



## HISTORIC PRESERVATION COMMISSION

**Marc Elrich**  
*County Executive*

**Karen Burditt**  
*Chair*

Date: April 7, 2025

### **MEMORANDUM**

TO: Rabbiah Sabbakhan  
Department of Permitting Services

FROM: Devon Murtha  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1109659– Roof replacement

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** by HPC Staff.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Kathryn Rhudy  
Address: 7216 Holly Ave, Takoma Park, MD

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Devon Murtha at 301-495-1328 or [devon.murtha@montgomeryplanning.org](mailto:devon.murtha@montgomeryplanning.org) to schedule a follow-up site visit.





## HISTORIC PRESERVATION COMMISSION

HAWP #: 1109659 at: 7216 Holly Ave.

submitted on: 4/7/2025

has been reviewed and determined that the proposal fits into the following category/categories:

☐ Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

☐ Installation of vents or venting pipes in locations not visible from the public right-of-way;

☒ New gutters and downspouts;

☐ Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

☐ Removal of accessory buildings that are not original to the site or non-historic construction;

☐ Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

☐ Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

☒ Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

☐ Installation of storm windows or doors that are compatible with the historic resource or district;

☐ Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

☐ Construction of fences that are compatible with the historic site or district in material, height, location, and design;

☐ Fence is lower than 48" in front of rear wall plane;

☐ Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

☐ Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

☐ Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

☐ Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

☐ Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

☐ Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

☐ Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

☐ Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

☐ Replacement tree required as a condition; and,

☐ Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

e proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by Devon Murtha on 4/7/2025. The approval memo and stamped drawings follow.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

7216 Holly Ave. is a hillside Victorian house with an outstanding resource designation. The home is on a steep hill and surrounded by multiple trees. The original house, built in 1893, is three stories plus an unfinished basement. An sizeable addition built around the late 1980s has four stories including a finished basement.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Remove and replace existing roofing system. Remove and replace existing gutters and downspouts



**REVIEWED**

*By Devon.Murtha at 1:07 pm, Apr 07, 2025*

Work Item 1: Roof Replacement

Description of Current Condition:

Visibly worn and failing roof. Active leaking in two locations with missing shingles. Current roof is composed of asphalt shingle, approximately 30yr old

Proposed Work:

Remove and replace entire roof.

New roof to include:

Owens Corning Duration Tru Definition Series architectural shingle. Product is comparable in appearance and quality to the material being replaced. Color to be Onyx Black.

Removal of existing roofing system.

Installation of drip edge around perimeter of roof.

Installation of Ice & Water shield at eaves, valleys, roof penetrations, chimneys, and all critical areas to protect from ice dams.

Installation of Owens Corning Pro Armor synthetic

Work Item 2: Gutter Replacement

Description of Current Condition:

Gutters and downspouts are not pitched properly and need to be replaced

Proposed Work:

-Remove and dispose of the existing gutters and downspouts.

- New 6" aluminum seamless gutters will be installed, replacing worn and ill-fitting aluminum gutters. Color selection to be Black

- Install new downspouts.

Work Item 3: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

APPROVED

Montgomery County

Historic Preservation Commission

*Karen Buelit*

**REVIEWED**

By Devon.Murtha at 1:07 pm, Apr 07, 2025

# HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS


	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/Door Changes	*	*	*	*	*		*
Masonry Repair/Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



**REVIEWED**

*By Devon.Murtha at 1:07 pm, Apr 07, 2025*

WAYNE F. AUDERTIN  
PROFESSIONAL LAND SURVEYOR, MARYLAND REG. NO. 21330  
EXPIRES: 01-07-2019

REF. NUMBERS	PLAT BK.	D	24		DATE OF LOCATIONS	SCALE	1" = 10'
SNIDER & ASSOCIATES LAND SURVEYORS 30270 Colchester Lane, Suite 110 Germantown, Maryland 20876 301/948-6100 Fax 301/948-1286							
PLAT NO.	1016				WALL CORNER	DRUM BY:	MP
POLYD	129				TRNS. LOC.	JOB NO.:	17-25058-BT
					MEMORANDUM:	4-17-2017	

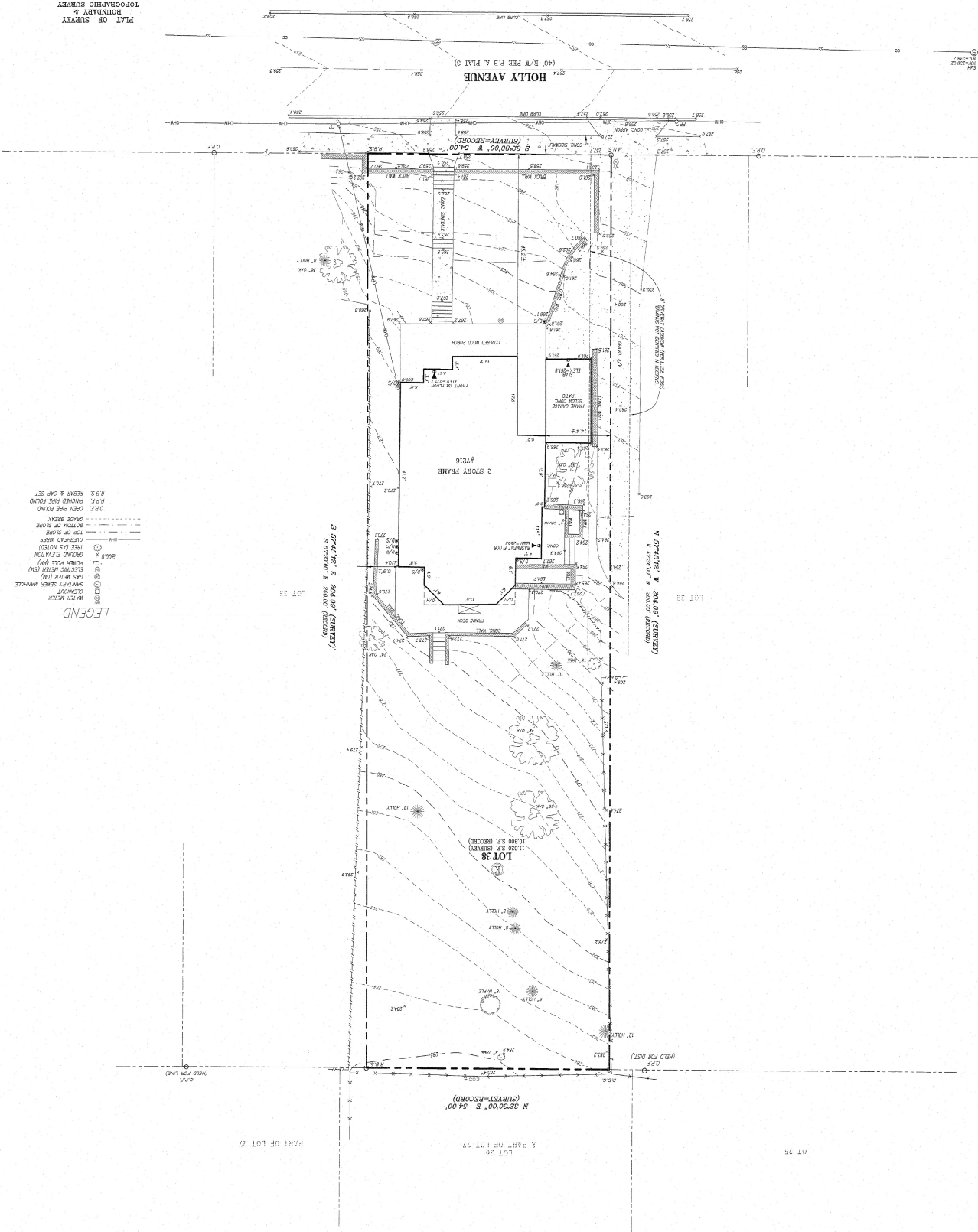


PLAT OF SURVEY  
BOUNDARY &  
TOPOGRAPHIC SURVEY  
LOTS 38 - BLOCK 12  
B.F. GILBERTS  
RE-SUBDIVISION OF  
PART OF BLOCKS 6 AND 12  
TAKOMA PARK  
MONTGOMERY COUNTY, MARYLAND  
SIDNER & ASSOCIATES  
LAND SURVEYORS

**SURVEYOR'S CERTIFICATE**

SURVEYOR'S CERTIFICATE

HARVEST CREDIT THAT THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE  
RECORDS OF FIELD SURVEYORS PLACED IN ACCORDANCE WITH THE INFORMATION  
SHOWN. THIS PLAN AND THE FIELD SURVEY UPON WHICH IT IS BASED WAS PREPARED  
UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE REGULATIONS GOVERNING LAND  
SURVEYING IN THE STATE OF MARYLAND.



DN3937

1. PROPERTY SHOWN IN UNADJUDICATED CITY ASSIGNMENT MAP BOOK PAGE NO. 40.
2. THE TOPOGRAPHIC SHOWN SECTION IS BASED ON TOPOGRAPHIC INFORMATION NOTED AS FOLLOWS:
  1. THE TOPOGRAPHIC SHOWN SECTION HAS BEEN ASSIGNED A BENCHMARK FOR THIS DATA HAS BEEN ASSIGNED TO THE POINT FIRST OBSERVED PER THE SURVEY PERFORMED APRIL 17, 2017.
  2. THE TYPE AND NATURE OF THE UTILITIES SHOWN HEREON HAS BEEN ESTABLISHED BY ON SITE OBSERVATION AND FIELD LOCATION OF A UTILITY MARK-OFF PERFORMED BY MISS GILSON ON FIELD LOCATION OF UTILITIES SHOWN HEREON HAS BEEN PREPARED CAL CENTER TRUCK-OFF PERFORMED BY THE ABOVE DOWNSHOWN EVIDENCE AS TO THEIR PROPOSED LOCATION. ANY UTILITIES SHOWN SHOULD BE CONSIDERED COMPLETELY AND HAVE NOT BEEN RECORDED OR VERIFIED WITH ANY UTILITY COMPANY "AS-BUILT" PLANS OR RECORDS.
3. 1. INTERVIEW FIELD ROWN TOPOGRAPHY BY SUNDLER & ASSOCIATES, NOT SUBJECT TO ASSIGNMENT OR DISBURSMENT WHICH MAY AFFECT SURVEY OF A UTILITY REPORT AND THEREFORE MAY BE CONSIDERED COMPLETELY AND HAVE NOT BEEN RECORDED OR VERIFIED WITH ANY UTILITY COMPANY "AS-BUILT" PLANS OR RECORDS.



**Historic Area Work Permit Application:**  
**7216 Holly Ave. Takoma Park, MD 20912**  
Attachments to roof and gutter replacement application  
March 19, 2025

**Photographs:** These excerpt from a recent home inspection describe and provide photographs showing the current state of the roof and gutters.

**Roofing:**

**Means of Roof Inspection:**

The roof edge was the location of the inspection of the roof covering.

**Roof Covering Materials:**

Asphalt composition shingles. These consist of cellulose mat, asphalt impregnated with colored gravel on surface. Shingles are applied in horizontal rows.

**Cover Layers:**

The roof covering on the main structure appears to be the only covering layer.

**Underlayment Noted:**

Asphalt impregnated felt underlayment was noted under the roofing material.

**Condition of Roof Covering Material:**

**ACTION ITEM:** Excessive moss growth on the rear slope; poorly installed material is deteriorating at a faster rate, water is rolling under the sheathing and/or ice dams are forming on the dge and leading to premature deterioration of roof decking. I recommend replacement of roof material and damaged sheathing as necessary.



**Slope:**

Medium to high.

**Flashing:**

**ACTION ITEM:** Damaged to the roof sheathing edge due to missing drip edge flashing - which is used to direct water away from the fascia and into the gutter. Without a drip edge, water can wick into the edges of the roof sheathing and cause the roof to develop rot and/or mold. I recommend repairs and installation of drip edge.



**Venting Collars**

Venting collars are in serviceable condition, no defects observed, no leak or evidence of previous leakage noticed.

**Evidence of Leakage:**

No evidence of leakage was observed at the time of the inspection.

**Roof Gutter System:**

**ACTION ITEM:** Gutters are clogged with leaves, misaligned and leaking at downspout and channel fitting connections. Water is causing damages to the roof and siding. I recommend repairs and replacement as needed for adequate roof runoff drainage.



**APPROVED**

**Montgomery County**

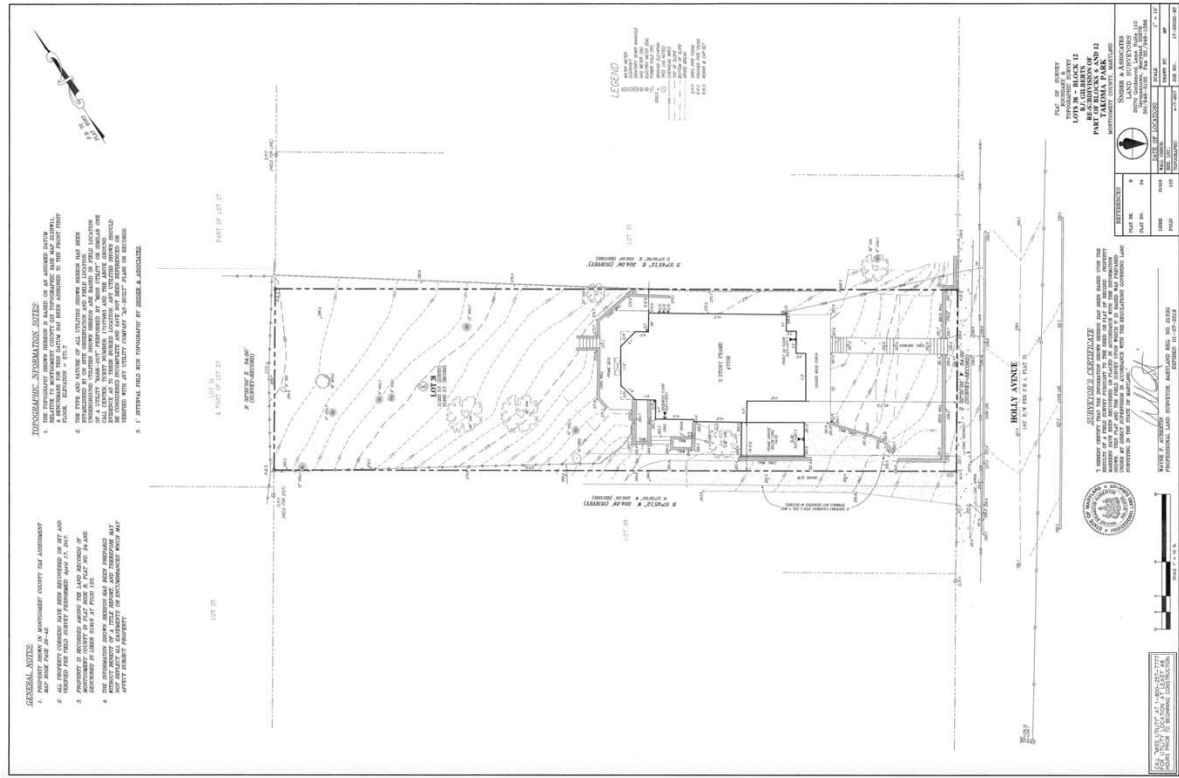
**Historic Preservation Commission**

*Karen B. Smith*

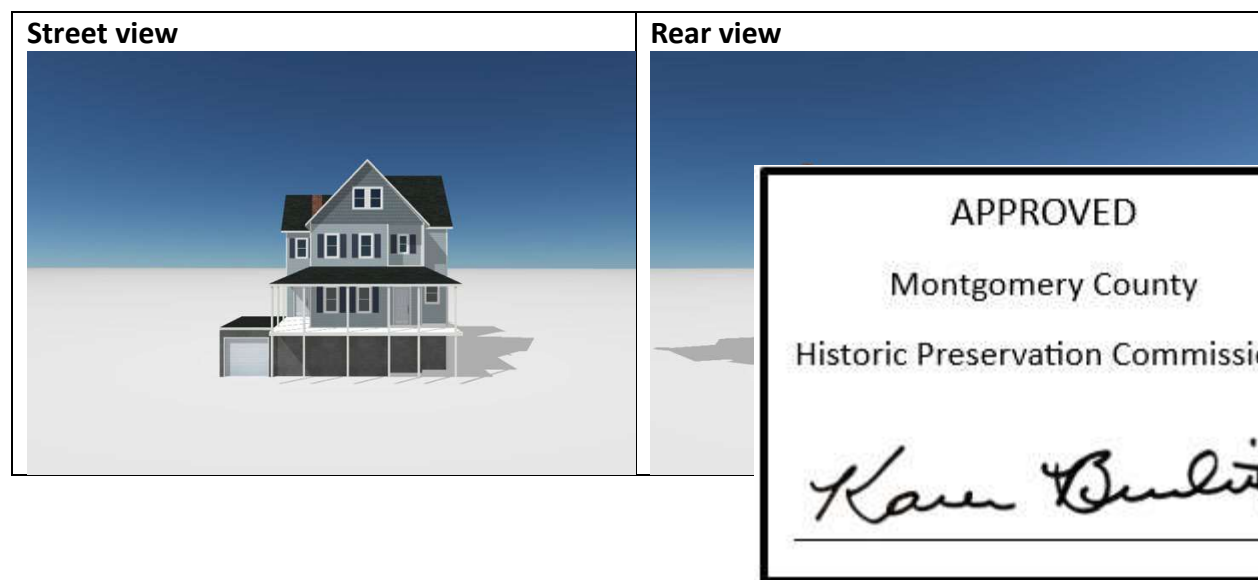
**REVIEWED**

By Devon.Murtha at 1:08 pm, Apr 07, 2025

**Site Plan:** This project will not involve any structural changes (pitch, dimensions, etc). The attached plat (thumbnail below and full-sized document attached) shows the footprint of the house. All roofing and gutter replacement will cover only existing structures.



## Elevations:



**REVIEWED**

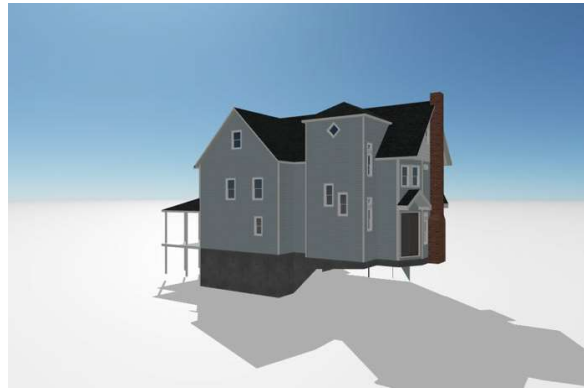
By Devon.Murtha at 1:08 pm, Apr 07, 2025



South side view



North side view



Street/north side view



APPROVED

Montgomery County

Historic Preservation Commission

*Karen B. Smith*

**REVIEWED**

*By Devon.Murtha at 1:08 pm, Apr 07, 2025*



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich  
County Executive

Rabbiah Sabbakhan  
Director

# HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 3/19/2025

Application No: 1109659  
AP Type: HISTORIC  
Customer No: 1519307

## Affidavit Acknowledgement

The Homeowner is the Primary applicant  
This application does not violate any covenants and deed restrictions

## Primary Applicant Information

Address 7216 HOLLY AVE  
TAKOMA PARK, MD 20912

Homeowner Rhudy (Primary)

## Historic Area Work Permit Details

Work Type RESREP

Scope of Work Remove and replace existing roofing system. Remove and replace existing gutters and downspouts.



**REVIEWED**

By Devon.Murtha at 1:08 pm, Apr 07, 2025

**From:** [Kate Rhudy](#)  
**To:** [Murtha, Devon](#)  
**Subject:** Gutter specifications for HAWP: 7216 Holly Ave., Takoma Park  
**Date:** Monday, March 31, 2025 3:54:10 PM  
**Attachments:** [ACM-Aluminum-Specification.pdf](#)

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**[EXTERNAL EMAIL]** Exercise caution when opening attachments, clicking links, or responding.

Devon --

Thank you again for your help as we navigate the permit process. I'm sending along multiple pieces of information from the contractor installing our roof and gutters.

Here is a description of the work:

**We will be installing a 6" Seamless K- Style Gutter and it will be made of aluminum.** The current gutter system is detaching at the mitered corners as well as the spikes were loose in areas allowing the troughs to fall. From above if you look down into the troughs themselves there was significant debris stopping the gutters, due largely to their disrepair, which causes cascading -- especially on the new roof we're installing because it sheds water more efficiently. I have attached literature on the gutters and images that give a sense for the size and profile.

See also the attached pictures of the type of gutters and a document with product specifications.

Please let me know if you have any further questions.

Best wishes,  
Kate

Kate Rhudy *she/they*  
301-704-2083  
[katerhudy@gmail.com](mailto:katerhudy@gmail.com)

Sent from my iPhone



**REVIEWED**

By Devon.Murtha at 1:08 pm, Apr 07, 2025