



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

Date: 4/10/2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1109308– Porch reconstruction, patio construction, and tree removal

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the April 9, 2025 HPC meeting.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Elizabeth Williams; Avantika Dalal, Agent.
Address: 20 W Kirke Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

REVIEWED
By Laura DiPasquale at 8:53 am, Apr 10, 2025

APPROVED
Montgomery County
Historic Preservation Commission


Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

REVIEWED

By Laura DiPasquale at 8:53 am, Apr 10, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

HISTORIC AREA WORK PERMIT

Address: 20 W Kirke St., Chevy Chase MD

Applicant:

Applicant's Agent:

Date: 03/18/2025

HAWP #1109308

Written Narrative

Alteration

The proposed project includes restoration/ reconstruction of side porch and interior renovations to (2) second floor bedroom suites, including bathrooms.

Landscaping

Addition of stone patio and 18" height seat wall entirely on owner's property as shown on Site Plan.

Tree Removal

On the East side of the house, an existing tree separates the proposed outdoor areas. The project proposes to remove the tree to unify the outdoor spaces.

REVIEWED

By Laura DiPasquale at 8:54 am, Apr 10, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Buelit



Photo 1: Existing East side of the house- Showing porch doors to be removed and second floor bedroom to be renovated



REVIEWED

By Laura DiPasquale at 8:53 am, Apr 10, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

Photo 2: North-West corner of the house. Showing porch window to be removed



Photo 3: Showing East side of the house- Porch doors to be removed



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By Laura DiPasquale at 8:53 am, Apr 10, 2025

APPROVED

Montgomery County

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Karen Benoit

Photo 4: East side house. Showing evergreen tree to be removed.



REVIEWED

By Laura DiPasquale at 8:53 am, Apr 10, 2025

Photo 5: Showing evergreen tree to be removed

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit



Photo 5: East side house. Showing preferred outdoor seating area.



**Municipality Letter for
Proposed Construction Project**

Subject Property: 20 West Kirke Street, Chevy Chase, MD 20815
Property Owner: Elizabeth Williams
Project Manager/Contractor: Avantika Dalal /Moody Graham Landscape Architecture
Proposed Work: Restoration/reconstruction of side porch and interior renovations to second floor bedroom suites, including bathrooms

3/4/2025

Rabbiah Sabbakhan, Director
Department of Permitting Services of Montgomery County
255 Rockville Pike, 2nd floor
Rockville, MD 20850

Dear Mr. Sabbakhan,

This letter is to inform your department that the above homeowner/contractor has notified Chevy Chase Village that he or she plans to apply for both county and municipal permits for the above summarized construction project. Chevy Chase Village will not issue any municipal building permit(s) for this proposed project until Montgomery County has issued all necessary county permits and the applicant has provided Chevy Chase Village with copies of county-approved and stamped plans. We have advised the homeowner/contractor that a permit from Montgomery County does not guarantee a permit from this municipality unless the project complies with all our municipal rules and regulations.

If this homeowner/contractor later applies for an amended county permit, please do not approve that application until you have received a Municipality Letter from us indicating that the homeowner/contractor has notified us of that proposed amendment to the permit.

If you have any questions about this proposed project and the municipal regulation of it by Chevy Chase Village, do not hesitate to have your staff contact my office. The Village Permitting Coordinator can be reached by phone at 301-654-7300 or by e-mail at ccvpermitting@montgomerycountymd.gov.

Sincerely,

Shana R. Davis-Cook
Chevy Chase Village Manager

CHEVY CHASE VILLAGE

5906 Connecticut Avenue
Chevy Chase, Maryland 20815

Phone (301) 654-7300

Fax (301) 907-9721

ccv@montgomerycountymd.gov

www.chevychasevillagemd.gov

BOARD OF MANAGERS

ELISSA A. LEONARD
Chair

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Board Member

VILLAGE MANAGER
SHANA R. DAVIS-COOK

LEGAL COUNSEL
SUELLEN M. FERGUSON

20 W KIRKE STREET
TOWN OF CHEVY CHASE, MONTGOMERY COUNTY, MARYLAND
SUBDIVISION: 0009 / BLOCK: 32 / LOT: F13

LOT AREA: 18136 SF
LOT COVERAGE: 4743 SF (26%)



SCK Architecture Inc.
427 Boyd Avenue
Takoma Park, MD 20912

Sydney Katz
Digitally signed by Sydney Katz
Date: 2025.03.03 13:04:36 -0500

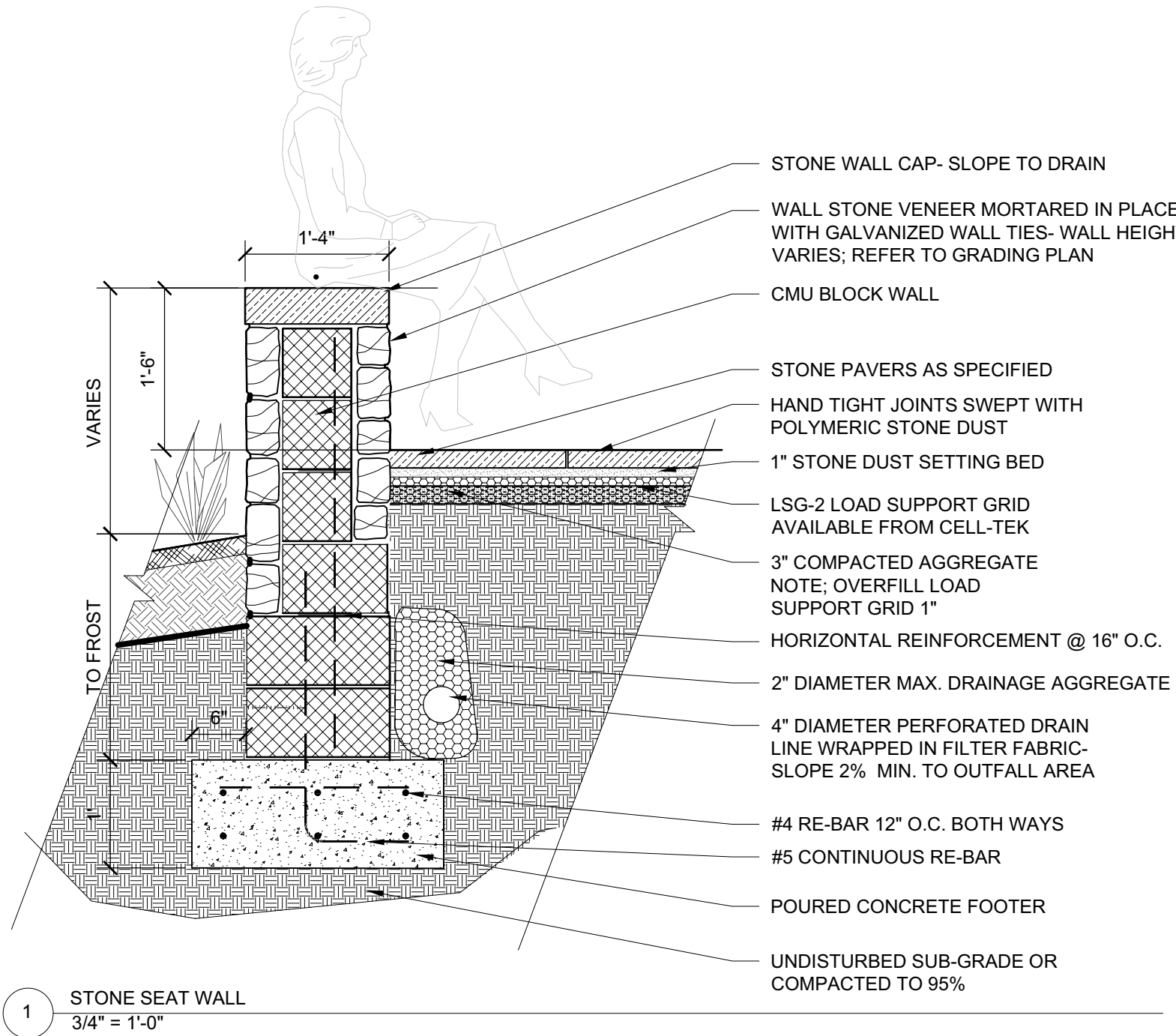
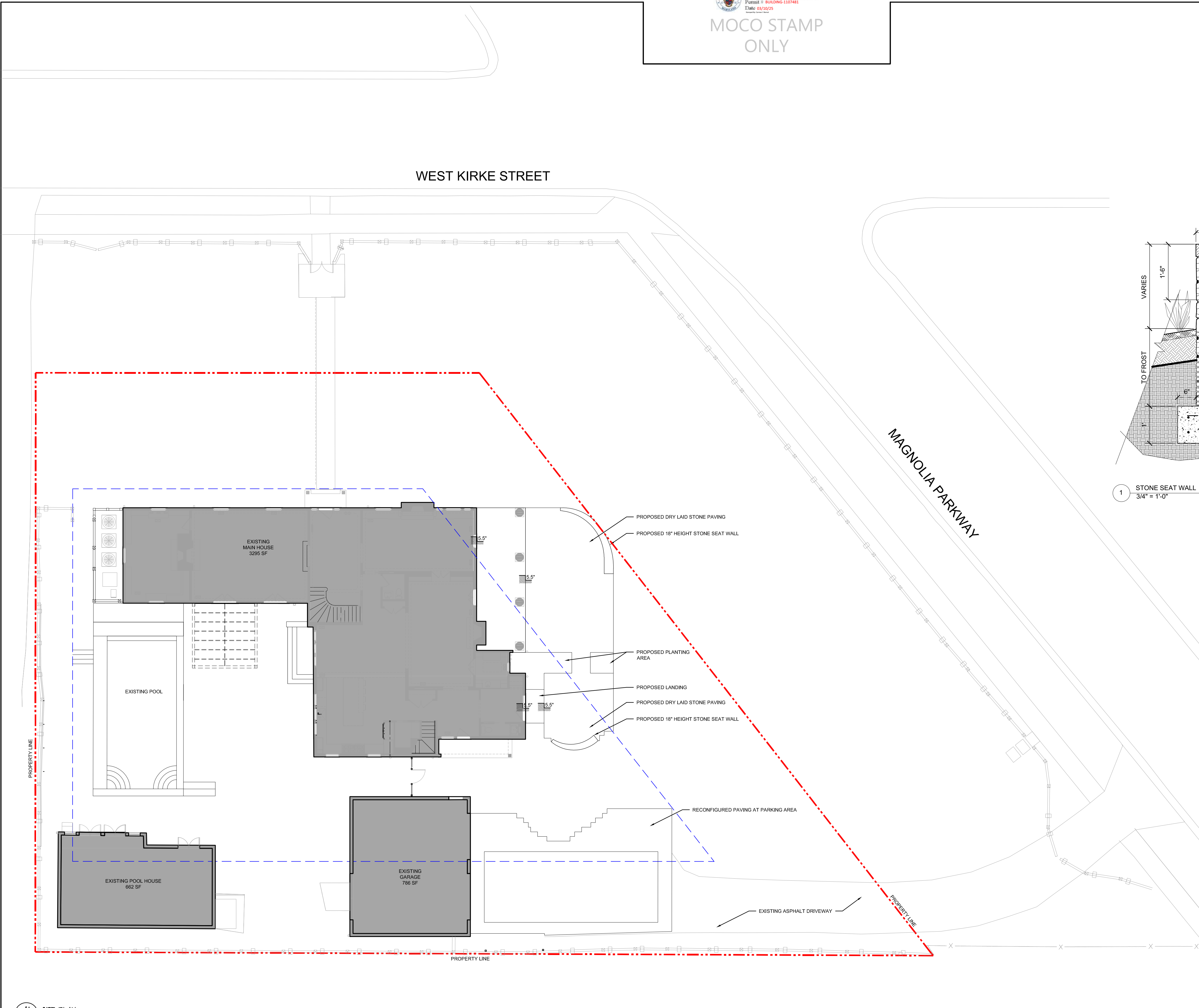
PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 186639; EXPIRATION DATE: 2026-06-30.

Williams Residence
20 West Kirke Street
Chevy Chase, MD 20815



DRAWING: SITE PLAN
ISSUE: 2025-03-03 | PERMIT SET

AS1.1



REVIEWED
By Laura DiPasquale at 8:53 am, Apr 10, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bunkit

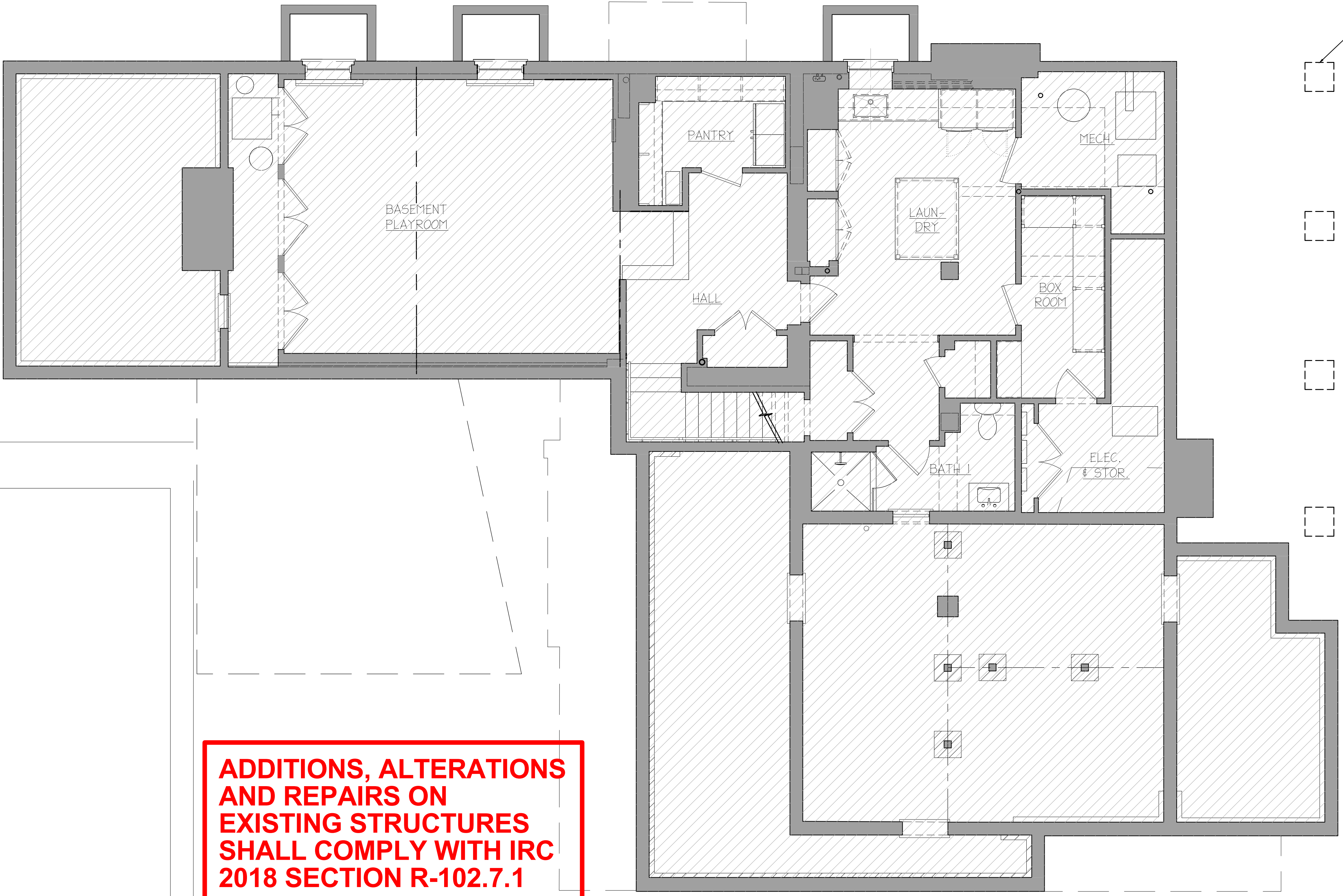
DEMOLITION LEGEND:

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED

DEMOLITION NOTES:

- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS & METHODS, JOB SAFETY, & CONFORMANCE TO CODES
- GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING INTENT
- REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
- REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
- LOCATE ALL WATER SHUT-OFFS AND CUT OFF TO ALL PLUMBING FIXTURES TO BE DEMOLISHED
- REMOVE SUPPLY, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAP
- REMOVE & REPLACE ALL DETERIORATED CLAPBOARD, RAKES, SOFITS AND ASSOCIATED TRIM
- CONFIRM WITH OWNER BEFORE REMOVING ANY SHRUBBERY OR PLANTS.
- REMOVE SOIL AS REQUIRED TO ALLOW GRAVEL BASE BELOW SLABS

APPROVED
Department of Permitting Services
Permit # BUL066 110780
Date 03/10/25
MOCO STAMP
ONLY



DEMO EXISTING FAILING POST FOUNDATIONS, TYP. OF (4)

ADDITIONS, ALTERATIONS
AND REPAIRS ON
EXISTING STRUCTURES
SHALL COMPLY WITH IRC
2018 SECTION R-102.7.1

1 LOWER LEVEL DEMOLITION PLAN
A2.0 1/4" = 1'-0" WHEN PRINTED AT 36"x22"
1/8" = 1'-0" WHEN PRINTED AT 17"x11"

REVIEWED
By Laura DiPasquale at 8:53 am, Apr 10, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Kara Bunk

SDK Architecture Inc.
427 Boyd Avenue
Takoma Park, MD 20912

Sydney Katz
Digitally signed by Sydney Katz
Date: 2025.03.01 09:47:33 -0500

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I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 18669; EXPIRATION DATE: 2026-06-30.

Williams Residence
20 West Kirke Street
Chevy Chase, MD 20815

DRAWING: DEMOLITION PLAN - LOWER LEVEL
ISSUE: 2025-03-03 | PERMIT SET

A2.0

DEMOLITION LEGEND:

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**ADDITIONS, ALTERATIONS
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SHALL COMPLY WITH IRC
2018 SECTION R-102.7.1**

1
A2.1 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0" WHEN PRINTED AT 36"x22"
1/8" = 1'-0" WHEN PRINTED AT 17"x11"

FRONT
STOOP

DINING ROOM

FRONT
HALL

PDR.

SUN-
ROOM

EXISTING EXTERIOR RATED
FRENCH DOOR TO REMAIN

DEMOLISH METAL DOOR
SYSTEMS

DEMOLISH EXISTING FAILING
WOOD FRAMED PORCH FLOOR
AND STRUCTURE

DEMO EXISTING PEBBLE DASH
COLUMNS AND INTERNAL POSTS,
SALVAGE ONE COLUMN, CAPITAL,
AND BASE TO MATCH DETAILING
ON NEW COLUMNS

DEMO EXISTING BEAD BOARD
CEILING, SAVE PIECES FOR
MATCHING NEW PORCH CEILING

EXISTING EXTERIOR RATED
FRENCH DOOR TO REMAIN

FAMILY

BREAKFAST

B.P.

COATS

BACK
ENTRY

MUDROOM

PANTRY

PDR.

BACK
PORCH

KITCHEN

EX GARAGE

REVIEWED
By Laura DiPasquale at 8:53 am, Apr 10, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Boudie

DEMOLITION LEGEND:

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- EXISTING WINDOW TO BE REMOVED

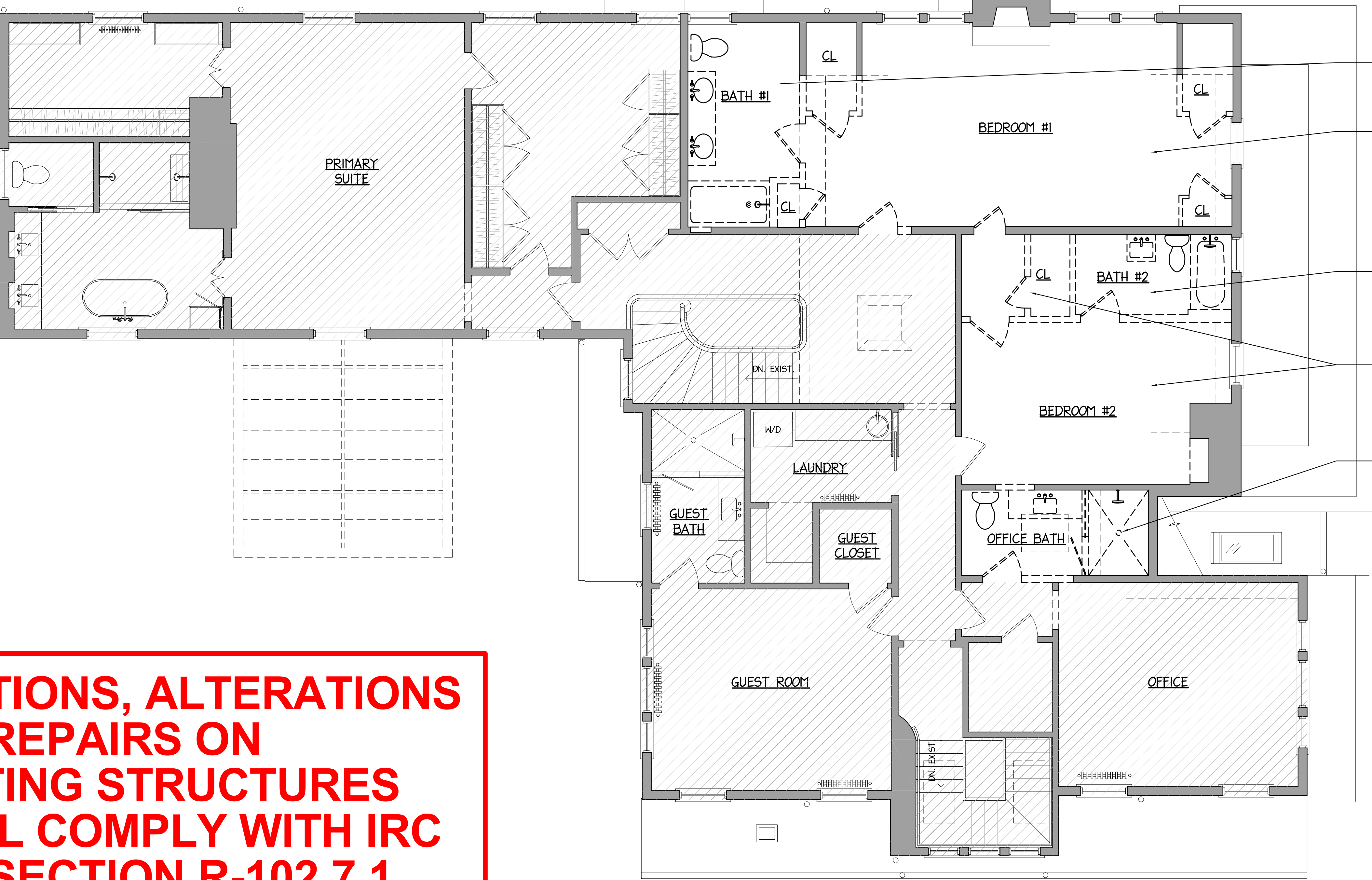
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ADDITIONS, ALTERATIONS
AND REPAIRS ON
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SHALL COMPLY WITH IRC
2018 SECTION R-102.7.1

AI
A2.2 SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0" WHEN PRINTED AT 36"x22"
1/8" = 1'-0" WHEN PRINTED AT 17"x11"

SALVAGE ALL DOORS FOR
POSSIBLE REUSE



- DEMO BATHROOM FIXTURES, FITTINGS, AND FINISHES, SALVAGE PLUMBING FIXTURES FOR REUSE
- DEMO WALLS AND DOORS AS SHOWN
- DEMO BATHROOM FIXTURES, FITTINGS, AND FINISHES, SALVAGE PLUMBING FIXTURES FOR POSSIBLE REUSE
- DEMO WALLS AND DOORS AS SHOWN
- DEMO BATHROOM FIXTURES, FITTINGS, AND FINISHES, SALVAGE PLUMBING FIXTURES FOR POSSIBLE REUSE

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Montgomery County
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Karen Boudier

SDK Architecture Inc.
427 Boyd Avenue
Takoma Park, MD 20912

Sydney Katz
Digitally signed by Sydney Katz
Date: 2025.03.01 09:48:27 -05'00'

PROFESSIONAL CERTIFICATION:
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LICENSE NUMBER 18669; EXPIRATION DATE: 2026-06-30.

Williams Residence
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Chevy Chase, MD 20815

DRAWING: DEMOLITION PLAN - SECOND FLOOR
ISSUE: 2025-03-03 | PERMIT SET

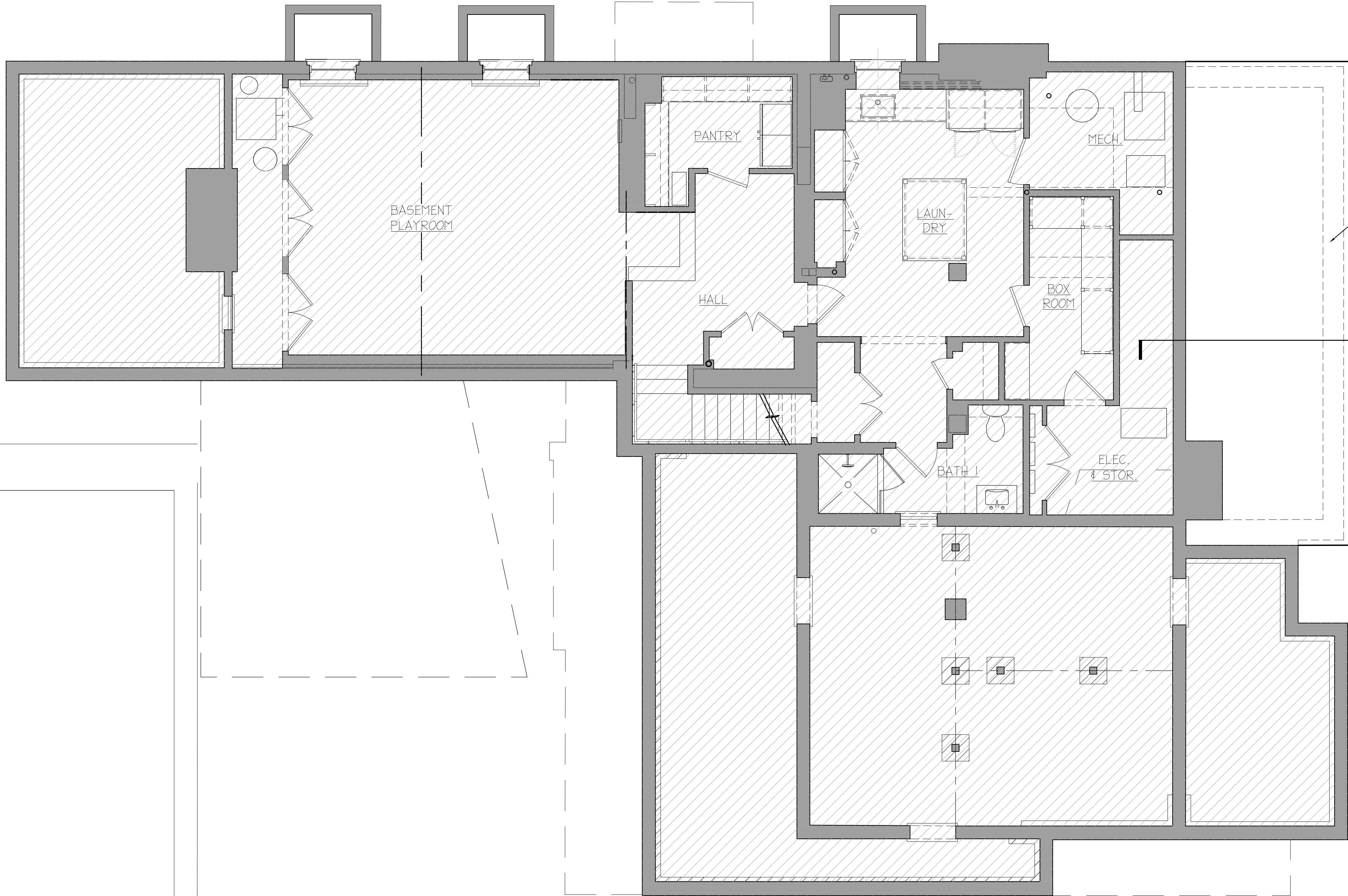
A2.2

CONSTRUCTION LEGEND:

- EXISTING TO REMAIN
NEW STUD WALL: 2X6 @160.C. EXT WALLS,
U.N.O.
POURED CONCRETE @160.C. INT. WALLS,
U.N.O.
EXISTING DOOR TO REMAIN
NEW DOOR
EXISTING WINDOW TO REMAIN
NEW WINDOW
FRAMING DIMENSIONS (TO STUD
OR MASONRY BEARING, U.N.O.)
FINISH DIMENSION

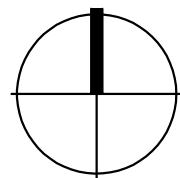
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6. REMOVE SUPPLY, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAP.



NEW CONCRETE SLAB ABOVE
W/ TURNED DOWN EDGE, SEE
STRUCT. FOR MORE INFO

AI
A4.2



AI
A3.0 LOWER LEVEL PLAN - PROPOSED
1/4" = 1'-0" WHEN PRINTED AT 22"x36"
1/8" = 1'-0" WHEN PRINTED AT 11"x17"

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APPROVED
Montgomery County
Historic Preservation Commission
Karen Buelit

sdk

SDK Architecture Inc.
427 Boyd Avenue
Takoma Park, MD 20912

Sydney Katz
Digitally signed by Sydney Katz
Date: 2025.03.01 09:48:52 -05'00'

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Williams Residence
20 West Kirke Street
Chevy Chase, MD 20815



DRAWING: PROPOSED PLAN - LOWER LEVEL
ISSUE: 2025-03-03 | PERMIT SET

A3.0

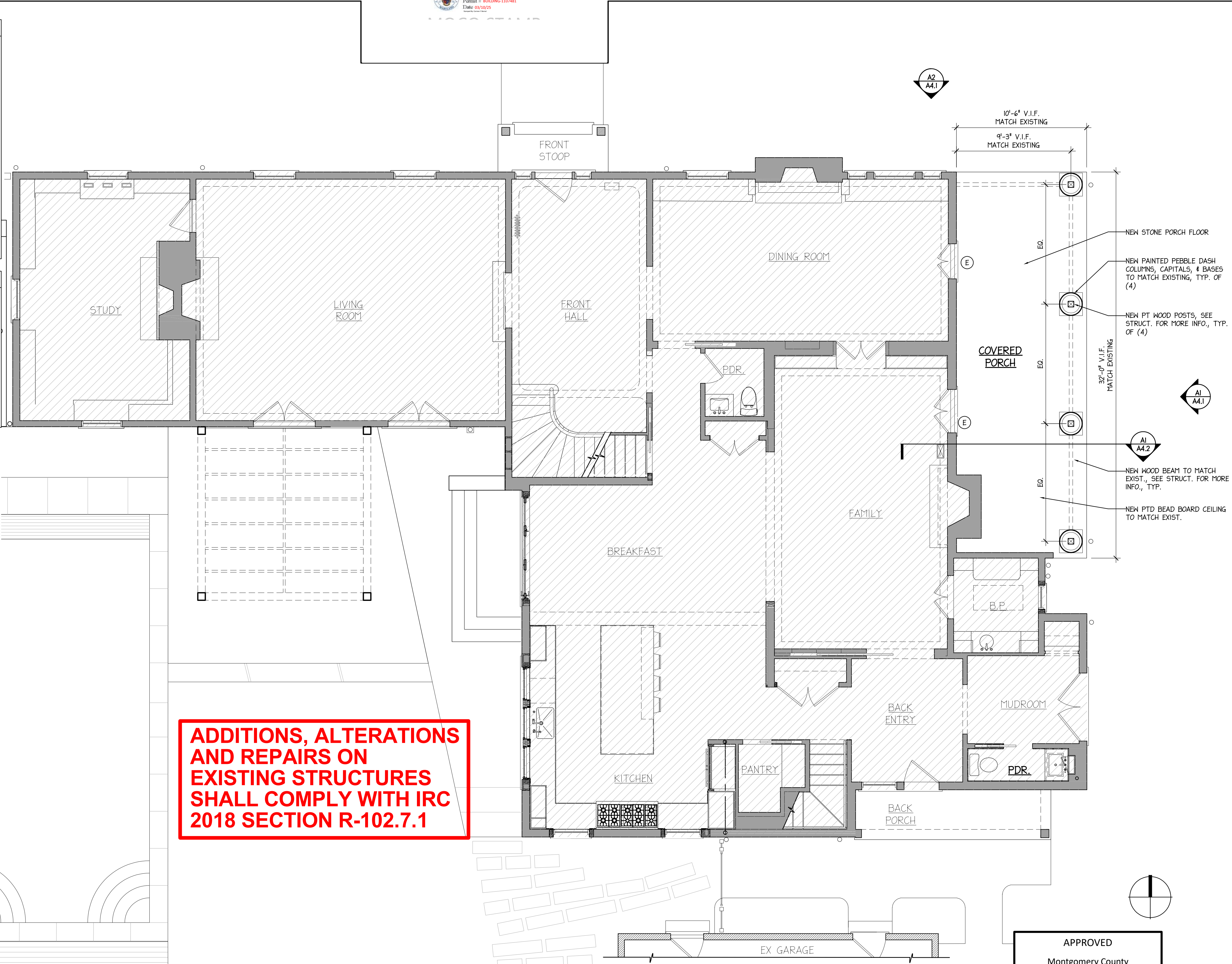
CONSTRUCTION LEGEND:

	EXISTING TO REMAIN
	NEW STUD WALL: 2X6 @160.C. EXT WALLS, U.N.O.
	POURED CONCRETE 4" @160.C. INT. WALLS, U.N.O.
	EXISTING DOOR TO REMAIN
	NEW DOOR
	EXISTING WINDOW TO REMAIN
	NEW WINDOW
	FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING, U.N.O.)
	FINISH DIMENSION

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AI
A3.1 FIRST FLOOR PLAN - PROPOSED
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**ADDITIONS, ALTERATIONS
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APPROVED
Montgomery County
Historic Preservation Commission
Karen Bunkit

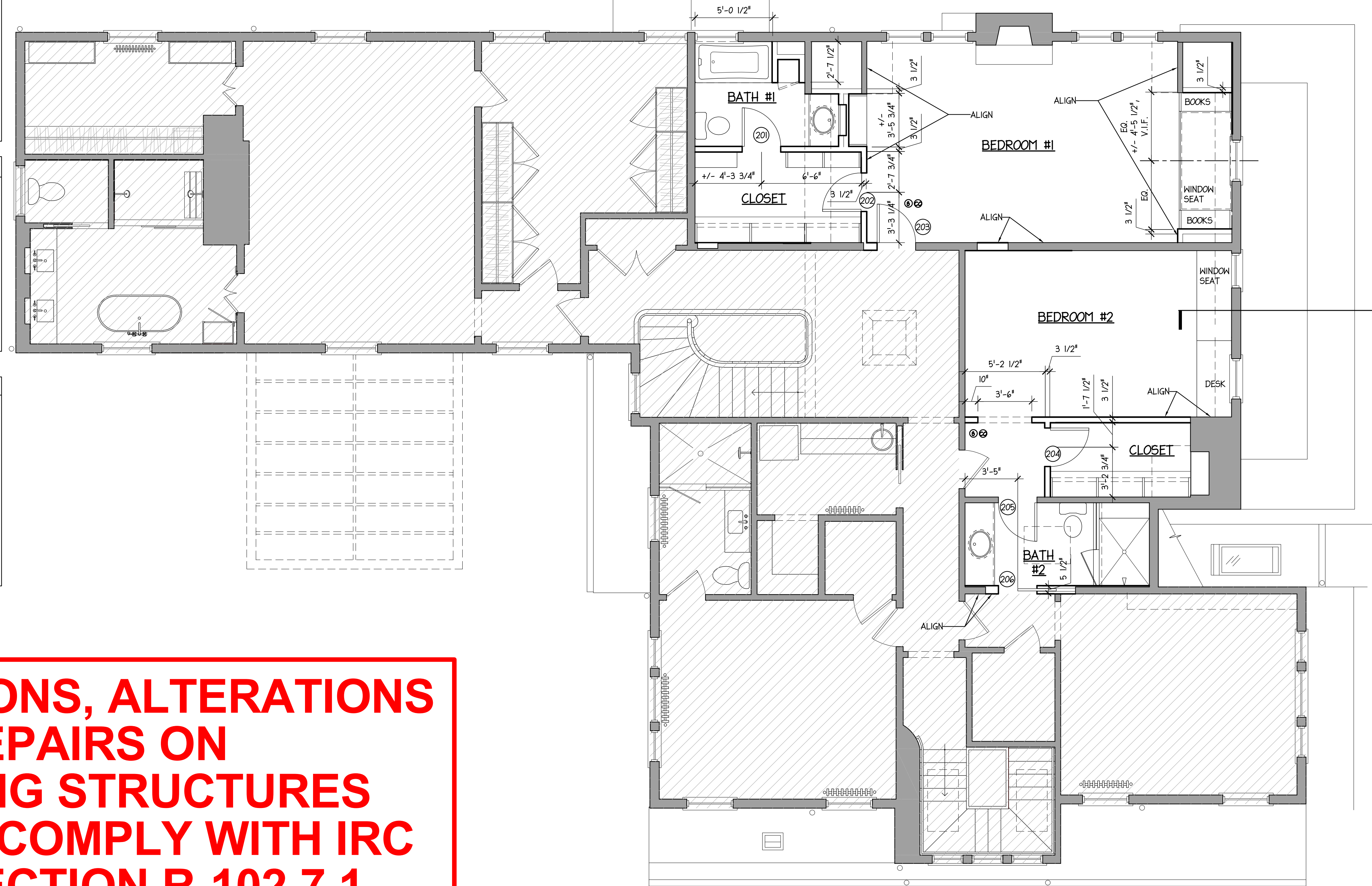
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- DOOR SCHEDULE:**
- | | | |
|------|---------------|--------------------------------|
| 201- | 2'-6" X 6'-8" | (REUSE EXIST BATH #1 DOOR) |
| 202- | 2'-6" X 6'-8" | |
| 203- | 2'-6" X 6'-8" | (REUSE EXIST SUITE DOOR) |
| 204- | 2'-6" X 6'-8" | (REUSE EXIST BATH #2 DOOR) |
| 205- | 2'-6" X 6'-8" | (REUSE EXIST OFFICE BATH DOOR) |
| 206- | 2'-6" X 6'-8" | |
- REUSE EXISTING DOORS WHERE EVER POSSIBLE, REVERSE SWING AS NECESSARY
ANY NEW DOORS SHALL MATCH EXISTING
SQUARE CORNER HINGES, DOOR HARDWARE & FINISH PER I.D.

**ADDITIONS, ALTERATIONS
AND REPAIRS ON
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2018 SECTION R-102.7.1**

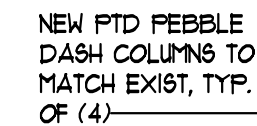
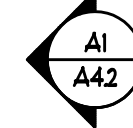





PROPOSED SIDE ELEVATION
 1/4" = 1'-0" WHEN PRINTED AT 22"x36"
 1/8" = 1'-0" WHEN PRINTED AT 11"x17"

— DOWNSPOUT,
TME

NEW PTD PEBBLE
DASH COLUMNS TO
MATCH EXIST, TYP.
OF (4)



A2 PROPOSED FRONT ELEVATION
A4.1 1/4" = 1'-0" WHEN PRINTED AT 22"x36"
1/8" = 1'-0" WHEN PRINTED AT 11"x17"



CI EXISTING SIDE ELEVATION
A4.1 1/4" = 1'-0" WHEN PRINTED AT 22"x36"
1/8" = 1'-0" WHEN PRINTED AT 11"x17"



C2 EXISTING FRONT ELEVATION
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APPROVED

Montgomery County

Historic Preservation Commission

Karen Buntz

REVIEWED
By Laura DiPasquale at 8:53 am, Apr 10, 2025



OK Architecture Inc
27 Boyd Avenue
Takoma Park, MD 20912

Digitally signed by Sydney Katz
Date: 2025.03.01 09:50:23 -05'00'

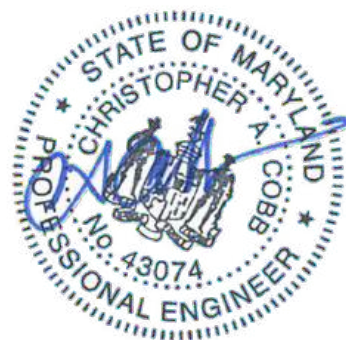
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LICENSE NUMBER 18639, EXPIRATION DATE, 2024-06-30.

Williams Residence
20 West Kirke Street
Chevy Chase, MD 20815



ISSUE:	
2025-03-03	PERMIT SET

A4.1



PROFESSIONAL CERTIFICATION: I, CHRISTOPHER A. BULLEIT, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly Licensed Professional Engineer under the laws of the State of Maryland.
LICENSE NO. 43074 EXPIRATION DATE: 03/31/2028



sck Architecture Inc
427 Boyd Avenue
Takoma Park, MD 20912



2101 LEE STREET, SUITE 210, ALEXANDRIA, VA 22314 | 703.584.151 | COBB.AECOM

Williams Residence

20 West Kirke Street
Chevy Chase, MD 20815

DRAWING: GENERAL NOTES

ISSUE:

2025-02-21 PERMIT SET

S001

GENERAL

- CONTRACTOR SHALL PROVIDE TEMPORARY SHORING, BRACING, SHEETING AND MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY, AS PROJECT CONDITIONS REQUIRE. A PROFESSIONAL ENGINEER, LICENSED BY THE STATE OF MARYLAND AND HIRED BY THE CONTRACTOR, SHALL DESIGN ALL SHORING AND SHEETING AND SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR THE OWNER'S REVIEW.
- ALL STRUCTURAL WORK SHALL BE COORDINATED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS AND SHALL CONFORM TO THE PROJECT SPECIFICATIONS, INCLUDING THE INTERNATIONAL RESIDENTIAL CODE (2018) AS MODIFIED BY THE GOVERNING LOCALITY.
- DIMENSIONS AND ELEVATIONS OF EXISTING CONSTRUCTION GIVEN IN STRUCTURAL DRAWINGS ARE BASED ON INFORMATION CONTAINED IN VARIOUS ORIGINAL DESIGN AND CONSTRUCTION DOCUMENTS PROVIDED BY THE OWNER, AND LIMITED FIELD OBSERVATIONS AND MEASUREMENTS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO EXISTING CONDITIONS BY ACTUAL MEASUREMENT AND OBSERVATION AT THE SITE. ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT FOR EVALUATION BEFORE THE AFFECTED CONSTRUCTION IS PUT IN PLACE.
- THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS REPRESENTS THE DESIGN INTENT OF THE PROPOSED CONSTRUCTION. ELECTRONIC VERSIONS (PDF, DWG) OF THESE DRAWINGS SHOULD NOT BE USED TO DETERMINE DIMENSIONS OR GATHER ANY INFORMATION THAT IS NOT SPECIFICALLY LABELED OR OTHERWISE DENOTED IN PLAN, SECTION, OR DETAIL. DUPLICATION OF THESE DRAWINGS FOR USE IN THE PREPARATION OF SHOP DRAWINGS IS NOT ACCEPTABLE. THIS INCLUDES ANNOTATED HARD-COPIES AND DIRECT REUSE OF ELECTRONIC FILES.

FOUNDATIONS

- BUILDING FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL HAVING MINIMUM BEARING CAPACITY OF 1500 PSF. ADEQUACY OF BEARING STRATUM SHALL BE VERIFIED IN FIELD PRIOR TO PLACING CONCRETE. ADJUST BOTTOM OF FOOTING ELEVATIONS AS REQUIRED.
- FINISH ALL FOOTING EXCAVATIONS BY HAND. NO FOOTINGS SHALL BE PLACED IN WATER OR ON FROZEN GROUND. PROTECT FOOTINGS FROM FROST AFTER THEY ARE PLACED.
- AT INTERSECTIONS BETWEEN NEW AND EXISTING WALLS, STEP NEW FOOTING TO MATCH EXISTING. DRILL AND GROUT 2-#5 BARS x 2'-6" LONG INTO EXISTING FOOTING IN HILTI HIT-HY200 ADHESIVE WITH 6" EMBEDMENT.
- DO NOT PLACE FILL AGAINST FOUNDATION WALLS UNLESS ADEQUATELY BRACED BY COMPLETED FLOORS OR OTHER MEANS DEEMED APPROPRIATE BY THE ARCHITECT.
- FILL AND BACKFILL MATERIAL- CLEAN RUN OF BANK MATERIAL, FREE OF DELETERIOUS ORGANIC MATERIALS.
- ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 2'-6" BELOW FINAL GRADE.

CAST-IN-PLACE CONCRETE

- ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI AT 28 DAYS. SLUMP SHALL BE 4" FOR SLABS ON GRADE AND 5" FOR ALL OTHER CONCRETE.
- ALL FOUNDATION CONCRETE SHALL INCLUDE 5% AIR ENTRAINMENT (±1.5%). ADJUST AIR ENTRAINMENT FOR EXPOSURE CLASS AS REQUIRED.
- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60. REINFORCING STEEL SHALL BE DETAILED ACCORDING TO THE ACI MANUAL OF CONCRETE PRACTICE (ACI 315), LOCALLY APPROVED EDITION.
- WELDED WIRE FABRIC (WVF) SHALL CONFORM TO ASTM A185, WITH A MINIMUM ULTIMATE TENSILE STRENGTH OF 70,000 PSI.
- CONCRETE WORK SHALL BE DESIGNED, REINFORCED, PLACED AND CURED IN CONFORMANCE WITH THE LOCALLY APPROVED EDITION OF ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE", AND ALL RECOMMENDED PRACTICES CONTAINED THEREIN SHALL BE CONSIDERED MANDATORY FOR THIS PROJECT.
- PROVIDE MINIMUM TEMPERATURE REINFORCEMENT, AS REQUIRED BY ACI-318, IN ALL SLABS AND WALLS WHERE REINFORCEMENT IS NOT INDICATED ON DRAWINGS.
- COORDINATE SIZE AND LOCATION OF ALL OPENINGS AND PIPE SLEEVES WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. MINIMUM CONCRETE BETWEEN SLEEVES SHALL BE 6".
- PROVIDE CLEARANCE FROM FACE OF CONCRETE TO REINFORCEMENT AS FOLLOWS:
SLABS: 3/4"
BEAMS, COLUMNS: 1 1/2"
FOOTINGS: 3"
EXTERIOR WALLS: 2" FOR #6 OR LARGER, 1 1/2" FOR #5 OR SMALLER
INTERIOR WALLS: 3/4"
- ALL GROUT SHALL BE NON-SHRINK WITH A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI.
- UNLESS SPECIFICALLY WAIVED BY ENGINEER OF RECORD, CEMENTITIOUS MATERIAL REPLACEMENT FOR CONCRETE MIXES AT ALL CAST-IN-PLACE CONCRETE SHALL BE 10% MINIMUM AND 33% MAXIMUM USING ONE OF THE FOLLOWING: GROUND GRANULATED BLAST FURNACE SLAG (GGBS) OR FLY ASH.
- WHERE CONCRETE IS PLACED AGAINST AND DOWELED TO HARDENED CONCRETE AND/OR WHERE A ROUGHENED SURFACE IS INDICATED IN THE STRUCTURAL DRAWINGS, THE HARDENED CONCRETE SURFACE SHALL BE CLEAN AND FREE OF LATANCE AND SHALL BE ROUGHENED TO A FULL AMPLITUDE OF APPROXIMATELY 1/4".

WOOD STRUCTURAL PANEL SHEATHING

- PROVIDE STRUCTURAL I PLYWOOD OR OSB SHEATHING WITH BOND CLASSIFICATIONS APPROPRIATE TO THE END USE: "EXTERIOR" (PERMANENT EXPOSURE), OR "EXPOSURE I" (CONSTRUCTION EXPOSURE ONLY)
- FLOOR SHEATHING: NOM. 3/4" THICK T & G PLYWOOD OR OSB (48/24 SPAN RATING), APA STURD-I-FLOOR, OR ADVANTECH SUBFLOOR.
- ROOF SHEATHING (STANDARD): NOM. 5/8" THICK T & G PLYWOOD OR OSB (48/24 SPAN RATING).
- ROOF SHEATHING (UNDER SLATE OR CLAY TILE): NOM. 3/4" THICK T & G PLYWOOD OR OSB (48/24 SPAN RATING).
- WALL SHEATHING (STANDARD): NOM. 1/2" THICK PLYWOOD (32/16 SPAN RATING).
- WALL SHEATHING (BEHIND SLATE, CLAY TILE, OR MASONRY VENEER): NOM. 3/4" THICK PLYWOOD (48/24 SPAN RATING).
- ALL FLOOR SHEATHING SHALL BE GLUED AND SCREWED TO FLOOR JOISTS USING AN APA APPROVED ADHESIVE (LOKITE PL400 OR EQUAL).
- USE PLY CLIPS OR OTHER EDGE SUPPORT AS REQUIRED FOR SHEATHING.
- LEAVE 1/8" SPACE AT ALL PLYWOOD PANEL END JOINTS AND 1/8" SPACE AT ALL PLYWOOD PANEL EDGE JOINTS EXCEPT WHEN USING T & G PANELS.
- UNLESS NOTED OTHERWISE, WALL SHEATHING SHALL BE FASTENED TO FRAMING WITH 10d COMMON NAILS @ 4" O.C. AT EACH SHEET PERIMETER AND 12" O.C. ELSEWHERE. 2x6 BLOCKING AT ALL FREE EDGES.
- UNLESS NOTED OTHERWISE, FLOOR SHEATHING UP TO 3/4" THICK SHALL BE FASTENED TO FRAMING WITH 2-1/2" LONG SIMPSON WSNLT QUIK DRIVE SCREWS (0.175" DIA.), AND FLOOR SHEATHING GREATER THAN 3/4" SHALL BE FASTENED TO FRAMING WITH 3" LONG SIMPSON WSNLT QUIK DRIVE SCREWS. FLOOR SHEATHING SHALL ALSO BE GLUED TO FRAMING USING AN APA-APPROVED ADHESIVE.
- UNLESS NOTED OTHERWISE, ROOF SHEATHING SHALL BE FASTENED TO FRAMING WITH 10d COMMON NAILS.
- UNLESS NOTED OTHERWISE, FLOOR AND ROOF DIAPHRAGMS SHALL BE UNBLOCKED.
A. UNBLOCKED DIAPHRAGMS: UNLESS NOTED OTHERWISE, FASTENERS OF SHEATHING TO FRAMING SHALL BE SPACED @ 6" O.C. AT SUPPORTING SHEATHING PANEL EDGES AND AT ALL DIAPHRAGM BOUNDARIES (PERIMETER OF FLOOR/ROOF; PERIMETER OF ALL OPENINGS; AND ALL RIDGES, VALLEYS, HIPs, AND OTHER CHANGES IN SLOPE) AND @ 12" O.C. ELSEWHERE.
B. BLOCKED DIAPHRAGMS: UNLESS NOTED OTHERWISE, FASTENERS OF SHEATHING TO FRAMING SHALL BE SPACED @ 6" O.C. AT ALL SHEATHING PANEL EDGES AND @ 12" O.C. ELSEWHERE. PROVIDE 2x BLOCKING AT ALL UNSUPPORTED PANEL EDGES TO RECEIVE FASTENERS.

FRAMING LUMBER

- FRAMING LUMBER SHALL HAVE EACH PIECE GRADE STAMPED, SHALL BE SURFACED DRY (EXCEPT STUDS, WHICH SHALL BE KILN-DRIED) AND SHALL CONFORM TO THE FOLLOWING SPECIES AND GRADE:
RAFTERS AND JOISTS: HEM-FIR #2 OR SPRUCE-PINE-FIR #2
BEAMS, GIRDERS AND HEADERS: HEM-FIR #1 OR SPRUCE-PINE-FIR #1
STUDS AND PLATES: HEM-FIR STUD GRADE OR SPRUCE-PINE-FIR STUD GRADE
- TIMBER LUMBER SHALL CONFORM TO THE FOLLOWING SPECIES AND GRADE:
POST AND TIMBER: HEM-FIR #1 OR SPRUCE-PINE-FIR #1
BEAMS AND STRINGERS: HEM-FIR #1 OR SPRUCE-PINE-FIR #1
- PRESERVATIVE-TREATED WOOD: PROVIDE TREATED SOUTHERN PINE #2 LUMBER COMPLYING WITH ACQ-D (CARBONATE), COPPER AZOLE (CA-B), OR SODIUM BORATE (SBX (DOT) WITH NACIO₂) AT ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY, OR AS OTHERWISE INDICATED ON ARCHITECTURAL OR STRUCTURAL DRAWINGS. ACZA TREATMENT IS NOT PERMITTED. TREATED LUMBER AND/OR PLYWOOD SHALL BEAR THE LABEL OF AN ACCREDITED AGENCY SHOWING 0.40 PCF RETENTION. WHERE LUMBER AND/OR PLYWOOD IS CUT OR DRILLED AFTER TREATMENT, THE TREATED SURFACE SHALL BE FIELD-TREATED WITH COPPER NAPHTHENATE (THE CONCENTRATION OF WHICH SHALL CONTAIN A MINIMUM OF 2% COPPER METAL) BY REPEATED BRUSHING, DIPPING, OR SOAKING UNTIL THE WOOD ABSORBS NO MORE PRESERVATIVE.
- ALL WOOD FRAMING INCLUDING DETAILS FOR BRIDGING, BLOCKING, FIRE STOPPING, ETC., SHALL CONFORM TO THE LOCALLY APPROVED EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND ITS SUPPLEMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (SEE DESIGN LOADS AND FACTORS TABLE FOR IRC EDITION).
- FASTENING SHALL BE IN ACCORDANCE WITH THE MOST RESTRICTIVE OF: THE INTERNATIONAL RESIDENTIAL CODE, OR THE MANUFACTURER'S RECOMMENDED FASTENING SCHEDULES. (SEE DESIGN LOADS AND FACTORS TABLE FOR IRC EDITION)
- ALL FLUSH FRAMED CONNECTIONS SHALL BE MADE WITH APPROVED GALVANIZED STEEL JOIST OR BEAM HANGERS, MINIMUM 18 GAUGE, IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS.
- WHERE FRAMING LUMBER IS FLUSH FRAMED TO MICROLAM, STEEL OR FLITCH-PLATE GIRDER, SET THESE GIRDERS 1/2" CLEAR (MIN.) BELOW TOP OF FRAMING LUMBER, TO ALLOW FOR SHRINKAGE.
- STUD BEARING WALLS ARE TO BE 2x6, @ 16" O.C., UNLESS NOTED OTHERWISE ON PLAN.
- LAP ALL PLATES AT CORNERS AND AT INTERSECTION OF PARTITIONS.
- STAGGER ALL TOP AND BOTTOM PLATE SPLICES A MINIMUM OF 32 INCHES.
- USE DOUBLE STUDS @ ENDS OF WALL AND ENDS OF WALL OPENINGS.
- AT THE ENDS OF ALL BEAMS, HEADERS AND GIRDERS PROVIDE A BUILT UP OR SOLID POST WHOSE WIDTH IS AT LEAST EQUAL TO THE WIDTH OF THE MEMBER IT IS SUPPORTING AND WHOSE DEPTH IS 4" (NOM.) AT INTERIOR WALLS AND 6" (NOM.) AT EXTERIOR WALLS.
- USE DOUBLE TRIMMERS AND HEADERS AT ALL FLOOR OPENINGS WHERE BEAMS ARE NOT DESIGNATED.
- BRIDGING FOR SPANS UP TO 14 FT., PROVIDE 1 ROW. BRIDGING FOR SPANS OVER 14 FT., PROVIDE 2 ROWS.
- BUILT-UP BEAMS LESS THAN 8" DEEP SHALL BE SPIKED TOGETHER WITH (2) 16D NAILS @ 16" O.C.
- BUILT-UP BEAMS GREATER THAN 8" DEEP SHALL BE SPIKED TOGETHER WITH (3) 16D NAILS @ 16" O.C.
- WHERE THERE IS NO PLYWOOD WALL SHEATHING, PROVIDE DIAGONALS AT ALL EXTERIOR CORNERS OF STUD WALLS AT EACH FLOOR. (1"x4" BRACES LET INTO STUDS AND NAILED AT EACH STUD CROSSING WITH (2) 10D NAILS.)
- WHERE CANTILEVERED BEAMS ARE INDICATED, THE FAR CONNECTOR SHALL BE CAPABLE OF RESISTING AN UPLIFT OF 1000 LBS. MIN., U.N.O.
- NO NEW OR EXISTING JOISTS SHALL BE CUT OR NOTCHED WITHOUT APPROVAL.
- ALL LIGHT-GAGE HANGERS SUPPORTING PRESERVATIVE TREATED WOOD SHALL MEET OR EXCEED G185 (1.85 oz of ZINC PER SQUARE FOOT). ALTERNATIVELY, STAINLESS STEEL CONNECTORS MAY BE USED. FASTENERS SHALL MATCH THE SELECTED HANGER FINISH AND MATERIAL.
- WHERE JOIST ORIENTATION IS PARALLEL TO EXTERIOR STUD OR FOUNDATION WALLS, PROVIDE FULL-SECTION BLOCKING FOR 3 BAYS @ 4'-0" O.C. MAX.
A. WHERE SHEATHING IS NOT CONTINUOUSLY FASTENED TO TOP OF JOISTS, PROVIDE 18 GA x 1 1/2"x12" (MIN.) FLAT TENSION STRAPS BETWEEN ALIGNED BLOCKING MEMBERS.
B. WHERE SHEATHING IS NOT CONTINUOUSLY FASTENED TO BOTTOM OF JOISTS, PROVIDE 18 GA x 1 1/2"x12" (MIN.) FLAT TENSION STRAPS BETWEEN ALIGNED BLOCKING MEMBERS.
- ALL SILL PLATES SHALL BE P.T. AND ANCHORED TO FOUNDATION WALLS W/ 1/2" DIA. HEADED ANCHOR BOLTS (ASTM F1554) @ 4'-0" O.C. THERE SHALL BE A MINIMUM OF (2) BOLTS PER PLATE SECTION WITH (1) BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7x BOLT DIA. FROM THE END OF EACH PLATE SECTION. ANCHOR BOLTS SHALL HAVE A MINIMUM 7" EMBEDMENT INTO CONCRETE OR GROUTED CMU CELLS. THE BOLTS SHALL BE LOCATED WITHIN THE MIDDLE THIRD OF THE PLATE WIDTH AND HAVE A TIGHTENED NUT AND WASHER.
- WOOD BEAMS, JOIST, STUDS AND OTHERS COMBUSTIBLE MATERIAL SHALL HAVE A CLEARANCE OF NOT LESS THAN 2 INCHES (51 mm) FROM THE FRONT AND SIDES OF MASONRY FIREPLACES AND NOT LESS THAN 4 INCHES (102 mm) FROM THE BACK FACES OF MASONRY FIREPLACES. THE AIRSPACES SHALL NOT BE FILLED, EXCEPT TO PROVIDE FIREBLOCKING WITH SECTION R1001.12.

WOOD HEADER SCHEDULE

- UNLESS NOTED OTHERWISE IN PLAN, PROVIDE HEADERS PER THE FOLLOWING:

ROUGH OPENING WIDTH:	HEADER:		JACK STUDS	KING STUDS	
	2x4 WALL	2x6 WALL	ALL	INTERIOR	EXTERIOR
LESS THAN 3'-0"	(2) 2x6	(3) 2x8	1	1	1
3'-1 TO 4'-0"	(2) 2x8	(3) 2x8	1	1	2
4'-1 TO 6'-0"	(2) 2x10	(3) 2x10	2	2	2
6'-1 TO 8'-0"	(2) 2x12	(3) 2x12	2	2	3
OVER 8'-0"	-----SEE PLANS-----				

NOTES: AT FLUSH FRAMED BEAMS PROVIDE THE REQUIRED NUMBER OF KING STUDS NOTED, 2 MINIMUM.

ENGINEERED WOOD PRODUCTS

- WOOD I-JOISTS: PROVIDE ENGINEERED WOOD I-JOISTS, SIZES AND SERIES AS SHOWN, AS MANUFACTURED BY WEYERHAEUSER OR APPROVED EQUAL. INSTALL IN STRICT COMPLIANCE WITH THE MANUFACTURER'S STANDARD RECOMMENDATIONS AND DETAILS, INCLUDING CONSTRUCTION BRACING, MINIMUM BEARING LENGTHS, WEB STIFFENERS, 2x6 BLOCKS, BLOCKING, KNOCKOUTS AND HOLES, ETC. THE JOIST SPACING IDENTIFIED ON PLAN SHALL BE EXCEEDED AT ISOLATED LOCATIONS TO ACCOMMODATE THE WORK OF OTHER TRADES PROVIDED THE FOLLOWING CONDITIONS ARE MET:
A. THE SUM OF TWO ADJACENT JOISTS SPACINGS SHALL NOT EXCEED TWO TIMES THE AVERAGE SPACING SHOWN ON PLAN.
B. NO SINGLE JOIST SPACING SHALL EXCEED 21".
- RIM BOARDS: PROVIDE CONTINUOUS 1 1/2" THICK RIM BOARDS, TIMBERSTRAND LSL AS MANUFACTURED BY WEYERHAEUSER, OR APPROVED EQUAL. INSTALL IN COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AT THE PERIMETER OF ALL FLOOR PLATFORMS.
- MICROLAM BEAMS: PROVIDE ENGINEERED BEAMS, SIZES AS SHOWN, MICROLAM LVL (Fb=2600 PSI, E=2,000,000 PSI) OR PARALLAM PSL (Fb=2900 PSI, E=2,000,000 PSI) AS MANUFACTURED BY WEYERHAEUSER OR APPROVED EQUAL. INSTALL IN STRICT COMPLIANCE WITH THE MANUFACTURER'S STANDARD RECOMMENDATIONS AND DETAILS.
- GLUED LAMINATED TIMBER (SOFTWOOD): PROVIDE ENGINEERED BEAMS, SIZES AS SHOWN, IN ACCORDANCE WITH AITC 117-04 DESIGN STANDARD SPECIFICATIONS FOR STRUCTURAL GLUED LAMINATED TIMBER OF SOFTWOOD SPECIES. UNLESS NOTED OTHERWISE, ALL LAMINATIONS SHALL BE SOUTHERN PINE.
A. ANTHONY POWER COLUMNS: COMBINATION 50 SOUTHERN PINE N1014
B. ANTHONY POWER PRESERVED COLUMNS: COMBINATION 50 SOUTHERN PINE N1014
C. ANTHONY POWER BEAMS: 3000 Fb - 2.1E - 300 Fv
D. ANTHONY POWER PRESERVED BEAMS: 24F-VS1/SP (2400 Fb - 1.8E - 300 Fv)
- WHERE JOIST ORIENTATION IS PARALLEL TO EXTERIOR STUD OR FOUNDATION WALLS, PROVIDE FULL-SECTION BLOCKING FOR 3 BAYS @ 4'-0" O.C. MAX.
A. WHERE SHEATHING IS NOT CONTINUOUSLY FASTENED TO TOP OF JOISTS, PROVIDE 18 GA x 1 1/2"x12" (MIN.) FLAT TENSION STRAPS BETWEEN ALIGNED BLOCKING MEMBERS.
B. WHERE SHEATHING IS NOT CONTINUOUSLY FASTENED TO BOTTOM OF JOISTS, PROVIDE 18 GA x 1 1/2"x12" (MIN.) FLAT TENSION STRAPS BETWEEN ALIGNED BLOCKING MEMBERS.
- USE DOUBLE TRIMMERS AND HEADERS AT ALL FLOOR OPENINGS WHERE BEAMS ARE NOT DESIGNATED.
- BRIDGING FOR SPANS UP TO 14 FT., PROVIDE 1 ROW. BRIDGING FOR SPANS OVER 14 FT., PROVIDE 2 ROWS.

INSPECTION AND TESTING

- THE FOLLOWING MINIMUM INSPECTIONS SHALL BE PERFORMED BY A TESTING AGENCY ENGAGED BY THE OWNER. ADDITIONAL INSPECTIONS MAY BE REQUIRED BY THE LOCAL JURISDICTION'S SPECIAL INSPECTIONS PROGRAM (SEE ITEM 2):
A. WELDING
B. SUBGRADE FOR FOUNDATIONS
C. HIGH STRENGTH BOLTING
D. QUALITY CONTROL OF CONCRETE MATERIALS, BATCHING, STRENGTH, SLUMP, AIR CONTENT, UNIT WEIGHT, TEMPERATURE, FORMS, SIZE AND PLACEMENT OF REINFORCEMENT.
E. STABILITY OF BUILDING CONSTRUCTION.
- WHERE REQUIRED BY THE LOCAL JURISDICTION, A SEPARATE SCHEDULE OF INSPECTIONS WILL BE COMPLETED IN ACCORDANCE WITH THE JURISDICTION'S REQUIREMENTS. THE TESTING AGENCY SHALL FILE THIS SCHEDULE AND ALL OTHER NECESSARY FORMS WITH THE BUILDING DEPARTMENT.
- CAST-IN-PLACE CONCRETE (IF NO SPECIFICATION DOCUMENT PROVIDED):
A. INSPECT THE FORMWORK AND REINFORCING STEEL PLACEMENT FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS AND SHOP DRAWINGS.
B. MONITOR STRUCTURAL CONCRETE PLACEMENT FOR CONFORMANCE BASED ON ACI STANDARDS.
C. AT THE TIME OF CONCRETE PLACEMENT, CAST CYLINDERS AND TAKE COMPOSITE CONCRETE SAMPLES FOR THE PURPOSES OF TESTING AIR ENTRAINMENT, SLUMP, DENSITY, AND COMPRESSIVE STRENGTH AS FOLLOWS:
1. SAMPLE FRESH CONCRETE IN ACCORDANCE WITH ASTM C172. MOLD TEST CYLINDERS IN ACCORDANCE WITH ASTM C31.
2. CAST AND LAB CURE THE FOLLOWING NUMBER OF TEST CYLINDERS FOR EACH DAY'S POUR OR EACH 50 CUBIC YARDS, WHICHEVER RESULTS IN MORE TEST CYLINDERS:
- 2 FOR 7-DAY TEST
- 3 FOR 28-DAY TEST,
- 1 HELD FOR CHECKING LOW BREAK RESULTS.
3. FIELD-CURED CYLINDERS SHALL BE CAST FOR HOT AND COLD WEATHER CONCRETE PLACEMENTS (2 FOR 7-DAY AND 2 FOR 28-DAY). COLD WEATHER CONCRETE PLACEMENTS OCCUR WHEN THE AVERAGE EXPECTED AIR TEMPERATURES FOR 3 CONSECUTIVE DAYS FOLLOWING THE PLACEMENT ARE LESS THAN 40 DEGREES, RESPECTIVELY. HOT WEATHER CONCRETE PLACEMENTS OCCUR WHEN THE AIR TEMPERATURE AT THE TIME OF PLACEMENT EXCEEDS 90 DEGREES.
3. FOR LIGHTWEIGHT CONCRETE, TESTS SHALL BE MADE TO VERIFY THAT THE CONCRETE DENSITY CONFORMS TO THE RANGE OF 110-115 PCF (NOT REQUIRED FOR NORMAL WEIGHT CONCRETE).
4. MAKE ADDITIONAL TESTS OF IN-PLACE CONCRETE AT THE CONTRACTOR'S EXPENSE WHEN CYLINDER TEST RESULTS INDICATE SPECIFIED CONCRETE STRENGTHS HAVE NOT BEEN ATTAINED (DIRECTED BY THE A/E TEAM), OR WHEN REQUESTED BY THE CONTRACTOR FOR EARLY FORMWORK REMOVAL.
- STRUCTURAL STEEL (IF NO SPECIFICATION DOCUMENT PROVIDED):
A. VISUALLY INSPECT ALL FILLET WELDS, AND BOLTED CONNECTIONS.
B. MONITOR THE INSTALLATION OF BOLTS REQUIRING PRE-TENSIONING FOR CONFORMANCE WITH SPECIFIC PRE-CALIBRATED TIGHTENING PROCEDURES.
C. PERFORM WELDING INSPECTION AND TESTING PROCEDURES IN ACCORDANCE WITH THE AWS CODE.
1. TEST EACH FULL PENETRATION BUTT OR GROOVE WELD AND ALL PARTIAL PENETRATION WELDS, AS WELL AS ANY SUSPECT POOR QUALITY FILLET WELD PER ONE OF THE FOLLOWING PROCEDURES:
a. LIQUID PENETRANT INSPECTION: ASTM E 165. RESERVE THIS TEST FOR FILLET WELDS ONLY.
b. MAGNETIC PARTICLE INSPECTION: ASTM E 709; PERFORMED ON ROOT PASS AND ON FINISHED WELDS. CRACKS OR ZONES OF INCOMPLETE FUSION OR PENETRATION ARE NOT ACCEPTED.
c. ULTRASONIC INSPECTION: ASTM E 164.
d. RADIOGRAPHIC INSPECTION: ASTM E 164

PLANS REVIEWED AS PERFORMANCE COMPLIANCE WITH IRC 2018 SECTION R-301.1.3. AND APPLICABLE ENGINEERING DESIGN STANDARDS.

REVIEWED

By Laura DiPasquale at 8:54 am, Apr 10, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Kara Bulleit



PROFESSIONAL CERTIFICATION: I, CHRISTOPHER A. COBB HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 43074 EXPIRATION DATE: 03/31/2028

DESIGN LOADS AND FACTORS											DESIGN CODE: 2018 IRC AS MODIFIED BY THE LOCAL JURISDICTION							
LIVE LOAD DATA		ROOF LOAD DATA		DEAD LOAD DATA		WIND LOAD DATA		EARTHQUAKE DESIGN DATA			SOIL DESIGN DATA		DEFLECTIONS LIMITS FOR WOOD FRAMING					
FLOOR OR ROOF AREA	LOAD (PSF)	LOAD TYPE	VALUE (PSF)	AREA	VALUE (PSF)	PARAMETER	VALUE	PARAMETER	VALUE	PARAMETER	VALUE		LL	TL	Δ _n (in)			
TYP. FLOOR (U.N.O.)	40	GROUND SNOW LOAD (P _g)	30	FLOOR	15	ULTIMATE DESIGN WIND SPEED	115 MPH	SHORT-PERIOD MAP VALUE (S _s)	15.0% g	AT-REST PRESSURE CONDITION	65 PSF/FT	RAFTERS	L/360	L/240	0.75			
EXTERIOR BALCONIES	60	NON-DRIFT SNOW	30	PARTITION	10	WIND EXPOSURE	B	SEISMIC SITE CLASS	D	ACTIVE PRESSURE CONDITION	45 PSF/FT	ROOF BEAMS	L/240	L/180	0.75			
DECKS	40	DRIFTING SNOW	PER CODE	ROOF	15	IMPORTANCE FACTOR	1.0	SHORT-PERIOD DESIGN SPECTRAL RESPONSE ACCELERATION (S _{DS})	16.0% g	PASSIVE PRESSURE CONDITION	180 PSF/FT	JOIST	L/480	L/360	0.625			
STAIRS	40									SURCHARGE LOADS	100 PSF	FLOOR BEAMS	L/360	L/240	0.75			
SLEEPING ROOMS	30									RESIDENTIAL SEISMIC DESIGN CATEGORY	A	S.O.G. COEFFICIENT OF SLIDING FRICTION	0.3	JOISTS/BEAMS-TILE OR STONE FINISH	L/600	L/480	0.5	
ATTICS WITH STORAGE	20					SHEAR WALL TYPE		PER R301.2.2, THE SEISMIC PROVISIONS OF THE RESIDENTIAL BUILDING CODE ARE NOT APPLICABLE TO DETACHED ONE-FAMILY DWELLINGS ASSIGNED TO SEISMIC DESIGN CATEGORY A, B, OR C.			FACTORS OF SAFETY (OTM & SLIDING)	1.5	MASONRY LINTELS (OR XFER BEAMS OF EXIST MASONRY)		L/600	L/600	0.3	
ATTICS WITHOUT STORAGE	10					CS-WSP (U.N.O.)					TOTAL/DIFFERENTIAL SETTLEMENT	1/5" INCH						

LEGEND			
	EXIST. CONCRETE FOOTING		WOOD JOIST
	CONCRETE FOOTING		WOOD RAFTER
	EXIST. BRICK MASONRY		WOOD BEAM, #J INDICATES NO. OF JACK STUDS, #K INDICATES NO. OF KING STUDS
	BRICK MASONRY		WOOD HEADER
	EXIST. CONCRETE MASONRY (CMU)		STEEL BEAM
	CONCRETE MASONRY (CMU)		INDICATES EXIST. WOOD POST THRU OR DOWN
	EXIST. CONCRETE WALL		INDICATES EXIST. WOOD POST ABOVE
	CONCRETE WALL		INDICATES EXIST. STEEL POST THRU OR DOWN
	EXIST. WOOD BEARING WALL		INDICATES EXIST. STEEL POST UP
	WOOD BEARING WALL (2x6 @ 16" U.N.O.)		INDICATES WOOD POST THRU OR DOWN (APC POSTS SUPPORTING GIRDERS TO BE CONTINUOUS THROUGH FLOOR CONSTRUCTION DOWN TO THE FOUNDATION LEVEL)
	WALL BELOW TO BE REMOVED		INDICATES WOOD POST ABOVE (REFER TO NOTES FOR WOOD POST THRU OR DOWN)
	BEARING WALL ABOVE		INDICATES STEEL POST UP
	EXIST. WOOD JOIST		INDICATES STEEL POST THRU OR DOWN
	EXIST. WOOD RAFTER		DENOTES CONNECTION REQUIREMENTS (SEE SCHED.)
	EXIST. WOOD BEAM		INDICATES TOP OF FOOTING ELEVATION
	EXIST. WOOD FRAMING TO BE REMOVED		
	EXIST. STEEL BEAM		

STANDARD ABBREVIATIONS

ADD'L	ADDITIONAL	L.L.	LIVE LOAD
ADJ.	ADJACENT	LLH	LONG LEG HORIZONTAL
A/E	DESIGN TEAM OF RECORD	LLV	LONG LEG VERTICAL
ALT.	ALTERNATIVE	LSL	LAMINATED STRAND LUMBER
APC	ANTHONY POWER COLUMN	LVL	LAMINATED VENEER LUMBER
APPROX.	APPROXIMATE	L-W	LONG WAY
ARCH.	ARCHITECTURAL/ARCHITECT	L.P.	LOW POINT
B.O.	BOTTOM OF	L.W.	LIGHT WEIGHT
BLDG.	BUILDING	MAX.	MAXIMUM
BM	BEAM	MECH.	MECHANICAL
BOT.	BOTTOM	MEP	MECHANICAL, ELECTRICAL, PLUMBING & F.P.
BRG	BEARING	MFR.	MANUFACTURER
BSMT	BASEMENT	MIN.	MINIMUM
CANT.	CANTILEVERED	MISC.	MISCELLANEOUS
(C.E.)	CONCRETE ENCASED MEMBER	M.O.	MASONRY OPENING
CFS	COLD FORMED STEEL	M.F.	NEAR FACE
C.I.	CAST IRON	N.I.C.	NOT IN CONTRACT
C.I.P.	CAST IN PLACE	NO.	NUMBER
C.J.	CONTROL JOINT	NOM.	NOMINAL
CLG	CEILING	N.S.	NEAR SIDE
CLR	CLEAR	N.T.S.	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	O.C.	ON CENTER
COL.	COLUMN	O.D.	OUTSIDE DIAMETER
CONC.	CONCRETE	O.F.	OUTSIDE FACE
COORD.	COORDINATE	OPNG.	OPENING
CONTR.	CONTRACTOR	OPP.	OPPOSITE
COTR.	CONTRACT OFFICER'S TECHNICAL REP.	P.A.F.	POWER ACTUATED FASTENER
CTR.	CENTER	PC.	PIECE
D.B.A.	DEFORMED BAR ANCHOR	P/C	PRECAST CONCRETE
DBL	DOUBLE	PERP.	PERPENDICULAR
DEMO	DEMOLITION	PL.	PLATE
DTL	DETAIL	PLF	POUND PER LINEAR FOOT
DIA.	DIAMETER	PSI	POUND PER SQUARE INCH
DIAG.	DIAGONAL	PSL	PARALLEL STRAND LUMBER
DIM.	DIMENSION	P-T	POST TENSIONED
D.L.	DEAD LOAD	P.T.	PRESERVATIVE TREATED
DN	DOWN	REINF.	REINFORCED
DO	DITTO	REQ'D	REQUIRED
DWG(S)	DRAWING(S)	REV.	REVISION
DWL	DOWEL	R.O.	ROUGH OPENING
(E)	EXISTING MEMBER OR DIMENSION	SCHED.	SCHEDULE
EXIST.	EXISTING	SECT.	SECTION
EA.	EACH	SIM.	SIMILAR
E/	EDGE OF	S.I.F.	STEP IN FOOTING
E.A.	EACH FACE	S.O.G.	SLAB ON GRADE
E.J.	EXPANSION JOINT	SPEC.	SPECIFICATION
E.L.	ELEVATION	SQR.	SQUARE
EMBED.	EMBEDMENT	S.S.	STAINLESS STEEL
ENGR	ENGINEER	STD.	STANDARD
E.O.R.	ENGINEER OF RECORD	STIFF.	STIFFENER
EQ.	EQUAL	STIR.	STIRRUP
E.S.	EACH SIDE	STL.	STEEL
EXT.	EXTERIOR	SQR.	SQUARE
E.W.	EACH WAY	S-W	SHORT WAY
FNDN	FOUNDATION	SYM.	SYMMETRICAL
FIN.	FINISH	T.C.	TERRA COTTA
FLR.	FLOOR	T.O.	TOP OF
FRMG	FRAMING	T&B	TOP AND BOTTOM
F.S.	FAR SIDE	TEMP.	TEMPORARY
FTG	FOOTING	T&G	TOUNGE AND GROOVE
F.P.	FIRE PROTECTION	THK.	THICK(NESS)
F.W.	FLAT WISE	T.L.S.	TENSION LAP SPLICE
GA.	GAUGE	TR.	TRANSFER
GALV.	GALVANIZE	TYP.	TYPICAL
G.B.	GRADE BEAM	U.N.O.	UNLESS NOTED OTHERWISE
G-LAM	GLUE LAMINATED LUMBER	U-P	UNDERPINNING
HORIZ.	HORIZONTAL	VERT.	VERTICAL
H.P.	HIGH POINT	V.I.F.	VERIFY IN FIELD
HT.	HEIGHT	W/	WITH
HVAC	HEATING, VENTILATION & AIR CONDITIONING	W.A.	WORK POINT
I.D.	INSIDE DIAMETER	W-P	WATER PROOF
I.F.	INSIDE FACE	WWF	WELDED WIRE FABRIC
I.J.	ISOLATION JOINT	#	NUMBER
INFO.	INFORMATION	⊕	CENTER LINE
INT.	INTERIOR	∅	DIAMETER
JT.	JOINT	ℓ	PROPERTY LINE

REVIEWED

By Laura DiPasquale at 8:54 am, Apr 10, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Karen B. Smith

DRAWING: LEGEND AND SCHEDULES

ISSUE:

2025-02-21 | PERMIT SET

Williams Residence

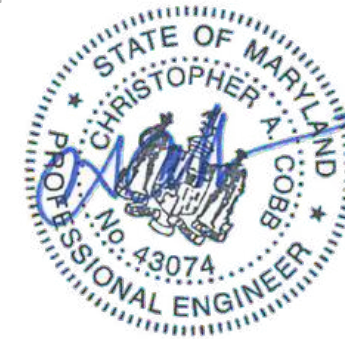
20 West Kirke Street
Chevy Chase, MD 20815

COBB ARCHITECTURAL ENGINEERS LLC
210 N LEE ST. SUITE 210, ALEXANDRIA, VA 22314 | 703.584.151 | COBBAE.COM

sck

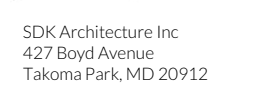
SDK Architecture Inc
427 Boyd Avenue
Takoma Park, MD 20912

S002

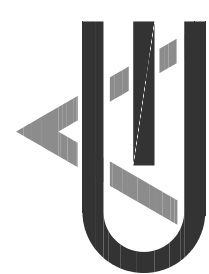


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LICENSE NO. 43074 EXPIRATION DATE: 12/31/2016

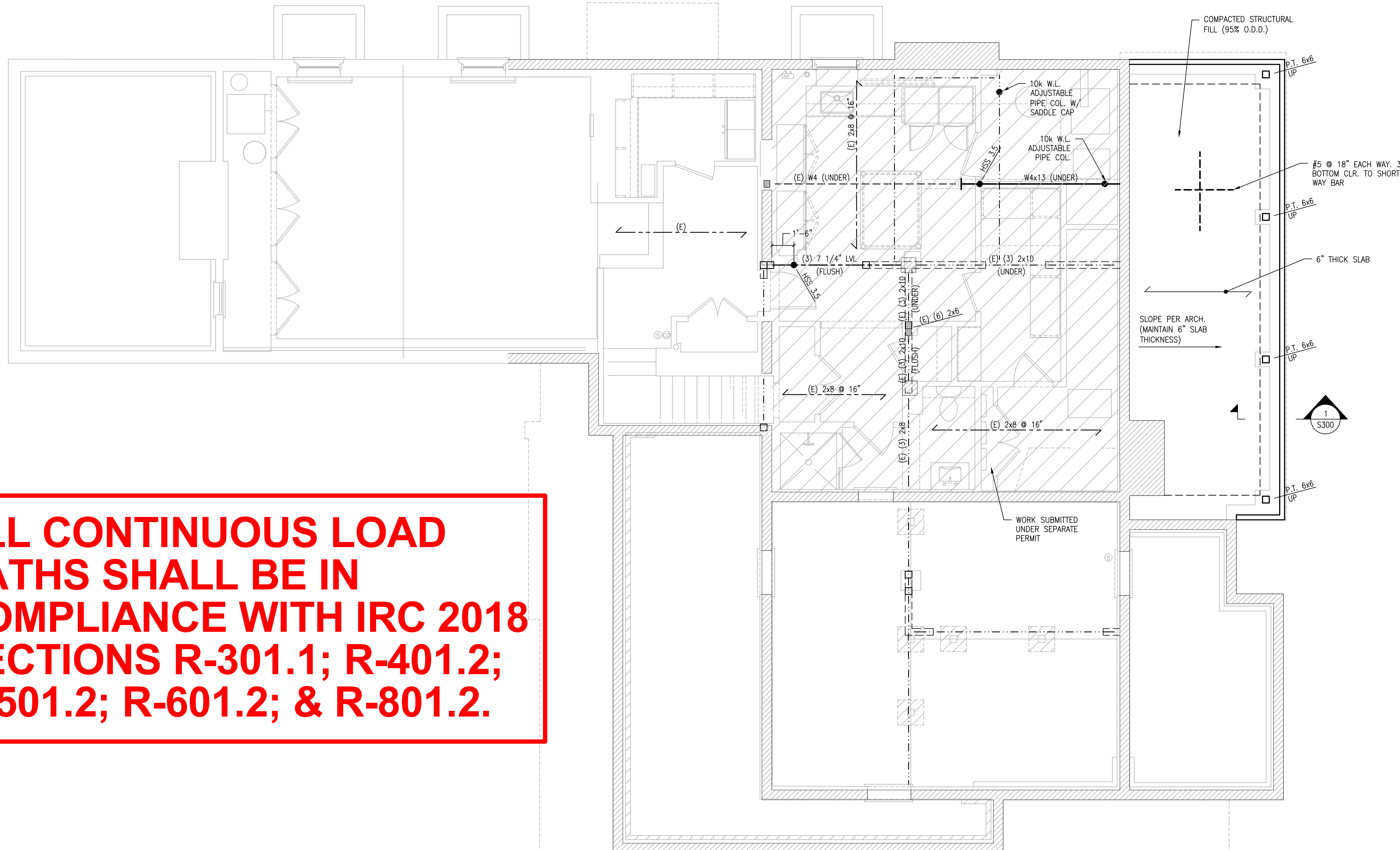


COBB
ARCHITECTURAL
ENGINEERS LLC
RIA, VA 22314 | 703.350.4151 | COBBAE.COM



Williams Residence

**ALL CONTINUOUS LOAD
PATHS SHALL BE IN
COMPLIANCE WITH IRC 2018
SECTIONS R-301.1; R-401.2;
R-501.2; R-601.2; & R-801.2.**



NOTE:

1. VERIFY ALL EXISTING CONDITIONS IN AREAS OF NEW WORK. NOTIFY S.E.R. IF CONDITIONS VARY FROM THOSE SHOWN
- 2.

1 FIRST FLOOR FRAMING PLAN
S201 SCALE: 1/4" = 1'-0"

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

REVIEWED
By Laura DiPasquale at 8:54 am, Apr 10, 2025



BACKGROUND DRAWINGS PROVIDED BY
SDK ARCHITECTURE INC. DATED
FEBRUARY 06, 2025

DRAWING: **FIRST FLOOR FRAMING PLAN**
ISSUE:

ISSUE: 2025-02-21 | PERMIT SET

S201

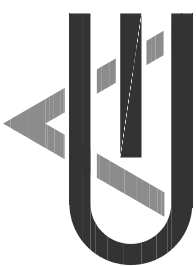


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LICENSE NO. 43074 EXPIRATION DATE: 03/10/26



SDK Architecture Inc.
427 Boyd Avenue
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COBB ARCHITECTURAL
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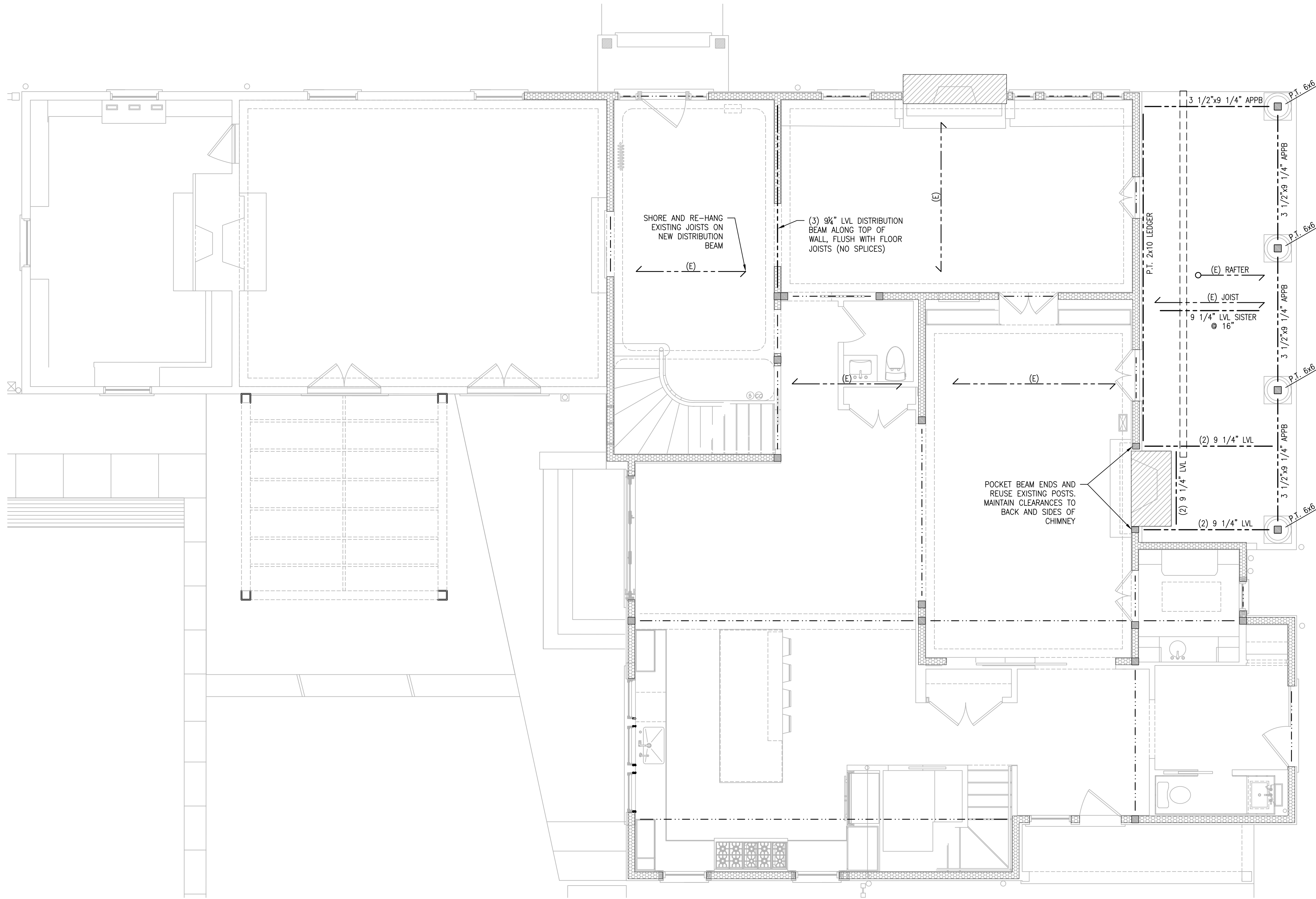
2101 LEE STREET SUITE 210 ALEXANDRIA, VA 22314 | 703.584.1511 | COBBAE.COM

Williams Residence

20 West Kirke Street
Chevy Chase, MD 20815

ALL CONTINUOUS LOAD
PATHS SHALL BE IN
COMPLIANCE WITH IRC
2018 SECTIONS R-301.1;
R-401.2; R-501.2;
R-601.2; & R-801.2.

NOTE:
1. VERIFY EXISTING CONDITIONS IN ALL AREAS OF NEW WORK. NOTIFY S.E.R. IF CONDITIONS VARY FROM THOSE SHOWN.
2. APPB = ANTHONY POWER PRESERVED BEAM



1 SECOND FLOOR FRAMING PLAN
S202 SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Karen Boudit

REVIEWED
By Laura DiPasquale at 8:54 am, Apr 10, 2025



BACKGROUND DRAWINGS PROVIDED BY
SDK ARCHITECTURE INC. DATED
FEBRUARY 06, 2025

DRAWING: SECOND FLOOR FRAMING PLAN
ISSUE: 2025-02-21 PERMIT SET

S202



PROFESSIONAL CERTIFICATION: I, CHRISTOPHER A. COBB, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 43074 EXPIRATION DATE: 02/10/25



SDK Architecture Inc.
427 Boyd Avenue
Takoma Park, MD 20912

COBB ARCHITECTURAL
ENGINEERS LLC



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Williams Residence
20 West Kirke Street
Chevy Chase, MD 20815

NOTE:
1. VERIFY EXISTING CONDITIONS IN ALL AREAS OF NEW WORK. NOTIFY S.E.R. IF CONDITIONS VARY FROM THOSE SHOWN

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bulitt

REVIEWED
By Laura DiPasquale at 8:54 am, Apr 10, 2025



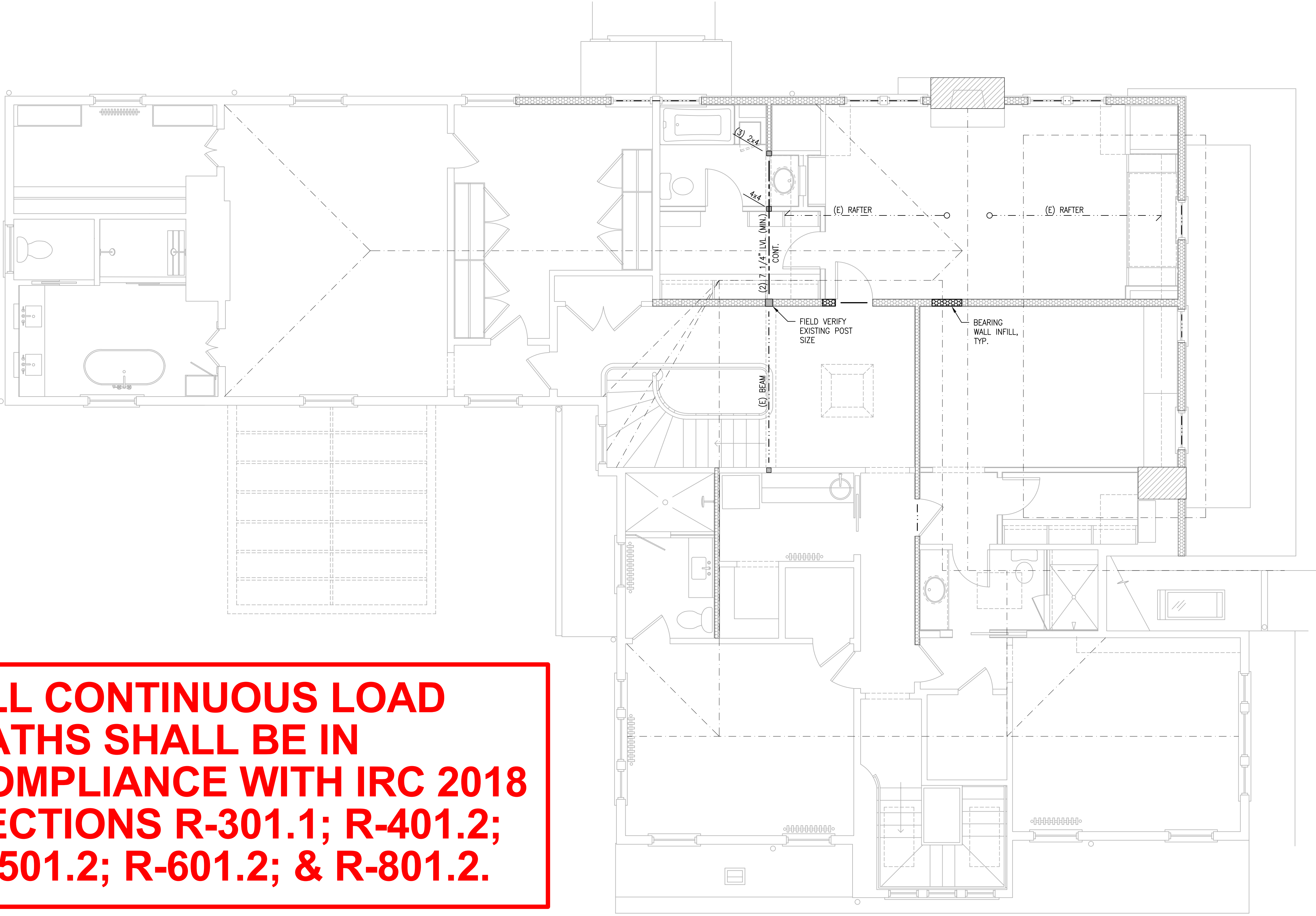
BACKGROUND DRAWINGS PROVIDED BY
SDK ARCHITECTURE INC. DATED
FEBRUARY 06, 2025

DRAWING: ROOF FRAMING PLAN
ISSUE: 2025-02-21 | PERMIT SET

S203

ALL CONTINUOUS LOAD
PATHS SHALL BE IN
COMPLIANCE WITH IRC 2018
SECTIONS R-301.1; R-401.2;
R-501.2; R-601.2; & R-801.2.

1 ROOF FRAMING PLAN
S203 SCALE: 1/4" = 1'-0"

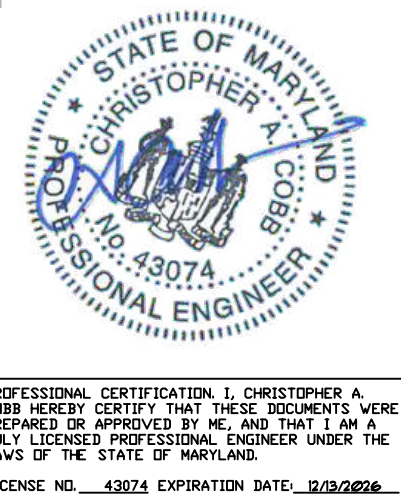
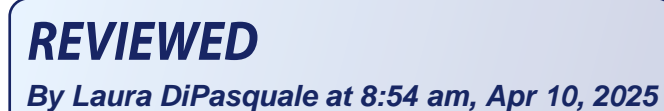




4
S300

STANDARD DETAIL: TENSION DEVELOPMENT LENGTH AND
SPlicing OF STEEL REINFORCING IN CONCRETE

SCALE: N.T.S.



Williams Residence
20 West Kirke Street
Chew Chase, MD 20815

DRAWING: **DETAILS**

ISSUE:

ISSUE:	PERMIT SET
2025-02-21	

S300

WEST KIRKE STREET

LEGEND

(E)=EXISTING (P)=PROPOSED

- ◆ (321.0) (E) SPOT ELEVATION
- ◆ 321.0 (P) SPOT ELEVATION
- 5.5" (P) SINGLE STEP
- DS (E) DOWNSPOUT
- (P) DRAINAGE DIRECTION
- ##% (P) SLOPE

5475

MAGNOLIA PARKWAY

EXISTING ASPHALT DRIVEWAY

PROPERTY LINE

EXISTING GARAGE

ADDITION OF STONE PATIO (780 SF)

PROPOSED 18" Height Stone Seat Wall

PROPOSED DRY LAID Stone PAVING

PROPOSED PLANTING at Grade

PROPOSED Stone Landing

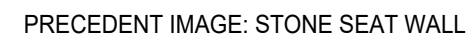
PROPOSED 18" Height Stone Seat Wall

EXISTING ASPHALT DRIVEWAY

PROPERTY LINE

SCALE: 1/8" = 1'-0"

N



PRECEDENT IMAGES: STONE PAVING

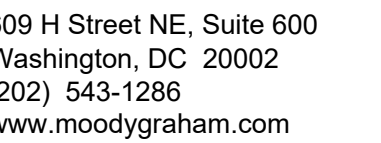
Karen Buntz

Project Name / Client

20 W KIRKE ST
CHEVY CHASE
20815

Client Emergency Contact Number:
(111) 111-1111

Landscape Architect



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Project Team

Architect
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sdk architecture inc
310 467 5907
www.sdk-arch.com

Drawing Release Record		
No.	Date	Revisions

1 03/25/25 PERMIT SUBMISSION

Professional Seal

Project Number: 25618-01

Drawn By: AD

Checked By: JG

Sheet Name

LANDSCAPE PLAN

AS NOTED

Drawing No.

P101