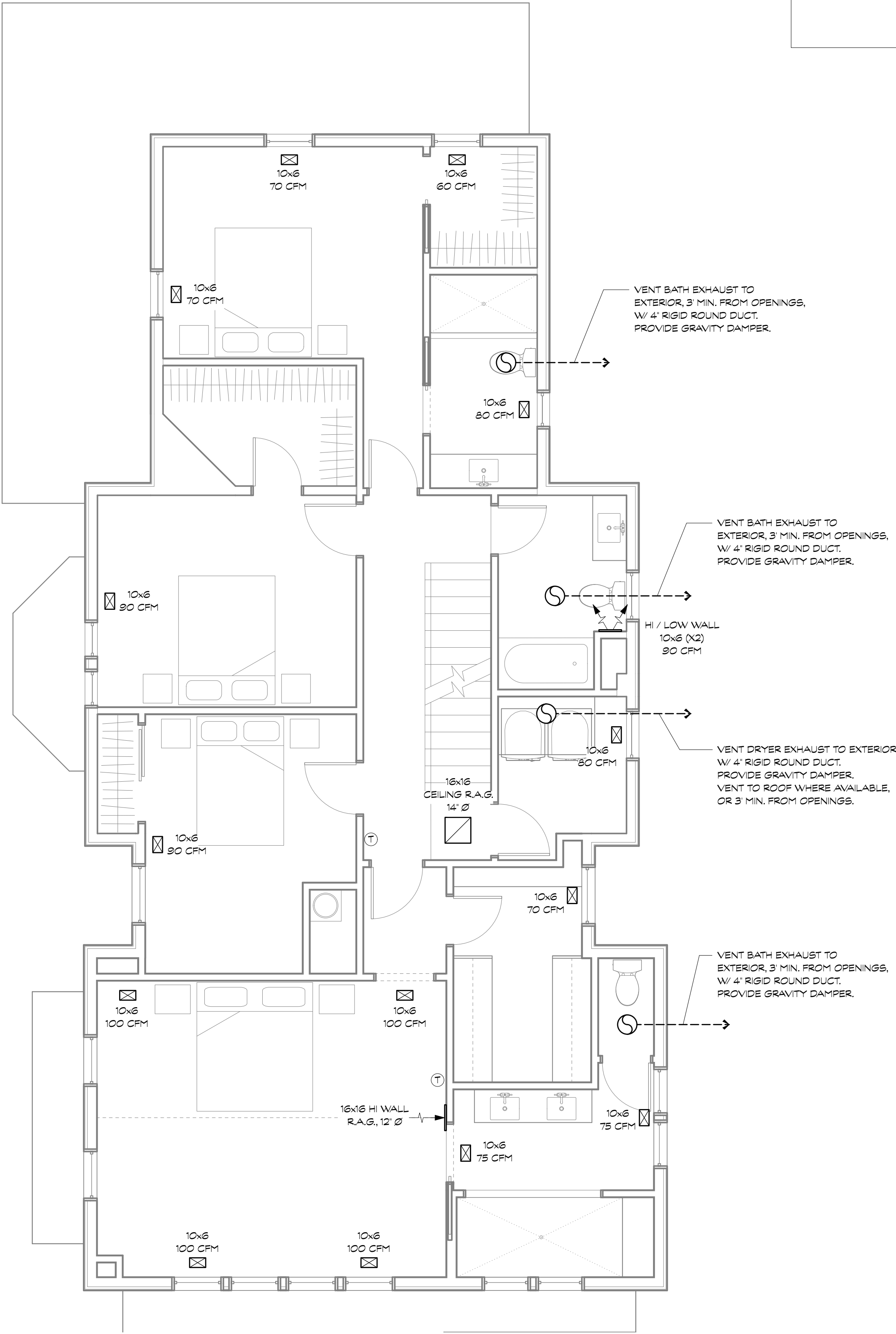
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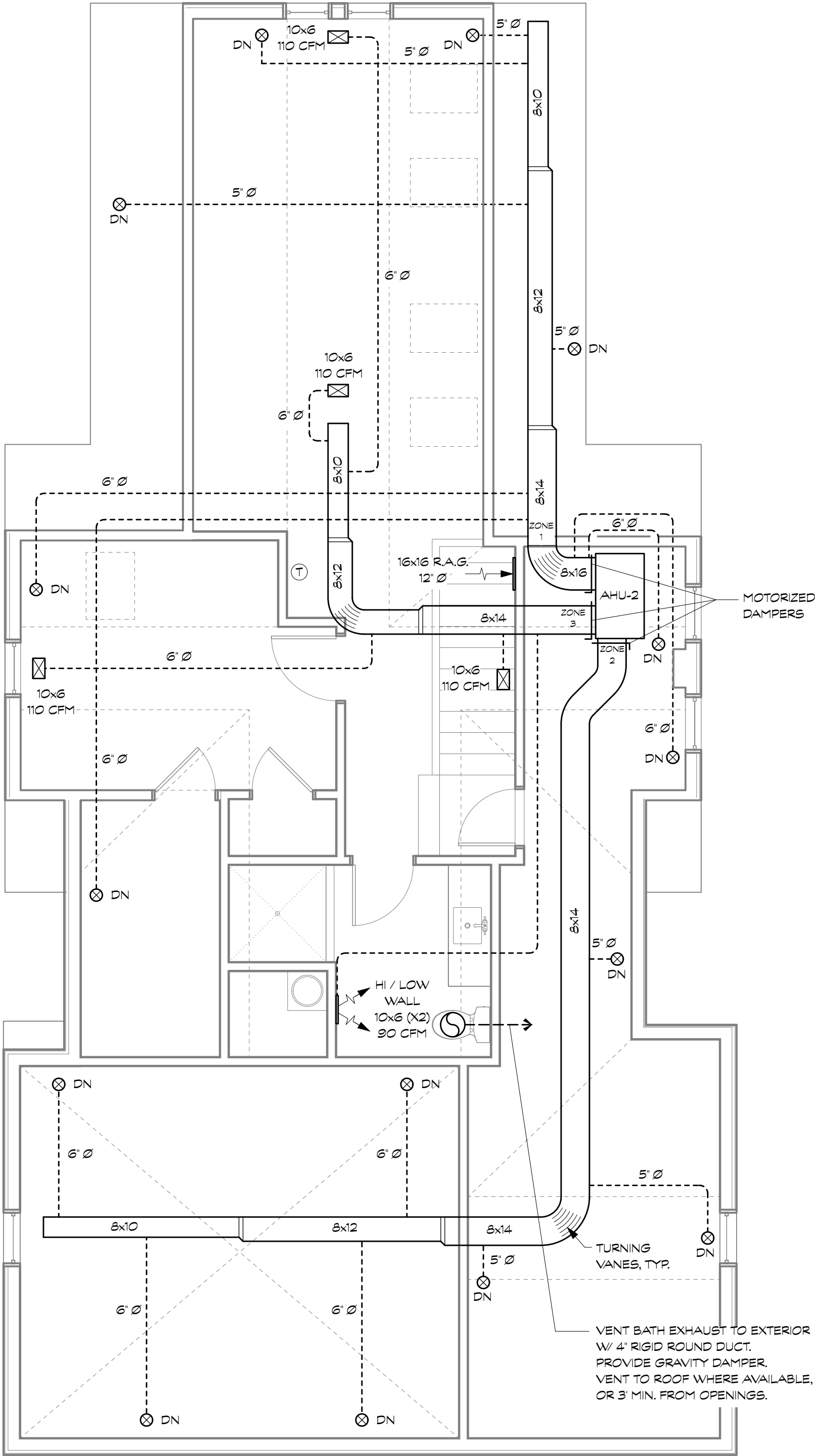
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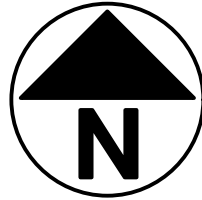
1 SECOND FLOOR MECHANICAL PLAN
Scale: 1/4" = 1'-0"

REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025

APPROVED
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Historic Preservation Commission
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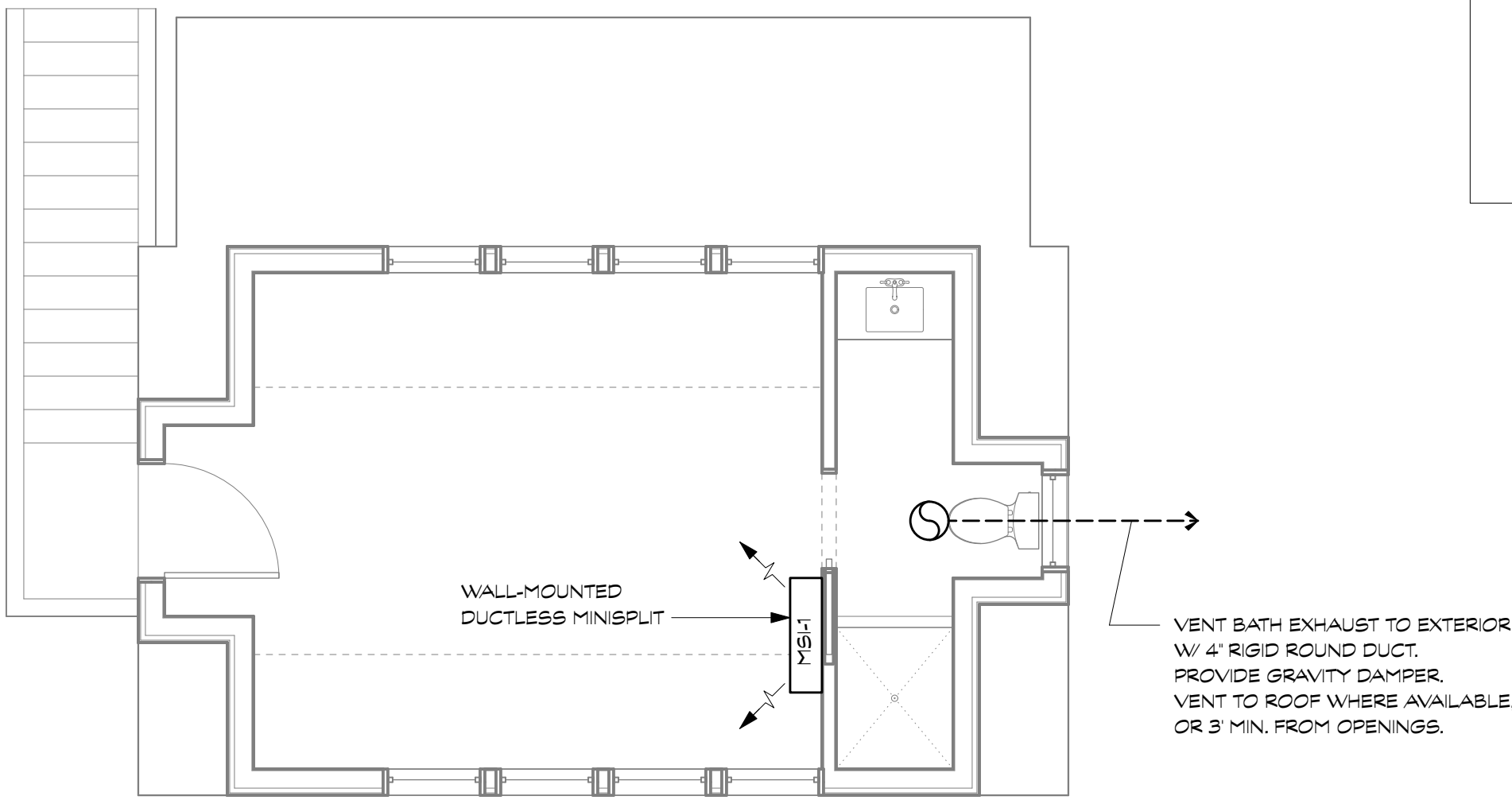


2 ATTIC MECHANICAL PLAN
Scale: 1/4" = 1'-0"

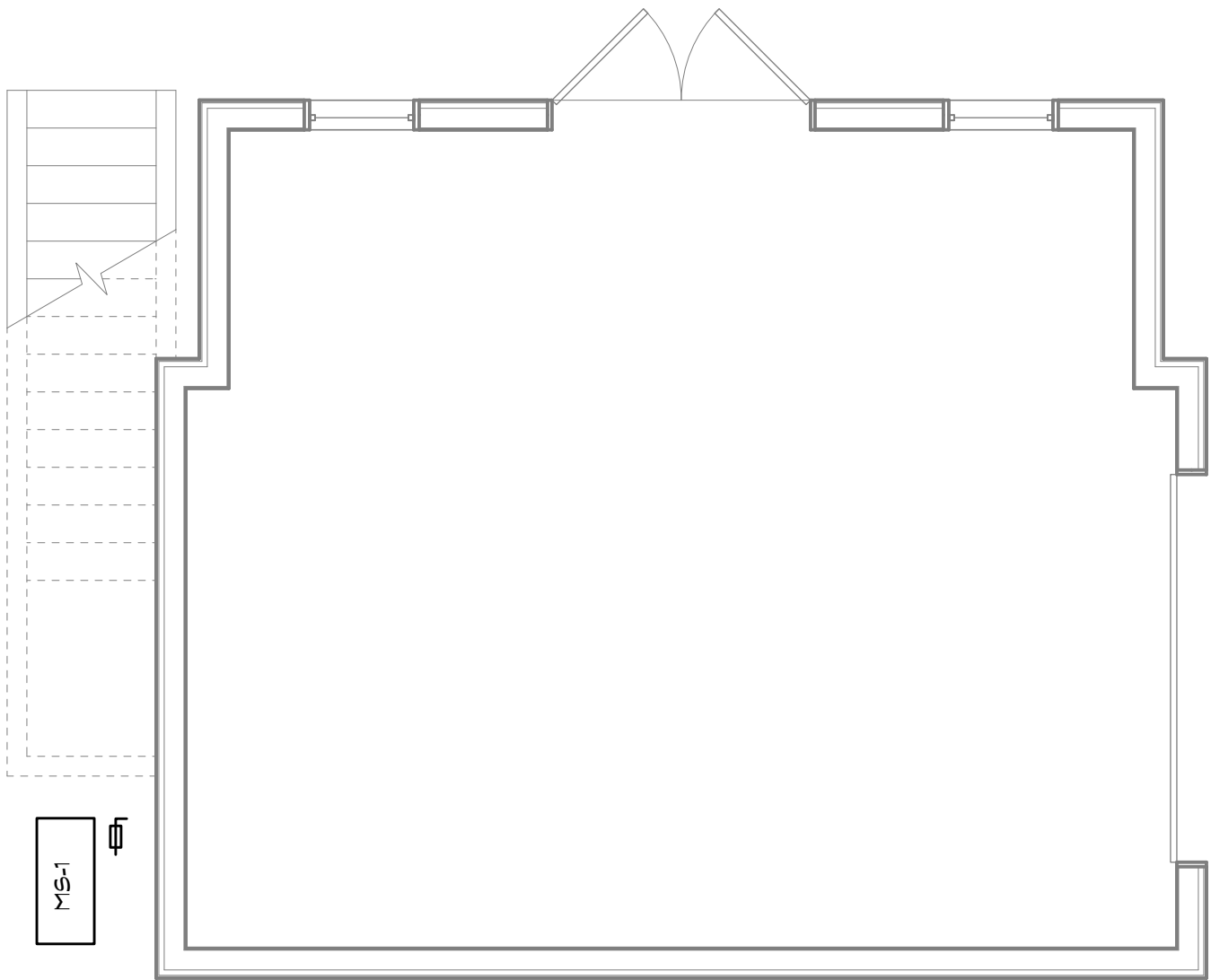


WILLIAMS LANE RENOVATION
3806 Williams Lane, Chevy Chase, MD 20815
Project # 2462

SECOND FLOOR &
ATTIC MECHANICAL
PLANS
M101



2 GARAGE MECHANICAL PLAN - LOFT
Scale: 1/4" = 1'-0"



1 GARAGE MECHANICAL PLAN - GROUND FLOOR
Scale: 1/4" = 1'-0"

MECHANICAL SCHEDULE																
ZONE SERVED	LOCATED	TAG	INDOOR AHU						OUTDOOR CONDENSER							
			MAKE/MODEL	HEATER KIT	NOM SIZE	V/PH/HZ	MCA	FUSE/BREAKER	TAG	LOCATED	MAKE/MODEL	NOM SIZE	V/PH/HZ	MCA	FUSE/BREAKER	SEER2
CELLAR 1ST FL	CELLAR	AHU 1	DAIKIN CAPEA6030		60 KBTU/H	208-230/1/60	11.4 A	15 A	HP 1	PER PLAN	DAIKIN DH7VSA42	42 KBTU/H	208-230/1/60	37.5 A	40 A	16.5
				FURNACE DR97MC080	80KBTU/H											
STUDIO/LOFT	STUDIO	MSI 1	DAIKIN RXB09AXVJU	N/A	9 KBTU	INDOOR UNIT POWERED FROM OUTDOOR UNIT			MS 1	PER PLAN	DAIKIN FTXB09AXVJU	9 KBTU/H	208-230/1/60	7.0	15 A	SEER 17
2ND FL ATTIC	2ND FL	AHU 2	DAIKIN DMVT60DP1300		60 KBTU/H	208-230/1/60	83.6 A	90 A	HP 2	PER PLAN	DAIKIN DHSSEA6010	60 KBTU/H	208-230/1/60	34.5	60 A	16
				HKTS*15X1	15 KW											

- NOTES:
1. LINE SETS SHALL BE SIZED ACCORDING TO MANUFACTURERS REQUIREMENTS
 2. ALL CONDENSATE LINES TO BE PITCHED DOWNWARD AWAY FROM INDOOR UNIT
 3. OUTDOOR UNITS MUST HAVE LOCAL FUSED DISCONNECT
 4. OUTDOOR UNITS SHALL NOT BE PLACED ON LUMBER, ONLY CONCRETE OR PREMANUFACTURED PAD AND PUMP UPS/ RISERS.
 5. WALL MOUNTED THERMOSTAT TO BE 7 DAY PROGRAMMABLE
 6. ALL OUTDOOR PORTIONS OF LINESET SHALL HAVE UV RATED WRAP OR PROTECTION IN ADDITION TO INSULATION
 7. FOLLOW ALL MANUFACTURERS RECOMMENDATIONS / INSTALLATION INSTRUCTIONS
 8. DAIKIN OR EQUAL WITH SAME UNIT MCA RATING AND NOMINAL SIZE AND HEAT OUTPUT
 9. COORDINATE WITH ELECTRICIAN FOR ELECTRICAL BREAKER SIZING AND SERVICE DISCONNECTS

REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025



SPECIFICATIONS (CONTINUED FROM SP100)

DIVISION 15: PLUMBING / MECHANICAL

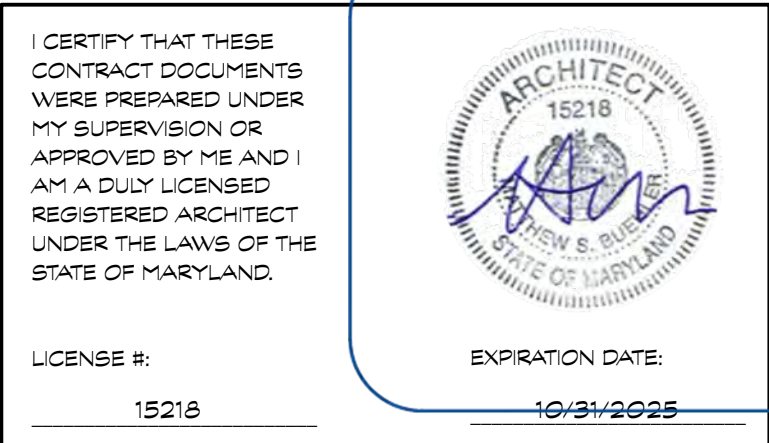
- 15.1 Plumbing: Contractor shall furnish and install complete domestic hot and cold copper waterpiping and PVC waste and vent system to new fixtures in accordance with all applicable codes, standards, and manufacturer's specifications. Water and waste lines to be tied into existing house system. Existing house waste to be modified as required by new construction. Condition and capacity of existing supply and drainage piping should be reviewed with recommendations for replacement/repair as necessary. All piping in finished areas shall be run in concealed spaces. Neither supply nor waste piping shall be installed anywhere it would limit headroom below 6'-8", without the expressed approval of the Owner.
- 15.1.1 Incoming service: Existing 1" service to remain. Provide 1.25" distribution pipe inside home.
- 15.1.2 Supply Piping: Hot and cold supply piping shall be type 'L' hard temper copper piping with wrought copper sweat fittings, 95-5 lead-free solder. Supply piping shall be insulated with min. R3, continuous foam pipe jacket insulation. Water service and supply shall be type 'K' copper with matching fittings. Shut-off valves shall be provided at all fixtures. All exposed piping, couplings, valves and accessories shall be chrome plated unless noted otherwise. Copper piping shall be cleaned of all flux residue after installation is complete. Water hammer arrestors shall be provided at all valved appliances such as dishwashers and washing machines.
- 15.1.3 Sanitary lines and vent pipes shall be PVC (UNO). Primary (≥3 inch dia.) horizontal waste lines and stacks above and adjacent to primary common areas (DR/LR/FR) shall be cast iron for sound dampening. See Division 10 for acoustic accessories.
- 15.1.4 Pipe penetrations through partitions should not make rigid contact with framing of gypsum board. Provide resilient sealant around the perimeter opening where pipe passes through.
- 15.1.5 Hose Bibs: in locations as shown. Provide internal shut-offs.
- 15.1.6 Hot Water Heater: Provide new gas-fired tankless water heater (Rennai or equivalent).
- 15.1.7 Gas: Supply gas service/piping to all new gas appliances. Review gas service capacity and determine in advance if service size needs to be increased and include such increase in base bid.
- 15.1.8 Kitchen fixtures: Owner to provide, Contractor to install. Provide water via copper tubing supply with in-line filter and shut-off to main refrigerator for water / ice dispenser.
- 15.1.9 Primary bath fixtures (basins and faucets x2, toilet, shower head and controls, tub and controls). Owner to provide, Contractor to install. Provide membrane pan and tiled shower floor and curb, per Division 9.
- 15.1.10 Second floor bath fixtures x2 (basin and faucet, toilet, tub, tub faucet, shower head and controls): Owner to provide, Contractor to install.
- 15.1.11 Attic bath fixtures (basin and faucet, toilet, shower head and controls): Owner to provide, Contractor to install.
- 15.1.12 Powder room fixtures (basin, faucet and toilet): Owner to provide, Contractor to install.
- 15.1.13 Lower level bath fixtures (basin, faucet, toilet, shower head and controls): Owner to provide, Contractor to install.
- 15.2 Mechanical
- Remove all existing mechanical equipment and associated plumbing and ductwork for replacement.
- 15.2.1 Provide new heating and cooling equipment for entire house, per mechanical plans and equipment schedules. See drawings for equipment locations, sizing, and model numbers.
- 15.2.2 All new mechanical equipment shall include the following:
- Air handler cabinet leakage shall be ≤ 2% of air flow.
 - Programmable, WiFi enabled Touch Control
 - Vibration isolation
 - Back-up/emergency overflow pan drained to exterior.
 - Provide balancing dampers in lieu of zone control as shown.
 - Heat pumps having supplementary electric-resistance heat shall have controls that, except during defrost, prevent supplemental heat operation when the heat pump compressor can meet the heating load.
- 15.2.3 Energy load calculations: See plans for load calculations.
- 15.2.4 Equipment to be installed in strict conformance with manufacturer's instructions.
- 15.2.5 Warranties:
- 2 years on all parts and labor.
 - 5 years on parts covered by Carrier; 10 years if registered on website within 90 days of installation.
 - 10 years on compressor.
 - Lifetime on heat exchanger.
- 15.2.6 Provide gravity flow PVC condensate drain lines. Condensate from systems ≥ 90% efficient must discharge inside the conditioned envelope (i.e. laundry sink or sump) to avoid freezing at an external outfall. Include an auxiliary safety drain pan beneath fan coil unit in attic. Pan to contain float switch to cut off unit upon accumulation of water in pan.
- 15.2.7 Floor register equal to Lima 40, Selkirk 310 or Hart & Cooley 411. Wall and ceiling registers to be Hart & Cooley 661 (use H&C 821 in throw applications). Return grilles to be Tuttle and Bailey T-70. Registers located in damp areas - notably bathrooms - shall be made of aluminum, not steel.
- 15.2.8 Ductwork to be galvanized steel fabricated and installed in conformance with ASHRAE GUIDE and ACCA Manual
- Elbows in trunk ducts to be square-throated, square-back with turn vanes. Round branch ducts to be connected to trunk ducts using square-to-round take-off fittings.
 - Maximum air velocity in the main duct and branches shall be 900 fpm and 600 fpm respectively.
 - All duct joints, seams, and connections are to be sealed to SMACNA Class A regardless of pressure class.
 - Total duct leakage shall be ≤ 8 cfm per 100 square feet with air handler installed.
 - Lining only as shown. Internal duct insulation/lining shall be NOT be used on any supply ductwork. All returns shall be lined though the second bend away from air handler unit.
 - Flexible pre-insulated branch ducts may be used in attic as shown. Use flexible duct connections to the air handler.
 - All ductwork in unconditioned spaces shall be insulated and sealed in foil-coated (to inhibit condensation) fiberglass blanket insulation (min R8).
 - Ductwork shall NOT be installed anywhere it would limit headroom below 6'-8" in occupied areas.
 - Oval duct shall be used only as necessitated by framing depths.
 - Building cavities shall not be used as ducts or plenums.
- 15.2.9 Refrigerant piping to follow routes to be determined at site.
- 15.2.10 HVAC piping carrying fluids > 105 degrees F or < 55 degrees F shall be insulated to R3 minimum. Provide UV resistant pipe protection at all exterior applications.
- 15.2.11 Include pre-fabricated foundation for outdoor unit(s).
- 15.2.12 Media type filters with static pressure drop higher than MERV 13 shall not be used.
- 15.3 Exhaust Fans. All exhaust fans and intakes shall have weatherized auto gravity dampers. All vents run through unconditioned space shall be insulated to min R5. Mechanical ventilation system fans shall meet the efficacy requirements of Table R403.6.1 or be certified to the most current version of ENERGY STAR.
- 15.3.1 Bath exhaust: Contractor shall install wall and ceiling mounted exhaust fans and vents per Division 16, and exterior louver in bathroom(s) per plans. Contractor shall be responsible for ducting through exterior wall and wiring as required. Provide Lutron Maestro timer switch per Division 16: Electrical.
- 15.3.2 Kitchen exhaust: install new kitchen exhaust and duct to exterior in accordance with manufacturers recommendations. Provide weatherized/dampened termination. Make-up air shall be provided for hoods ≥ 400 CFM. Provide 6 inch diameter outside air duct connected to return of HVAC unit closest to kitchen. Intake shall have a 6 inch wall cap with screen (no flap) with 6 inch automated damper initiated upon operation of the hood exhaust fan at any RPM. Provide low voltage 18/5 control wire interlock from damper to hood. Use induction/current sensing relay or pressure switch on hood monitor.
- 15.3.3 Dryer vent: Duct dryer vent to exterior with rigid flue.

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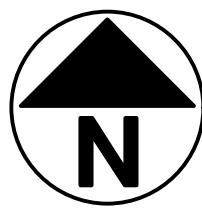
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Project # 2462

GARAGE
MECHANICAL PLANS
& SPECIFICATIONS
M102



28 APRIL 2025 - PERMIT SET

ELECTRICAL SYMBOLS

	TAMPER RESISTANT DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 15' A.F.F. - COORDINATE W/ PANEL & EQUIP.
	TAMPER RESISTANT GFI DUPLEX RECEPTACLE- 15/20 AMP EXTERNALLY MOUNTED WITH EXTRA DUTY OUTLET HOOD
	TAMPER RESISTANT DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 45' A.F.F. - COORDINATE W/ PANEL & EQUIP.
	TAMPER RESISTANT GFI OUTLET - 20 AMP @ 15' A.F.F.
	TAMPER RESISTANT GFI OUTLET - 20 AMP @ 45' A.F.F.
	HALF-SWITCH OUTLET - 20 AMP @ 15' A.F.F.
	QUAD RECEPTACLE 15/20 AMP @ 15' A.F.F. (U.N.O.)
	FLOOR MOUNTED DUPLEX RECEPTACLE W/ FLUSH DECORATIVE COVER
	JUNCTION BOX- SIZE AS REQUIRED
	DATA/TELEPHONE JACK - MOUNT @ 15' A.F.F. (U.N.O.)
	CABLE TV OUTLET
	DRYER OUTLET (ELECTRIC)
	EXISTING SMOKE DETECTOR - REPLACE/RELOCATE AS NECESSARY TO MEET CODE
	SMOKE / CARBON MONOXIDE DETECTOR - HARDWIRED INTERCONNECT PER CODE
	EXHAUST FAN

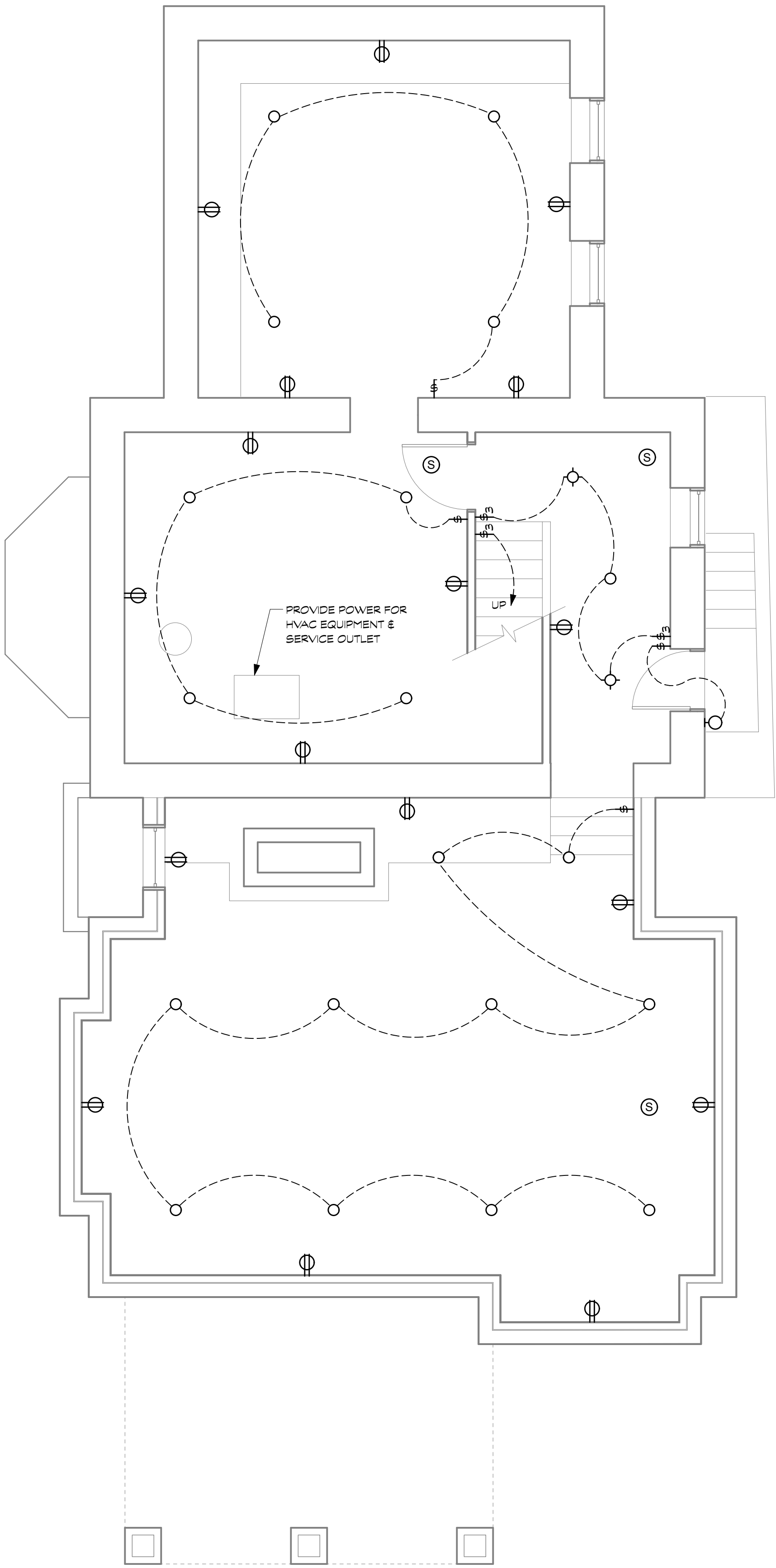
* ALL ELECTRICAL WORK SHALL COMPLY WITH NEC 2014

LIGHTING SYMBOLS

	SURFACE MOUNTED CEILING LIGHT FIXTURE
	FULLY RECESSED LED LIGHT
	SUSPENDED PENDANT FIXTURE
	PENDANT FIXTURE
	VANITY LIGHT
	WALL-MOUNTED LIGHT FIXTURE
	SCONCE FIXTURE
	CEILING FAN/LIGHT
	LED STRIP LIGHT
	SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	DIMMER THREE WAY SWITCH
	JAMB SWITCH
	SECURITY FLOODLIGHT ON MOTION DETECTOR

GENERAL NOTES:

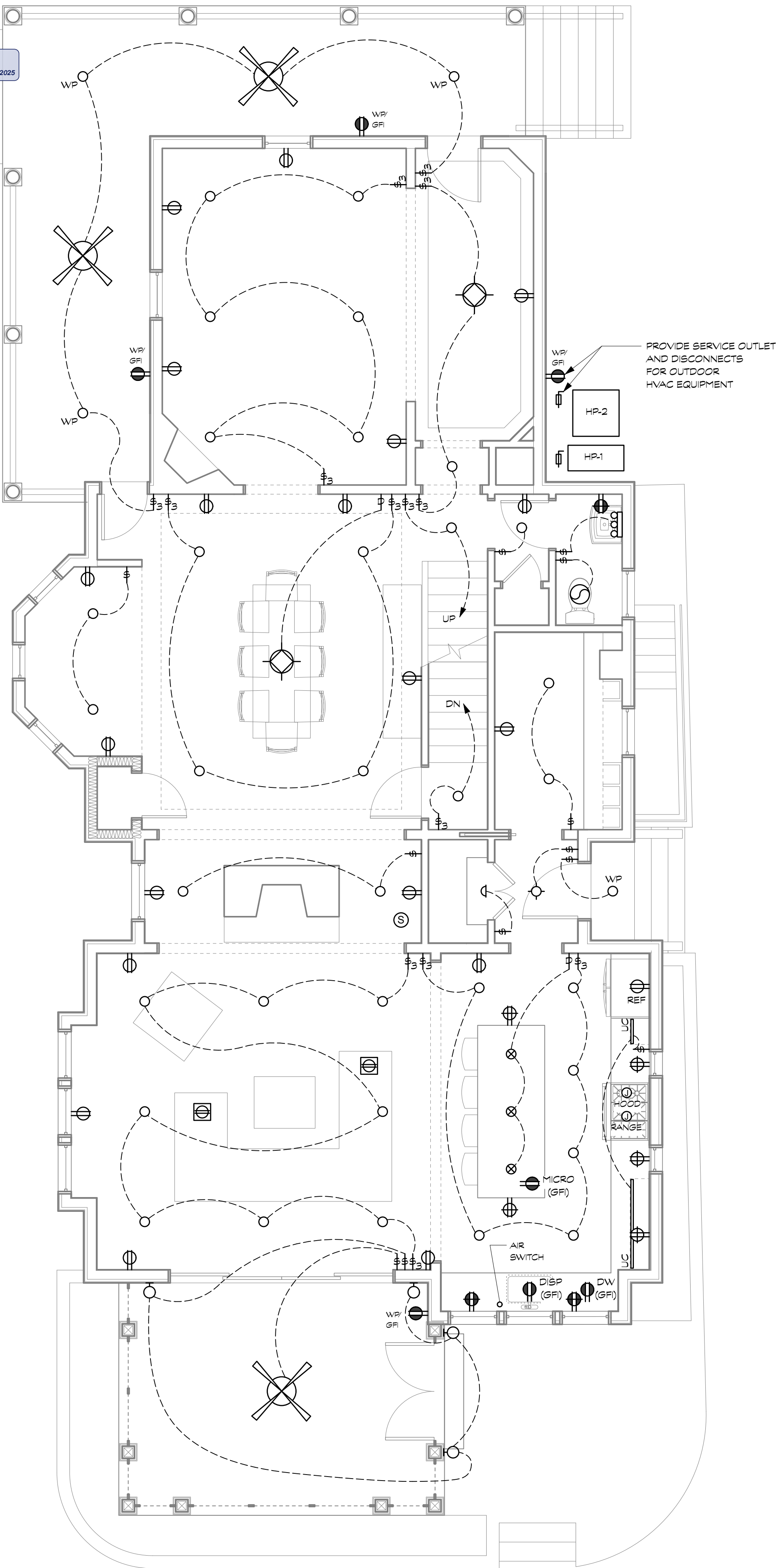
- PROVIDE I.C. HOUSING AS NECESSARY IN INSULATED CAVITIES
- PROVIDE TIMER SWITCHES AT ALL EXHAUST FANS
- 85% OF ALL LAMPS SHALL BE HIGH EFFICACY LAMPS
- PROVIDE TAMPER RESISTANT RECEPTACLES AT ALL LOCATIONS EXCEPT WHERE MOUNTED HIGHER THAN 5.5' ABOVE FLOOR OR IN SPACE DEVOTED TO A SPECIFIC APPLIANCE



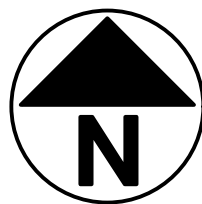
1 CELLAR ELECTRICAL PLAN
Scale: 1/4" = 1'-0"

REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025

APPROVED
Montgomery County
Historic Preservation Commission
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2 FIRST FLOOR ELECTRICAL PLAN
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WILLIAMS LANE RENOVATION
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Project # 2462

CELLAR & FIRST
FLOOR ELECTRICAL
PLANS
E100

28 APRIL 2025 - PERMIT SET

ELECTRICAL SYMBOLS

	TAMPER RESISTANT DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 18" AFF - COORDINATE W/ PANEL & EQUIP.
	TAMPER RESISTANT GFI DUPLEX RECEPTACLE - 15/20 AMP EXTERNALLY MOUNTED WITH EXTRA DUTY OUTLET HOOD
	TAMPER RESISTANT DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 45" AFF - COORDINATE W/ PANEL & EQUIP.
	TAMPER RESISTANT GFI OUTLET - 20 AMP @ 18" AFF.
	TAMPER RESISTANT GFI OUTLET - 20 AMP @ 45" AFF.
	HALF-SWITCH OUTLET - 20 AMP @ 18" AFF.
	QUAD RECEPTACLE 15/20 AMP @ 18" AFF (U.N.O.)
	FLOOR MOUNTED DUPLEX RECEPTACLE W/ FLUSH DECORATIVE COVER
	JUNCTION BOX - SIZE AS REQUIRED
	DATA/TELEPHONE JACK - MOUNT @ 18" AFF (U.N.O.)
	CABLE TV OUTLET
	DRYER OUTLET (ELECTRIC)
	EXISTING SMOKE DETECTOR - REPLACE/RELOCATE AS NECESSARY TO MEET CODE
	SMOKE / CARBON MONOXIDE DETECTOR - HARDWIRED INTERCONNECT PER CODE
	EXHAUST FAN

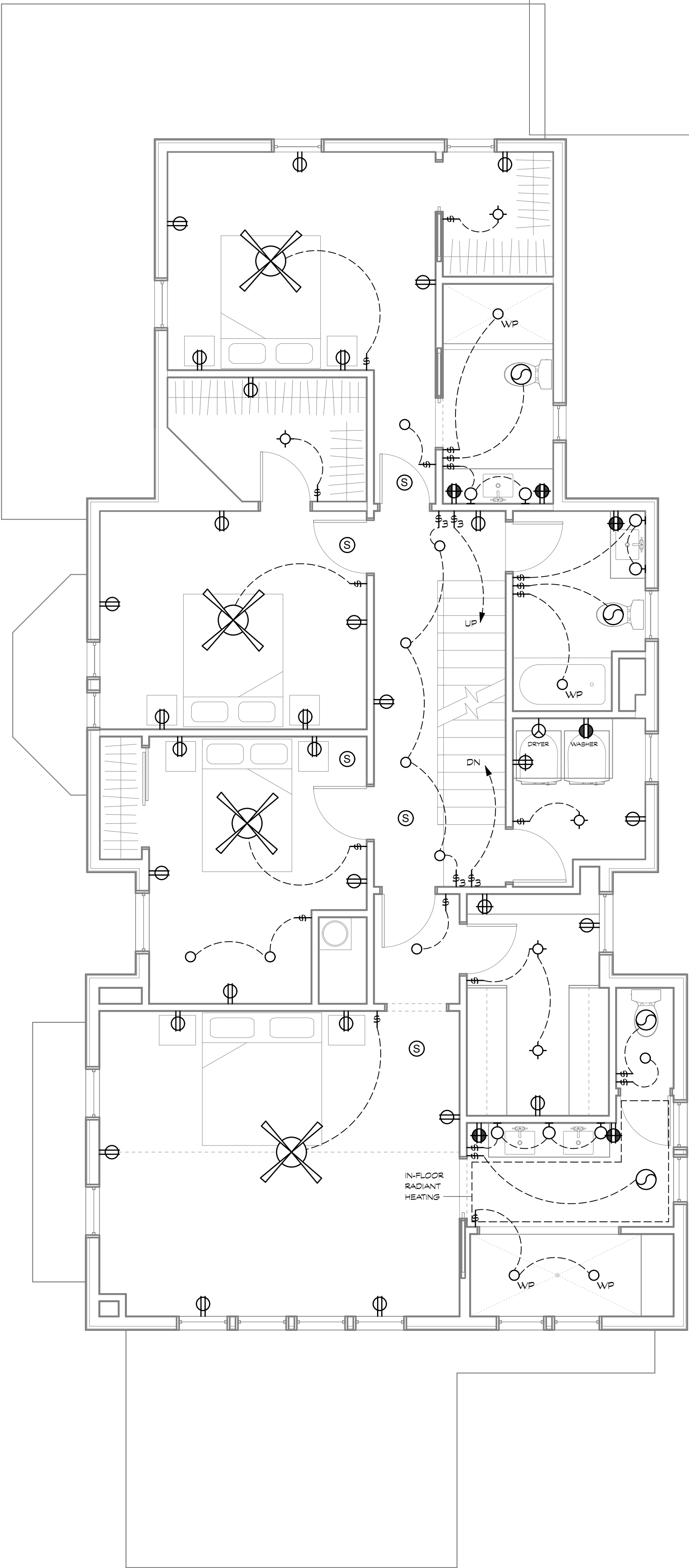
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LIGHTING SYMBOLS

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	SUSPENDED PENDANT FIXTURE
	PENDANT FIXTURE
	VANITY LIGHT
	WALL-MOUNTED LIGHT FIXTURE
	SCONCE FIXTURE
	CEILING FAN/LIGHT
	LED STRIP LIGHT
	SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	DIMMER THREE WAY SWITCH
	JAMB SWITCH
	SECURITY FLOODLIGHT ON MOTION DETECTOR

GENERAL NOTES:

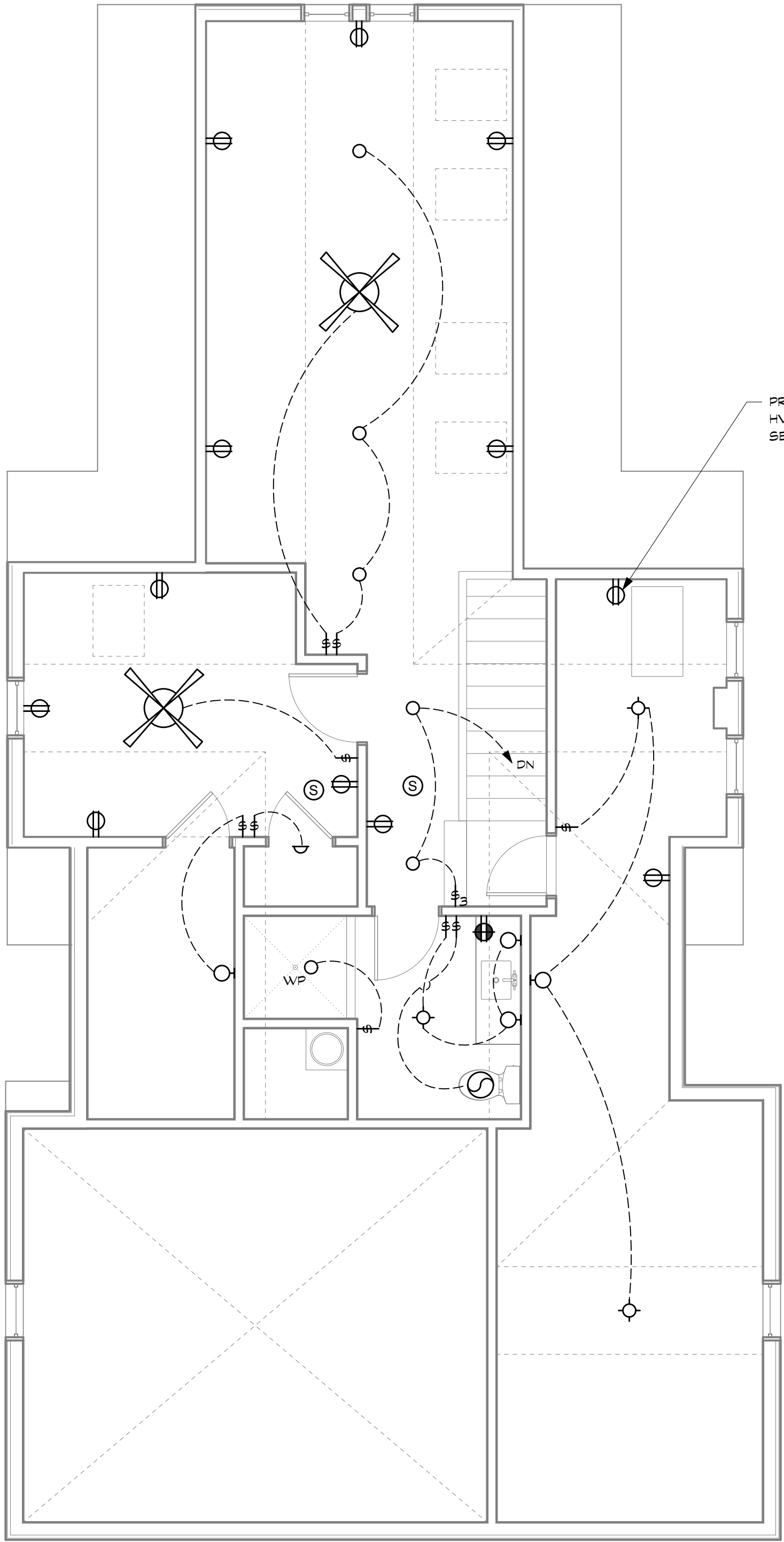
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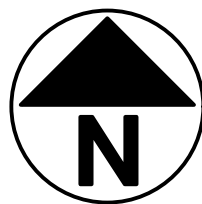
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2 ATTIC ELECTRICAL PLAN
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SECOND FLOOR &
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PLANS
E101

28 APRIL 2025 - PERMIT SET

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	TAMPER RESISTANT DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 45' A.F.F. - COORDINATE W/ PANEL & EQUIP.
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	DRYER OUTLET (ELECTRIC)
	EXISTING SMOKE DETECTOR - REPLACE/RELOCATE AS NECESSARY TO MEET CODE
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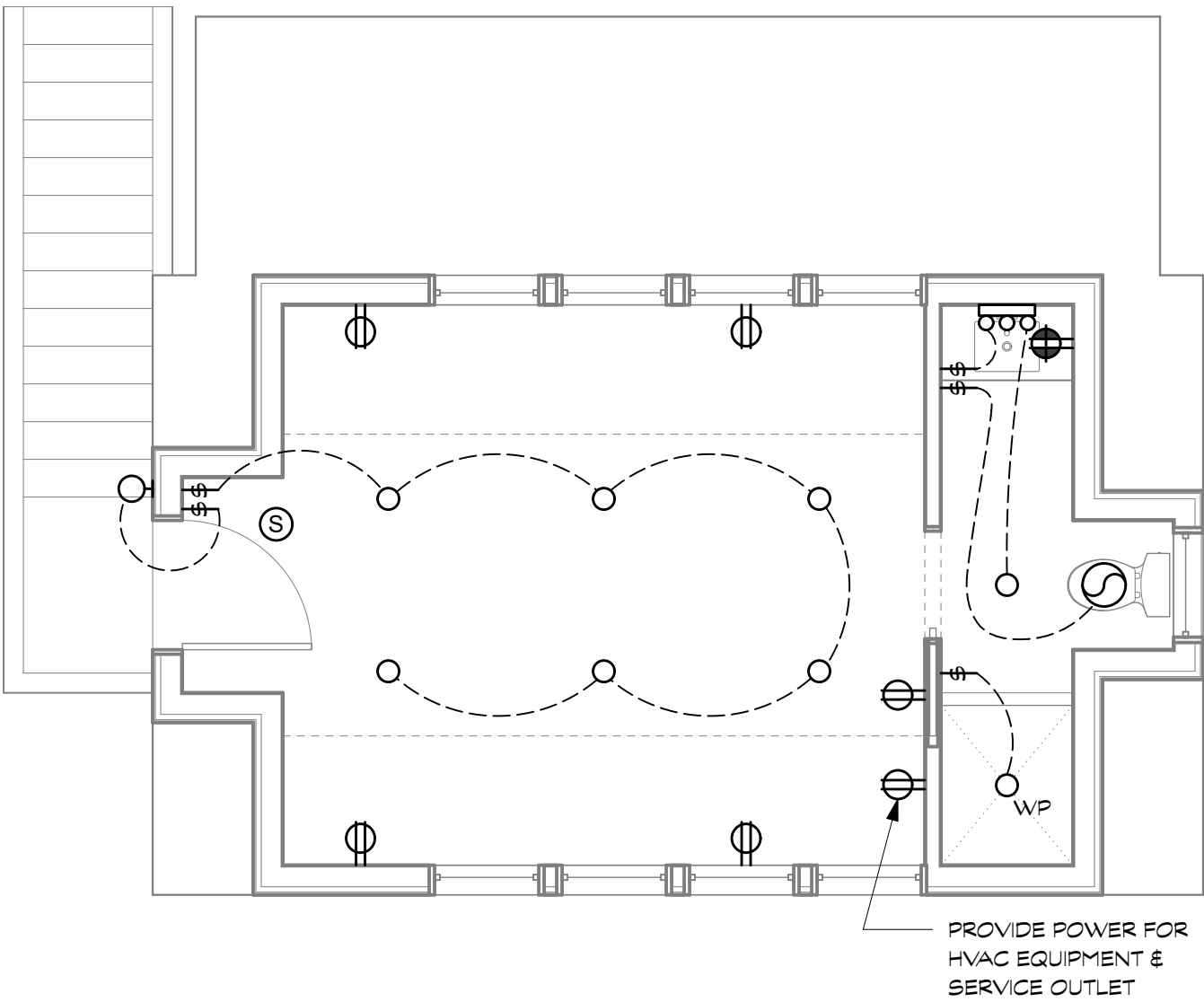
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LIGHTING SYMBOLS

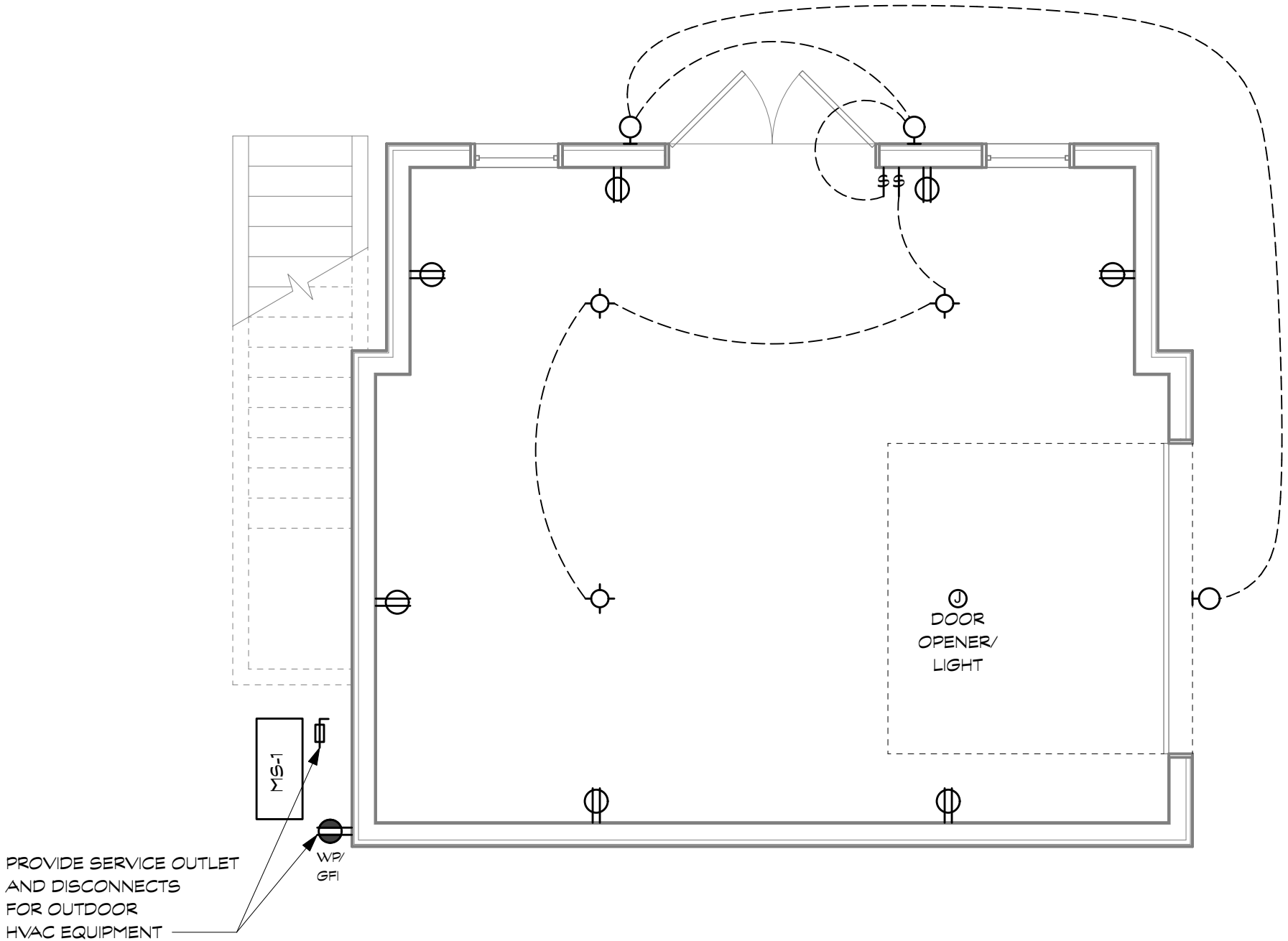
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- PROVIDE TIMER SWITCHES AT ALL EXHAUST FANS
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2 GARAGE ELECTRICAL PLAN - LOFT
Scale: 1/4" = 1'-0"



1 GARAGE ELECTRICAL PLAN - GROUND FLOOR
Scale: 1/4" = 1'-0"

REVIEWED
By Laura DiPasquale at 1:02 pm, May 20, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen B. Smith

SPECIFICATIONS (CONTINUED FROM SP100)

DIVISION 16: ELECTRICAL

- 16.1 Electrical service: Existing electric service shall be reviewed by Contractor and Electrical subcontractor. Provide new service, subpanel and/or additional breakers as necessary to accommodate new work, equipment, systems and appliances. Provide ground fault circuit interrupt breakers at panels as required for all outlets requiring GFCI safety cutoff where indicated and where otherwise required. Label all new circuits at the panel.
- 16.2 Receptacles and Switches: Contractor shall provide wall switches, dimmer switches, and wall plates, etc. in areas of new work in conformance with NEC and local code. Contractor shall provide and install all specialty and appliance receptacles and switches.
- Style: Decora style as manufactured by Lutron.
 - Typical single pole rocker switch shall be Lutron model CA-1PS-WH.
 - Three way rocker switch shall be Lutron model CA-3PS-WH.
 - Dimmer switch shall be Lutron model LUT DVCL-153P-WH (wattage rating requirement should be coordinated with fixtures).
 - Representative duplex receptacle style shall be Lutron model CAR-15/20-SW (coordinate amperage with equipment/circuit).
 - Timer switch for exhaust fans shall be Maestro model MA-T51-WH.
 - Color: All devices and cover plates shall be white, unless noted otherwise.
 - Consistency: Provide new switches and outlets at all new and existing devices through out the house.
 - Plates: use standard, not enlarged wall plates, in finish to match devices.
- 16.3 Provide ground fault interrupt devices where indicated and where otherwise required by code. Provide arc fault devices in all habitable spaces where ground fault are not otherwise provided.
- 16.4 Lighting: Owner to provide, Contractor to install. See drawings for locations. Coordinate mounting heights with Architect. Provide housings rated for insulation contact in all insulated ceiling cavities (housings shall be labeled to indicate <2.0 CFM leakage at 75 Pa.). Seal at housing / interior finish. Submit all recessed fixtures for review and approval prior to rough wiring. 85% of lamps in permanent fixtures or 85% of permanent fixtures shall use high efficiency lamps.
- 16.5 Bath exhausts: Owner to provide, Contractor to install. All exhaust fans shall be Energy Star rated.
- Powder room: Ceiling mounted, 0.5 sones, 50 CFM with 4 inch dia duct.
 - Master bath: Ceiling mounted, 1.0 sones, 110 CFM with 4 inch dia duct.
 - Basement, hall and attic baths: Ceiling mounted, 1.0 sones, 100 CFM with 4" round duct.
- 16.6 Smoke/Fire protection: Smoke/Carbon Monoxide detectors shall be installed in each sleeping room, outside of each separate sleeping area in the immediate vicinity of the bedrooms and on each additional story of the dwelling, including basements and cellars. Provide 10-year lithium ion battery or hardwired with battery back-up. All detectors shall be approved and listed and shall be installed in accordance with the manufacturer's instructions.
- 16.7 Cable TV / Data: Provide Category 5E, 4 pair wiring at each jack as shown on drawings. Contractor shall provide jacks and install for data. Each jack shall be homerun to the service panel.
- 16.8 Door Bell/Chime: Contractor shall install new door bell button at the new front door, hardwired to power and an internal chime. Coordinate locations with Owner for final approval.

BENNETT FRANK MCCARTHY
architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

DATE	ISSUE - REMARKS
3/26/25	HAMP PERMIT SET
4/28/25	PERMIT SET
	DS

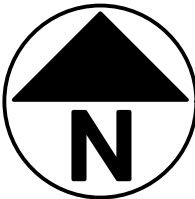
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: 15218 EXPIRATION DATE: 10/31/2025

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WILLIAMS LANE RENOVATION
3806 Williams Lane, Chevy Chase, MD 20815
Project # 2462

GARAGE
ELECTRICAL PLANS
& SPECIFICATIONS
E102

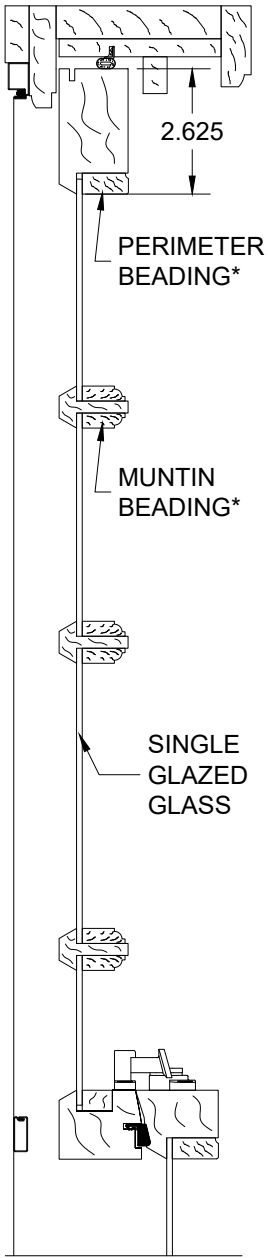
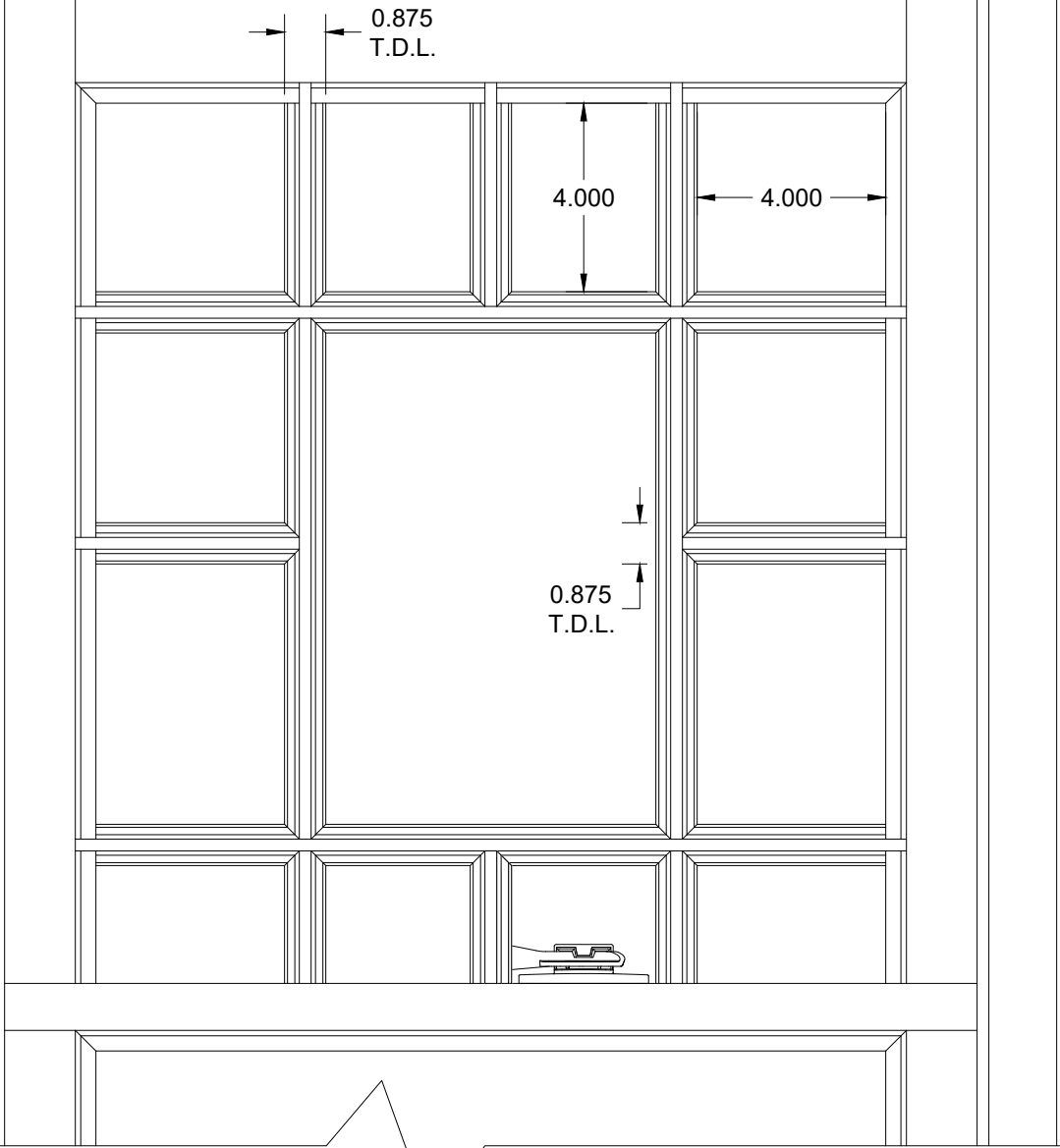


28 APRIL 2025 - PERMIT SET

APPROVED
Montgomery County
Historic Preservation Commission
Karen Buelit

INTERIOR VIEW

INTERIOR
TRIM



*PERIMETER AND MUNTIN BEADING
ONLY REQUIRED FOR $\frac{7}{8}$ " T.D.L.

1-1/2" T.D.L. USES ONLY THE
MUNTIN BEADING PROFILE
AT BOTH LOCATIONS*

SCREEN SHIPPED LOOSE
CUSTOM T.D.L. PRAIRIE
4" SILL EARS
4" BOTTOM RAIL
1-3/4" HISTORIC SILL
SINGLE LOCK APPLIED
SINGLE-PANE GLASS
SINGLE-PANE CHECK RAIL FILLER
OFFSET LOCK POSITION
ALL WOOD / NO cPVC

QUOTE #: 338940
LINE #: 1
QTY: 2

MY SIGNATURE BELOW INDICATES MY APPROVAL
OF DESIGN AND DIMENSIONS AS SHOWN.
I AUTHORIZE PRODUCTION OF SAME.

CUSTOMER: _____

BY: _____

DATE: _____

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DESCRIPTION:

T.D.L. EW300 INTERIOR DETAIL

CUSTOMER:

QUALITY WINDOW & DOOR

SIZE: A

SCALE:

3" = 1'-0"

PROJECT:

WILLIAMS LN.

DRAWN BY:

A.F.

DATE:

5.8.25

DWG #:

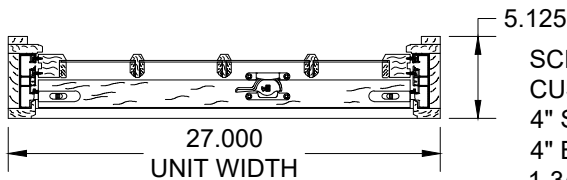
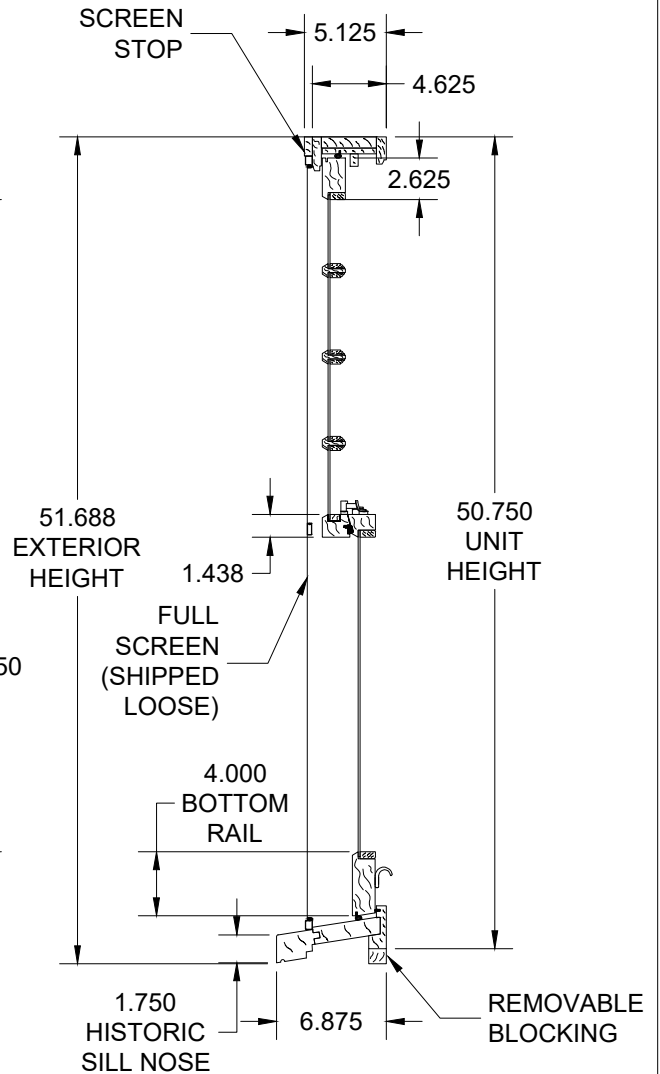
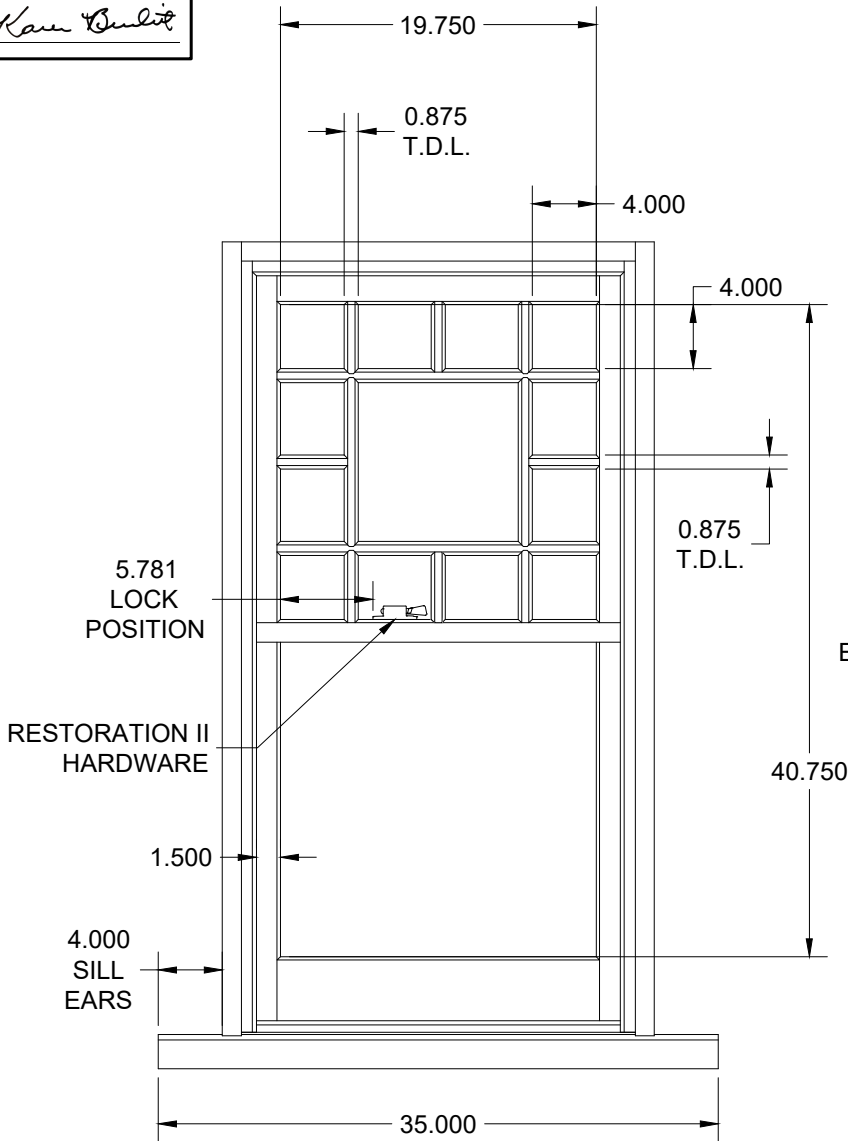
A-4033-01

REVIEWED

By Laura DiPasquale at 1:05 pm, May 20, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Karen B. Smith



SCREEN SHIPPED LOOSE
CUSTOM T.D.L. PRAIRIE
4" SILL EARS
4" BOTTOM RAIL
1-3/4" HISTORIC SILL
SINGLE LOCK APPLIED
SINGLE-PANE GLASS
SINGLE-PANE CHECK RAIL FILLER
OFFSET LOCK POSITION
ALL WOOD / NO cPVC

R2, R3

MY SIGNATURE BELOW INDICATES MY APPROVAL
OF DESIGN AND DIMENSIONS AS SHOWN.
I AUTHORIZE PRODUCTION OF SAME.

CUSTOMER: _____

BY: _____

DATE: _____

QUOTE #: 338940
LINE #: 1
QTY: 2

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TRIMLINE
CUSTOM WINDOWS
50 LOUISE DRIVE
IVYLAND, PENNSYLVANIA 18974

DESCRIPTION:

T.D.L. EW300 WITH 4" BOTTOM RAIL

CUSTOMER:

QUALITY WINDOW & DOOR

SIZE: A

SCALE:

1" = 1'-0"

PROJECT:

WILLIAMS LN.

DRAWN BY:

A.F.

DATE:

5.14.25

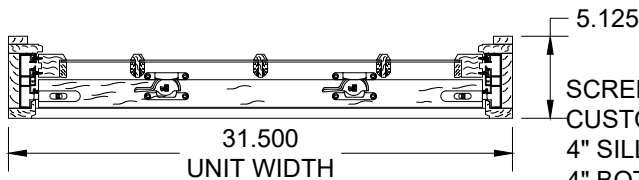
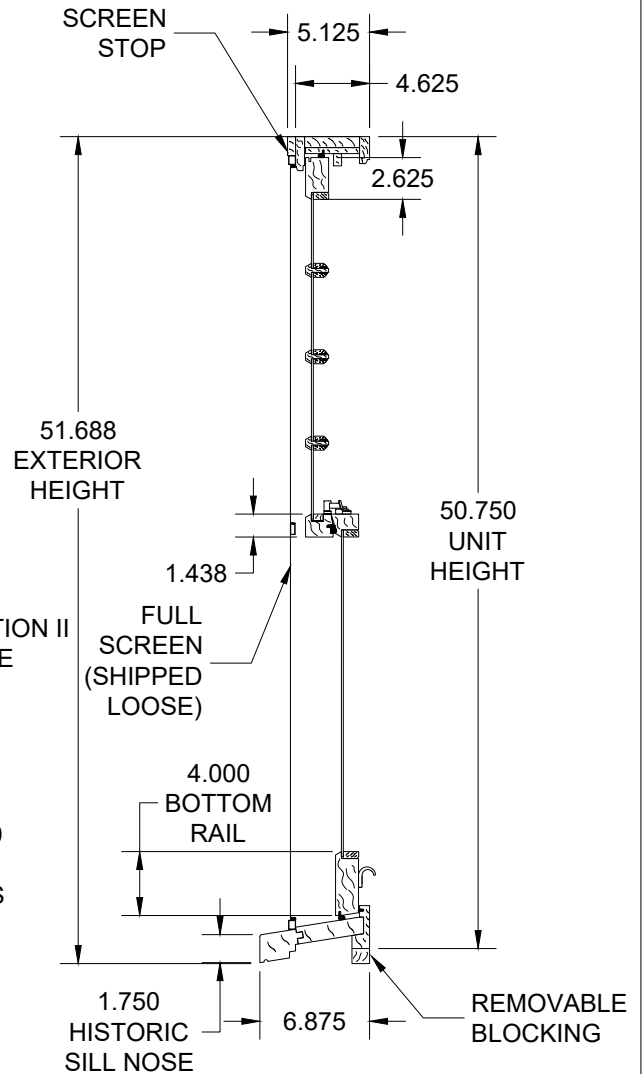
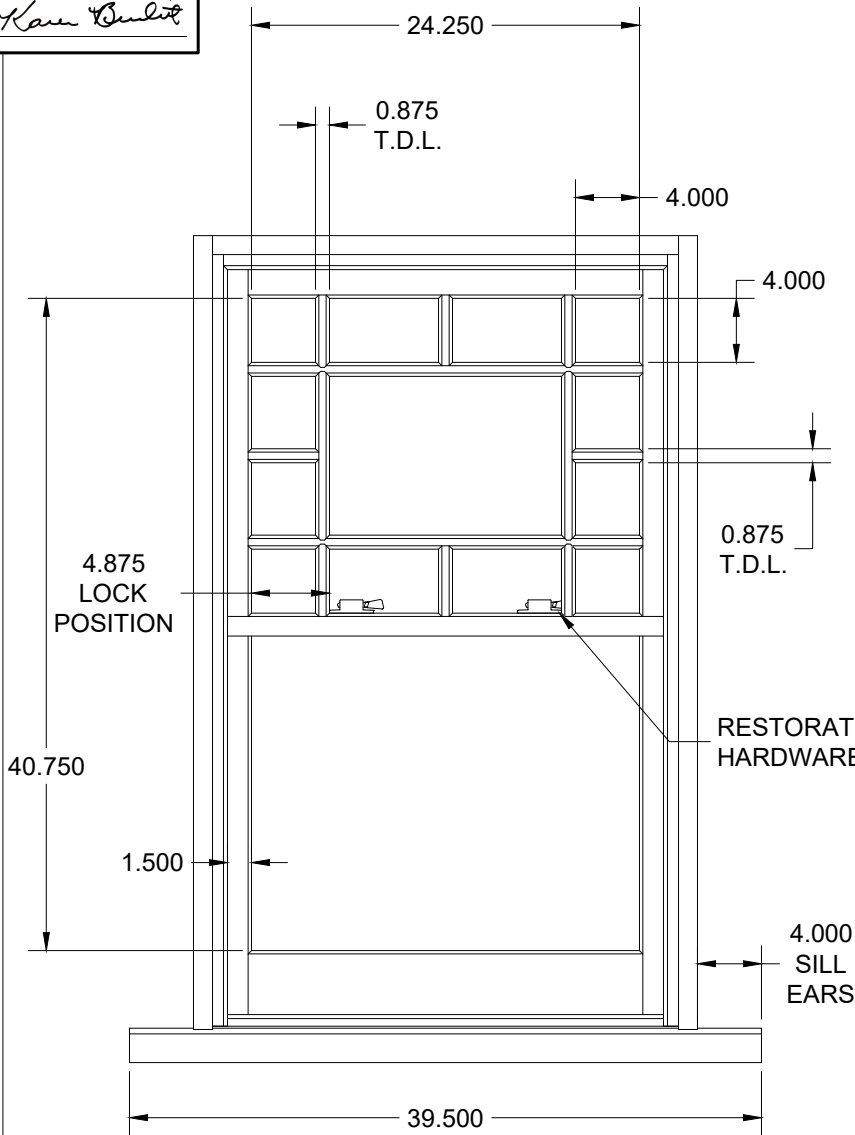
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Karen B. Smith



QUOTE #: 338940
LINE #: 2
QTY: 1

SCREEN SHIPPED LOOSE
CUSTOM T.D.L. PRAIRIE
4" SILL EARS
4" BOTTOM RAIL
1-3/4" HISTORIC SILL
SINGLE-PANE GLASS
SINGLE-PANE CHECK RAIL FILLER
OFFSET LOCK POSITION
ALL WOOD / NO cPVC

R1

MY SIGNATURE BELOW INDICATES MY APPROVAL
OF DESIGN AND DIMENSIONS AS SHOWN.
I AUTHORIZE PRODUCTION OF SAME.

CUSTOMER: _____

BY: _____

DATE: _____

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TRIMLINE
CUSTOM WINDOWS
50 LOUISE DRIVE
IVYLAND, PENNSYLVANIA 18974

DESCRIPTION:

T.D.L. EW300 WITH 2.625" BOTTOM RAIL

CUSTOMER:

QUALITY WINDOW & DOOR

SIZE: A

SCALE:

1" = 1'-0"

PROJECT:

WILLIAMS LN.

DRAWN BY:

A.F.

DATE:

5.15.25

DWG #:

A-4033-B

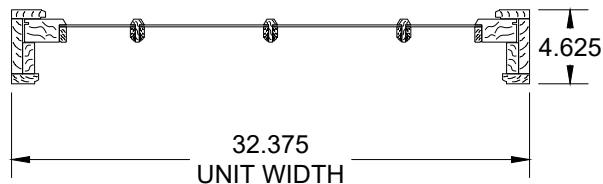
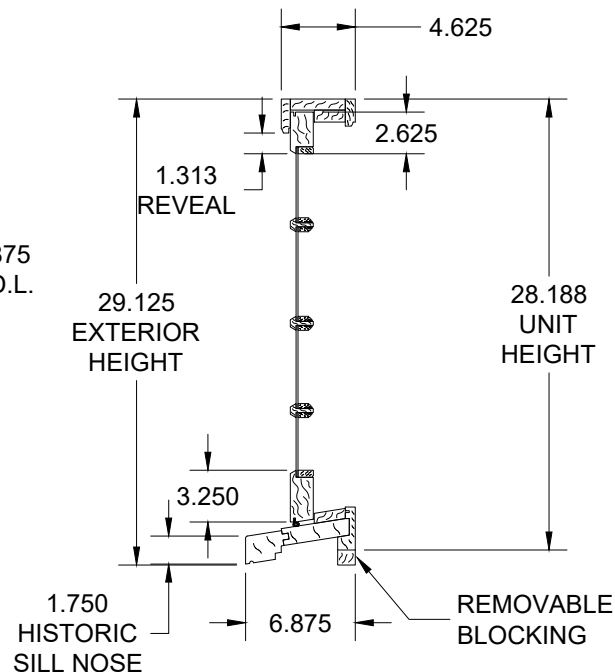
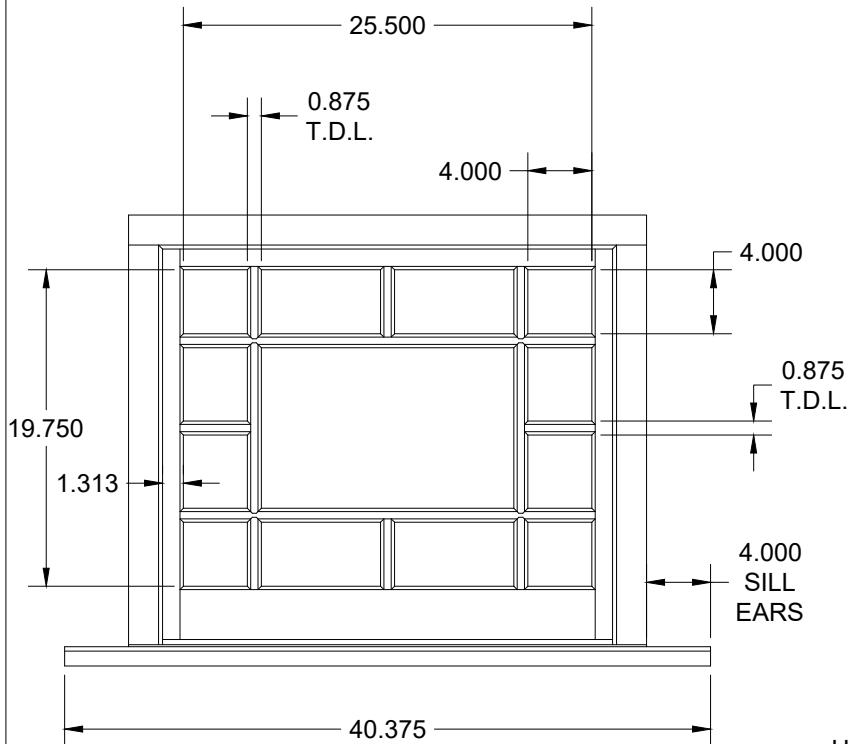
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Historic Preservation Commission

Karen B. Smith



R4, R5

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CUSTOMER: _____

BY: _____

DATE: _____

QUOTE #: 338940
LINE #: 3
QTY: 2

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CUSTOM T.D.L. PRAIRIE
4" SILL EARS
1-3/4" HISTORIC SILL
SINGLE-PANE GLASS
ALL WOOD / NO cPVC

DESCRIPTION:

T.D.L. EPW300 NO BRICKMOULD

CUSTOMER:

QUALITY WINDOW & DOOR

SIZE: A

SCALE:

1" = 1'-0"

PROJECT:

WILLIAMS LN.

DRAWN BY:

A.F.

DATE:

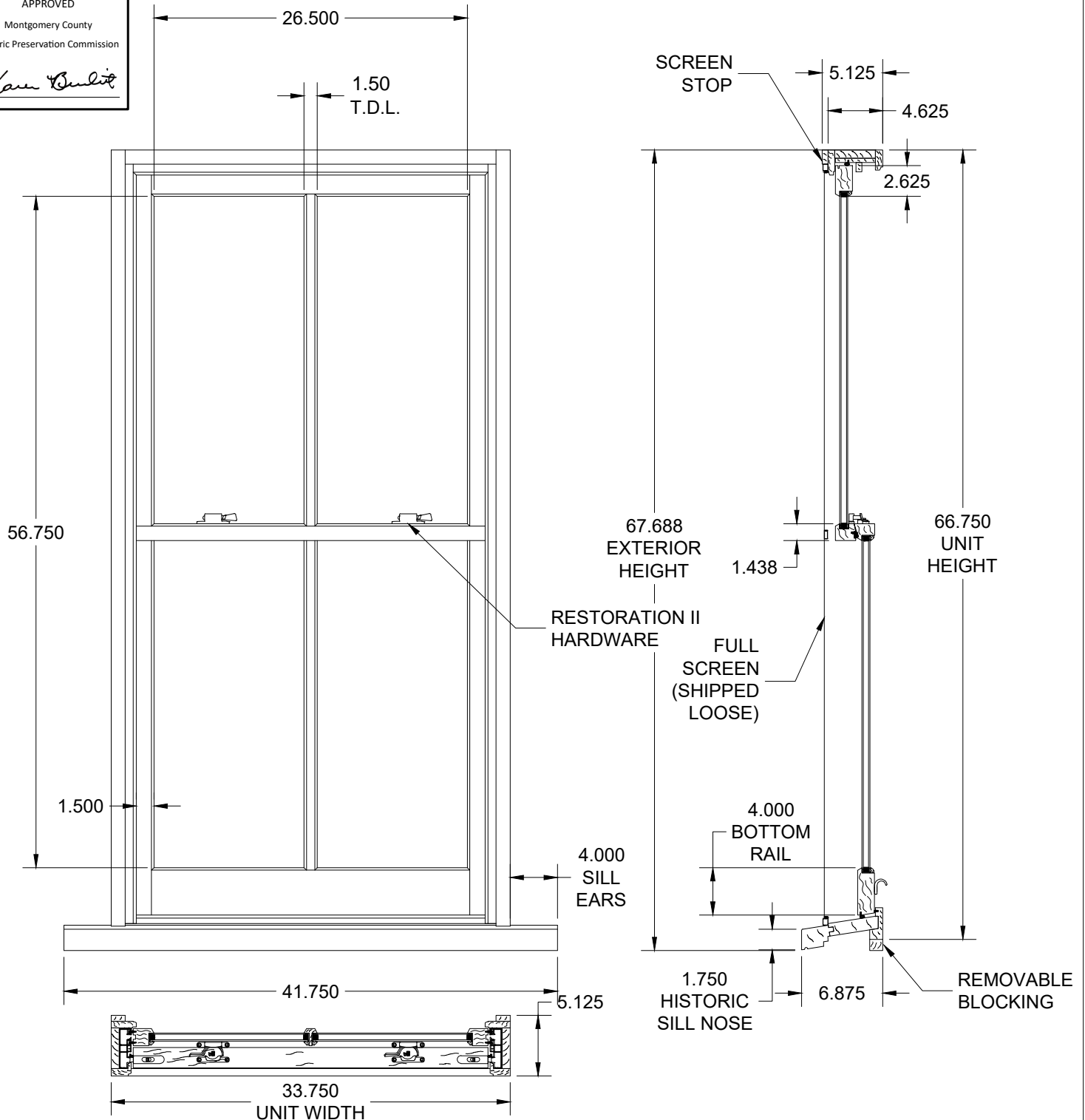
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Historic Preservation Commission*Karen B. Smith*

R8-R12

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CUSTOMER: _____

BY: _____

DATE: _____

QUOTE #: 338940
LINE #: 4
QTY: 5THE INFORMATION CONTAINED IN THIS DRAWING IS THE
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PROHIBITED.**TRIMLINE**
CUSTOM WINDOWS
50 LOUISE DRIVE
IVYLAND, PENNSYLVANIA 18974SCREEN SHIPPED LOOSE
4" SILL EARS
4" BOTTOM RAIL
1-3/4" HISTORIC SILL
ALL WOOD / NO cPVC

DESCRIPTION:

T.D.L. EW300 WITH 4" BOTTOM RAIL

CUSTOMER:

QUALITY WINDOW & DOOR

SIZE: A

SCALE:

1" = 1'-0"

PROJECT:

WILLIAMS LN.

DRAWN BY:

A.F.

DATE:

5.14.25

DWG #:

A-4033-D

By Laura DiPasquale at 1:05 pm, May 20, 2025

Karen Buntit

A-4033-E

REVIEWED

By Laura DiPasquale at 1:05 pm, May 20, 2025

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Montgomery County
Historic Preservation Commission

Karen B. Smith

64.750

19.500

1.500

34.750

4.000
SILL
EARS

5.125

26.750
UNIT WIDTH

RESTORATION II
HARDWARE

SCREEN
STOP

5.125

4.625

2.625

1.813
REVEAL

74.750
UNIT
HEIGHT

75.688
EXTERIOR
HEIGHT

1.438

FULL
SCREEN
(SHIPPED
LOOSE)

4.000
BOTTOM
RAIL

1.750
HISTORIC
SILL

6.875

REMOVABLE
BLOCKING

R16-R18

MY SIGNATURE BELOW INDICATES MY APPROVAL
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CUSTOMER: _____

BY: _____

DATE: _____

QUOTE #: 338940
LINE #: 6
QTY: 3

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 **TRIMLINE**
CUSTOM WINDOWS
50 LOUISE DRIVE
IVYLAND, PENNSYLVANIA 18974

SCREEN SHIPPED LOOSE
4" SILL EARS
4" BOTTOM RAIL
1-3/4" HISTORIC SILL
SINGLE LOCK APPLIED
ALL WOOD / NO cPVC

DESCRIPTION:

EW300 WITH 4" BOTTOM RAIL

CUSTOMER:

QUALITY WINDOW & DOOR

SIZE: A

SCALE:

1" = 1'-0"

PROJECT:

WILLIAMS LN.

DRAWN BY:

A.F.

DATE:

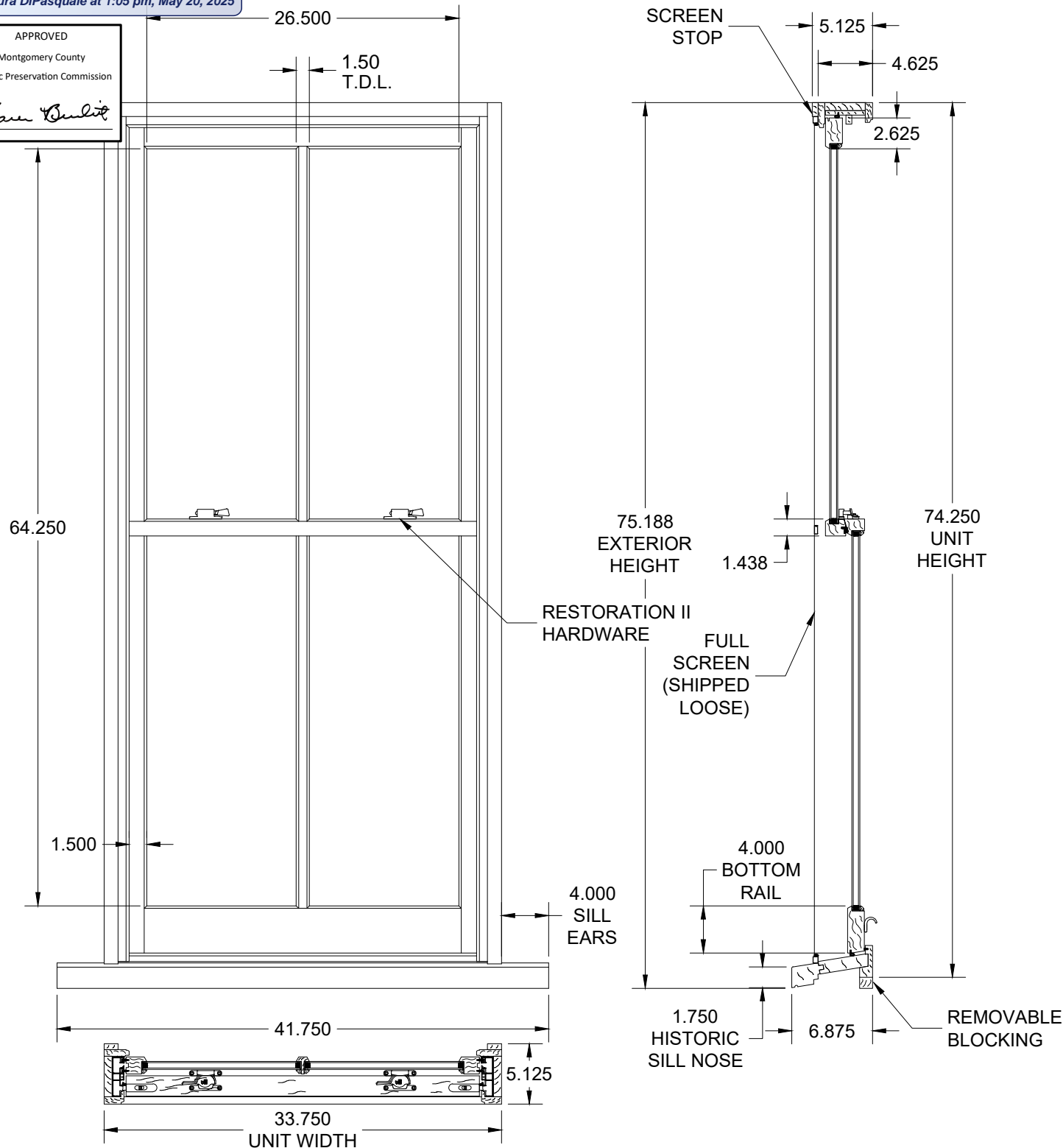
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Karen Buntz



DATE: _____

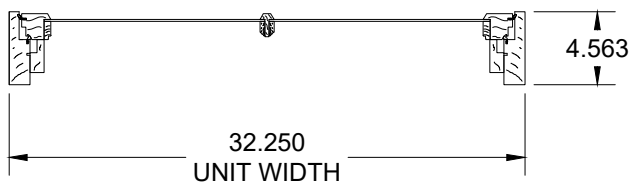
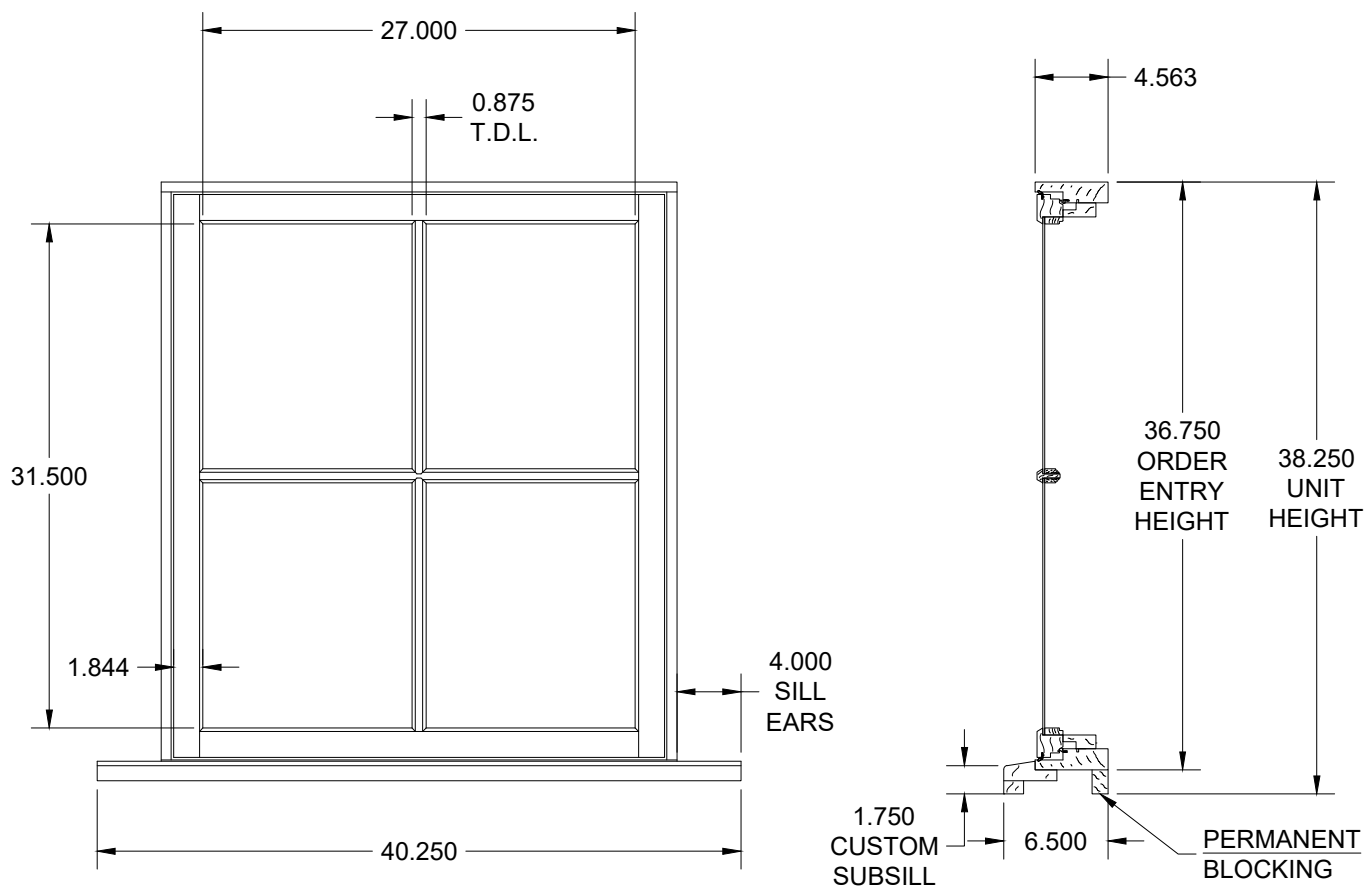


TRIMLINE
CUSTOM WINDOWS
50 LOUISE DRIVE
IVYLAND, PENNSYLVANIA 18974

A-4033-G

By Laura DiPasquale at 1:05 pm, May 20, 2025

Karen Benoit



CUSTOM T.D.L. GRILLE
4" SILL EARS
1-3/4" HISTORIC SILL
SINGLE-PANE GLASS
ALL WOOD / NO cPVC

R21, R22

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CUSTOMER:

BY: _____

DATE: _____

QUOTE #: 338940
LINE #: 8
QTY: 2

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TRIMLINE
CUSTOM WINDOWS

50 LOUISE DRIVE
IVYLAND, PENNSYLVANIA 18974

DESCRIPTION:

T.D.L. LCP4000 NO BRICKMOULD

CUSTOMER:	
-----------	--

QUALITY WINDOW & DOOR

SIZE: A

SCALE: 1" = 1'-0"

PROJECT:

WILLIAMS LN.

DRAWN BY:

A.F.

DATE: 5.14.25

DWG #:

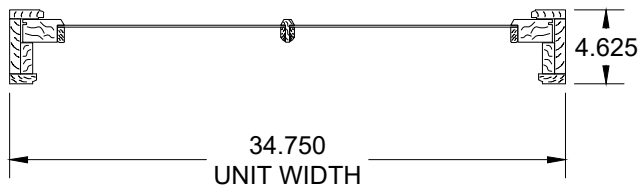
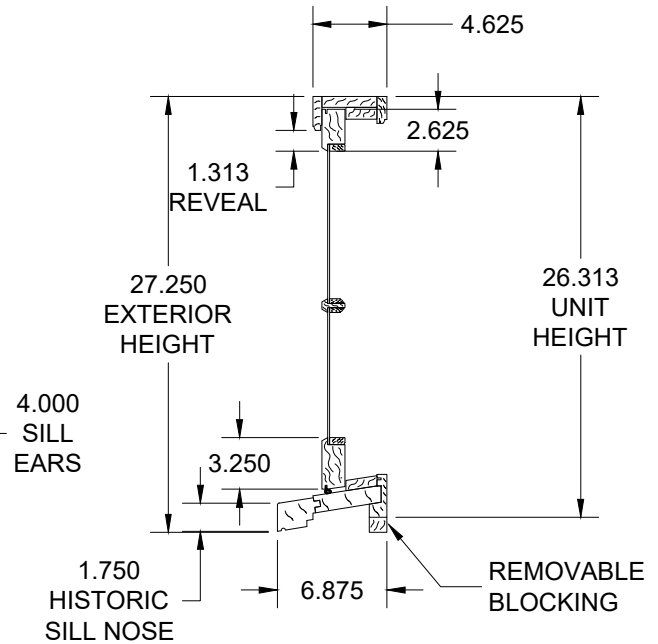
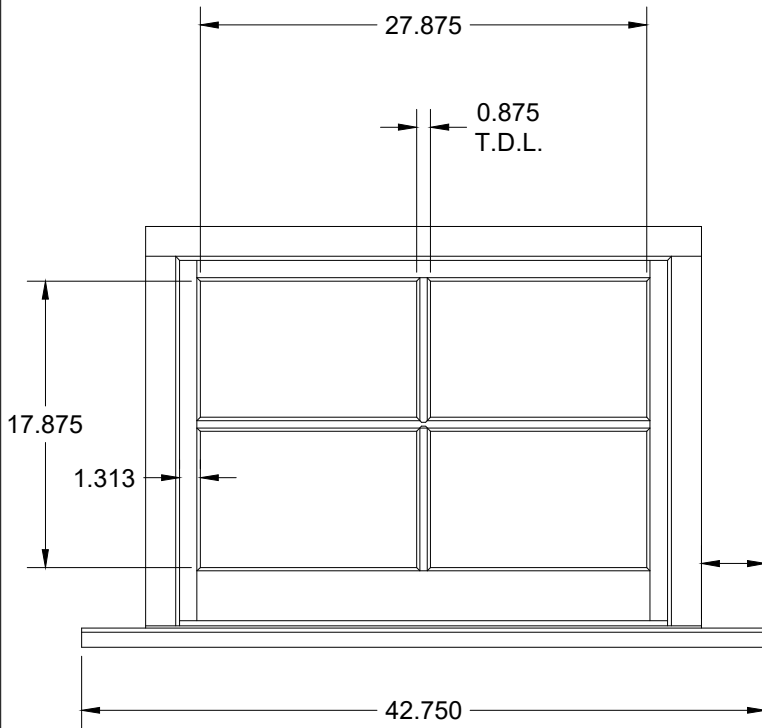
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Montgomery County
Historic Preservation Commission

Karen Boudit



R23

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CUSTOMER: _____

BY: _____

DATE: _____

QUOTE #: 338940
LINE #: 9
QTY: 1

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CUSTOM T.D.L. GRILLE
4" SILL EARS
1-3/4" HISTORIC SILL
SINGLE-PANE GLASS
ALL WOOD / NO cPVC

DESCRIPTION:

T.D.L. EPW300 NO BRICKMOULD

CUSTOMER:

QUALITY WINDOW & DOOR

SIZE: A

SCALE:

1" = 1'-0"

PROJECT:

WILLIAMS LN.

DRAWN BY:

A.F.

DATE:

5.14.25

DWG #:

A-4033-I

REVIEWED

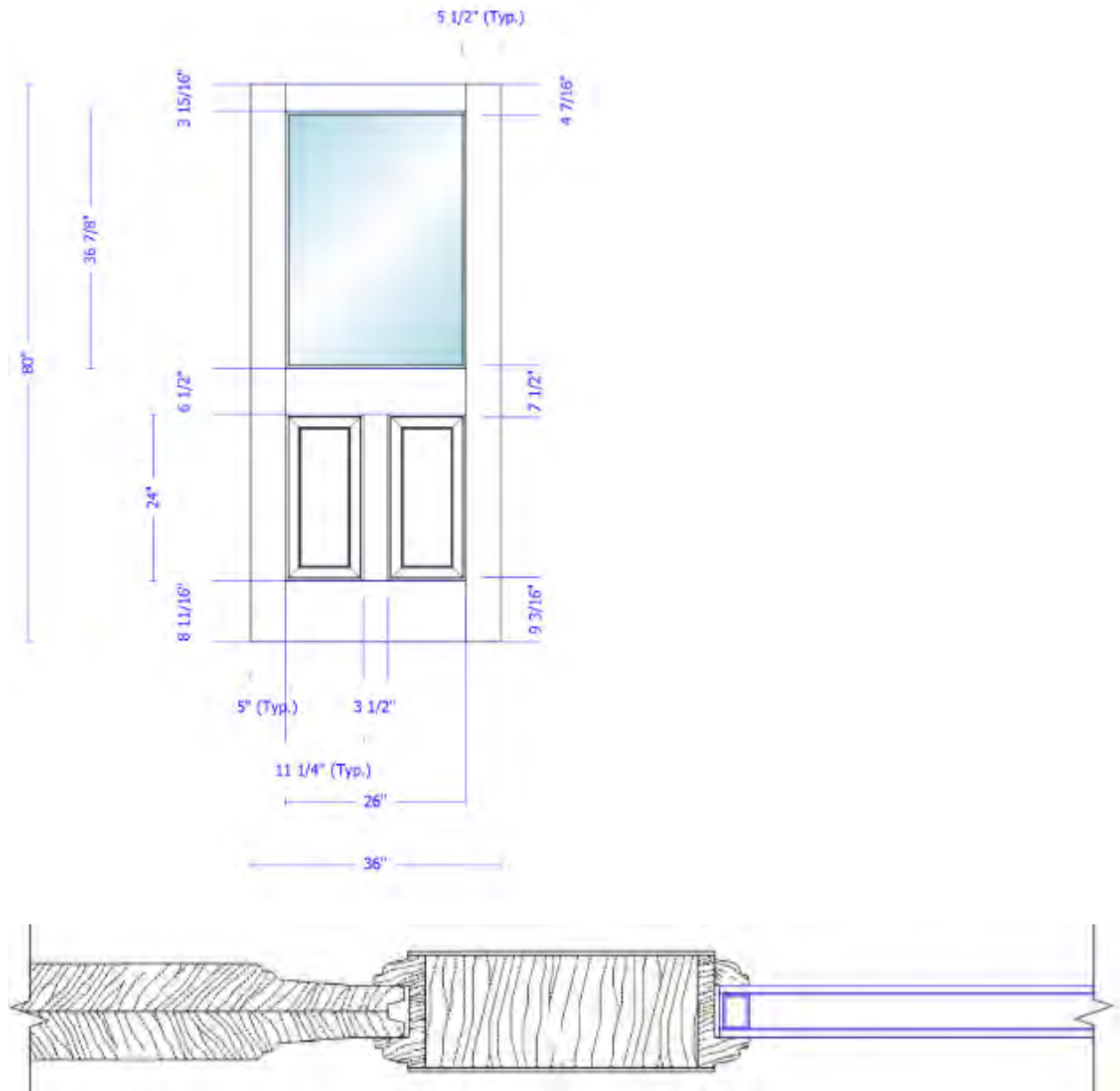
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Historic Preservation Commission

Karen Ouellet

Exterior Doors For Burlington / 3806 Williams Ln

Front Door:



Technical drawing of a window assembly showing dimensions and component layout. The drawing includes a side elevation and a top view.

Side Elevation Dimensions:

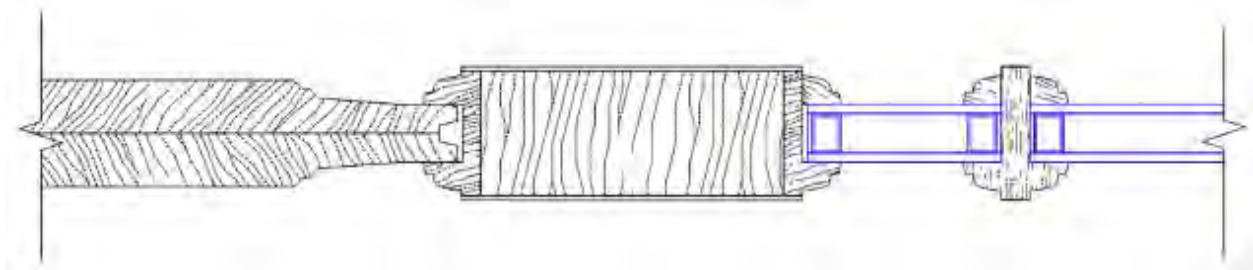
- Overall height: 76"
- Top section height: 32 7/8"
- Section height: 8 11/16"
- Section height: 7 1/2" (Typ.)
- Section height: 2 1/4" (Typ.)
- Section height: 3 1/2"
- Section height: 3 15/16"
- Section height: 16 1/4" (Typ.)
- Section height: 3/8"
- Section height: 4 1/2" (Typ.)
- Section height: 9 3/16"

Top View Dimensions:

- Overall width: 28"
- Section width: 4" (Typ.)
- Section width: 20"

Component Layout:

- The window assembly consists of three rectangular units arranged horizontally.
- The top section features four rectangular units arranged in a 2x2 grid.
- The middle section features three rectangular units arranged horizontally.
- The bottom section features three rectangular units arranged horizontally.



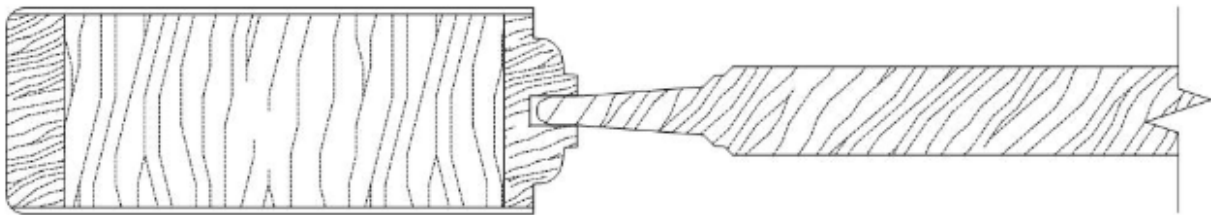
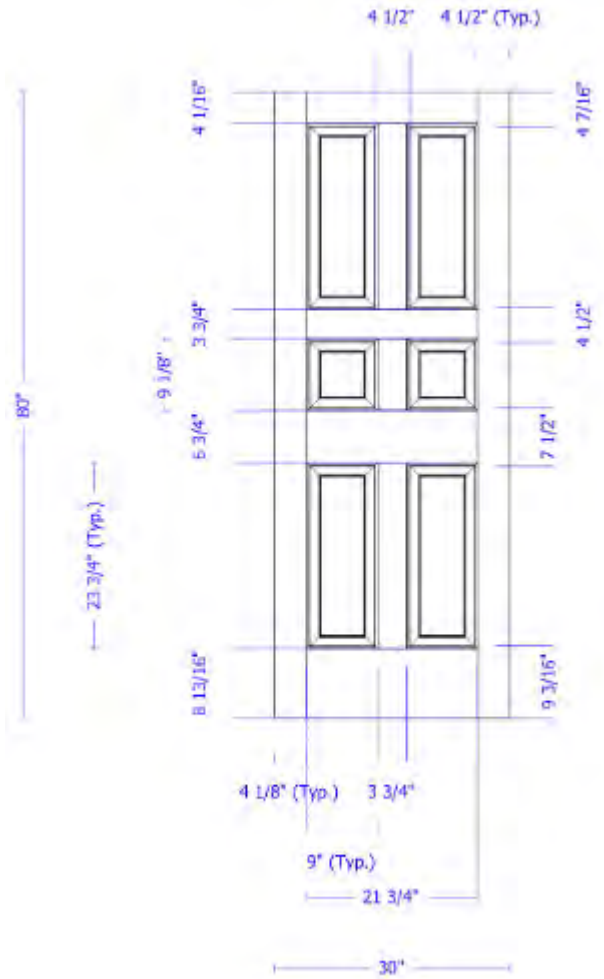
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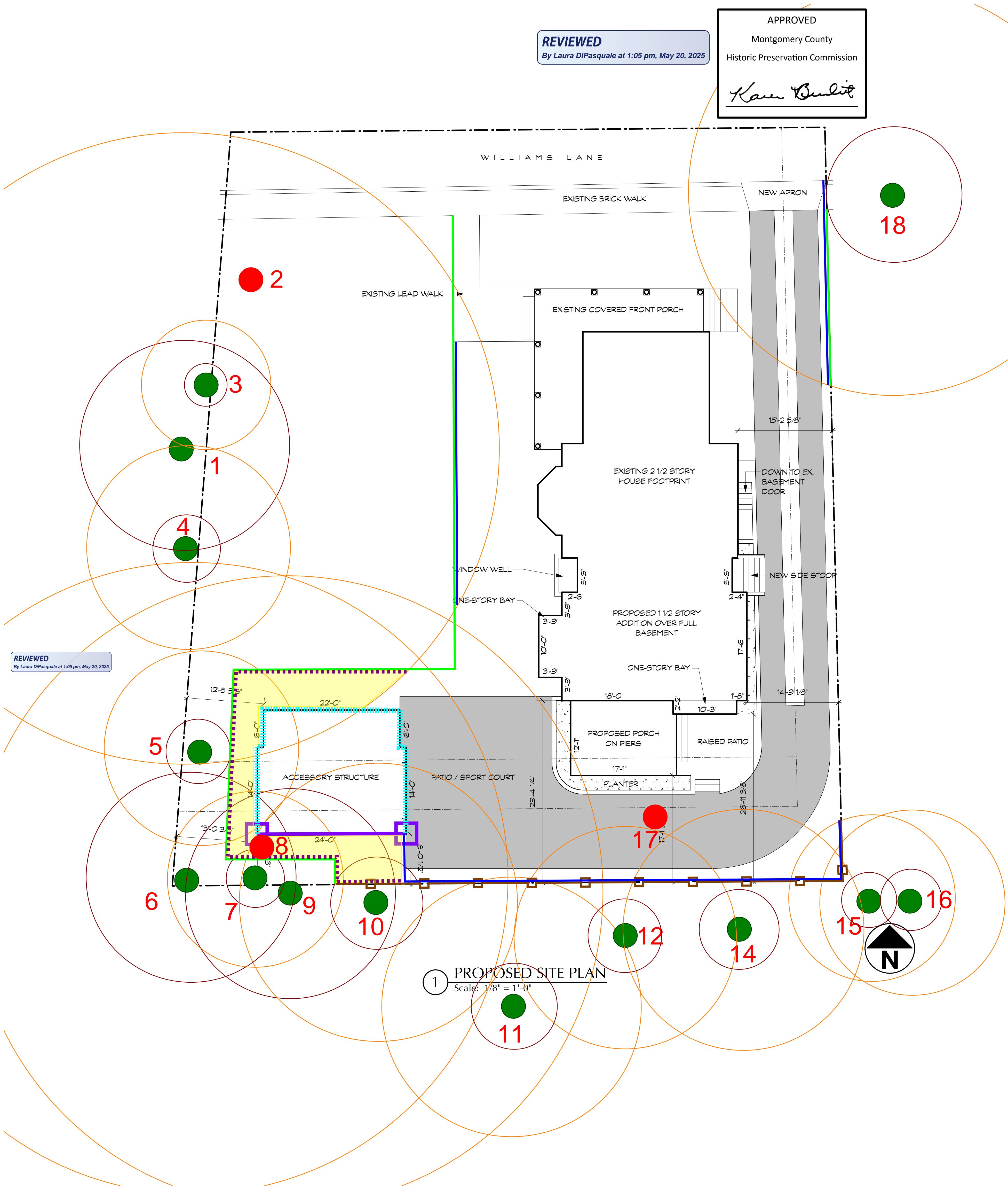
Karen Ouellet

Porch Door:










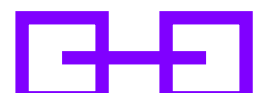



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Montgomery County
Historic Preservation Commission
Karen Bunkle



TREE PRESERVATION LEGEND

-  TREE TO BE PRESERVED
-  TREE TO BE REMOVED
-  STRUCTURAL ROOT ZONE
-  CRITICAL ROOT ZONE
-  6' CHAIN LINK TREE PROTECTION FENCE
-  ROOT PRUNING BY CERTIFIED ARBORIST USING SSAT (AIR-SPADE) OR DURING EXCAVATION UNDER CERTIFIED ARBORIST SUPERVISION
-  USE EXISTING FENCE AS TREE PROTECTION FENCE
-  ROOT PRUNING FOR GARAGE FOUNDATION WALLS SHALL BE SUPERVISED BY A CERTIFIED ARBORIST AND DOCUMENTED VIA PHOTOS FOR THE TOWN OF CHEVY CHASE
-  TRENCH-LESS EROSION AND SEDIMENT CONTROLS
-  FOUNDATION TO BE GRADE BEAM SPANNING PIERS OR ADJACENT CONVENTIONAL FOUNDATION WALLS
-  TEMPORARY ROOT MATTING CONSISTING OF POROUS GEOTEXTILE, 6" WOODCHIPS, AND 3/4" PLYWOOD (OR APPROVED EQUAL)


ETREE EXPERTS LLC
Arborist Consulting & Tree Care Specialist
3519 Olympic St.
Silver Spring, MD 20906
(240)483-9267
www.etreexperts.com

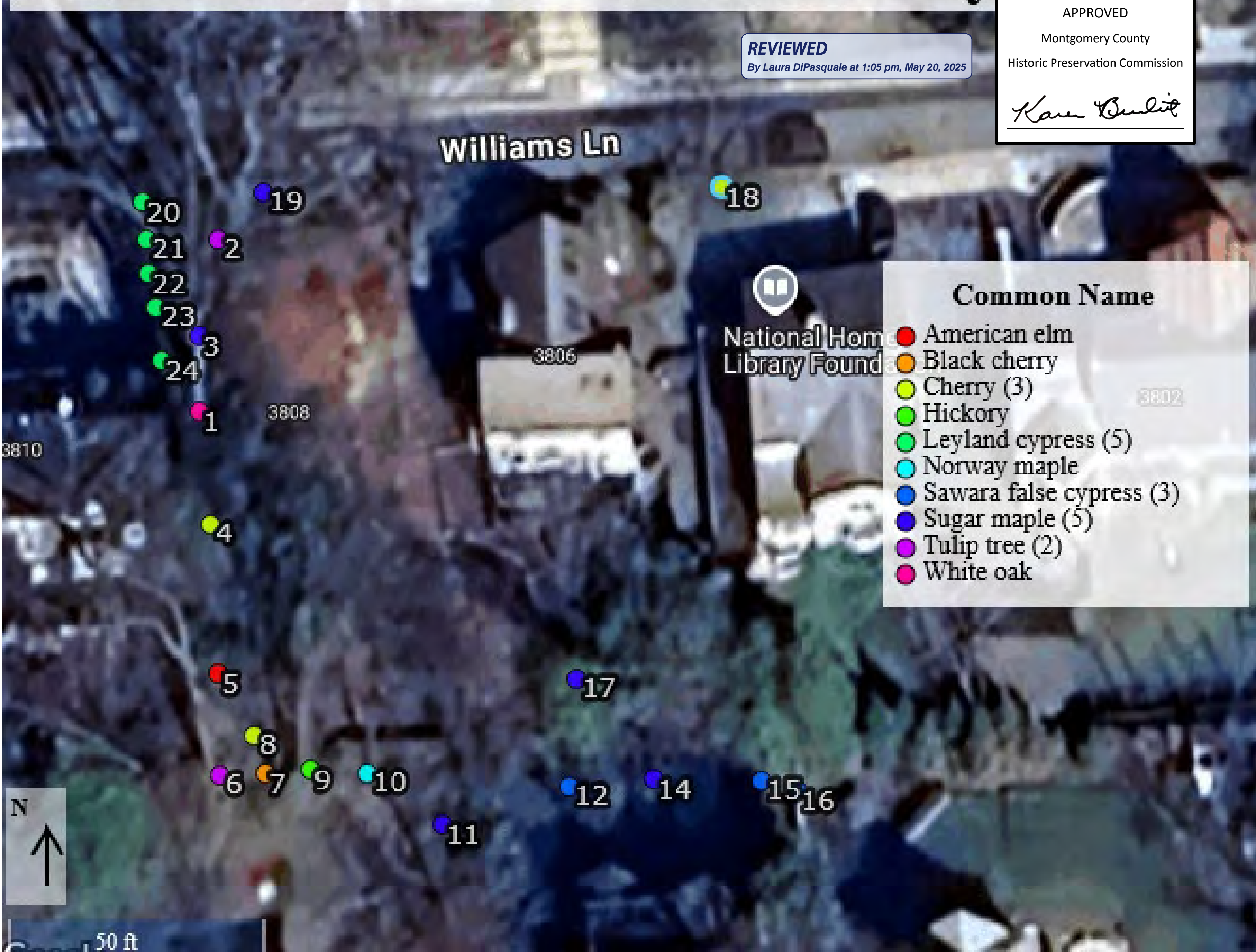

DC TREE PRESERVATION
Matt Madeira
Certified Arborist MA-4784A
301-832-2527
dctreepreservation@gmail.com
Arborist Consulting & Tree Preservation, LLC

3806 WILLIAMS
LANE, CHEVY
CHASE, MD 20815

TREE
PROTECTION
PLAN

PLAN VIEW

3806 Williams Lane Tree Inventory



Tree Id	Common Name	Scientific Name	DBH	Condition
1	White oak	Quercus alba	34	Fair
2	Tulip tree	Liriodendron tulipifera	50	Fair
3	Sugar maple	Acer saccharum	7	Fair
4	Cherry	Prunus species	11	Fair
5	American elm	Ulmus americana	10.5	Good
6	Tulip tree	Liriodendron tulipifera	34	Good
7	Black cherry	Prunus serotina	9.5	Good
8	Cherry	Prunus species	7	Fair
9	Hickory	Carya spp	34	Good
10	Norway maple	Acer platanoides	15	Poor
11	Sugar maple	Acer saccharum	14	Good
12	Sawara false cypress	Chamaecyparis pisifera	12	Fair
14	Sugar maple	Acer saccharum	13	Good
15	Sawara false cypress	Chamaecyparis pisifera	9	Good
16	Sawara false cypress	Chamaecyparis pisifera	10	Good
17	Sugar maple	Acer saccharum	14	Good
18	Cherry	Prunus species	22	Fair
19	Sugar maple	Acer saccharum	6	Good
20	Leyland cypress	xCupressocyparis leylandii	6	Fair
21	Leyland cypress	xCupressocyparis leylandii	5	Fair
22	Leyland cypress	xCupressocyparis leylandii	6	Fair
23	Leyland cypress	xCupressocyparis leylandii	5	Fair
24	Leyland cypress	xCupressocyparis leylandii	4	Fair

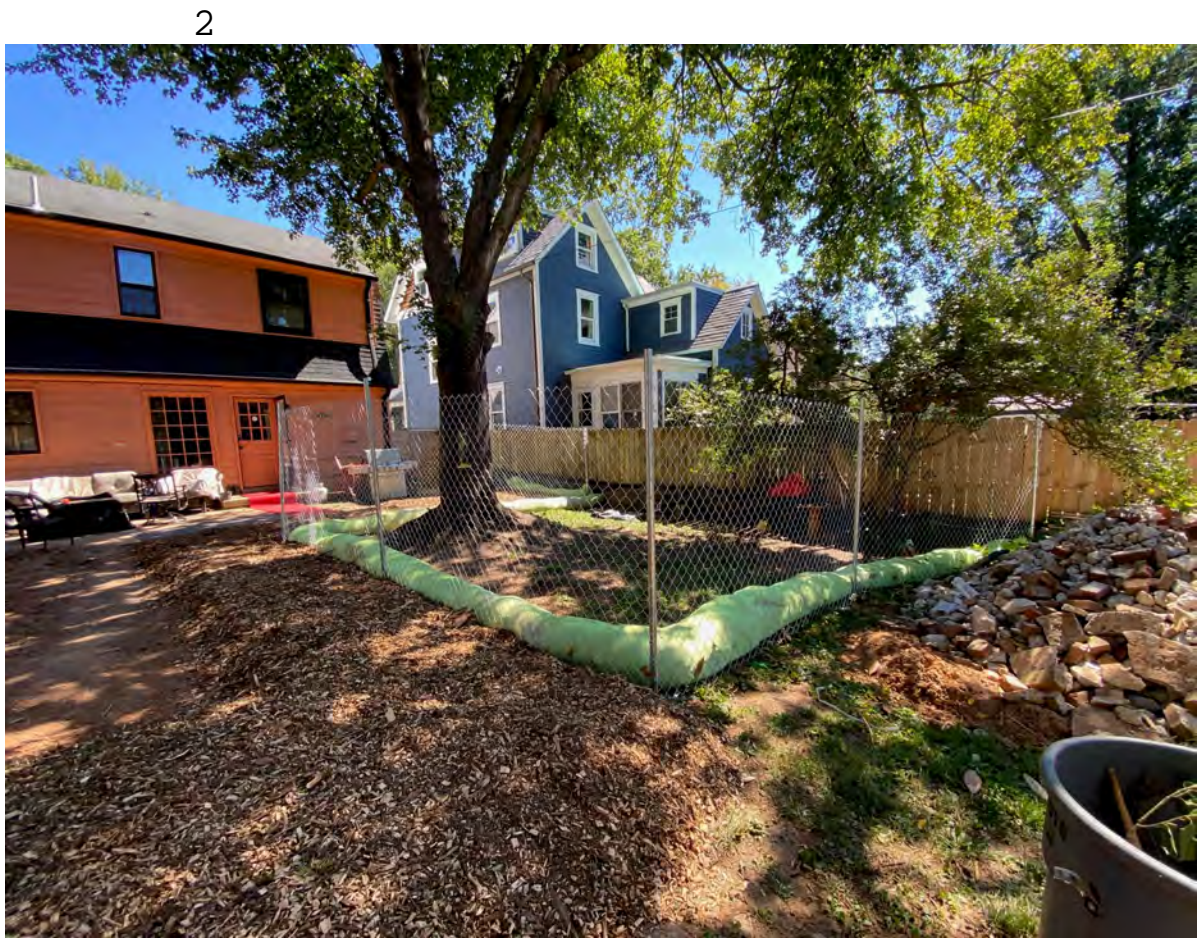


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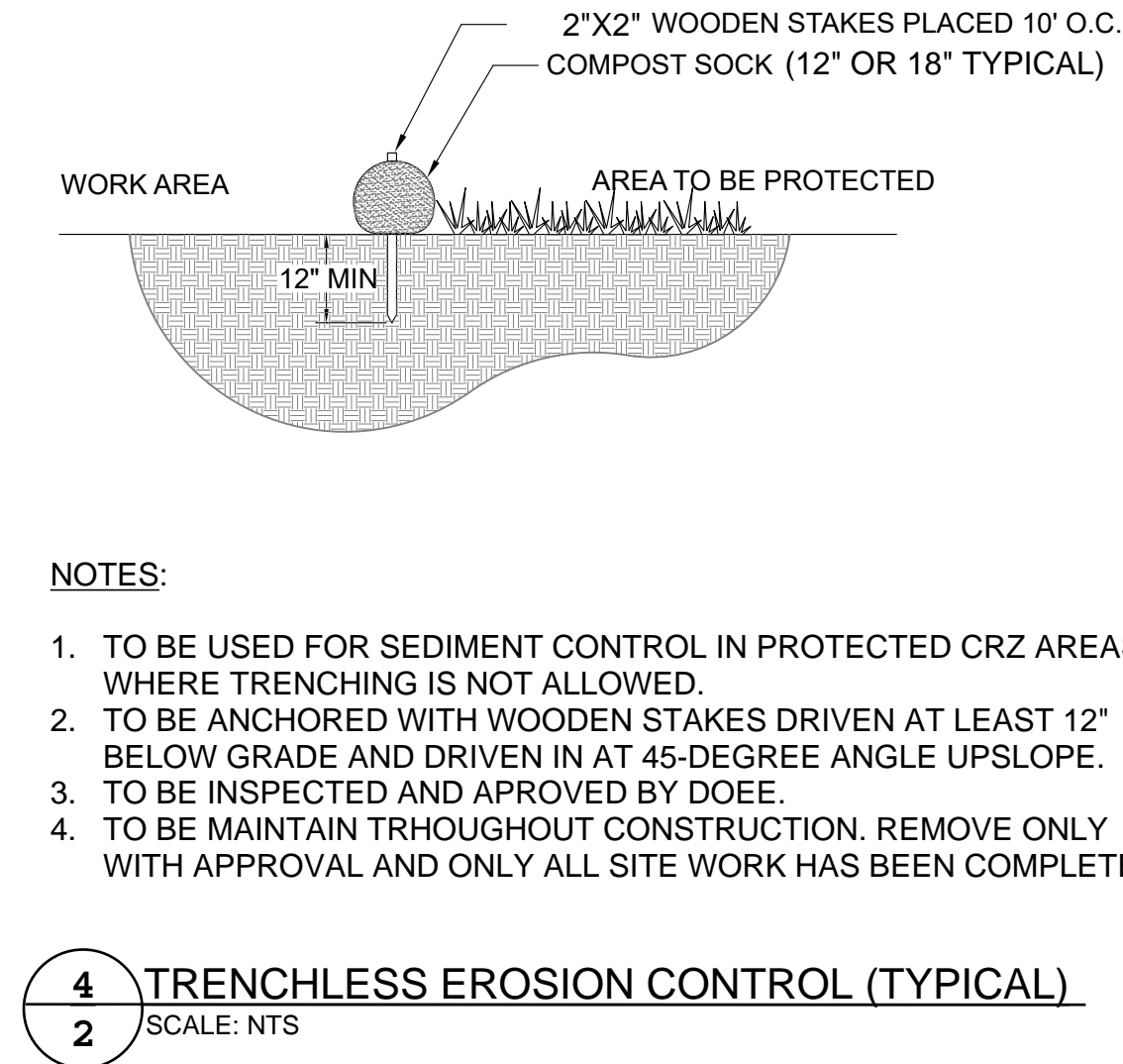
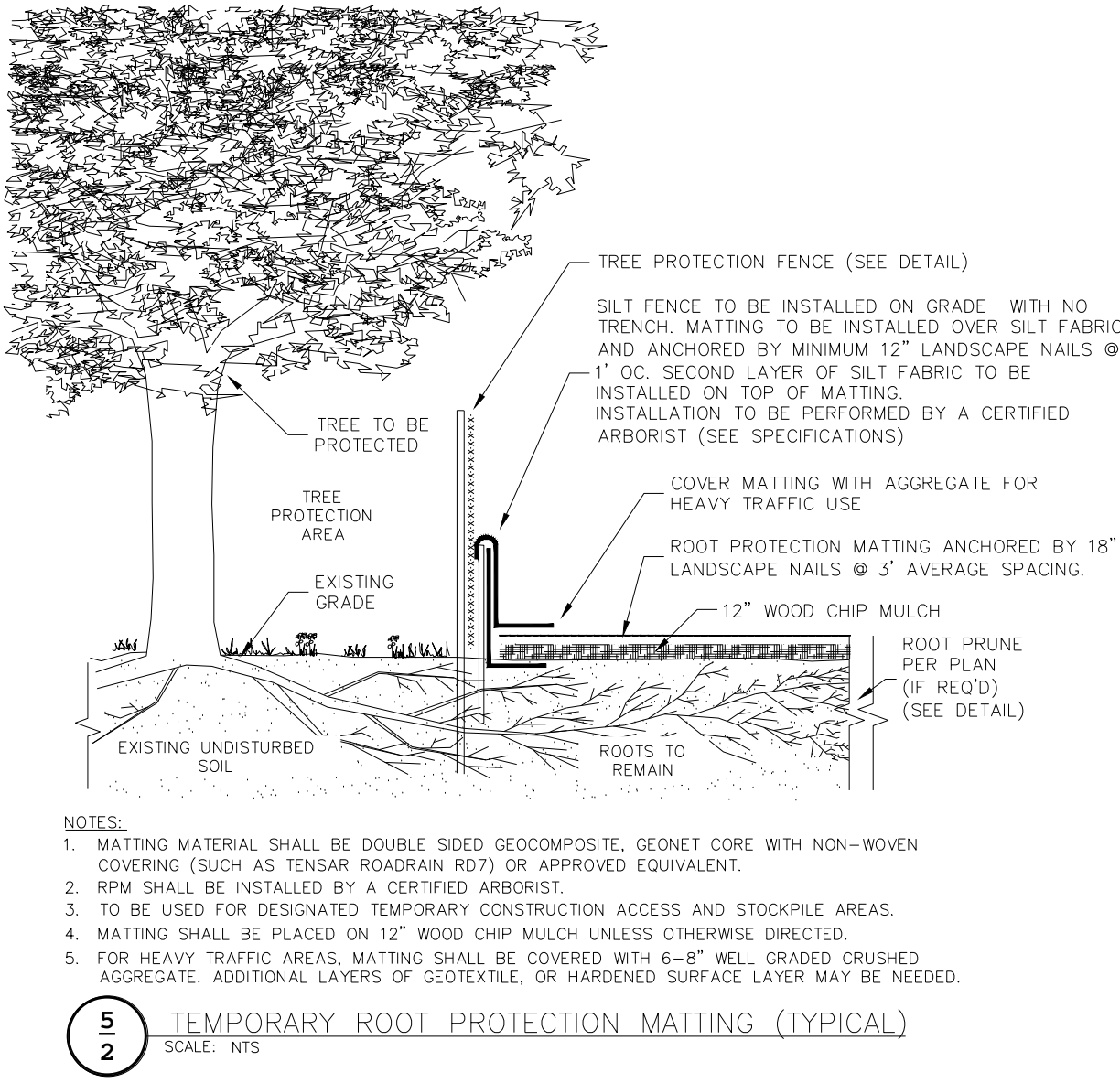
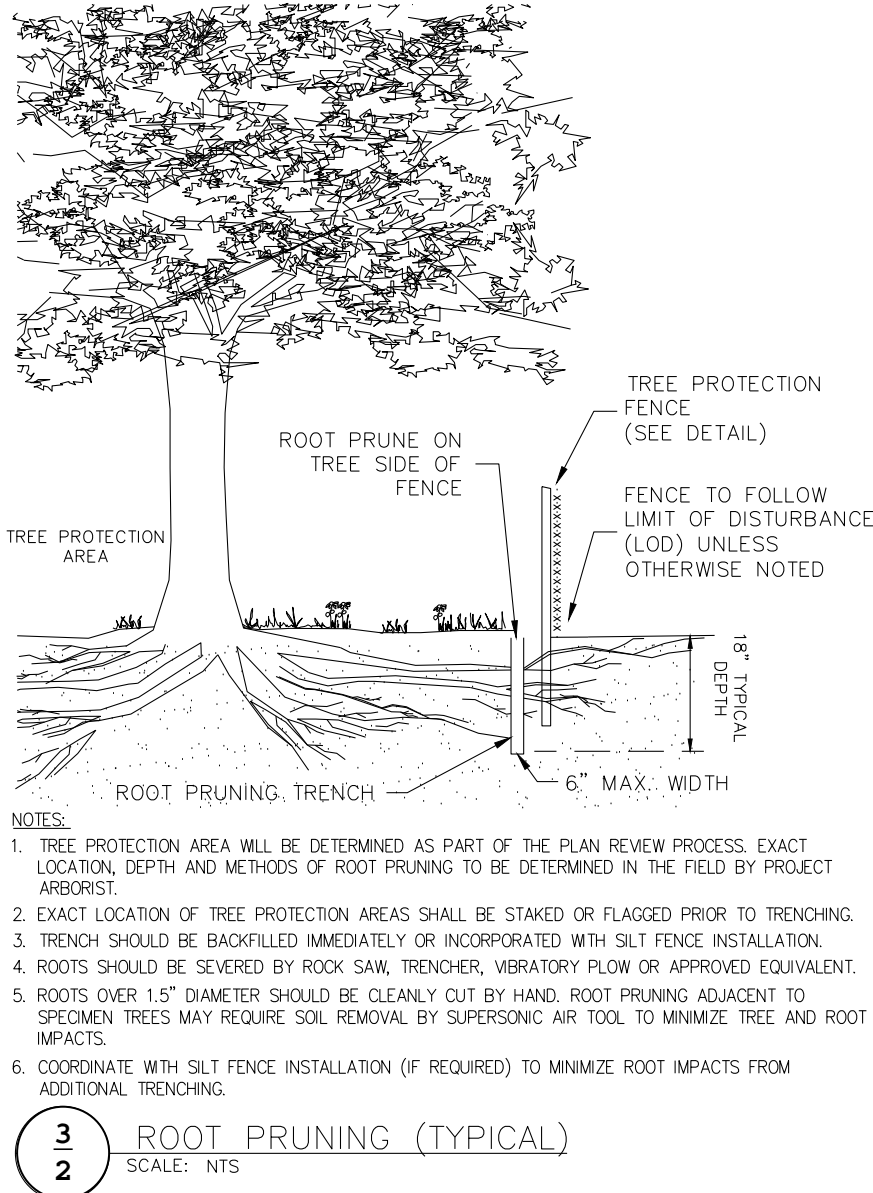
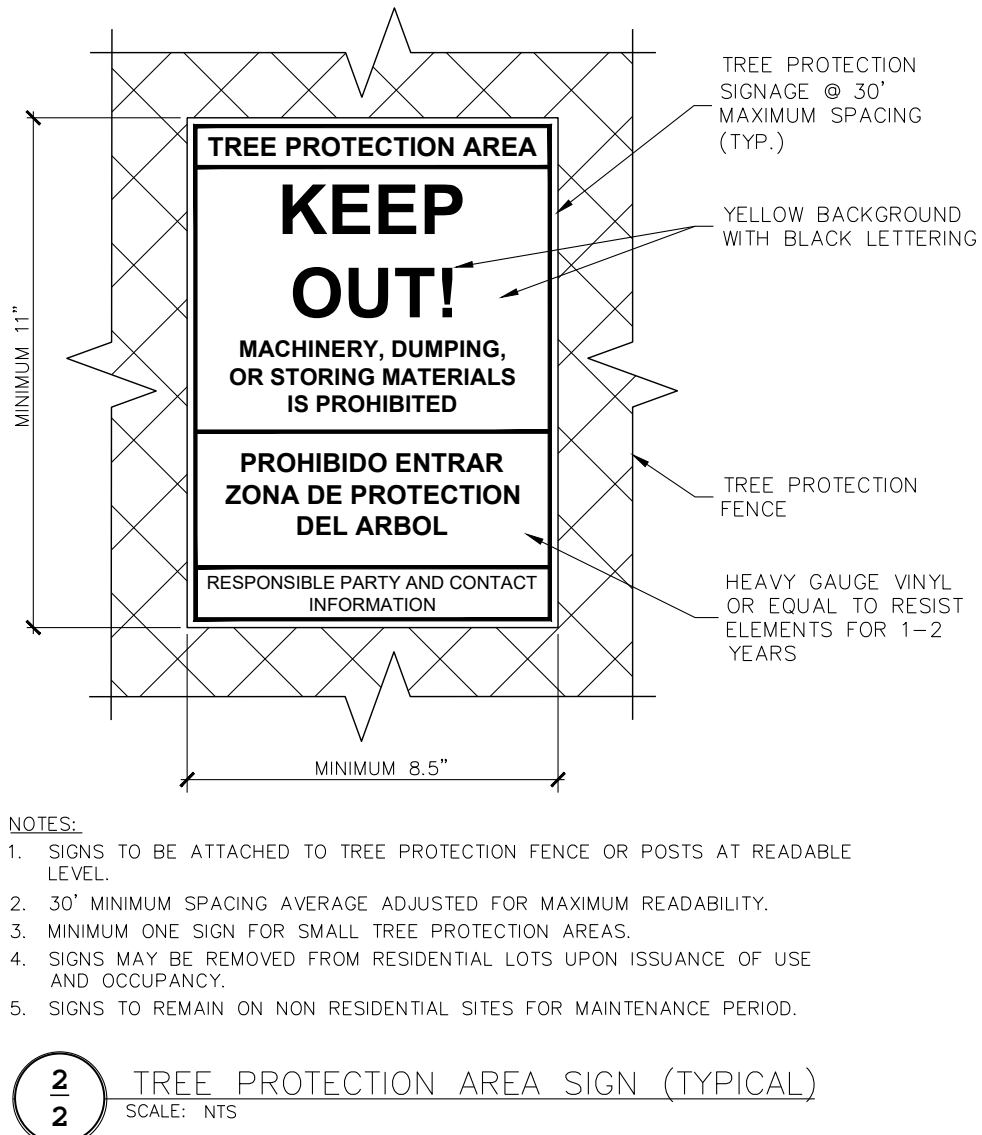
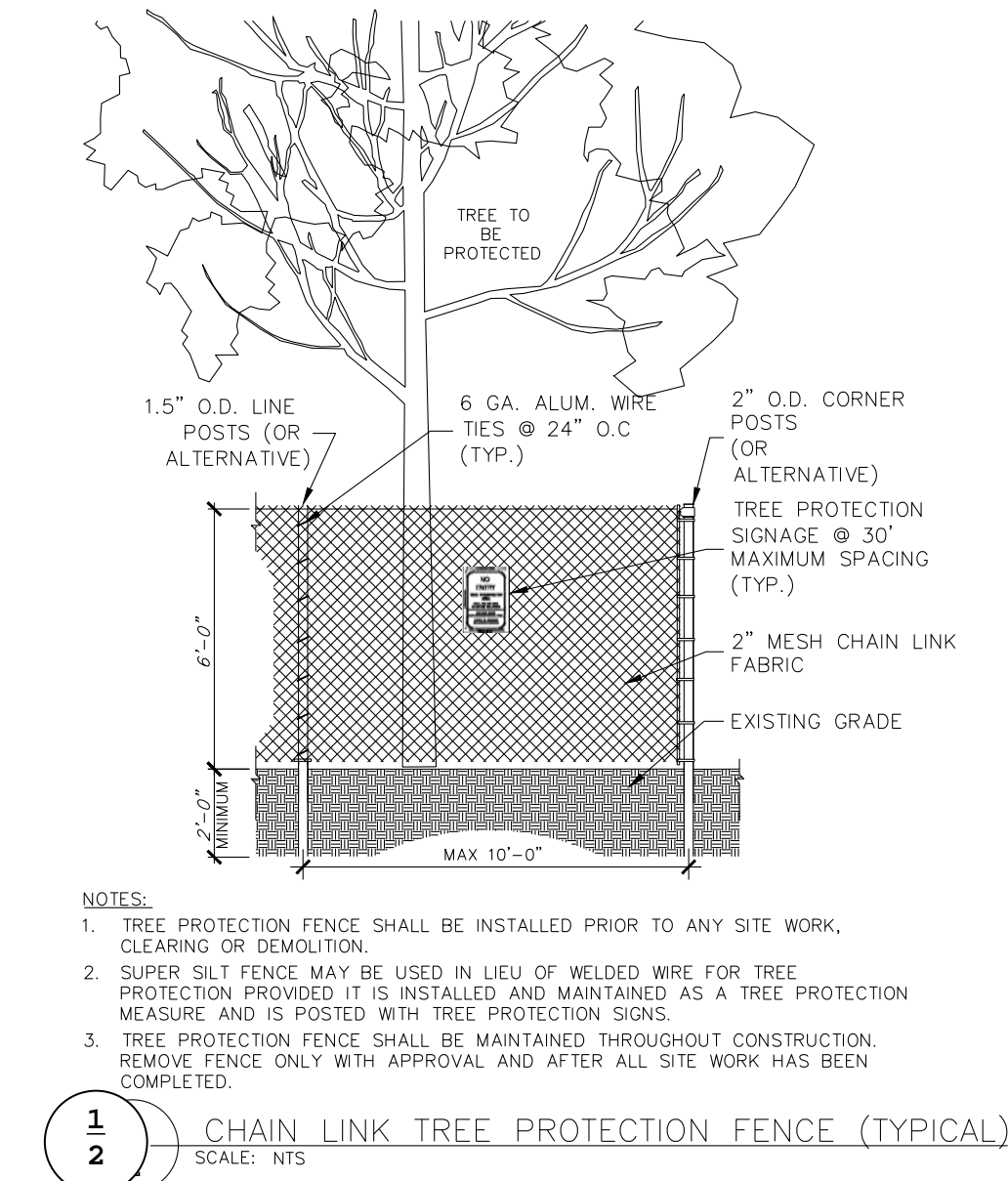


DC TREE PRESERVATION
Matt Madeira
Certified Arborist MA-4784A
301-832-2527
dctreepreservation@gmail.com

Arborist Consulting & Tree Preservation, LLC



3806 WILLIAMS LANE, CHEVY CHASE, MD 20815



TREE PROTECTION PLAN

TREE INVENTORY & DETAIL SPECIFICATIONS



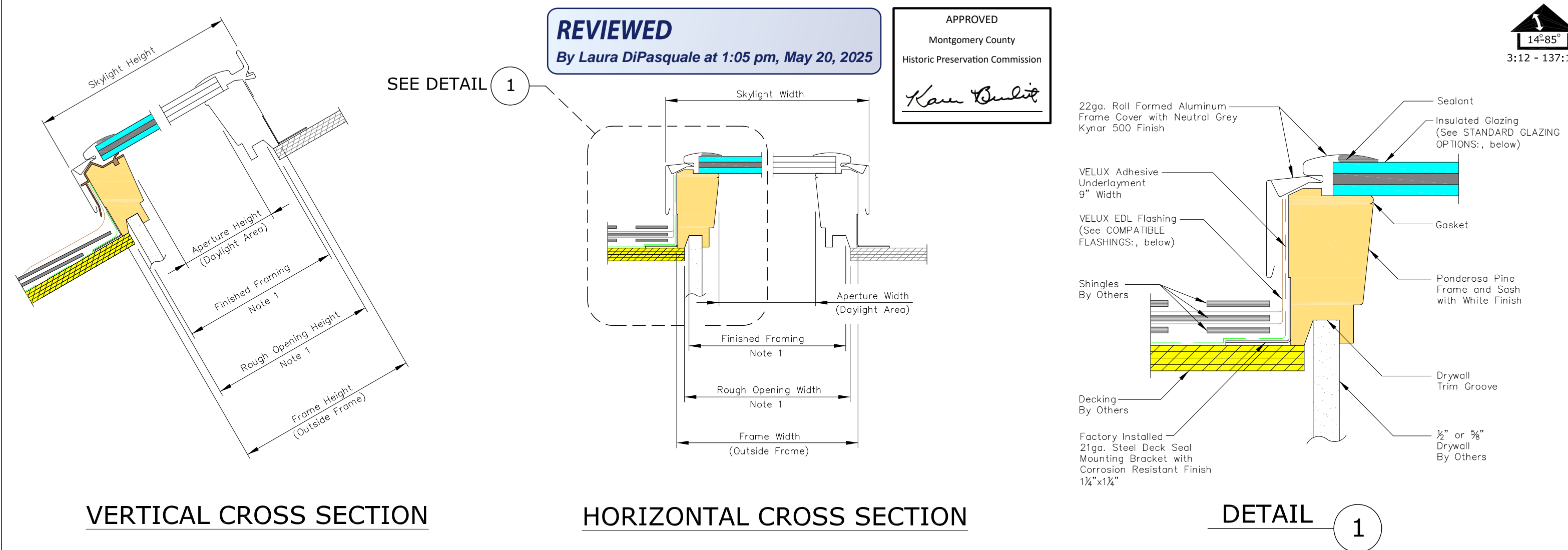
3/3/2025

ORDER

TOTAL DOORS	
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Karen Buntit

GRAND Total	\$2,913.60
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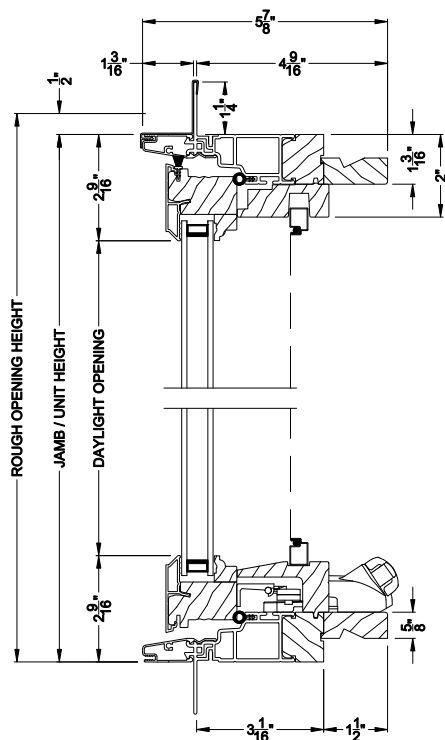


Weather Shield®

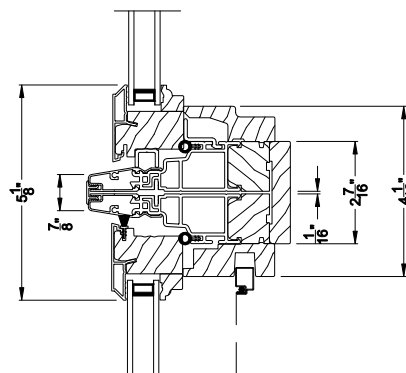
Signature Series™

Awning Windows

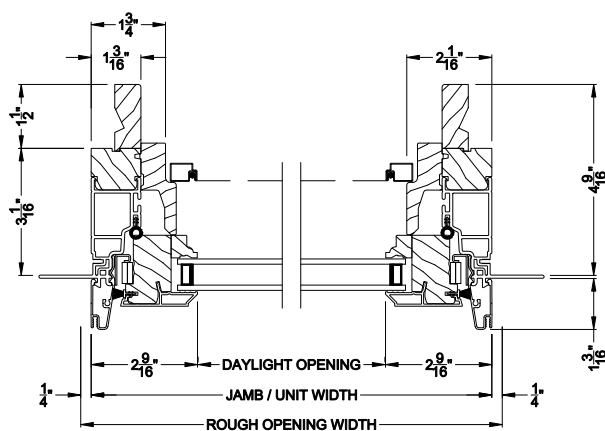
CROSS SECTION DETAILS



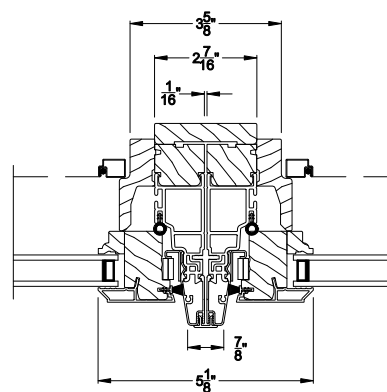
SIGNATURE AWNING WINDOW (8219)
Vertical Section



SIGNATURE AWNING WINDOW
Horizontal Stack Section - Transom Stack over Awning



SIGNATURE AWNING WINDOW (8219)
Horizontal Section



SIGNATURE AWNING WINDOW
Vertical Mull Section

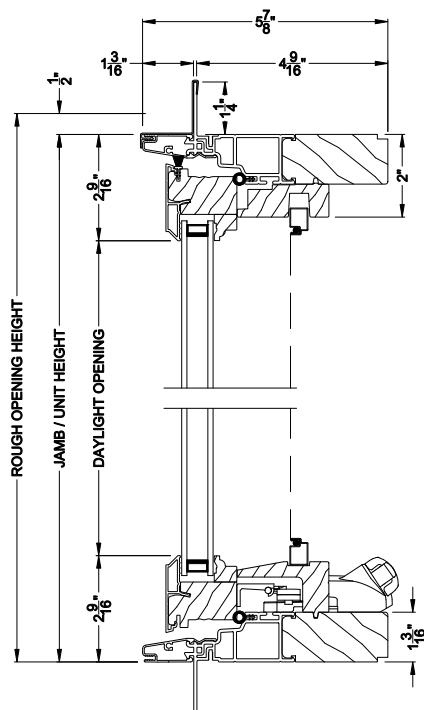
Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

Weather Shield®

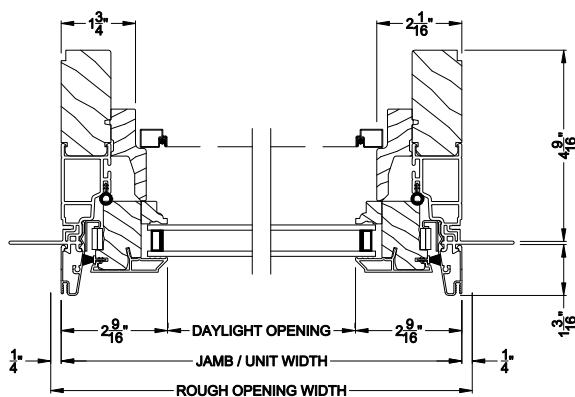
Signature Series™

Awning Windows

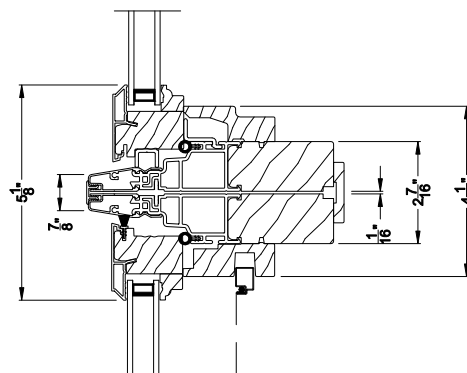
CROSS SECTION DETAILS



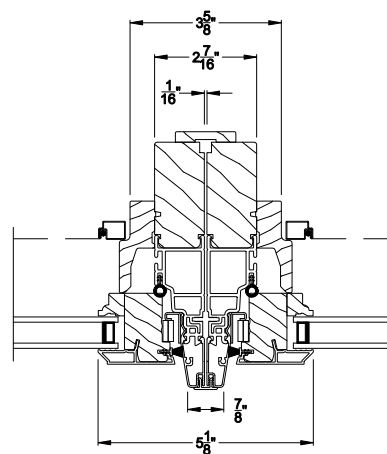
SIGNATURE AWNING WINDOW (8219)
Vertical Section - 5/4 Jamb



SIGNATURE AWNING WINDOW (8219)
Horizontal Section - 5/4 Jamb



SIGNATURE AWNING WINDOW
Horizontal Stack Section - Transom Stack over Awning



SIGNATURE AWNING WINDOW
Vertical Mull Section

Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

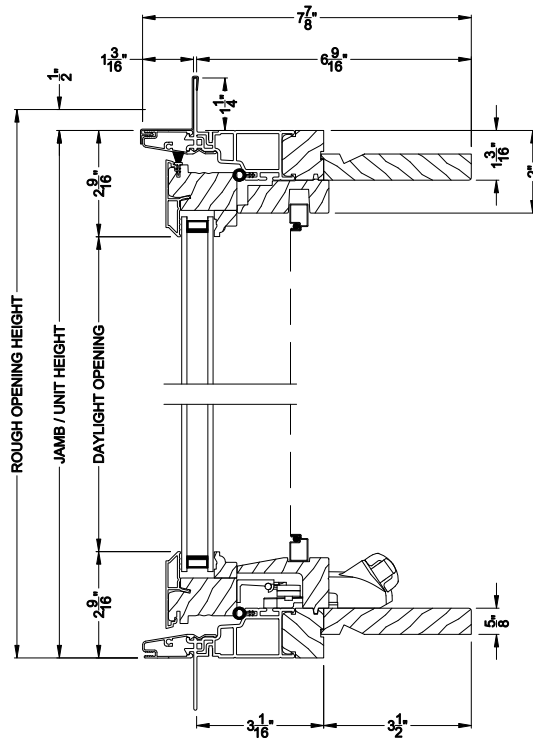
Karen Gault

Weather Shield®

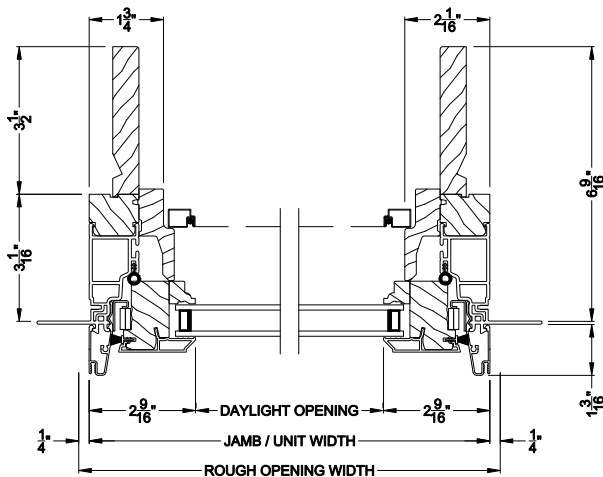
Signature Series™

Awning Windows

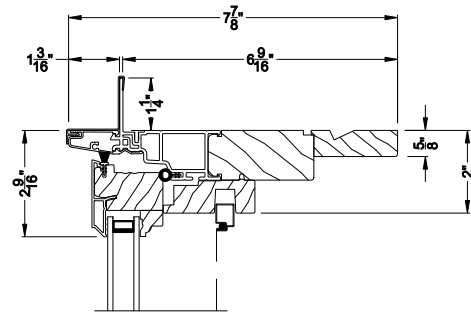
CROSS SECTION DETAILS



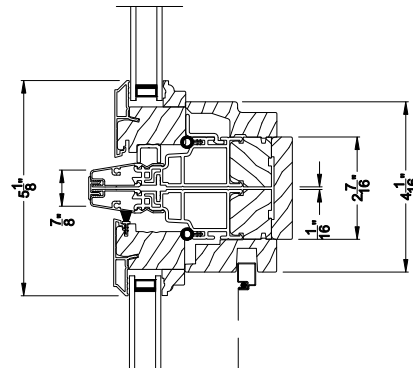
SIGNATURE AWNING WINDOW (8219)
Vertical Section - 6-9/16" jamb



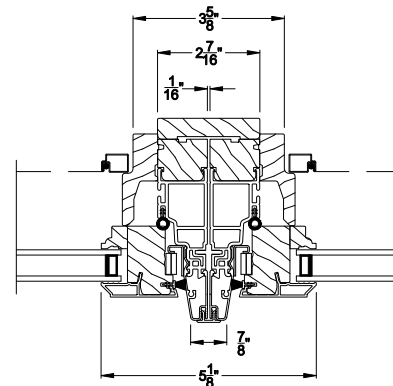
SIGNATURE AWNING WINDOW (8219)
Horizontal Section - 6-9/16" jamb



SIGNATURE AWNING WINDOW
Vertical Section - 5/4 jamb option with extension



SIGNATURE AWNING WINDOW
Horizontal Stack Section - Transom Stack over Awning



SIGNATURE AWNING WINDOW
Vertical Mull Section

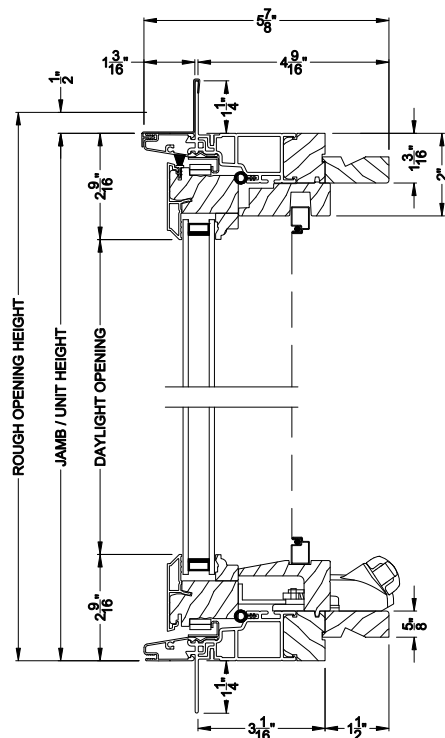
Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

Weather Shield®

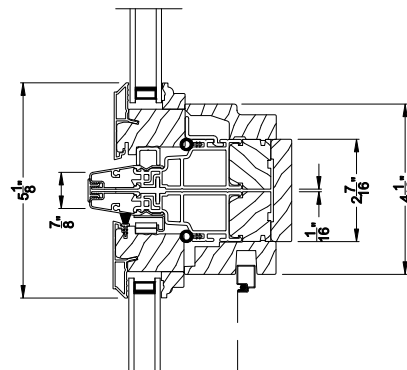
Signature Series™

Casement Windows

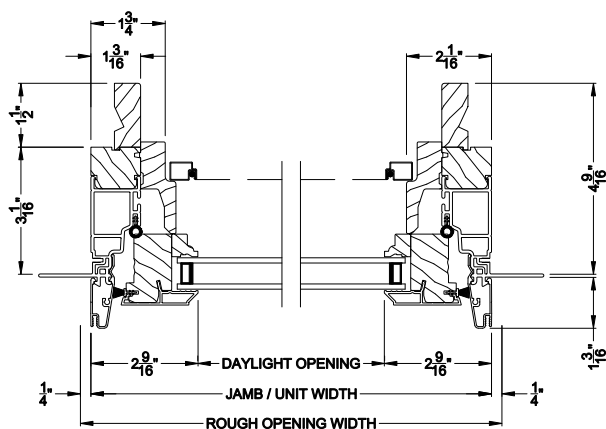
CROSS SECTION DETAILS



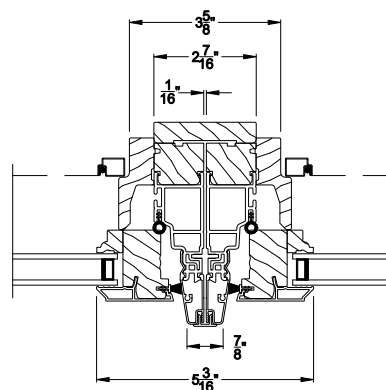
SIGNATURE CASEMENT WINDOW (8219)
Vertical Section



SIGNATURE CASEMENT WINDOW
Horizontal Stack Section - Transom Stack over Casement



SIGNATURE CASEMENT WINDOW (8219)
Horizontal Section



SIGNATURE CASEMENT WINDOW
Vertical Mull Section

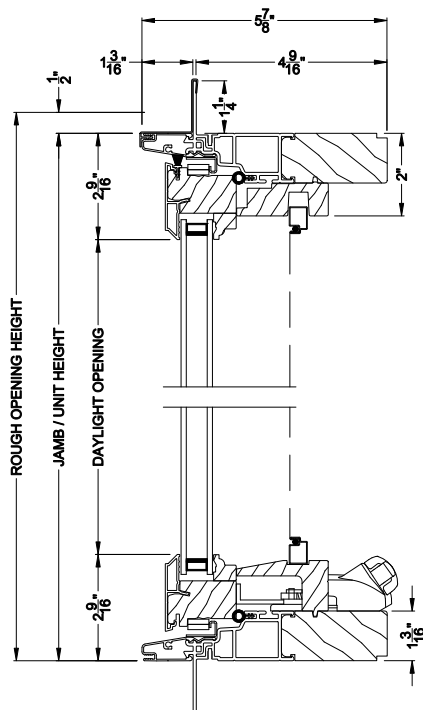
Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

Weather Shield®

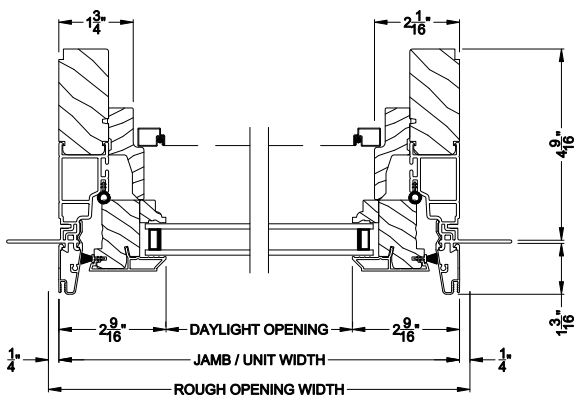
Signature Series™

Casement Windows

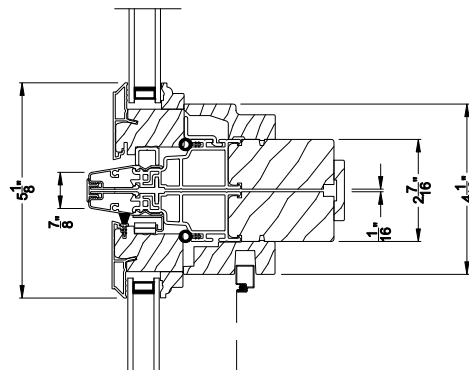
CROSS SECTION DETAILS



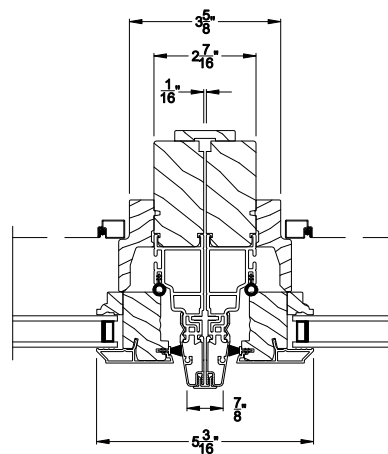
SIGNATURE CASEMENT WINDOW (8219)
Vertical Section - 5/4 Jamb



SIGNATURE CASEMENT WINDOW (8219)
Horizontal Section - 5/4 Jamb



SIGNATURE CASEMENT WINDOW
Horizontal Stack Section - Transom Stack over Casement



SIGNATURE CASEMENT WINDOW
Vertical Mull Section

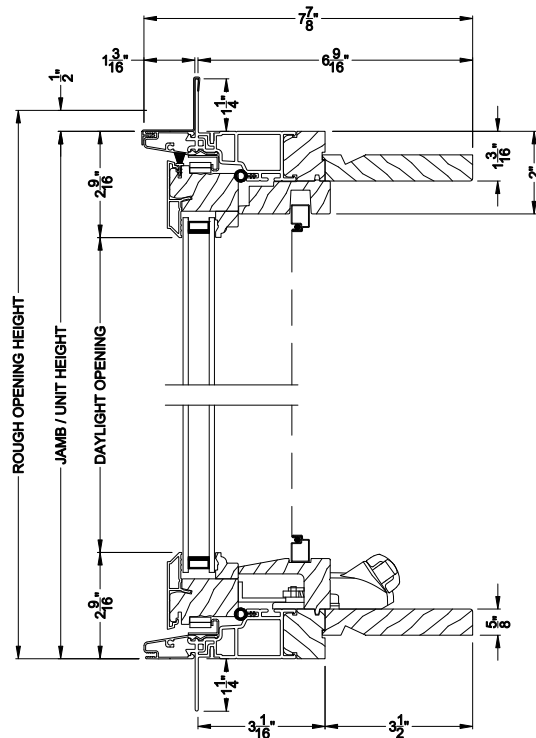
Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

Weather Shield®

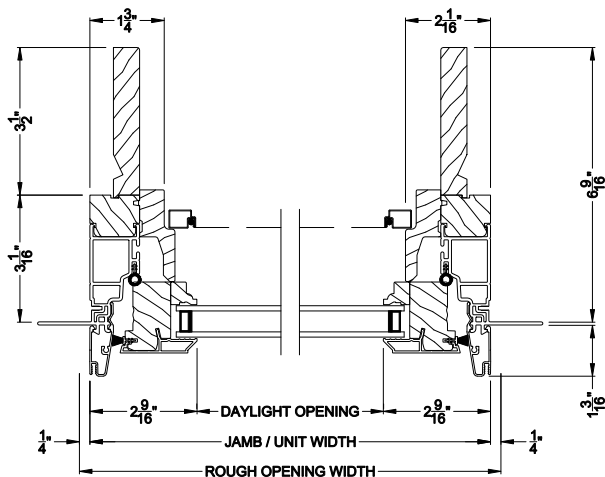
Signature Series™

Casement Windows

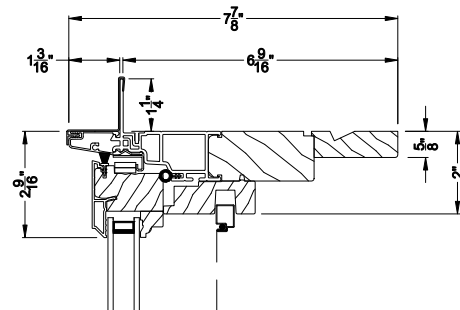
CROSS SECTION DETAILS



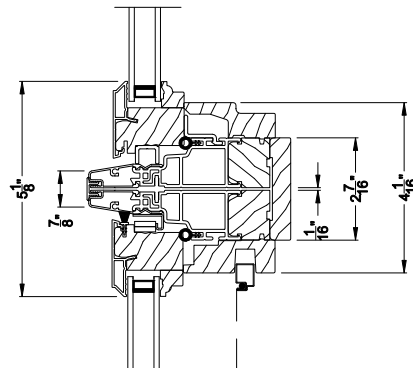
SIGNATURE CASEMENT WINDOW (8219)
Vertical Section - 6-9/16" jamb



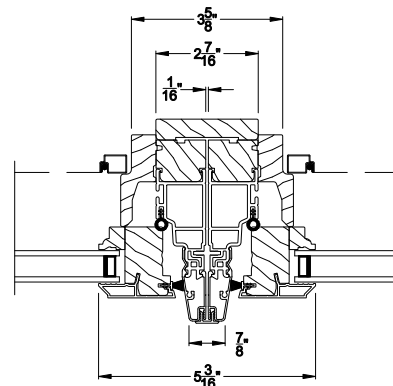
SIGNATURE CASEMENT WINDOW (8219)
Horizontal Section - 6-9/16" jamb



SIGNATURE CASEMENT WINDOW
Vertical Section - 5/4 jamb option with extension



SIGNATURE CASEMENT WINDOW
Horizontal Stack Section - Transom Stack over Casement



SIGNATURE CASEMENT WINDOW
Vertical Mull Section

Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

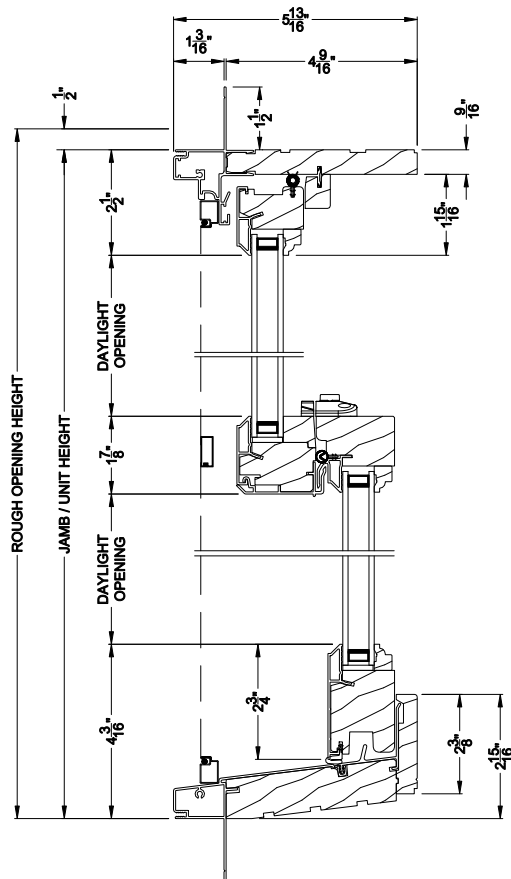
Karen G. Smith

Weather Shield®

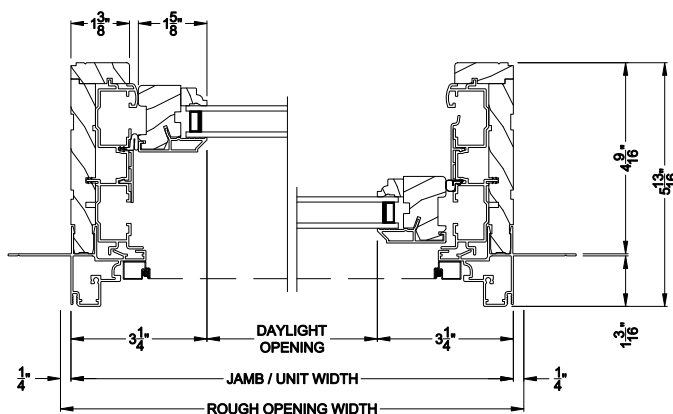
Signature Series™

Double Hung Windows

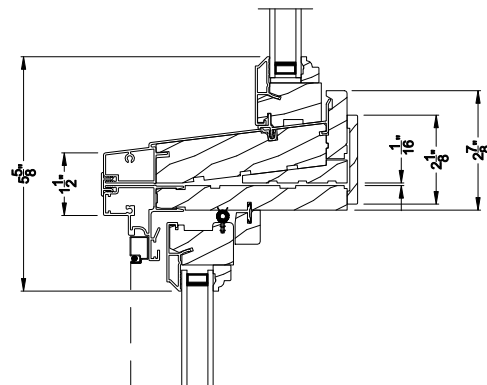
CROSS SECTION DETAILS



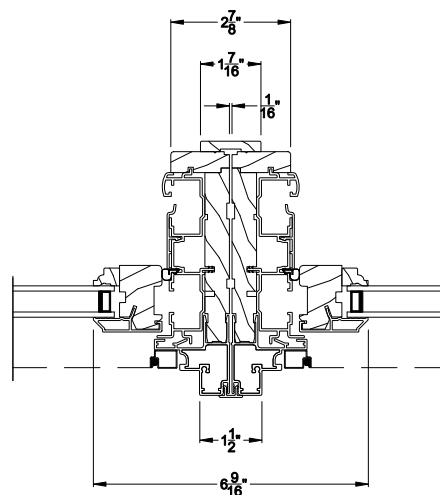
SIGNATURE DOUBLE HUNG WINDOW (8122)
Vertical Section



SIGNATURE DOUBLE HUNG WINDOW (8122)
Horizontal Section



SIGNATURE DOUBLE HUNG WINDOW
Horizontal Stack Section - Transom Stack over DH



SIGNATURE DOUBLE HUNG WINDOW
Vertical Mull Section - DH / DH

Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

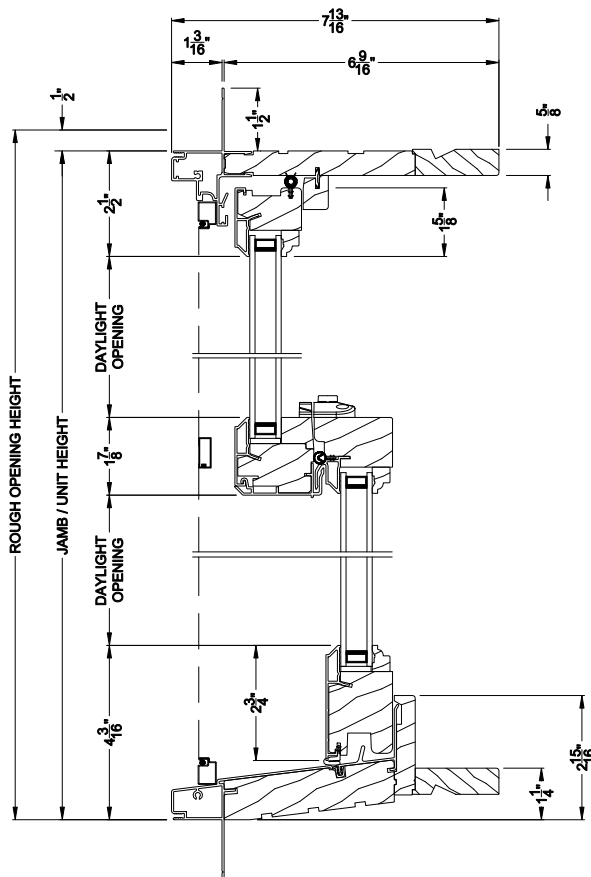
Karen G. Smith

Weather Shield®

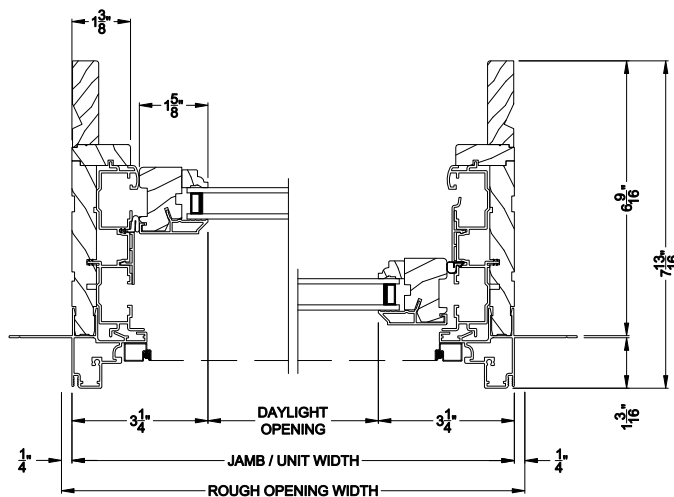
Signature Series™

Double Hung Windows

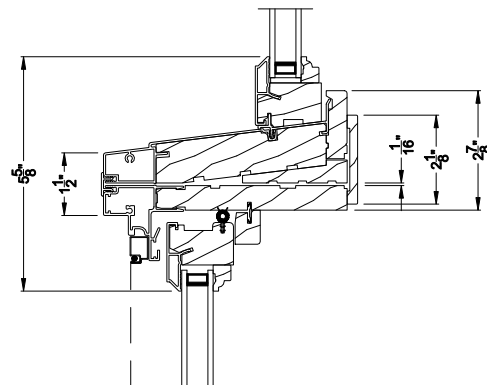
CROSS SECTION DETAILS



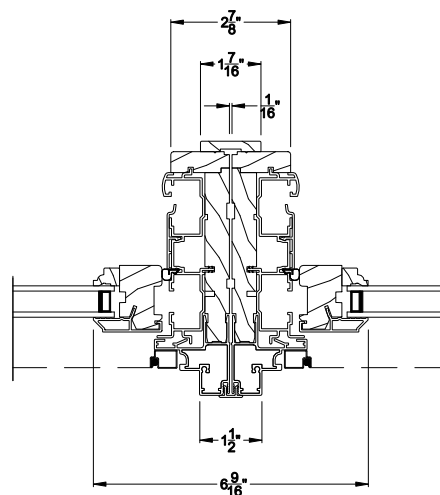
SIGNATURE DOUBLE HUNG WINDOW (8122)
Vertical Section - 6-9/16" jamb



SIGNATURE DOUBLE HUNG WINDOW (8122)
Horizontal Section - 6-9/16" jamb



SIGNATURE DOUBLE HUNG WINDOW
Horizontal Stack Section - Transom Stack over DH



SIGNATURE DOUBLE HUNG WINDOW
Vertical Mull Section - DH / DH

Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

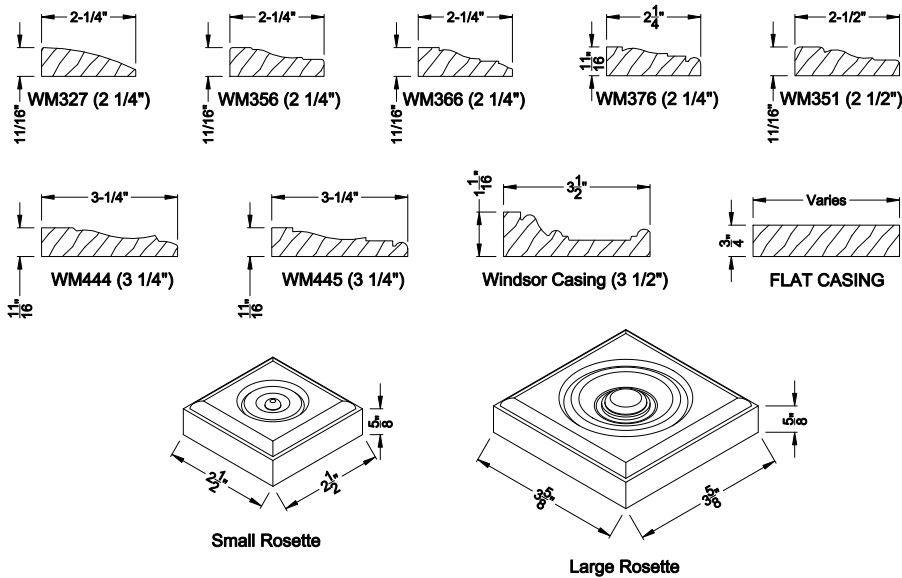
Weather Shield®

Signature Series™

Options

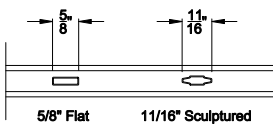
CROSS SECTION DETAILS

Interior Wood Trim Options



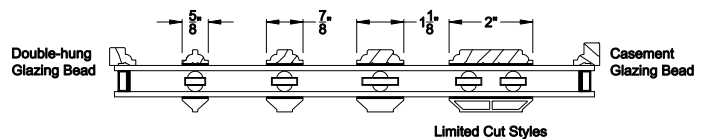
Divided Lite Options

Grilles Between the Glass



Simulated Divided Lites

Colonial Interior Bar



Wood Perimeter Grill

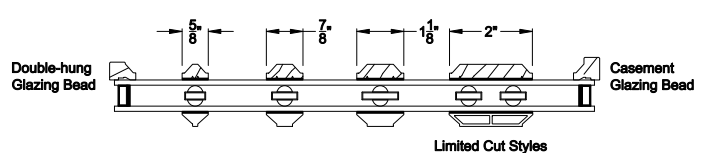
Colonial Bar



Casement
Glazing Bead
with surround

Double-hung
Glazing Bead
with surround

Putty Interior Bar



Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025

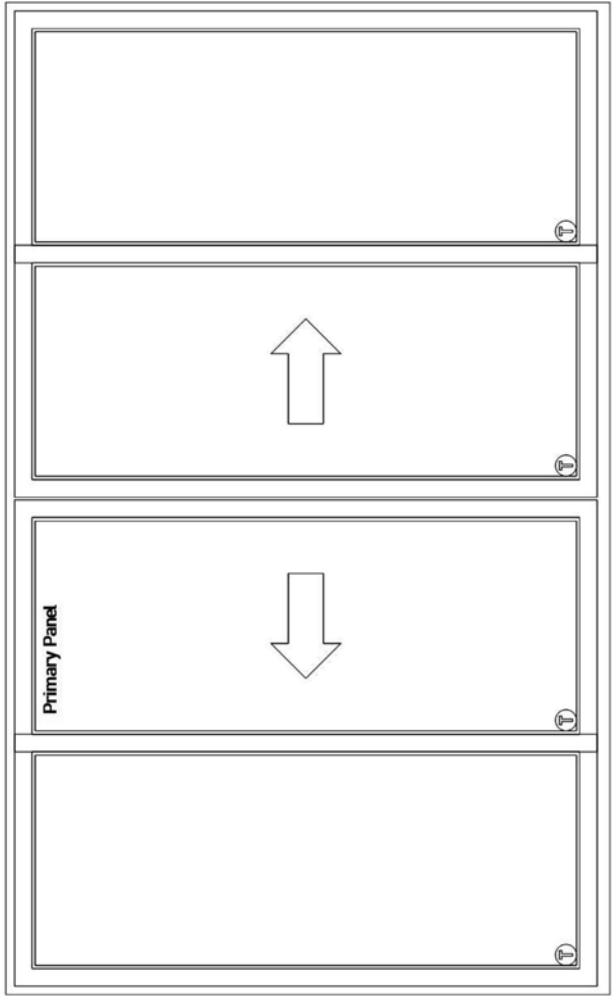
APPROVED

Montgomery County

Historic Preservation Commission

Karen Quint

- Product Style - Sliding Patio 41 Sliding Patio (8714)
- Color / Finish - Exterior: White Alum. Interior: Pine
- Glazing - Insulated Low E Tempered Glass Colonial Glz Bead
- Jamb Depth - 6 9/16 Jamb Depth



RO - 86.5"

JB - 86"

GL - 77.938"

GL - 30.875" — GL - 30.875" — GL - 30.875" — GL - 30.875" —

JB - 141.25"

RO - 142"

ALL UNITS VIEWED FROM THE EXTERIOR

WEATHER SHIELD. WINDOWS & DOORS	JOB NAME 3806 Williams Lane ADDITION Mulled/Stacked Units may need reinforcement and should be reviewed by a structural engineer.	DEALER NAME QUALITY WINDOW & DOOR INC APPROVAL	PRODUCT SERIES Signature Series ROOM INFORMATION (DESCRIPTION INCLUDES LABOR TO INSTALL)	PROJECT NUMBER 3116857	ITEM NUMBER 300
					QUANTITY 1

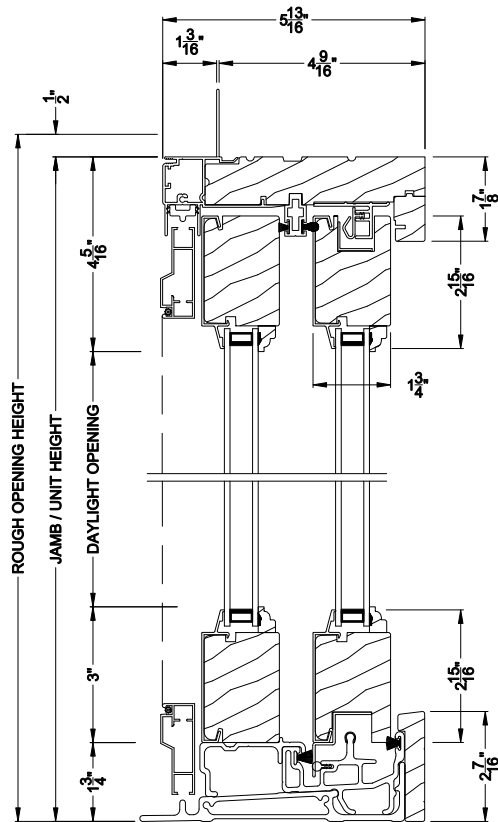
Karen Benoit

Weather Shield

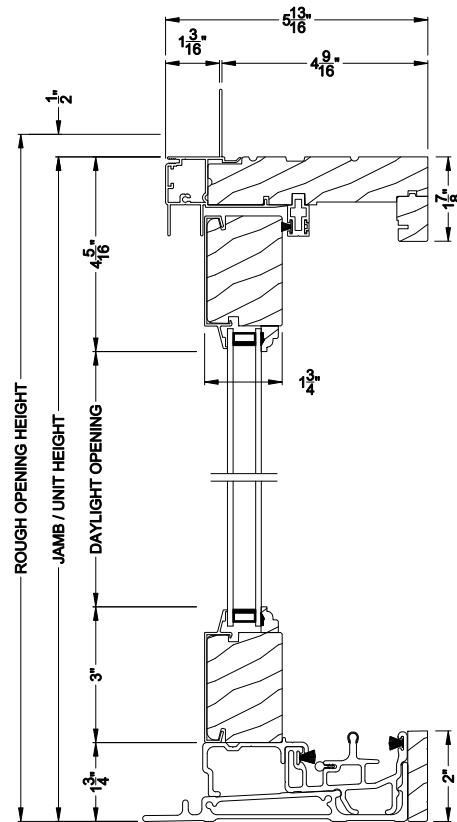
Signature Series™

Sliding Patio Doors

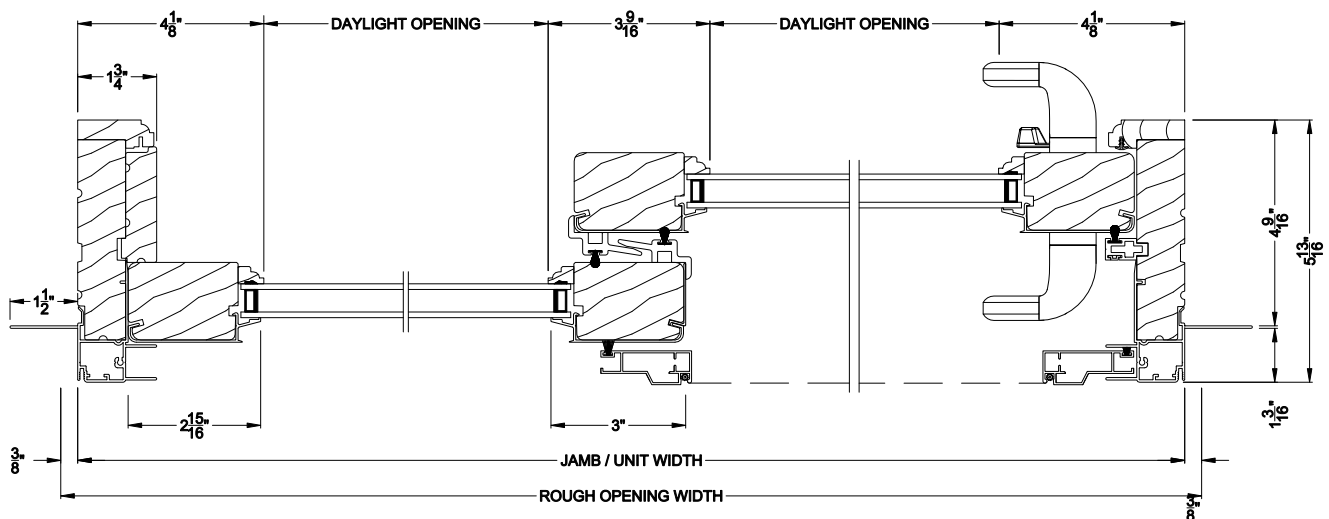
CROSS SECTION DETAILS



SIGNATURE SLIDING PATIO DOOR (8714)
Vertical Section



SIGNATURE SLIDING PATIO DOOR (8714)
Vertical Section - Fixed Sidelite with Low profile sill stop



SIGNATURE SLIDING PATIO DOOR (8714)
Horizontal Section

Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

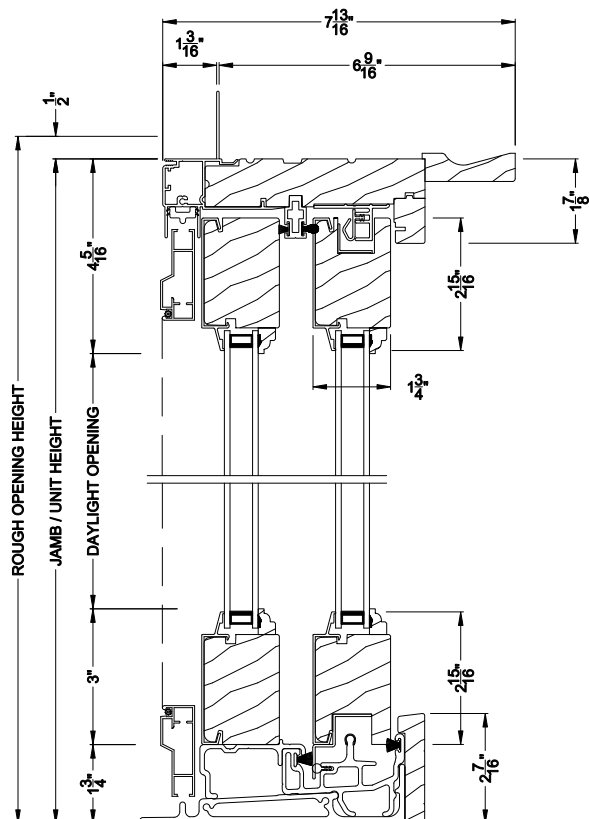
Weather Shield

Signature Series™

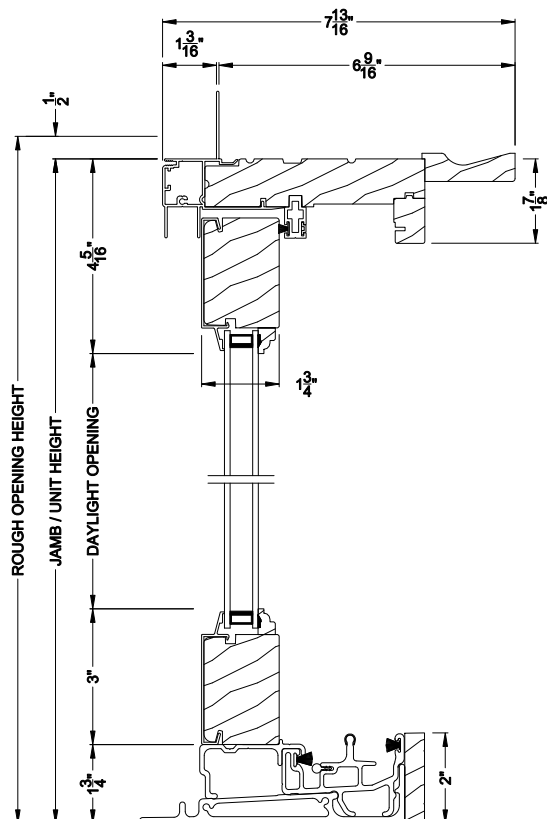
Karen Benoit

Sliding Patio Doors

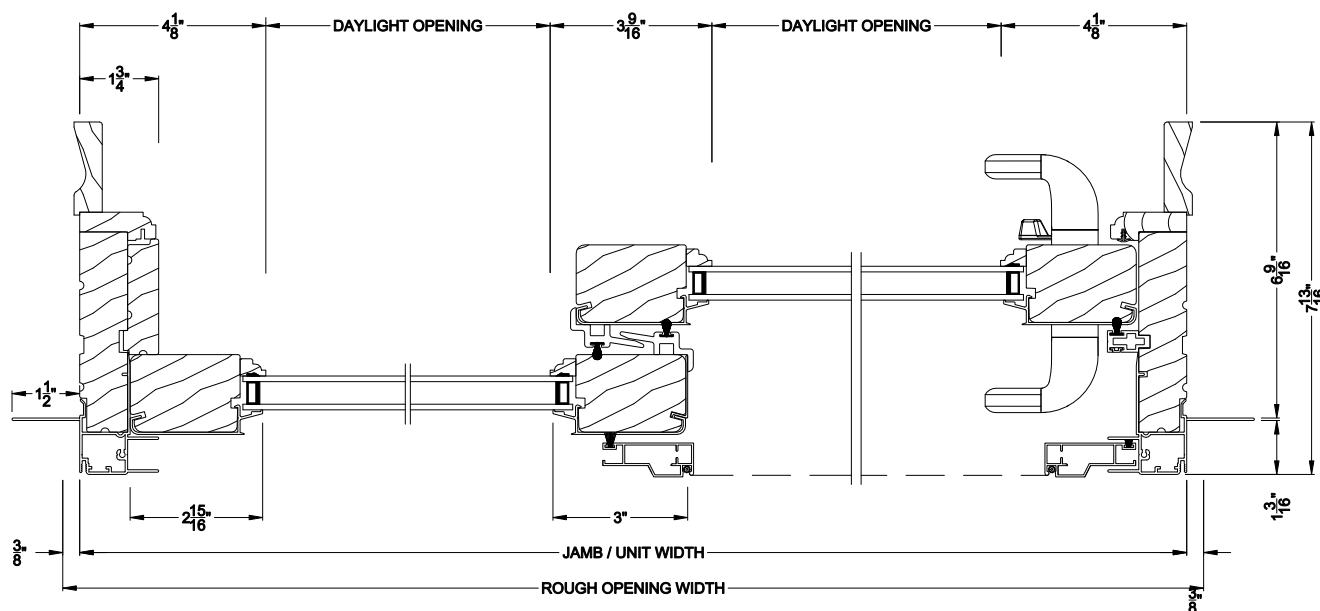
CROSS SECTION DETAILS



SIGNATURE SLIDING PATIO DOOR (8714)
Vertical Section - 6-9/16" jamb



SIGNATURE SLIDING PATIO DOOR (8714)
Vertical Section - Fixed Sidelite with Low profile sill stop - 6-9/16" jamb



SIGNATURE SLIDING PATIO DOOR (8714)
Horizontal Section - 6-9/16" jamb

Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025

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Montgomery County

Historic Preservation Commission

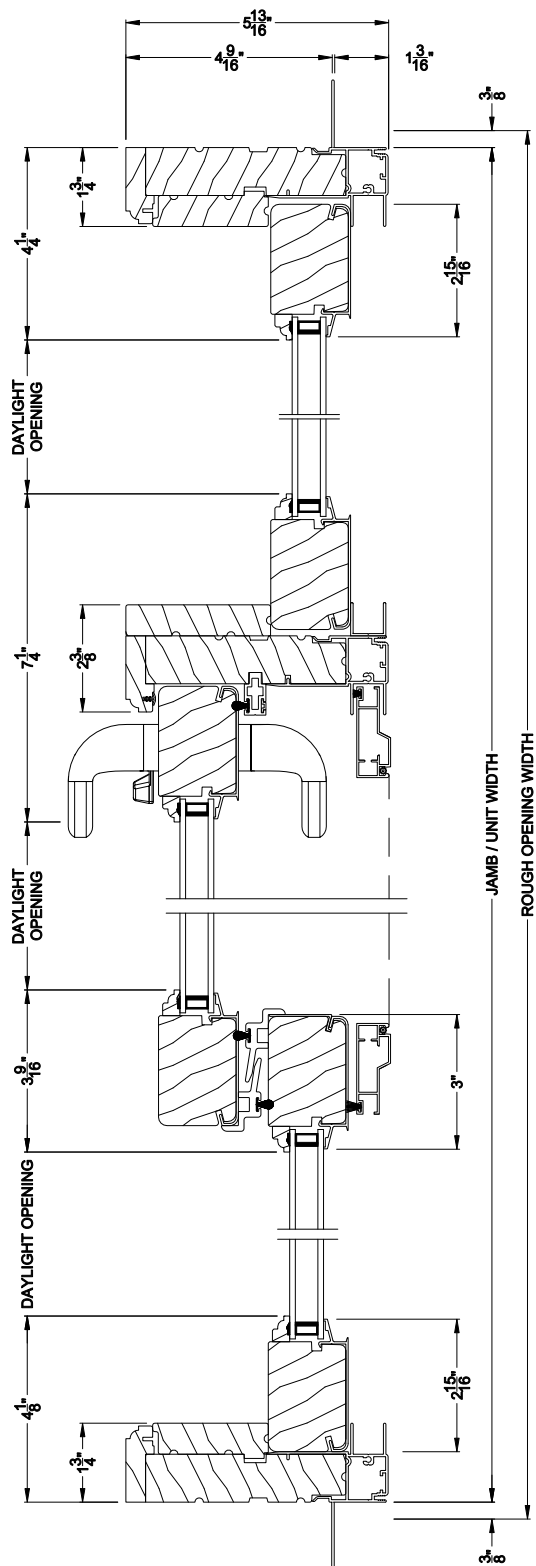
Weather Shield

Signature Series™

Karen Benoit

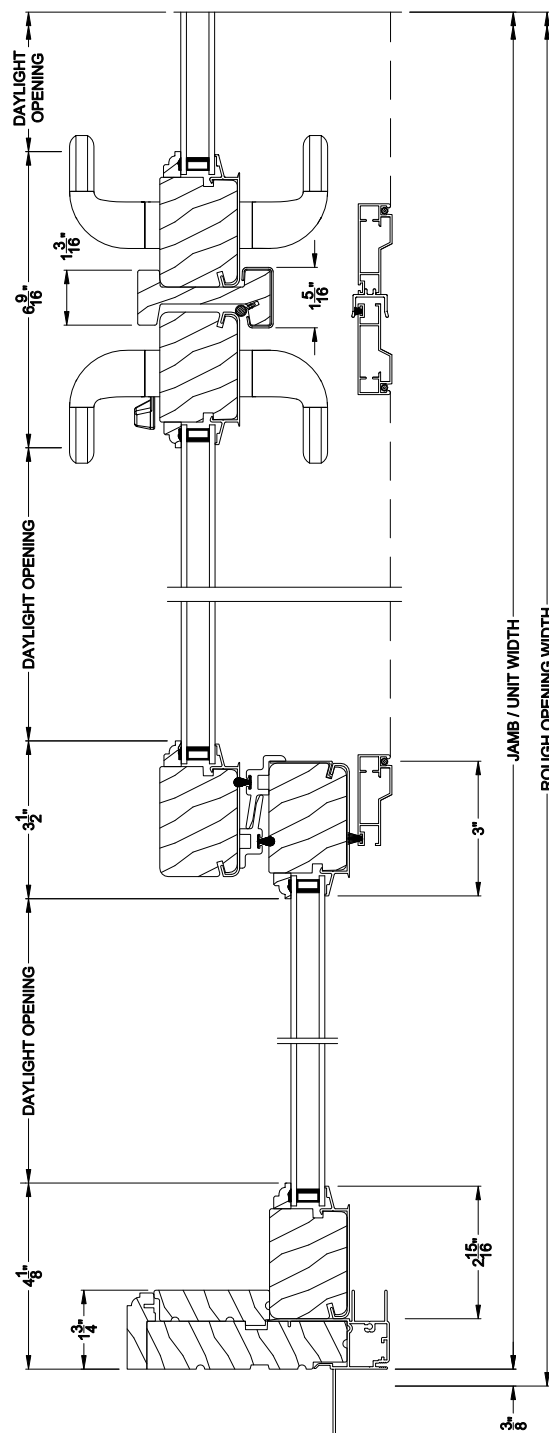
Sliding Patio Doors

CROSS SECTION DETAILS



SIGNATURE SLIDING PATIO DOOR (8714)

Horizontal Section - 3 Panel Door



SIGNATURE SLIDING PATIO DOOR (8714)

Horizontal Section - 4 Panel Door

Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025

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Montgomery County

Historic Preservation Commission

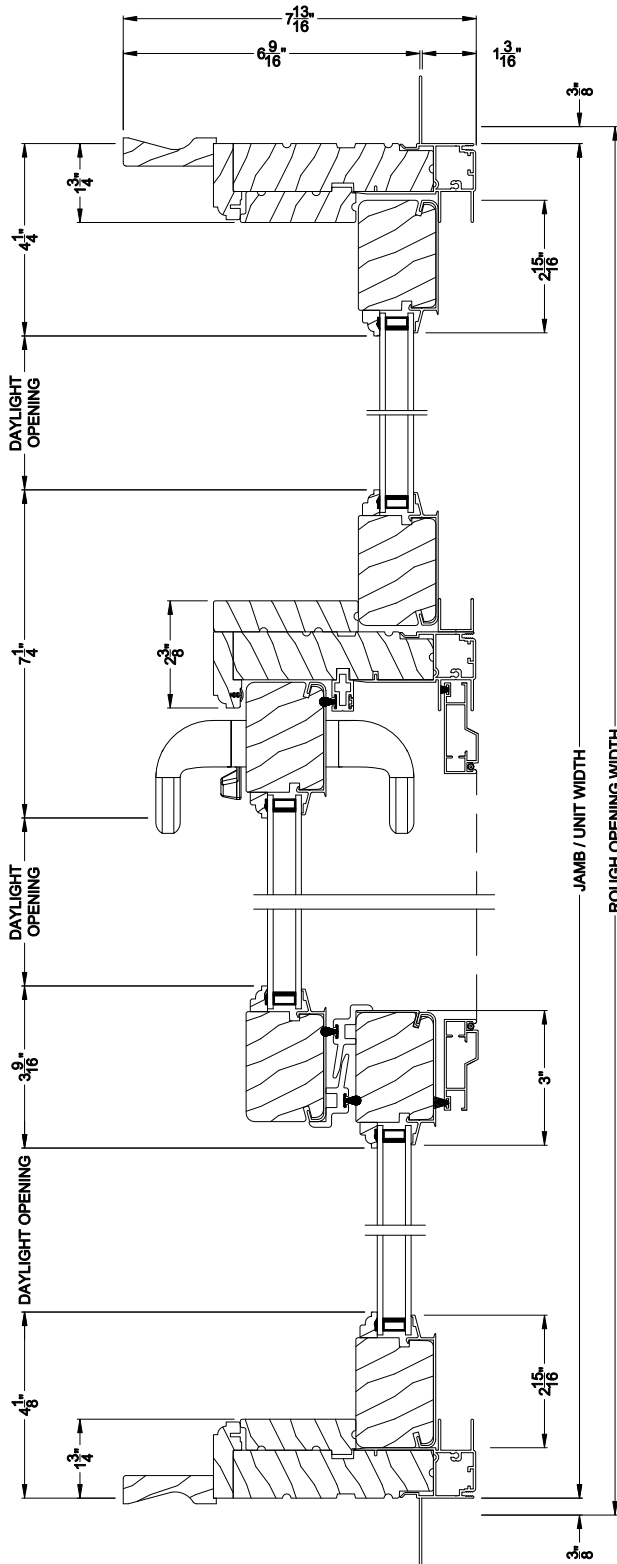
Weather Shield

Signature Series™

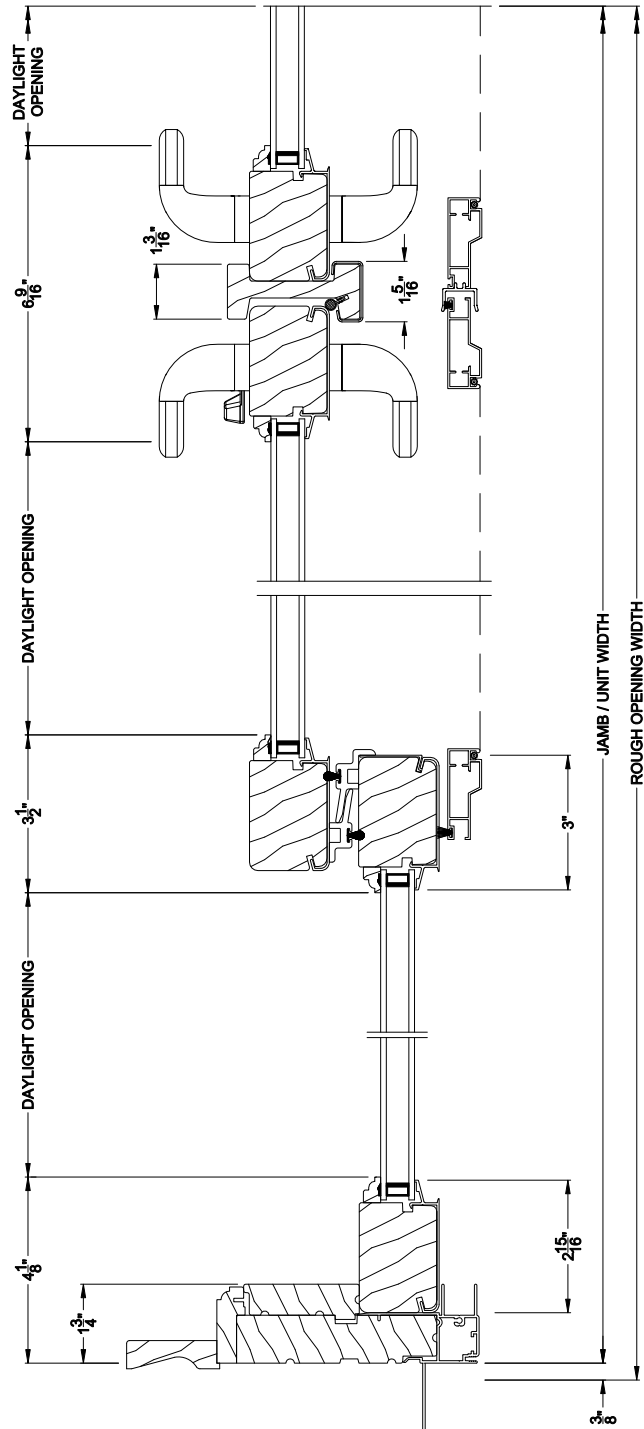
Karen Benoit

Sliding Patio Doors

CROSS SECTION DETAILS



SIGNATURE SLIDING PATIO DOOR (8714)
Horizontal Section - 3 Panel Door - 6-9/16" jamb



SIGNATURE SLIDING PATIO DOOR (8714)
Horizontal Section - 4 Panel Door - 6-9/16" jamb

Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Karen Bunkle

faux wood
REAL BEAUTY

*Canyon Ridge® / Carriage House 5-Layer Design 13; Shown in Dark Finish
with Mahogany Cladding, Mahogany Overlays and REC13 Window Design
Photo Credit: Andy Framé Photography*

CANYON RIDGE® Carriage House

5-LAYER CONSTRUCTION

Canyon Ridge® Carriage House 5-Layer garage doors capture the charm of old-world carriage style doors in a durable, moisture-resistant construction. Composite overlays give you a low-maintenance wood alternative that looks and feels like the real thing, and the peace of mind that comes from having a superior insulated steel core construction. Choose from three species: Clear Cypress, Pecky Cypress or Mahogany, and a variety of paint and stain colors to create a custom look. The result is a stunning carriage house door you will enjoy for years to come.

REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Karen B. Smith



- 1 COMPOSITE OVERLAY
- 2 COMPOSITE CLADDING
- 3 STEEL
- 4 2" INTELICORE® POLYURETHANE INSULATION
- 5 STEEL

COMPOSITE OVERLAY DELAMINATION
LIMITED
5YR
WARRANTY

HARDWARE
LIMITED
5YR
WARRANTY

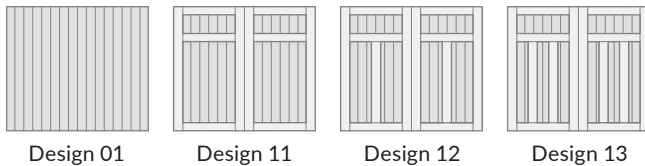
STYLE AND CONSTRUCTION

- 5-layer composite faux-wood doors with Intellicore® polyurethane insulation. 20.4 R-value.
- Insulated glass styles include clear, frosted, seeded, rain and obscure. See page 61 for details.
- Removable clip-in window grilles for easy cleaning.
- Spade lift handles and step plates included. See page 62 for more options.

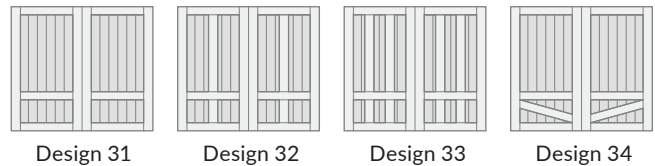
Calculated door section R-value is in accordance with DASMA TDS-163. Canyon Ridge® doors not applicable for new construction in California areas designated as "Fire Hazard Severity Zones".

DOOR DESIGNS

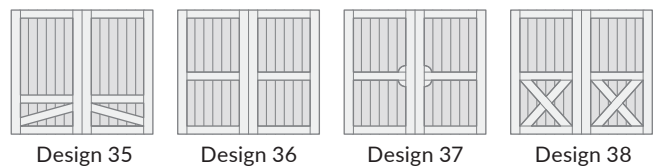
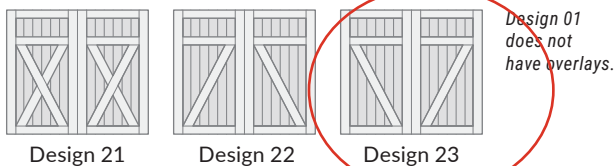
SERIES 1



SERIES 3



SERIES 2



MATERIAL DESIGN OPTIONS

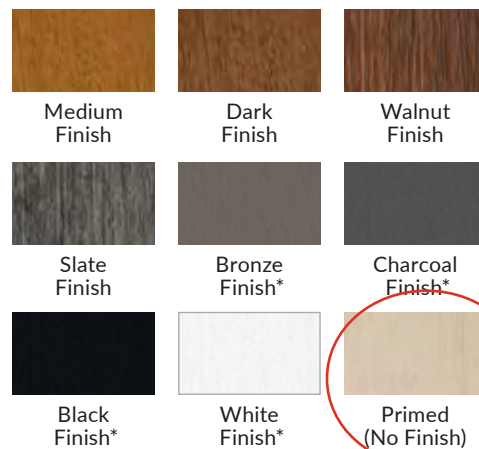
CLADDING



OVERLAY



COLORS

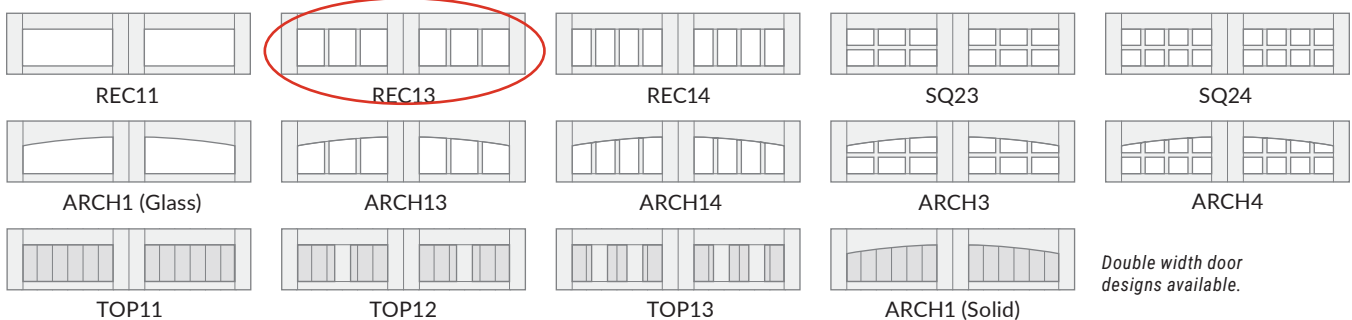


Doors can be ordered primed for custom field painting or staining. Door stain color may vary due to finishing process.

*Bronze, Charcoal, Black and White Finish available only on Mahogany cladding and overlays. Two-tone doors are available. To see all options go to ezdoor.clopay.com.

Due to the printing process, colors may vary. Order free color samples at clopaydoor.com/requestcolorsamples.

WINDOWS/TOP SECTIONS



YOUR PROFESSIONAL-CLASS PRODUCT

Heritage Smooth Fiberglass French Door



800.669.4711
2150 State Route 39
Sugarcreek, OH 44681

QUOTE INFORMATION

Job: 3806 Williams
PO #BURLINGTON
Order #12933080-2
Qty: 1

DETAILS

Heritage French Entry Door in FrameSaver Frame

72" x 80" Nominal Size
Unit Size: 74 1/8" x 80 7/8"
Frame Depth: 6 9/16"
2" Standard Brickmold
Right Hand Outswing - Left Door Active (OSLI)

French Doors

002 Style Heritage Smooth Fiberglass Door
Prime Only Inside and Outside

Hardware

Georgian Lockset - Prep Only - Active Door
Thumbturn Deadbolt - Prep Only - Active Door
Aged Bronze Strike Plates

Frame

Textured Snow Mist White Aluminum Brickmold Cladding - Loose on Unit
Prime Only Inside Frame
Standard Astragal (Flip Lever)
Bronze ZOB Outswing Bumper Threshold (7 5/8" Depth)
Stainless Steel Ball Bearing Hinges

Sell Price: \$2,255.00 plus tax

INFORMATION AND WARNINGS

Outswing doors include stainless steel hinges.



with a FrameSaver Frame only have a 2 year frame
recommends that you upgrade to a PermaTech
e which offers a lifetime frame warranty for both inswing
applications. See warranty for limitations and exclusions.
arranty, primed doors must be finished with a high quality
aint or exterior grade wood stain within 90 days of

installation.

On outswing doors with brickmold and cladding, ProVia recommends that
caulking be applied where the brickmold meets the frame. No caulking has
been selected.



OUTSIDE VIEW

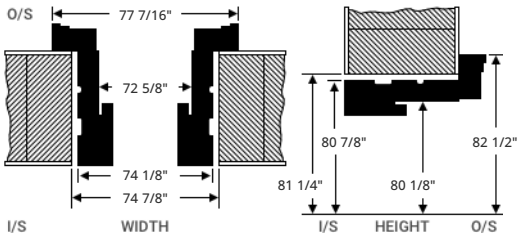


INSIDE VIEW

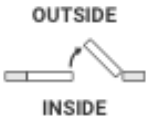
REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025

SIZING



HANDING



ENERGY

ENERGY PERFORMANCE RATINGS

U-Factor (U.S./I-P) Solar Heat Gain Coefficient

0.13 0.01

ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance

0.00 -

Air Infiltration (cfm/ft2)

<= 0.03



ENERGY STAR® Certified
In All 50 States.

YOUR PROFESSIONAL-CLASS PRODUCT

Heritage Smooth Fiberglass Entry Door with Clear Glass



OUTSIDE VIEW



INSIDE VIEW

REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025



800.669.4711
2150 State Route 39
Sugar Creek, OH 44681

QUOTE INFORMATION

Job: 3806 Williams
Tag: Garage 2nd Floor
PO #BURLINGTON
Order #12933080-1
Qty: 1

DETAILS

Heritage Single Entry Door in FrameSaver Frame

36" x 80" Nominal Size
Unit Size: 37 9/16" x 81 11/16"
Frame Depth: 6 9/16"
2" Standard Brickmold
Right Hand Inswing - Inside Looking Out
460 Style Heritage Smooth Fiberglass Door
ComforTech DLA
Colonial External Grid - 2V x 4H
Plugged Trim
Prime Only Inside and Outside

Hardware

Georgian Lockset - Prep Only
Thumbturn Deadbolt - Prep Only
Aged Bronze Strike Plates

Frame

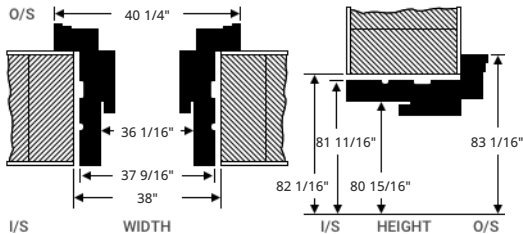
Textured Snow Mist White Aluminum Frame Cladding -
Loose on Unit
Prime Only Inside Frame
Bronze ZAC Auto-Adjusting Threshold (7 5/8" Depth)
Aged Bronze Ball Bearing Hinges

Price: \$1,715.00 plus tax

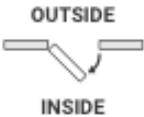
INSTALLATION INFORMATION AND WARNINGS

To maintain a warranty, primed doors must be finished with a high quality exterior grade paint or exterior grade wood stain within 90 days of installation.

SIZING



HANDING



Installation Instructions



ENERGY

ENERGY PERFORMANCE RATINGS

U-Factor (U.S./I-P) Solar Heat Gain Coefficient

0.24

0.14

ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance

0.26

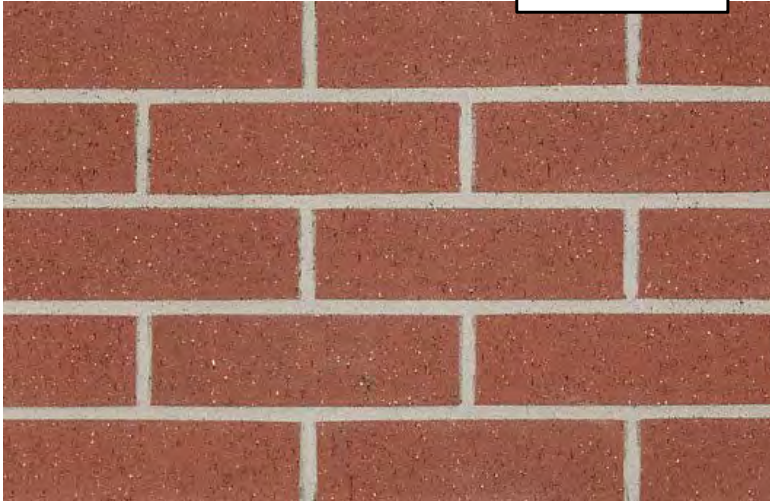
Air Infiltration (cfm/ft2)

<= 0.03



ENERGY STAR® Certified
In All 50 States.





Type	Face
Color	Red
Texture	Velour
Plant	Plant 2
Manufacturing Method	Extruded

Sizes


Sizes	Width	Height	Length	Unit/Sq Ft
Modular	3 5/8" 92mm	2 1/4" 57mm	7 5/8" 194mm	6.86
Norman	3 5/8" 92mm	2 1/4" 57mm	11 5/8" 295mm	4.57
Economo Modular	3 5/8" 92mm	3 5/8" 92mm	7 5/8" 194mm	4.50
Utility	3 5/8" 92mm	3 5/8" 92mm	11 5/8" 295mm	3.00
Monarch	3 5/8" 92mm	3 5/8" 92mm	15 5/8" 397mm	2.25
6" Thru-Wall Monarch	5 5/8" 143mm	3 5/8" 92mm	15 5/8" 397mm	2.25
8" Thru-Wall Monarch	7 5/8" 194mm	3 5/8" 92mm	15 5/8" 397mm	2.25
Double Utility	3 5/8" 92mm	7 5/8" 194mm	11 5/8" 295mm	1.50
Double Monarch	3 5/8" 92mm	7 5/8" 194mm	15 5/8" 397mm	1.13

REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025



Specs

Standards / Value	FACE BRICK C216	FBX
Size		
Avg. Comp. (PSI)	28,280	
Avg. 24 Hr. Cold Water Absor.	2.00	
Avg. 5 Hr. Boil Absor.	2.10	
Avg. Saturation Coeff.	0.92	
Avg. Initial Rate Absor.	3.90	
Test Report	 Download	
Cleaning Recommendation	Belden Brick recommends using Vanatrol® to clean this product. Alternatively, EaCo Chem NMD 80® can be used to clean any of our brick.	

REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Karen Dunlop

CHALKSTONE™ PAVER

TIME HONED HAND-COBBLED APPEARANCE
WITH OLD WORLD-CHARM



REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025

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Montgomery County
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Karen Buelit

CHARLESTONE™

PAVER

TIME HONED HAND-COBBLED
APPEARANCE WITH OLD-WORLD
CHARM

✓ FEATURES & BENEFITS

- Timeless look of hand-cobbled stone
- Sized in true 3-inch increments for simplified estimating and ordering
- Reduced cuts and waste
- Compatible in sizing with Origins™ and Dimensions™ paver lines
- Pallet optimized for both mechanical and manual installation

🔥 RICHMOND SERIES



CHESAPEAKE



MIDNIGHT



DURAFUSION™
Unmatched Durability

Swatch represents product color only, not
surface texture, dimension and/or shape.

📦 SHAPES & SIZES

3-PIECE MODULAR | 60MM



6 x 6 x 2 3/8



6 x 9 x 2 3/8



6 x 12 x 2 3/8

BELGARD®

PAVES
THE WAY

For more info, visit Belgard.com

**MID-ATLANTIC
CROFTON**

2630 Conway Road
Odenton, MD 21113
Ph: 301-261-0200

RICHMOND

1231 Willis Road
Richmond, VA 23237
Ph: 804-279-7501



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Revised: 04/24/23 BEL22-412_Mid-Atlantic

REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025

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Montgomery County
Historic Preservation Commission

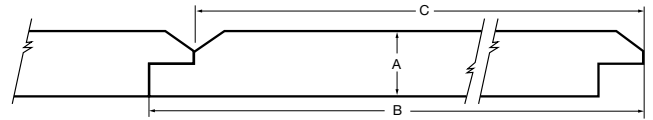
Karen G. Smith

V-RUSTIC

The V-Rustic profile features a deep "V" groove that creates an appealing shadow line effect.

Smooth Finish

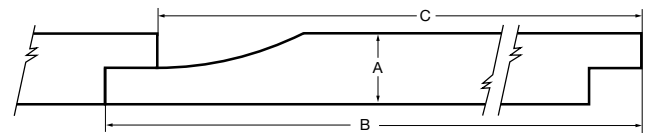
Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	5"
1 x 8	11/16"	7-1/2"	7"
1 x 10	11/16"	9-1/2"	9"

**COVE/DUTCH LAP**

The Cove/Dutch Lap profile features a subtle curve that creates a unique, eased appearance.

Smooth Finish

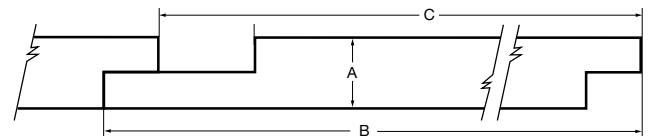
Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/4"	6-23/32"
1 x 10	11/16"	9-1/4"	8-23/32"

**CHANNEL**

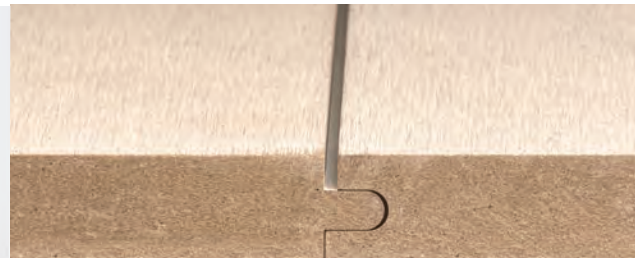
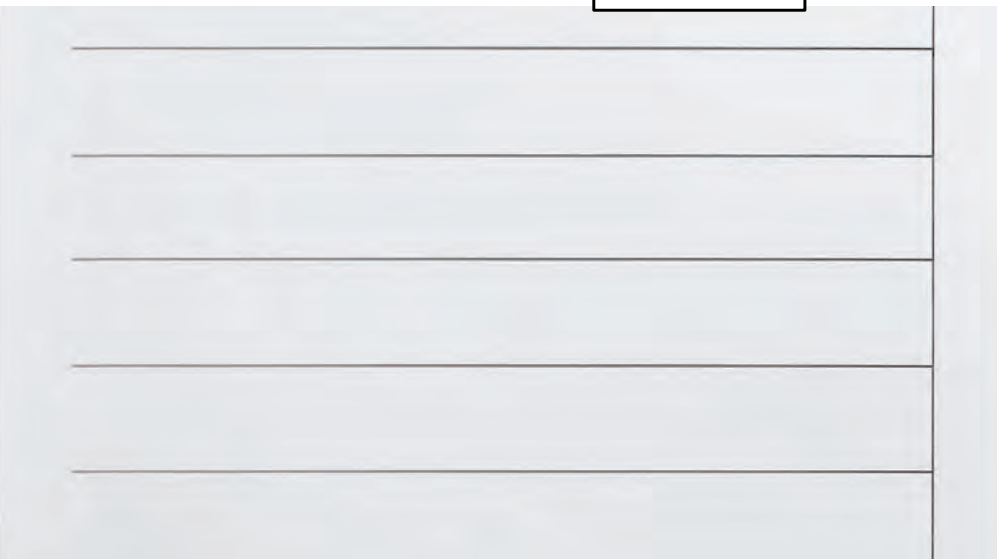
The Channel profile's wide groove creates a rich shadow line effect.

Smooth Finish

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/4"	6-23/32"
1 x 10	11/16"	9-1/4"	8-23/32"



TruExterior Siding comes pre-primed and does require paint.



Nickel Gap Siding

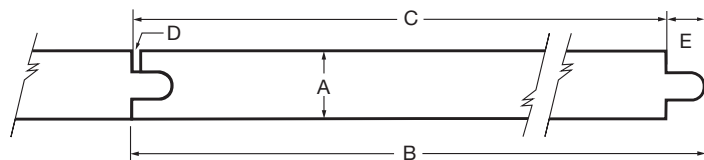
Nickel Gap Siding is the newest addition to the TruExterior® Siding Craftsman Collection™. The tongue-and-groove profile is self-gapping, creating a consistent nickel sized space between each board, allowing installers to achieve the traditional look of perfectly-spaced shiplap siding quickly and easily, without the need for spacers.

TruExterior® Siding

Boral has created an entirely new category of siding products with its TruExterior® Siding. The six new Craftsman Collection™ profiles recreate the look and feel of traditional wood siding but perform better, are remarkably workable and have a lasting look – offering a solution for homeowners who desire the look and feel of traditional wood siding without the constant maintenance and upkeep associated with exterior wood products.

Nickel Gap Specifications

Nominal Size	Thickness (A)	Actual Width (B)	Reveal (C)	Gap (D)	Tongue (E)
11/16 x 4	0.6875"	3.50"	3.1591"	0.08"	0.3409"
11/16 x 6	0.6875"	5.50"	5.1591"	0.08"	0.3409"
11/16 x 8	0.6875"	7.25"	6.9091"	0.08"	0.3409"
11/16 x 10	0.6875"	9.25"	7.9091"	0.08"	0.3409"



†See TruExterior® Siding Warranty and Data Sheet for proprietary test results, located at TruExterior.com

Boral TruExterior® Siding Facts

- Workability exceeds that of wood siding
- Installs with standard woodworking tools and methods
- No need to prime ends or field cuts
- Easily accepts paint of any color
- Accepts a wide variety of fasteners
- Resists rot and termite attacks†
- Maintains high level of dimensional stability†
- No cracking or splitting from moisture
- 16' lengths
- Made in the USA
- 20-year limited warranty†



BORAL
BUILDING PRODUCTS

REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025

GAF

Timberline
High Definition® Lifetime® Shingles

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

DZ®



As featured on *This Old House*, the Timberline HDZ® shingles installed here are Oyster Gray.

Millions of families have found shelter and peace of mind under a Timberline® roof.

And now, a good thing just got even better again.

GAF

We protect what matters most™

REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025

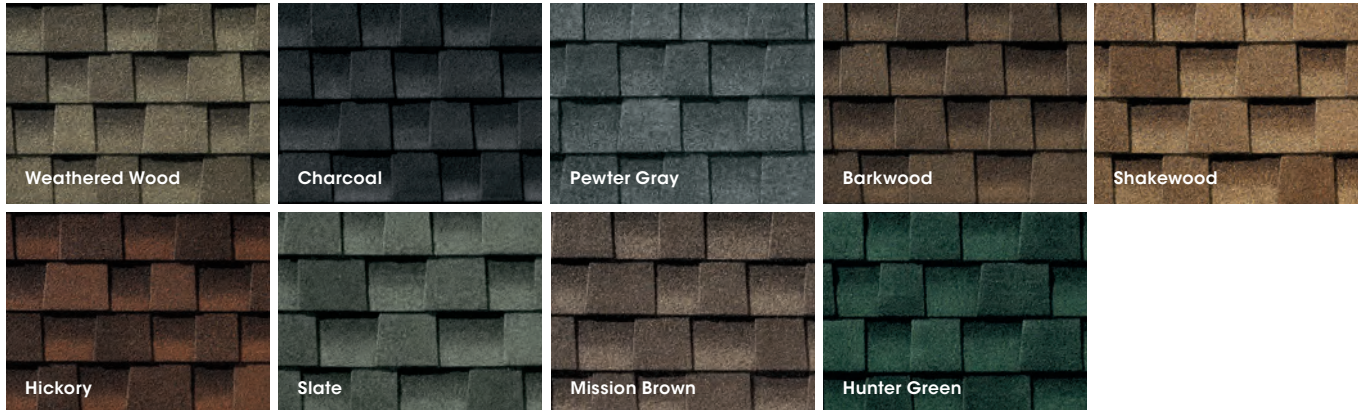
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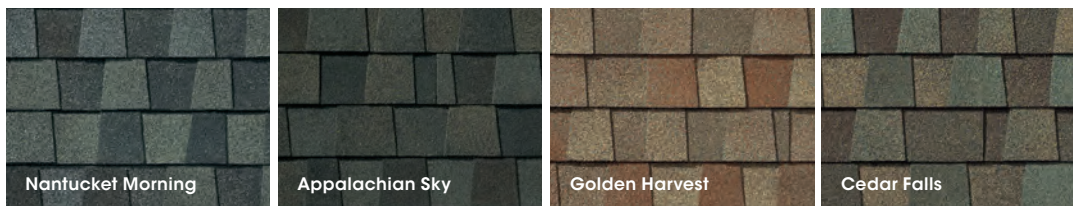
Color Availability



Nationally Available Colors



Harvest Blend Colors



Regionally Available Colors (See next page for details.)



For more details visit gaf.com/TimberlineHDZ

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025

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Historic Preservation Commission

Karen Guelit

Timberline HDZ® Quality

Color Availability Chart

Most Popular Colors:

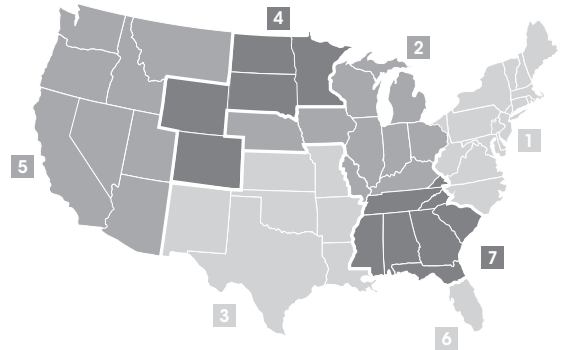
	1	2	3	4	5	6	7
Barkwood	•	•	•	•	•	•	•
Charcoal	•	•	•	•	•	•	•
Hickory	•	•	•	•	•	•	•
Hunter Green	•	•	•	•	•	•	•
Mission Brown	•	•	•	•	•	•	•
Pewter Gray	•	•	•	•	•	•	•
Shakewood	•	•	•	•	•	•	•
Slate	•	•	•	•	•	•	•
Weathered Wood	•	•	•	•	•	•	•

Harvest Blend Colors:

Nantucket Morning	•	•	•	•	•	•	•
Appalachian Sky	•	•	•	•	•	•	•
Golden Harvest	•	•	•	•	•	•	•
Cedar Falls	•	•	•	•	•	•	•

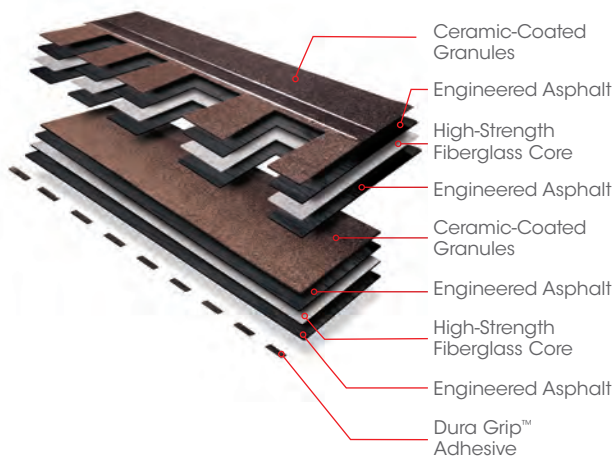
Regional Colors:

Birchwood	•	•	•	•	•	•	•
Biscayne Blue	•	•	•	•	•	•	•
Copper Canyon*	•	•	•	•	•	•	•
Driftwood	•	•	•	•	•	•	•
Fox Hollow Gray	•	•	•	•	•	•	•
Golden Amber*	•	•	•	•	•	•	•
Oyster Gray	•	•	•	•	•	•	•
Patriot Red	•	•	•	•	•	•	•
Sunset Brick	•	•	•	•	•	•	•
Williamsburg Slate	•	•	•	•	•	•	•



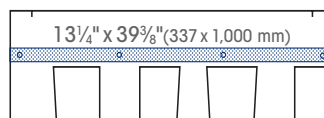
* Rated by the Cool Roof Rating Council (CRRC); can be used to comply with 2022 Title 24 Part 6 Cool Roof Requirements of the California Code of Regulations.

The protective layers of a Timberline HDZ® shingle



Product/System Specifics

- Fiberglass asphalt construction
- Dimensions (approx.): 13 1/4" x 39 3/8" (337 mm x 1,000 mm)
- Exposure: 5 5/8" (143 mm)
- Bundles/Square: 3
- Pieces/Square: 64
- StainGuard Plus™ Algae Protection Limited Warranty¹
- Hip/Ridge: TimberTex®³; TimberCrest®; Seal-A-Ridge®; Z®Ridge; Ridglass®
- Starter: Pro-Start®; QuickStart®; WeatherBlocker™



Applicable Standards & Protocols:

- Passes UL 2218 Impact-Resistance Test with Class 3 rating
- State of Florida approved
- Classified by UL in accordance with ICC-ES AC438
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018, Type 1
- Meets ASTM D3462²
- Miami-Dade County Product Control approved
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267
- Meets Texas Department of Insurance Requirements
- Birchwood, Copper Canyon, and Golden Amber are rated by the CRRC; Can be used to comply with 2022 Title 24 Part 6 Cool Roof Requirements of the California Code of Regulations.

¹ 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See GAF Shingle & Accessory Limited Warranty for complete coverage and restrictions and qualifying products.

² Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

³ Harvest Blend colors are only available on TimberTex® and Seal-A-Ridge®.

REVIEWED

By Laura DiPasquale at 1:06 pm, May 20, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Karen Quint

TimberTex® and TimberCrest® Premium Ridge Cap Shingles



Hip & ridge cap shingles accentuate the natural beauty of your architectural shingle roof. They're the perfect finishing touch that helps defend against leaks at the hips and ridges.
gaf.com/ridgecaps

TimberTex® Premium
Ridge Cap Shingles



TimberCrest® Premium
SBS-Modified Ridge Cap Shingles

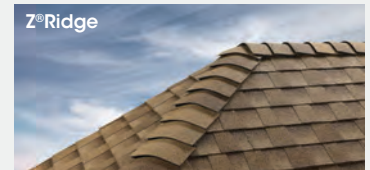


TimberTex® and TimberCrest® premium ridge cap shingles are designed to complement the color of your Timberline® shingles. To ensure the closest color consistency for your roof, ask your contractor to use genuine TimberTex® or TimberCrest® premium ridge cap shingles.¹

- Accentuate the beauty of your newly installed shingle roof
- Protect against leaks and blow-offs at the hip and ridge areas of your roof
- Complement the color of your GAF shingles with hip and ridge cap shingles manufactured by GAF
- 25-year StainGuard Plus™ Algae Protection Limited Warranty² against blue-green algae discoloration uses GAF time-release algae-fighting technology to help protect your ridge cap shingles from unsightly stains.

Also available¹

Z®Ridge



Seal-A-Ridge®



¹ These products are not available in all areas. See gaf.com/ridgecapavailability for details.

² 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions and qualifying products.