



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

April 1, 2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1092049 - Building Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the March 26, 2025 HPC meeting.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Cynthia Milloy
Address: 9403 Warren St., Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Dan Bruechert at 301-563.3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



PRESCRIPTIVE WORKSHEET (R-Values)

Applicant Name: OAKEN HAMMER
 Building Address: 9403 WARREN ST

Date: 4/1/25
 Permit (A/P) #: 1092049

CRITERIA		REQUIRED	PROVIDED	ASSEMBLY DESCRIPTION
WINDOWS/DOORS GLAZED FENESTRATION	MAX. U-FACTOR	0.32	.33	DOUBLE HUNG ALUM CLAD
	MAX. SHGC	0.55	.28	
SKYLIGHTS	MAX. U-FACTOR	0.4	N/A	
	MAX. SHGC	0.4	N/A	
CEILINGS	MINIMUM R-VALUE	R-49	R-49	7" FOAM / 16" BLOW F.G.
WALLS (wood framing)		R-20 or 13+5	R-20	F.G. BATTS
MASS WALLS		**R-8/13	N/A	
BASEMENT WALLS		*R-10/13	N/A	
FLOORS		R-19		
SLAB PERIMETER R-value, depth		R-10, 2ft		
CRAWL SPACE WALLS		*R-10/13	R-10	FOAM PANELS

*The first R-value applies to continuous insulation, the second to framing cavity insulation. *10/13 means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall."

**The second R-value applies when more than half the insulation is on the interior of the mass wall. Insulation material used in layers, such as framing cavity insulation and insulating sheathing, shall be summed to compute the component R-value.



Thermally Isolated Sunroom, Check box if applicable.

- Minimum Ceiling R-Value for Sunroom (R-19)
- Minimum Wall R-Value (R-13)
- New wall(s) separating a sunroom from conditioned space shall meet the building thermal envelope requirements.

REVIEWED

By Dan Bruechert at 6:09 pm, Apr 01, 2025

I hereby certify that the building design represented in the attached construction documents has been designed to meet or exceed the requirements of: ²

2018 Edition International Energy Conservation Code (IECC)

WILLIAM MILLOY
 Builder/Designer/Contractor

OAKEN HAMMER
 Company Name

4/1/25
 Date

UPIN

² Section R103.3.1 "Documents shall be endorsed and stamped "Reviewed for Code Compliance." Section R103.3.3 provides provision for *Phased Approval*. "The code official shall have the authority to issue a permit for the construction of part of an energy conservation system before the construction documents for the entire system have been submitted or approved, provided adequate information and detailed statements have been filed complying with all pertinent requirements of this code. The holders of such permit shall proceed at their own risk without assurance that the permit for the entire energy conservation system will be granted."

11. The following information is available for the year ended 31 December 2014:

0313

1. The proposed changes to the Constitution are not in the public interest and should not be adopted.

- UNIVERSITY OF CALIFORNIA, BERKELEY

The second phase of the study was a 10-week intervention period. The intervention was designed to be a 10-week program of 10 sessions, each lasting 10 minutes, and was delivered by a research assistant. The intervention was designed to be a 10-week program of 10 sessions, each lasting 10 minutes, and was delivered by a research assistant.

conditions indicated elsewhere on the interior of exterior of the house of B-13 (e.g., plaster on the interior of the walls, etc.) is subject to contractor's discretion. The second, a bathroom vanity, approximately 10'10" square, 5'-10" high, is located on the interior of exterior of the house of B-13 (e.g., plaster on the interior of the walls, etc.) is subject to contractor's discretion. The second, a bathroom vanity, approximately 10'10" square, 5'-10" high, is located on the interior of exterior of the house of B-13 (e.g., plaster on the interior of the walls, etc.) is subject to contractor's discretion.

DATE _____

УБЕРСХИЛЛЕ МОРИСЕНЕЛ (18-19-е вв.)

Window Schedule:

MIRA Classic Premium
wood double hung
3wx2h 7/8" SDL grill

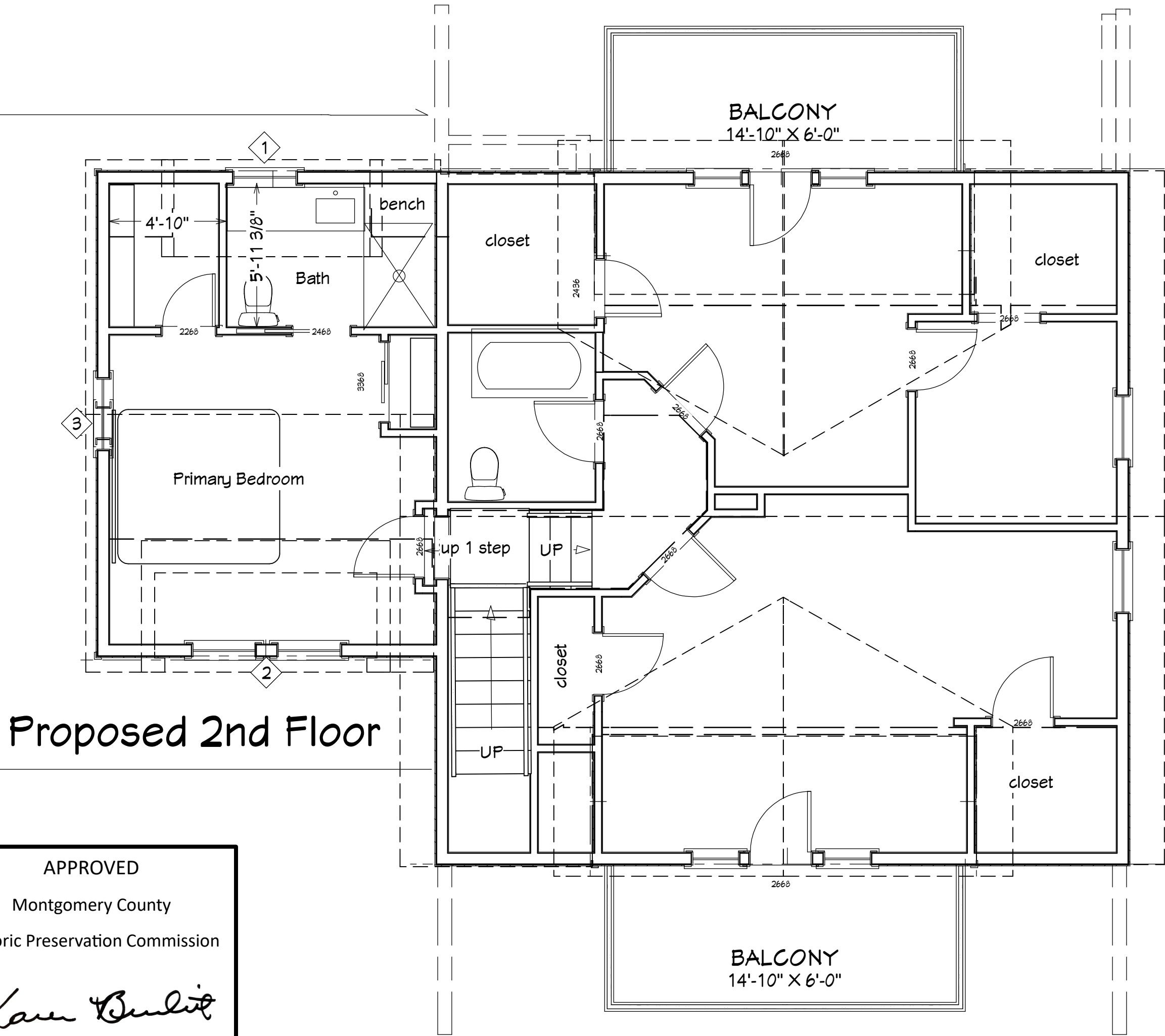
- 1 32" x 48"
- 2 32" x 48" twin
- 3 36" x 56" Egress

Door Schedule:

- 1- no new exterior doors
- 2- interior doors to match existing --5-panel wood

Existing Windows

1st Floor: 36"x 62" typ.
2nd floor: 32"x54" typ.



Proposed 2nd Floor

Existing
2nd Floor

APPROVED
Montgomery County
Historic Preservation Commission
Karen Benoit

REVIEWED
By Dan Bruechert at 6:08 pm, Apr 01, 2025

Job Address:
9403 Warren St
Silver Spring MD.
20910

P: 2
Second Floor
Plan

dryawings by:
Oaken Hammer
12507 Two Farm Drive
Silver Spring, Md. 20904
MHIC 5658 #301-655-8079

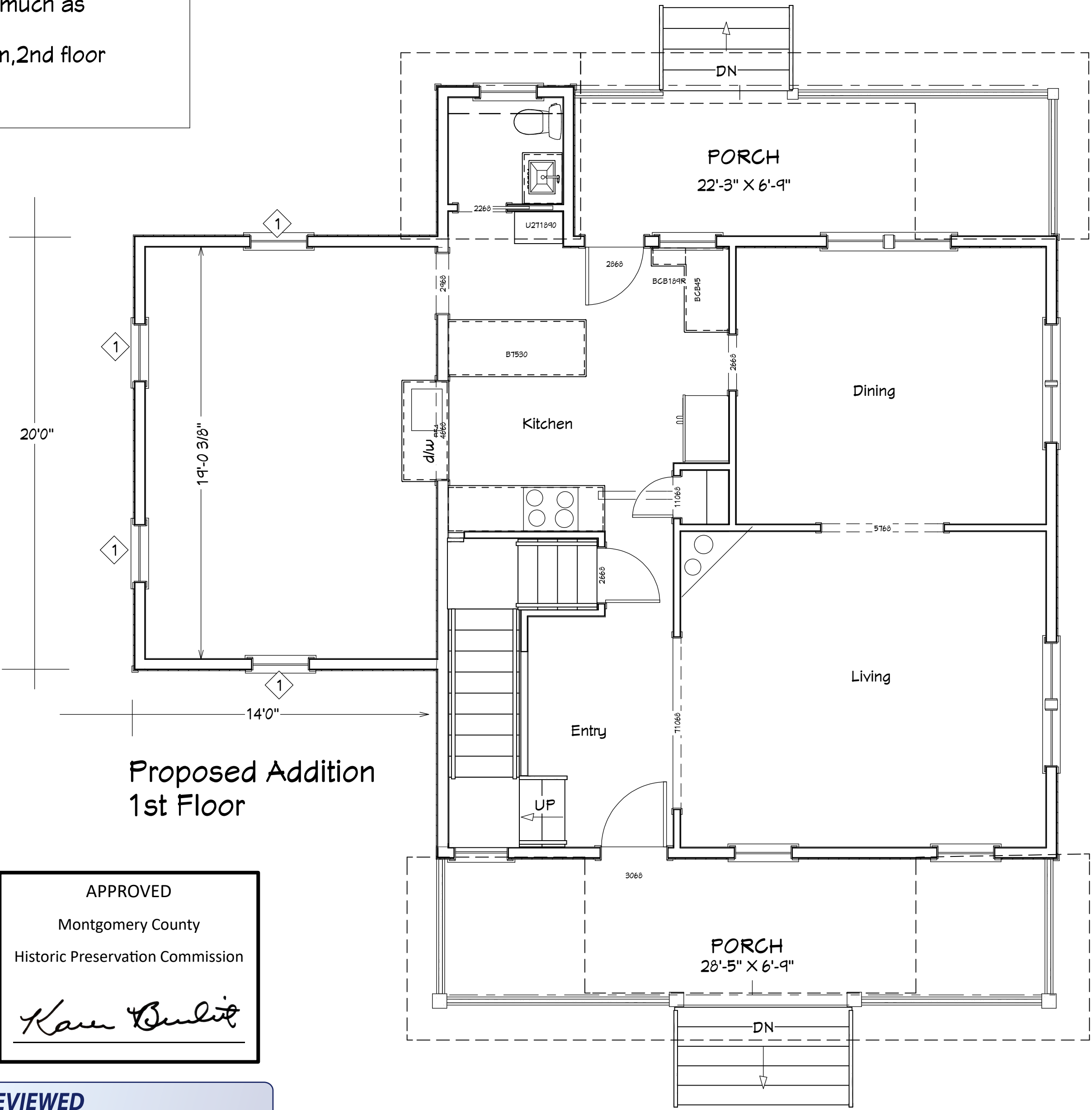
Date:
3/1/2025
Scale:
1/4"=1'0"

Scope of work:

Build 14'x20' addition to side of existing home.
Match original details as much as possible.
Build 1st floor family room, 2nd floor primary bed/bath.

Index of Pages:

- P-1 1st Floor Plan
- P-2 2nd Floor Plan
- P-3 Floor Framing
- Section addition
- P-4 Existing Conditions
- Wind Bracing
- P-5 Side Elevations
- P-6 Front and Rear Elevations
- P-7 Front View
- P-8 Rear View



Proposed Addition
1st Floor

1st Floor

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Montgomery County
Historic Preservation Commission
Karen Bruechert

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By Dan Bruechert at 6:08 pm, Apr 01, 2025

Job Address:

9403 Warren St
Silver Spring MD.
20910

P: 1
First Floor
Plan

drawings by:

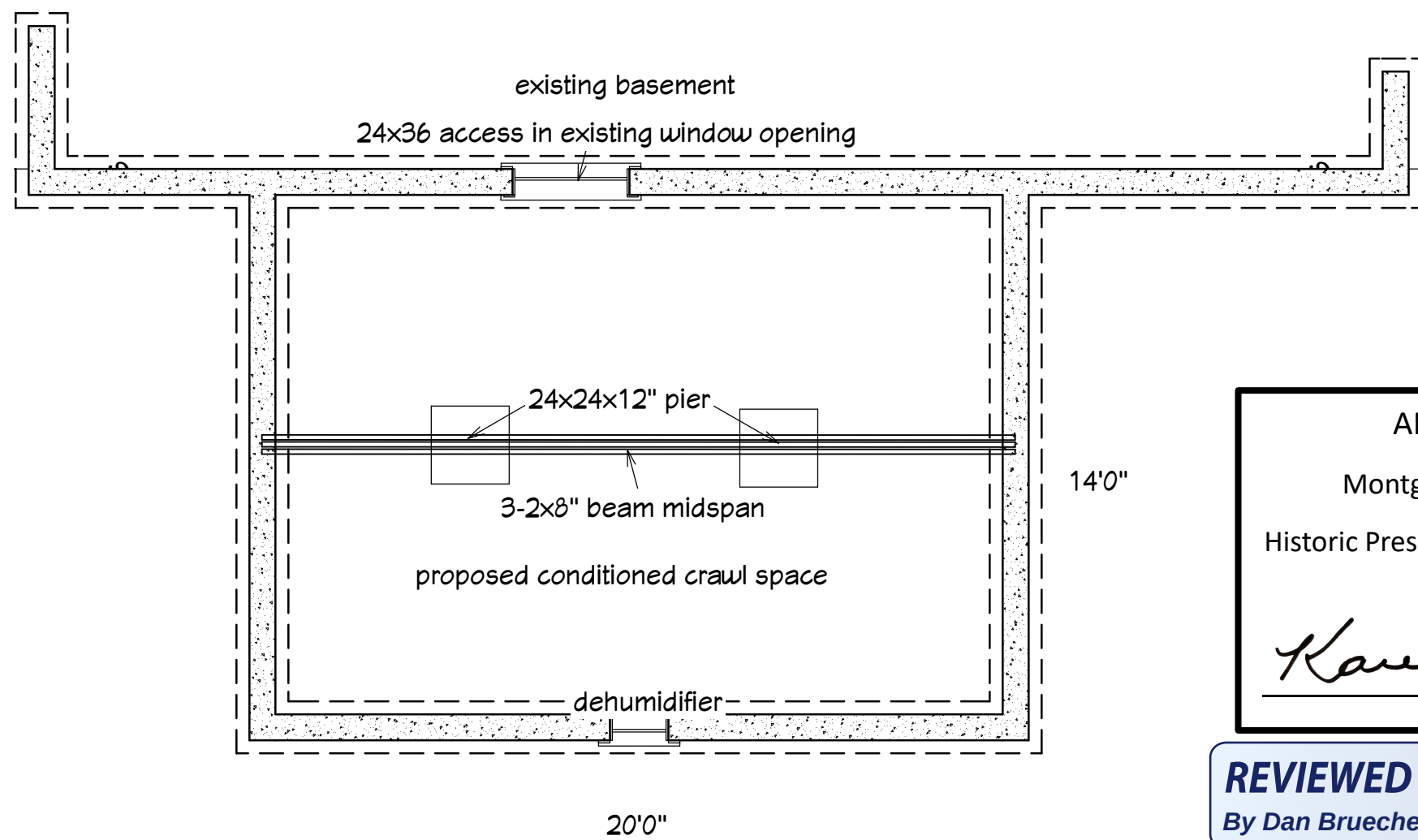
Oaken Hammer
12507 Two Farm Drive
Silver Spring, Md. 20904
MHIC 5658 #301-655-8079

Date:

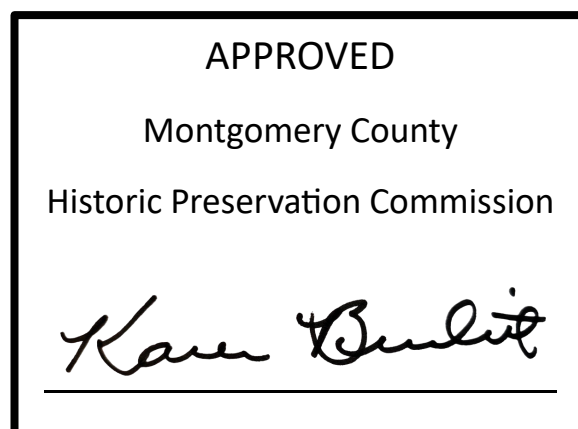
3/1/2025

Scale:

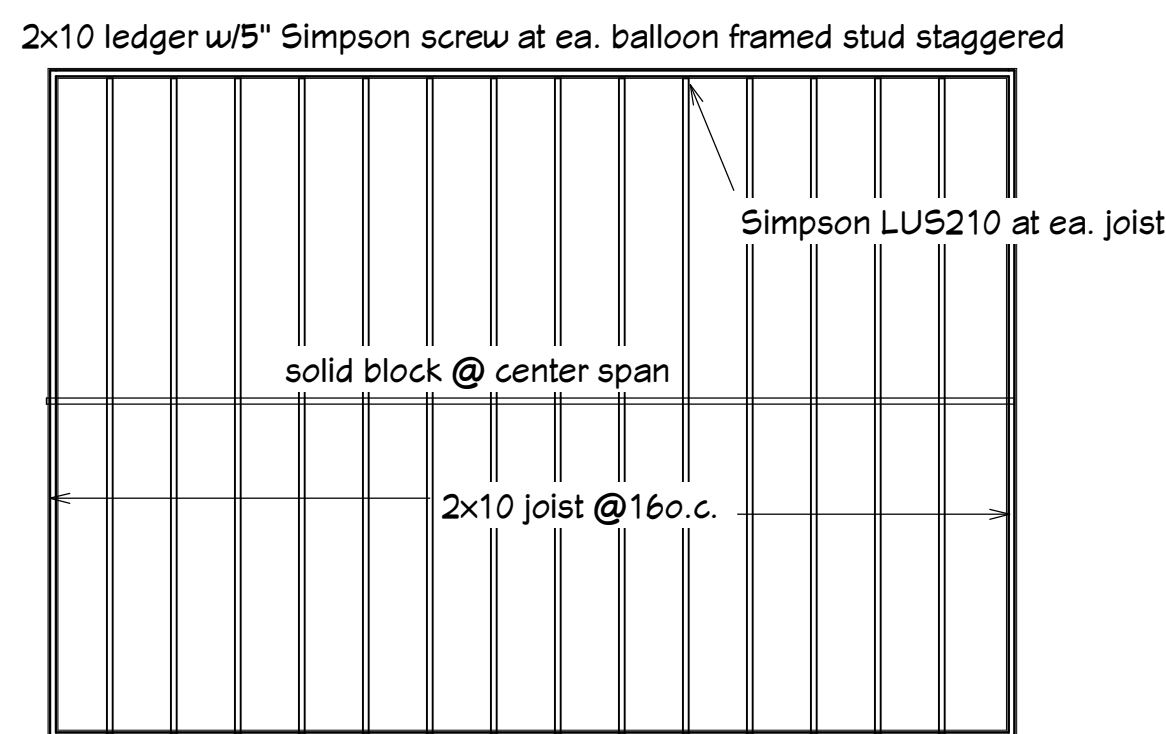
1/4"=1'0"



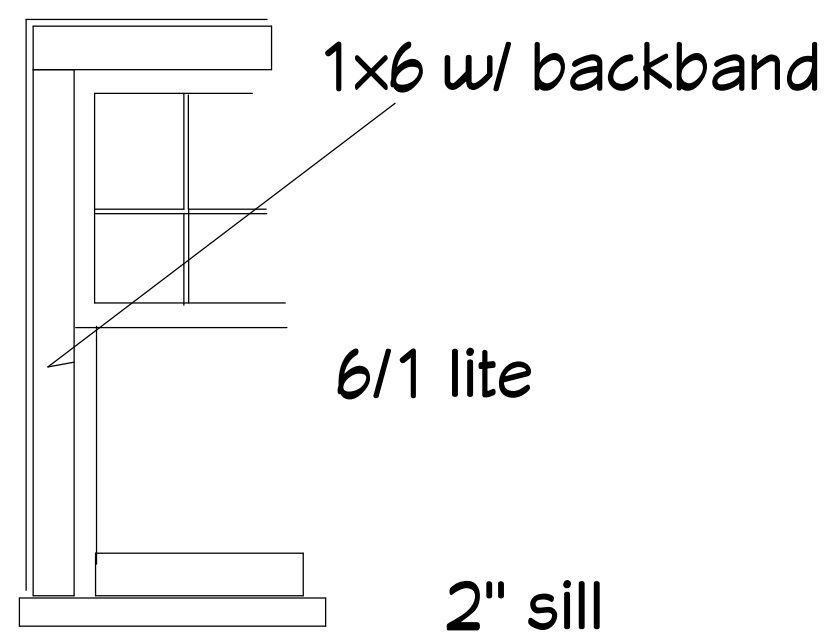
Foundation Plan



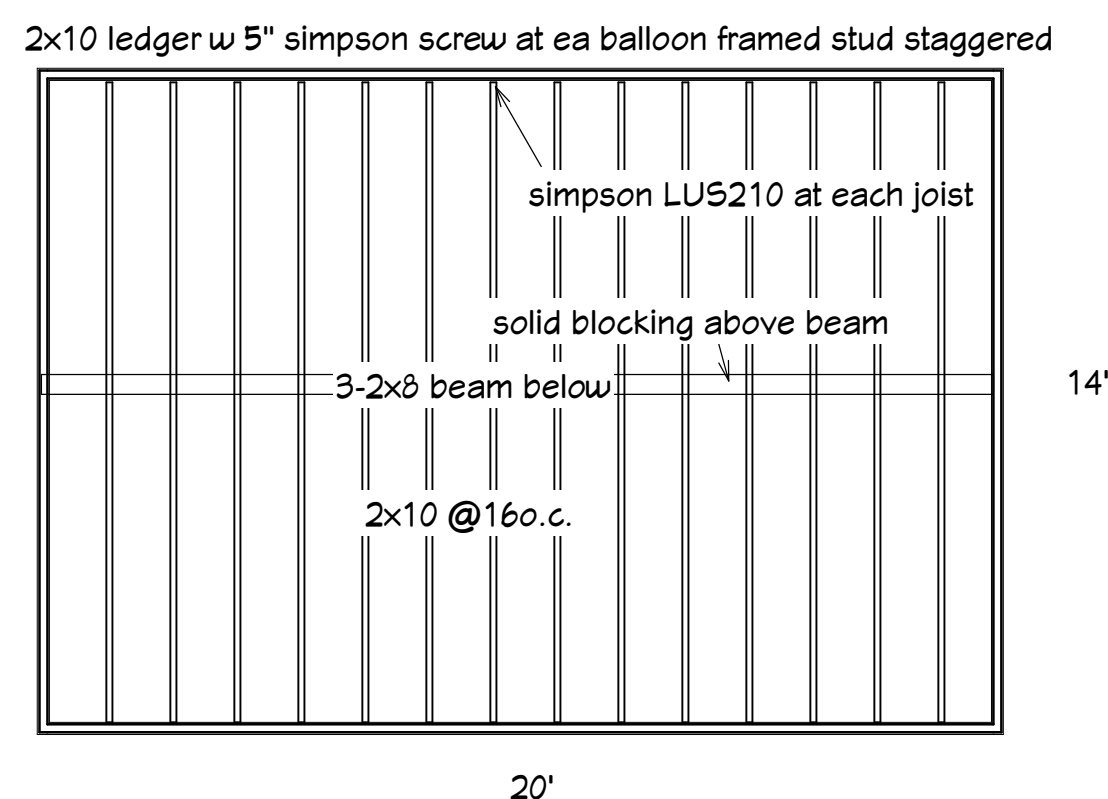
REVIEWED
By Dan Bruechert at 6:08 pm, Apr 01, 2025



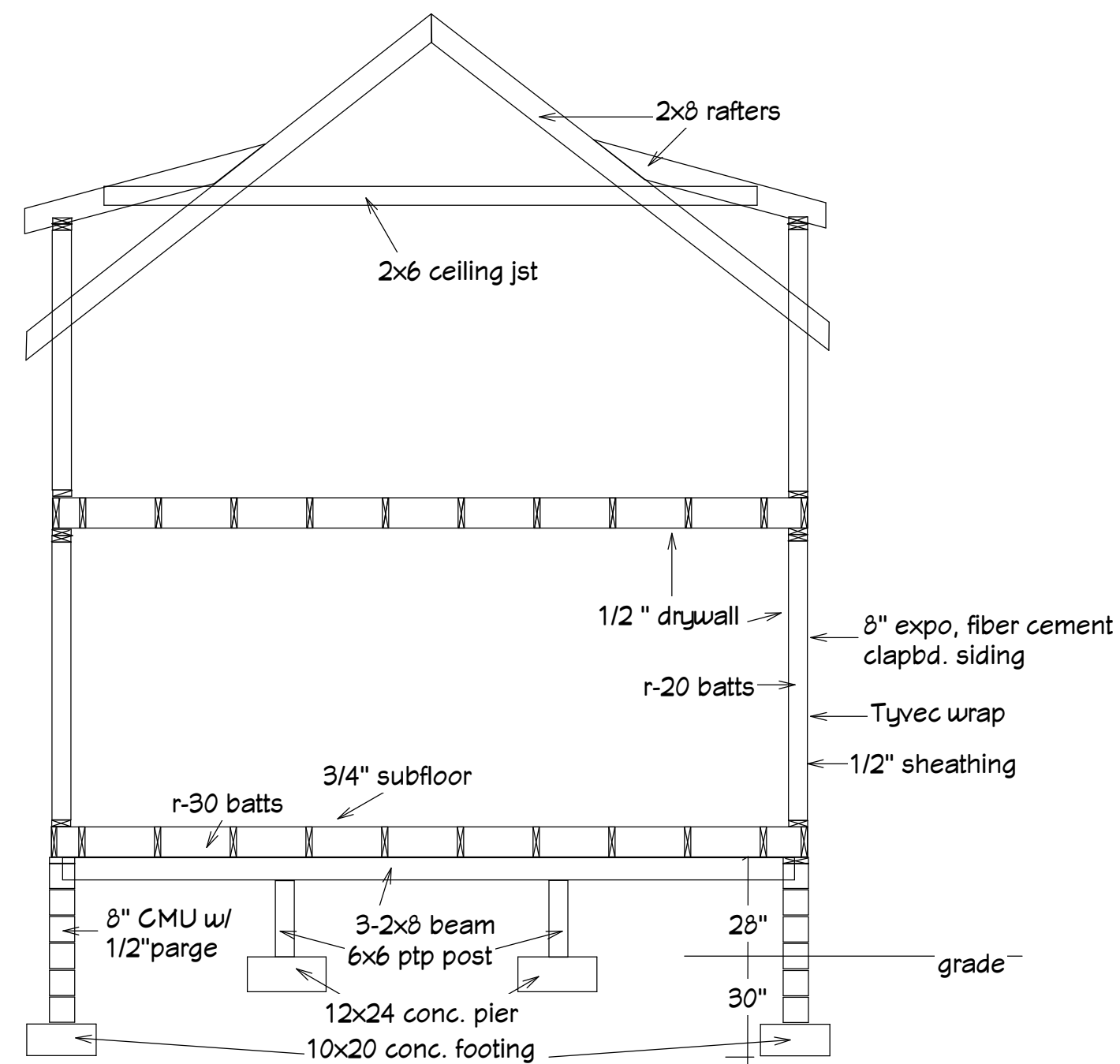
2nd Floor Framing



Window Trim Typ.



1st Floor framing



Section / Addition

Existing Overhang Dim.

Main House:
eaves- 18"
rake- 16"
Dormers:
eaves-10"
rake-10"

Proposed Addition Overhang Dim.

Dormers:
eaves-6"
rake-6"

Note: overhangs are meant not to compete with existing but complement

drawings by:

Oaken Hammer
12507 Two Farm Drive
Silver Spring, Md. 20904
MHIC 5658 #301-655-8079

Date:

3/1/2025

Scale:

1/4"=1'0"

Job Address:

9403 Warren St
Silver Spring MD.
20910

P:3 Section Elevation Floor Framing

Floor Live Load
Roof Live Load
Ground Snow Load
Wind Speed Exposure
Seismic Design Category
Termite Area
Winter Design Temperature
Ice Shield Underlayment
Flood Hazard
Air Freeze Index
Mean Annual Temperature

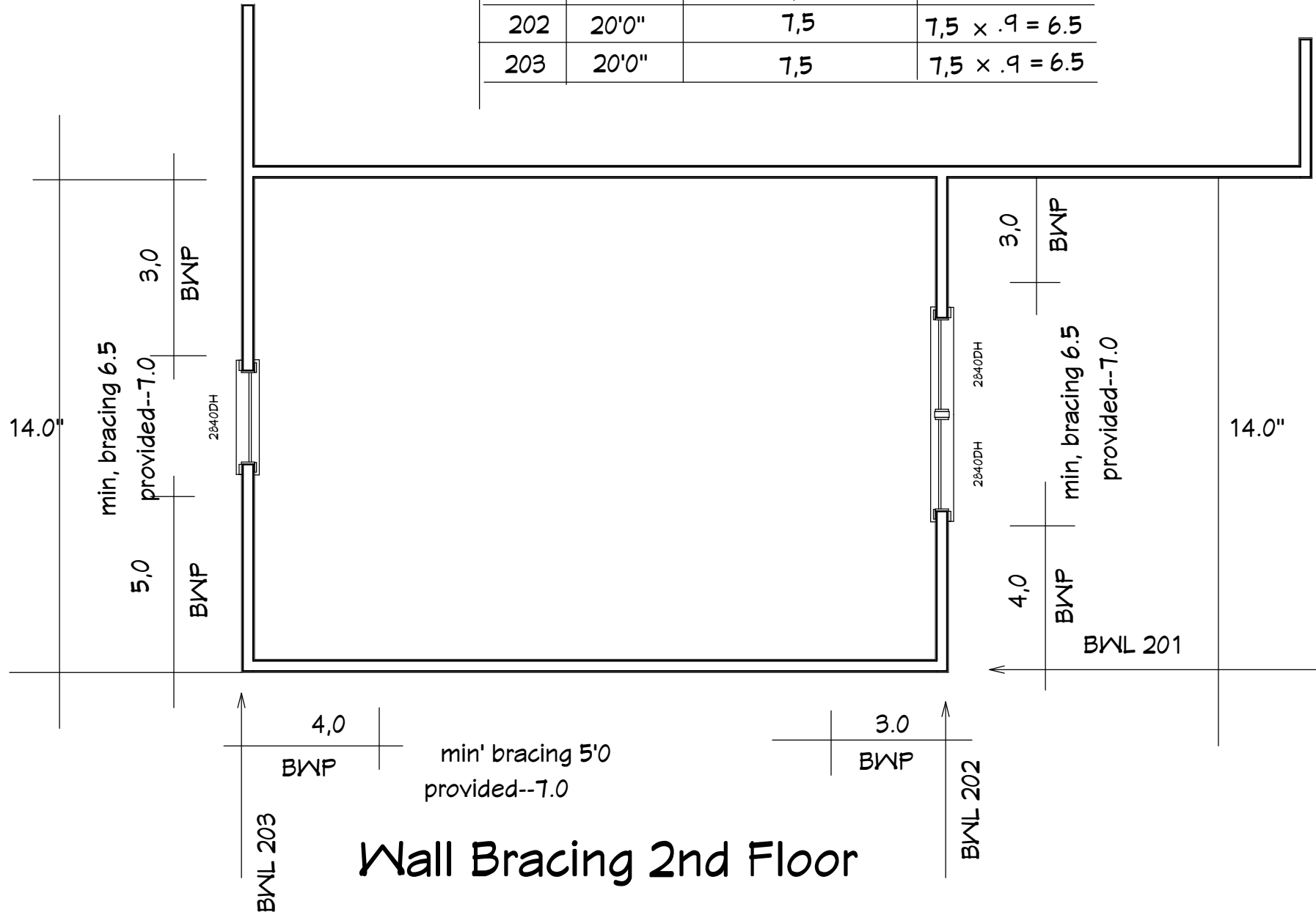
40PSF
30PSF
30PSF
115MPH
B
moderate to heavy
13 degrees
yes/required
July 2, 1979
300
55 Degrees

notes:
wall height 8'-9
BWL= braced wall line
BWP=braced wall panel wall bracing method=CS-WSP
CS-WSP nailing min. 3/8"wood structural panel secured w/6d com. @edges and 12"@intermediate supports

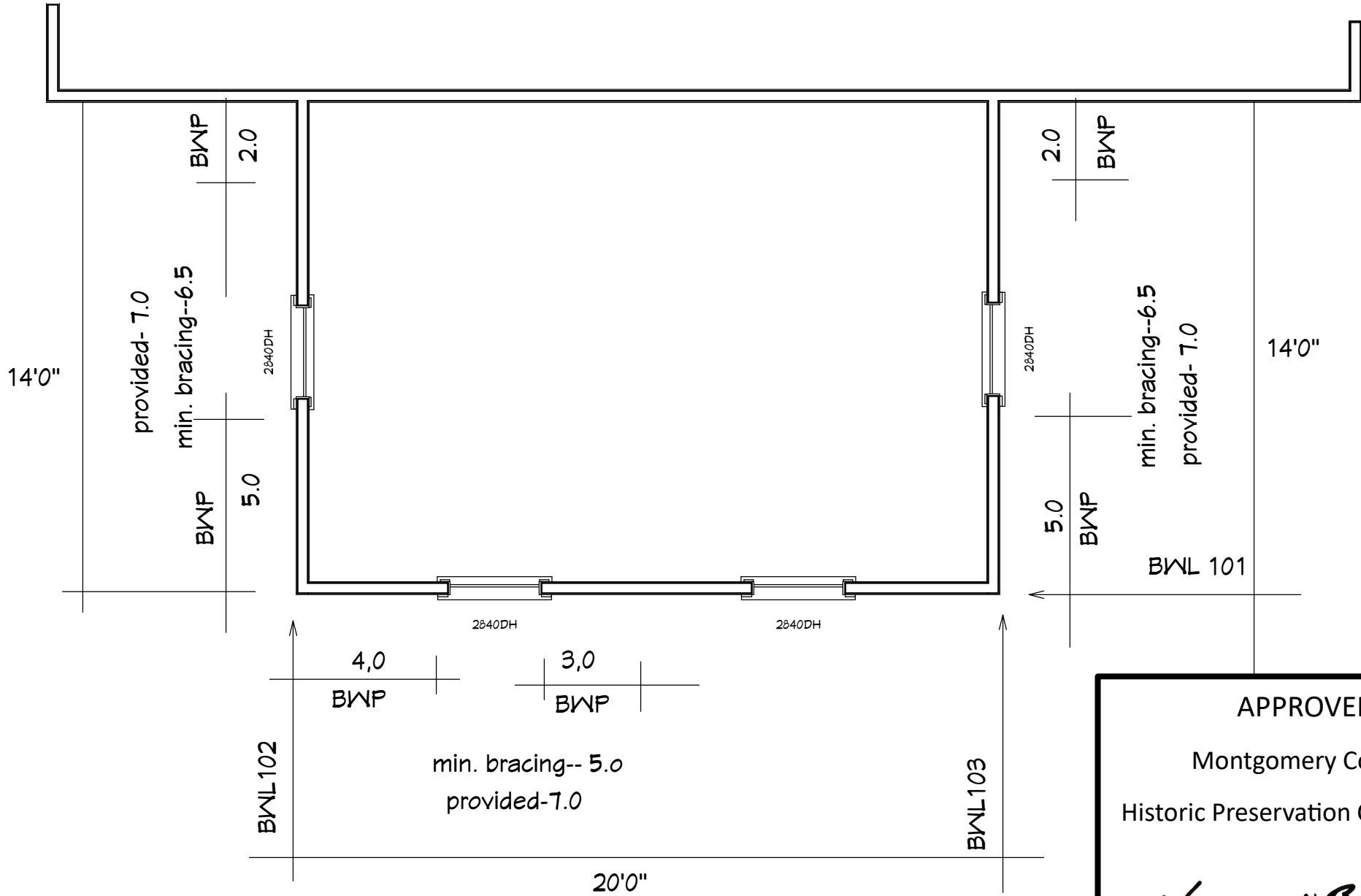
	BWL	spacing	interpolated length	adjustments
	101	14'0"	5,5'	5,5' x .9 = 5.0
	102	20'0"	7,5	7,5 x .9 = 6.5
	103	20'0"	7,5	7,5 x .9 = 6.5
	201	14'0"	5,5'	5,5' x .9 = 5.0
	202	20'0"	7,5	7,5 x .9 = 6.5
	203	20'0"	7,5	7,5 x .9 = 6.5

Mat, Stregnth

Framing lumber- SPF#2
LVL --E=2,000,000.PSI
Concrete: Slab 3500PSI
Footings 2500PSI
Assumed Soil Bearing cap.1500PSI



Wall Bracing 2nd Floor

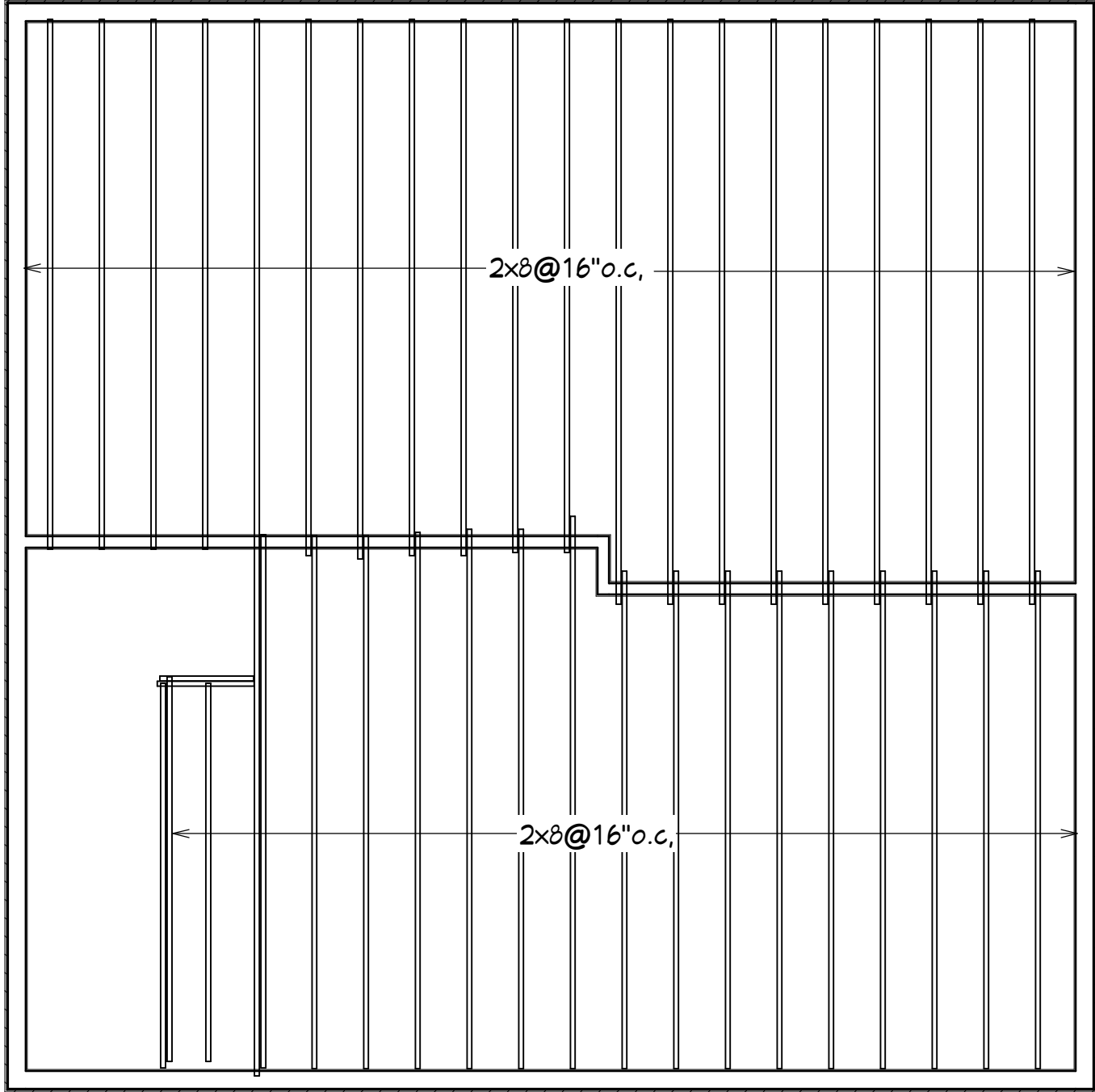


wall Bracing 1st Floor

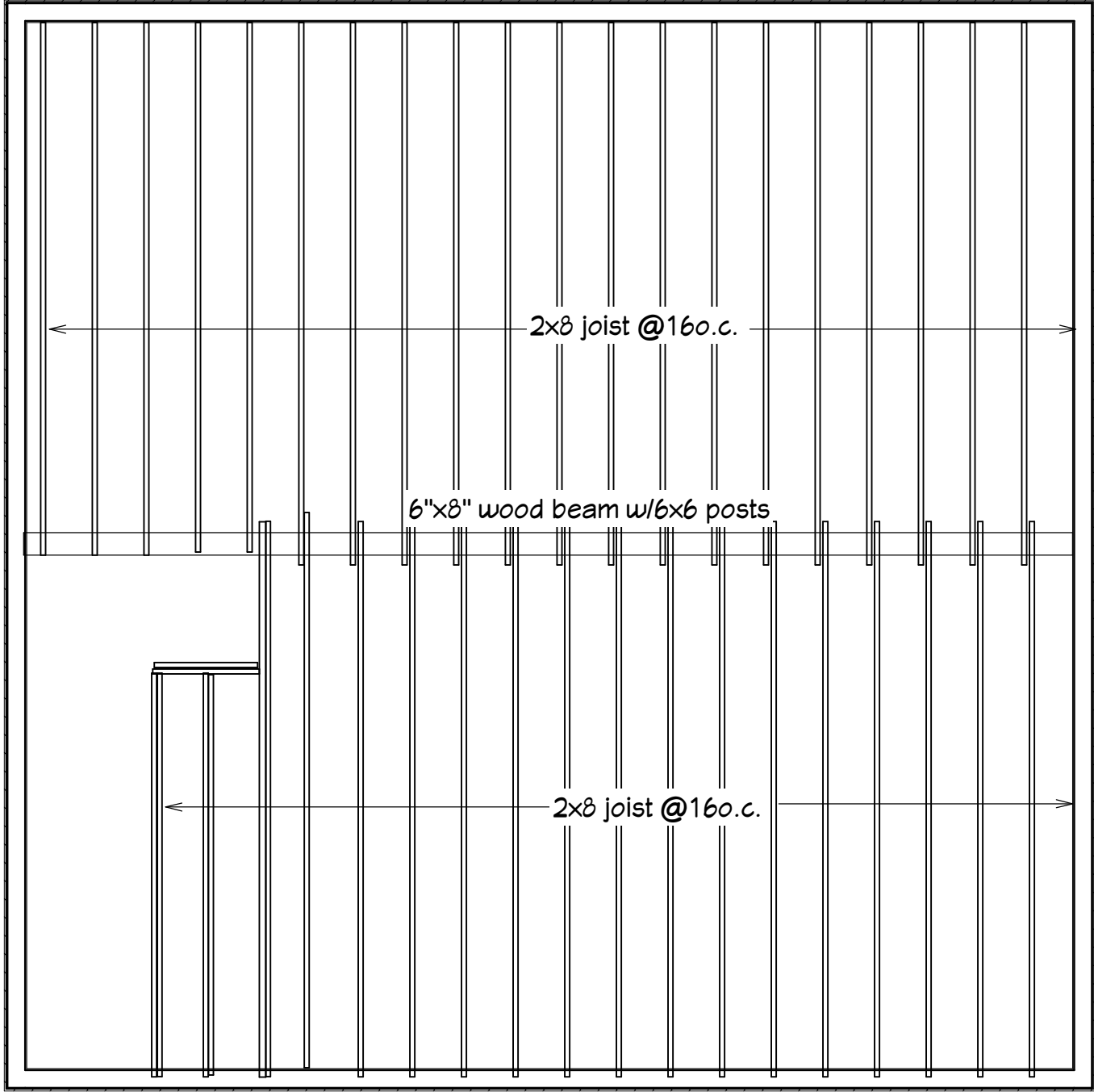
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Historic Preservation Commission
Karen Bruechert

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By Dan Bruechert at 6:08 pm, Apr 01, 2025



2nd Floor Existing



1st Floor existing

Job Address:

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Silver Spring MD.
20910

P: 4 Existing
Conditions
Wind Bracing

dryawings by:

Oaken Hammer
12507 Two Farm Drive
Silver Spring, Md.20904
MHIC 5658 #301-655-8079

Date:

3/1/2025

Scale:

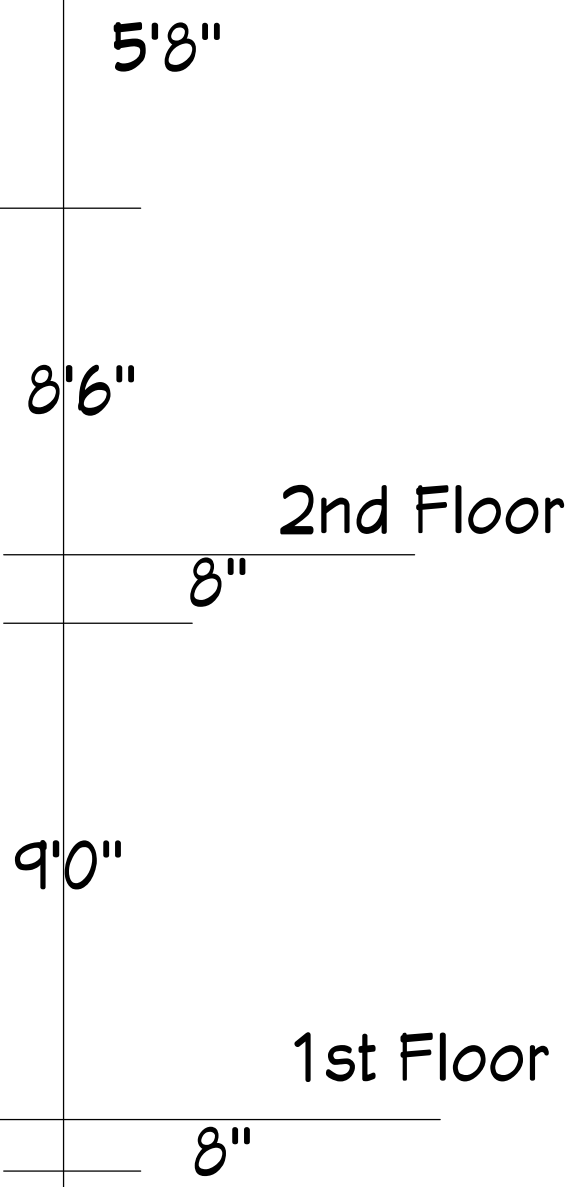
1/4"=1'0"

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Existing Floor to Floor Heights



5/4x4 corner boards

Hardie Plank 8" exposure smooth side out

Pargetted cmu smooth troweled to match existing

Porch Rail, floor, and band replaced to match existing as per detail



Job Address:

9403 Warren St
Silver Spring MD.
20910

P: 5

Side Elevations

drawings by:

Oaken Hammer
12507 Two Farm Drive
Silver Spring, Md. 20904
MHIC 5658 #301-655-8079

Date:

3/1/2025

Scale:

1/4"=1'0"



Front Elevation



Rear Elevation

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Karen Buntz

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By Dan Bruechert at 6:08 pm, Apr 01, 2025

Job Address:

9403 Warren St
Silver Spring MD.
20910

P:6

Front and
Rear
Elevations

drawings by:

Oaken Hammer
12507 Two Farm Drive
Silver Spring, Md. 20904
MHIC 5658 #301-655-8079

Date:

3/1/2025

Scale:

1/4"=1'0"

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Historic Preservation Commission
Karen Bulleit

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By Dan Bruechert at 6:08 pm, Apr 01, 2025



View Warren Street



Rear View

Job Address:
9403 Warren St
Silver Spring MD.
20910

P: 7
Front and Rear
Views

drawings by:
Oaken Hammer
12507 Two Farm Drive
Silver Spring, Md. 20904
MHIC 5658 #301-655-8079

Date:
3/1/2025
Scale:
1/4"=1'0"



View Linden Lane



Job Address:

9403 Warren St
Silver Spring MD.
20910

P: 8

Rear View

drawings by:

Oaken Hammer
12507 Two Farm Drive
Silver Spring, Md. 20904
MHIC 5658 #301-655-8079

Date:

3/1/2025

Scale:

1/4"=1'0"

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