



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

Date: April 7, 2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services
FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission
SUBJECT: Historic Area Work Permit #1109650 – Masonry repair/replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** by HPC staff.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Barry Pauls
Address: 7207 Willow Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: _____ at: _____

submitted on: _____

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by Laure D. Paquale on _____. The approval memo and stamped drawings follow.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

1918 craftsman bungalow with a recent addition located in a residential neighborhood. It is a contributing property but does not have any outstanding features.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The brick used for the front pillars and the foundation are deteriorating and there is evidence of past repairs. The pillars will be replaced and the foundation bricks will be cleaned/repared/replaced as needed. The concrete slab front porch has subsided on one end and there are visible cracks in the slab. The slab and base materials will be replaced. Part of the front walk will need to be removed to repair the pillars and porch so we plan to remove the entire front walk and replace it so it will all match.

Per email from applicant 4/6/2025:

- The front porch slab will have a smooth finish and will be painted the same grey as the existing slab.
- The new walkway will be tinted a darker grey to avoid the bright light grey look.
- The replacement brick will be a red clay brick that matches the brick in the chimney as close as possible.

APPROVED

Montgomery County

Historic Preservation Commission



REVIEWED

By Laura DiPasquale at 1:16 pm, Apr 07, 2025

<p>Front Brick Pillars</p> <p>Work Item 1: _____</p>	
<p>Description of Current Condition:</p> <p>Brick pillars on front porch are crumbling, evidence of previous repairs.</p>	<p>Proposed Work:</p> <p>Remove pillars, pour new footers and replace with new brick pillars same size and height with reinforced concrete core. A portion of the front walk needs to be removed to dig the new footers for the pillars so we plan to remove all the front walk and replace with new to match existing.</p>

<p>Front Porch</p> <p>Work Item 2: _____</p>	
<p>Description of Current Condition:</p> <p>Concrete slab has subsided on one end (down slope side) and there is a pronounced crack in the slab. The brick supporting the down slope end are in poor condition and there may not be a footer supporting them.</p>	<p>Proposed Work:</p> <p>Remove existing slab and base material. Add new base material, pour a new footer on the down slope end and add new brick to match existing, pour a new slab same dimensions as existing.</p>

<p>Exterior Foundation Wall</p> <p>Work Item 3: _____</p>	
<p>Description of Current Condition:</p> <p>Bricks in the foundation are exhibiting the same crumbling as the pillars on the front porch.</p>	<p>Proposed Work:</p> <p>Will excavate down to the footer, remove existing waterproofing, clean/repair/replace bricks as needed, install new waterproofing below grade, and backfill.</p>

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

REVIEWED

By Laura DiPasquale at 1:16 pm, Apr 07, 2025

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address
7207 Willow Avenue
Takoma Park, MD 20912

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Scott Smallwood, Amanada Lenhart
7205 Willow Avenue
Takoma Park, MD 20912

Judy Applebaum, Betsy Cohen
7209 Willow Avenue
Takoma Park, MD 20912

Jeremy and Renatta Ko
7210 Willow Avenue
Takoma Park, MD 20912

APPROVED

Montgomery County

Historic Preservation Commission

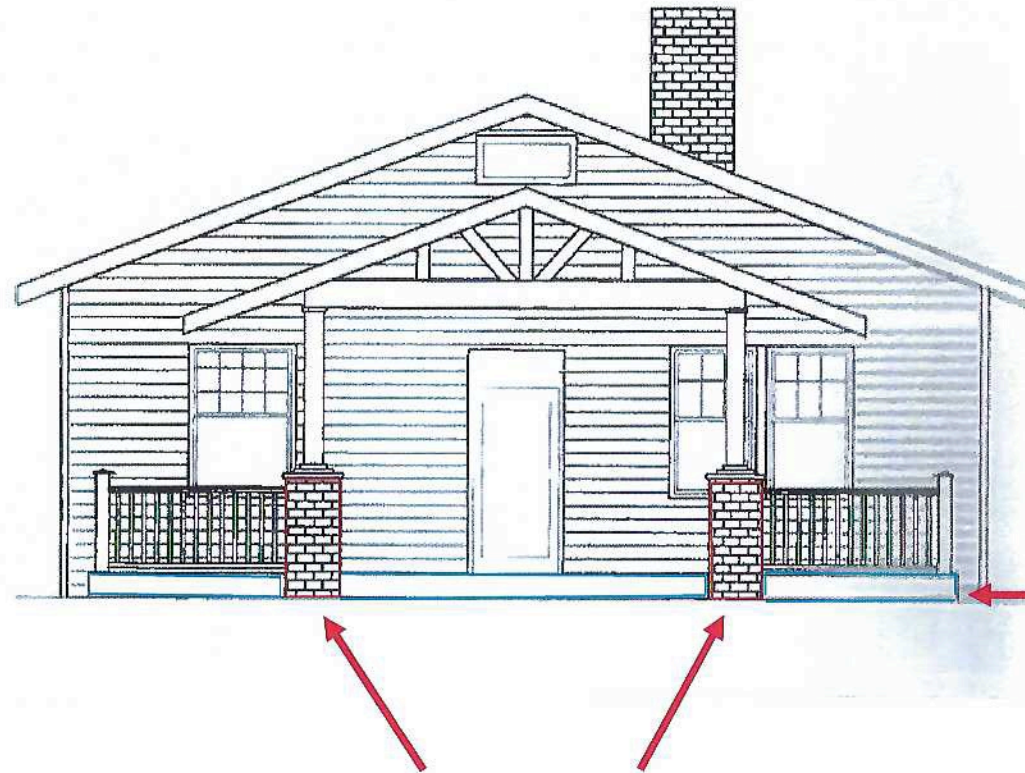


REVIEWED

By Laura DiPasquale at 1:16 pm, Apr 07, 2025

7207 Willow Ave.
Front Elevation

Scale $\frac{1}{4}" = 1' 0"$



Concrete slab front porch will be replaced in-kind.

Brick pillars will be replaced with new brick with a reinforced cement core. New footers will be poured for both pillars.

APPROVED
Montgomery County
Historic Preservation Commission

Karen Buelit

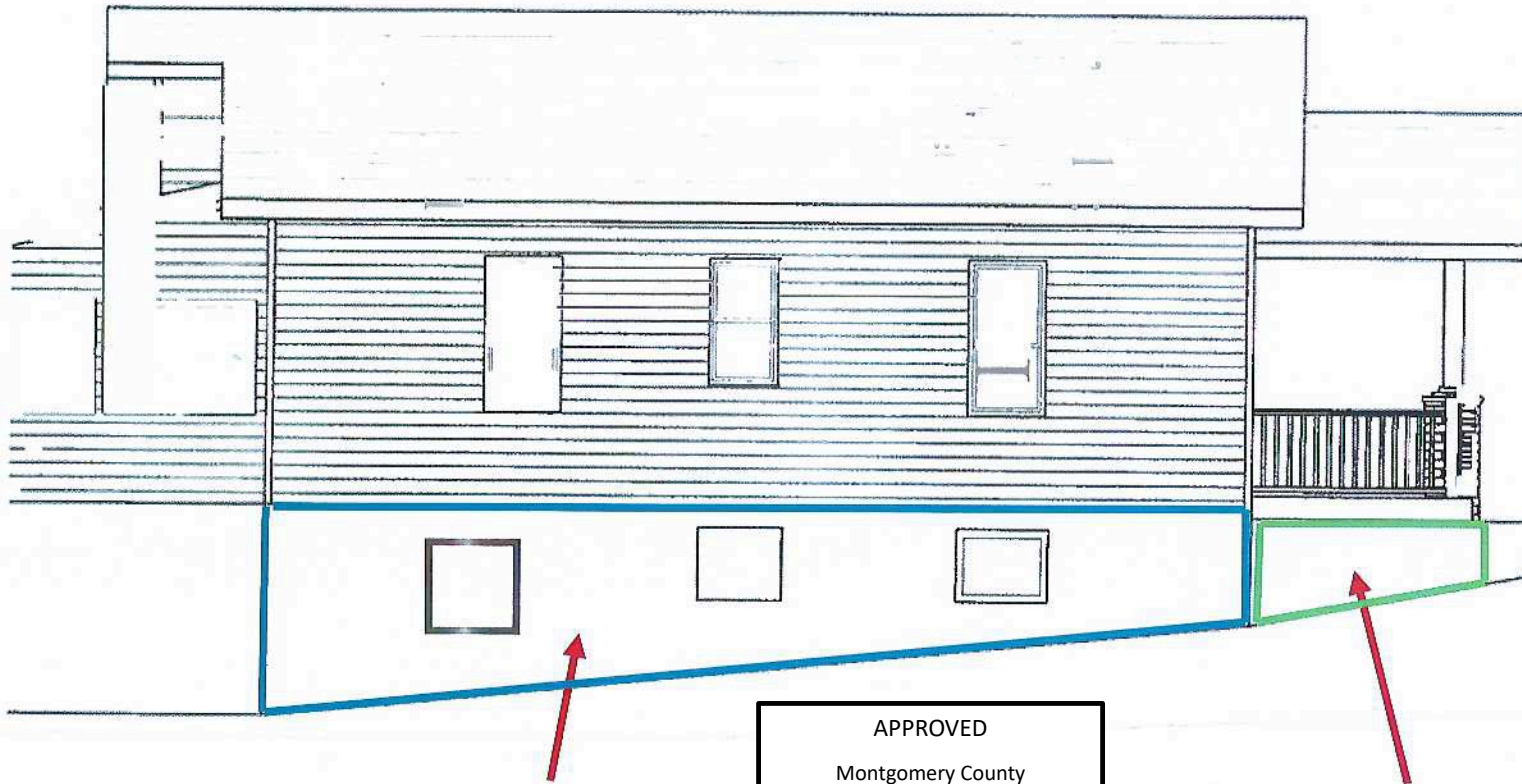
REVIEWED

By Laura DiPasquale at 1:16 pm, Apr 07, 2025

7207 Willow Ave.

Side Elevation

Scale $\frac{1}{4}" = 1'0"$



Exterior Foundation wall - Bricks will be cleaned, repaired/replaced as required. Foundation below grade will be waterproofed.



Bricks supporting this end of the front porch will be removed, a new footer poured, and new brick installed

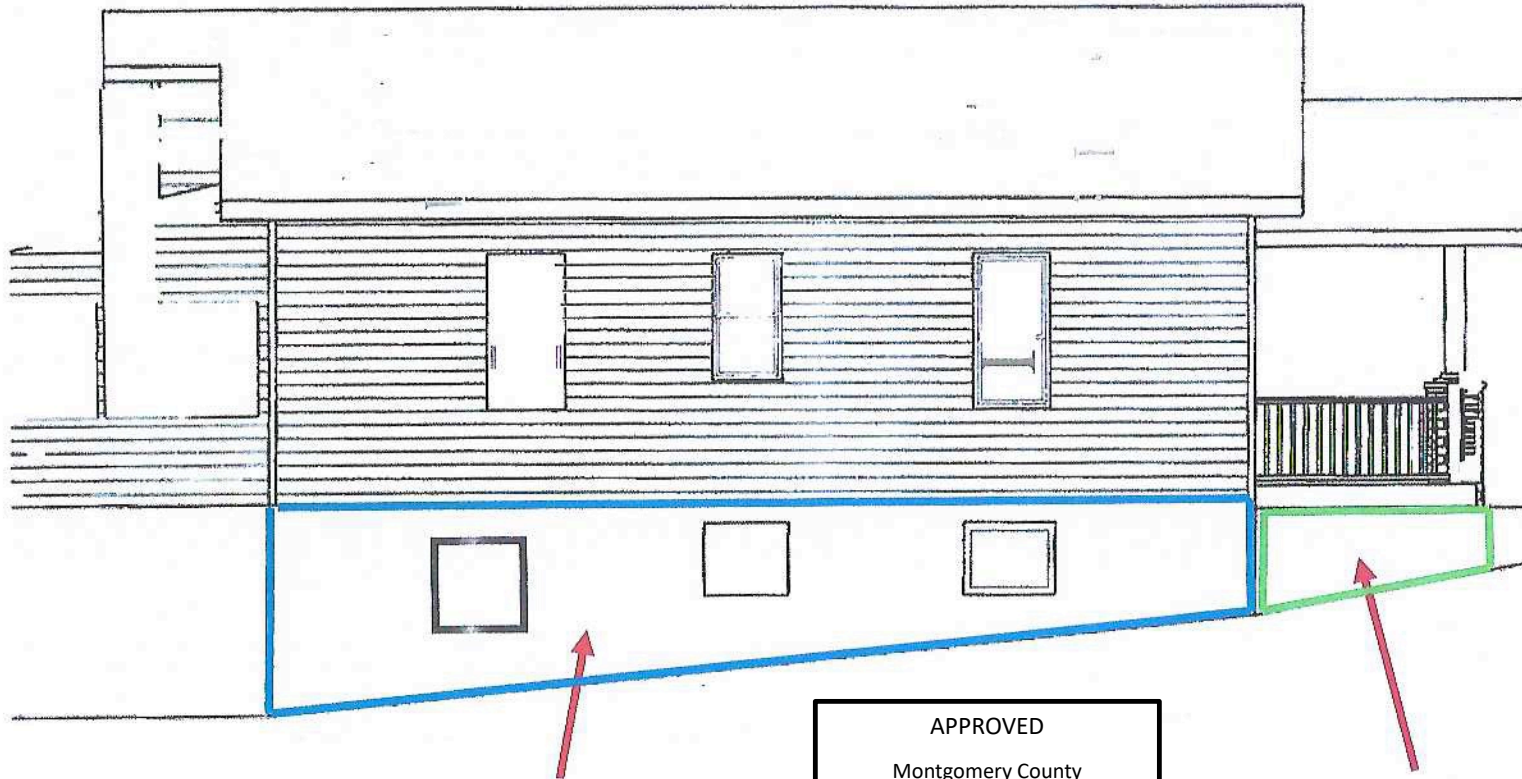
REVIEWED

By Laura DiPasquale at 1:16 pm, Apr 07, 2025

7207 Willow Ave.

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APPROVED

Montgomery County

Historic Preservation Commission

Karen Bulitt

REVIEWED

By Laura DiPasquale at 1:27 pm, Apr 07, 2025

Front and side Elevation Photos



REVIEWED

By Laura DiPasquale at 1:27 pm, Apr 07, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Bunkle

7207 Willow Avenue
Photos for HAWP

Front Porch Pillars



Deteriorating Brick. This is 5"W x 6"H

REVIEWED

By Laura DiPasquale at 1:27 pm, Apr 07, 2025



More deteriorating brick and
evidence of past repairs



APPROVED

Montgomery County
Historic Preservation Commission

Karen Bulitt

Front Porch

Masonry support has settled and the bricks have deteriorated causing cracks in the concrete slab



REVIEWED

By Laura DiPasquale at 1:27 pm, Apr 07, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen B. Smith



Cracks in the concrete slab and evidence of past repairs.

REVIEWED

By Laura DiPasquale at 1:28 pm, Apr 07, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Buelit

Exterior Foundation wall



REVIEWED

By Laura DiPasquale at 1:28 pm, Apr 07, 2025

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Montgomery County

Historic Preservation Commission

Karen Buelit



REVIEWED

By Laura DiPasquale at 1:28 pm, Apr 07, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

City of Takoma Park

Housing and Community Development Department

Main Office 301-891-7119
Fax 301-270-4568
www.takomaparkmd.gov



7500 Maple Avenue
Takoma Park, MD 20912

MUNICIPALITY LETTER

February 24, 2025

To: Barry Pauls
7207 Willow Avenue, Takoma Park MD, 20912
barrypauls@hotmail.com 202-747-4924

To: Department of Permitting Services
2425 Reedie Drive, 7th floor
Wheaton, Maryland 20902

From: Planning and Development Services Division

THIS IS NOT A PERMIT – For Informational Purposes Only

VALID FOR ONE YEAR FROM DATE OF ISSUE

The property owner is responsible for obtaining all required permits from Montgomery County and the City of Takoma Park. If this property is in the **Takoma Park Historic District**, it is subject to Montgomery County Historic Preservation requirements.

Representative Name: Barry Pauls barrypauls@hotmail.com 202-747-4924

Location of Project: 7207 Willow Avenue, Takoma Park, MD 20912

Proposed Scope of Work: Remove and replace front brick columns, remove and replace concrete slab porch, excavate exterior foundation wall and clean /repair bricks was needed & waterproof, remove & replace concrete walks

The purpose of this municipality letter is to inform you that the City of Takoma Park has regulations and city permit requirements that may apply to your project. This municipality letter serves as notification that, in addition to all Montgomery County requirements, you are required to comply with all City permitting requirements, including:

- Tree Impact Assessment/Tree Protection Plan
- Stormwater management
- City Right of Way

Failure to comply with these requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law. Details of Takoma Park's permit requirements are attached on page 2.

The issuance of this letter does not indicate approval of the project nor does it authorize the property owner to proceed with the project. The City retains the right to review and comment on project plans during the Montgomery County review process.

City Of Takoma Park

The City of Takoma Park permits for the following issues:

Tree Impact Assessment/Tree Protection Plan/Tree Removal Application:

Construction activities that occur within 50 feet of any urban forest tree (7 and 5/8" in trunk diameter or greater), located on the project property or on an adjacent property, may require a Tree Impact Assessment and possibly a Tree Protection Plan Permit. Make sure to submit a request for a Tree Impact Assessment and schedule a site visit with the City's Urban Forest Manager if any urban forest tree is in the vicinity of proposed construction activities. See the Tree Permits section of the City website for the specific conditions in which a Tree Impact Assessment is required. Depending on the Urban Forest Manager's conclusion following the Tree Impact Assessment, you may need to prepare a full Tree Protection Plan and apply for a Tree Protection Plan Permit as well. Separately, the removal of any urban forest tree will require a Tree Removal Permit application. The tree ordinance is detailed in the City Code, section 12.12. For permit information check: <https://takomaparkmd.gov/services/permits/tree-permits>. The City's Urban Forest Manager can be reached at 301-891-7612 or urbanforestmanager@takomaparkmd.gov.

Stormwater Management:

If you plan to develop or redevelop property, you may be required to provide appropriate stormwater management measures to control or manage runoff, as detailed in City Code section 16.04. All commercial or institutional development in the city must apply for a Stormwater Management Permit regardless of the size of the land disturbance. Additions or modifications to existing detached single-family residential properties do not require a Stormwater Management permit if the project does not disturb more than 5,000 square feet of land area. For more information visit: <https://takomaparkmd.gov/government/public-works/stormwater-management-program/>. The City Engineer should be contacted to determine if a City permit is required. The City Engineer can be reached at 301-891-7620.

City Right of Way:

- To place a **construction dumpster or storage container** temporarily on a City right of way (usually an adjacent road), you will need to obtain a permit. A permit is not required if the dumpster is placed in a privately-owned driveway or parking lot.
- If you plan to install a new **driveway apron**, or enlarge or replace an existing driveway apron, you need a Driveway Apron Permit.
- If you plan to construct a **fence** in the City right of way, you need to request a Fence Agreement. If approved, the Agreement will be recorded in the Land Records of Montgomery County.

For more information and applications for City permits, see: <https://takomaparkmd.gov/services/permits/> or contact the Department of Public Works at 301-891-7633.

Failure to comply with the City's permitting requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law.

signed via SeamlessDocs.com
Barry Pauls
Key: 38b02056522713c0bf979a37ee94776a

Barry Pauls

02-17-2025

signed via SeamlessDocs.com
Takoma Park Planning Division
Key: 10fe94f122e08a3ff457621605945db0

02-24-2025