



## HISTORIC PRESERVATION COMMISSION

**Marc Elrich**  
*County Executive*

**Karen Burditt**  
*Chair*

Date: 4/10/2025

### **MEMORANDUM**

TO: Rabbiah Sabbakhan  
Department of Permitting Services

FROM: Laura DiPasquale  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1109655 – New landing and ADA ramp

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the April 9, 2025 HPC meeting.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Emily Holness; Alan Kinney, Agent.  
Address: 7210 Spruce Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or [laura.dipasquale@montgomeryplanning.org](mailto:laura.dipasquale@montgomeryplanning.org) to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

**REVIEWED**

*By Laura DiPasquale at 8:59 am, Apr 10, 2025*

APPROVED

Montgomery County

Historic Preservation Commission

*Karen B. Smith*

Work Item 1: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

Work Item 2: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

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Work Item 3: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

REVIEWED  
By Laura DiPasquale at 9:00 am, Apr 10, 2025

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Montgomery County  
Historic Preservation Commission  
*Karen Bunkit*

# Holness Residence

## 7210 Spruce Avenue

## Takoma Park, MD. 20912

**CODE:**  
-Plans conform with IRC 2021  
-All wood in contact with soil or masonry foundations will meet the ASTM standard A 153 and A653, class 155.  
-All framing lumber to be SPF2 unless indicated otherwise.  
-Design criteria used are as follows:  
-Roof load -30lbs/sf.  
-Roof and floor dead load -10lbs/sf.  
-Seismic design category B.  
-Termite damage susceptibility-moderate to heavy.  
-Winter design temperature -15 degrees F, -4 degrees C.  
-Susceptivity to damage from weather-heavy.  
-Susceptivity to decay-moderate.  
-Floor live load in non-sleeping areas-40lbs/sf.  
-Floor live load in sleeping areas-30lbs/sf.  
-Wind speed-90mph (3 sec. gust method) 40 mph 40 m/s.  
-Frost line depth-24".  
-Flood hazard-Yes.  
-Subfloors- 5/4" APA subfloor/underlayment rated, tongue and groove, glued and nailed to joists.  
-Roof sheathing- 12" OSB with spacers.  
-Roofing-215lb per square asphalt shingles over 15lb felt.

**SCOPE OF WORK:**  
1-DEMO EXISTING LANDING SECTION AND STAIRS.  
2-CONSTRUCT NEW LANDING SECTION AND HANDICAP RAMP.

**INDEX**  
  
COVER SHEET 001  
FLOOR PLANS A001  
ELEV, FRAMING, SECT. AND DETAILS A002

### STRUCTURAL NOTES

SOIL BEARING AND WATER CONDITION: ASSUMED SOIL BEARING CAPACITY OF 1500 PSF (MIN.) WITH A LATERAL PRESSURE OF 60 PSF.

LIVE LOADS: ROOF.....30 PSF 15 PSF DEAD LOAD  
FLOOR.....40 PSF 15 PSF  
STAIRWAY.....100 PSF 15 PSF  
BALCONIES.....60 PSF 15 PSF  
FLOOR AT BEDROOM LEV.....30 PSF 15 PSF  
WIND LOAD.....17 PSF

BACKFILL: SHALL NOT BE PLACED AGAINST WALLS UNTIL SLABS ON GRADE

FOUNDATIONS: BOTTOMS OF THE ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH GRADE. ALL FOOTINGS SHALL BE AS SHOWN ON FOOTING PLANS AND PROJECT 1'-2" INTO UNDISTURBED EXG. NATURAL GROUND HAVING ALLOWABLE BEARING CAPACITY AS PER SOIL CONSULTANT'S RECOMMENDATIONS. DEPTHS AND SIZES OF ALL FOOTINGS SHALL BE VERIFIED IN THE FIELD. DEPTHS SHALL BE SUBJECT TO CHANGE IF SOIL CONDITIONS ARE OTHER THAN ASSUMED.

CONCRETE: ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST A.C.I. CODE 318. 28-DAY CONCRETE STRENGTH SHALL BE AS FOLLOWS:

F'c= 2,500 PSI FOR FOOTINGS, INTERIOR SLABS ON GRADE AND FILL IN CONCRETE BLOCKS.  
F'c= 3,000 PSI FOR EXTERIOR SLABS ON GRADE.  
F'c= 4,000 PSI FOR PRECAST CONCRETE UNITS.

ALL ROOFING MATERIALS TO HAVE ICE DAMMING PROTECTION.

WOOD SPECIES AND GRADE: HEM-FIR (SURFACED DRY OR SURFACED GREEN USED AT 14% MAX. NO. 2 OR BETTER WITH THE FOLLOWING DESIGN VALUES:

Fb = 1,150 PSI (SINGLE MEMBER)  
Fv = 75 PSI  
F'c = 825 PSI  
E = 1,400,000 PSI

LAMINATED VENEER LUMBER: MICRO-LAM LUMBER OR BETTER WITH THE FOLLOWING DESIGN PROPERTIES:

Fb = 2,800 PSI  
Fv = 295 PSI  
F'c = 2,700 PSI  
E = 2,000,000 PSI

VERTICAL LOAD TRANSFER: ALL STRUCTURAL POSTS MUST BE VERTICALLY ALIGNED AND BLOCKED TO PROVIDE CONTINUOUS BEARING TO FOUNDATION.

Holness Residence  
7210 Spruce Avenue  
Takoma Park, MD. 20912

Date: 3/19/25

Drawn By: A&LK LOML

Scale: 1/4"=1'-0"

Sheet Number:

001

Cover Page

REVIEWED  
By Laura DiPasquale at 9:00 am, Apr 10, 2025

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Montgomery County  
Historic Preservation Commission  
*Karen Benoit*

LEGEND

EXISTING CONSTRUCTION TO REMAIN

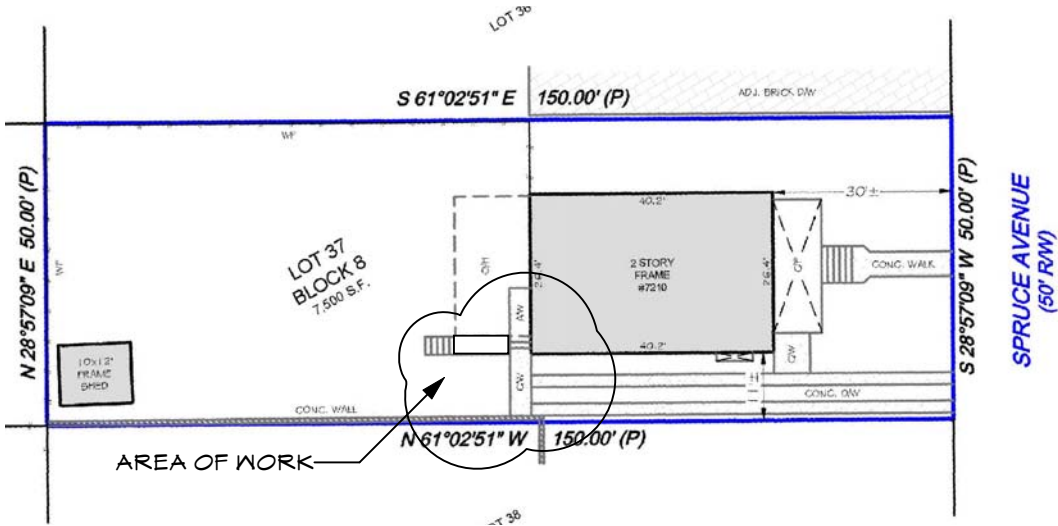
EXISTING CONSTRUCTION TO BE REMOVED

NEW CONSTRUCTION

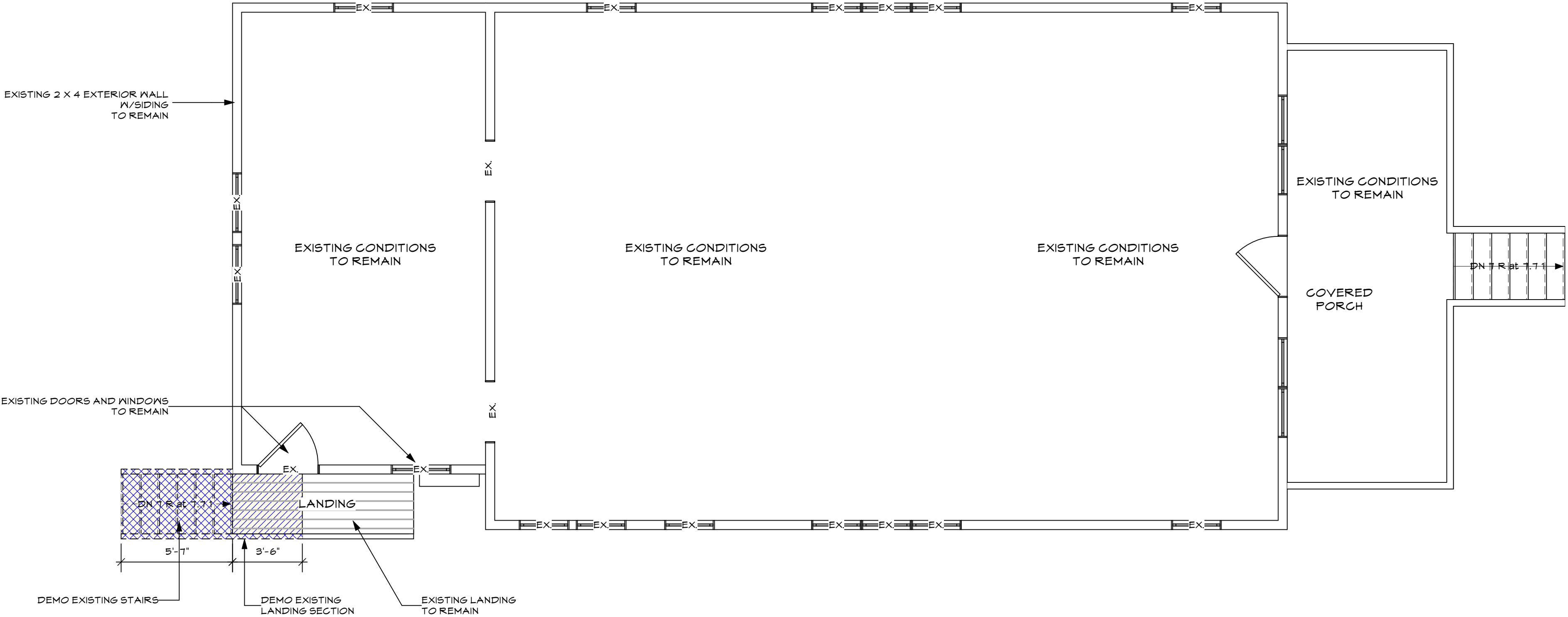
SCOPE OF WORK:

1-DEMO EXISTING LANDING SECTION AND STAIRS.

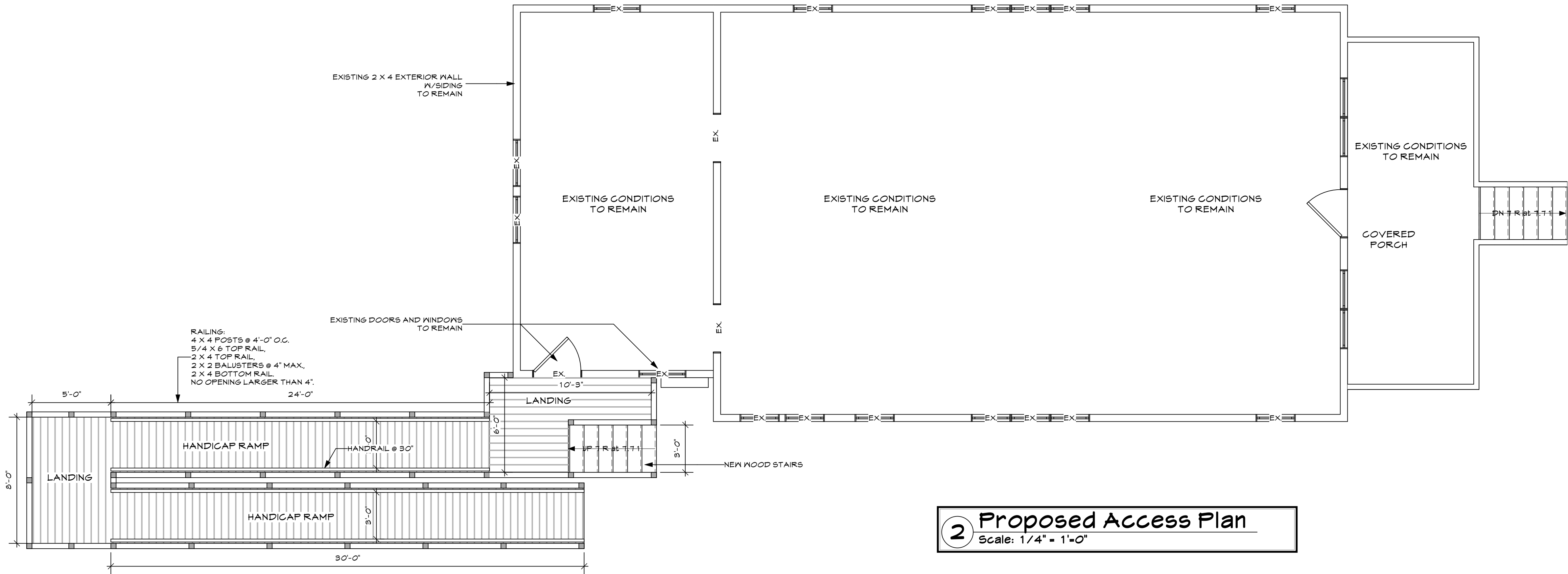
2-CONSTRUCT NEW LANDING SECTION AND HANDICAP RAMP.



SITE AREA



1 Existing Access Plan  
Scale: 1/4" = 1'-0"



2 Proposed Access Plan  
Scale: 1/4" = 1'-0"

Description Date

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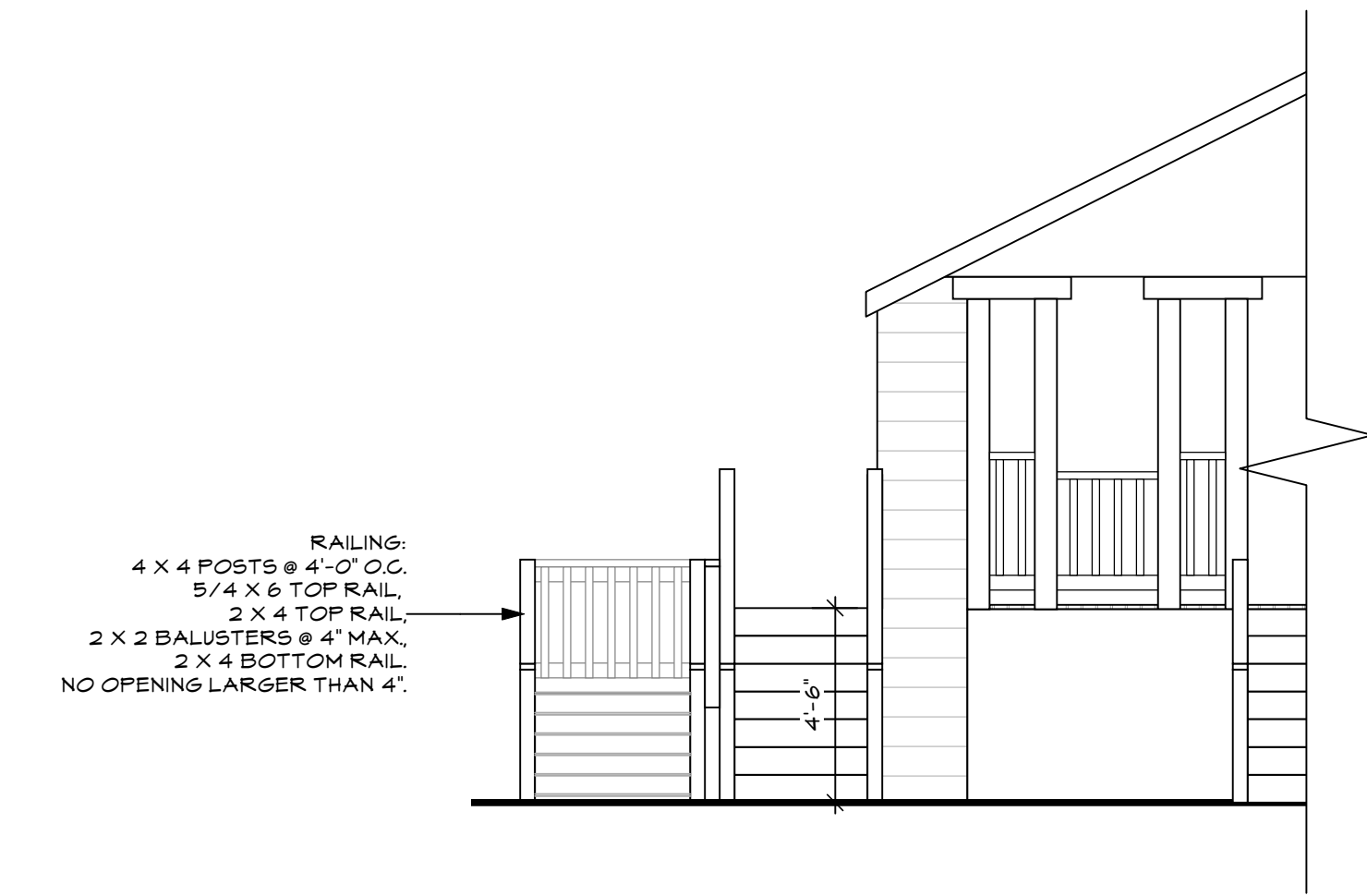
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Drawn By: A&LK LOML

Scale: 1/4"=1'-0"

Sheet Number:

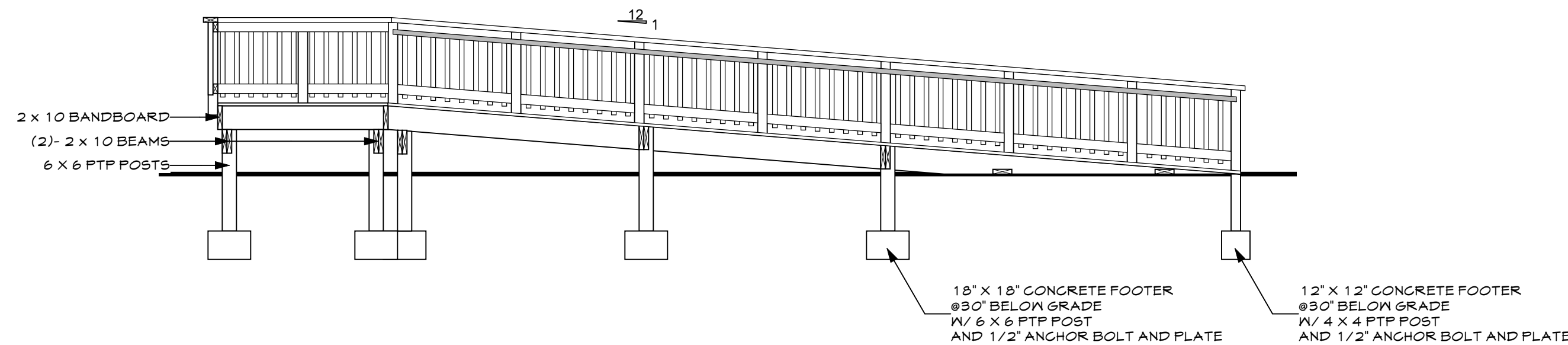
A001  
Ex. Floor Plans



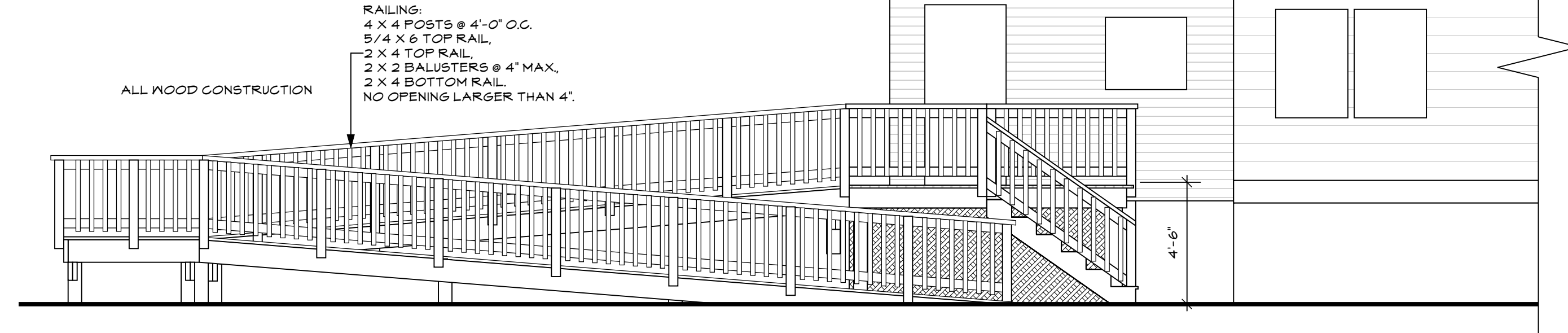
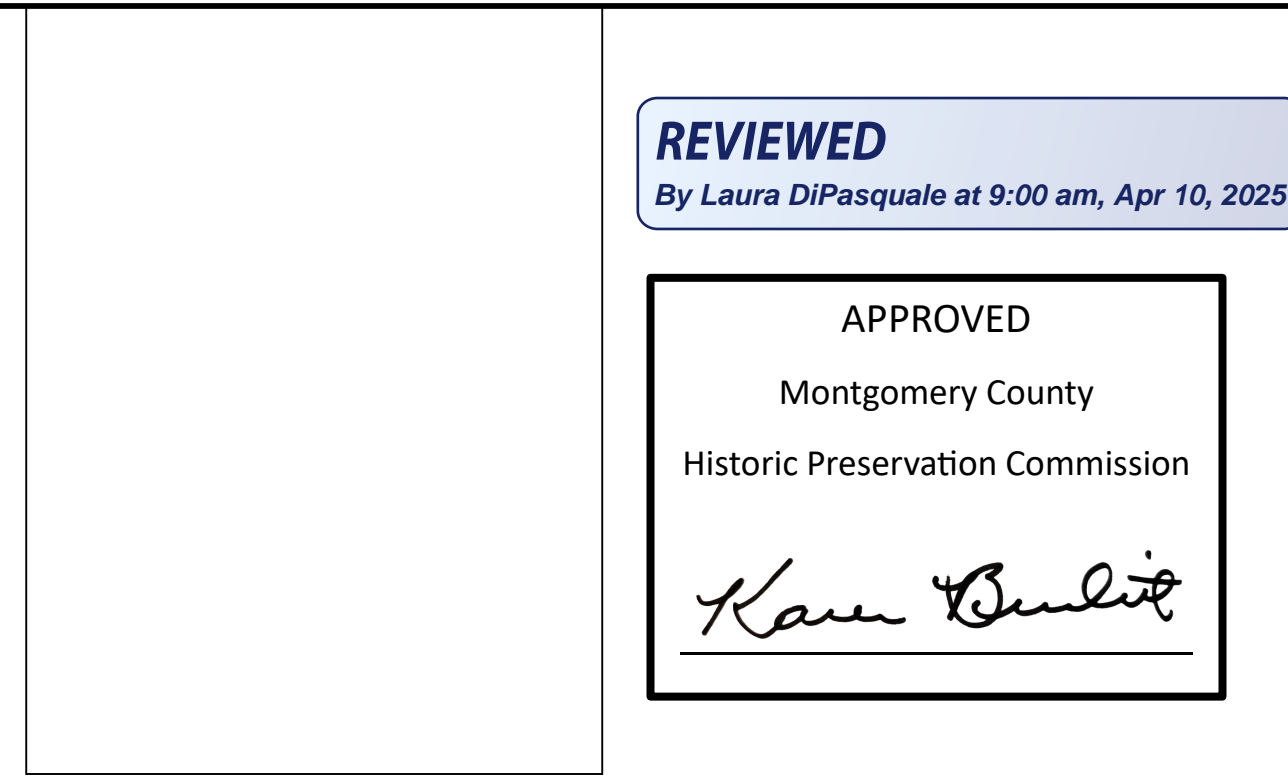
4 Front Elevation  
Scale: 1/4" = 1'-0"



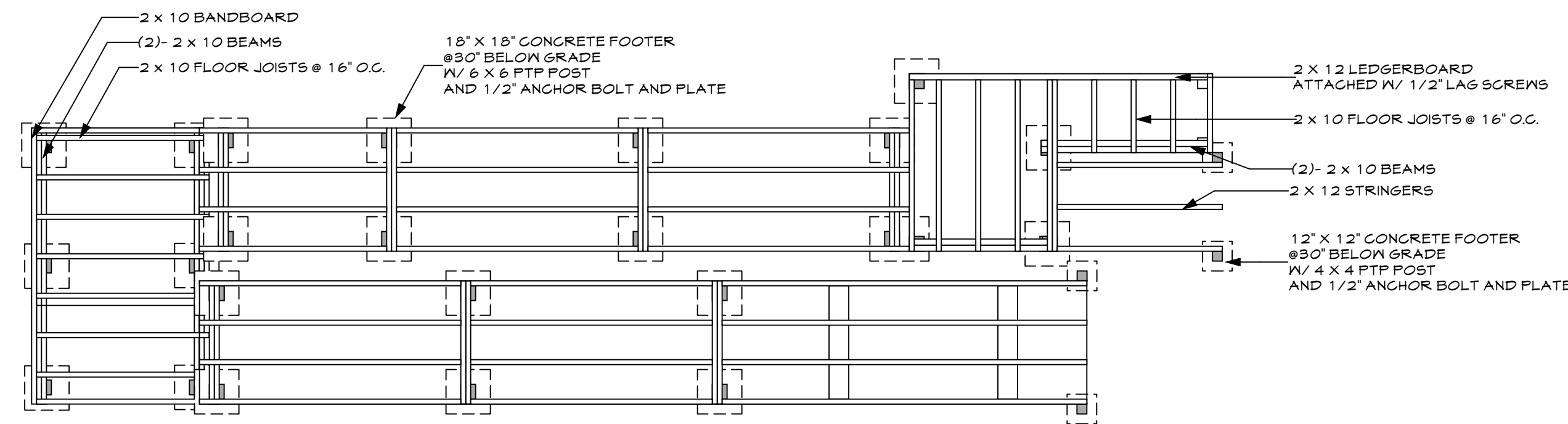
6 Rear Elevation  
Scale: 1/4" = 1'-0"



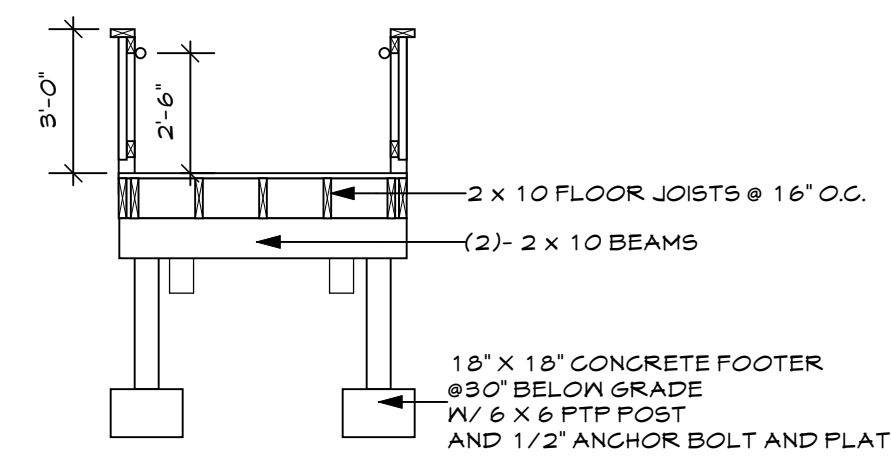
8 Ramp Section  
Scale: 1/4" = 1'-0"



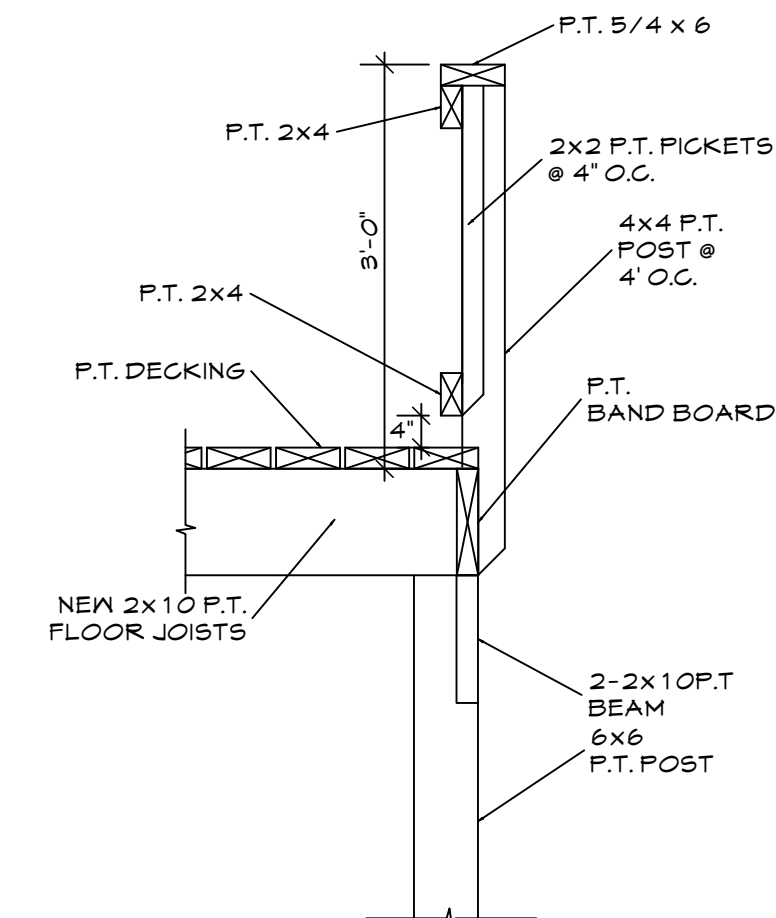
5 Left Elevation  
Scale: 1/4" = 1'-0"



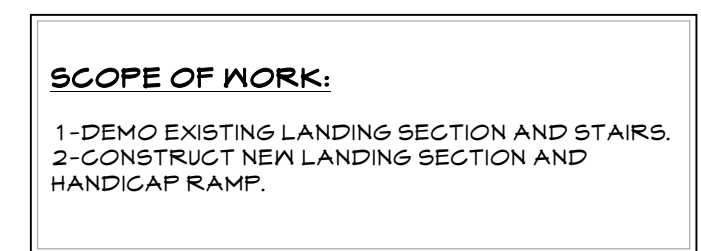
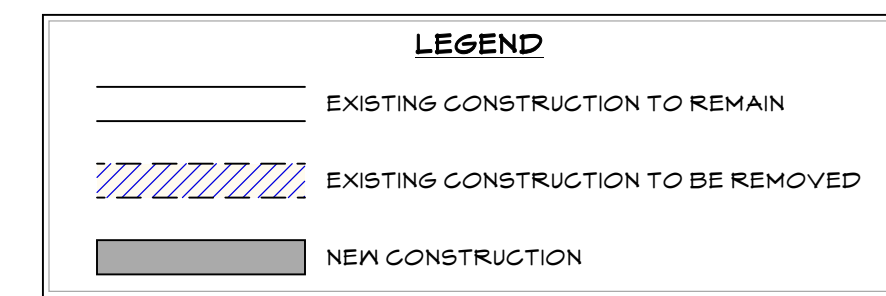
7 Ramp Framing Plan  
Scale: 1/4" = 1'-0"



9 Landing Section  
Scale: 1/4" = 1'-0"



10 Deck Rail Detail  
Scale: N.T.S.



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Date: 3/19/25  
Drawn By: A&LK LOML  
Scale: 1/4" = 1'-0"  
Sheet Number: A002  
Prop Basement Plan



APPROVED

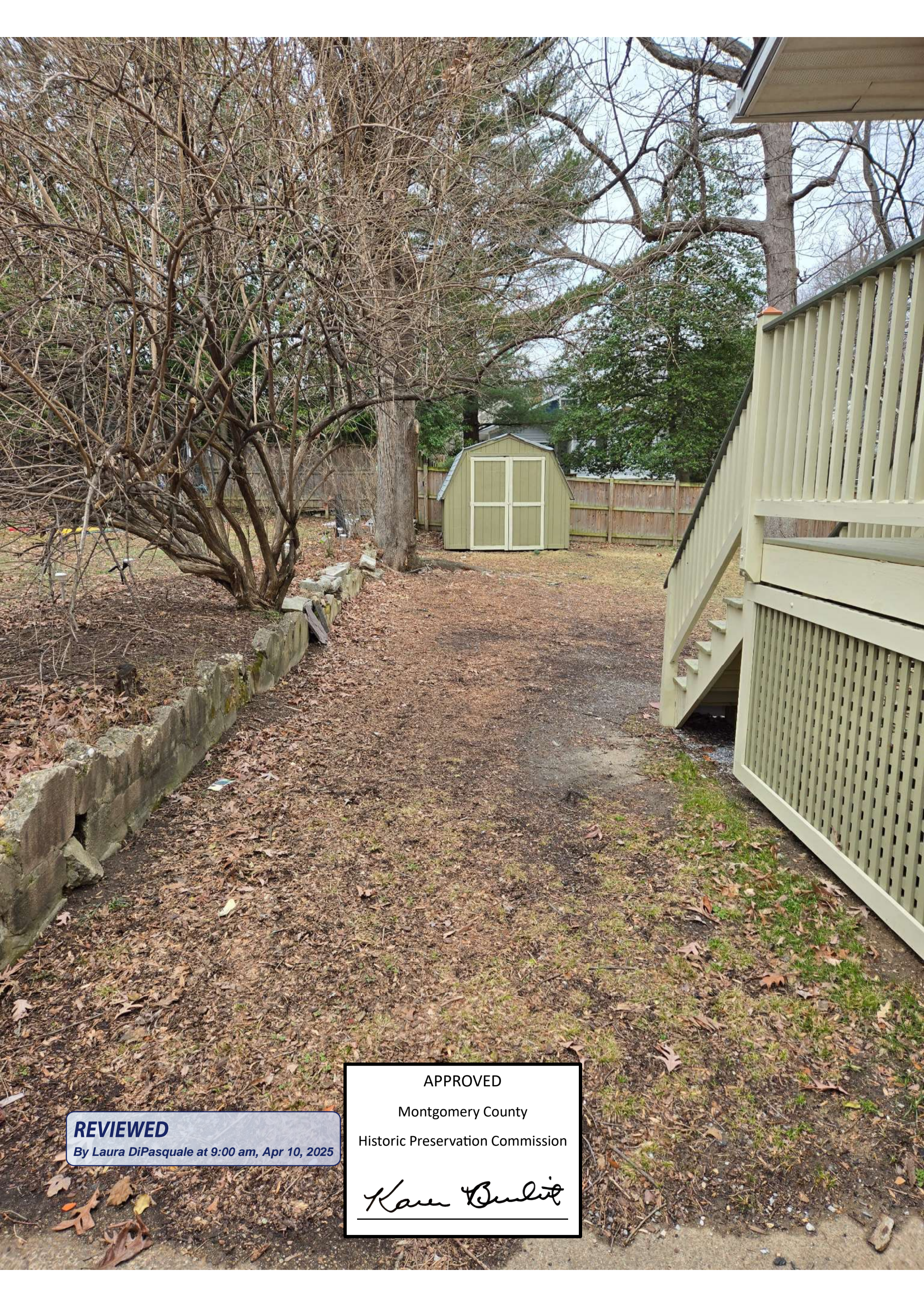
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*Karen Benoit*

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